

DEMOLITION KEY NOTES:

- (A) ALL UTILITIES SERVING STRUCTURES IMMEDIATELY SURROUNDING THE DEMOLITION BOUNDARY SHALL REMAIN IN SERVICE THROUGHOUT THE PROJECT. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT ANY DAMAGE TO SUCH UTILITIES. TYPICAL LOCATION.
 - (B) THE CONTRACTOR SHALL REMOVE ALL UNDERGROUND GAS LINES, WATER LINES, SANITARY AND STORM SEWER SERVICE LINES AND THEIR APPURTENANCES. APPURTENANCES INCLUDE, BUT NOT LIMITED TO, ALL PIPES, MANHOLES, JUNCTION BOXES, CATCH BASINS, YARD INLETS, FLUMES AND METER PITS. THE UTILITY SERVICES SHALL BE DISCONNECTED ALONG THE PROJECT BOUNDARY LINE TO THE EXISTING BUILDING TO BE DEMOLISHED.
 - (C) THE CONTRACTOR SHALL REMOVE EXISTING DRIVE ENTRANCE & EXISTING ASPHALT PARKING LOT. REMOVE EXISTING ASPHALT, CONCRETE, AND THE SUB-BASE GRAVEL TO THE NATURAL SOIL ELEVATION.
 - (D) THE CONTRACTOR SHALL REMOVE ALL PRE-EXISTING STRUCTURES, FOUNDATIONS, FOOTINGS, PIERS, WATER WELLS, SEPTIC TANKS, LATERAL LINES, BURIED DEBRIS, MISCELLANEOUS CONCRETE, ETC. WHICH MAY BE ENCOUNTERED DURING DEMOLITION ACTIVITIES. THE CONTRACTOR SHALL DISPOSE OF THESE MATERIALS IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES.
- SHADED AREAS INDICATE MAIN STRUCTURES AND OUTBUILDINGS TO BE DEMOLISHED. IN ADDITION TO SHADED DEMOLITION AREAS, ALL MISCELLANEOUS CONCRETE, STONE STRUCTURES, OUTBUILDINGS, PRIVATE SIDEWALKS, HAND RAILINGS, RETAINING WALLS, SIGNS, PATIOS, FOUNDATION WALLS AND FOOTINGS ASSOCIATED WITH THE STRUCTURES SHALL BE REMOVED UNLESS OTHERWISE NOTED ON THE PLANS. TYPICAL LOCATION.
- (E) THE CONTRACTOR SHALL REMOVE CONCRETE STOP BLOCKS.
 - (F) THE CONTRACTOR SHALL REMOVE EXISTING TRASH ENCLOSURE INCLUDING BUT NOT LIMITED TO DUMPSTER, WOOD FENCE/GATE, GUARD POLES.
 - (G) EXISTING LIGHT POLE AND BASE TO BE REMOVED, LIGHT TO BE REPLACED IN SAME LOCATION (RE: LIGHTING PLAN).
 - (H) THE CONTRACTOR SHALL COORDINATE RE-USING EXISTING CURBS WITH OWNER, IF POSSIBLE BASED ON CONSTRUCTION PHASING AND CONDITIONS OF CURB & GUTTER AFTER DEMOLITION.
 - (I) REMOVE EXISTING CURB.

DEMOLITION NOTES:

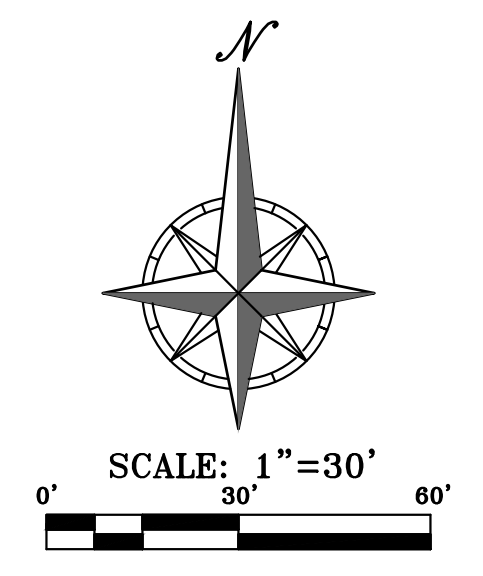
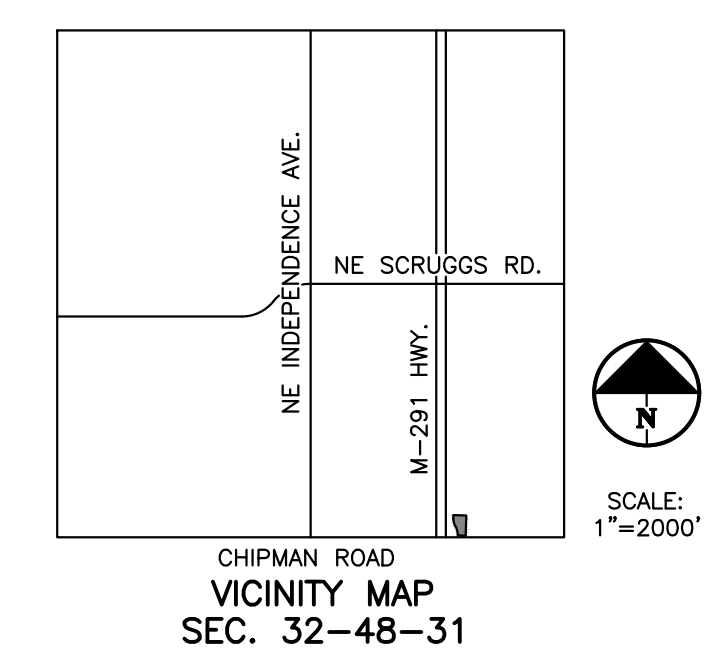
1. THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSAL (IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES) ALL CURBS, PARKING, DRIVES, DRAINAGE STRUCTURES, UTILITIES, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE REMAINING PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL.
2. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS IN A LAWFUL MANNER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL.
3. DAMAGE TO ALL EXISTING CONDITIONS TO REMAIN WILL BE REPLACED AT CONTRACTOR'S EXPENSE.
4. CONTRACTOR MUST COORDINATE WITH OWNER PRIOR TO ANY CONSTRUCTION TO ESTABLISH CUSTOMER ACCESS AND TRAFFIC FLOW DURING ALL PHASES.
5. REFER TO THE BUILDING PLANS FOR SITE LIGHTING ELECTRICAL MODIFICATIONS (IF ANY) TO THE EXISTING SYSTEM.

NOTES:

1. THE CONTRACTOR SHALL COORDINATE RE-USING EXISTING CURBS WITH OWNER, IF POSSIBLE, BASED ON CONSTRUCTION PHASING AND CONDITIONS OF CURB & GUTTER AFTER DEMOLITION OF EXISTING PARKING LOT.

LEGEND

- PL — PROPERTY LINE
- - - LL - - - LOT LINE
- - - R/W - - - RIGHT-OF-WAY
- ~ ~ ~ REMOVE EXISTING CURB & GUTTER
- [Hatched Box] EXISTING BUILDING TO BE REMOVED
- [Cross-hatched Box] EXISTING ASPHALT PAVEMENT TO BE REMOVED
- [Stippled Box] EXISTING CONCRETE PAVEMENT/SIDEWALK TO BE REMOVED
- (Tree Symbol) EXISTING TREE TO REMAIN
- (Circle with X) EXISTING BURIED TELEPHONE
- (Circle with W) EXISTING WATER LINE
- (Circle with G) EXISTING GAS LINE
- (Circle with BE) EXISTING BURIED ELECTRIC
- (Circle with OHP) EXISTING OVERHEAD POWER LINE
- (Circle with SS) EXISTING SANITARY LINE
- (Circle with S) EXISTING STORM SEWER
- (Circle with F) EXISTING FIRE HYDRANT
- (Circle with LP) EXISTING LIGHT POLE
- (Circle with X) EXISTING CHAIN LINK FENCE



811
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UTILITY NOTES:
VISUAL INDICATIONS OF UTILITIES ARE AS SHOWN. UNDERGROUND LOCATIONS SHOWN, AS FURNISHED BY THEIR LESSORS, ARE APPROXIMATE AND SHOULD BE VERIFIED IN THE FIELD AT THE TIME OF CONSTRUCTION. FOR ACTUAL FIELD LOCATIONS OF UNDERGROUND UTILITIES CALL 811.



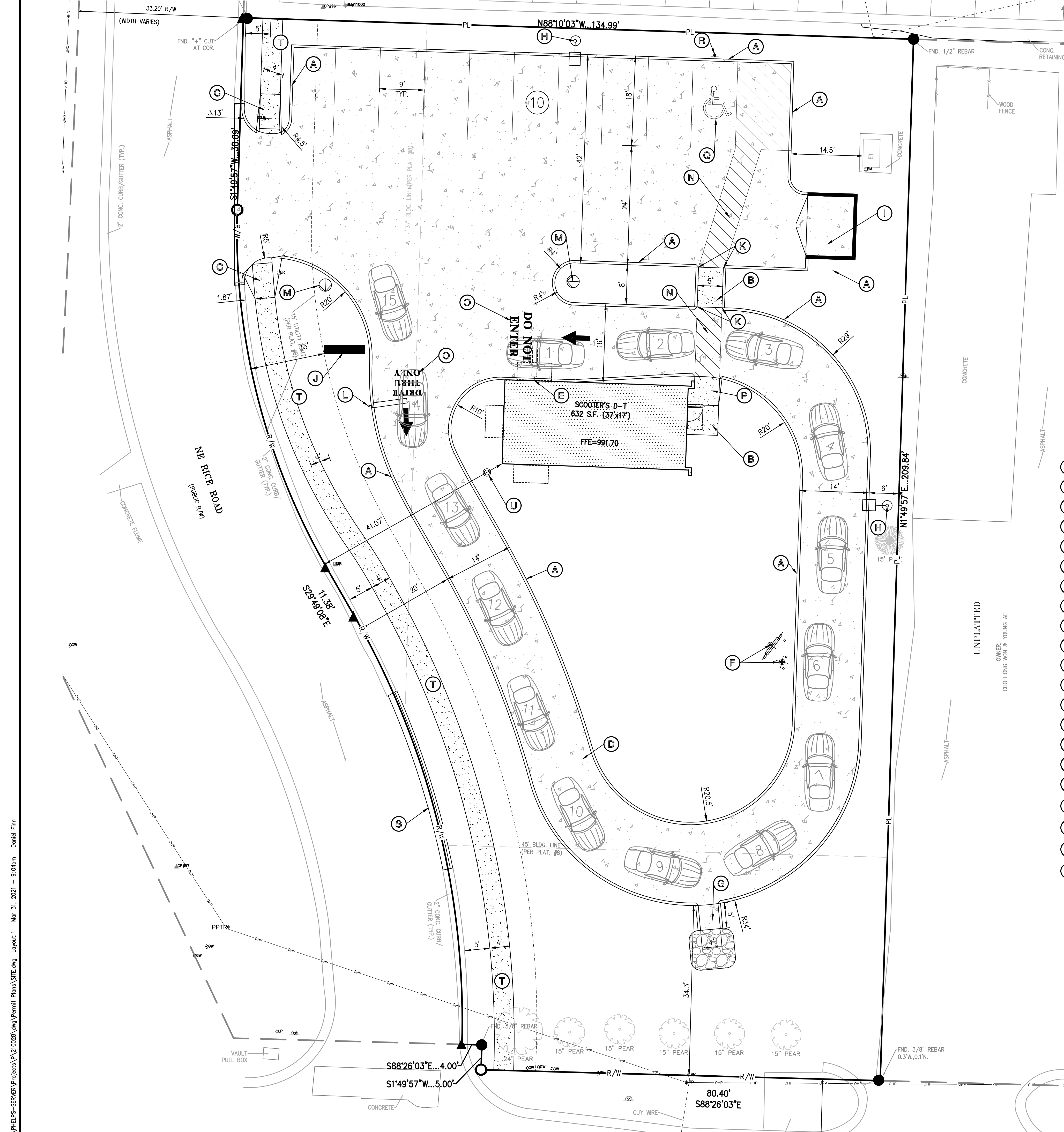
PHELPS ENGINEERING, INC.
1370 N. Winchester
Olathe, Kansas 66061
(913) 993-1155
Fax: (913) 993-1165
www.phelpsengineering.com



DEMOLITION PLAN
SCOOTER'S DRIVE THRU KIOSK
LEE'S SUMMIT, JACKSON COUNTY, MISSOURI
SITUS ADDRESS: 707 NE RICE ROAD

Project No.	Date	By	App.
210028			
DATE: 03-31-2021			
CHECKED: DAF APPROVED: JCC			
CORPORATE SEAL OF AUTHORIZATION			
LAND SURVEYING - LS-82			
ENGINEERING - E-361			
CERTIFICATE OF AUTHORIZATION			
LAND SURVEYING: 20070128			
ENGINEERING: 20030038			

SHEET
C1



NOTES:
 1. THE CONTRACTOR SHALL COORDINATE RE-USING EXISTING CURBS WITH OWNER, IF POSSIBLE BASED ON CONSTRUCTION PHASING AND CONDITIONS OF CURB & GUTTER AFTER DEMOLITION.

SITE DATA

LOT X	0.545 AC.
ZONING	CP-2
EXISTING	CP-2
PROPOSED	CP-2
PROPOSED BUILDING (1-STORY)	632 S.F.
PROPOSED PARKING	9
STANDARD STALLS	1
ACCESSIBLE STALLS	10
TOTAL STALLS	
REQUIRED ACCESSIBLE STALLS	1-25
TOTAL STALLS	1
REQUIRED ACCESSIBLE STALLS	

INSTALL ACCESSIBLE PAVEMENT MARKINGS PER ADA SPECIFICATIONS.

- SITE KEY NOTES:**
- (A) CONSTRUCT 6" PRIVATE CONCRETE CURB (TYPICAL).
 - (B) CONSTRUCT PRIVATE CONCRETE SIDEWALK (TYPICAL).
 - (C) CONSTRUCT PUBLIC SIDEWALK RAMP (OMIT DETECTABLE WARNING) (RE: LEE'S SUMMIT STANDARD DETAIL GEN-3A).
 - (D) PROPOSED DRIVE THRU LANE W/ CONCRETE PAVEMENT.
 - (E) PICK-UP WINDOW (RE: ARCH. PLANS).
 - (F) MENU BOARD & INTERCOM PEDESTAL (RE: ARCH. PLANS).
 - (G) CONSTRUCT 4" CONCRETE FLUME & 8 S.Y. PLAIN STONE RIPRAP POOL (150# MINIMUM).
 - (H) INSTALL NEW PARKING LOT LIGHT (RE: LIGHTING PLAN).
 - (I) INSTALL TRASH ENCLOSURE (RE: ARCH. PLANS).
 - (J) INSTALL MONUMENT SIGN (RE: ARCH. PLANS).
 - (K) CONSTRUCT LAYDOWN CURB & GUTTER.
 - (L) INSTALL HEIGHT CLEARANCE SIGN (RE: ARCHITECT PLANS).
 - (M) DIRECTIONAL SIGN (RE: ARCHITECT PLANS).
 - (N) INSTALL PAINTED CROSSWALK (TYP.).
 - (O) INSTALL PAVEMENT MARKINGS (TYP., RE: ARCH. PLANS).
 - (P) CONSTRUCT PRIVATE SIDEWALK RAMP (OMIT DETECTABLE WARNING).
 - (Q) INSTALL ACCESSIBLE PAVEMENT MARKINGS PER ADA SPECIFICATIONS.
 - (R) INSTALL VAN ACCESSIBLE PARKING SIGN.
 - (S) CONSTRUCT PUBLIC TYPE CG-1 CONCRETE CURB AND GUTTER (RE: LEE'S SUMMIT STANDARD DETAIL GEN-4).
 - (T) CONSTRUCT PUBLIC CONCRETE SIDEWALK (RE: LEE'S SUMMIT STANDARD DETAIL GEN-3A).
 - (U) INSTALL FLAG POLE (RE: ARCH. PLANS).

LEGAL DESCRIPTION:

LOT 1, SU-NOR ADDITION, A SUBDIVISION IN LEE'S SUMMIT, JACKSON COUNTY, MISSOURI, ACCORDING TO THE RECORDED PLAT THEREOF.
AREA = 23,751± SQ.FT. / 0.545± ACRES

SITE PLAN NOTES:

1. All construction materials and procedures on this project shall conform to the latest revision of the following governing requirements, incorporated herein by reference:
 - A) City ordinances & O.S.I.A. Regulations.
 - B) The City of Lee's Summit, MO Technical Specifications and Municipal Code.
2. The contractor shall have one (1) signed copy of the plans (approved by the City) and one (1) copy of the appropriate Design and Construction Standards and Specifications at the job site at all times.
3. The contractor will be responsible for securing all permits, bonds and insurance required by the contract documents, City of Lee's Summit, Missouri, and all other governing agencies (including local, county, state and federal authorities) having jurisdiction over the work proposed by these construction documents. The cost for all permits, bonds and insurance shall be the contractor's responsibility and shall be included in the bid for the work.
4. The contractor is responsible for coordination of his and his sub-contractor's work. The contractor shall assume all responsibility for protecting and maintaining his work during the construction period and between the various trades/sub-contractors constructing the work.
5. The demolition and removal (or relocation) of existing pavement, curbs, structures, utilities, and all other features necessary to construct the proposed improvements, shall be performed by the contractor. All waste material removed during construction shall be disposed off the project site. The contractor shall be responsible for all permits for hauling and disposing of waste material. The disposal of waste material shall be in accordance with all local, state and federal regulations.
6. Contractor shall be responsible for all relocations, including but not limited to, all utilities, storm drainage, sanitary sewer services, signs, traffic signals & poles, etc. as required. All work shall be in accordance with governing authorities specifications and shall be approved by such. All cost shall be included in base bid.
7. All existing utilities indicated on the drawings are according to the best information available to the Engineer; however, all utilities actually existing may not be shown. The contractor shall be responsible for contacting all utility companies for an exact field location of each utility prior to any construction. All underground utilities shall be protected at the contractor's expense. All utilities, shown and unshown, damaged through the negligence of the contractor shall be repaired or replaced by the contractor at his expense.
8. The contractor will be responsible for all damage to existing utilities, pavement, fences, structures and other features not designated for removal. The contractor shall repair all damages at his expense.
9. The contractor shall verify the flow lines of all existing storm or sanitary sewer connections and utility crossings prior to the start of construction. Notify the engineer of any discrepancies.
10. **SAFETY NOTICE TO CONTRACTOR:** In accordance with generally accepted construction practices, the contractor shall be solely and completely responsible for conditions of the job site, including safety of all persons and property during performance of the work. This requirement will apply continuously and not be limited to normal working hours. Any construction observation by the engineer of the contractor's performance is not intended to include review of the adequacy of the contractor's safety measures, in, on or near the construction site.
11. Refer to the building plans for site lighting electrical requirements, including conduits, pole bases, pull boxes, etc.

SITE DIMENSION NOTES:

1. BUILDING TIES SHOWN ARE TO THE OUTSIDE FACE OF PROPOSED WALLS. THE SUBCONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR SPECIFIC DIMENSIONS AND LAYOUT INFORMATION FOR THE BUILDINGS.
2. ALL DIMENSIONS SHOWN FOR THE PARKING LOT AND CURBS ARE MEASURED FROM BACK OF CURB TO BACK OF CURB.

PAVEMENT MARKING AND SIGNAGE NOTES:

1. PARKING STALL MARKING STRIPES SHALL BE FOUR INCH (4") WIDE WHITE STRIPES. DIRECTIONAL ARROW AND HANDICAP STALL MARKINGS SHALL BE FURNISHED AT LOCATIONS SHOWN ON PLANS.
2. HANDICAP PAVEMENT MARKINGS AND SIGNS SHALL CONFORM TO ALL FEDERAL (AMERICANS WITH DISABILITIES ACT) AND STATE LAWS AND REGULATIONS.
3. TRAFFIC CONTROL DEVICES AND PAVEMENT MARKINGS SHALL CONFORM TO THE REQUIREMENTS OF THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES".
4. STOP SIGNS SHALL BE PROVIDED AT ALL LOCATIONS AS SHOWN ON PLANS AND SHALL CONFORM TO THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES". SIGNS SHALL BE 18" X 12", 18 GAUGE STEEL AND SHALL BE ENGINEER GRADE REFLECTIVE.
5. TRAFFIC CONTROL AND PAVEMENT MARKINGS SHALL BE PAINTED WITH A WHITE SHERWIN WILLIAMS S-W TRAFFIC MARKING SERIES 8-2912 OR APPROVED EQUAL. THE PAVEMENT MARKING SHALL BE APPLIED IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS. APPLY ON A CLEAN, DRY SURFACE AND AT A SURFACE TEMPERATURE OF NOT LESS THAN 70°F AND THE AMBIENT AIR TEMPERATURE SHALL NOT BE LESS THAN 60°F AND RISING. TWO COATS SHALL BE APPLIED.

FLOOD NOTE:

THIS PROPERTY LIES WITHIN ZONE X, DEFINED AS AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS SHOWN ON THE FLOOD INSURANCE RATE MAP PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY FOR THE CITY OF LEE'S SUMMIT, COMMUNITY NO. 290174, JACKSON COUNTY, MISSOURI, MAP NO. 29095004366, AND DATED JANUARY 20, 2017.

ZONING:

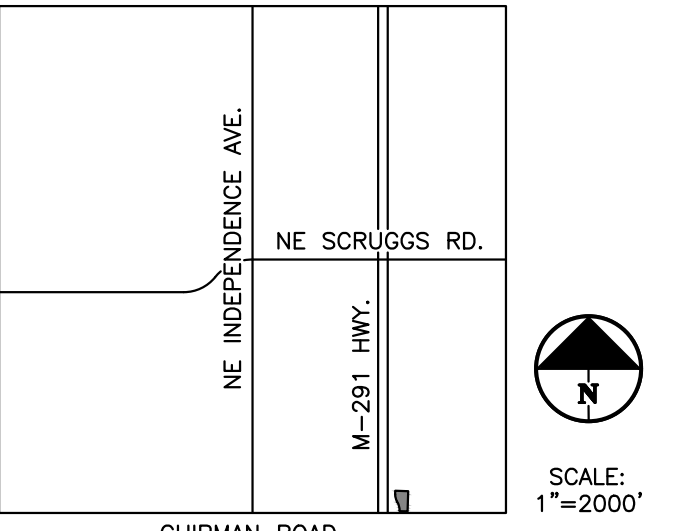
THIS PROPERTY IS ZONED CP-2, DEFINED AS PLANNED COMMUNITY COMMERCIAL DISTRICT.

BENCHMARK:

- VERTICAL DATUM = NAVD88 BASED ON GPS OBSERVATION USING MODOT VRS
1. FOUND "C" CUT IN CONCRETE SIDEWALK AT SOUTHWEST CORNER OF ADJACENT PROPERTY.
ELEVATION = 987.14
 2. SET "T" CUT IN SOUTHWEST CORNER OF BACK OF CURB IN ADJACENT PARKING LOT TO THE NORTH AT NORTHWEST CORNER OF SURVEYED PROPERTY.
ELEVATION = 990.19

LEGEND

- PL — PROPERTY LINE
- LL — LOT LINE
- R/W — RIGHT-OF-WAY
- 2" — 2" CURB & GUTTER
- 6" — 6" CURB
- B/L — BUILDING SETBACK LINE
- P/S — PARKING SETBACK LINE
- L/S — LANDSCAPE SETBACK LINE
- ▨ — PROPOSED BUILDING
- ▨ — CONCRETE PAVEMENT
- ▨ — CONCRETE SIDEWALK
- — PARKING LOT LIGHT
- — PARKING SPACES



CHIPMAN ROAD
VICINITY MAP
SEC. 32-48-31



UTILITY NOTES:
 VISUAL INDICATIONS OF UTILITIES ARE AS SHOWN. UNDERGROUND LOCATIONS SHOULD AS FURNISHED BY THEIR LESSORS, ARE APPROXIMATE AND SHOULD BE VERIFIED IN THE FIELD AT THE TIME OF CONSTRUCTION. FOR ACTUAL FIELD LOCATIONS OF UNDERGROUND UTILITIES CALL 811.



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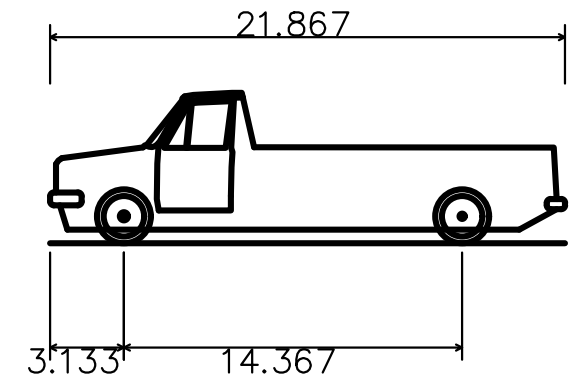
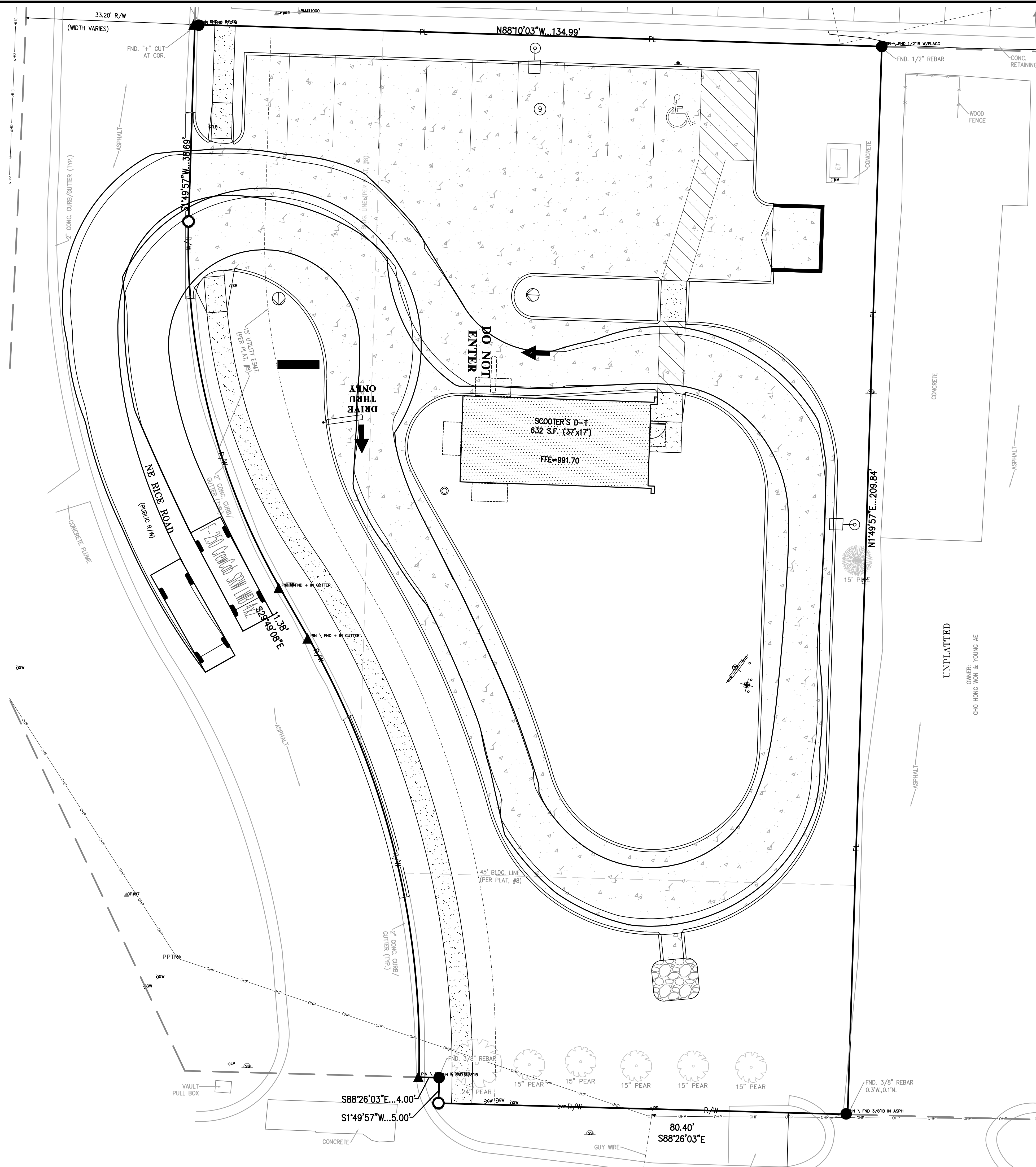


SITE PLAN
 SCOOTER'S DRIVE THRU KIOSK
 LEE'S SUMMIT, JACKSON COUNTY, MISSOURI
 SITUS ADDRESS: 707 NE RICE ROAD

Project No.	Date	By	App.
210028	03-31-2021	DRINKCHIL	
		CHECKER, DAF	
		CORPORATE OF AUTHORIZATION	
		LAND SURVEYING - LS-82	
		ENGINEERING - E-361	
		CERTIFICATE OF AUTHORIZATION	
		LAND SURVEYING-200700128	
		ENGINEERING-20035038	

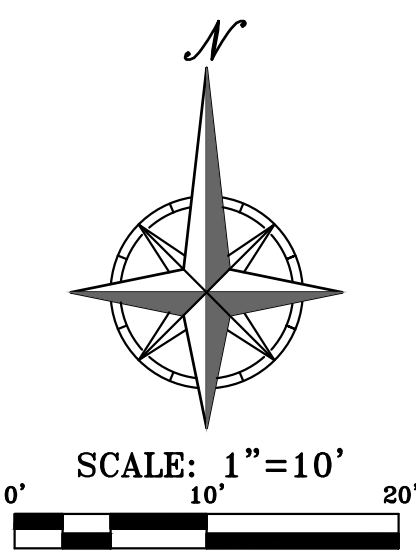
SHEET
C2

\\PHELPS-SERVER\Projects\210028\Drawings\Truck Turn Plan\Truck Turn Plan.dwg Layout2 Mar 31, 2021 9:54pm Daniel Finn



F-250 CrewCab SRW LWB 4x2
 Overall Length
 Overall Width
 Overall Body Height
 Min Body Ground Clearance
 Track Width
 Lock-to-lock time

21.867ft
 6.658ft
 6.392ft
 0.583ft
 6.658ft
 5.00s



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 1270 N. Winchester
 Olathe, Kansas 66061
 (913) 993-1155
 Fax (913) 993-1165
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PLANNING
 ENGINEERING
 IMPLEMENTATION



TRUCK TURN PLAN
 SCOOTER'S DRIVE THRU KIOSK
 LEE'S SUMMIT, JACKSON COUNTY, MISSOURI
 SITUS ADDRESS: 707 NE RICE ROAD

PROJECT NO.	210028	No.	Date	Revisions:	By	App.
DATE	03-31-2021	DRAWN	CHL			
CHECKED	DAF	APPROVED	JDC			
CORPORATE	DATE OF AUTHORIZATION					
LAND SURVEYING	- LS-82					
ENGINEERING	- E-361					
CERTIFICATE	DATE OF AUTHORIZATION					
LAND SURVEYING	2007010128					
ENGINEERING	2007030308					

SHEET
C2.2



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1270 N. Winchester
Olathe, Kansas 66061
(913) 993-1155
Fax: (913) 993-1165
www.philipsengineering.com



ENLARGED GRADING PLAN
SCOOTER'S DRIVE THRU KIOSK
LEE'S SUMMIT, JACKSON COUNTY, MISSOURI
SITUS ADDRESS: 707 NE RICE ROAD

Revisions:	No.	Date	By	App.

PROJECT NO. 210028
DATE: 03-31-2021
DRAWN: JCH
CHECKED: DAF
APPROVED: JCC
CREATED: 03-31-2021
LAND SURVEYING - LS-82
ENGINEERING - E-361
CREATED: 03-31-2021
LAND SURVEYING - LS-82
ENGINEERING - E-361

SHEET
C3

SITE GRADING NOTES:

- CONTOURS AND ELEVATIONS: Existing and proposed contours are shown on plans at one foot (1') contour intervals, unless otherwise noted. Proposed contours and elevations shall represent approximate finish grade. Contractor shall hold down subgrades to allow for pavement and sub-base thicknesses.
- If the contractor does not accept existing topography as shown on the plans, without exception, he shall have made at his expense, a topographic survey by a registered land surveyor and submit it to the owner for review.
- CLEARING AND GRUBBING: Prior to beginning preparation of subgrade, all areas under pavements or building shall be stripped of all topsoil, vegetation, large rock fragments (greater than 6 inches in any dimension) and any other deleterious material. The actual stripping depth should be based on visual examination during construction and the results of proof-rolling operations. The root systems of all trees (not designated to remain) shall be removed in their entirety. Stripping materials shall not be incorporated into structural fills.
- TOPSOIL STRIPPING: Prior to the start of site grading, the contractor shall strip all topsoil from areas to be graded, and stockpiled at a location on or adjacent to the site as directed by the owner. At completion of grading operations and related construction, the contractor will be responsible for redistribution of topsoil over all areas disturbed by the construction activities. Topsoil shall be placed to a minimum depth of six inches (6") and in accordance with specifications for landscaping. At that time, and prior to the installation of landscaping or irrigation, all topsoil graded areas shall be visually inspected and accepted by the owner and I.T.L.
- Contractor shall adjust and/or cut existing pavement as necessary to assure a smooth fit and continuous grade. Contractor shall assure positive drainage away from buildings for all natural and paved areas.
- SUBGRADE PREPARATION: Prior to placement of new fill material, the existing subgrade shall be proofrolled and approved under the direction of the Geotechnical Engineer or his representative.
- PROOFROLLING: Subsequent to completion of stripping and over-excavation, all building and pavement areas to receive engineered fill should be systematically proof-rolled using a tandem axle dump truck loaded to approximately 20,000 pounds per axle. Also, any finished subgrade areas to receive paving shall be proof-rolled within 48 hours of paving. Unsuitable soils that are detected and that can not be recompacted should be over-excavated and replaced with controlled structural fill.
- EARTHWORK:
 - GEOTECHNICAL: All earthwork shall conform to the recommendations of the Geotechnical report. Said report and its recommendations are herein incorporated into the project requirements by reference. Prior to beginning construction, the contractor shall obtain a copy of and become familiar with the geotechnical report. Unless specifically noted on the plans, the recommendations in the geotechnical report are hereby incorporated into the project requirements and specifications.
 - SURFACE WATER: Surface water shall be intercepted and diverted during the placement of fill.
 - FILLS: All fills shall be considered controlled or structural fill and shall be free of vegetation, organic matter, topsoil and debris. In areas where the thickness of the engineered fill is greater than five, feet building and pavement construction should not commence until so authorized by the on-site geotechnical engineer to allow for consolidation.
 - BUILDING SUBGRADE: As specified in the Geotechnical Engineering Report, the upper section of building subgrade shall consist of Low Volume Change (LVC) material defined as approved, compacted granular fill or low to moderate plasticity cohesive soil materials stabilized with Class C Flyash. Granular fill shall consist of compacted granular materials with a maximum particle size of two (2) inches or less, such as limestone screenings. Refer to geotechnical report for complete requirements.
 - EXISTING SLOPES: Where fill material is to be placed on existing slopes greater than 5:1 (horizontal to vertical), existing slope shall be benched providing a minimum vertical face of twelve inches (12"). The benches should be cut wide enough to accommodate the compaction equipment. Fill material shall be placed and compacted in horizontal lifts not exceeding nine inches (9") (loose lift measurement), unless otherwise approved by the Geotechnical Engineer.
 - COMPACTION REQUIREMENTS: The upper 9 inches of pavement subgrade areas shall be compacted to a minimum density of ninety five percent (95%) of the material's maximum dry density as determined by ASTM D698 (standard proctor compaction). The moisture content at the time of placement and compaction shall within a range of 0% below to 4% above optimum moisture content as defined by the standard proctor compaction procedure. The moisture contents shall be maintained within this range until completion of the work. Where compaction of earth fill by a large roller is impractical or undesirable, the earth fill shall be hand compacted with small vibrating rollers or mechanical tampers.
- All cut or fill slopes shall be 3:1 or flatter. All asphalt parking areas shall be a minimum of 1% slope but not more than 5% slope unless otherwise noted. All pavements within ADA parking areas shall not exceed 2% total slope. All grades around building shall be held down 6" from finish floor and slope away another 6" in 10 feet. Contractor shall notify engineer prior to final subgrade construction of any areas not within this slope requirement.
- TESTING AND INSPECTION: Owner's Independent Testing Laboratory (ITL) shall make tests of earthwork during construction and observe the placement of fills and other work performed on this project to verify that work has been completed in accordance with Geotechnical Engineering Report, Project Specifications and within industry standards. The ITL will be selected by the owner and the cost of testing will be the owner's responsibility.
- CLASSIFICATION: All excavation shall be considered unclassified. No separate or additional payments shall be made for rock excavation.
- PERMANENT RESTORATION: All areas disturbed by earthwork operations shall be sodded, unless shown otherwise by the landscaping plan or erosion control plan.
- UTILITIES: The contractor is specifically cautioned that the location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies, and where possible, measurements taken in the field. The information is not to be relied on as being exact or complete. The contractor must call the appropriate utility companies at least 48 hours before any excavation to request exact field location of utilities. It shall be the responsibility of the contractor to relocate all existing utilities which conflict with the proposed improvements shown on the plans.
- LAND DISTURBANCE: The contractor shall adhere to all terms & conditions as outlined in the EPA or applicable state N.P.D.E.S. permit for storm water discharge associated with construction activities. Refer to project S.W.P.P.P. requirements.

BENCHMARK:

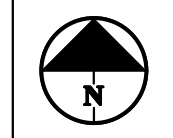
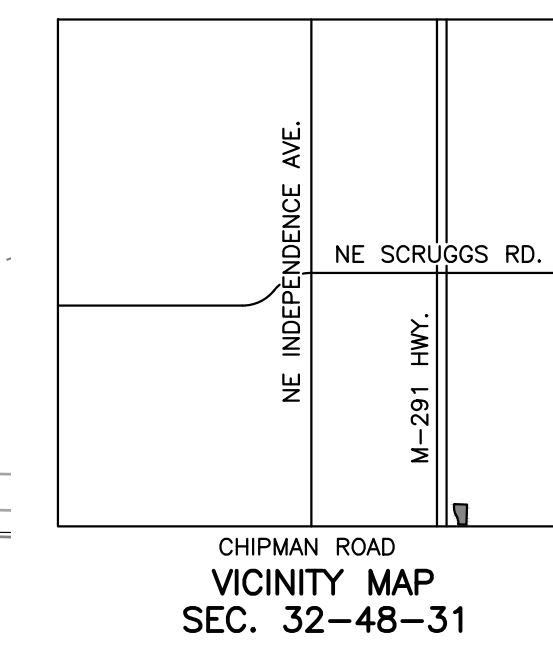
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ELEVATION = 987.14
 - SET "1" CUT IN SOUTHWEST CORNER OF BACK OF CURB IN ADJACENT PARKING LOT TO THE NORTH AT NORTHWEST CORNER OF SURVEYED PROPERTY.
ELEVATION = 990.19

FLOOD NOTE:

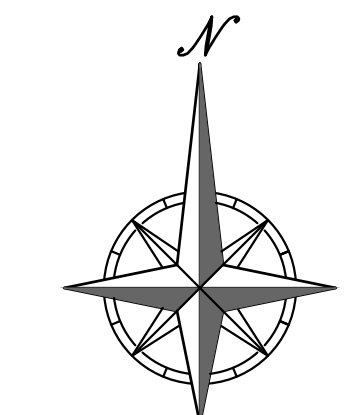
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LEGEND

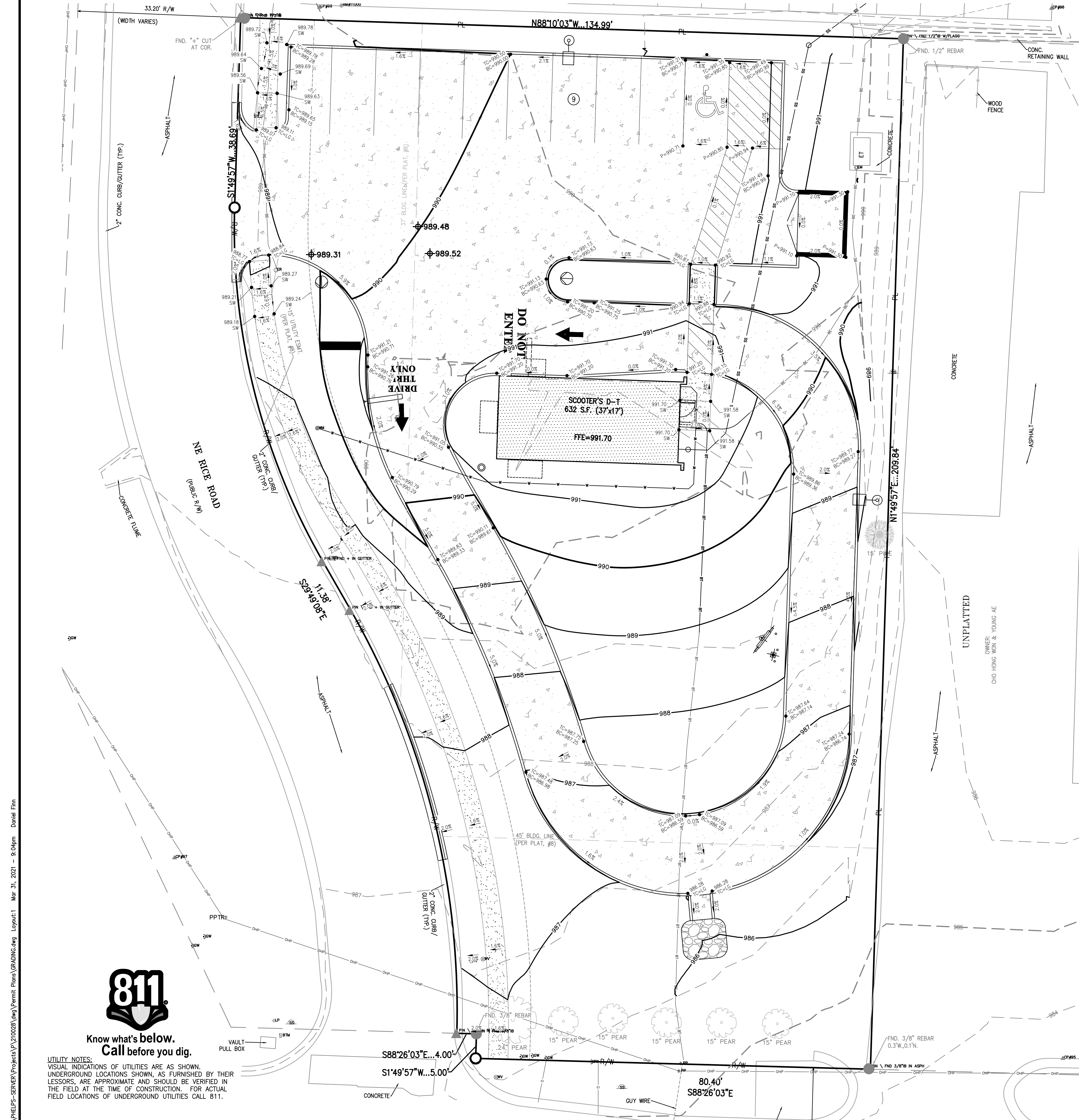
- PL — PROPERTY LINE
- LL — LOT LINE
- R/W — RIGHT-OF-WAY
- 2' CURB & GUTTER
- 920 — EXISTING CONTOURS
- 915 — EXISTING CONTOURS
- 910 — EXISTING CONTOURS
- 905 — EXISTING CONTOURS
- 900 — EXISTING CONTOURS
- 895 — EXISTING CONTOURS
- 890 — EXISTING CONTOURS
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- LG — LIP OF GUTTER
- TC — TOP OF CURB
- SW — SIDEWALK
- ME — MATCH EXISTING
- HP — HIGH POINT
- LP — LOW POINT
- TP — TOP OF PAVEMENT
- TS — TOP OF STEPS
- TE — TOP OF STRUCTURE
- GR — GROUND ELEVATION
- BS — BOTTOM OF STEPS
- TS — TOP OF STEPS
- BW — BOTTOM OF WALL
- TW — TOP OF WALL
- — EXISTING STORM SEWER
- — PROPOSED STORM PIPE
- — PROPOSED RETAINING WALL



SCALE: 1"=2000'



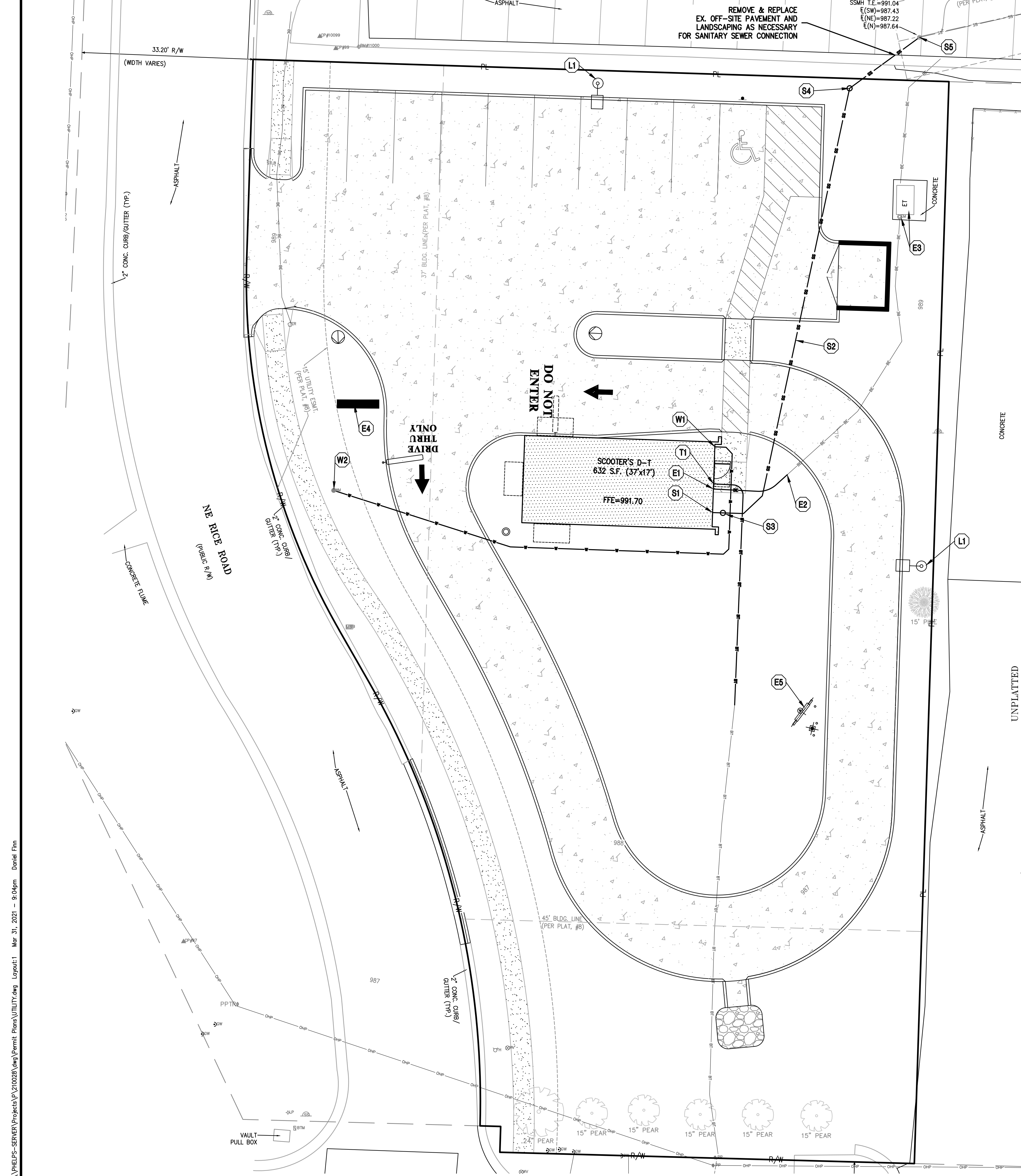
SCALE: 1"=10'
0' 10' 20'



Know what's below.
Call before you dig.

UTILITY NOTES:
VISUAL INDICATIONS OF UTILITIES ARE AS SHOWN.
UNDERGROUND LOCATIONS SHOWN, AS FURNISHED BY THEIR LESSORS, ARE APPROXIMATE AND SHOULD BE VERIFIED IN THE FIELD AT THE TIME OF CONSTRUCTION. FOR ACTUAL FIELD LOCATIONS OF UNDERGROUND UTILITIES CALL 811.

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REMOVE & REPLACE EX. OFF-SITE PAVEMENT AND LANDSCAPING AS NECESSARY FOR SANITARY SEWER CONNECTION

SSMH T.E.=991.04
 F(SW)=987.43
 F(NC)=987.22
 F(N)=987.64

LEGEND

PL	PROPERTY LINE
LL	LOT LINE
R/W	RIGHT-OF-WAY
CTV	EXISTING CABLE TELEVISION LINE
FO	EXISTING FIBER OPTIC LINE
G	EXISTING GAS LINE
BE	EXISTING BURIED ELECTRIC LINE
OP	EXISTING OVERHEAD POWER LINE
OH	EXISTING OVERHEAD TELEPHONE LINE
SS	EXISTING SANITARY SEWER LINE (& SIZE)
ST	EXISTING BURIED TELEPHONE LINE
W	EXISTING WATER LINE (& SIZE)
CTV	PROPOSED CABLE TELEVISION LINE
FO	PROPOSED FIBER OPTIC LINE
G	PROPOSED GAS LINE
BE	PROPOSED BURIED ELECTRIC LINE
SS	PROPOSED SANITARY SEWER LINE
OP	PROPOSED OVERHEAD POWER LINE
ST	PROPOSED BURIED TELEPHONE LINE
W	PROPOSED WATER LINE (& SIZE)
ST	PROPOSED ROOF DRAIN (& SIZE)

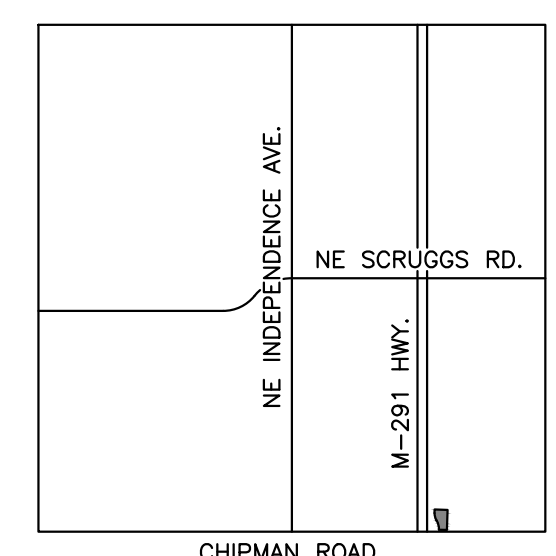
BENCHMARK:

- VERTICAL DATUM = NAVD88 BASED ON GPS OBSERVATION USING MODOT VRS
- FOUND "1" CUT IN CONCRETE SIDEWALK AT SOUTHWEST CORNER OF ADJACENT PROPERTY. ELEVATION = 987.14
 - SET "1" CUT IN NORTHWEST CORNER OF BACK OF CURB IN ADJACENT PARKING LOT TO THE SOUTH AT NORTHWEST CORNER OF SURVEYED PROPERTY. ELEVATION = 990.19

UTILITY KEY NOTES:

- E1 ELECTRIC ENTRY INTO BUILDING. FOLLOW ELECTRIC COMPANY REQUIREMENTS (RE: BUILDING ELECTRIC PLAN).
- E2 FOLLOW ELECTRIC COMPANY WORK ORDER AND SPECIFICATIONS FOR PRIMARY ELECTRICAL SERVICE ROUTING AND CONNECTION TO EXISTING.
- E3 EXISTING METER AND TRANSFORMER TO BE USED IN PLACE. COORDINATE WITH LOCAL UTILITY PROVIDER.
- E4 CONTRACTOR TO COORDINATE ROUTING OF CONDUITS FOR POWER TO MONUMENT SIGN (RE: SITE LIGHTING PLAN).
- E5 CONTRACTOR TO COORDINATE ROUTING OF CONDUITS FOR POWER TO ORDER MENU BOARD (RE: SITE LIGHTING PLAN).
- L1 EXISTING LIGHT POLES AND BASES TO BE REPLACED. REFER TO SITE LIGHTING PLAN FOR LOCATION. ELECTRICIAN TO VERIFY ALL EXISTING PARKING LOT LIGHTS ARE ACTIVE AND RE-RUN WIRES FROM BUILDING CONTROLLER AS NECESSARY.
- S1 CONNECT SANITARY SEWER SERVICE LINE TO BUILDING PLUMBING. TRANSITION FROM 4" (INTERIOR) TO 6" (EXTERIOR) AT FOUNDATION WALL. (RE: PLUMBING PLANS). FL @ BLDG. = 988.70
- S2 INSTALL 109 L.F. 6" PVC (SDR-26) SANITARY SERVICE LINE AT 1.0% MIN. SLOPE.
- S3 INSTALL 6" SANITARY CLEAN-OUT. FC=991.20 FL=988.65
- S4 INSTALL 6" SANITARY CLEAN-OUT. FC=991.17 FL=987.60
- S6 CONNECT TO EXISTING SANITARY SEWER STUB. EXISTING STUB SIZE UNKNOWN. CONTRACTOR TO VERIFY STUB SIZE AND CONTACT ENGINEER IF EXISTING STUB IS NOT 6". EXIST. FL = 987.43 (FROM SURVEY)
- T1 CONTRACTOR IS RESPONSIBLE TO COORDINATE WITH THE TELEPHONE COMPANY FOR THE INSTALLATION OF BURIED TELEPHONE LINES. CONTRACTOR TO PROVIDE TWO (2) - 4" PVC SCH. 40 CONDUIT WITH PULL STRING FROM BUILDING TO TELEPHONE FEED POINT. CONTRACTOR TO VERIFY EXACT ROUTING & FEED POINT WITH TELEPHONE COMPANY.
- W1 1" DOMESTIC WATER LINE ENTRY TO BUILDING. CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING ANY APPURTENANCES ON THE DOMESTIC LINE SUCH AS BACKFLOW PREVENTION DEVICES (RE: BUILDING PLANS), GATE VALVES, REDUCERS, BENDS, TEES, ETC., WHICH MAY BE REQUIRED. CONTRACTOR TO COORDINATE WITH WATER UTILITY.
- W2 CONTRACTOR TO USE IN PLACE EXISTING WATER METER (COORDINATE WITH LOCAL UTILITY PROVIDER). CONTRACTOR TO COORDINATE AND PAY ALL FEES. ALL LABOR AND MATERIALS SHALL BE PROVIDED AND INSTALLED BY THE CONTRACTOR'S PLUMBER IN ACCORDANCE WITH WATER UTILITY STANDARDS.

UNPLATTED



UTILITY NOTES:

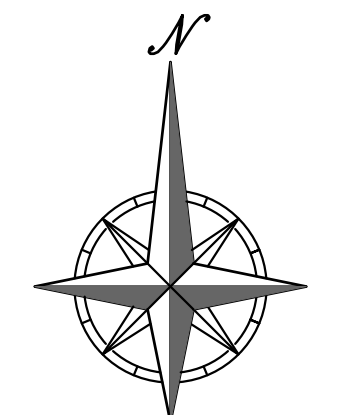
- The contractor is specifically cautioned that the location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies, and where possible, measurements taken in the field. The information is not to be relied on as being exact or complete. The contractor must call the appropriate utility companies at least 48 hours before any excavation to request exact field location of utilities. It shall be the responsibility of the contractor to coordinate with and relocate &/or remove all existing utilities which conflict with the proposed improvements shown on the plans.
- The construction of storm sewers on this project shall conform to the requirements of the City's Technical Specifications and Design Criteria.
- The contractor shall field verify the exact location and elevation of the existing storm sewer lines and the existing elevation at locations where the proposed storm sewer collects or releases to existing ground. If discrepancies are encountered from the information shown on the plans, the contractor shall contact the design engineer. No pipes shall be laid until direction is received from the design engineer.
- It will be the contractor's responsibility to field adjust the top of all manholes and boxes as necessary to match the grade of the adjacent area. Tops of existing manholes shall be raised if necessary to be flush with proposed pavement elevations, and to be 6-inches above finished ground elevations in non-paved areas. No separate or additional compensation will be made to the contractor for making final adjustments to the manholes and boxes.
- Inlet locations, horizontal pipe information and vertical pipe information is shown to the center of the structure. Deflection angles shown for storm sewer pipes are measured from the center of curb inlets and manholes. The contractor shall adjust the horizontal location of the pipes to go to the face of the boxes. All roof drains shall be connected to storm sewer structures. Provide cleanouts on roof drain lines at 100' max. Spacing and at all bend points. Do not connect roof drains directly to storm sewer pipe.
- The contractor shall be responsible for furnishing and installing all fire and domestic water lines, meters, backflow devices, pits, valves and all other incidentals required for a complete operable fire protection and domestic water system. All costs associated with the complete water system for the buildings shall be the responsibility of the contractor. All work shall conform to the requirements of the City.
- The contractor shall be responsible for furnishing and installing all sanitary sewer service lines from the buildings to the public line. All work shall conform to the requirements of the City.
- The contractor will be responsible for securing all permits, bonds and insurance required by the contract documents, City, and all other governing agencies (including local, county, state and federal authorities) having jurisdiction over the work proposed by these construction documents. The cost for all permits bonds and insurance shall be the contractor's responsibility and shall be included in the bid for the work.
- By the use of these construction documents the contractor hereby agrees that he/she shall be solely responsible for the safety of the construction workers and the public. The contractor agrees to hold the engineer and owner harmless for any and all injuries, claims, losses or damages related to the project.
- The Contractor shall be responsible for furnishing all materials, tools and equipment and installation of electrical power, telephone, power, service lines and gas service from a point of connection from the public utility lines to the building structures. This will include all conduits, service lines, meters, concrete pads and all other incidentals required for a complete and operational system as required by the owner and the public utilities. Refer to building plans for exact tie-in locations of all utilities. Contractor shall verify connection points prior to installation of utility line.
- All fill material is to be in place, compacted, and consolidated before installation of proposed utilities. On-site geotechnical engineer shall provide written confirmation that this requirement has been met and that utilities may proceed in the fill areas. All utilities are to be placed in trench conditions.
- Contractor shall notify the utility authorities inspectors 48 hours before connecting to any existing line.
- Water lines shall be as follows (unless otherwise shown on plans):
 - Pipe sizes less than 3-inches that are installed below grade and outside building shall comply with the following:
 - Seamless Copper Tubing: Type "K" soft copper, ASTM B88.
 - Fittings: Wrought copper (95.5 Tin Antimony solder joint), ASME B 16.22.
 - Pipe sizes 3-inches through 48-inches that are installed below grade and outside building shall comply with one of the following:
 - Cray Cast Iron Water Pipe: ANSI A21.6, thickness class 52.
 - Fittings: Either mechanical joint or push_on joint, AWWA C110 or AWWA C111.
 - Elastomeric gaskets and lubricant: ASTM F477.
 - Cement Mortar Lining, AWWA C104.
 - Ductile Iron Water Pipe: AWWA C151, thickness class 50.
 - Fittings: Either mechanical joint or push_on joint, AWWA C110 or AWWA C111.
 - Elastomeric gaskets and lubricant: ASTM F477.
 - Cement Mortar Lining, AWWA C104.
 - Polyvinyl Chloride (PVC) Water Pipe: Pipe, AWWA C900, rated DR 18 (Class 150), continuously marked as required.
 - Elastomeric gaskets and lubricant: ASTM F477 for smaller pipes.
 - Pipe joints: Integrally molded bell ends, ASTM D3139.
 - Trace wire: Magnetic detectable conductor, (#12 Copper) brightly colored plastic covering imprinted with "Water Service" in large letters.
- Minimum trench width shall be 2 feet.
- Contractor shall maintain a minimum of 42" cover on all waterlines. All water line joints are to be mechanical joints with thrust blocking as called out in specifications and construction plans. Water mains and service lines shall be constructed in accordance to waterline's specifications for commercial services.
- All waterlines shall be kept min. ten (10') apart (parallel) from sanitary sewer lines or manholes. Or when crossing, on 24" vertical clearance (outside edge of pipe to outside edge of pipe) of the water line above the sewer line is required.
- Sanitary conflicts will be resolved prior to permit issuance.
- In the event of a vertical conflict between waterlines, sanitary lines, storm lines and gas lines (existing and proposed), the sanitary line shall be ductile iron pipe with mechanical joints at least 10 feet on both sides of crossing (or encased in concrete this same distance), the waterline shall have mechanical joints with appropriate thrust blocking as required to provide a minimum of 24" clearance. Meeting requirements of ANSI A21.10 or ANSI 21.11 (AWWA C-151) (CLASS 50).
- All underground storm, sanitary, water and other utility lines shall be installed, inspected and approved before backfilling. Failure to have inspection approval prior to backfill will constitute rejection of work.
- All necessary inspections and/or certifications required by codes and/or utility service companies shall be performed prior to announced building possession and the final connection of service. Contractor shall coordinate with all utility companies for installation requirements and specifications.
- Refer to building plans for site lighting electrical plan, irrigation, parking lot security system and associated conduit requirements. Coordinate with Owner that all required conduits are in place & tested prior to paving.
- When a building utility connection from site utilities leading up to the building cannot be made immediately, temporarily mark all such site utility terminations.
- Refer to the building plans for site lighting electrical requirements, including conduits, pole bases, pull boxes, etc.

UTILITY COMPANIES:

MISSOURI GAS ENERGY LUCAS WALLS (LUCAS.WALLS@SUG.COM) 3025 SOUTHEAST CLOVER DRIVE LEE'S SUMMIT, MO 64082	(816) 969-2218
EVERGY PHILLIP INGRAM (PHILLIP.INGRAM@KCPL.COM) RON DEJARNETTE (RON.DEJARNETTE@KCPL.COM) 1300 HAMLEN ROAD LEE'S SUMMIT, MO 64081	(816) 347-4339 (816) 347-4316
SEWER & WATER (CITY OF LEE'S SUMMIT) GENE WILLIAMS (PUBLICWORKS@CITYOFLS.NET) 220 SE GREEN STREET LEE'S SUMMIT, MO 64063	(816) 969-1800
WATER (CITY OF LEE'S SUMMIT) MIKE WEISENBORN (PUBLICWORKS@CITYOFLS.NET) 220 SE GREEN STREET LEE'S SUMMIT, MO 64063	(816) 969-1240
AT&T (913) 383-4929 MR. CLAYTON ANSPAUGH (CA4089@ATT.COM) 9444 NALL AVENUE OVERLAND PARK, KANSAS 66207	(913) 383-4849-FAX
GOOGLE FIBER	
BLUEBIRD	
TIMWARNER	



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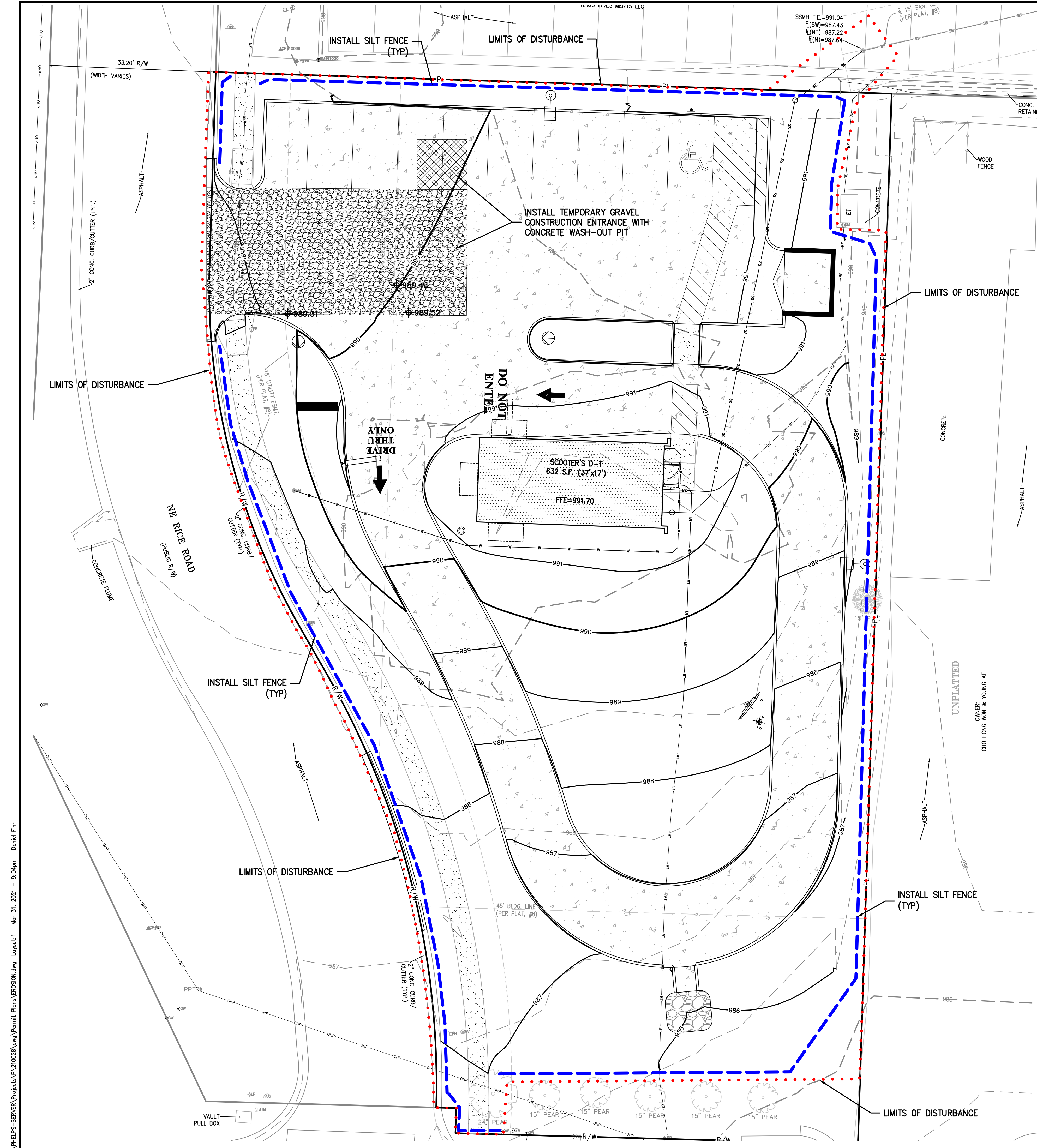
PHELPS ENGINEERING, INC.
 1570 N. Winchester
 Olathe, Kansas 66061
 (913) 393-3155
 Fax: (913) 393-1166
 www.phelpsengineering.com



UTILITY PLAN
 SCOOTER'S DRIVE THRU KIOSK
 LEE'S SUMMIT, JACKSON COUNTY, MISSOURI
 SITUS ADDRESS: 707 NE RICE ROAD

Project No.	Date	By	App.	Revisions:
210028				
DATE: 03-31-2021				
CHECKED: DAF				
APPROVED: JDC				
CERTIFICATE OF AUTHORIZATION				
LAND SURVEYING - LS-80				
ENGINEERING - E-361				
CERTIFICATE OF AUTHORIZATION				
LAND SURVEYING - 200700128				
ENGINEERING - 200700338				

SHEET
C4



EROSION AND SEDIMENT CONTROL GENERAL NOTES:

- Prior to Land Disturbance activities, the contractor shall:
 - Delineate the outer limits of any tree or stream preservation designated to remain with construction fencing.
 - Construct a stabilized entrance/parking/delivery area and install all perimeter sediment controls on the site.
 - Install and request the inspection of the preconstruction erosion and sediment control measures designated on the approved erosion and sediment control plan.
 Land disturbance work shall not proceed until there is a satisfactory inspection.
- Erosion and sediment control devices protecting the public right-of-way shall be installed as soon as the right-of-way has been backfilled and graded.
- The contractor shall comply with all requirements of City Ordinances or State permit requirements, such as:
 - The contractor shall seed, mulch, or otherwise stabilize any disturbed area where the land disturbance activity has ceased for more than 14 days.
 - The contractor shall perform inspections of erosion and sediment control measures at least once every 14 days and within 24 hours following each rainfall event of 1/2" or more within any 24-hour period.
 - The contractor shall maintain an inspection log including the inspector's name, date of inspection, observations as to the effectiveness of the erosion and sediment control measures, actions necessary to correct deficiencies, when the deficiencies were corrected, and the signature of the person performing the inspection. The log shall be available for review by the City, the State of Kansas, or other authorities having jurisdiction.
- The contractor shall maintain installed erosion and sediment control devices on a manner that preserves their effectiveness for preventing sediment from leaving the site or entering a sensitive area such as a natural stream corridor, tree preservation areas of the site intended to be left undisturbed, a storm sewer, or an on-site drainage channel. Failure to do so is a violation of the provisions of City Ordinances and State permit requirements.
- The contractor is responsible for providing erosion and sediment control for the duration of a project. If the City determines that the BMP's in place do not provide adequate erosion and sediment control at any time during the project, the contractor shall install additional or alternate measures that provide effective control.
- Concrete wash or rinsewater from concrete mixing equipment, tools and/or ready-mix trucks, tools, etc., may not be discharged into or be allowed to run directly into any existing water body or storm inlet. One or more locations for concrete wash out will be designated on site, such that discharges during concrete washout will be contained in a small area where waste concrete can solidify in place and excess water evaporated or infiltrated into the ground.
- Chemicals or materials capable of causing pollution may only be stored onsite in their original container. Materials store outside must be in closed and sealed water-proof containers and located outside of drainageways or areas subject to flooding. Locks and other means to prevent or reduce vandalism shall be used. Spills will be reported as required by law and immediate actions taken to contain them.

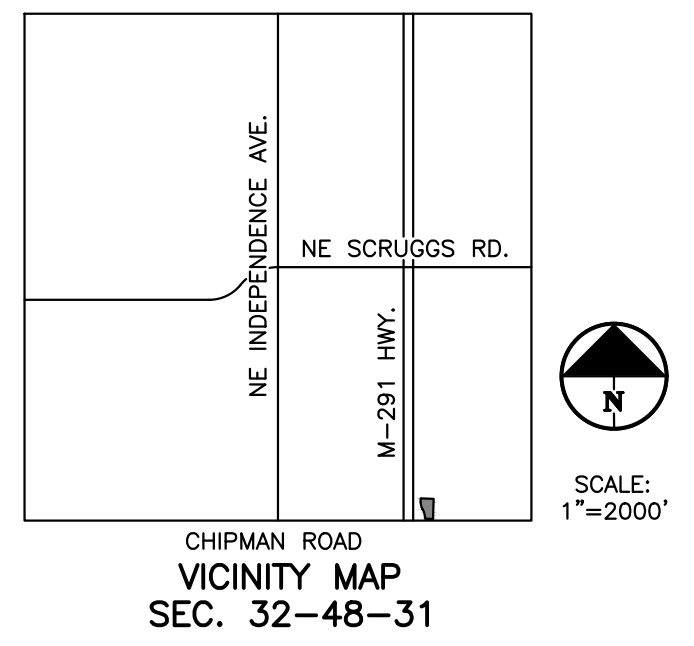
MAINTENANCE: ALL MEASURES STATED ON THIS EROSION AND SEDIMENT CONTROL PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON IN ACCORDANCE WITH THE CONTRACT DOCUMENTS OR THE APPLICABLE PERMIT, WHICHEVER IS MORE STRINGENT, AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:

- INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING, OR DETERIORATION.
- ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED, AND RESEEDED AS NEEDED.
- SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-THIRD THE HEIGHT OF THE SILT FENCE.
- THE CONSTRUCTION ENTRANCES SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION ENTRANCES AS CONDITIONS DEMAND.
- THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AS CONDITIONS DEMAND.

LEGEND

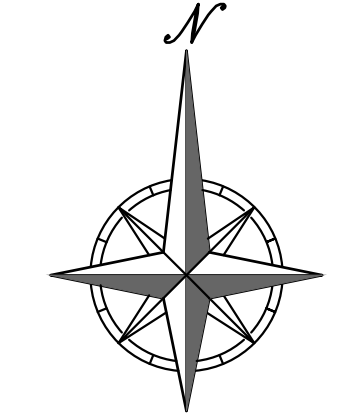
- STABILIZED ROCK ENTRANCE
- LIMITS OF DISTURBED AREA
- PROPOSED SILT FENCE

DISTURBED AREA = 0.5± ACRES



**Know what's below.
Call before you dig.**

UTILITY NOTES:
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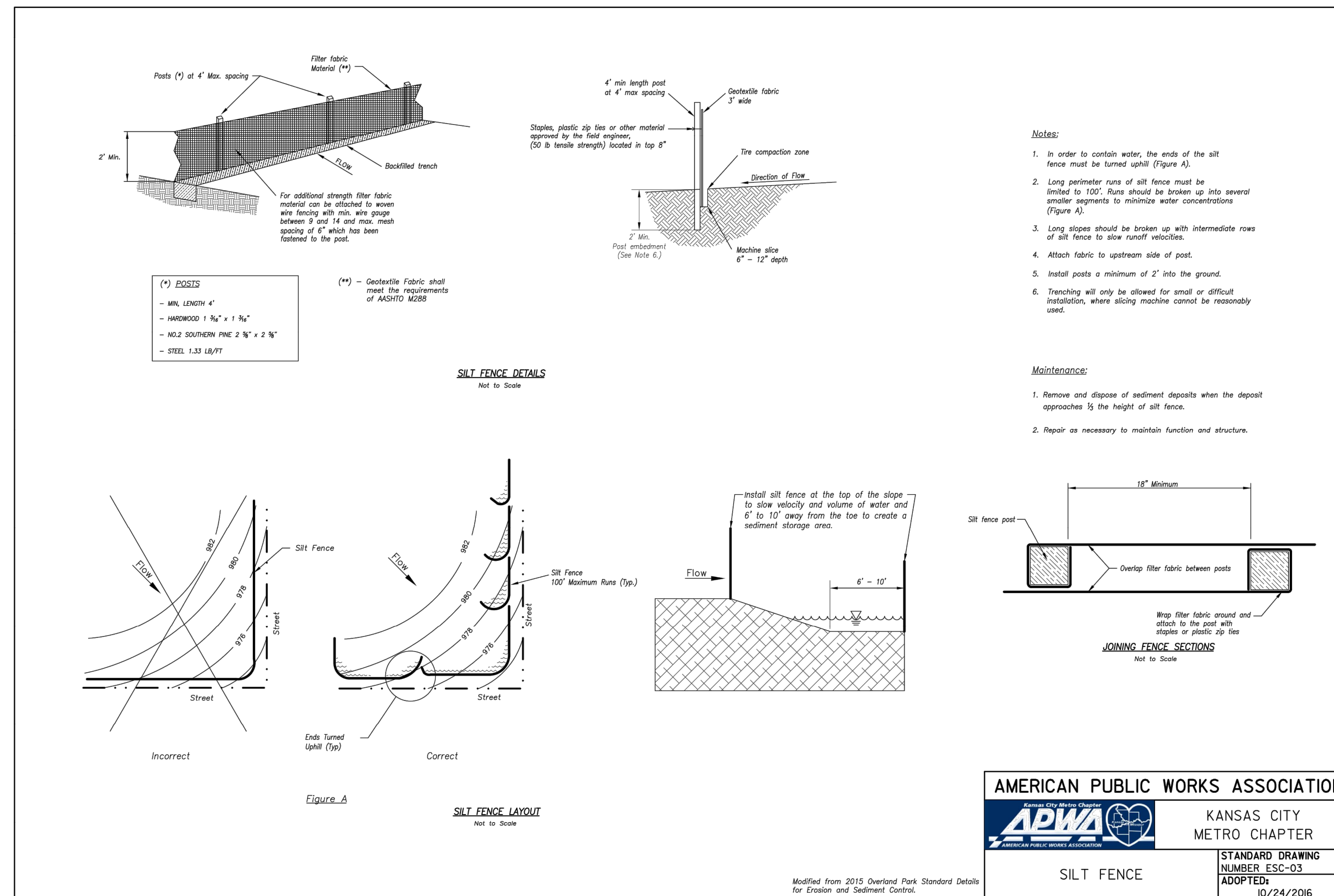
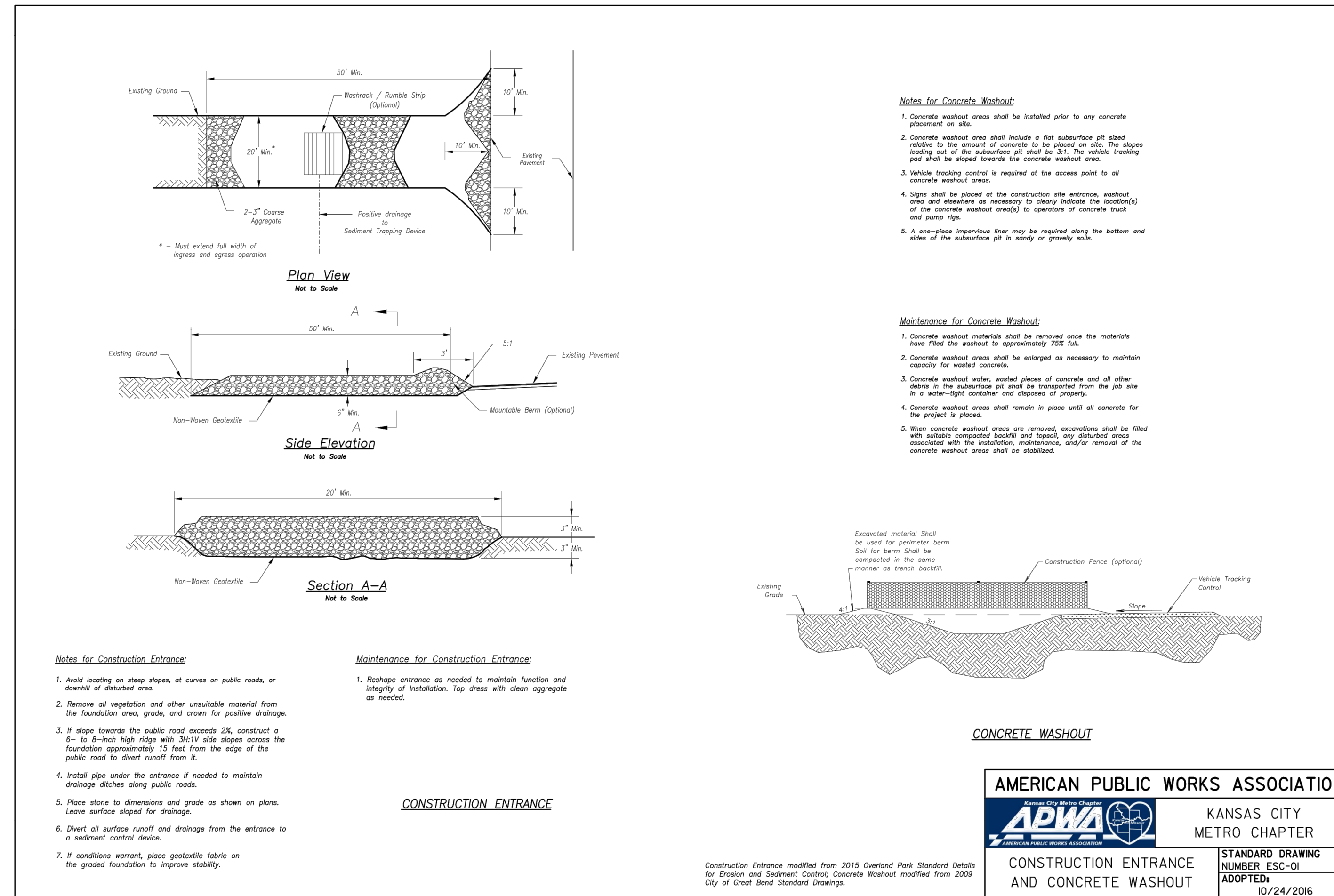
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EROSION CONTROL PLAN
SCOOTER'S DRIVE THRU KIOSK
LEE'S SUMMIT, JACKSON COUNTY, MISSOURI
SITUS ADDRESS: 707 NE RICE ROAD

Project No.	Date	By	App.
210028			
DATE: 03-31-2021	DRAWN: CHL		
CHECKED: DAF	APPROVED: JCC		
CORPORATE SEAL OF AUTHORIZATION			
LAND SURVEYING - LS-82			
ENGINEERING - E-361			
CERTIFICATE OF AUTHORIZATION			
LAND SURVEYING: 200700128			
ENGINEERING: 200300308			

SHEET
C5



Project No.	210028	Date	By	App.
Checked	DAF			
Drawn	JDC			
Author	JDC			
Checker	DAF			
Permit	DAF			
Scale	AS SHOWN			
Notes				
Revisions:				

PROJECT NO.	DATE	BY	APP.	REVISIONS
21002B	03-31-2021	DR/CHL		
		CHECKED: DAF	APPROVED: JDC	
		CERTIFICATE OF AUTHORIZATION		
		LAND SURVEYING - LS-82		
		ENGINEERING - E-361		
		CERTIFICATE OF AUTHORIZATION		
		LAND SURVEYING - LS-82		
		ENGINEERING - E-361		

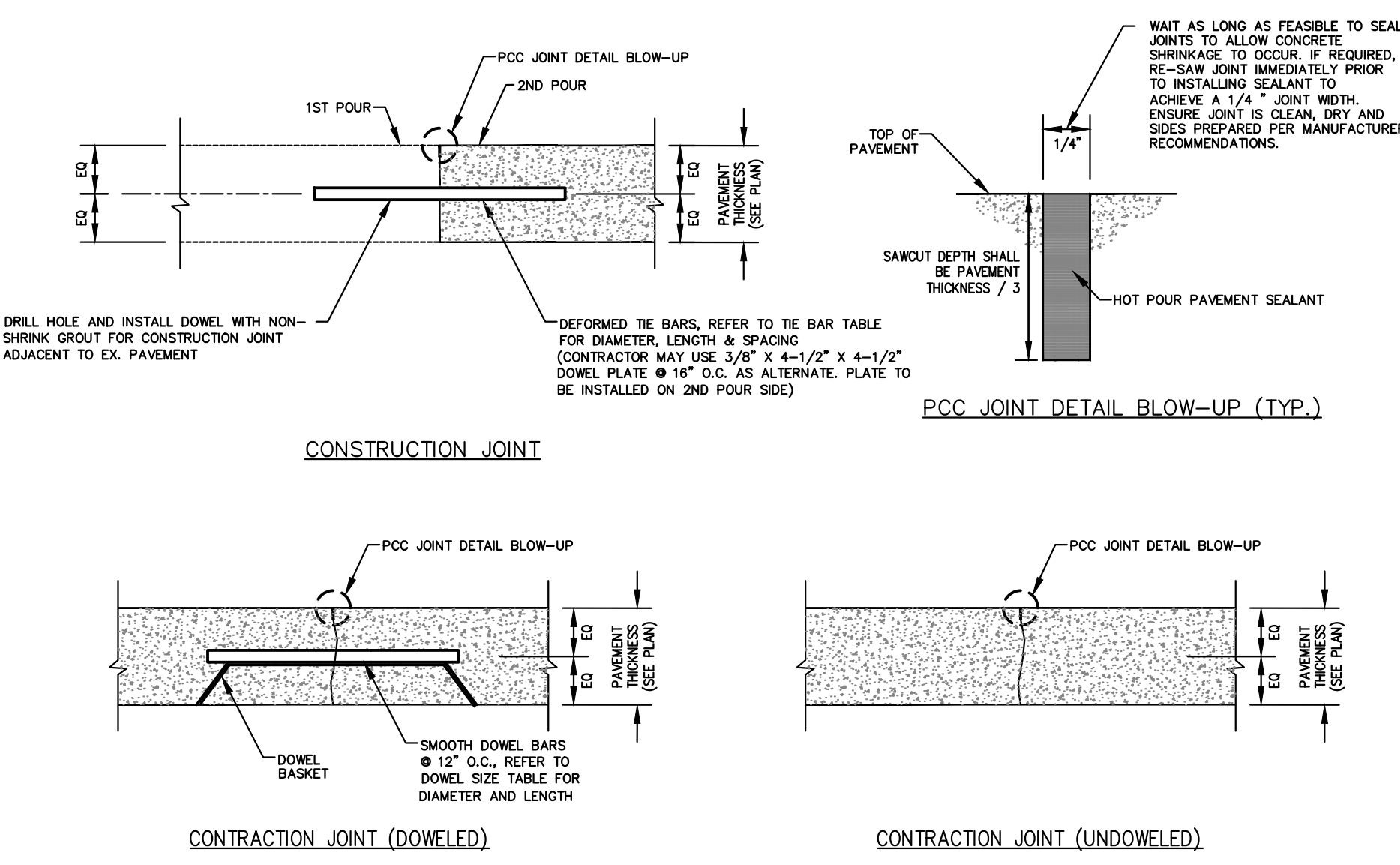
Dowel size*

Slab depth, in. (mm)	Dowel diameter, in. (mm)	Dowel embedment, in. (mm)	Total dowel length, in. (mm)
5 (125)	5/8 (16)	5 (125)	12 (300)
6 (150)	3/4 (19)	6 (150)	14 (360)
7 (180)	7/8 (22)	6 (150)	14 (360)
8 (200)	1 (25)	6 (150)	14 (360)
9 (230)	1-1/8 (29)	7 (180)	16 (400)

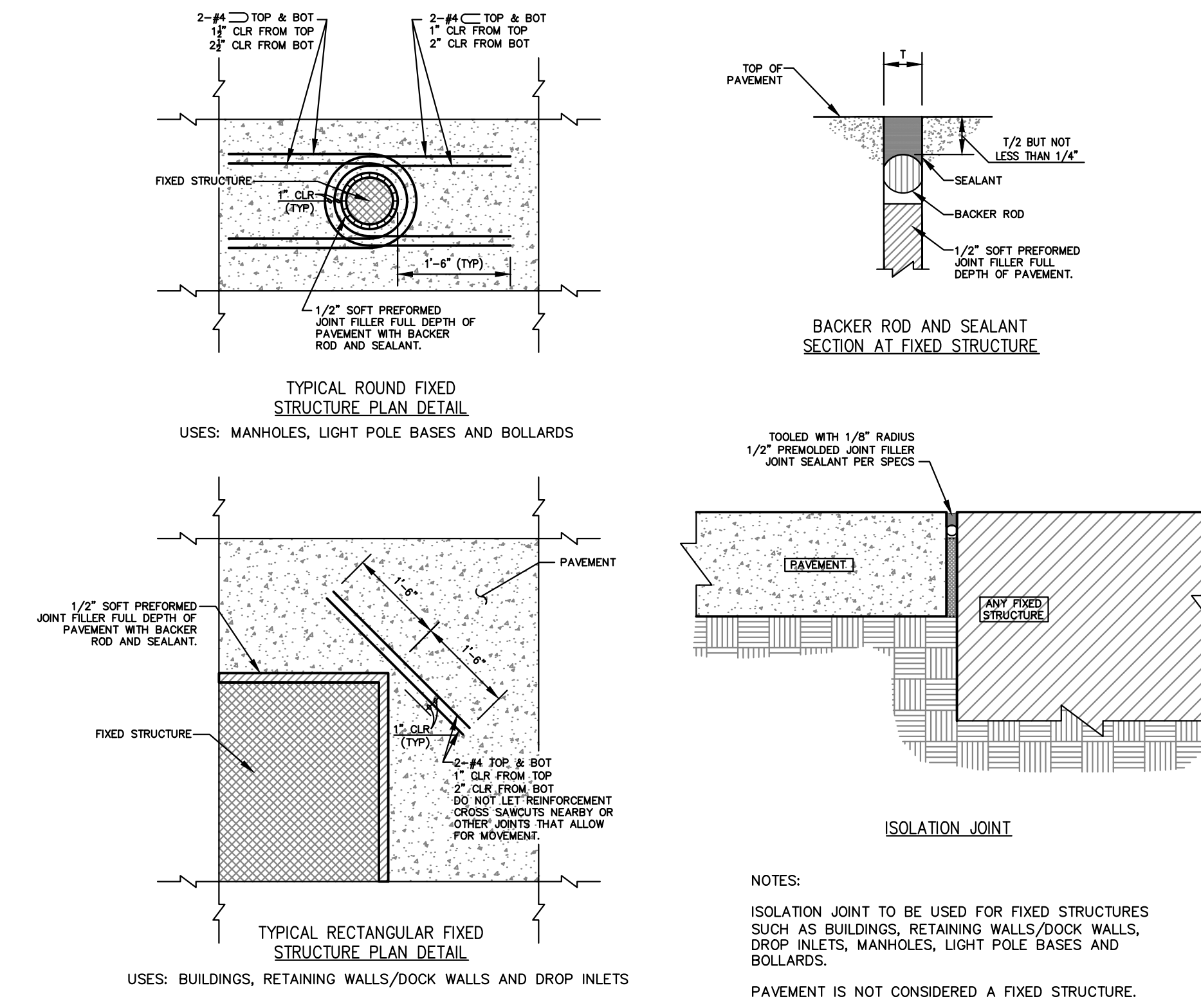
*All dowels spaced at 12 in. (300 mm) centers.
*On each side of joint.

Tie bar dimensions

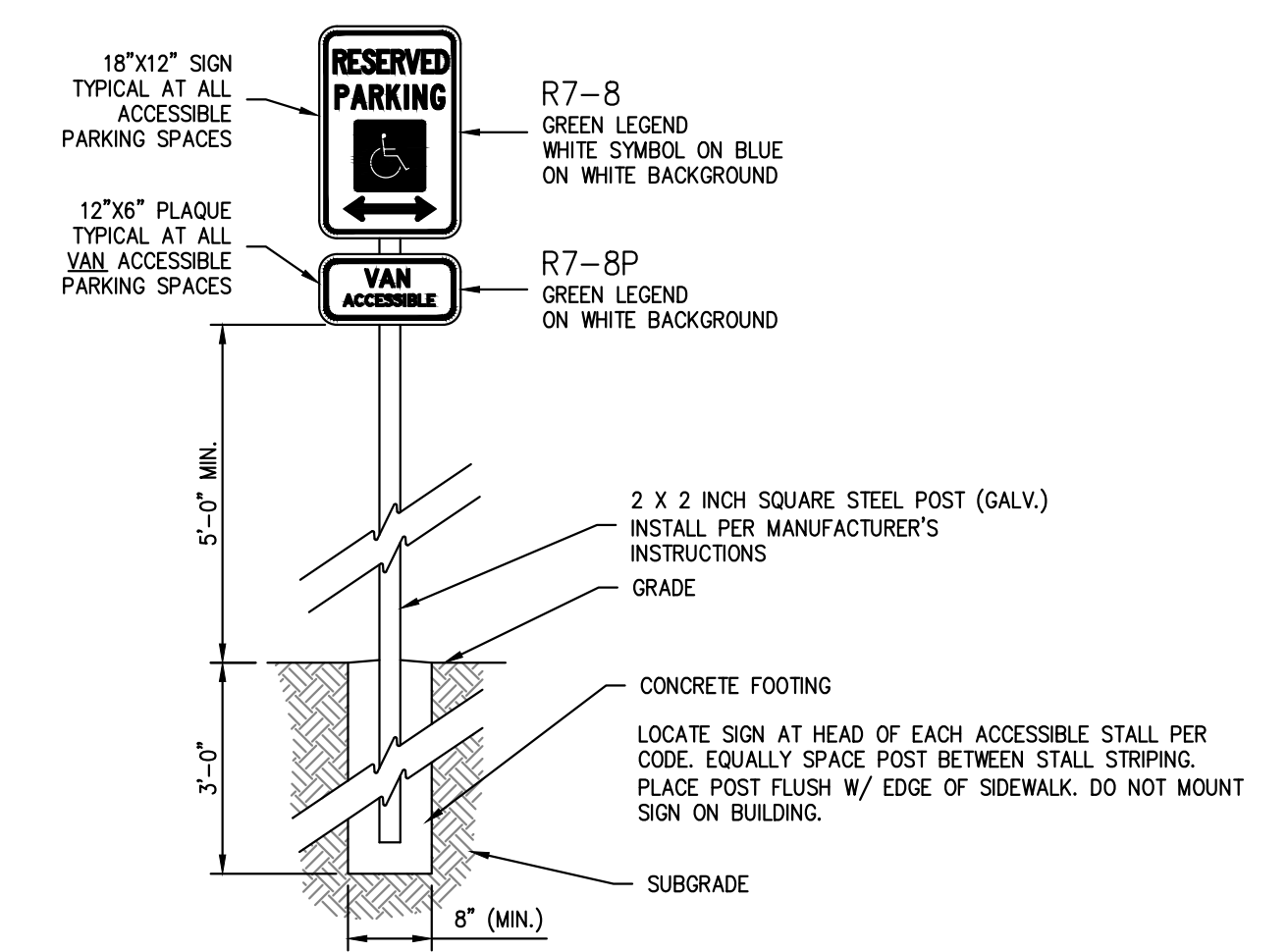
Slab depth, in. (mm)	Tiebar size, in. (mm)	Tiebar spacing			
		10 ft. in. (mm)	12 ft. in. (mm)	14 ft. in. (mm)	24 ft. in. (mm)
5 (125)	1/2 x 24 (13 x 610)	30 (760)	30 (760)	30 (760)	28 (710)
5-1/2 (140)	1/2 x 24 (13 x 610)	30 (760)	30 (760)	30 (760)	25 (630)
6 (150)	1/2 x 24 (13 x 610)	30 (760)	30 (760)	30 (760)	23 (580)
6-1/2 (165)	1/2 x 24 (13 x 610)	30 (760)	30 (760)	30 (760)	21 (530)
7 (180)	1/2 x 24 (13 x 610)	30 (760)	30 (760)	30 (760)	20 (510)
7-1/2 (190)	1/2 x 24 (13 x 610)	30 (760)	30 (760)	30 (760)	18 (460)
8 (200)	1/2 x 24 (13 x 610)	30 (760)	30 (760)	28 (710)	17 (430)
8-1/2 (215)	1/2 x 24 (13 x 610)	30 (760)	30 (760)	36 (910)	16 (410)
9 (230)	1/2 x 30 (13 x 760)	36 (910)	36 (910)	—	24 (610)



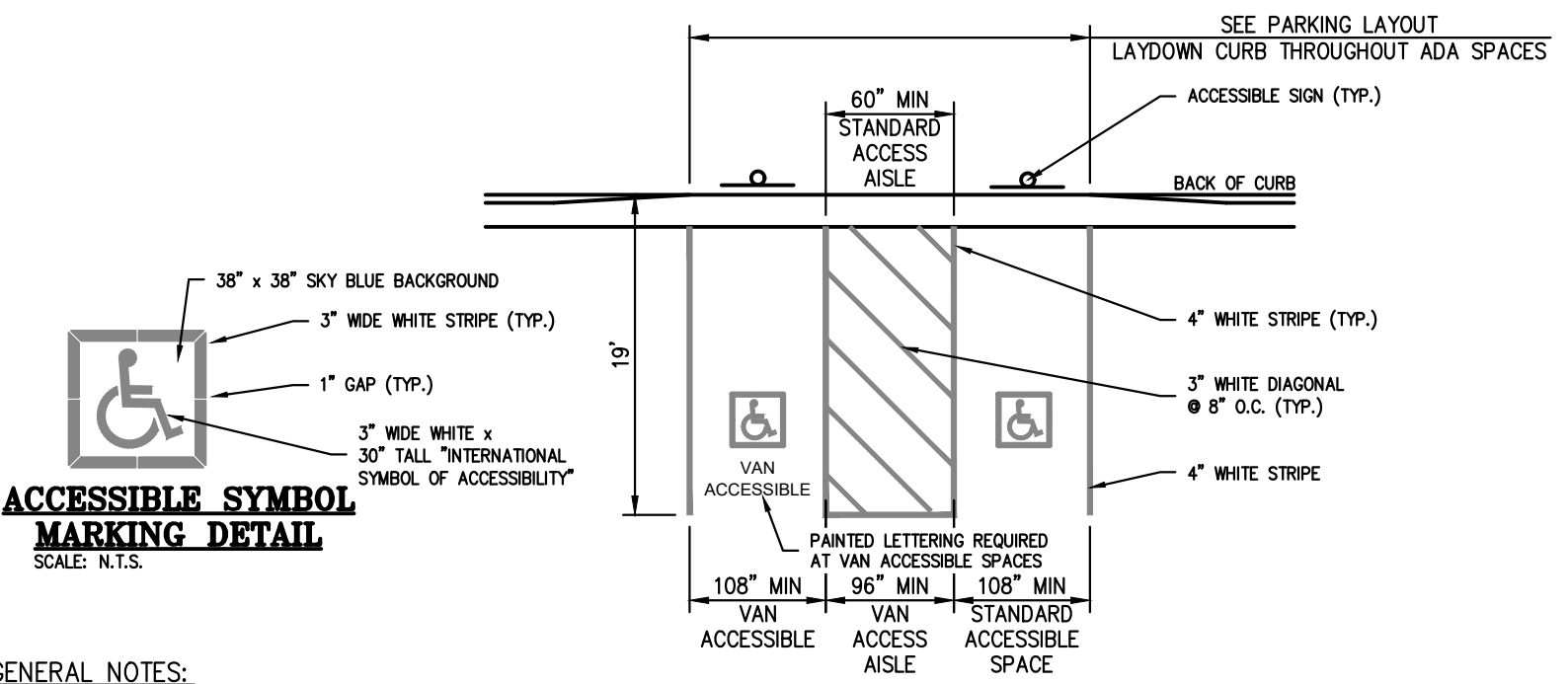
CONCRETE JOINT DETAILS
SCALE: N.T.S.



ISOLATION JOINT DETAILS
SCALE: N.T.S.

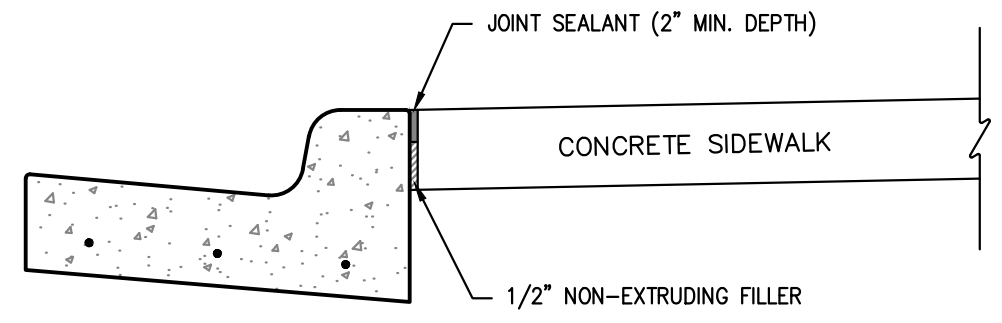


ACCESSIBLE SIGN DETAIL IN GRASS AREA
SCALE: N.T.S.



ACCESSIBLE PARKING SPACE DETAIL
SCALE: N.T.S.

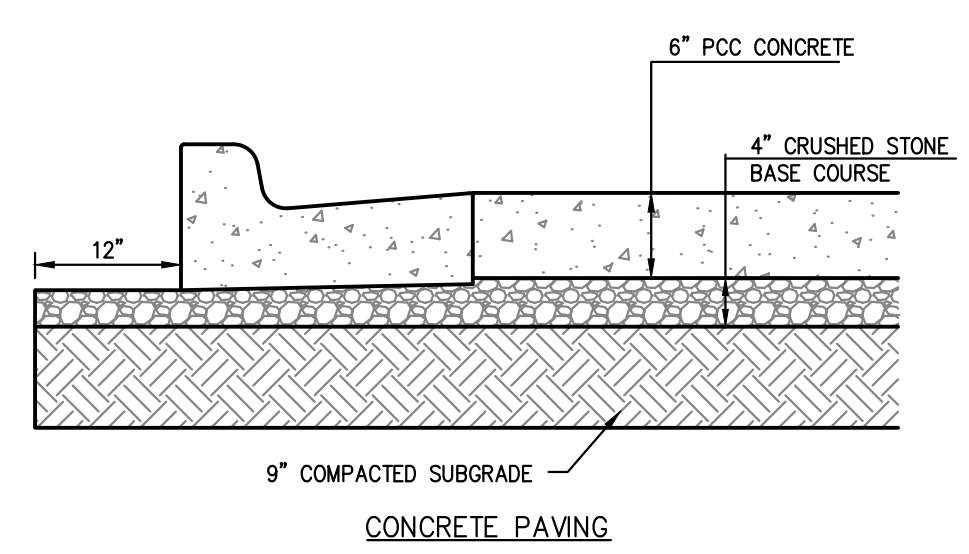
- GENERAL NOTES:**
- ALL PAVEMENT MARKINGS SHALL BE APPLIED BY A QUALIFIED CONTRACTOR HAVING A MINIMUM 3 YEARS EXPERIENCE IN TRAFFIC GRADE PAVEMENT MARKING APPLICATIONS.
 - PAINT SHALL BE A NON-BLEEDING, QUICK-DRYING, ALKYL PETROLEUM BASE PAINT SUITABLE FOR TRAFFIC-BEARING SURFACE AND SHALL MEET ITS TYP-856 & MIXED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS BEFORE APPLICATION.
 - SWEEP AND CLEAN SURFACE TO ELIMINATE LOOSE MATERIAL & DUST.
 - APPLY TWO (2) COATS OF PAINT AT MANUFACTURER RECOMMENDED RATE WITHOUT THE ADDITION OF THINNER, WITH A MAXIMUM OF 100 SQUARE FEET PER GALLON. APPLY WITH MECHANICAL EQUIPMENT TO PRODUCE UNIFORM STRAIGHT EDGES. AT SIDEWALK CURBS, AND CROSSINGS USE A STRAIGHTEDGE TO ENSURE A UNIFORM, CLEAN, & STRAIGHT STRIPE.
 - THE FOLLOWING ITEMS SHALL BE PAINTED WITH THE COLORS NOTED BELOW:
A. HANDICAP SYMBOLS: SEE DETAIL THIS SHEET.
B. PARKING STALL STRIPING: WHITE.
 - ACCESSIBLE PARKING SPACE DESIGN LAYOUT SHALL BE IN ACCORDANCE WITH CURRENT ADA REQUIREMENTS.
 - SEE SITE PLANS FOR COMPLETE PARKING LAYOUT.



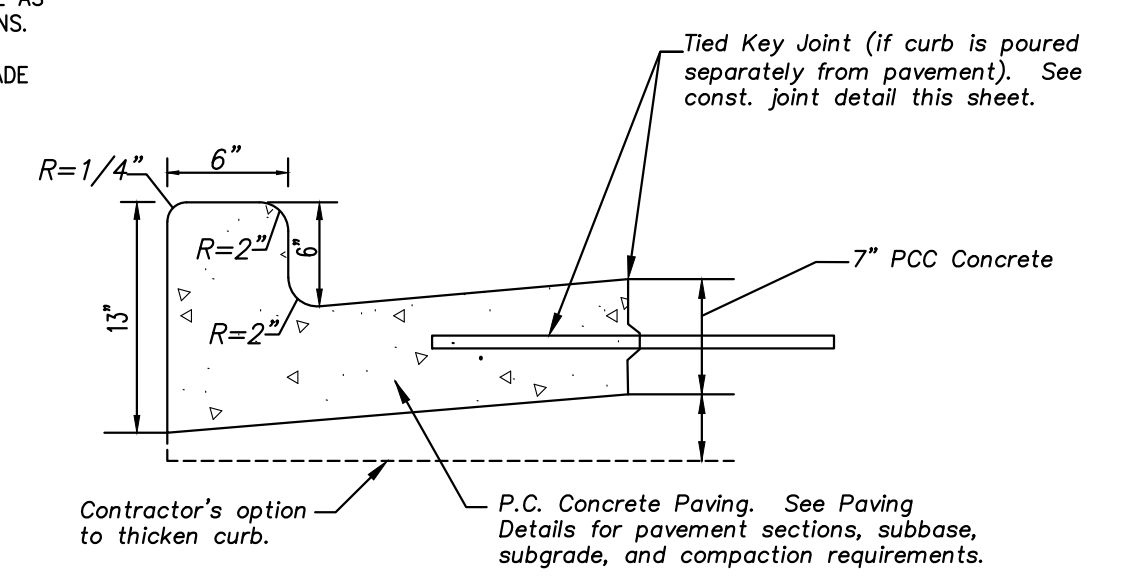
SIDEWALK AT CURB DETAIL
SCALE: N.T.S.

GENERAL PAVING NOTES:

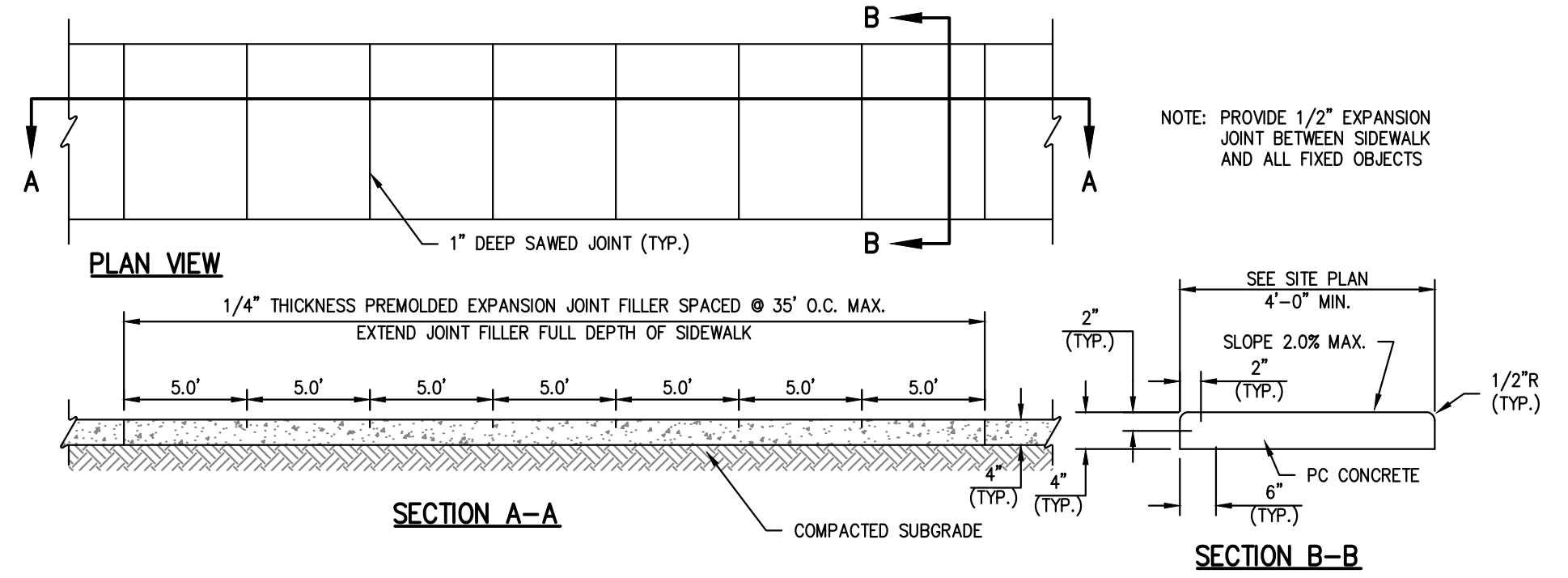
- PRIOR TO PLACEMENT OF GRANULAR BASE OR ASPHALT, PROOF ROLL AND RE-COMPACT THE EXPOSED SURFACES UP TO A MINIMUM LATERAL DISTANCE OF TWO (2) FEET OUTSIDE THE PAVEMENT. ANY LOCALIZED SOFT, WET, OR LOOSE AREAS IDENTIFIED DURING THE PROOF ROLLING SHOULD BE REPAIRED PRIOR TO PAVING. FILL MATERIAL SHOULD BE PLACED IN LOOSE LIFTS UP TO A MAXIMUM OF EIGHT (8) INCHES IN THICKNESS AND COMPACTED TO AT LEAST 95% OF THE MAXIMUM DRY DENSITY IN ACCORDANCE WITH ASTM D698 AT MOISTURE CONTENTS WITHIN 0% AND +4% OF THE OPTIMUM FOR SOILS WITH A LIQUID LIMIT OF GREATER THAN 40, AND - 3% OF THE OPTIMUM FOR SOILS WITH A LIQUID LIMIT OF LESS THAN 40. MAXIMUM DRY DENSITY AND OPTIMUM MOISTURE CONTENT SHOULD BE DETERMINED BY THE STANDARD PROCTOR TEST (ASTM D 698).
- PROOFROLL WITH A 25 TON RUBBER TIRE VEHICLE AND REPAIR SUBGRADE DEFICIENCIES. IF ANY SIGNIFICANT EVENT, SUCH AS PRECIPITATION, OCCURS AFTER PROOFROLLING, THE SUBGRADE SHOULD BE REVIEWED BY QUALIFIED PERSONNEL IMMEDIATELY PRIOR TO PLACING THE PAVEMENT.
- CRUSHED STONE BASE COURSE USED BENEATH CONCRETE PAVING SHALL BE COMPACTED AB-3 OR EQUIVALENT.
- ASPHALTIC SURFACE COURSE SHALL BE APWA TYPE 3. THE SURFACE COURSE SHOULD BE COMPACTED TO A MINIMUM OF 97% MARSHALL DENSITY (ASTM SPECIFICATION D 1559). 30% RAP IS ALLOWED.
- ASPHALTIC BASE COURSE SHALL BE APWA TYPE 1. THE BASE COURSE SHOULD BE COMPACTED TO A MINIMUM OF 95% MARSHALL DENSITY (ASTM SPECIFICATION D 1559). 30% RAP IS ALLOWED.
- THE CONTRACTOR SHALL PROVIDE A TACK COAT BETWEEN LIFTS OF ASPHALT.
- ALL SITE CONCRETE (CURBS, PAVEMENTS, SIDEWALKS, ETC.) SHALL MEET KANSAS CITY MATERIALS METRO BOARD (KCMMB) MIX DESIGN SPECIFICATIONS FOR 4,000 P.S.I. AIR ENTRAINED CONCRETE.
- IN NEW PAVEMENT AREAS, CONTRACTOR SHALL OVER EXCAVATE AS REQUIRED TO ESTABLISH NEW COMPACTED SUBGRADE ELEVATIONS.
- CONTRACTOR IS RESPONSIBLE FOR ALL PAVEMENT AND SUBGRADE MATERIALS TESTING.



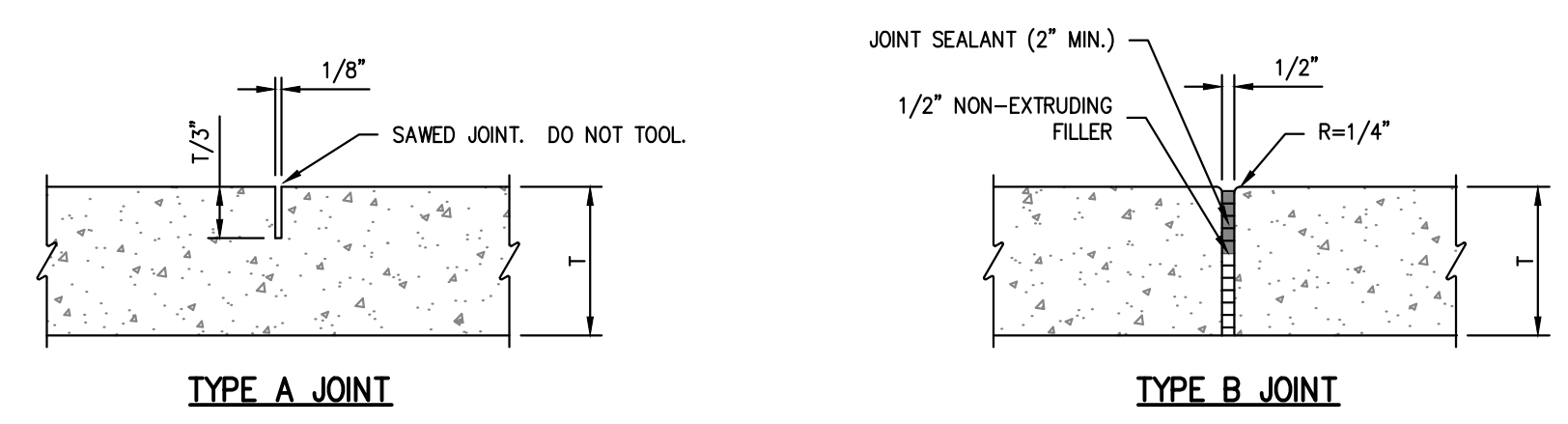
PAVING SECTIONS
SCALE: N.T.S.



MONOLITHIC CURB DETAIL
SCALE: N.T.S.



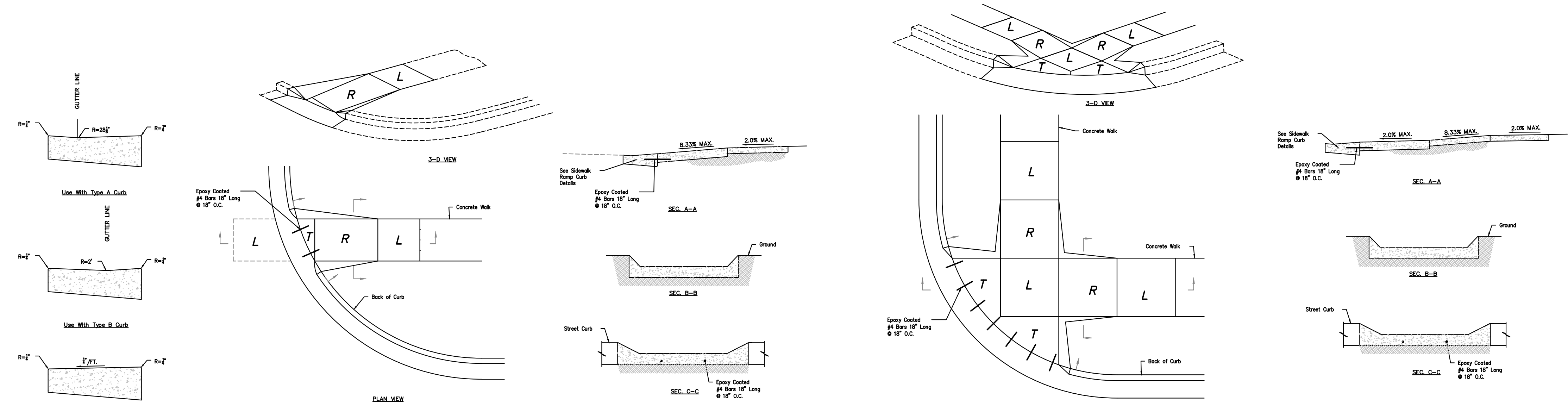
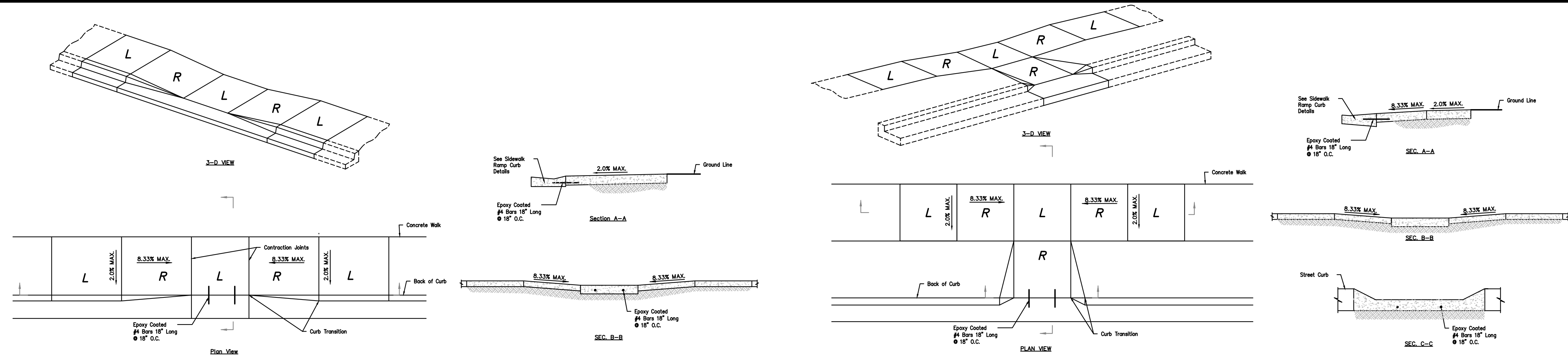
PRIVATE CONCRETE SIDEWALKS (NON REINFORCED)
SCALE: N.T.S.



CONCRETE SIDEWALK JOINT DETAILS
SCALE: N.T.S.

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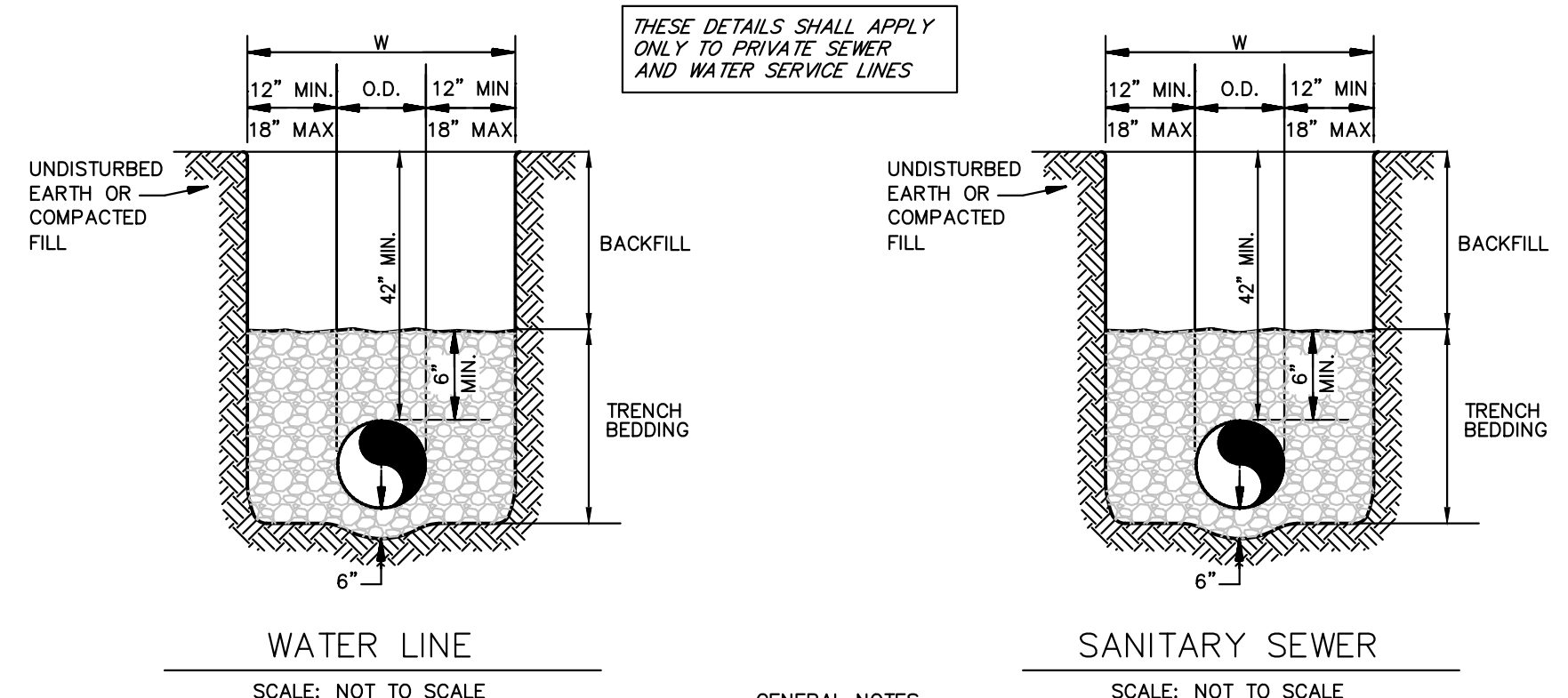


L = LANDING
 R = RAMP
 T = TRANSITION

RAMP (Required to transition elevation): Max. Longitudinal Slope = 8.33%
 Max. Cross Slope = 2.00%
 Min. Width = 5'
 Min. Length = 5'
 LANDING (Required to change direction of travel): Max. Longitudinal Slope = 2.00%
 Max. Cross Slope = 2.00%
 Min. Width = 5'
 Min. Length = 5'

PRIVATE SIDEWALK RAMPS

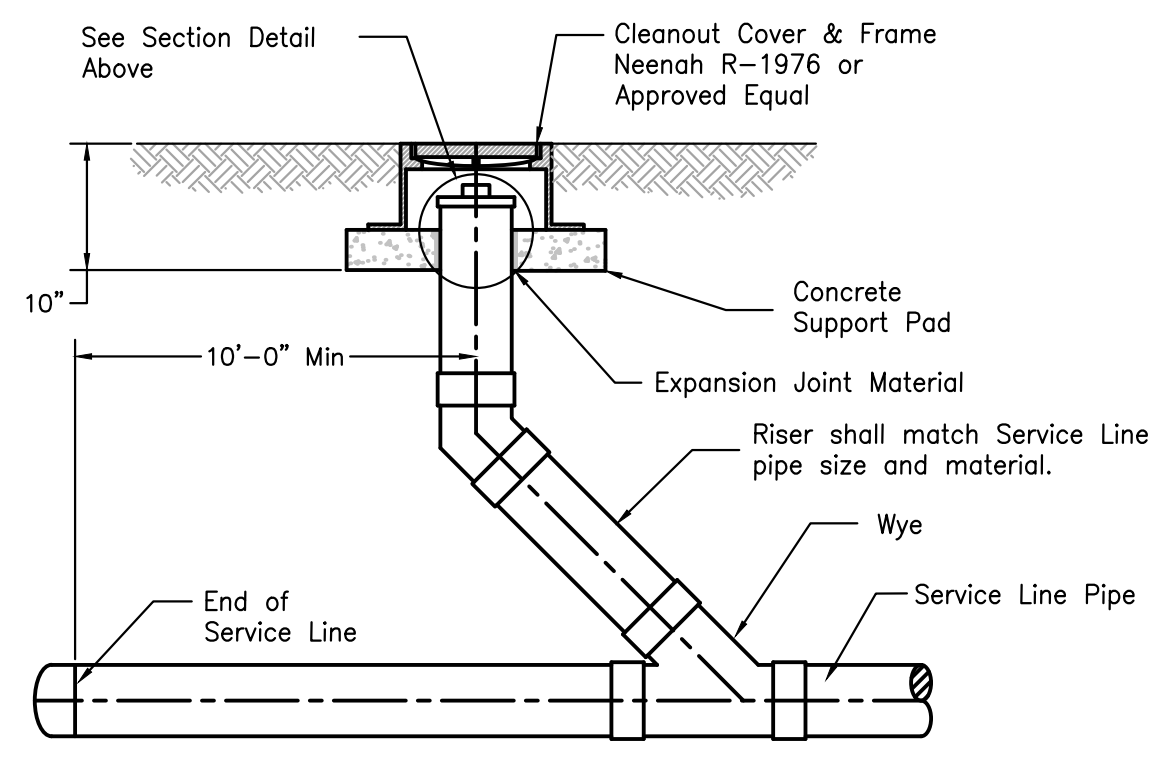
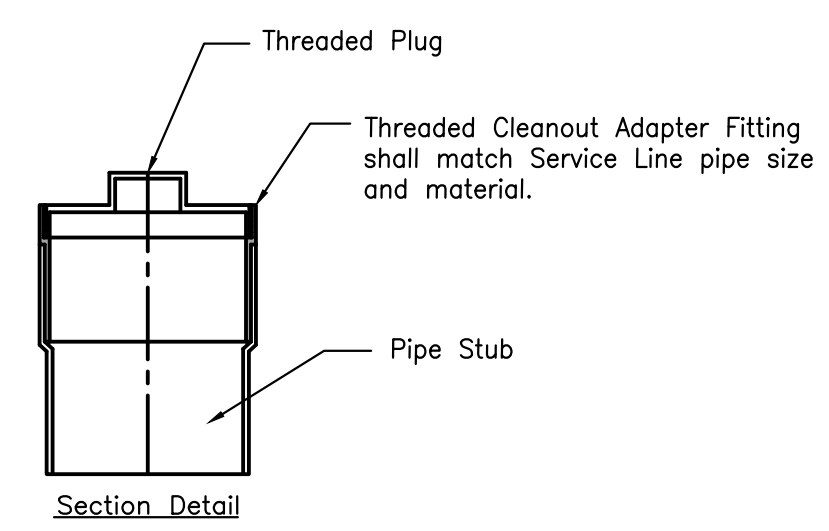
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GENERAL NOTES

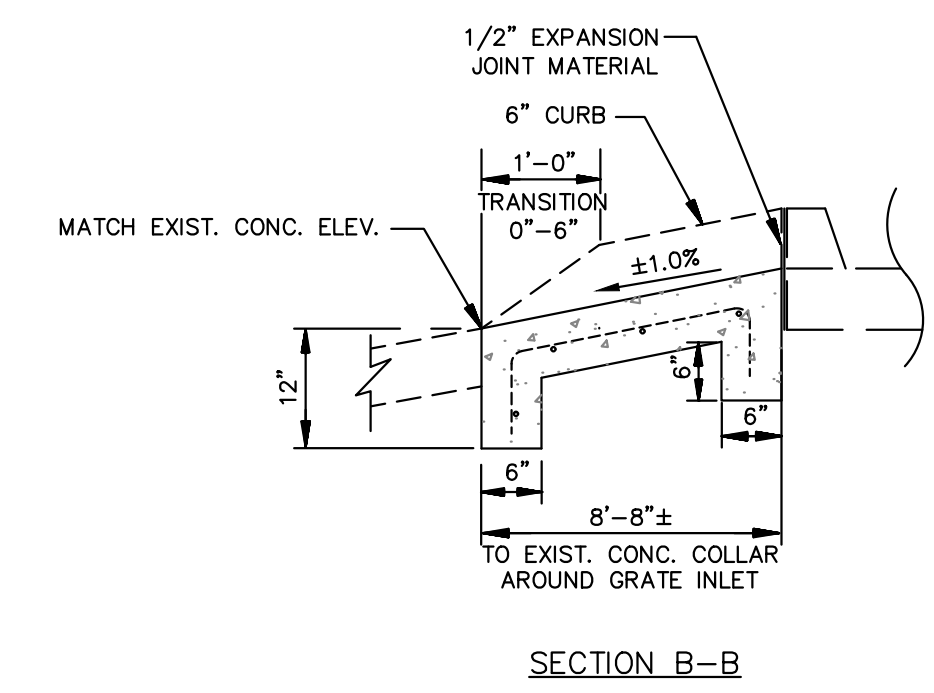
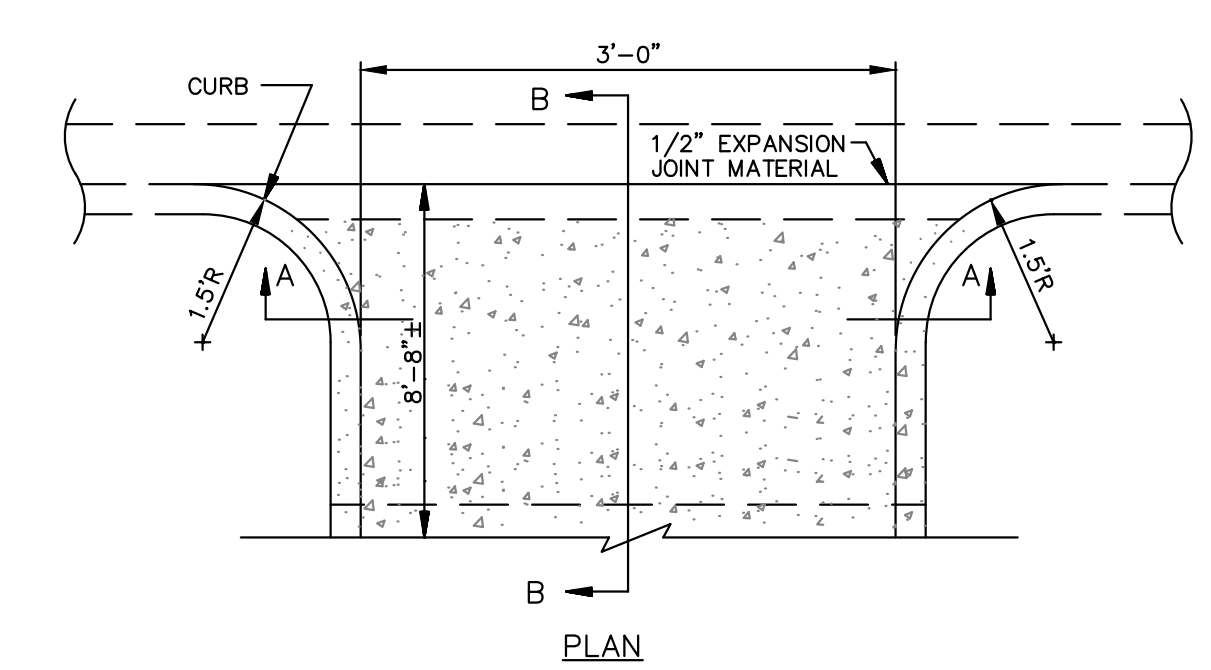
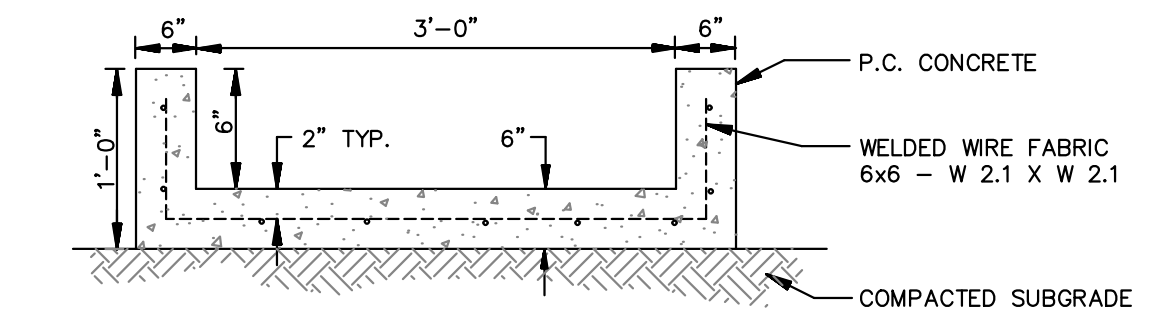
- TRENCH BEDDING**
1. GRANULAR EMBEDMENT SHALL BE KDOT STD. SPEC. SECT. 1100, PB-2 COURSE AGGREGATE FOR CONCRETE, WASHED STONE OR GRAVEL, MEETING THE FOLLOWING CONDITIONS:

SIEVE SIZE	PERCENT RETAINED
1-INCH	0-20
2-INCH	40-70
3-INCH	95-100
No. 8	
 2. GRANULAR EMBEDMENT FROM THE TOP OF PIPE DOWN SHALL BE COMPACTED TO 85% MAXIMUM DENSITY AS DETERMINED BY ASTM D 698.
 3. GRANULAR EMBEDMENT ABOVE TOP OF PIPE SHALL BE AN UN-COMPACTED LAYER FOR ALL INSTALLATIONS.
- BACKFILL**
1. ALL MATERIALS ARE CLASSIFIED IN ACCORDANCE WITH ASTM D 2321-89.
 2. ALL MATERIALS SHALL BE INSTALLED IN MAXIMUM 8" LOOSE LIFTS IN ACCORDANCE WITH ASTM D 698. CLASS III AND IV-A MATERIALS SHALL BE COMPACTED NEAR OPTIMUM MOISTURE CONTENT.
 3. FILL SALVAGED FROM EXCAVATION SHALL BE FREE OF DEBRIS, ORGANICS AND ROCKS LARGER THAN 3".
 4. ALL TRENCH EXCAVATIONS SHALL BE SLOPED, SHORED, SHEETED, BRACED, OR OTHERWISE SUPPORTED IN COMPLIANCE WITH OSHA REGULATIONS AND LOCAL ORDINANCES. (SEE SPECIFICATIONS)
- TRENCH OUTLINES DO NOT INDICATE ACTUAL TRENCH EXCAVATION SHAPE, SOIL CONDITIONS, OR PRESENCE OF SHEETING LEFT IN PLACE. EMBEDMENT MATERIAL SHALL EXTEND THE FULL WIDTH OF THE ACTUAL TRENCH EXCAVATION.



CLEANOUT DETAIL (NON-PAVED AREAS)

SCALE: N.T.S.



CONCRETE FLUME DETAIL

N.T.S.



PHILIPS ENGINEERING, INC.
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**PLANNING
ENGINEERING
IMPLEMENTATION**

PAVEMENT DETAILS
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 LEE'S SUMMIT, JACKSON COUNTY, MISSOURI
 SITUS ADDRESS: 707 NE RICE ROAD

Project No.	Date	By	App.
210028	3/31/21		

No.	Date	Revisions: