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PARAGON STAR VILLAGE

Lot 20 / HUB Building - RESUBMITTAL

March 31, 2021

1401 NW View High Drive, Lee's Summit, MO

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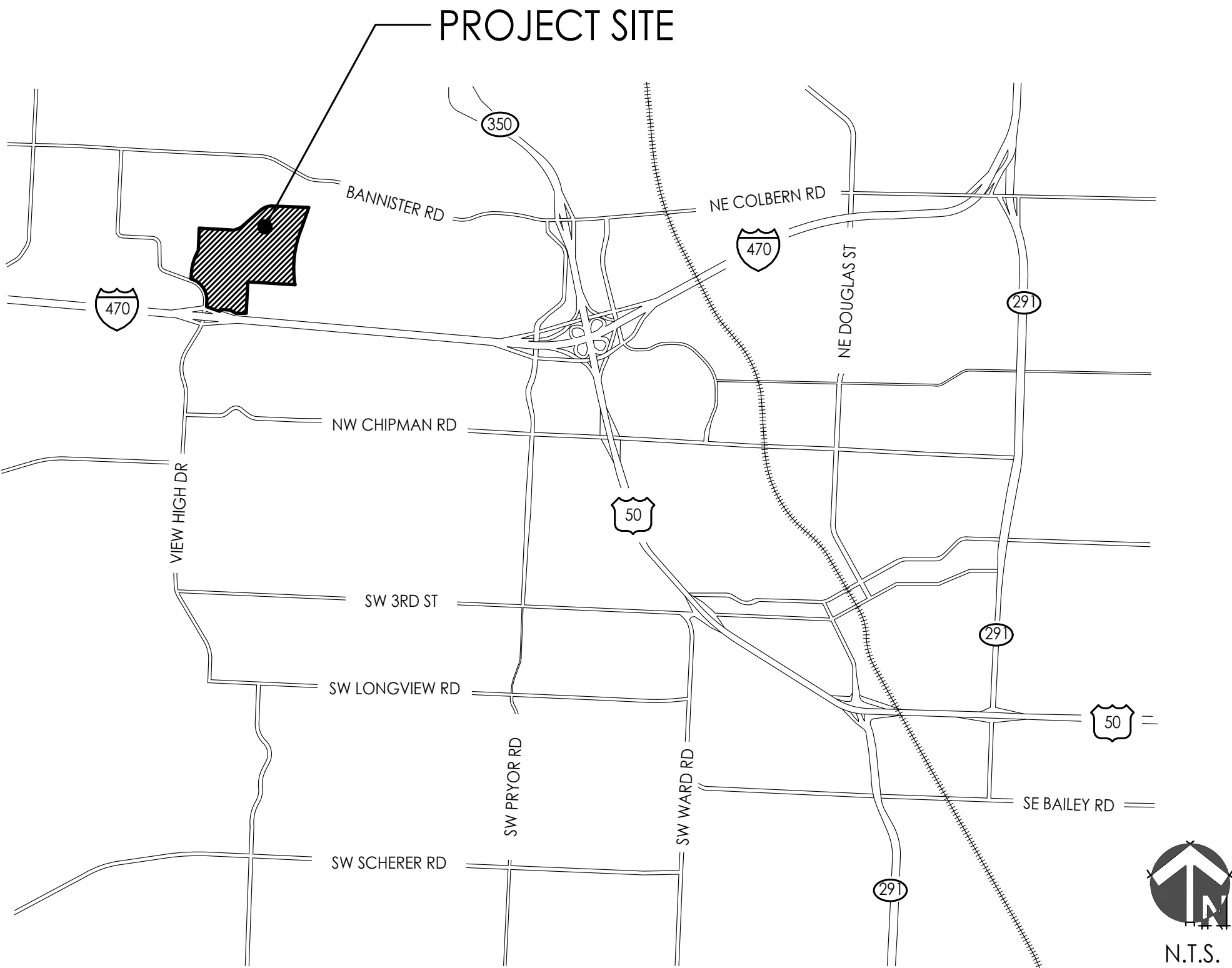
A1.01

ARCHITECTURAL SITE PLAN
- A1.02

BUILDING ELEVATIONS AND DETAILS
- LANDSCAPE

L100

PLANTING PLAN



PLANS PREPARED BY

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855.802.6800
www.paragonstarusa.com

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PROJECT:

Paragon Star Village
1401 NW View High Dr, Lee's Summit, MO 64081
Final Development Plan - Lot 20/HUB Building

ISSUE:

PROFESSIONAL SEAL:

DRAWING TITLE:

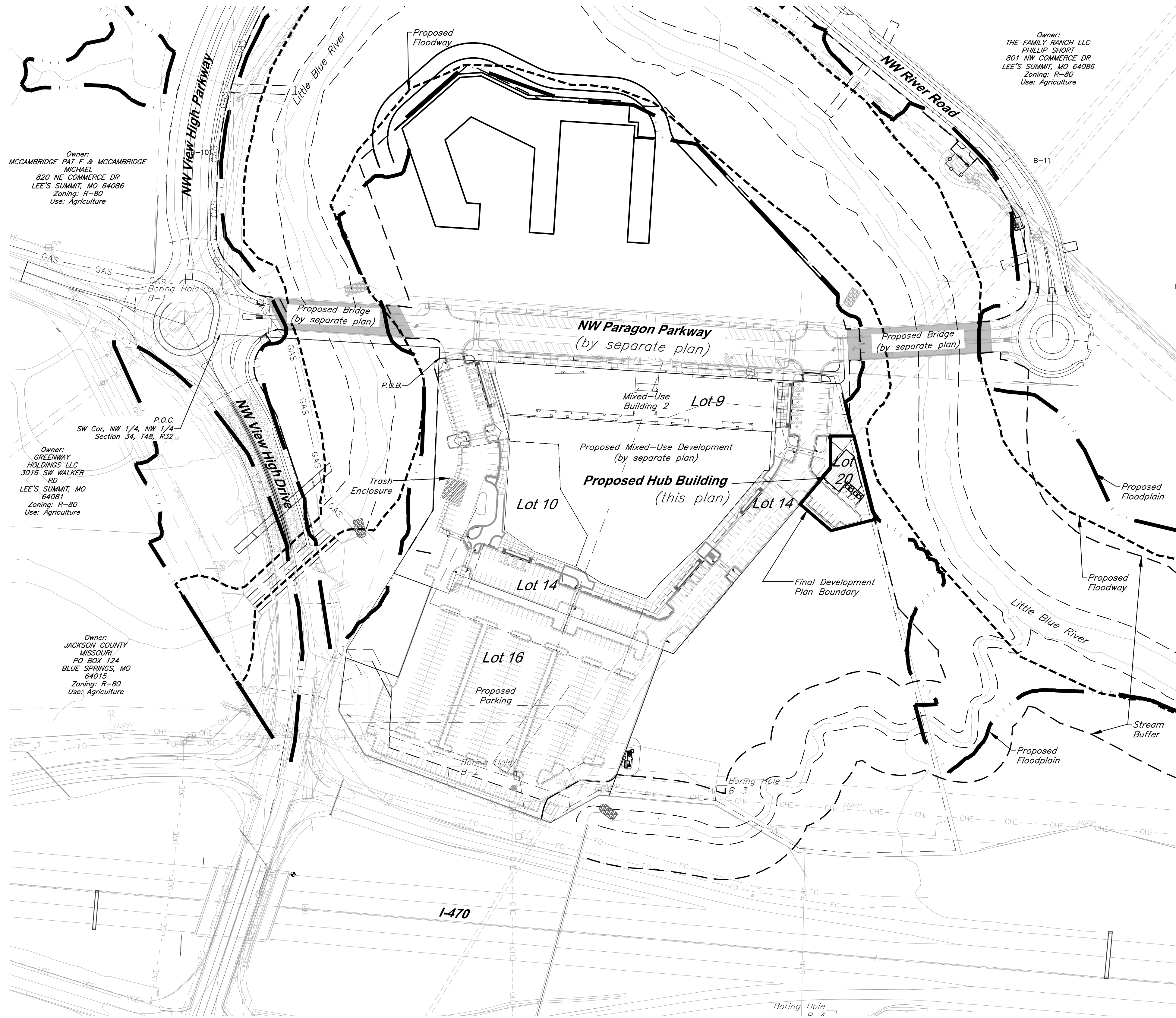
COVERSHEET

JOB NO: 1249 SCALE:
DATE: 03.31.2021 DRAWN BY:

SHEET NO:

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Final Development Plan Extents:
Lot 20 and a portion of Lot 14,
Paragon Star Second Plat

Lot 20:
Parking Setback: 2 FT
Building Setback to property line: 5 FT

Prepared and Submitted By:

George Butler Associates, Inc.
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Lenexa, KS 66219
Phone: 913-492-0400 Fax: 913-577-8312
Contact: Clint Loumaster, P.E.
Email: cloumaster@gbateam.com

Floodplain:

According to FEMA Flood Insurance Rate Map (FIRM) Community Panel No. 29095C0404G, effective Date 1/20/17, the tract lies partially within an area designated as Special Flood Hazard Areas. Special Flood Hazard Areas defined on portions of the site include regulatory floodway, Zone AE (with depths identified on site from 810 to 811), and 0.2% Annual Chance Flood Hazard Areas.

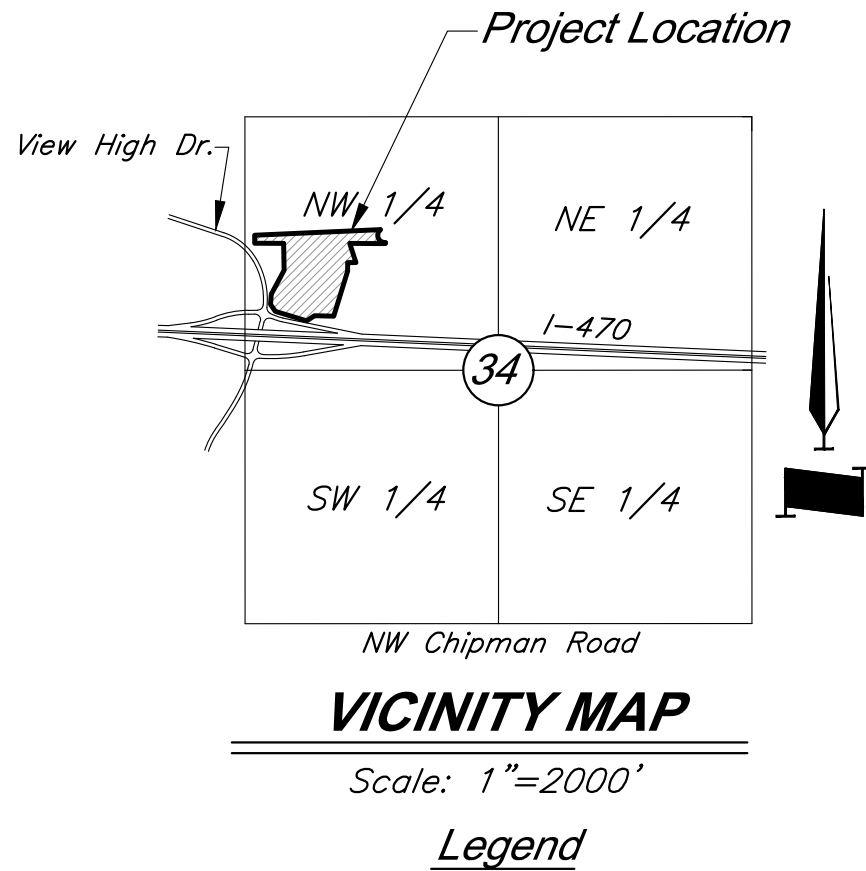
A CLOMR has been issued for this project, case number 20-07-0520R, dated 2/14/20. Proposed Floodplain/ Floodway refers to boundary set by this CLOMR.

Parking:

Total Parking Spaces = 498
Regular Spaces = 473
ADA Spaces = 25

Notes:

- No oil or gas wells are located on site per Missouri Department of Natural Resources.

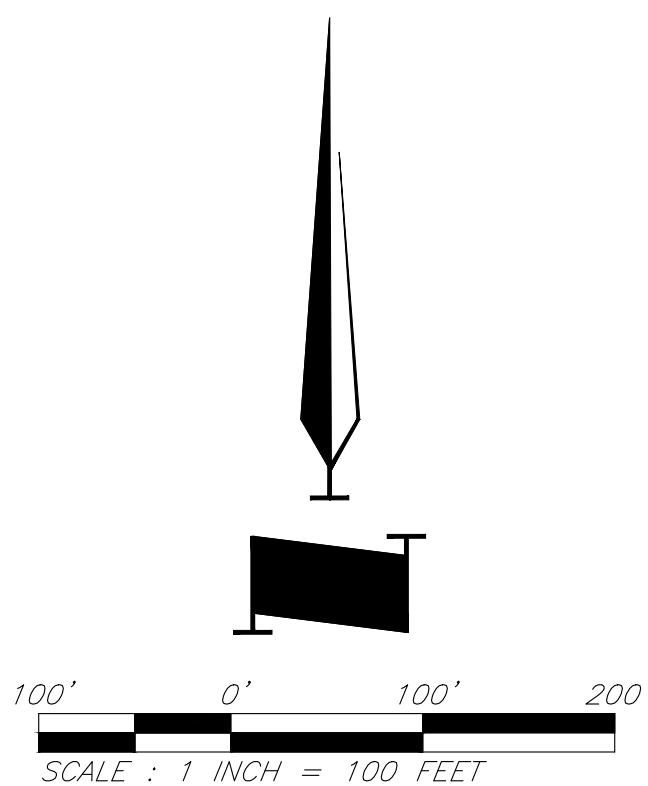


	Power Pole		Barbed Wire Fence
	Guy Anchor		Centerline
	Electric Meter		Fiber Optic Line
	Electrical Transformer		Gas Line
	Electric Pedestal		Guard Rail
	Power Pole/Telephone Pole		Over Head Electric
	Power Pole/Light Pole		Over Head Telephone
	Gas Meter		Property Line
	Gas Valve		Right-of-Way Line
	Curb Inlet		Sanitary Sewer Line
	Junction Box		Stream
	Sanitary Sewer Manhole		Underground Electric
	Light Pole		Underground Telephone
	Boring Hole		Underground Cable TV
	Sign		Water Line
	Property Corner		Proposed Grades
	Telephone Manhole		Proposed Storm Sewers
	Telephone Pedestal		Existing Grades
	Telephone Pole		Existing Storm Sewers
	Proposed Building		Tree Deciduous
			Fire Hydrant
			Water Meter
			Proposed Floodway
			Proposed Floodplain
			Stream Corridor

PROJECT BENCHMARK

BM #11 - Chiseled "L" on top Northeast corner of concrete guardrail at the Northeast corner of I470 bridge spanning View High Drive. Coordinates: N=1008590.33', E=2803864.07', EL=833.80

BM #13 - Chiseled "L" on NE corner of Interstate 470 and Cedar Creek Bridge. Coordinates: N=1008342.79', E=2806758.22', EL=852.04'



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Paragon Star Village
1401 NW View High Dr, Lee's Summit, MO 64081

Final Development Plan - Lot 20/HUB Building

ISSUE:

PROFESSIONAL SEAL:



DRAWING TITLE:

General Site Plan

JOB NO: 1249

SCALE:

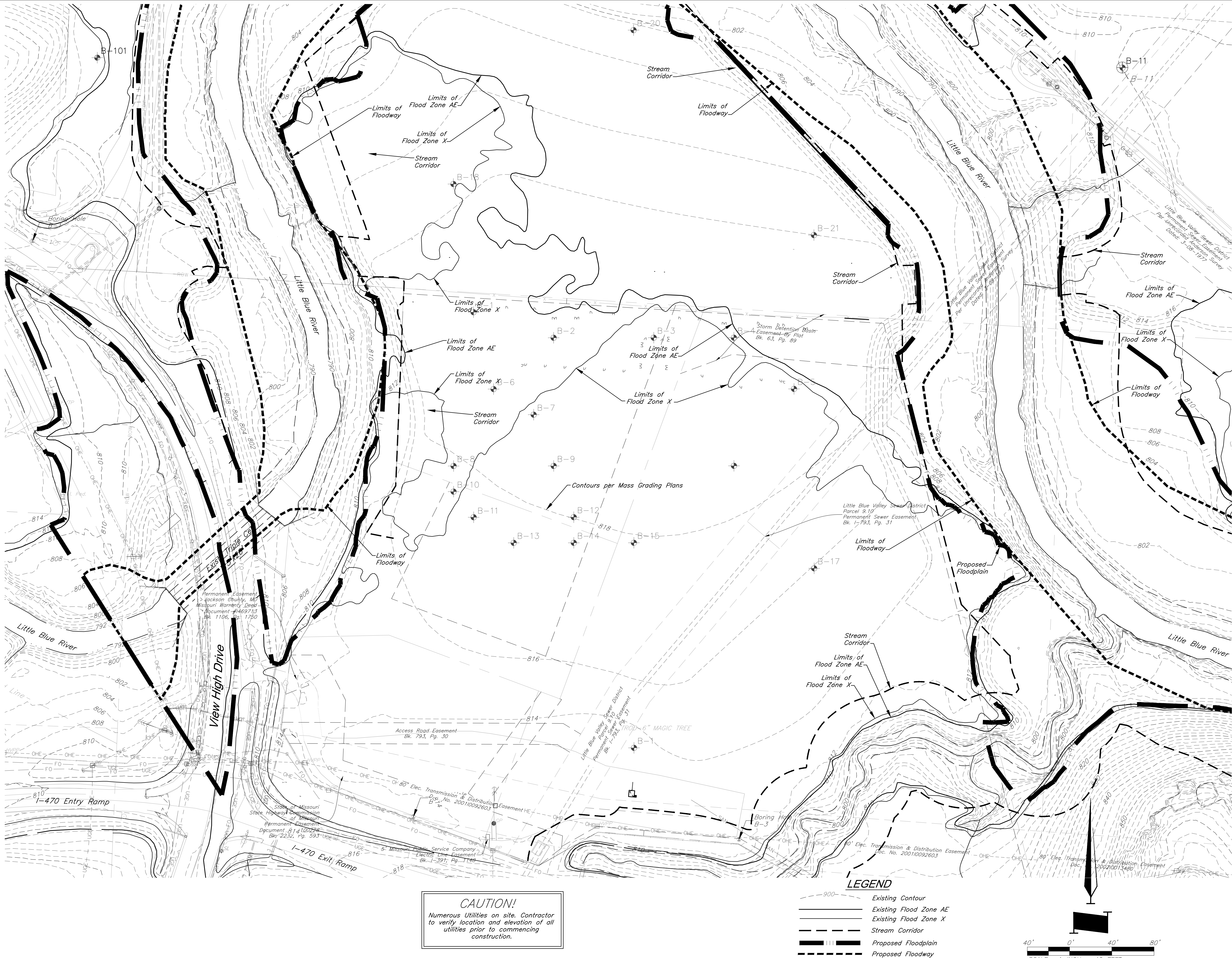
DATE: 03.31.2021

DRAWN BY: JRH

SHEET NO:

C001

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PROFESSIONAL SEAL:



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**Existing
Conditions**

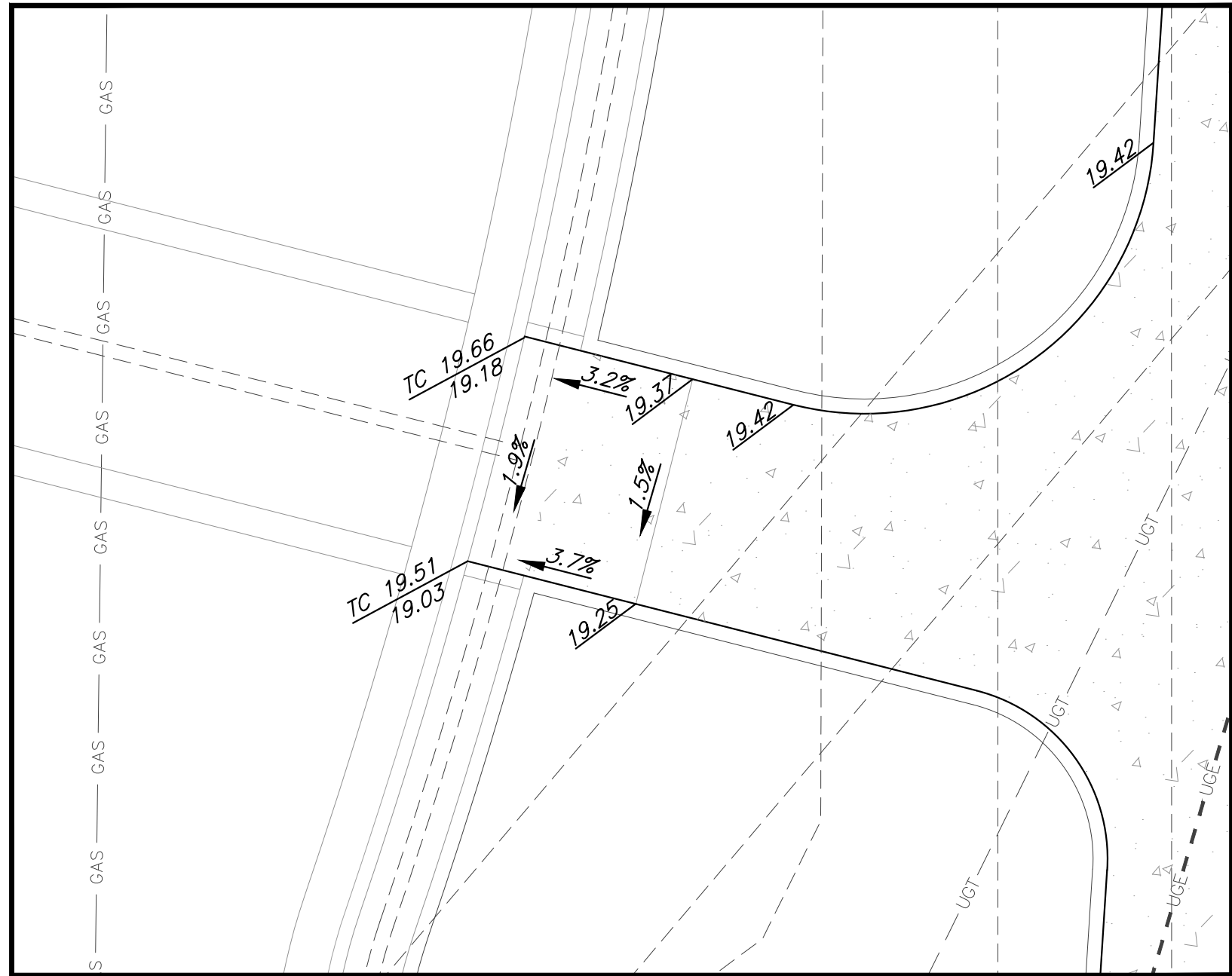
JOB NO: 1249 SCALE:
DATE: 03.31.2021 DRAWN BY: JRH

SHEET NO:

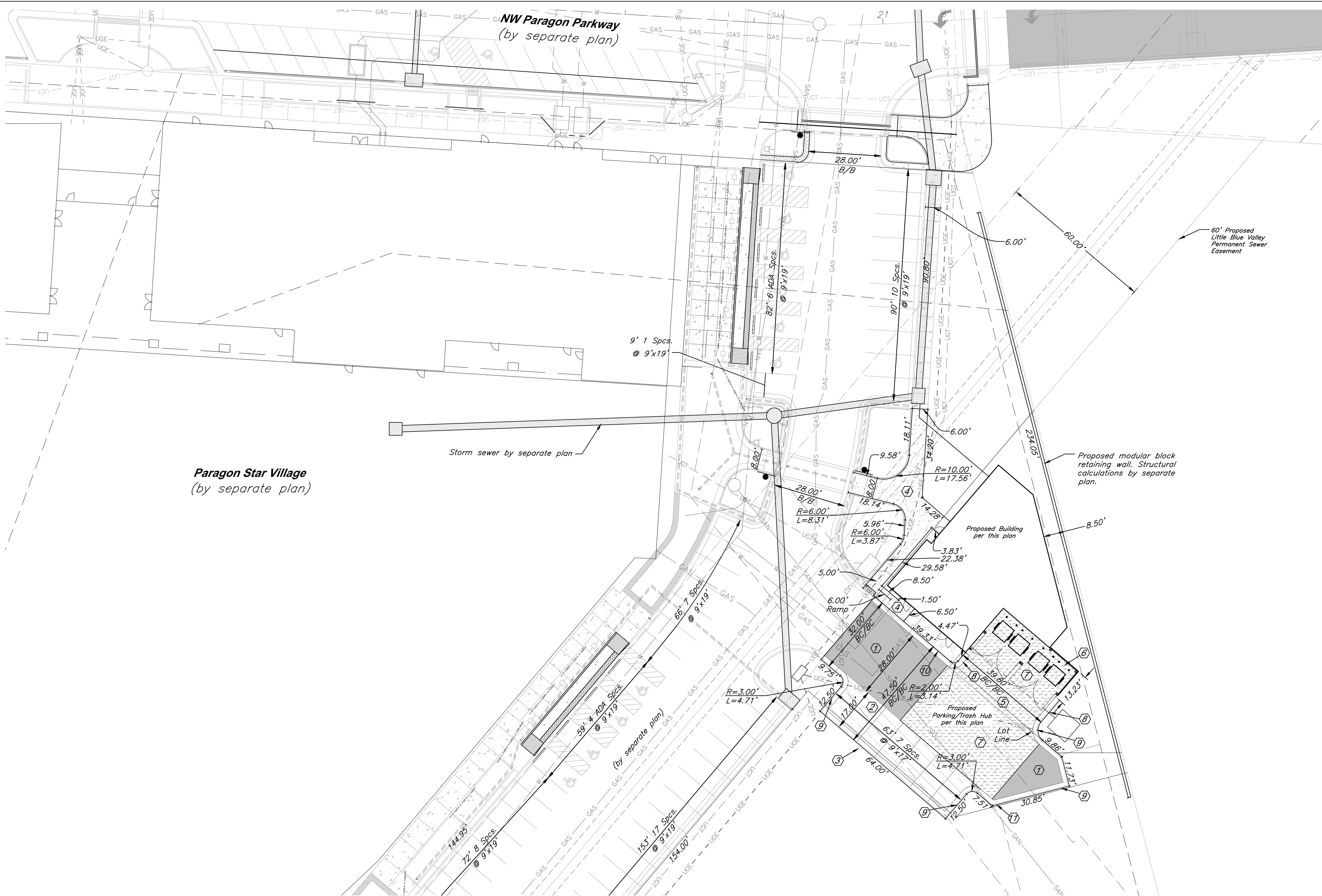
C002

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Paragon Star Village
(by separate plan)

NW Paragon Parkway
(by separate plan)

CONSTRUCTION NOTES:

1. Proposed HD Asphalt Pavement
2. Proposed LD Asphalt Pavement
3. Type CG-1 "Dry" Curb & Gutter
4. Construct Concrete Walk
5. No Parking Pavement Striping for Trash Enclosure
6. Construct Trash Enclosure (See Arch. Plans)
7. Construct HD Concrete for trash enclosure
8. Transition Curb to flush in 3 feet
9. Type CG-1 Curb & Gutter
10. Integral Curb & Gutter
11. Construct 3' curb cut

DIMENSION NOTES:

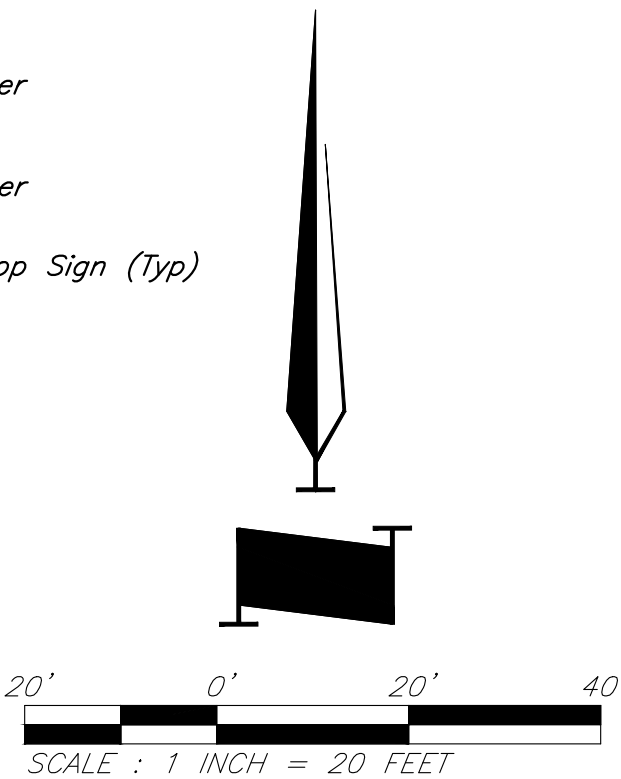
1. All curbs are to be Type CG-1 or Type CG-1 Dry unless shown otherwise.
2. Unless otherwise specified, all dimensions are to the back of curb and dimension ties to property line are measured at right angles to property lines.
3. See Sheet C006 for construction details.

CAUTION!

Numerous Utilities on site. Contractor to verify location and elevation of all utilities prior to commencing construction.

LEGEND

- | | | | |
|--|---|--|----------------------------------|
| | Proposed HD Asphalt Surface | | Proposed Water Line |
| | Proposed LD Asphalt Surface | | Proposed Storm Sewer |
| | Proposed Concrete Walk | | Existing Sanitary Sewer |
| | Proposed HD Concrete Pavement (Trash Enclosure) | | Crosswalk Sign / Stop Sign (Typ) |



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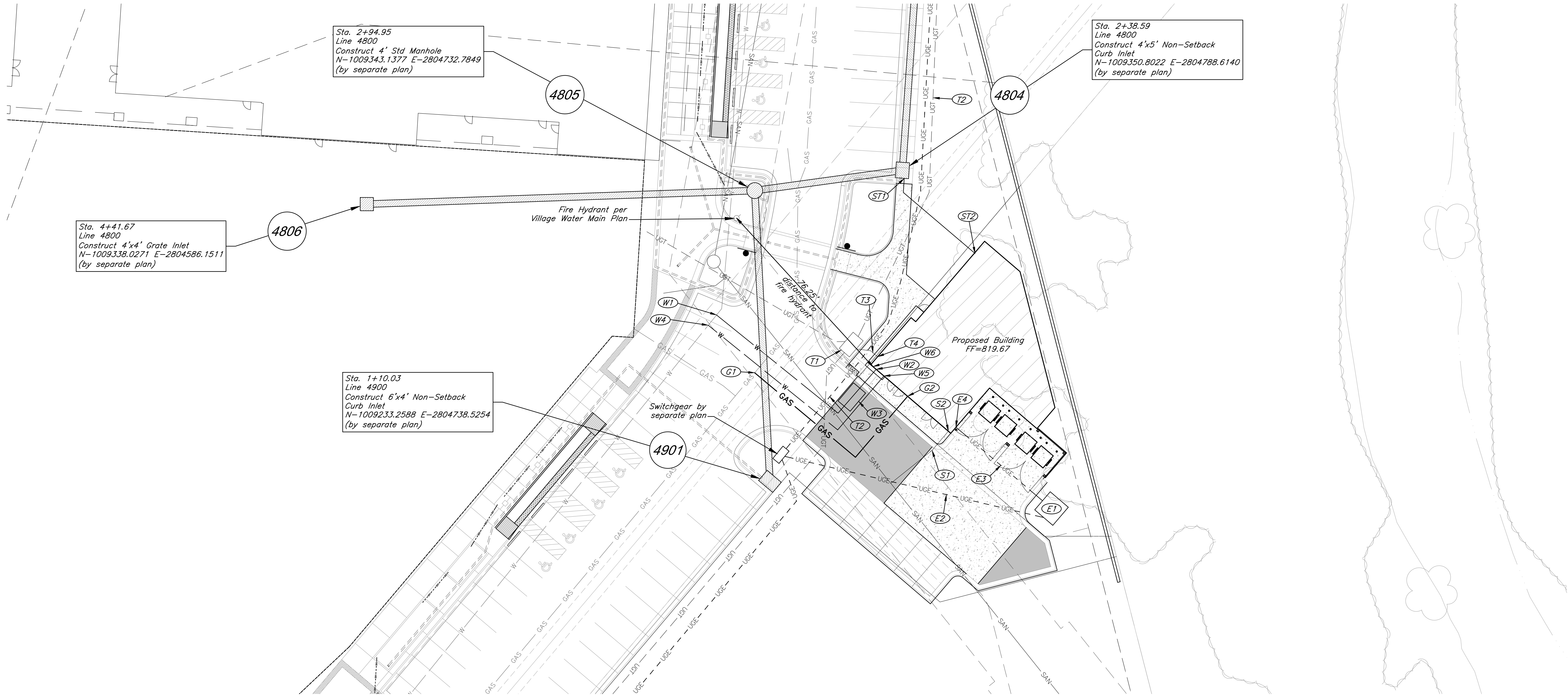
Dimension Plan

JOB NO: 1249 SCALE:
DATE: 03.31.2021 DRAWN BY: JRH

SHEET NO:

C004

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Telecom Construction Notes

- (T1) 11.5'x9.5'x7.5' Communication Vault by separate plan
(T2) Communication Line by separate plan
(T3) Install 12 LF Sch. 40 PVC Conduit to building stub T4
(T4) Communication building stub

Electrical Service Construction Notes

- (E1) 9'x9' Transformer Pad per Every Standards
(E2) Install 100 LF 4" Sch. 40 PVC conduit from switchgear to transformer
(E3) Install 41 LF 4" Sch. 40 PVC conduit from transformer to building stub E4
(E4) Electrical service line building stub

Sanitary Sewer Construction Notes

- (S1) Connect to existing sanitary sewer stub, ℓ =809.95.
Install 9.47 LF 6" Dia. SDR26 PVC east at 2% to S2.
(S2) Connect to building stub, ℓ =810.14

Water Line Construction Notes

- (W1) Connect domestic water service line to existing 12" PVC water main via tapping sleeve with (2) 12" gate valves on the main and (1) 3" gate valve on the service line. Install 72 LF 3" Dia. C901 HDPE Domestic Water Service Line to building stub W2.
(W2) Connect domestic water service line to building
(W3) Install 3" Water Meter in vault per Lee's Summit Standards. Water meter sized per MEP plan. Vault to have 9" lid casting.
(W4) Connect fire protection water service line to existing 12" PVC water main via tapping sleeve with (2) 12" gate valves on the main and (1) 6" gate valve on the service line. Install 90 LF 6" Dia. C900 PVC Fire Protection Water Service Line to building stub W5.
(W5) Connect fire protection water service line to building
(W6) Approximate location Fire Department Connection

Gas Service Line Construction Notes

- (G1) Connect gas service line to gas main. Contractor to coordinate with spire energy. Install 80 LF 2.5" Dia. gas service line to building gas line stub.
(G2) Connect gas service line to building stub

Storm Sewer Construction Notes

- (ST1) Connect 12" HDPE pipe to structure 4804 via core and grout, ℓ =814.99. Install 42 LF 12" Dia. HDPE Pipe @ 2% to roof drain stub ST2.
(ST2) Connect 12" HDPE to roof drain building stub, ℓ =815.83

Notes:

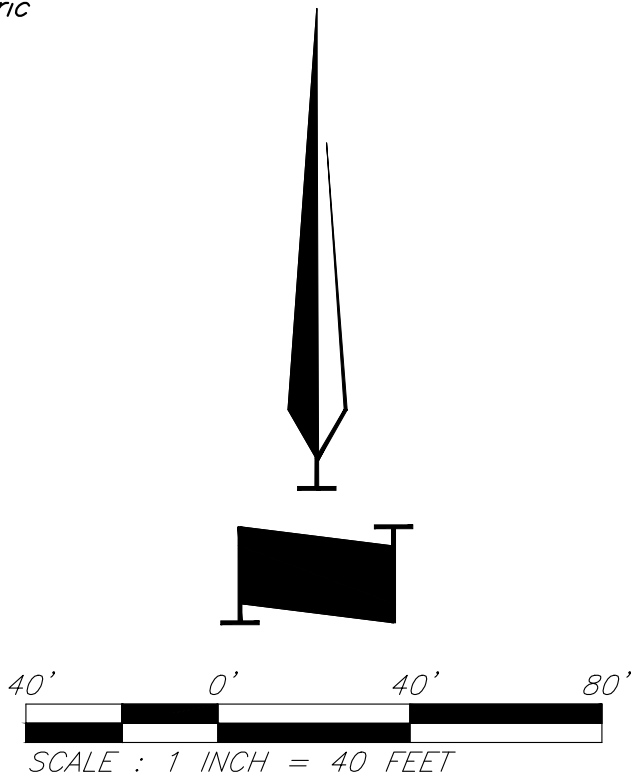
- Pipe length called out is from center of structure to center of structure. Payment for pipe length is from inside face to inside face of structure.
- Storm Sewer Structure Station offset and coordinates based on center of structure. Top elevations are top center of lid.
- Tops on all in grade inlets shall maintain street slope, low point inlets to be set level.
- Fire department connection locations are preliminary and subject to change upon final design. IFC distance requirements for FDCs shall be met with final design.
- Water meter size is preliminary and subject to change upon final design. MEP plan shall govern meter sizing.

General Utility Notes

- See Sheet C006 for Construction Details.
- Contractor to deflect conduits as necessary to avoid conflicts with other utilities.
- Contractor shall coordinate with the Surveyor to leave trenches open for collecting survey data for record drawings.
- Water line minimum burial depth shall be 42 inches.
- Gas line to be constructed by Spire.
- 3" Dia. HDPE water service line shall be AWWA C901 4710 DR11 PC200.
- HDPE Storm sewer pipe shall be ADS N-12.

Legend

- W Proposed Water Line
Proposed Storm Sewer
SAN Proposed Sanitary Sewer
Paragon Parkway
Paragon Star Village
Construction Line for Paragon Parkway and Paragon Star Village
GAS Proposed Gas Line
UGE Proposed Underground Electric
UGT Proposed Telecom
Proposed Underdrain
Proposed Building
Proposed HD Asphalt Surface
Proposed LD Asphalt Surface
Proposed Concrete



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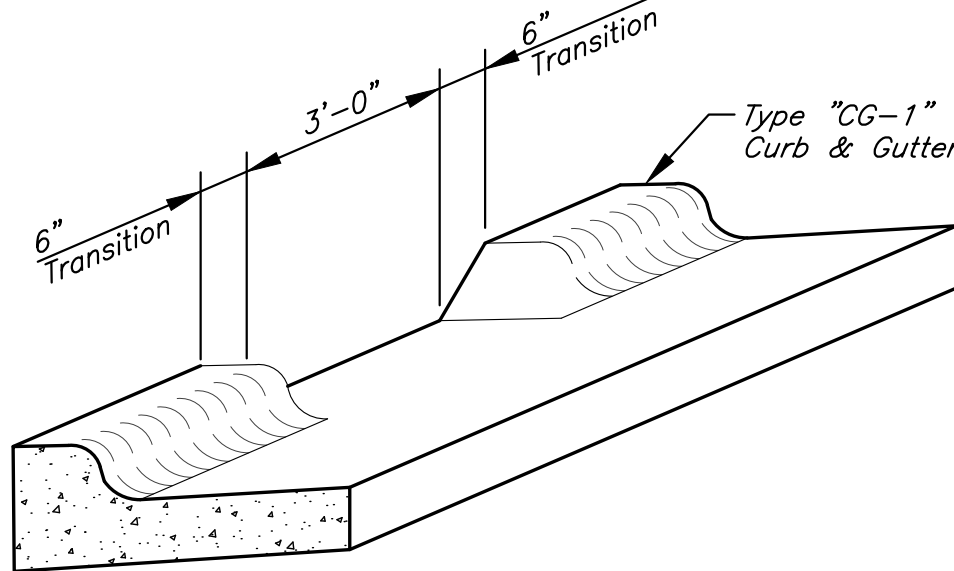
Utility Plan

JOB NO: 1249 SCALE:
DATE: 03.31.2021 DRAWN BY: JRH

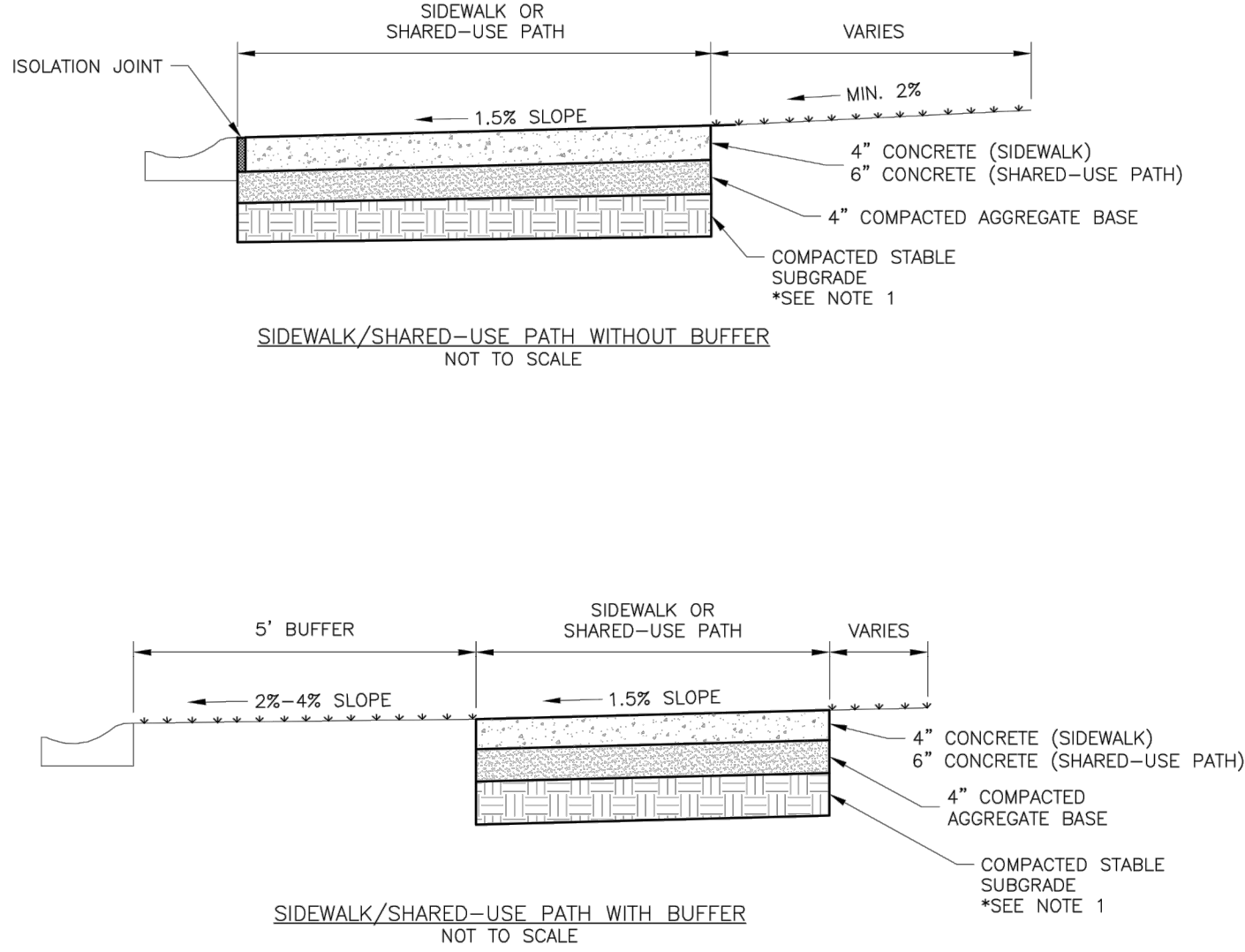
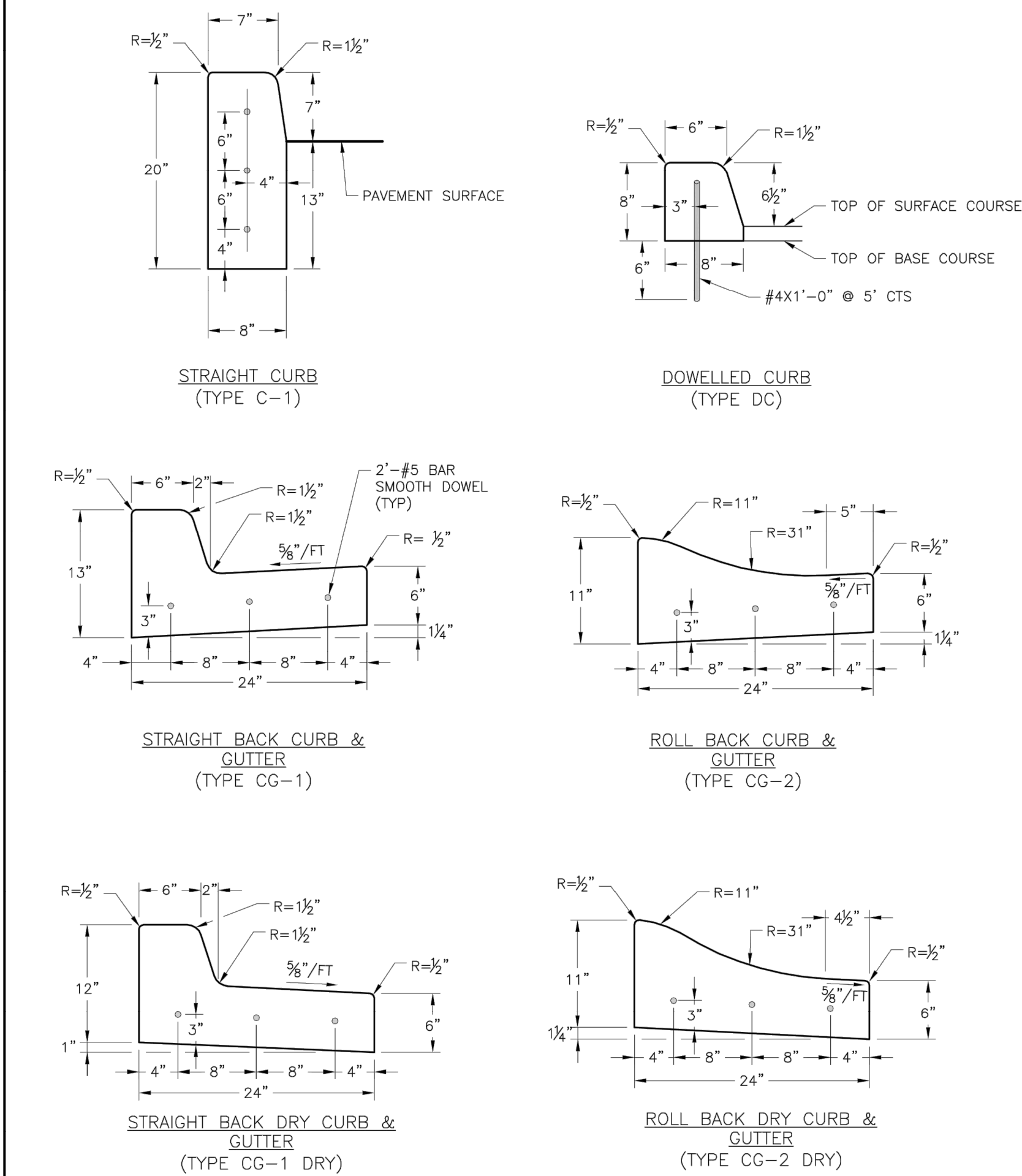
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C005

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TYPICAL CURB CUT DETAIL
Not To Scale



- GENERAL NOTES:**
- SUBGRADE MUST BE OF STABLE, COMPACTED EARTH AND SHALL BE OVERLAYED WITH 4" COMPACTED DENSE GRADED AGGREGATE BASE.
 - 1.5% CROSS SLOPE MUST BE MAINTAINED THROUGH DRIVEWAYS.
 - KCMMB 4K CONCRETE MIX SHALL BE REQUIRED FOR ALL SIDEWALKS AND SHARED-USE PATHS OR AS APPROVED BY THE CITY INSPECTOR.
 - ALL SIDEWALKS SHALL MEET CURRENT PUBLIC RIGHT OF WAY ACCESSIBILITY GUIDELINES (PROWAG).
 - AN EXPANSION JOINT SHALL BE PLACED AT A MAXIMUM OF 150 FT. CONSTRUCTION JOINTS SHALL BE PLACED THE SAME WIDTH OF SIDEWALK, BUT NO GREATER THAN 10 FT.
 - SHARED-USE PATH WIDTH SHALL BE 10 FT. WIDE.
 - SIDEWALK FINISHING (NO PICTURE FRAMING) AS DIRECTED BY CITY INSPECTOR.
 - WHITE CURING COMPOUND MUST BE APPLIED UNIFORMLY TO THE CONCRETE SURFACE IMMEDIATELY AFTER FINAL FINISHING.

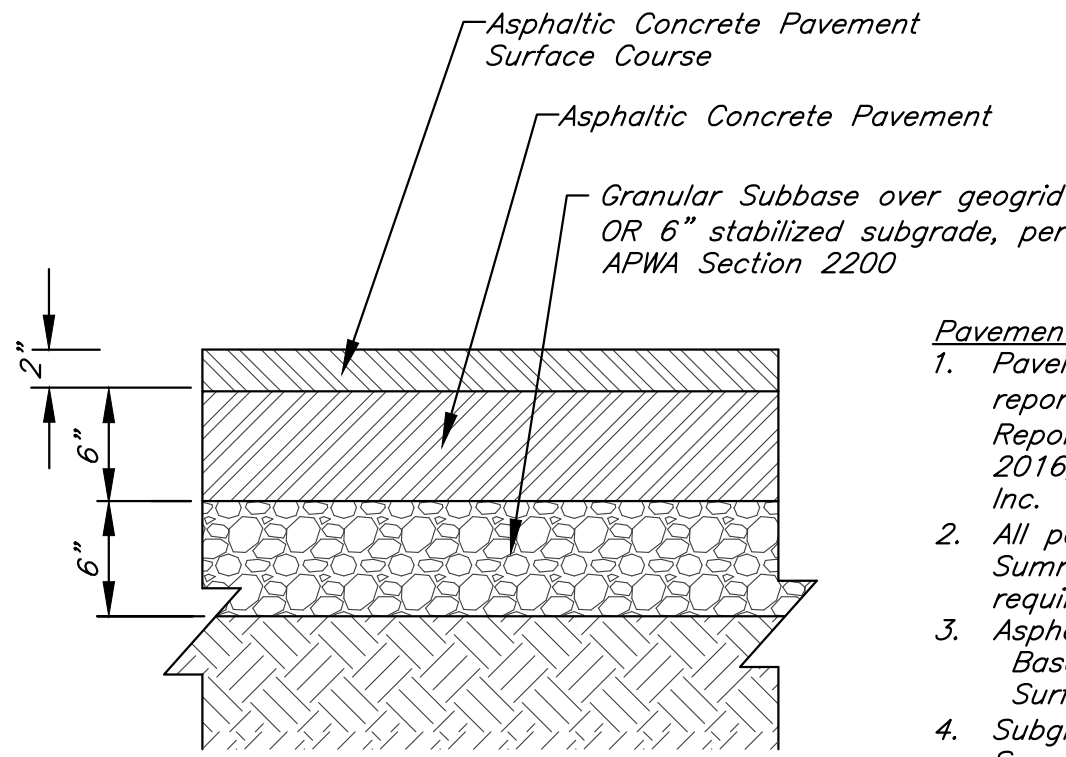
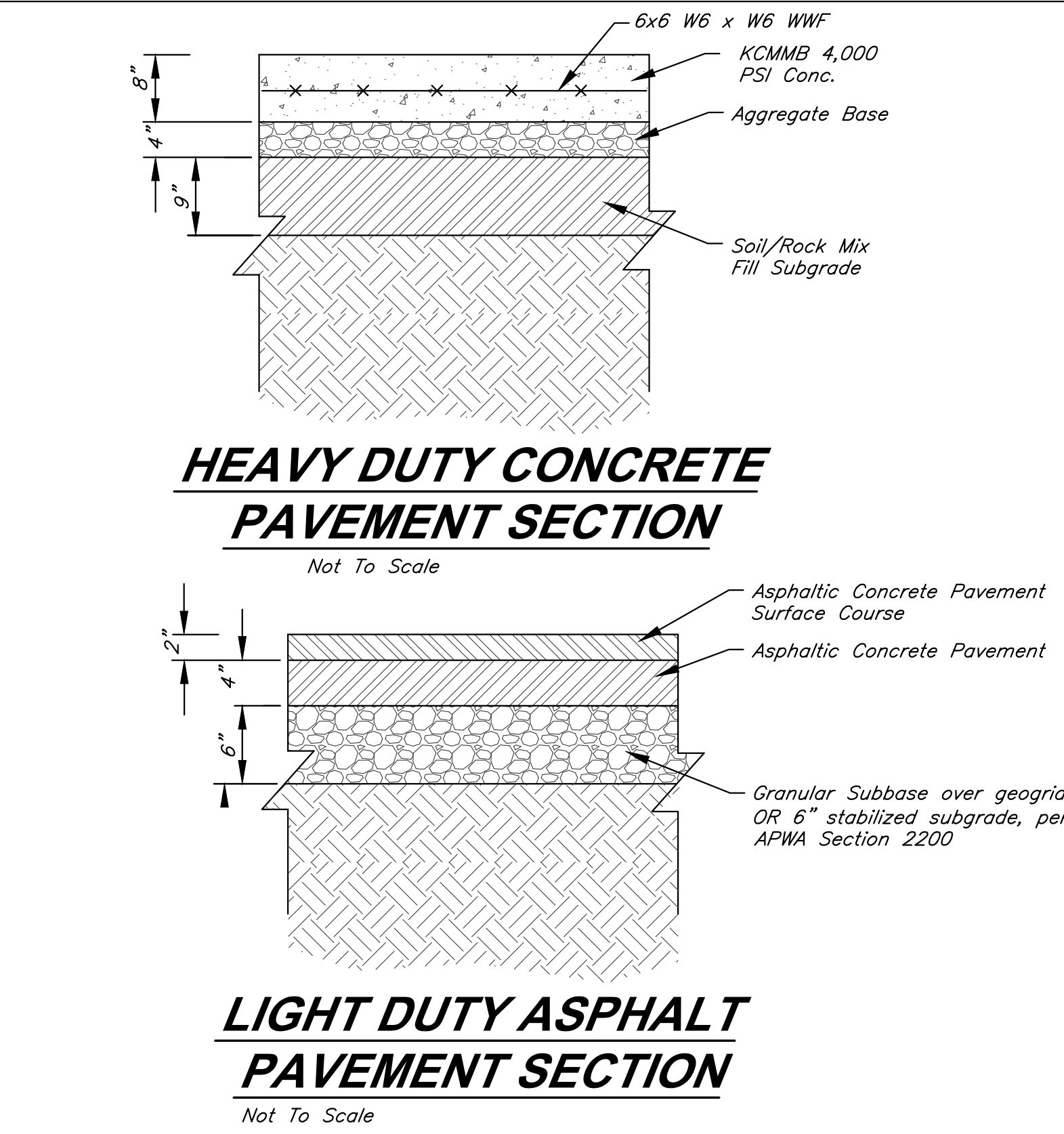


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PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64063

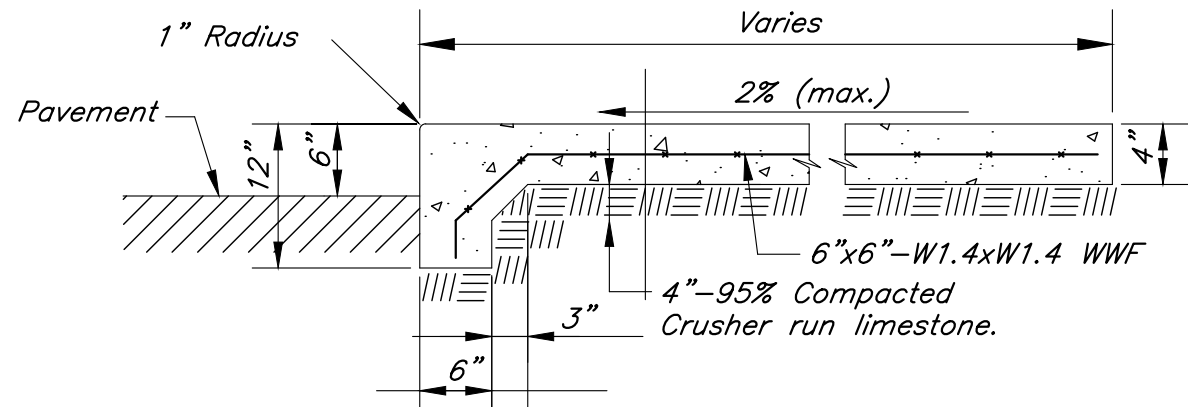
SIDEWALK/SHARED-USE PATH DETAIL

Date: 04/17
Drawn By: MJF
Checked By: DL

GEN-2



HEAVY DUTY ASPHALT PAVEMENT SECTION
Not To Scale



- Notes:**
- 3/4 inch Expansion Joints Placed at Radius Points and Structures with 2' Lengths of #5 Smooth Dowels. The Dowels will be Greased & Wrapped on Alternate Ends with Expansion Tubes.
 - 1-1/2 inch Deep Contraction Joints shall be placed at Approximately 15' Intervals.
 - Fix Dowels with Bar Chairs or Equal.
 - All concrete shall be KCMMB-4K.

INTEGRAL CONCRETE SIDEWALK/CURB
Not To Scale

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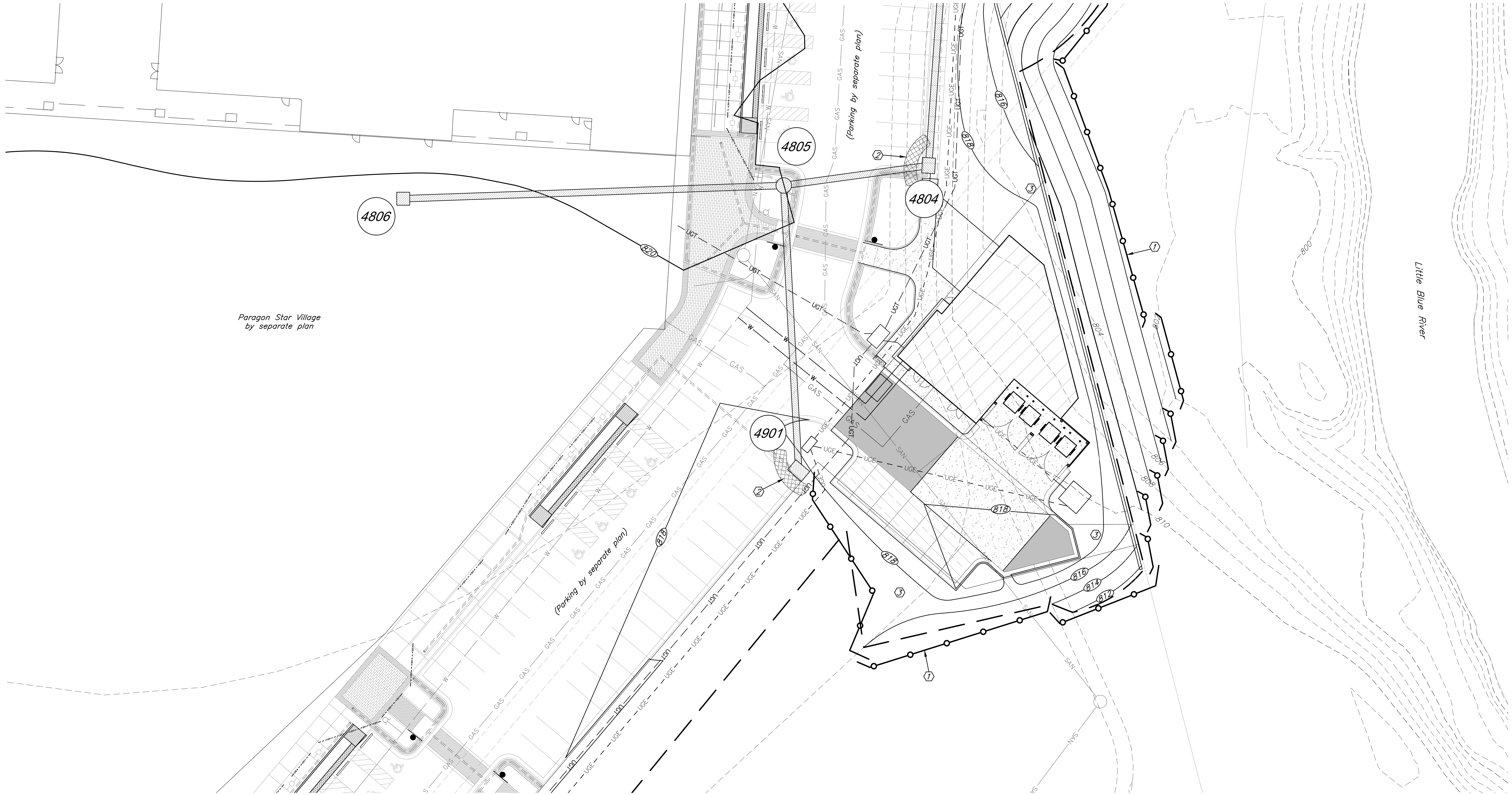
Construction Details

JOB NO: 1249 SCALE:
DATE: 03.31.2021 DRAWN BY: JRH

SHEET NO:

C006

G:\127220 Civil 3D\Production Drawings\LS MAD Hub Fdp\127220C-0000.dwg Layout: C007 Erosion Control Plan -- Wednesday, March 31, 2021, 2:50pm -- Copyright 2021, George Butler Associates, Inc.
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EROSION CONTROL STAGING CHART

Project Phase	Reference No.	Description	Remove After Phase:	Notes
1 – Place Erosion Control Prior to Land Disturbance	①	Install Perimeter Silt Fence	4	Install as shown on plans
		Gravel Construction Entrance		Construction Entrance to be per Paragon Star Village plans
		Concrete Wash-out		Concrete Wash-out to be per Paragon Star Village plans
2 – After Storm Sewer Construction	②	Install Inlet Protection	4	Install as shown on plans
3 – Final Grading, Paving, and Landscaping	③	Final Grading, Seeding, Sodding, and Landscaping of all disturbed areas	N/A	Interior erosion control measures and inlet protection may be removed once seed and sodded areas are established to cover 80% of the site. See Landscape Plans for details.

Legend

Existing Contour

Proposed Contour

Sediment Fence

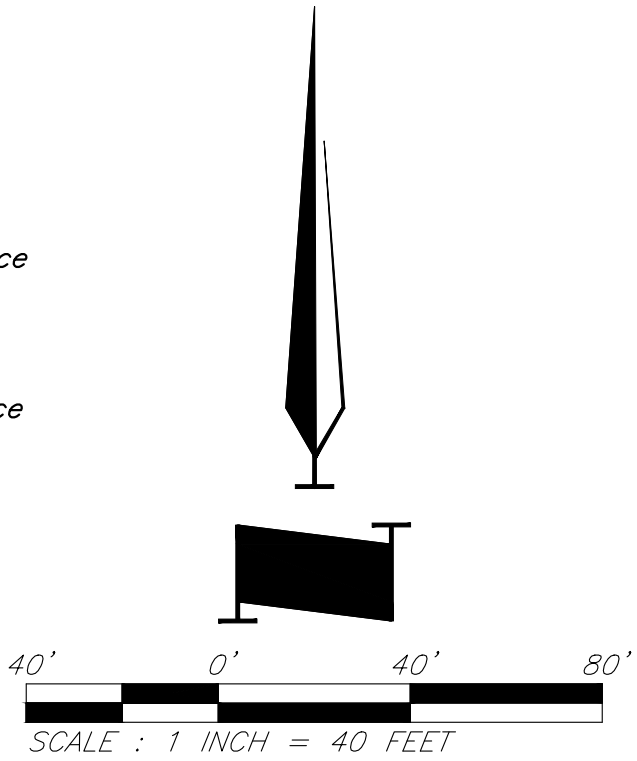
Inlet Sediment Trap

Proposed Building

Proposed HD Asphalt Surface

Proposed LD Asphalt Surface

Proposed Concrete



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PROJECT:

Paragon Star Village
1401 NW View High Dr, Lee's Summit, MO 64081

Final Development Plan - Lot 20/HUB Building

ISSUE:

PROFESSIONAL SEAL:



DRAWING TITLE:

Erosion Control Plan

JOB NO: 1249 SCALE:
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SHEET NO:

C007

EROSION AND SEDIMENT CONTROL NOTES

The layout of erosion control best management practices (BMPs) shown on the engineering plans is intended to control erosion and minimize, if not eliminate, the transport of sediment from the disturbed areas. The Contractor shall be responsible for the evaluation of existing surface drainage patterns and for making adjustments to the BMP locations to best control erosion and minimize, if not eliminate, the transport of sediment from the disturbed areas. The following are measures to achieve the control of erosion and sediment.

1. Stabilization Practices – Stabilization practices are very effective at preventing erosion by shielding the soil surface from the impact of rain, slowing the velocity of runoff, holding soils in place, and increasing infiltration of runoff and allowing the soil to absorb more rainfall.
- a. Temporary Seeding Stabilization – During acceptable growing periods (see Table 1 below); temporary seeding of annual vegetation with a straw mulch cover shall be used as a temporary cover until permanent vegetation is established. If there is a possibility that a vegetative cover will be required to control erosion for more than 1 year, then consider the addition of a perennial/permanent grass species as part of a seeding mixture.

Table 1. Temporary Seeding Dates and Minimum Application Rates

Seeding Dates	Temporary Seed Species	Minimum Application Rates (pure live seed lbs. per acre)	Straw Mulch (tons per acre)
Jan. 1 – Jan. 31	None	Not Applicable	2.5
Feb. 1 – May 31	Annual Ryegrass	120	1.5
June 1 – Aug. 4	None	Not Applicable	2.5
Aug. 15 – Nov. 15	Cereal/Winter Rye	120	1.5
Nov. 16 – Dec. 31	None	Not Applicable	2.5

Seedbed Preparation – For broadcast seeding or drilling, loosen soil to depth of 3 inches. For no till drilling, loosen soil if it is compacted. Loosen compacted, hard or crusted soil surfaces with a disk, ripper, chisel, harrow or other tillage equipment. Avoid preparing the seedbed under excessively wet conditions. For establishment and long-term growth, apply a complete fertilizer at rates recommended by soil tests or as specified in plans and specifications. If soil pH is less than 6.0, apply lime according to soil tests. Incorporate necessary lime and fertilizer to a depth of 3 to 6 inches of soil.

Installation – For the best results use certified seed. Apply seed uniformly using a cyclone seeder, drop-type spreader, drill, cultipacker seeder or hydroseeder. When using a drill seeder, plant rye or other grains about 1 inch deep and plant grasses no more than 1/8 inch. A vegetative straw mulch cover shall be applied over the seed mixture to help germinate and establish plant cover, control weeds, and protect seed mixture against temperature extremes. Follow straw mulch preparation and application procedures described herein.

- b. Temporary Mulch Stabilization – During non-growing periods, a straw mulch cover shall be applied in unseeded areas to protect against erosion until temporary or permanent vegetation is established.

Site Preparation – Divert runoff water from areas above the site that will be mulched. Remove stumps, roots and other debris from the construction area. Grade area as needed to permit the use of equipment for seeding, mulching and maintenance. Shape area so that it is relatively smooth.

Application – Spread straw mulch uniformly over the area with a power blower, hydroseeder, or by hand. No more than 25% of the ground surface should be visible after spreading. Apply straw mulch at a rate of 1.5 tons per acre as a seed cover or 2.5 tons per acre as a stand alone cover. The straw should be dry, unchopped, unweathered; free of weed seeds and rot. In areas of steep slopes or high winds, or in critical areas such as swales, mulching may need to be secured to the ground with a binder, netting, or tacking.

- c. Permanent Seeding Stabilization – All disturbed areas shall be permanently seeded with a cool season grass mixture as specified in the Standards and Specifications of the City of Lee's Summit, Missouri..

Seedbed Preparation – loosen soil to depth of 3 inches. For no till drilling, loosen soil if it is compacted. Loosen compacted, hard or crusted soil surfaces with a disk, ripper, chisel, harrow or other tillage equipment. Avoid preparing the seedbed under excessively wet conditions. For establishment and long-term growth, apply a complete fertilizer at rates recommended by soil tests or as specified in plans and specifications. If soil pH is less than 6.0, apply lime according to soil tests. Incorporate necessary lime and fertilizer to a depth of 3 to 6 inches of soil.

Installation – For the best results use certified seed. Apply seed uniformly using a hydroseeder. A vegetative straw mulch cover shall be applied over the seed mixture to help germinate and establish plant cover, control weeds, and protect seed mixture against temperature extremes. Follow straw mulch preparation and application procedures described in the Standards and Specifications of the City of Lee's Summit, Missouri.

2. Structural Practices

- a. Silt Fence – A temporary sediment barrier consisting of a geotextile fabric shall be installed as shown on the attached engineering plans and details. Silt fencing shall be installed to maintain sediment onsite.

Minimum Requirements:

Location – Fence should be built on a nearly level grade and at least 10 feet from the toe of the slope to provide a broad shallow sediment pool. Install on the contour, where fence can intercept runoff as a sheet flow; not located crossing channels, waterways or other concentrated flow paths; not attached to existing trees.

Spacing of Support Posts – 10 feet maximum for fence supported by wire; 6 feet maximum for high strength fabric without supportive wire backing. Support posts should be driven into the ground a minimum of 10 inches deep.

Trench – Bottom 1 foot of fence must be buried minimum of 4 inches deep.

- b. Inlet Protection – When installation of the storm drainage system is complete, gravel curb inlet sediment traps will be placed at the drainage system inlets. Construction shall be in accordance with attached engineering plans and details.
- c. Stockpiles – The toe of stockpiles shall be placed a minimum of 10 feet from erosion control measures. If stockpiles are to remain for more than 14 days, they shall be temporarily stabilized with vegetative mulch and temporary seeding.

3. Maintenance – The contractor shall repair all erosion control measures or re-seed areas that are disturbed or damaged as a result of weather or other situations, within 2 days after the occurrence. This will include all areas bare of vegetation.

EROSION CONTROL GENERAL NOTES

1. The Contractor is responsible for erosion control during construction and until the Owner and City accepts the work as complete. The erosion control measures shown on this plan are a typical minimum installation. The Contractor shall be responsible for adjusting or adding to these measures as necessary during the phasing of the construction to assure adequate control.

2. Clearing and grubbing within 50' of a defined drainage course should be avoided when possible. Where changes to a defined drainage course occur, work should be delayed until all materials and equipment necessary to protect and complete the drainage change are on site. Changes shall be completed as quickly as possible once the work has been initiated. The area impacted by the construction activities shall be revegetated or protected from erosion as soon as possible, areas within 50' of a defined drainage ways should be recontoured as needed or otherwise protected within five (5) working days after grading has ceased.

3. Where soil disturbing activities cease in an area for more than 14 days, the disturbed areas shall be protected from erosion by stabilizing the area with mulch or other similarly effective erosion control measures. If the slope of the area is greater than 3:1 or if the slope is greater than 3% and greater than 150 feet in length, then the disturbed areas shall be protected from erosion by stabilizing the area with mulch or other similarly effective erosion control measures if activities cease for more than seven (7) days.

4. Existing vegetation shall be preserved to the extent and where practical. In no case shall disturbed areas remain without vegetative ground cover for a period in excess of 60 days.

5. Additional site management practices which shall be adhered to during the construction process shall include:

–Solid and hazardous waste management including providing trash containers and regular site clean up for proper disposal of solid waste such as building and construction material, product/material shipping waste, food containers and cups, and providing containers for the proper disposal of waste paints solvents, and cleaning compounds.

–Provisions of portable toilets for proper disposal of sanitary sewage.

–Storage of construction materials away from drainage courses and low areas.

–Installation of containment berms and use of drip pans at petroleum product and liquid storage tanks and containers.

6. All disturbed areas shall be seeded, fertilized and mulched, or sodded, in accordance with the Standards and Specifications adopted by the City of Lee's Summit, Missouri and good engineering

practices. This shall be completed within fourteen (14) days after completing the work, in any area. If this is outside of the seeding period, silt barriers or other similarly effective measures shall be provided until such time that the areas can be seeded.

7. All erosion control measures, temporary or permanent, require maintenance to preserve their effectiveness. All erosion control devices shall be inspected immediately after each heavy rainstorm and at least daily during prolonged rainfall. Any required repairs should be made immediately. All costs associated with the repair work including related incidentals will be the contractor's responsibility and shall be included in the Contractor's bid for the proposed work. Only after the project is complete and accepted can the erosion control be removed.

8. Seeding shall be done before the proposed seedbed becomes eroded, crusted over, or dried out and shall not be done when the ground is frozen, or covered with snow. The seed shall comply with requirements of the Missouri Seed Law and the Federal Seed Act. Also, it shall contain no seed of any plant on the Federal Noxious Weed List. Other weed seed shall not exceed one percent by weight of mix.

9. During the dates Dec. 15 through May 30 ALL lime, fertilizer, seed, and mulch shall be applied to finished slopes of disturbed areas. During the months of June, July, October, and November 1st through December 15th, lime, fertilizer, seed, and mulch shall be applied at the following rates:

Lime – 100% of the specified quantity
Fertilizer – 75% of the specified quantity
Seed – 50% of the specified quantity
Mulch – 100% of the specified quantity

10. Mulch shall be Vegetative type, cereal straw form stalks of oats, rye, or barley, or approved equal. The straw shall be free of prohibited weed seed and relatively free of all other noxious and undesirable seed. Apply straw mulch at a rate of 1.5 tons per acre as a seed cover or 2.5 tons per acre as a stand alone cover. Mulch shall be embedded by a mulch anchoring tool or disk type roller having flat serrated disks spaced not more than 10 inches apart and cleaning scrapers shall be provided.

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Final Development Plan - Lot 20/HUB Building

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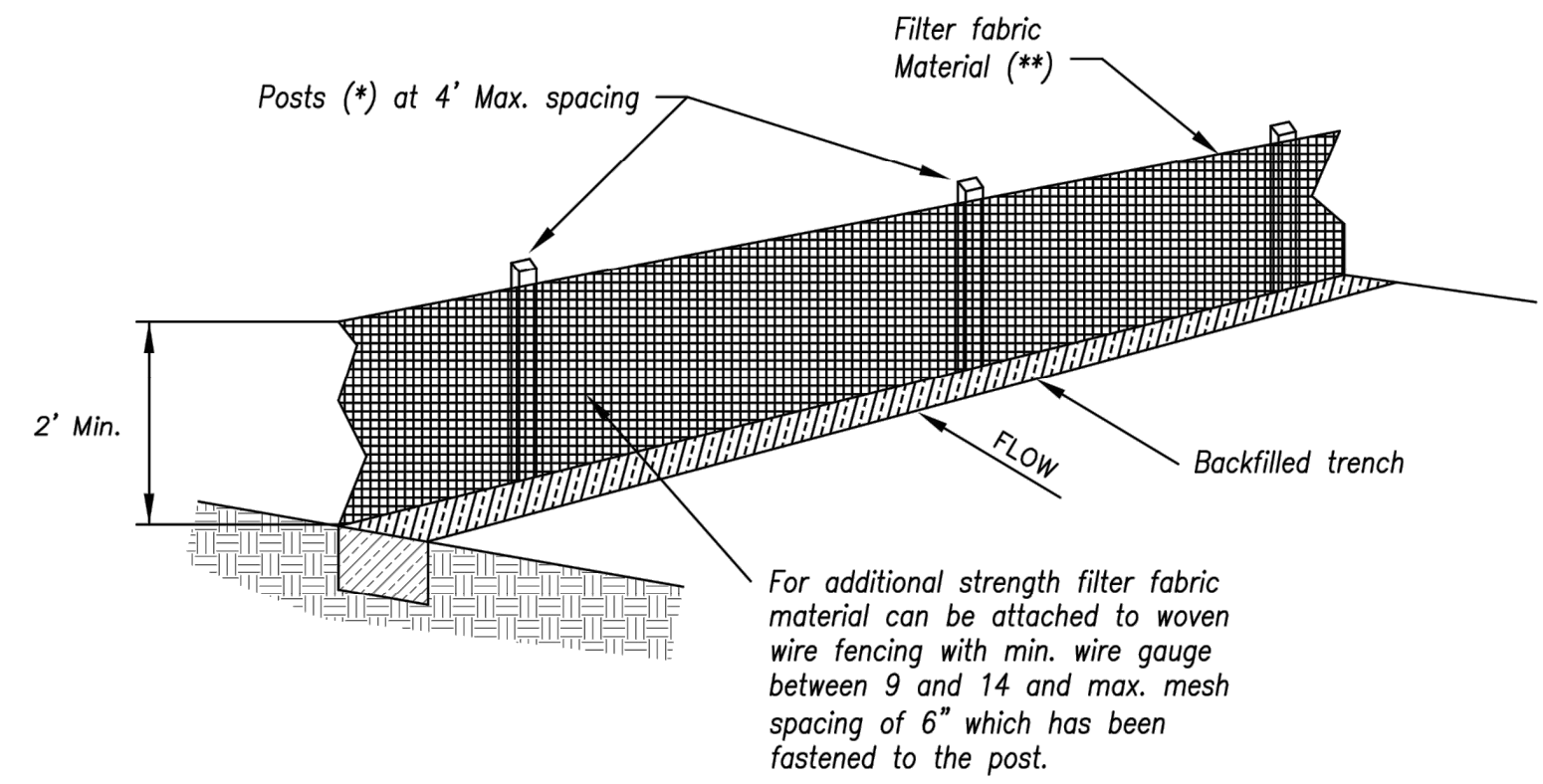
DRAWING TITLE:

Erosion Control
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JOB NO: 1249 SCALE:
DATE: 03.31.2021 DRAWN BY: JRH

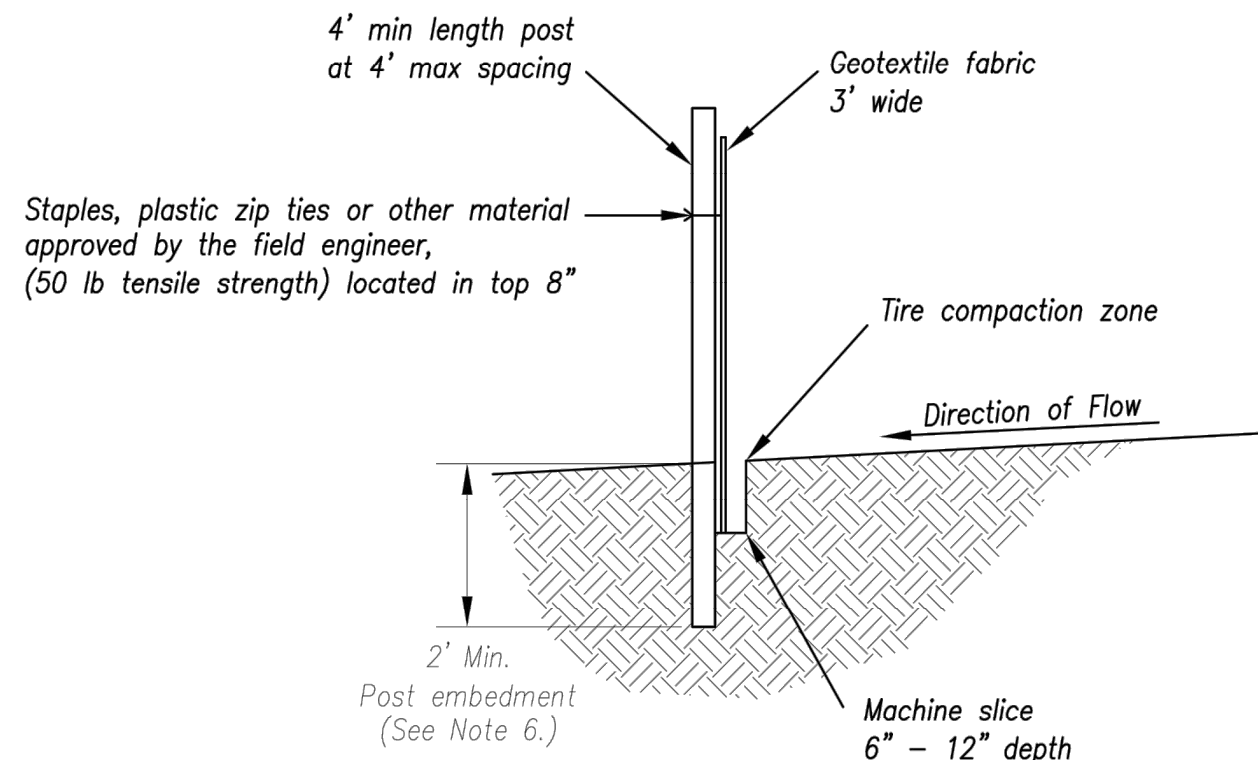
SHEET NO:

C008



- (*) POSTS
- MIN. LENGTH 4'
 - HARDWOOD 1 $\frac{3}{16}$ " x 1 $\frac{3}{16}$ "
 - NO.2 SOUTHERN PINE 2 $\frac{5}{8}$ " x 2 $\frac{5}{8}$ "
 - STEEL 1.33 LB/FT

(**) - Geotextile Fabric shall meet the requirements of AASHTO M288



SILT FENCE DETAILS

Not to Scale

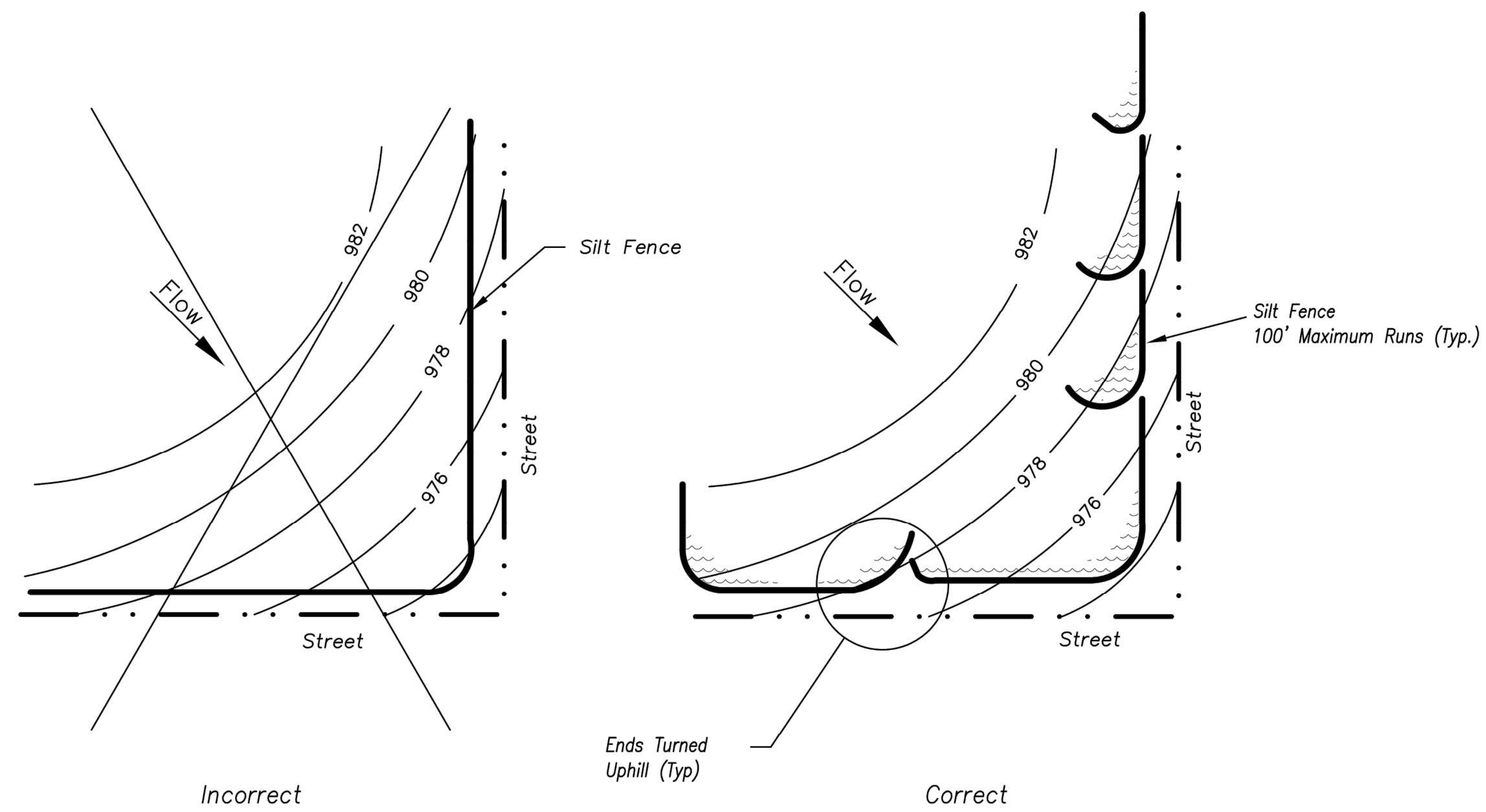
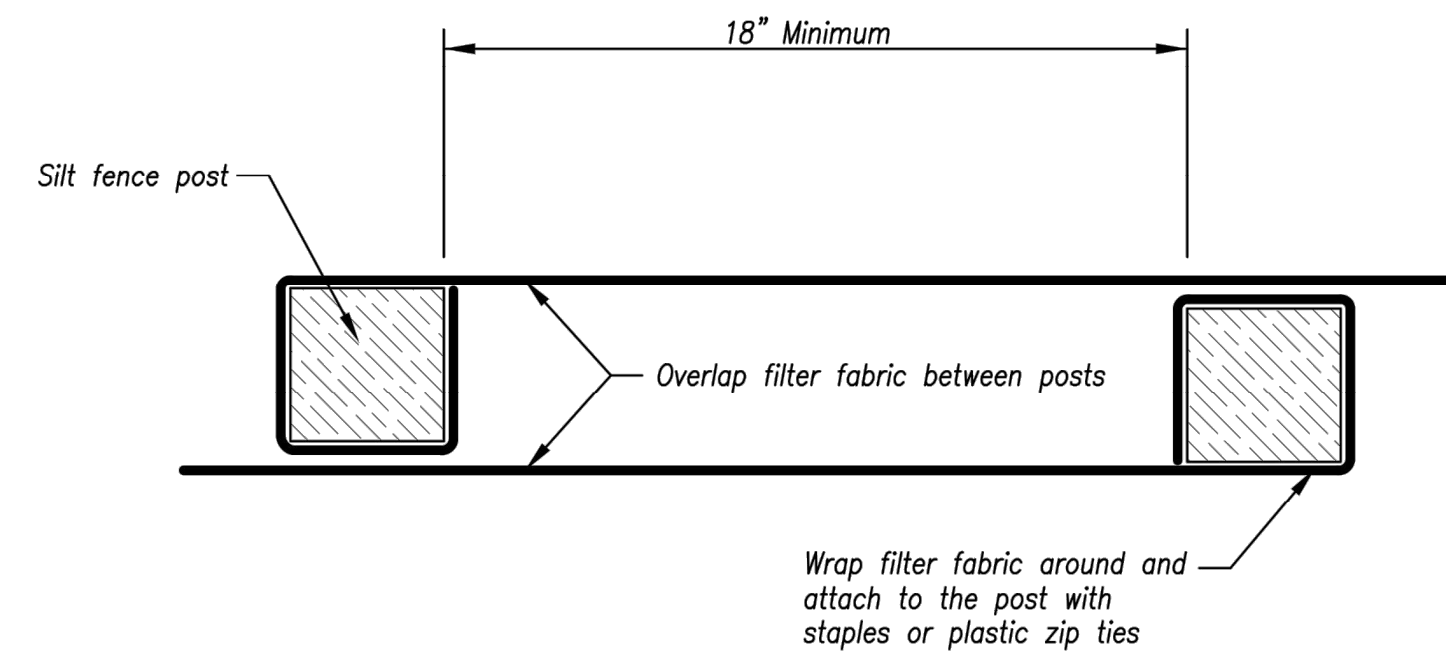
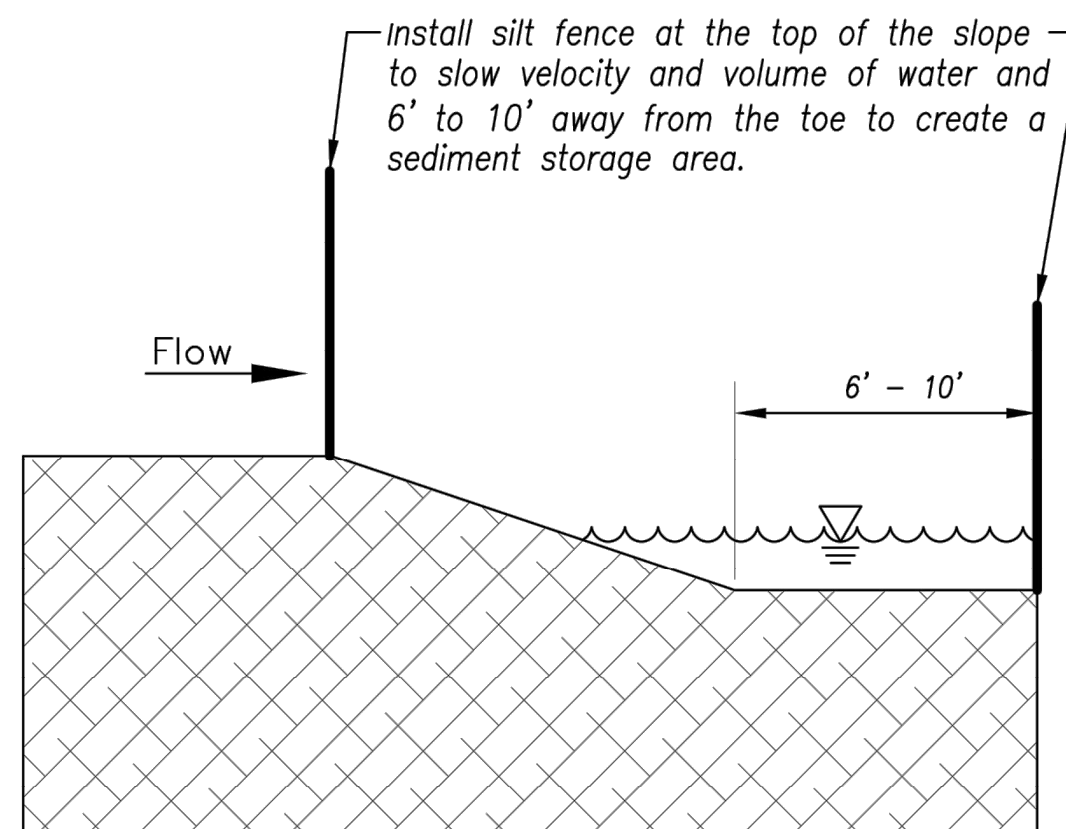


Figure A

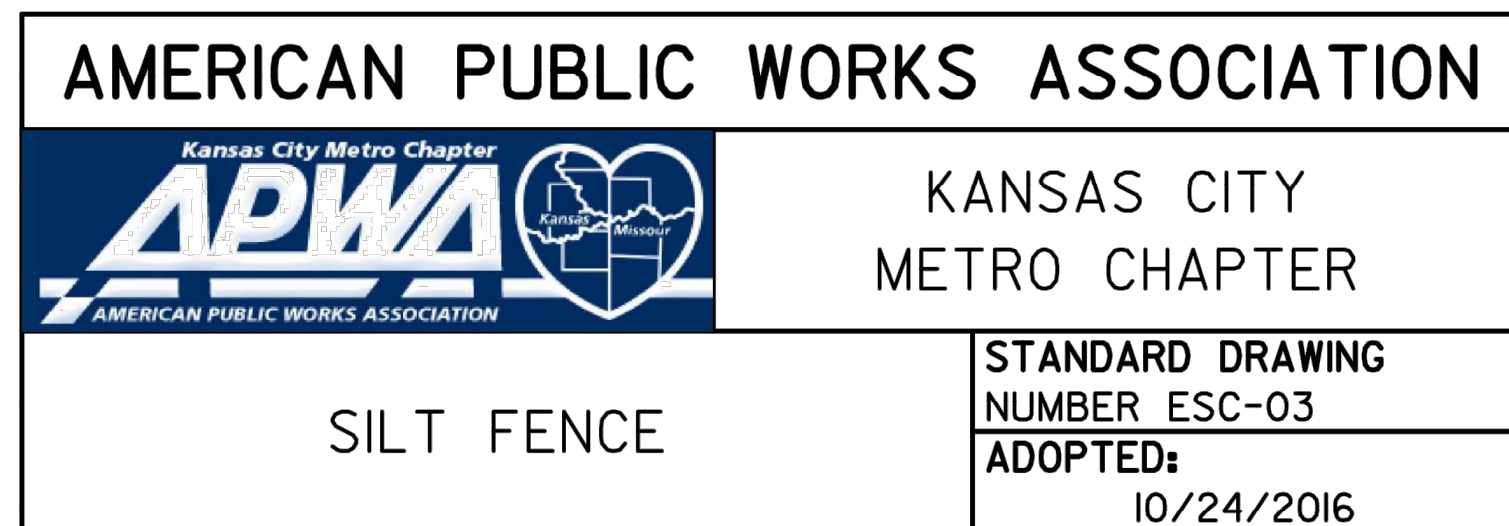
SILT FENCE LAYOUT

Not to Scale



JOINING FENCE SECTIONS

Not to Scale



SILT FENCE

	STANDARD DRAWING NUMBER ESC-03
	ADOPTED: 10/24/2016

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Final Development Plan - Lot 20/HUB Building

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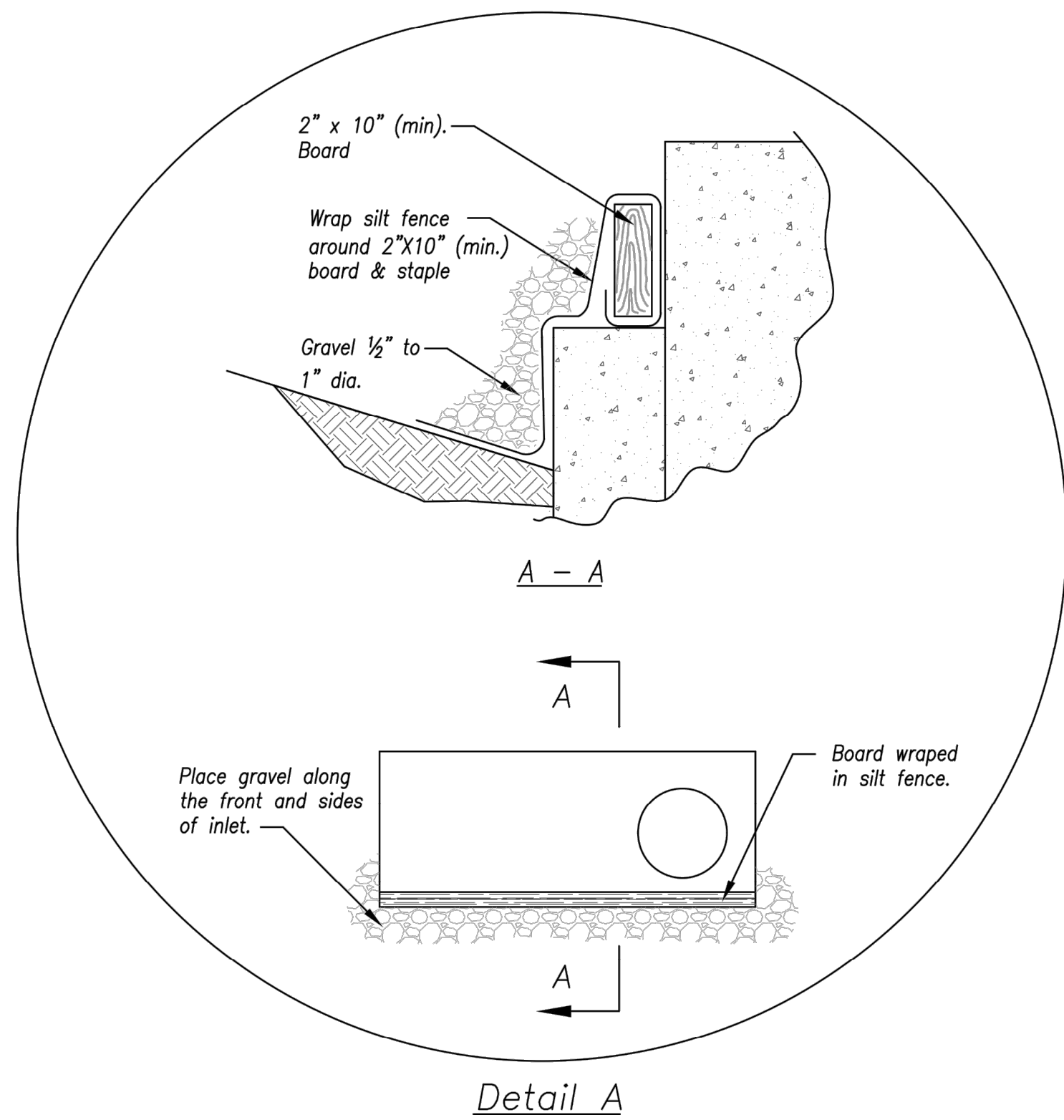
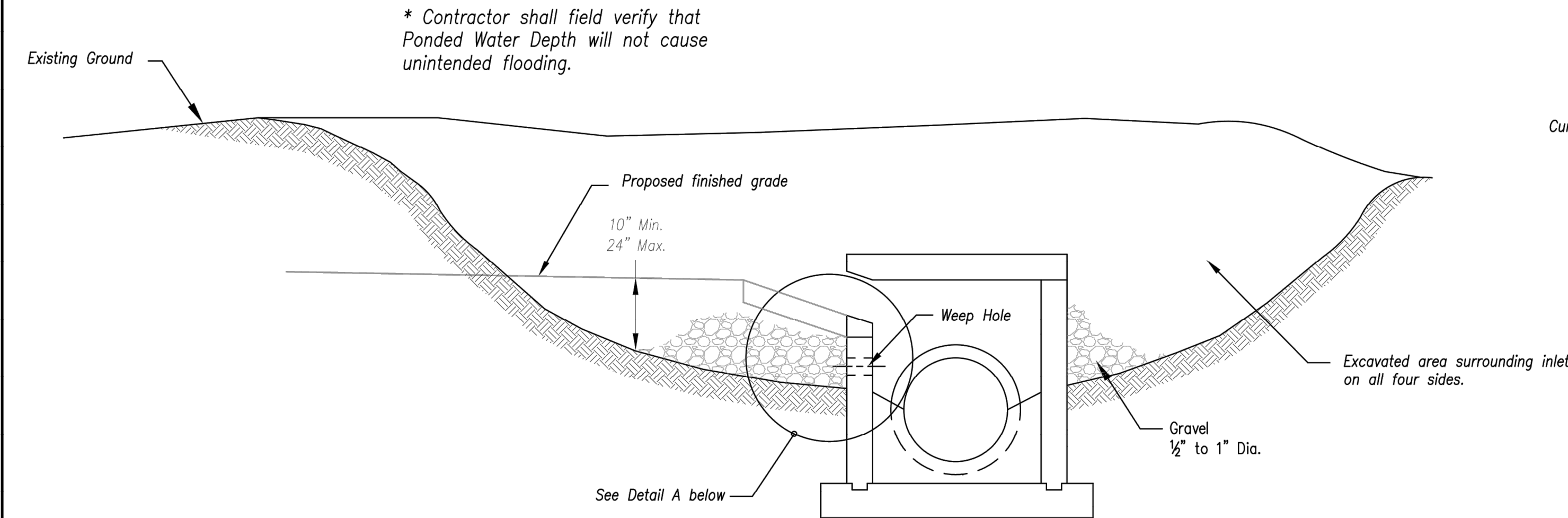
Erosion Control Details

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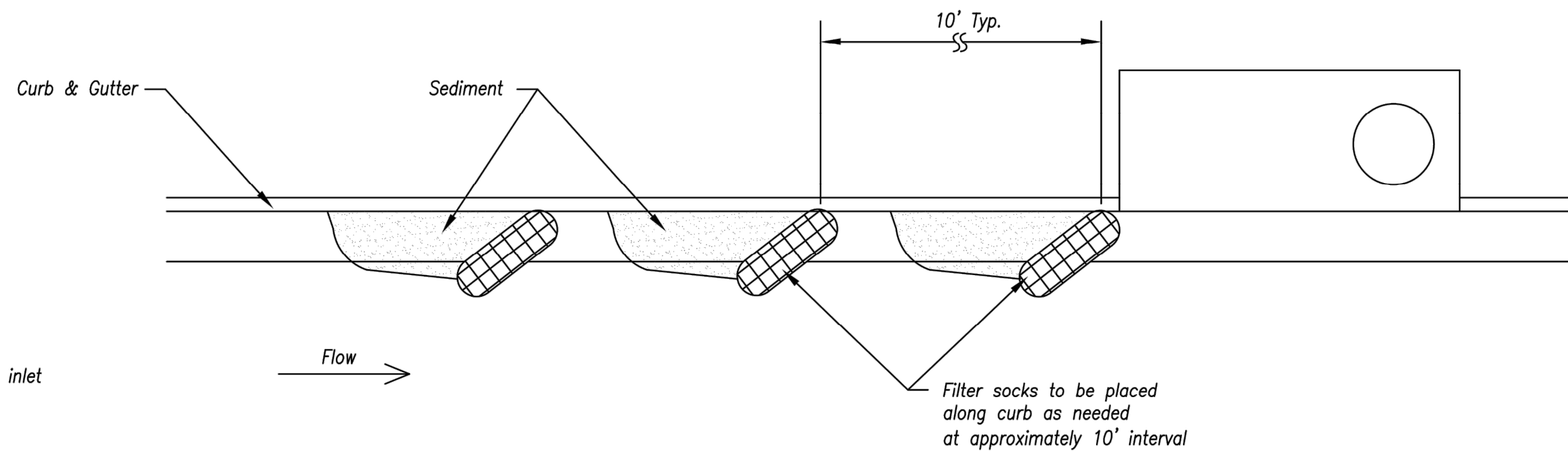
EARLY STAGE CURB INLET
(Open Box and Prior to Pouring Curb and Inlet Throat)

Notes:

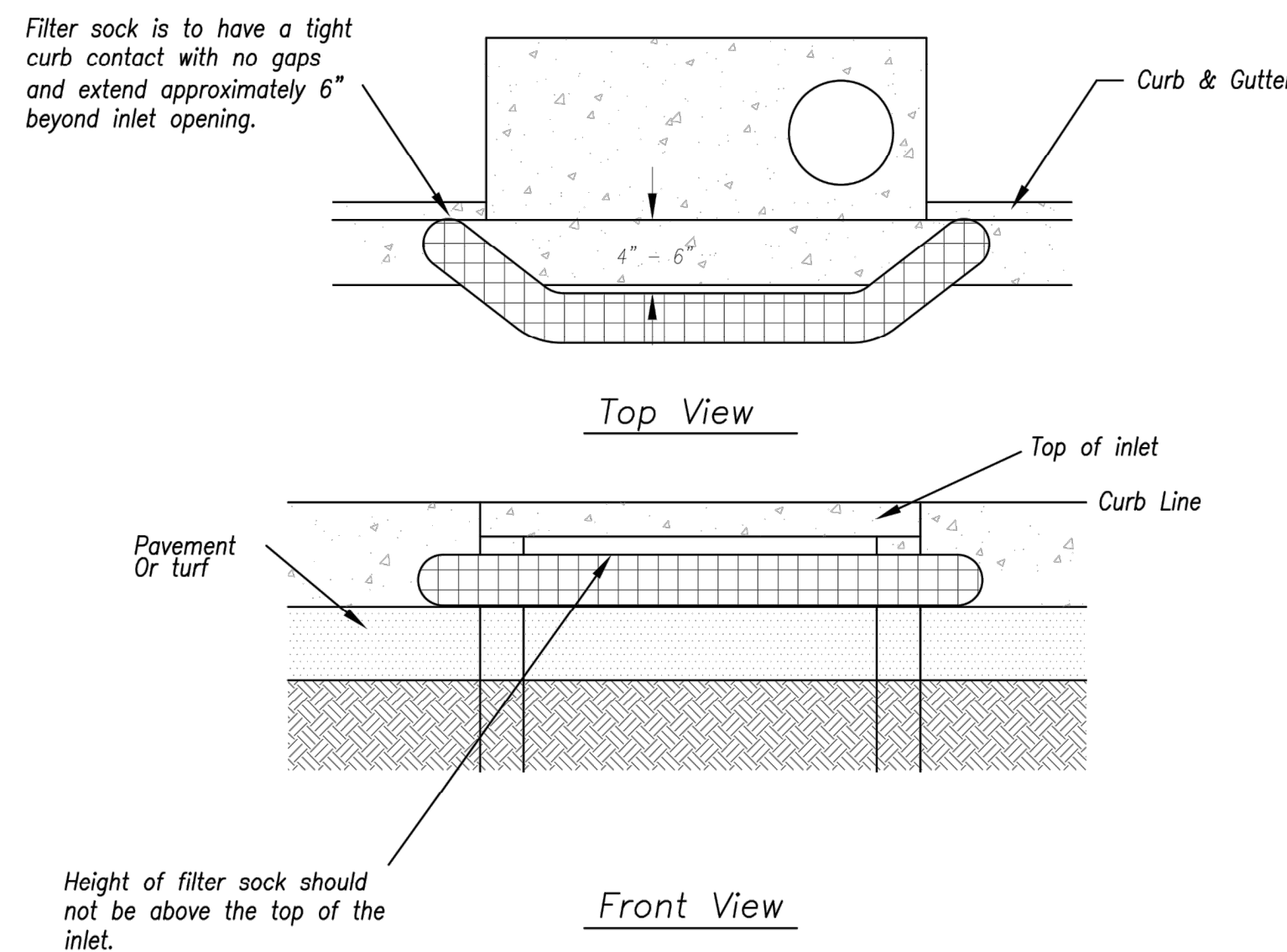
1. Immediately following inlet construction and prior to construction of curb and inlet throat, protect inlet opening by installing 2" X 10" (min.) board wrapped in silt fence. Structures shall have excavated storage area on all four sides to allow settling of sediment (Early Stage Curb Inlet).
2. When inlet is completed and curb poured, filter socks or approved equal should be used (Late Stage Curb Inlet). Straw wattles are not approved for curb inlet use.
3. Contractor to field verify ponding water shall not create a traffic hazard.

Maintenance:

1. Remove deposited sediment from excavated storage areas when available storage has been reduced by 20%.
2. Remove deposited sediment from filter socks or similar when any accumulation of sediment is visible.
3. Repair or replace as necessary to maintain function and integrity of installation.



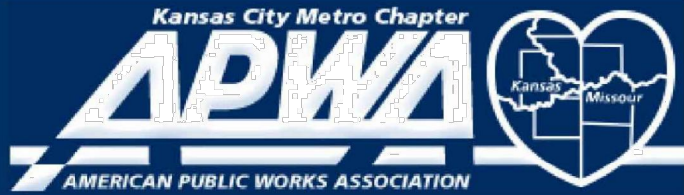
On Grade Curb Inlet Protection



Sump Inlet Sediment Filter

LATE STAGE CURB INLET
(After Pouring Curb and Inlet Throat)

Modified from 2015 Overland Park Standard Details for Erosion and Sediment Control.

AMERICAN PUBLIC WORKS ASSOCIATION	
	KANSAS CITY METRO CHAPTER
CURB INLET PROTECTION	STANDARD DRAWING NUMBER ESC-06 ADOPTED: 10/24/2016

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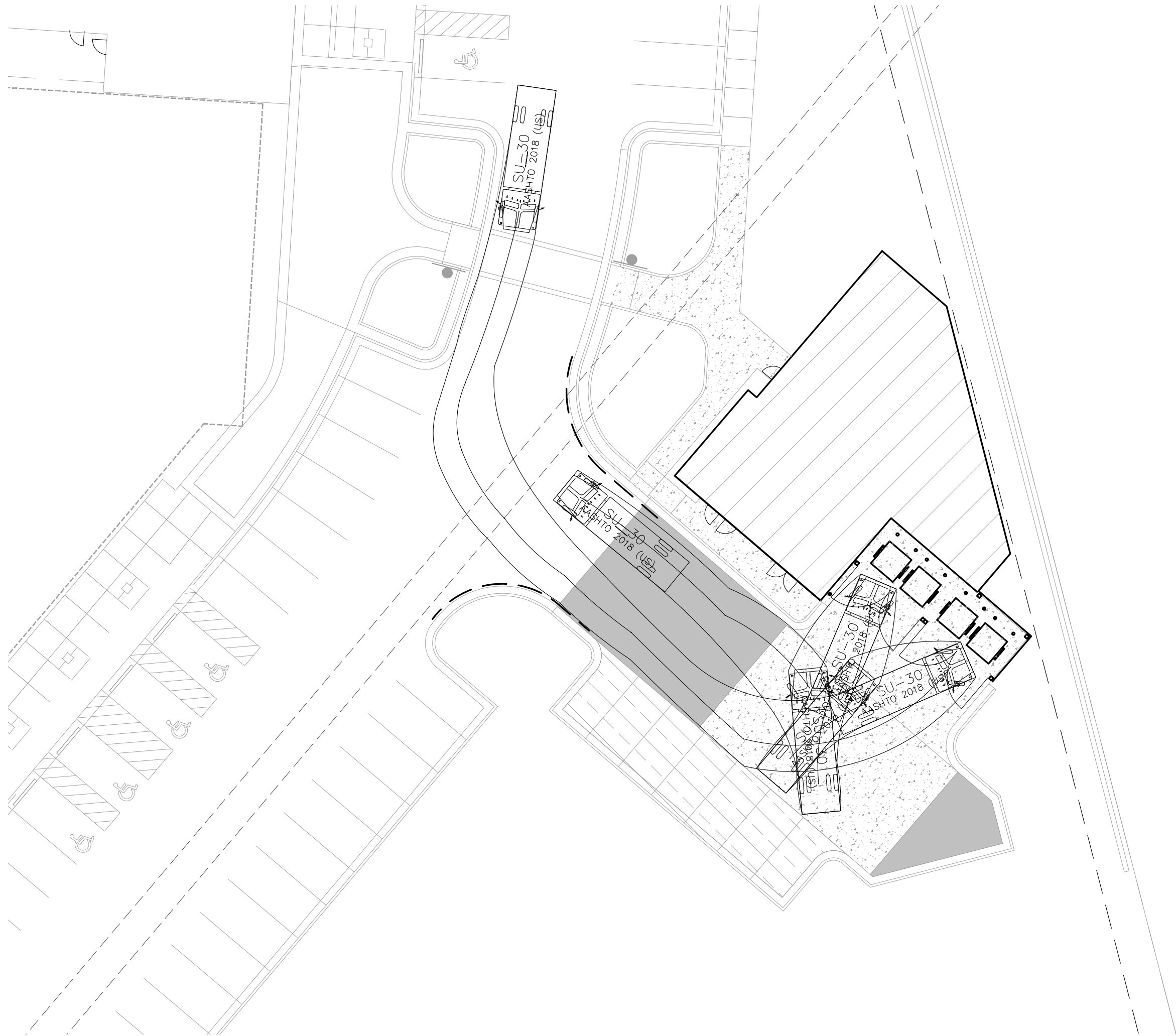
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**Erosion Control
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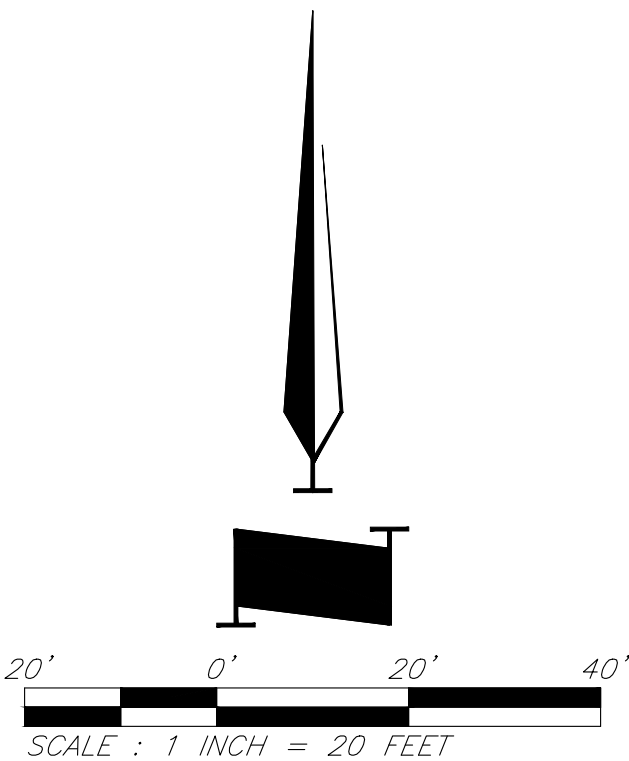
C010



Legend

----- 2' offset from face of curb

Turning Movements using SU-30 Design Vehicle.
Movements to a 2' clearance from tire track and curb.



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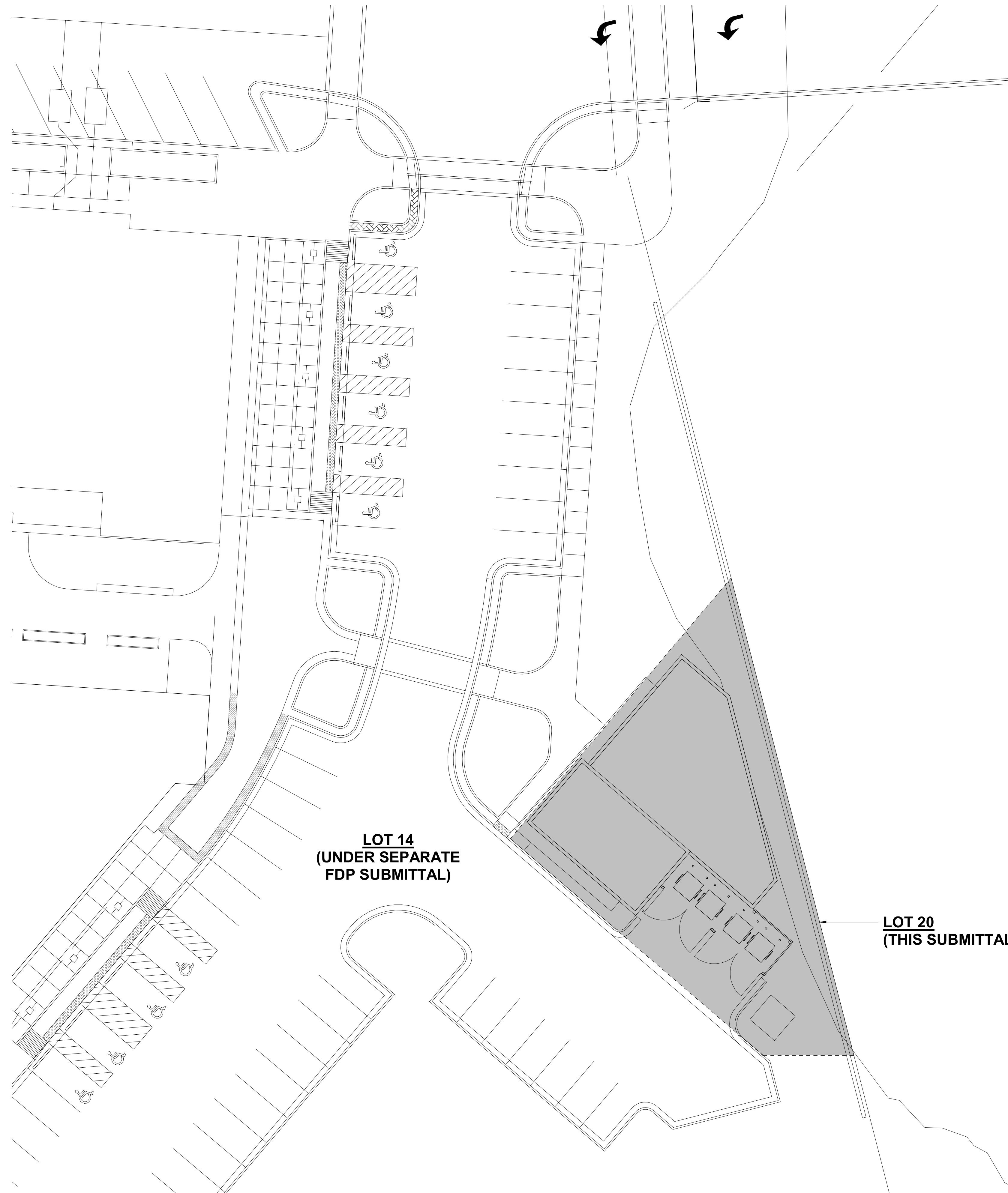
**Truck Turning
Movement**

JOB NO: 1249 SCALE:
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 **1 | FDP - SITE PLAN**
1/16" = 1'-0"

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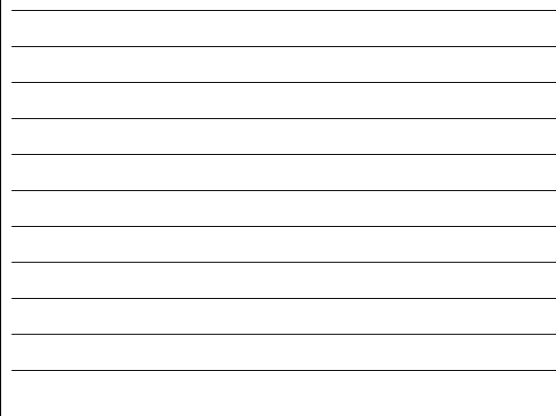
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Paragon Star Village

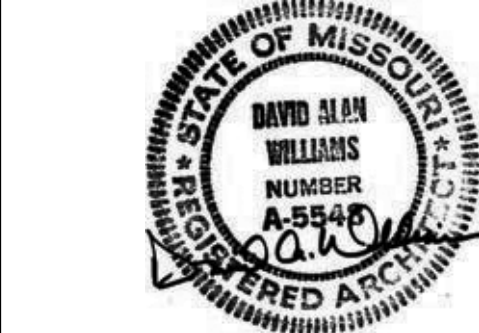
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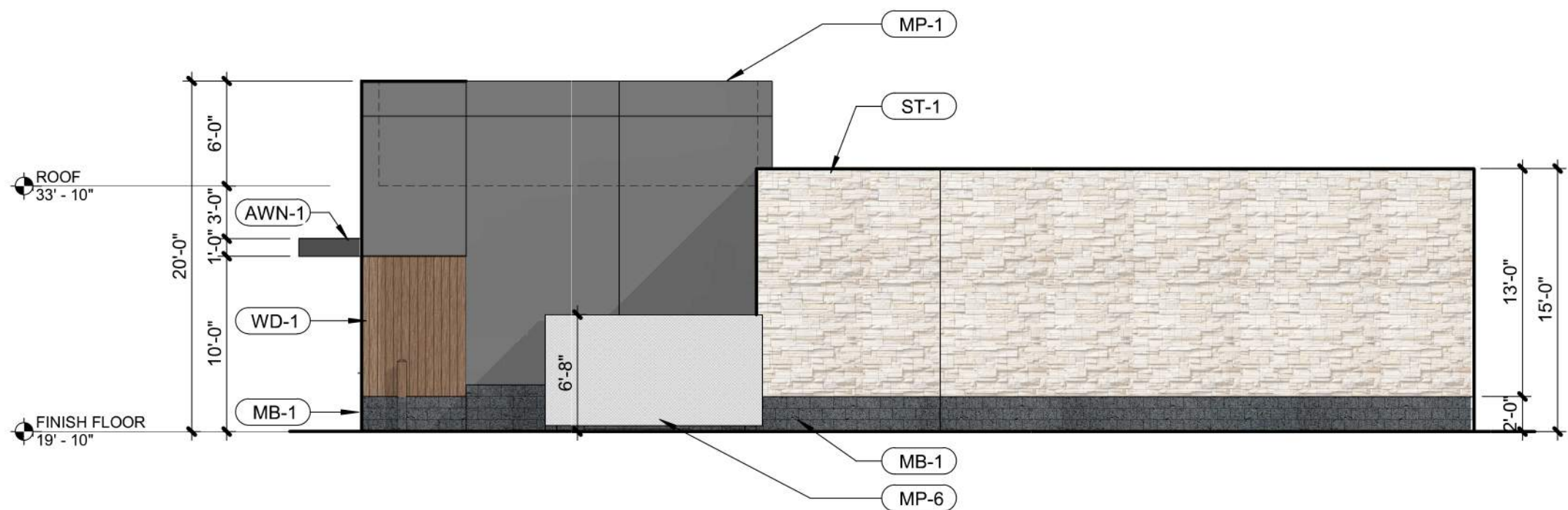
ARCHITECTURAL
SITE PLAN

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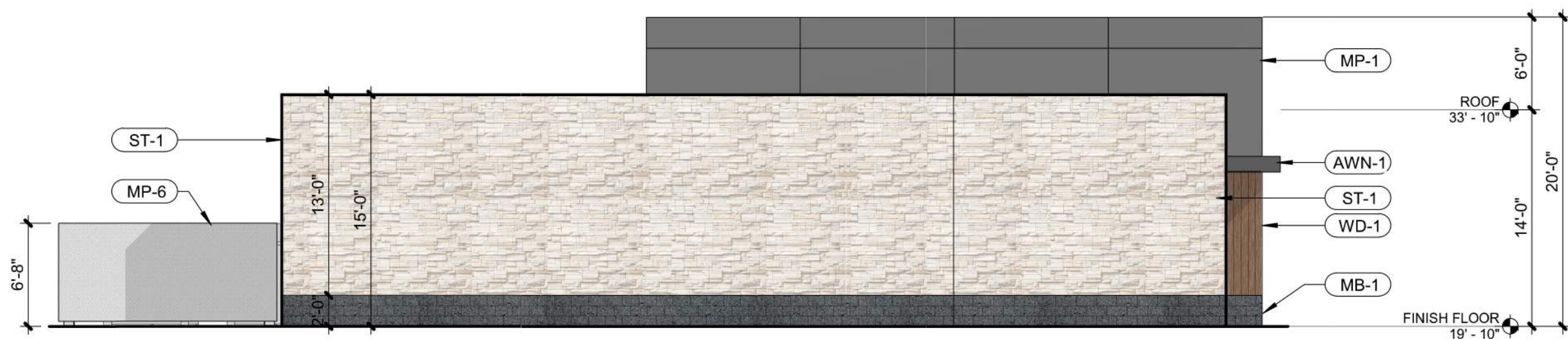
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A101

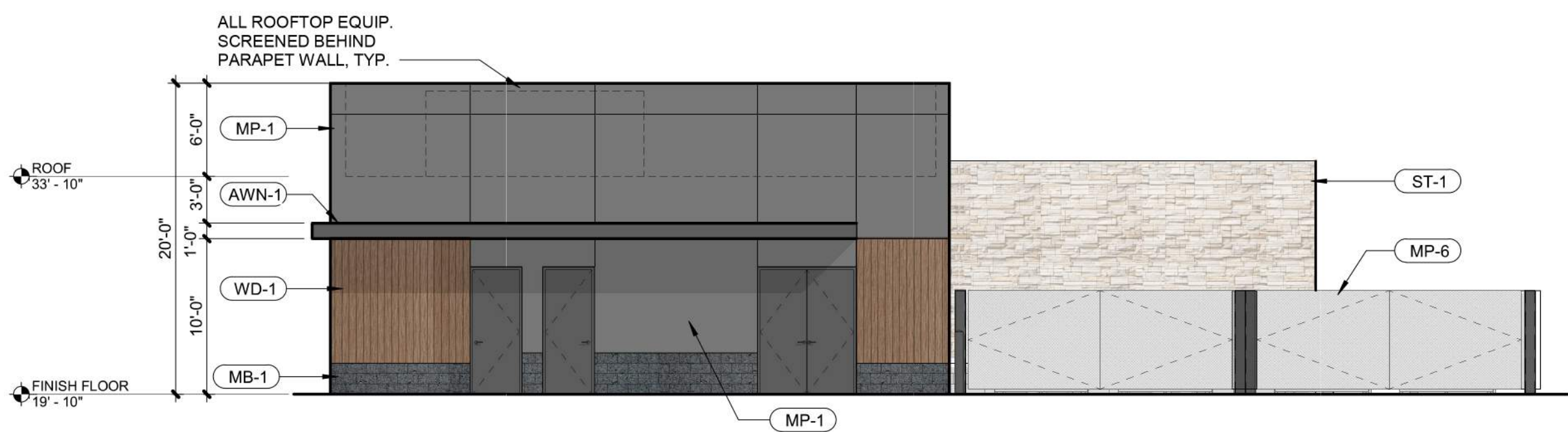
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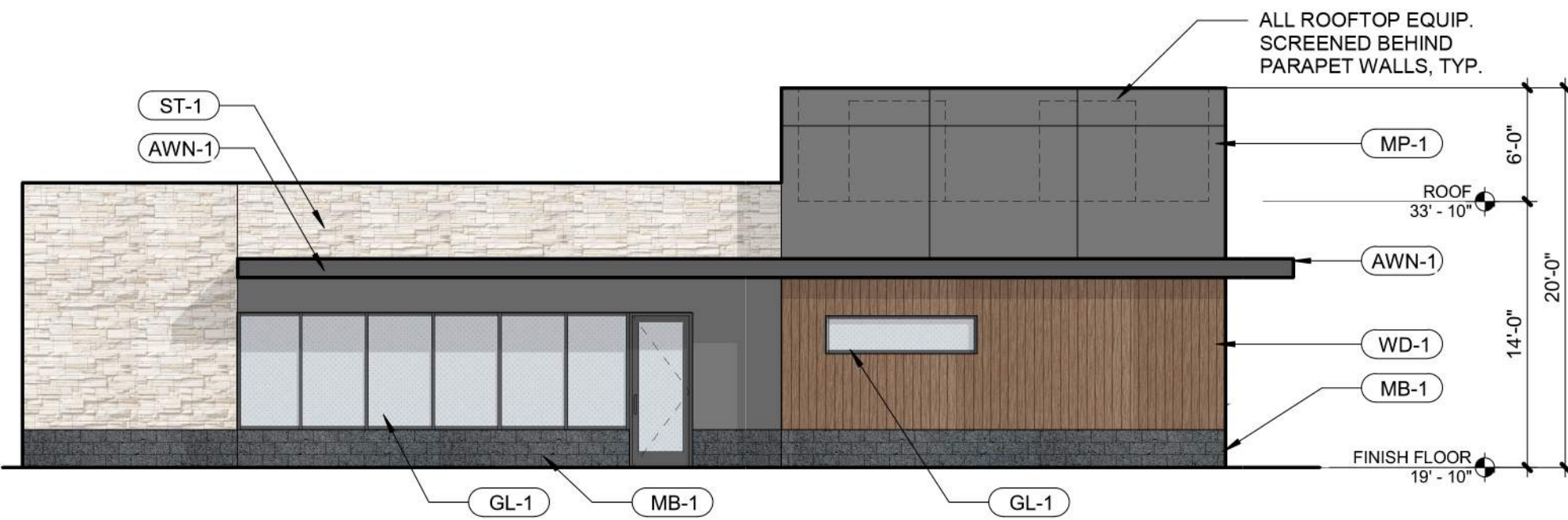
05 | EAST ELEVATION
1/8" = 1'-0"



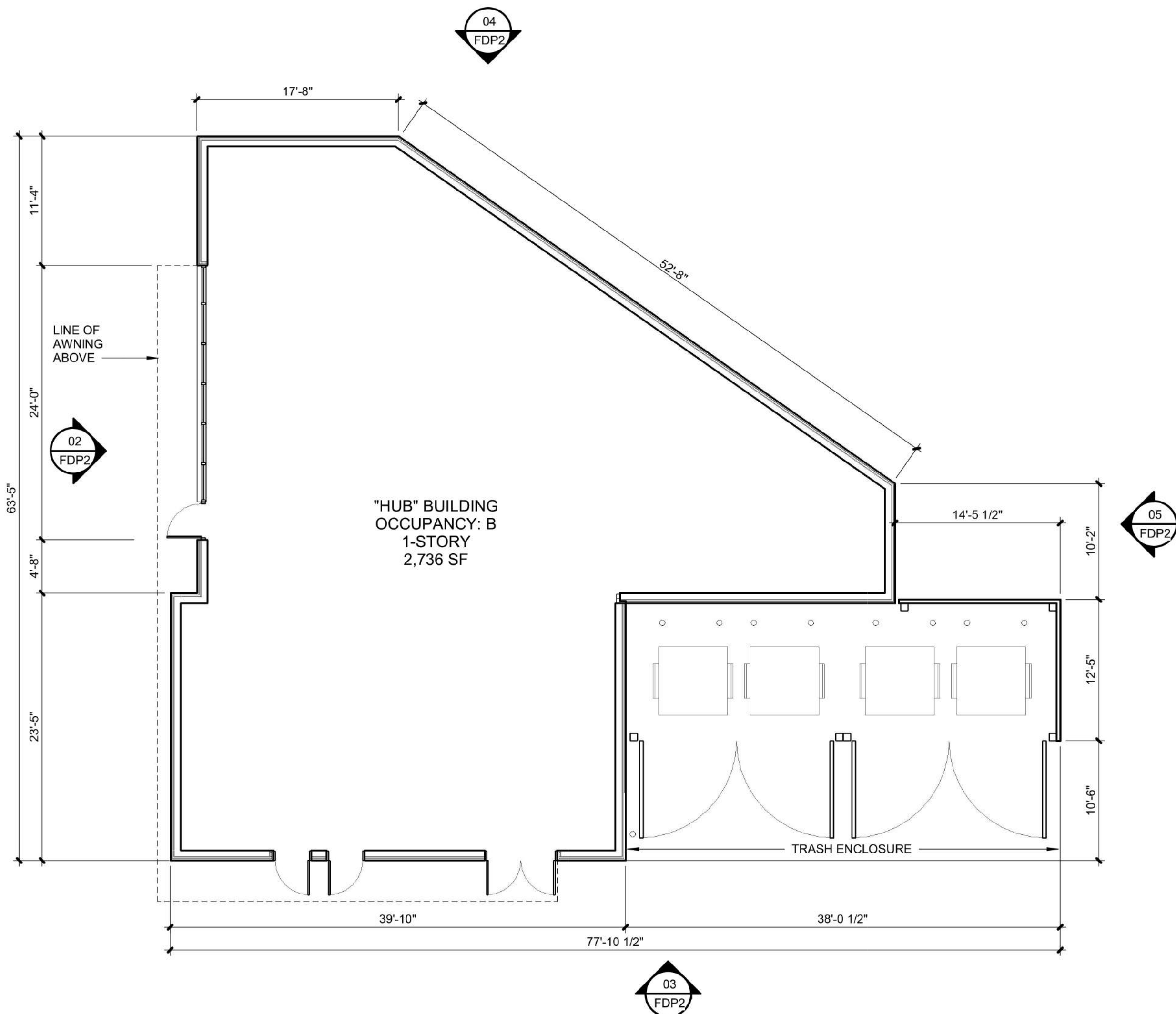
04 | NORTH ELEVATION
1/8" = 1'-0"



03 | SOUTH ELEVATION
1/8" = 1'-0"



02 | WEST ELEVATION
1/8" = 1'-0"



01 | FDP - FLOOR PLAN
1/8" = 1'-0"

EXTERIOR MATERIAL LEGEND

- MP-1 ALUMINUM COMPOSITE METAL (ACM) DRY SYSTEM, ALLUCOBOND, COLOR: NAUTRAL BRUSHED CARBON, ACM PANEL JOINTS TO ALIGN W/ GLAZING PER ELEVATIONS
- MP-6 PERFORATED METAL PANEL ON STEEL TUBE GATE/FRAME AT TRASH ENCLOSURE/SCREEN FENCE
- WD-1 GEOLAM VERTIGO 5010 COMPOSITE CLADDING, COLOR: MOLESKIN
- GL-1 STOREFRONT TYPE 1: 2" x 4.5" KAWNEER PERMACOAT SMOKE GRAY ALUMINUM CENTER GLAZED STOREFRONT SYSTEM W/ 1" INSULATED LOW-E GLAZING UNIT
- ST-1 ELDORADO CULTURED STONE VANTAGE 30, COLOR: WHITE ELM
- MB-1 GROUND FACE 6X16 MASONRY BLOCK PER STRUCTURAL DWGS, BURNISHED FINISH, COLOR: MIDWEST SLATE
- AWN-1 CANOPY: PAINTED STEEL CHANNEL FRAME WITH GEOLAM VERTIGO 5010 SOFFIT, COLOR: MOLESKIN

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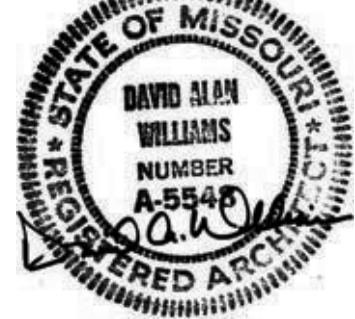
PROJECT:

Paragon Star Village
1401 NW View High Dr, Lee's Summit, MO 64081

Final Development Plan - Lot 20/HUB Building

ISSUE:

PROFESSIONAL SEAL:



DRAWING TITLE:

**FLOOR PLAN
AND
ELEVATIONS**

JOB NO: 1249

SCALE:

DATE: 03.31.2021

DRAWN BY: EF

SHEET NO:

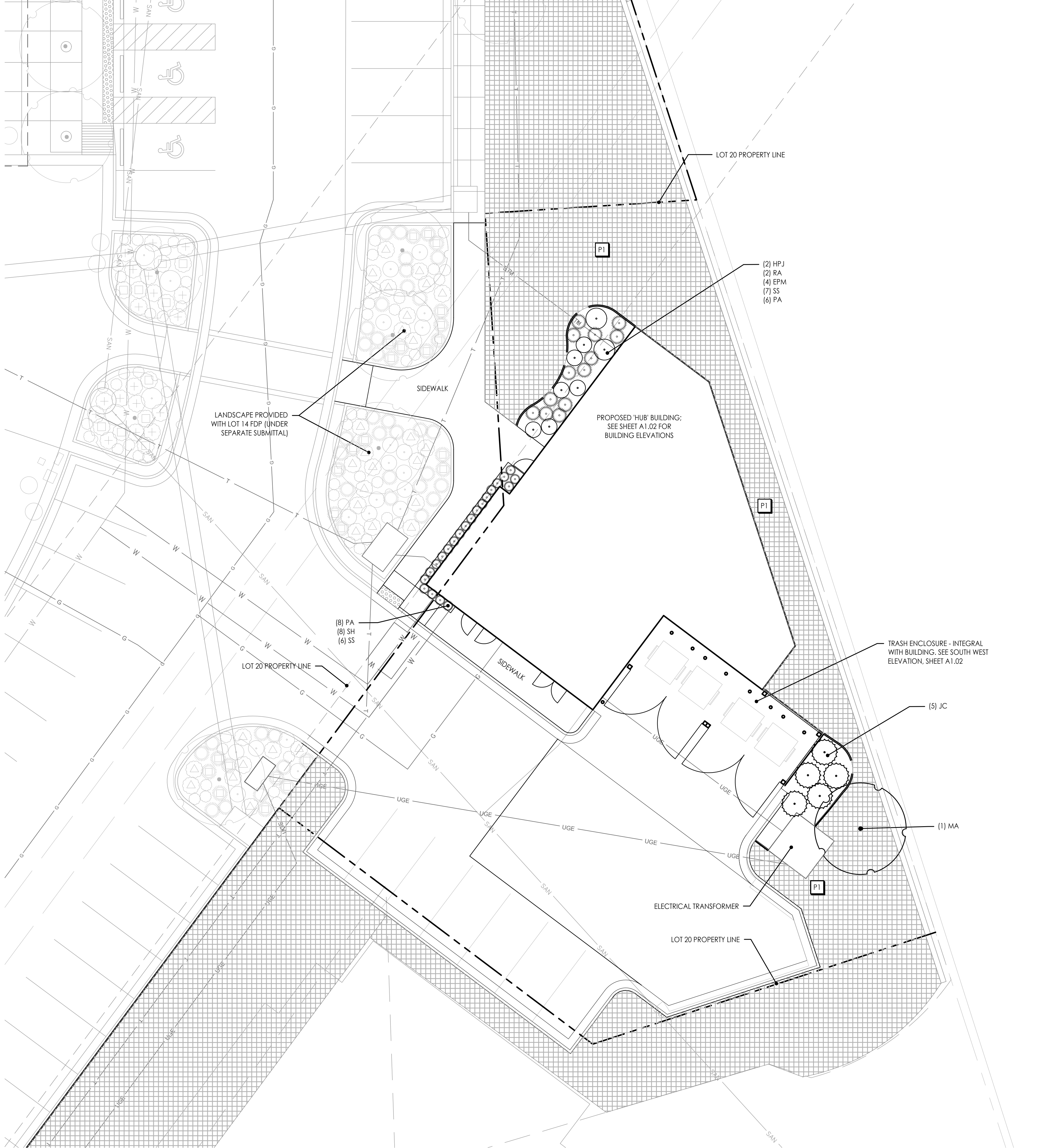
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1 PLANTING PLAN - LOT 20 / HUB BUILDING
Scale: 1"= 10'-0"



PLANTING NOTES

1. THIS PLAN PROVIDES LAYOUT, QUANTITY & SIZES OF ALL PLANT MATERIAL TO BE INSTALLED BY THE LANDSCAPE CONTRACTOR. REFER TO **SECTION 329300 - PLANTS** AND **SECTION 329200 - TURF AND GRASSES** FOR COMPLETE SCOPE OF WORK, RESPONSIBILITIES, PRODUCTS & EXECUTION OF WORK.
2. CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITIES BY CONTACTING ALL OF THE RESPECTIVE UTILITY COMPANIES AND/ OR THE LOCAL "ONE-CALL"/"CALL-BEFORE-YOU-DIG" SYSTEM AND BY EXCAVATING TEST PITS IF NECESSARY.
3. LOCATIONS OF ALL PLANT MATERIALS SHALL BE STAKED IN THE FIELD AND APPROVED BY THE OWNERS REPRESENTATIVE PRIOR TO PLANTING.
4. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE TO SEED ALL DISTURBED AREAS BACK TO ORIGINAL FINISHED GRADE ELEVATIONS, INCLUDING, EQUIPMENT MATERIAL STORAGE AREA AND STAGING AREAS ADJACENT TO SITE.

PLANTING SCHEDULE

SYM.	KEY	COMMON NAME BOTANICAL NAME	SIZE & REMARKS
●	ORNAMENTAL TREE		
	MA	Royal Raindrops® Crabapple <i>Malus 'JFS-KWS'</i>	3" cal.
●	EVERGREEN TREE		
	JC	Perfecta Juniper <i>Juniperus chinensis 'Perfecta'</i>	8' ht. min.
●	DECIDUOUS SHRUB		
	RA	Grow-low Sumac <i>Rhus aromatica 'Gro-low'</i>	3 gal.
	HPJ	Little Lime® Hydrangea <i>Hydrangea paniculata 'Jane'</i>	5 gal.
●	ORNAMENTAL GRASS		
	PA	Dwarf Fountain Grass <i>Pennisetum alopecuroides 'Hameln'</i>	1 gal.
	SS	Little Bluestem <i>Schizachyrium scoparium</i>	1 gal.
	SH	Prairie Dropseed <i>Sporobolus heterolepis</i>	1 gal.
●	PERENNIAL/GROUND COVER		
	EPM	Purple Coneflower <i>Echinacea purpurea 'Magnus'</i>	1 gal.
TURF/SEED MIXES			
P1	Native Prairie Seed Mix Butterfly Milkweed- <i>Asclepias tuberosa</i> (5%) Blue Wild Indigo- <i>Baptisia australis</i> (5%) New Jersey Tea- <i>Ceanothus americanus</i> (5%) Amethyst Vernal Witchhazel (10%) Switchgrass- <i>Panicum virgatum</i> (13%) Little Bluestem- <i>Schizachyrium scoparium</i> (30%) Indiangrass- <i>Sorghastrum nutans</i> (20%) Fall Aster - <i>Symphyotrichum oblongifolium</i> (10%)		

LANDSCAPE CALCULATIONS

	Ordinance Requirement	Required for this Site	Proposed
8.790.A.2 Street Frontage Trees	One (1) tree per 30 linear feet of street frontage. 20-foot-wide landscape strip along street frontage	Provided by overall development landscaping	N/A
8.790.A.2 Street Frontage Green Strip	20-foot-wide landscape setback	Provided by overall development landscaping	N/A
8.790.A.3 Street Frontage Shrubs	One (1) shrub per 20 linear feet of street frontage	Provided by overall development landscaping	N/A
8.790.B.1 Open Yard Areas	Two (2) shrubs per 5,000 SF of total lot area, excluding building footprint	Site area 0.16 Ac (7,153 sf) - Building (2,736 sf) = 4,417 sf 2 shrubs required	43 Shrubs provided
8.790.B.2 Open Yard Areas	All portions of site not covered with paving or buildings must be landscaped. Ground covers used on slopes in excess of 3:1		Meets requirement
8.790.B.3 Open Yard Areas	Additional trees required at a ratio of one (1) tree for every 5,000 square feet of lot area not covered by buildings/structures	Site area 0.16 Ac (7,153 sf) - Building (2,736 sf) = 4,417 1 tree required	1 tree provided
8.810.A Parking Lot Landscape Islands	Islands required, constituting at least 5% of the entire parking lot area. Every four rows of parking shall include an island at least 10' in width.	Parking lot area (3922 sf) x 0.05 = 197 sf required	288 sf planted islands; additional islands adjacent to FDP parcel
8.810.B Parking Lot Landscape Islands	Islands are required at the end of every parking bay, at least 9 foot wide and one-half the length of the adjacent parking space. Island shall be planted in trees, shrubs, grass or ground cover		Islands @ each end of parking bay
8.810.C Parking Lot Landscape Islands	Tree planting areas shall be no less than ten feet in width. No tree shall be less than four feet from the back of curb. All islands, strips or other planting areas shall be curbed.		Meets requirement
8.820.C.1 Parking Lot Screening, if required	Planted Only: A hedge consisting of at least 12 shrubs per 40 linear feet. Shrubs must be at least 18 inches tall at the time of planting	Provided by overall development landscaping	N/A

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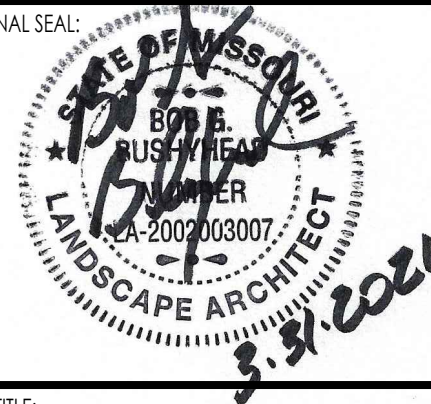
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Landscape Plan

JOB NO: 1249 SCALE: 1" = 10'-0"
DATE: 03.31.2021 DRAWN BY: EDO

SHEET NO:

L100