

PROJECT DIRECTORY

OWNER / DEVELOPER
TM CROWLEY
501 PENNSYLVANIA PARKWAY SUITE 160
INDIANAPOLIS, IN 46280
(317) 705-8800

CIVIL ENGINEER
PREMIER DESIGN GROUP
100 MIDLAND PARK DRIVE
WENTZVILLE, MO 63385
314-925-7444
CONTACT: MATT FOGARTY

MUNICIPALITY
CITY OF LEE'S SUMMIT
200 SE GREEN
LEE'S SUMMIT, MO 64063
(816) 969-1200
CONTACT: DEVELOPMENT
SERVICES DEPARTMENT

UTILITY PROVIDERS

WATER
CITY OF LEE'S SUMMIT WATER
1200 SE HAMBLÉN RD
LEE'S SUMMIT, MO 64081
(816) 969 1900
CONTACT: T.B.D.

ELECTRIC
EVERGY ELECTRIC
1351 NW WARD RD
LEE'S SUMMIT, MO 64086
(888) 471-5275
CONTACT: T.B.D.

GAS
SPIRE GAS
1117 S. PLEASANT ST
INDEPENDENCE, MO 64050
(800) 582-1234
CONTACT: T.B.D.

TELEPHONE
AT&T BUSINESS COMMUNICATION SERVICES
(618) 346-6400
CONTACT: T.B.D.

FIRE DEPARTMENT
CITY OF LEE'S SUMMIT FIRE PROTECTION
207 E. DOUGLAS BLVD
LEE'S SUMMIT, MO 64063
(816) 969-1313
CONTACT: MIKE SNIDER - FIRE CHIEF

SANITARY SEWER
CITY OF LEE'S SUMMIT SEWER
1200 SE HAMBLÉN ROAD
LEE'S SUMMIT, MO 64081
(816) 969 1900
CONTACT: T.B.D.

CABLE
SPECTRUM
188 NW OLDHAM PKWY
LEE'S SUMMIT, MO 64081
(874) 874 2389
CONTACT: T.B.D.

EXISTING LEGEND	
	FOUND IRON PIPE
	SET IRON PIPE
	FOUND STONE MONUMENT
	FIRE HYDRANT
	WATER VALVE
	WATER METER VAULT
	IRRIGATION CONTROL VALVE
	GAS VALVE
	GAS METER
	LIGHT STANDARD
	CLEAN OUT
	SANITARY SEWER MANHOLE
	STORM SEWER MANHOLE
	STORM SEWER INLET
	PIPE BOLLARD
	SIGN
	BUSH
	TREE
	TRAFFIC SIGNAL BOX
	MONITORING WELL
	TEST HOLE
	PEDESTRIAN SIGNAL
	ELECTRIC METER
	STORM CURB INLET
	STORM DOUBLE CURB INLET
	AIR CONDITIONER
	DOWN SPOUT
	TELEPHONE PEDESTAL
B.O.C. BACK OF CURB	
PROPOSED LEGEND	
	UTILITY POLE
	FIRE HYDRANT
	WATER VALVE
	WATER METER VAULT
	GAS METER
	LIGHT STANDARD
	CLEAN OUT
	MONITORING WELL
	SANITARY SEWER MANHOLE
	STORM SEWER MANHOLE
	GRATE INLET
	DOUBLE CURB INLET
	PIPE BOLLARD
	SIGN
	ELECTRIC METER
	UNDERGROUND ELECTRIC
	UNDERGROUND TELEPHONE
	OVERHEAD ELECTRIC/PHONE
	2" WATER MAIN
	6" WATER MAIN
	8" WATER MAIN
	GAS LINE
	CONTOUR LINE

\\va01-fs-1\va01\CT\130 PROJECTS\2020-0008920_PetSuites_Archery C\Lee 3B_Lee Summit\ENGINEERING-CONSTRUCTION DOCUMENTS\C-000 COVER SHEET.dwg

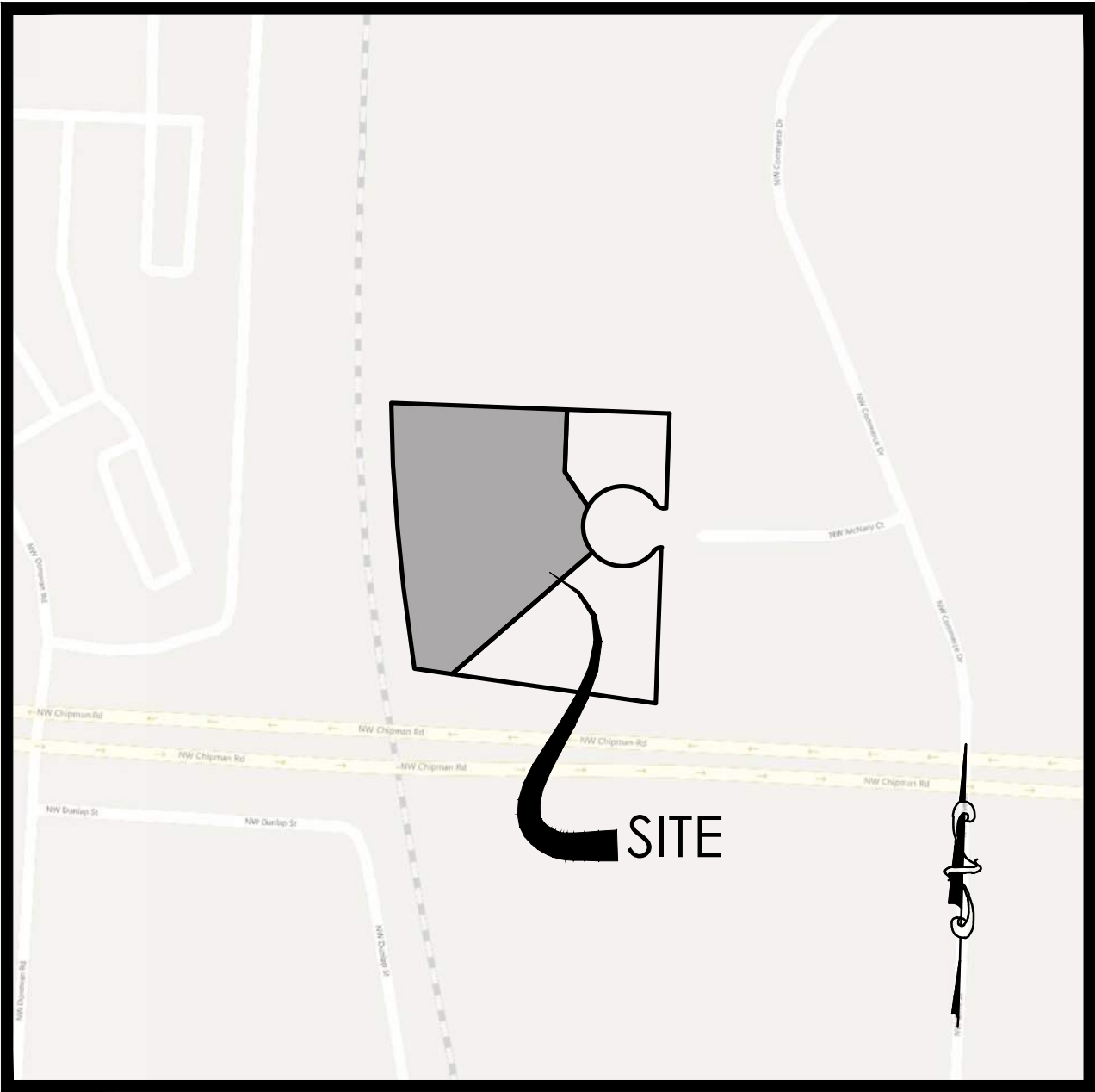
UNDERGROUND UTILITIES AND OSHA SAFETY NOTE:
Underground utilities and structures have been plotted from available information and therefore, their location must be considered approximate only. It is the responsibility of the individual contractors to notify the utility companies before actual construction. All O.S.H.A. rules and regulations established for the type of construction required by these plans shall be strictly followed (i.e. trenching, blasting, etc.)

FINAL DEVELOPMENT PLAN
FOR



250 NW MCNARY CT.

ALL OF LOT 3B, SUMMIT TEC ANNEX-LOTS 3A, 3B, AND 3C, A SUBDIVISION IN LEE'S SUMMIT, JACKSON COUNTY, MISSOURI, ACCORDING TO THE RECORDED PLAT THEREOF, BEING A REPLAT OF LOT I AND TRACT A OF BLOCK 3 OF SUMMIT TEC INDUSTRIAL PARK, A SUBDIVISION IN LEE'S SUMMIT, JACKSON COUNTY, MISSOURI.



LOCATION MAP
1" = 250'

DISTURBED AREA = 1.63 ACRES

DATUM BENCHMARK

JA-43: KC METRO ALUM GRS DISK SET IN CONCRETE : KC METRO ALUM GRS DISK SET IN CONCRETE ABOUT 0.5 MILES SOUTH OF THE I-470 INTERSECTION WITH DOUGLAS ROAD AND NEAR THE INTERSECTION WITH NW VICTORIA STREET. ELEV:934.77

SITE BENCHMARKS

BM#1 - CHISELED SQUARE CUT INTO THE MIDDLE FRONT OF THE 1 CHISELED SQUARE CUT INTO THE MIDDLE FRONT OF THE WEST CURB INLET AT THE END OF CUL-DE-SAC ELEV= 999.04

BM#2 - CHISELED CROSS AT THE NORTHERN END OF INLET AT END OF CUL-DE-SAC ELEV:999.16

BM#3 - CHISELED CROSS AT THE SOUTHEAST CORNER OF THE SOUTHWESTERN CURB INLET LOCATED PRIOR TO THE CUL-DE-SAC ROUNDING. ELEV: 1006.12

MBOE - (MINIMUM BUILDING OPENING ELEVATION)
ELEV = 1001.00

PREMIER
DESIGN GROUP
100 MIDLAND PARK DRIVE
WENTZVILLE, MO 63385

SHEET INDEX

C-000	COVER SHEET
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C-700	CONSTRUCTION DETAILS
C-701	ADA DETAIL
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C-801	UTILITY DETAILS
L-100	LANDSCAPE PLAN

PROPERTY DATA

OVERALL SITE ACREAGE	±2.11 ACRES - 92,014 S.F.
ADDRESS	250 NW MCNARY CT.
PARCEL ID#	52-900-03-42-00-0-00-000
EXISTING ZONING	CP-2
CURRENT LAND USE	VACANT COMMERCIAL PROPERTY
PROPOSED LAND USE	PET SERVICES AND VETERINARY CLINIC

LEGAL DESCRIPTION:

ALL OF LOT 3B, SUMMIT TEC ANNEX-LOTS 3A, 3B, AND 3C, A SUBDIVISION IN LEE'S SUMMIT, JACKSON COUNTY, MISSOURI, ACCORDING TO THE RECORDED PLAT THEREOF, BEING A REPLAT OF LOT I AND TRACT A OF BLOCK 3 OF SUMMIT TEC INDUSTRIAL PARK, A SUBDIVISION IN LEE'S SUMMIT, JACKSON COUNTY, MISSOURI.

SITE COVERAGE CALCULATIONS

SITE AREA = 2.11 ACRES
FLOOR TO AREA RATIO
14,100/92,014 = 0.151 FAR

EXISTING IMPERVIOUS AREA PARKING LOT AND BUILDING
0.00 ACRES OF PAVEMENT
0.00 ACRES OF BUILDING

EXISTING GREEN SPACE
2.11 ACRES

EXISTING PERCENT OF IMPERVIOUS AREA COVERAGE = 0%

PROPOSED IMPERVIOUS AREA PARKING LOT AND BUILDING
0.87 ACRES OF PAVEMENT
0.32 ACRES OF BUILDING

PROPOSED GREEN SPACE
1.12 ACRES OF GREEN SPACE

PROPOSED PERCENT OF IMPERVIOUS AREA COVERAGE = 46.9%

ELECTRONIC DRAWING NOTE:
ELECTRONIC MEDIA OR DIGITAL DRAWINGS ARE INSTRUMENT OF PROFESSIONAL SERVICES. OWNERSHIP OF SUCH WILL BE RETAINED BY THE CIVIL ENGINEER AND MAY NOT BE RELEASED TO CONTRACTORS. CONTRACTORS ARE ADVISED TO CREATE BIDS BASED ON THE USE OF PAPER COPIES OF THE PLANS.

ENGINEERS AUTHENTICATION
The responsibility for professional engineering abilities on this project is hereby limited to the set of plans authorized by the seal, signature, and date hereunder attached. Responsibility is disclaimed for all other engineering plans involved in this project and specifically excludes revisions after the date dates reauthorized.
STEVEN D. MARION P.E.
PROFESSIONAL ENGINEER
PE 2006007195

PETSUITES OF AMERICA
LEES SUMMIT, MO
250 NW MCNARY CT.
LEE'S SUMMIT, MO 64086
TM CROWLEY
501 PENNSYLVANIA PARKWAY SUITE 160
INDIANAPOLIS, IN 46280

Project		Date	
1-27-2021		1-27-2021	
#	Revision Date	Description of Changes	Sheet Title
1	3-10-2021	REVISED C-100 THROUGH C-401, C-601 THROUGH L-100	COVER SHEET
1	5-22-2021	REVISED C-000 THROUGH C-100, C-300 THROUGH C-402, C-700 THROUGH C-800	
1	5-29-2021	REVISED C-300 ADDED STRUCTURE SIZES	
Sheet Number			C-000

Project No.	2008920
Drawn By	Z. KUNTZ/A. JONES
Checked By	M.FOGARTY

PERMIT SET

1. ALL PAVING, CONSTRUCTION MATERIALS, AND WORKMANSHIP WITHIN CITY RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH THE CITY OF LEES SUMMIT, MISSOURI.

2. ALL AREAS IN EXISTING RIGHTS-OF-WAY DISTURBED BY SITE CONSTRUCTION SHALL BE RE-GRADED AND LANDSCAPED OR PAVED, (WHATEVER WAS THERE BEFORE DISTURBANCE). ALL DISTURBED AREAS SHALL BE REPAIRED TO THE PREVIOUS CONDITION OR BETTER THAN BEFORE AREA WAS DISTURBED.

3. TRAFFIC CONTROL ON ALL STATE, CITY AND COUNTY RIGHTS-OF-WAY SHALL MEET THE REQUIREMENTS OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (U.S. DOT/FHWA) AND THE REQUIREMENTS OF THE STATE AND ANY LOCAL AGENCY HAVING JURISDICTION. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND THE JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT, THE MOST STRINGENT SHALL GOVERN.

4. THE CONTRACTOR SHALL GRADE THE SITE TO THE ELEVATIONS INDICATED AND SHALL RE-GRADE ANY WASHOUTS WHERE THEY OCCUR AFTER EVERY RAINFALL EVENT UNTIL SOIL IS STABILIZED.

5. ALL AREAS INDICATED AS PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TYPICAL PAVEMENT SECTIONS AS INDICATED ON THE DRAWINGS AND THE PROJECT SPECIFICATIONS.

6. WHERE EXISTING PAVEMENT IS INDICATED TO BE REMOVED AND REPLACED, THE CONTRACTOR SHALL SAW CUT TO FULL DEPTH OF EXISTING PAVEMENT. CONTRACTOR SHALL PREPARE A SMOOTH, SOUND, VERTICAL FACE AND MATCH THE EXISTING PAVEMENT ELEVATION UNLESS OTHERWISE NOTED. CONTRACTOR SHALL INSTALL LONGITUDINAL BUTT JOINTS WHEN CONNECTING TO EXISTING CONCRETE PAVEMENT.

7. THE CONTRACTOR SHALL ENSURE THAT ALL PLANTING AREAS ARE NOT OVERLY COMPACTED AND DO NOT CONTAIN LIMESTOCK. THE CONTRACTOR SHALL EXCAVATE AND REMOVE ALL UNSUITABLE MATERIAL FROM ALL AREAS ON THE SITE TO BE PLANTED.

8. ALL DRAINAGE STRUCTURES SHALL BE DE-SILTED AS REQUIRED DURING AND AT THE END OF CONSTRUCTION TO PROVIDE POSITIVE DRAINAGE FLOWS.

9. STRIP TOPSOIL AND ORGANIC MATTER AND PAVING MATERIAL FROM ALL AREAS UNDER BUILDING. TOPSOIL MAY BE STOCKPILED ON SITE FOR REPLACEMENT IN GREEN AREAS.

10. FIELD DENSITY TESTS SHALL TAKE AT A FREQUENCY AS REQUIRED IN THE PROJECT SPECIFICATIONS.

11. BEFORE PLACING PAVEMENT, CONTRACTOR SHALL VERIFY THAT SUITABLE HANDICAPPED SLOPES (PER A.D.A. REQUIREMENTS) EXIST TO AND FROM EVERY ACCESSIBLE DOOR. IN NO CASE SHALL HANDICAP RAMP SLOPES EXCEED 1 VERTICAL TO 12 HORIZONTAL. IN NO CASE SHALL SIDEWALK CROSS SLOPES EXCEED 2.0 PERCENT. IN NO CASE SHALL LONGITUDINAL SIDEWALK SLOPES EXCEED 5.0 PERCENT. CONTRACTOR SHALL CONTACT ARCHITECT AND CIVIL ENGINEER PRIOR TO PAVING IF ANY EXCESSIVE SLOPES ARE ENCOUNTERED. NO CONTRACTOR CHANGE ORDERS WILL BE ACCEPTED FOR A.D.A. COMPLIANCE ISSUES.

12. CONTRACTOR ADJUSTMENT TO SPOT GRADES TO MAINTAIN POSITIVE DRAINAGE IS ALLOWED, ONLY WITH THE PRIOR APPROVAL OF THE CIVIL ENGINEER. CONTRACTOR SHALL CONTACT THE CIVIL ENGINEER PRIOR TO PAVING IF ANY AREAS OF POOR DRAINAGE ARE ENCOUNTERED.

13. SPOT ELEVATIONS SHOWN ARE TO TOP OF PAVING SURFACE OR FINISHED EARTH GRADE UNLESS NOTED OTHERWISE, WHERE APPLICABLE, ADD 0.50 FEET TO SPOT GRADES SHOWN FOR TOP OF CURB ELEVATIONS.

14. THE CONTRACTOR TAKE ALL MEASURES NECESSARY TO CONTROL TURBIDITY, INCLUDING BUT NOT LIMITED TO, THE INSTALLATION OF BMPs AT ALL LOCATIONS WHERE THE POSSIBILITY OF TRANSFERRING SUSPENDED SOLIDS INTO THE RECEIVING WATER BODY EXISTS DUE TO THE PROPOSED WORK. BMP'S MUST BE MAINTAINED IN EFFECTIVE CONDITION AT ALL LOCATIONS UNTIL CONSTRUCTION IS COMPLETED AND DISTURBED SOIL AREAS ARE STABILIZED. THEREAFTER, THE CONTRACTOR MUST REMOVE THE TEMPORARY BARRIERS, AT NO TIME SHALL THERE BE ANY OFF-SITE DISCHARGE WHICH VIOLATES LOCAL, STATE, OR FEDERAL WATER QUALITY STANDARDS.

15. THE CONTRACTOR MUST REVIEW AND MAINTAIN A COPY OF THE STORM WATER PERMIT COMPLETE WITH ALL CONDITIONS, ATTACHMENTS, EXHIBITS, AND PERMIT MODIFICATIONS, IN GOOD AND LEGIBLE CONDITION ON THE CONSTRUCTION SITE. THE COMPLETE PERMIT MUST BE AVAILABLE FOR REVIEW UPON REQUEST BY JURISDICTIONAL AGENCIES.

16. IF ANY EXISTING STRUCTURES, FACILITIES, OR IMPROVEMENTS (PUBLIC OR PRIVATE) TO REMAIN ARE DAMAGED DURING CONSTRUCTION, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE, FACILITY, OR IMPROVEMENT AS NECESSARY TO RETURN TO EXISTING CONDITIONS OR BETTER.

17. REFERENCE THE SWPPP INCLUDED IN THIS PLAN SET AND IN THE PROJECT SPECIFICATIONS FOR THIS PROJECT.

18. CONTRACTOR SHALL REFERENCE ARCHITECT AND ELECTRICAL PLANS AND PROVIDE CONDUIT NEEDED FOR LOT LIGHTING AND SIGNAGE PRIOR TO SITE PAVING.

19. PAVING LINE AND GRADE SHALL "FLUSHOUT" ALONG ALL CONNECTIONS TO EXISTING PAVING.

20. ALL BENDS LESS THAN 42" DIAMETER MUST BE FACTORY MANUFACTURED BENDS.

21. ALL WORK SHALL BE DONE IN COMPLIANCE WITH THE PROJECT GEOTECHNICAL SERVICE REPORT FOR THIS SITE.

22. PAVING CONTRACTOR IS RESPONSIBLE FOR ALL LAY DOWN CURBS AT INTERSECTIONS WHERE BARRIER FREE RAMPS ARE TO BE CONSTRUCTED.

23. REFERENCE DETAIL SHEETS FOR PAVEMENT JOINT SPACING AND REQUIREMENTS. ALL SAWCUT AND JOINT LOCATIONS WILL AS BE REQUIRED BY THE CITY OF LEES SUMMIT INSPECTOR.

24. PRIVATE STORM PIPE MATERIAL SHALL BE PER CITY OF LEES SUMMIT SPECIFICATIONS.

25. ALL ELEVATIONS SHOWN ON THE GRADING PLAN ARE TO TOP OF PAVEMENT OR FINISHED GROUND UNLESS NOTED OTHERWISE. ELEVATIONS TO POINTS OTHER THAN THE TOP OF PAVEMENT ARE NOTED AS FOLLOWS:

TP=TOP OF PAVEMENT
TC=TOP OF CURB
TW=TOP OF WALL
BW=FINISHED GROUND AT FACE OF WALL
GRD=FINISHED GROUND AT YARD DRAINS, TOP OF FINISHED GRADE IN NON-PAVEMENT AREAS

1. THE CONTRACTOR SHALL RESTORE OFFSITE CONSTRUCTION AREAS TO AN EQUAL OR BETTER CONDITION THAN EXISTED PRIOR TO COMMENCEMENT OF CONSTRUCTION.
2. ALL GRADES SHALL BE WITHIN 0.1 FEET MORE OR LESS OF THOSE SHOWN ON THE GRADING PLAN.
3. NO SLOPE SHALL BE GREATER THAN 3:1 AND SHALL BE EITHER SODDED OR SEEDED AND MULCHED UNLESS OTHERWISE NOTED OR DETAILED.
4. THE CONTRACTOR SHALL FIELD INVESTIGATE THE ENTIRE SITE PRIOR TO HIS BID SUBMITTAL NOTING THE EXISTING VEGETATION, PAVEMENT AREAS, BUILDING MATERIALS, BUILDING MATERIAL TYPES, PARKING INCLUDING, UTILITIES AND TREES. THE REMOVAL AND DISPOSAL OF ALL ITEMS SHALL BE INCLUDED IN THE BID.
5. NO AREA SHALL BE CLEARED WITHOUT PERMISSION OF THE OWNER/DEVELOPER. SILLATION CONTROL WILL BE PROVIDED AS REQUIRED TO PREVENT RUN-OFF. REFER TO THE EROSION CONTROL PLANS AND DETAILS.
6. ALL TRASH, DEBRIS, ORGANIC MATERIAL, FROZEN EARTH, ETC., SHALL BE REMOVED FROM FILL AREAS PRIOR TO THE PLACEMENT OF PROTECTION FILL. ALL FILLS AND BACKFILLS SHALL BE MADE OF SELECTED FINEST MATERIALS, FREE FROM BROKEN MASONRY, ROCK, FROZEN EARTH, RUBBISH, ORGANIC MATERIAL AND DEBRIS.
7. THE CONTRACTOR SHALL PROVIDE EROSION CONTROL PER THE EROSION CONTROL PLANS AND MAY BE REQUIRED TO PROVIDE ADDITIONAL MEASURES AS REQUESTED BY THE CITY OF LEES SUMMIT, SHOULD THE EROSION CONTROL PLAN AND DETAILS PROVE TO BE UNSUCCESSFUL DUE TO UNUSUAL CIRCUMSTANCES.
8. CARE SHALL BE EXERCISED IN COMPACTION OF BACKFILL MATERIALS OVER THE TOP OF STRUCTURES OR PIPES IN ORDER TO PREVENT DAMAGE TO THE WATERPROOFING MEMBRANES, JOINTS, SEALS AND JOINTS OF THE PIPES AND STRUCTURES THEMSELVES. COMPACTION AND PLACING OF BACKFILL AND FILL MATERIALS SHALL BE PERFORMED UNDER THE CONTINUOUS SUPERVISION OF AN APPROVED TESTING LABORATORY. FILL SHALL NOT BE PLACED ON FROZEN GROUND, NOR SHALL FILLING OPERATIONS CONTINUE WHEN THE TEMPERATURE IS SUCH AS TO PERMIT THE LAYER UNDER PLACEMENT TO FREEZE.
9. ALL CITY, COUNTY, AND STATE ROADS SHALL BE KEPT FREE OF DIRT DAILY.
10. FINAL GRADES SHALL MATCH EXISTING ELEVATIONS AT THE LAND DISTURANCE LIMITS UNLESS OTHERWISE SHOWN.
11. THE DEVELOPER IS REQUIRED TO PROVIDE ADEQUATE STORM WATER SYSTEMS IN ACCORDANCE WITH THE CITY OF LEES SUMMIT AND EPA STANDARDS.
12. ALL GRADING AND DRAINAGE TO BE IN CONFORMANCE WITH THE CITY OF LEES SUMMIT AND EPA STANDARDS.
13. INTERIM STORM WATER DRAINAGE CONTROL IN THE FORM OF SILLATION CONTROL MEASURES ARE REQUIRED.
14. ANY LAND DISTURANCE ACTIVITY INVOLVING ONE (1) ACRE OR MORE OF LAND IS A MAJOR LAND DISTURBANCE (MLD) AND A LAND DISTURBANCE FOR THE MLD MUST BE OBTAINED FROM THE DEPARTMENT OF PUBLIC WORKS. ANY LAND DISTURBANCE ACTIVITY INVOLVING LESS THAN ONE (1) ACRE OR AN APPROXIMATE LAND DISTURBANCE AND THE APPROPRIATE PERMITS MUST BE OBTAINED FROM THE DEPARTMENT OF PUBLIC WORKS.
15. G.C. TO BE AWARE THAT A LAND DISTURBANCE PERMIT WILL BE REQUIRED. SEE PLAN/APP. AN APPROVAL IS NOT TO BE CONSTRUED AS APPROVAL OF A LAND DISTURBANCE PERMIT.
16. ALL WORK SHALL BE IN COMPLIANCE WITH THE PROJECT GEOTECHNICAL SERVICES REPORT FOR THIS PROJECT.
17. ANY DISTURBED SIDEWALK OR CONCRETE PAVEMENT AREAS SHALL BE REPAIRED BY FULL SLAB REPLACEMENT UNLESS SPECIALLY AUTHORIZED BY THE DEVELOPER OR MUNICIPALITY HAVING JURISDICTION.
18. ALL UTILITY SPOLS SHALL BE INCLUDED IN THE GENERAL CONTRACTORS BID. GENERAL CONTRACTOR SHALL COORDINATE WITH THE EXCAVATOR AND UTILITY INSTALLER.

1. CONTRACTOR SHALL CONFIRM ALL EXISTING SLOPES FOR ACCESSIBLE ROUTES AS WELL AS THE ACCESSIBLE PARKING STALLS AND ACCESSIBLE AISLES WITH A SLOPE METER TO CONFIRM MAXIMUM SLOPES ARE NOT EXCEEDED.
2. CONTRACTOR IS REQUIRED TO PROVIDE AS-BUILT SPOT ELEVATIONS ALONG THE ACCESSIBLE ROUTES SHOWN ON THIS PLAN EVERY 10 FEET IN ORDER TO CONFIRM MAXIMUM (2%) CROSS-SLOPE AND MAXIMUM (5%) SLOPES IN THE DIRECTION OF TRAVEL. IN ADDITION, SPOT ELEVATIONS ARE REQUIRED ON ALL CORNERS AND MIDPOINTS OF ACCESSIBLE PARKING STALLS AND ACCESSIBLE AISLES TO CONFIRM MAXIMUM 2% SLOPES ARE NOT EXCEEDED IN ALL DIRECTIONS. THIS INFORMATION SHALL BE PROVIDED, A MINIMUM OF 2 WEEKS BEFORE STAKE TURN-OVER.
3. THE GENERAL AND CONCRETE CONTRACTOR SHALL FIELD VERIFY ADA SLOPES DURING CONCRETE POUR. A 2" SMART LEVEL WITH AN ACCURACY TO .02% PERCENT SHALL BE USED FOR VERIFYING SLOPES. ANY SLOPES IN THE ADA AREAS THAT EXCEED A 2% CROSS SLOPE ALONG THE BUILDING, ADA STALLS AND/OR SIDEWALK .08% RUNNING SLOPE FOR SIDEWALKS AWAY FROM THE PROPOSED PESTHICIDE AND EXCEED 1.8% ON RAMPS SHALL BE REMOVED AND REPLACED AT THE CONCRETE CONTRACTOR'S EXPENSE. THE SUPERVISOR FOR STAKING CAN PROVIDE A REFERENCE FOR ELEVATION HOWEVER CONFIRMATION IS REQUIRED BY SLOPE METER DURING CONSTRUCTION.

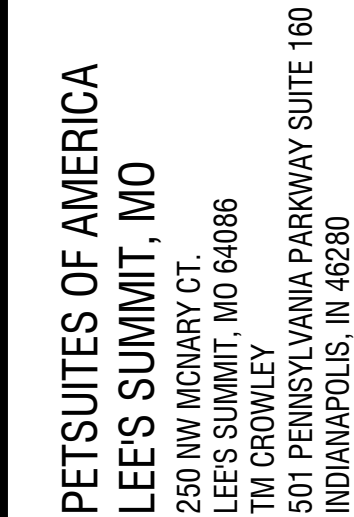
AI.....	AREA INLET (OPEN 4 SIDES UNLESS NOTED OTHERWISE)
DAI.....	DOUBLE AREA INLET (OPEN 6 SIDES UNLESS NOTED OTHERWISE)
MI.....	MANHOLE
CI.....	CURB INLET
DCI.....	DOUBLE CURB INLET
GSI.....	GRATE INLET WITH SIDE INTAKE. (ELEVATION OF INLET TOP IS TO THE TOP OF GRADE. ADD 0.50' FOR TOP OF SIDE INTAKE.)
ZGSI.....	Z GRATE INLET WITH SIDE INTAKE. (ELEVATION OF INLET TOP IS TO THE TOP OF GRADE. ADD 0.50' FOR TOP OF SIDE INTAKE.)
DS.....	DOWN DOME
EP.....	END OF PIPE
FE.....	FLARED END SECTION
IMH.....	INTERCEPTOR MANHOLE
TD.....	TRENCH DRAIN
ATO.....	ADJUST TO GRADE
*.....	DENOTES HYDRAULIC GRADE JUMP
TBR.....	TO BE REMOVED
TBR&R.....	TO BE REMOVED & REPLACED

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF LEE'S SUMMIT SPECIFICATIONS, CITY OF LEE'S SUMMIT "STANDARD DETAILS", LATEST EDITION, THE PROJECT SPECIFICATIONS BOOK, AND THESE CONSTRUCTION PLANS. IN CASE OF CONFLICTING SPECIFICATIONS FOR DETAILS, THE CITY ENGINEER SHALL BE CONTACTED PRIOR TO CONSTRUCTION. GENERALLY, THE MOST STRINGENT SPECIFICATION SHALL APPLY.
2. DURING THE CONSTRUCTION OF THESE IMPROVEMENTS, ANY INTERPRETATION OF THE STANDARD SPECIFICATIONS, AND ANY MATTER WHICH REQUIRES THE APPROVAL OF THE OWNER, MUST BE APPROVED BY THE CITY OF LEE'S SUMMIT DEVELOPMENT ENGINEER BEFORE ANY CONSTRUCTION INVOLVING THAT DECISION COMMENCES. ASSUMPTIONS ABOUT WHAT THESE DECISIONS MIGHT BE WHICH ARE MADE DURING THE BIDDING PHASE WILL HAVE NO BEARING ON THE DESIGN.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING ALL MATERIAL AND LABOR TO CONSTRUCT THE FACILITY AS SHOWN AND DESCRIBED IN THE CONSTRUCTION DOCUMENTS IN ACCORDANCE WITH THE APPROPRIATE APPROVING AUTHORITIES, SPECIFICATIONS AND REQUIREMENTS. CONTRACTOR SHALL VISIT THE SITE PRIOR TO BIDDING TO DETERMINE EXISTING CONDITIONS.
4. ALL EXISTING UTILITIES SHOWN ARE LOCATED ACCORDING TO THE INFORMATION AVAILABLE TO THE ENGINEER AT THE TIME THE DRAWINGS WERE PREPARED AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR THE ENGINEER. GUARANTEE IS NOT MADE THAT ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN OR THAT THE LOCATION OF THOSE SHOWN ARE THE ACTUAL LOCATION. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL EXISTING UTILITIES IS THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE DONE BEFORE HE COMMENCES ANY WORK (INCLUDING ORDERING OF MATERIALS) IN THE VICINITY. FURTHERMORE, THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES DUE TO THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE OWNER OR CEC WILL ASSUME NO LIABILITY FOR ANY DAMAGES SUSTAINED OR INCURRED BY THE CONTRACTOR OR OPERATING IN THE VICINITY OF EXISTING UTILITIES OR STRUCTURES. WORK FOR TEMPORARY BRACING AND SHORING OF SAME, IF IT IS NECESSARY TO DO, BRACE, SWING OR RELOCATE A UTILITY, THE UTILITY COMPANY OR DEPARTMENT AFFECTED SHALL BE CONTACTED BY THE CONTRACTOR AND THEIR PERMISSION OBTAINED REGARDING THE METHOD TO USE FOR SUCH WORK.
5. IF IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE VARIOUS UTILITY COMPANIES WHICH MAY HAVE BURIED OR AERIAL UTILITIES WITHIN OR NEAR THE CONSTRUCTION AREA BEFORE COMMENCING WORK, THE CONTRACTOR SHALL PROVIDE 72 HOURS MINIMUM NOTICE TO ALL UTILITY COMPANIES PRIOR TO BEGINNING CONSTRUCTION. A LIST OF THE UTILITY COMPANIES IN THE CITY OF LEE'S SUMMIT SHALL BE PROVIDED TO THE CONTRACTOR UNDER THE COVER SHEET OF THESE CONSTRUCTION PLANS. THIS LIST SERVES AS A GUIDE ONLY AND IS NOT INTENDED TO LIMIT THE UTILITY COMPANIES WHICH THE CONTRACTOR MAY WISH TO NOTIFY.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED CONSTRUCTION PERMITS, 3-WAY CONTRACTS, AND BONDS PRIOR TO CONSTRUCTION.
7. THE CONTRACTOR SHALL HAVE AVAILABLE AT THE JOB SITE AT ALL TIMES ONE COPY OF THE CONTRACT DOCUMENTS INCLUDING PLANS, SPECIFICATIONS AND SPECIAL CONDITIONS, COPIES OF ANY REQUIRED CONSTRUCTION PERMITS, AND EROSION CONTROL PLANS AND INSPECTION REPORTS (SWPPP).
8. ANY DISCREPANCIES ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER & CIVIL ENGINEER BEFORE COMMENCING WORK. NO FIELD CHANGES OR DEVIATIONS FROM DESIGN ARE TO BE MADE WITHOUT PRIOR APPROVAL TO THE OWNER AND NOTIFICATION TO THE ENGINEER. NO CONSIDERATION WILL BE GIVEN TO CHANGE ORDERS FOR WHICH THE OWNER AND CIVIL ENGINEER WERE NOT CONTACTED PRIOR TO CONSTRUCTION OF THE AFFECTED ITEM.
9. ALL COPIES OF COMPACTION, CONCRETE AND OTHER REQUIRED TEST RESULTS ARE TO BE SENT TO THE CIVIL ENGINEER OF RECORD AND THE CITY OF LEE'S SUMMIT DEVELOPMENT ENGINEER DIRECTLY FROM THE TESTING AGENCY.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTING TO THE CIVIL ENGINEER AND TO THE CITY A CERTIFIED RECORD SURVEY SIGNED AND SEALED BY A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF MISSOURI DEPICTING THE ACTUAL FIELD LOCATION OF ALL CONSTRUCTED IMPROVEMENTS THAT ARE REQUIRED BY THE JURISDICTIONAL AGENCIES FOR THE CERTIFICATION PROCESS. ALL SURVEY COSTS WILL BE THE CONTRACTOR'S RESPONSIBILITY.
11. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES, JURISDICTIONAL AGENCIES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICES.
12. CONTRACTORS SHALL VERIFY BENCHMARKS AND DATUMS PRIOR TO COMMENCING CONSTRUCTION OR STAKING OF IMPROVEMENTS.
13. CONTRACTOR SHALL THOROUGHLY CHECK COORDINATION OF CIVIL, LANDSCAPE, MEP, ARCHITECTURAL, AND OTHER PLANS PRIOR TO COMMENCING CONSTRUCTION. OWNER AND CIVIL ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCY PRIOR TO COMMENCING WITH CONSTRUCTION.
14. CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPE PAVING, SIDEWALKS, EXIT PORCHES, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
15. ALL DIMENSIONS GIVEN ARE TO FACE OF CURB AND/OR BUILDING. DIMENSIONS FOR PIPES AND STRUCTURES ARE TO THE CENTERLINE, UNLESS OTHERWISE NOTED ON PLANS.
16. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING RELOCATIONS AND INSTALLATIONS OF FRANCHISE UTILITIES NECESSARY FOR ON- AND OFF-SITE CONSTRUCTION.
17. ON-SITE AND PERIMETER TRUCK ROUTE AND OTHER DIRECTIONAL SIGNAGE SHALL BE LOCATED OUT OF THE PEDESTRIAN, AUTOMOBILE, AND TRUCK ROUTES AND SHALL BE LOCATED BETWEEN THREE TO FIVE FEET BEHIND THE NEAREST BACK OF CURB UNLESS INDICATED OTHERWISE ON PLANS. SIGN HEIGHT, LOCATION, AND STRUCTURE SHALL BE SUCH THAT THE SIGNS POSE NO THREAT TO PUBLIC SAFETY.
18. ON-SITE AND PERIMETER TRUCK ROUTE AND OTHER DIRECTIONAL SIGNS SHALL BE ORIENTED SO THEY ARE READILY VISIBLE TO THE ONCOMING TRAFFIC FOR WHICH THEY ARE INTENDED. FIELD ADJUSTMENTS OF LOCATION AND ORIENTATION OF THE SIGNS ARE TO BE MADE TO ACCOMPLISH THIS.
19. CONTRACTOR SHALL REPLACE ANY FENCING, CURBING, ETC. THAT IS DESTROYED OR DAMAGED DUE TO THE CONSTRUCTION ACTIVITIES.
20. CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL DEVICES AND PLANS FOR ANY STREET WORK.
21. ALL CONTRACTORS MUST CONFINE THEIR ACTIVITIES TO THE WORK AREA. NO ENCROACHMENTS ONTO DEVELOPED OR UNDEVELOPED AREAS WILL BE ALLOWED. ANY DAMAGE RESULTING THEREFROM SHALL BE CONTRACTOR'S RESPONSIBILITY TO REPAIR.
22. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTING A TRENCH SAFETY PLAN TO THE DEVELOPER AT THE TIME OF THE PRE-CONSTRUCTION MEETING, OR PRIOR TO BEGINNING CONSTRUCTION OF THESE IMPROVEMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING TRENCH SAFETY REQUIREMENTS IN ACCORDANCE WITH MISSOURI STATE LAW AND O.S.H.A. STANDARDS FOR ALL EXCAVATION IN EXCESS OF FIVE FEET IN DEPTH. NO OPEN TRENCHES WILL BE ALLOWED OTHERWISE. ON-SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
23. LIGHT POLES AND SIGNS SHALL NOT BE PLACED IN ADA ACCESSIBLE ROUTES, ACCESSIBLE ACCESS ALLEYS, AND/OR REINFORCED ZONES BEHIND RETAINING WALLS.
24. TO THE MAXIMUM EXTENT PRACTICAL, CONSTRUCTION STAGING, WORKER PARKING, AND ANY OTHER POTENTIALLY NOISY OR OFFENSIVE CONSTRUCTION ACTIVITY SHOULD BE LOCATED AS FAR FROM THE RESIDENTIAL NEIGHBORS AS POSSIBLE.
25. CONTRACTOR SHALL KEEP THE CONSTRUCTION SITE SECURE FROM TRESPASSERS AT ALL TIMES.
26. CONTRACTOR SHALL CONTACT CITY BUILDING OFFICE TO LEARN OF ANY UNUSUAL CONSTRUCTION SEQUENCING REQUIREMENTS THAT THE CITY MAY REQUIRE. THE CONTRACTOR IS CAUTIONED THAT THIS AND PERHAPS OTHER SUCH REQUIREMENTS MAY EXIST AND IF THE CONTRACTOR'S RESPONSIBILITY TO INVESTIGATE AND COMPLY WITH THEM.
27. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY NECESSARY FENCE OR WALL PERMITS FROM THE CITY.
28. CONTRACTOR IS RESPONSIBLE FOR PROVIDING ADEQUATE TRAFFIC CONTROL PER CITY OF LEE'S SUMMIT STANDARDS.
29. CONTRACTOR SHALL INCLUDE ALL ITEMS THAT ARE LISTED FROM THE EXHIBIT B WORK LETTER BETWEEN THE DEVELOPER AND PETITUES IN THEIR BID. ANY DEVIATIONS FROM THE WORK LETTER WILL REQUIRE DEVELOPER APPROVAL FOR EACH ITEM.

3. ALL FILL MATERIAL SHALL BE IN PLACE AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
2. CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITIES INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINE.
3. CONTRACTOR SHALL MAINTAIN A MINIMUM OF 3'-6" COVER ON ALL WATERLINES AND 3'-6" ON ALL SANITARY SEWER LINES.
4. CONNECTION FROM THE METER TO SITE UTILITY LINES SHALL BE MADE BY BUILDING CONTRACTOR.
5. EXISTING UTILITIES SHALL BE VERIFIED IN FIELD PRIOR TO INSTALLATION OF ANY NEW LINES.
6. REFER TO MECHANICAL, ELECTRIC AND PLUMBING DRAWINGS FOR ACTUAL TIE-IN LOCATIONS FOR UTILITIES.
7. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
8. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO THE FINAL CONNECTION OF SERVICE.
9. ALL UTILITY SEWER TRENCH BACKFILL SHALL HAVE GRANULAR BACKFILL AND BE MECHANICALLY COMPACTED.
10. THE CONTRACTOR SHALL VERIFY THE LOCATION, CONDITION AND ELEVATION OF ALL PROPOSED SEWER CONNECTION POINTS PRIOR TO THE START OF CONSTRUCTION. ANY DISCREPANCIES THAT WOULD INTERFERE WITH THE PROPOSED SEWER DESIGN SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE ENGINEER.
11. ALL PERMIT FEES AND COSTS ASSOCIATED WITH BRINGING UTILITY, SEWER AND WATER SERVICES TO THE BUILDING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ALL FEES AND COSTS SHALL BE INCLUDED IN THE CONTRACTORS BID.
12. G.C. IS TO PROVIDE TRENCH, WIRE, AND CONDUIT FOR TELEPHONE AND ELECTRICAL SERVICES, BACKFILL AND GRADE SMOOTH FOR A COMPLETE TELEPHONE AND ELECTRIC INSTALLATION.
13. G.C. SHALL BE RESPONSIBLE FOR ANY TAPS TO BE MADE UNDER THE SUPERVISION OF THE CITY WATER DIVISION.
14. ANY DISTURBED SIDEWALK SHALL BE FULL SLAB REPLACEMENT.
15. EXISTING SANITARY SEWER AND WATER SERVICE SHALL NOT BE INTERRUPTED.
16. THE CONTRACTOR SHALL INCLUDE THE COST ESTIMATE PROVIDED BY EVERGY IN HIS/HER BID FOR THE RELOCATION/REMOVAL OF ANY OVERHEAD ELECTRIC OR GUY WIRES.
17. THE REMOVAL AND REPLACEMENT, OR REHABILITATION OF THE EXISTING STRUCTURE(S) WILL BE DETERMINED BY THE CITY OF LEE'S SUMMIT DEVELOPMENT ENGINEER FIELD INSPECTOR. IF THE STRUCTURE IS DETERMINED TO REMAIN IN PLACE, THEN THE TOP SHALL BE ADJUSTED TO GRADE, IF NEEDED.
18. ALL STORM SEWER CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CITY OF LEE'S SUMMIT STANDARD SPECIFICATIONS AND CONSTRUCTION DETAILS.
19. ALL LATERAL SEWER CONSTRUCTION METHODS TO CONFORM TO LATEST STANDARDS AND SPECIFICATIONS FOR THE CITY OF LEE'S SUMMIT SEWER STANDARD SPECIFICATIONS AND CONSTRUCTION DETAILS.
20. ALL CONNECTIONS TO PUBLIC WATER SHALL BE AS REQUIRED BY THE CITY OF LEE'S SUMMIT WATER UTILITIES.
21. CONNECTION TO PUBLIC SEWER MAINS SHALL BE AS REQUIRED BY THE CITY OF LEE'S SUMMIT SEWER SANITARY. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING THE PROVIDER PRIOR TO CONNECTION TO PUBLIC SEWERS.
22. ALL TRENCHES UNDER AREAS TO BE PAVED AND UNDER EXISTING PAVING SHALL BE GRANULARLY FILLED WITH 3/4" MINUS CRUSHED LIMESTONE ONLY. BACKFILL SHALL BE PLACED IN ACCORDANCE WITH CITY OF LEE'S SUMMIT STANDARDS.
23. TYPE "C" BEDDING PER CITY OF LEE'S SUMMIT STANDARDS REQUIRED FOR PIPES IN ROCK.
24. ALL TRENCH BACKFILLS UNDER PAVEMENT WITH PUBLIC RIGHT-OF-WAY SHALL BE GRANULAR BACKFILL. TRENCH BACKFILLS UNDER PAVED AREAS, OUTSIDE OF PUBLIC RIGHT-OF-WAY SHALL BE GRANULAR BACKFILL IN LIEU OF THE EARTH BACKFILL COMPACTED TO 90 PERCENT OF THE STANDARD ASHOTO 1-180 COMPACTION TEST A.S.T.M. D-1557.
25. ALL CONCRETE PIPE SHALL BE REINFORCED, AND CONFORM TO A.S.T.M. DESIGNATION C76-80 CLASS UNLESS OTHERWISE NOTED.
26. ALL DIMENSIONS ARE TO THE CENTERLINE OF STRUCTURE EXCEPT FOR END OF PIPES OR FLARED ENDS. FLARED END DIMENSIONS VARY. CONTRACTOR SHALL VERIFY LENGTHS FOR FLARED END DIMENSIONS OF EACH TYPE OF FLARED END SUBMITTED TO THE CORRESPONDING SEWER PROFILE SHEET FOR EXACT DIMENSIONS IF APPLICABLE.
27. PLUMBING CONTRACTOR AND SURVEYOR SHALL CONFIRM STRUCTURES PROPOSED ON THESE PLANS MATCH THE PROPOSED STRUCTURES THAT ARE ON-SITE. DUE TO CHANGE OF ELEVATIONS, AND LOCATIONS DEPENDENCY OF THE STRUCTURES, THE PLUMBING CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ISSUES FOR PROPOSING A DIFFERENT TYPE OF STRUCTURE OR PIPE THAN WHAT IS ON THESE PLANS. GENERAL CONTRACTOR SHALL REIMBURSE CIVIL ENGINEER FOR ANY TIME AND MATERIAL TO ADDRESS CHANGES TO STRUCTURES OR DESIGN FROM WHAT HAS BEEN APPROVED TO REDUCE OVERALL CONSTRUCTION COSTS.
28. STANDARDS AND DETAILS FROM CITY OF LEE'S SUMMIT STANDARDS PLANS SHALL SUPERCEDE THESE REQUIREMENTS



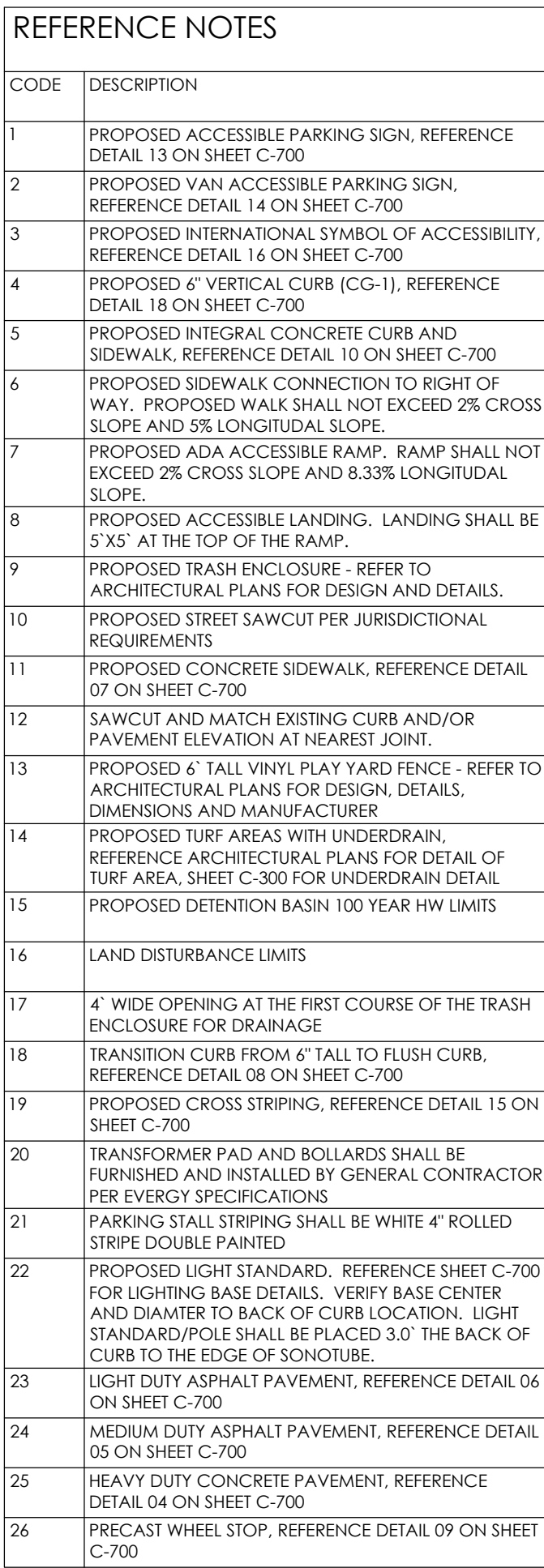
Underground utilities and structures have been plotted from available information and therefore, their location must be considered approximate only. It is the responsibility of the individual contractors to notify the utility companies before actual construction. All O.S.H.A. rules and regulations established for the type of construction required by these plans shall be strictly followed (ie. trenching, blasting, etc.)



GENERAL NOTES

Project No.	2008920
Drawn By	Z. KUNTZ/A. JONES
Checked By	M.FOGARTY

PERMIT SET



PAVEMENT NOTES

PAVEMENT THICKNESS SHALL BE AS FOLLOWS:
(UNLESS NOTED OTHERWISE ON PLAN)

LIGHT DUTY ASPHALT PAVEMENT

- 1" MODOT TYPE 2 ASPHALT SURFACE COURSE
- 2" MODOT TYPE 2 ASPHALT BASE COURSE
- 4" MODOT TYPE 5 AGGREGATE WITH GEOTGRID OR/
- 6" MODOT TYPE 5 AGGREGATE WITH 6" STABILIZED BASE

MEDIUM DUTY ASPHALT PAVEMENT (OVER EXIST.)

- 2" MODOT TYPE 2 ASPHALT SURFACE COURSE
- 2" MODOT TYPE 2 ASPHALT BASE
- 12" MODOT TYPE 5 AGGREGATE WITH GEOTGRID OR/
- 6" MODOT TYPE 5 AGGREGATE WITH 6" STABILIZED BASE

HEAVY DUTY CONCRETE PAVEMENT

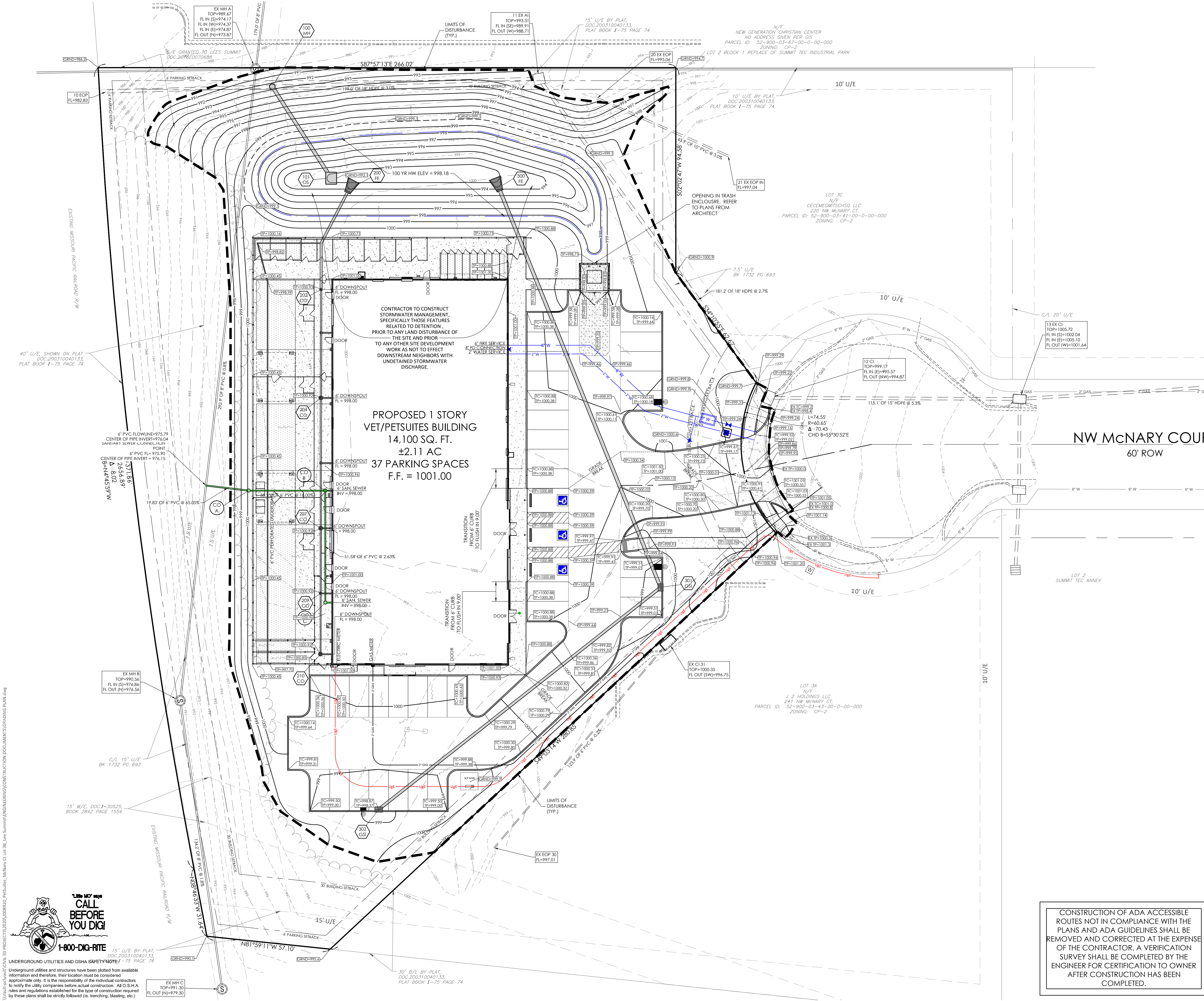
- CONCRETE AND REINFORCING (AS SHOWN ON PAD)
- 8" NON-REINFORCED PORTLAND CEMENT CONCRETE
- 4" MODOT TYPE 5 AGGREGATE BASE

CONCRETE SIDEWALKS

- PORTLAND CEMENT CONCRETE
- 4" MODOT TYPE 5 AGGREGATE BASE

1. BASIS OF BEARINGS: THIS SURVEY WAS ADOPTED FROM THE MISSOURI STATE PLANE COORDINATE SYSTEM, NAD 1983 - WEST ZONE
2. CURRENT ZONING: CP-2
3. SITE AREA = ±2.11 ACRES
4. PROPOSED USE - PETUSIENS AND VETERINARY CLINIC
5. PROPOSED BUILDING HEIGHT - REFER TO ARCHITECTURAL PLANS
6. PARKING SETBACK:
 - 20' MINIMUM FROM NW MCNARY COURT
 - 6' MINIMUM FROM SIDE AND REAR YARDS
7. BUILDING SETBACKS:
 - FRONT BUILDING SETBACK: 25'
 - SIDE BUILDING SETBACK: 10'
 - REAR BUILDING SETBACK: 20'
8. FLOOR AREA RATIO - $14.100/920.4 = 0.15$ FAR
9. IMPERVIOUS COVERAGE - SITE = 33%
10. PARKING AND LOADING REQUIREMENTS
 - REQUIRED PARKING - 2 AND A HALF (2.5) SPACES PER 1,000 SQ. FT. OF BUILDING AREA
 - $14.100 / 1,000 = 1.41 \times 2.5 = 35.25$ OR 36 PARKING SPACE REQUIRED
 - PROVIDED PARKING = 37 PARKING SPACES
11. PER FEMA FIRM PANEL #2909SC04173, EFFECTIVE ON 01/20/2017 THE PROPERTY IS ZONE X-1. AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.
12. THIS PROPERTY IS LOCATED WITHIN THE LITTLE CREEK CREEK WATERSHED.
13. OIL AND GAS WELL LOCATIONS: BASED ON MCDNR STATE OIL AND GAS COUNCIL. THERE ARE NO ACTIVE WELLS AS OF JUNE 2, 2020. ALL EXISTING OIL AND GAS WELLS FOR THIS SECTION-TOWNSHIP-RANGE HAVE BEEN ABANDONED OR PLUGGED.

A:\Vault-pc\vault\CIVIL 3D PROJECTS\2020\2008920_PetSuites_McNary Ct Lot 3B_Lee Summit\ENGINEERING\CONSTRUCTION DOCUMENTS\SITE PLAN.dwg



EARTHWORK QUANTITY NOTES:

- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO READ ALL APPLICABLE REPORTS IN ORDER TO UNDERSTAND THE SOIL AND GROUNDWATER CONDITIONS OF THE SITE.
- THE CUT AND FILL QUANTITIES SHOWN ON THIS PLAN ARE FOR PERMITTING PURPOSES ONLY. THE GRADING CONTRACTOR IS CAUTIONED THAT THE QUANTITIES SHOWN ARE THE ENGINEER'S ESTIMATE FOR PERMITTING PURPOSES ONLY. THE GRADING CONTRACTOR SHALL COMPLETE HIS/HER OWN ESTIMATE WHEN BIDDING. NO ADDITIONAL COSTS WILL BE ALLOWED FOR GRADING WITHOUT JUSTIFICATION DUE TO PLAN CHANGES OR REVISIONS.
- TRUCKS SHALL NOT EXCEED POSTED WEIGHT LIMITS FOR THE CITY OF LEE'S SUMMIT, COUNTY AND STATE BRIDGES DURING HAUL OPERATIONS.

ESTIMATED EARTHWORK QUANTITIES:

CUT = 1,749 CUBIC YARDS	
FILL = 1,347 CUBIC YARDS x 1.15 (SHRINKAGE)	= 1,549 CUBIC YARDS
EXPORT	= 200 CUBIC YARDS

GENERAL CONTRACTOR SHALL PROVIDE A PROPOSED HAUL ROUTE FOR APPROVAL PRIOR TO ANY HAUL ACTIVITIES

ABBREVIATIONS:

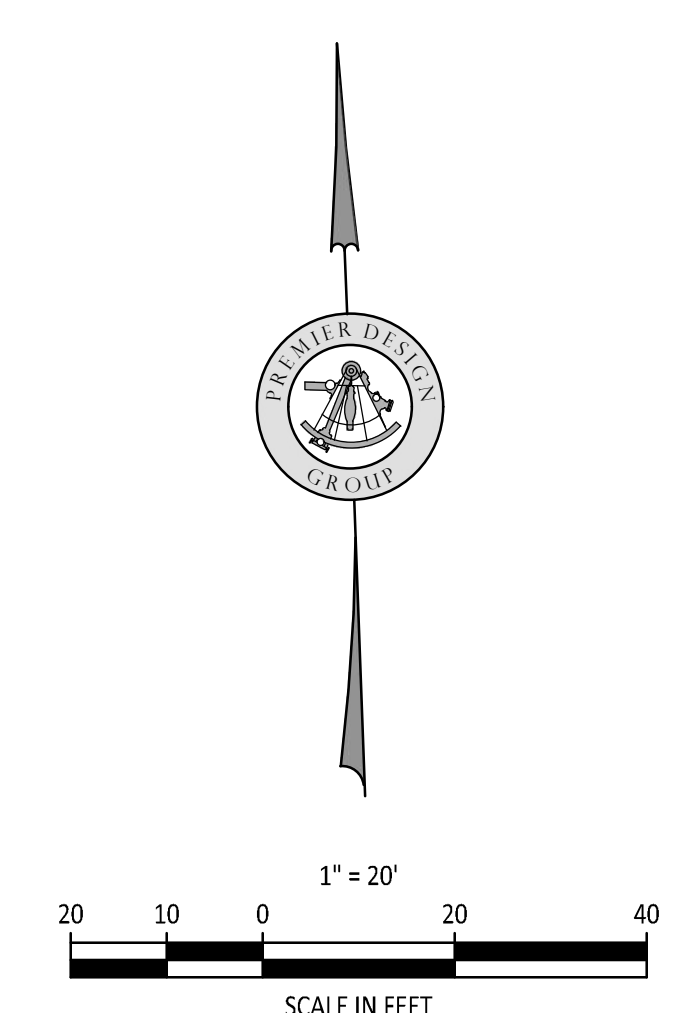
ALL ELEVATIONS SHOWN ON THE GRADING PLAN ARE TO TOP OF PAVEMENT OR FINISHED GROUND UNLESS NOTED OTHERWISE. ELEVATIONS TO POINTS OTHER THAN THE TOP OF PAVEMENT ARE NOTED AS FOLLOWS:

TP=TOP OF PAVEMENT
TC=TOP OF CURB
TW=TOP OF WALL
BW=FINISHED GROUND AT FACE OF WALL
GRND=FINISHED GROUND AT YARD DRAINS

APPLICABLE REPORTS:

GEOTECHNICAL EXPLORATION
PETSUITES
LOT 38 NW McNARY COURT
LEE'S SUMMIT, MISSOURI
GEOTECHNOLOGY PROJECT NO: J036943.01

CONSTRUCTION OF ADA ACCESSIBLE ROUTES NOT IN COMPLIANCE WITH THE PLANS AND ADA GUIDELINES SHALL BE REMOVED AND CORRECTED AT THE EXPENSE OF THE CONTRACTOR. A VERIFICATION SURVEY SHALL BE COMPLETED BY THE ENGINEER FOR CERTIFICATION TO OWNER AFTER CONSTRUCTION HAS BEEN COMPLETED.



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MISSOURI CERTIFICATE OF AUTHORITY #E-200000018
MISSOURI CERTIFICATE OF AUTHORITY #E-200000758

STATE OF MISSOURI
STEVE MARION
NUMBER PE2006007195
PROFESSIONAL ENGINEER

ENGINEERS AUTHENTICATION

The responsibility for professional engineering activities on this project is hereby limited to the act of plans authorized by the seal, signature, and date hereunder attached. Responsibility is disclaimed for all other engineering plans involved in this project and specifically excludes revisions after the date when authenticated.

STEVEN D. MARION P.E.
PROFESSIONAL ENGINEER
PE 2006007195

PETSUITES OF AMERICA
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250 NW McNARY CT.
LEE'S SUMMIT, MO 64086
TM CROWLEY
501 PENNSYLVANIA PARKWAY SUITE 160
INDIANAPOLIS, IN 46280

Revision	Date	Description of Changes
1	2-10-2021	REVISED PER CITY COMMENTS

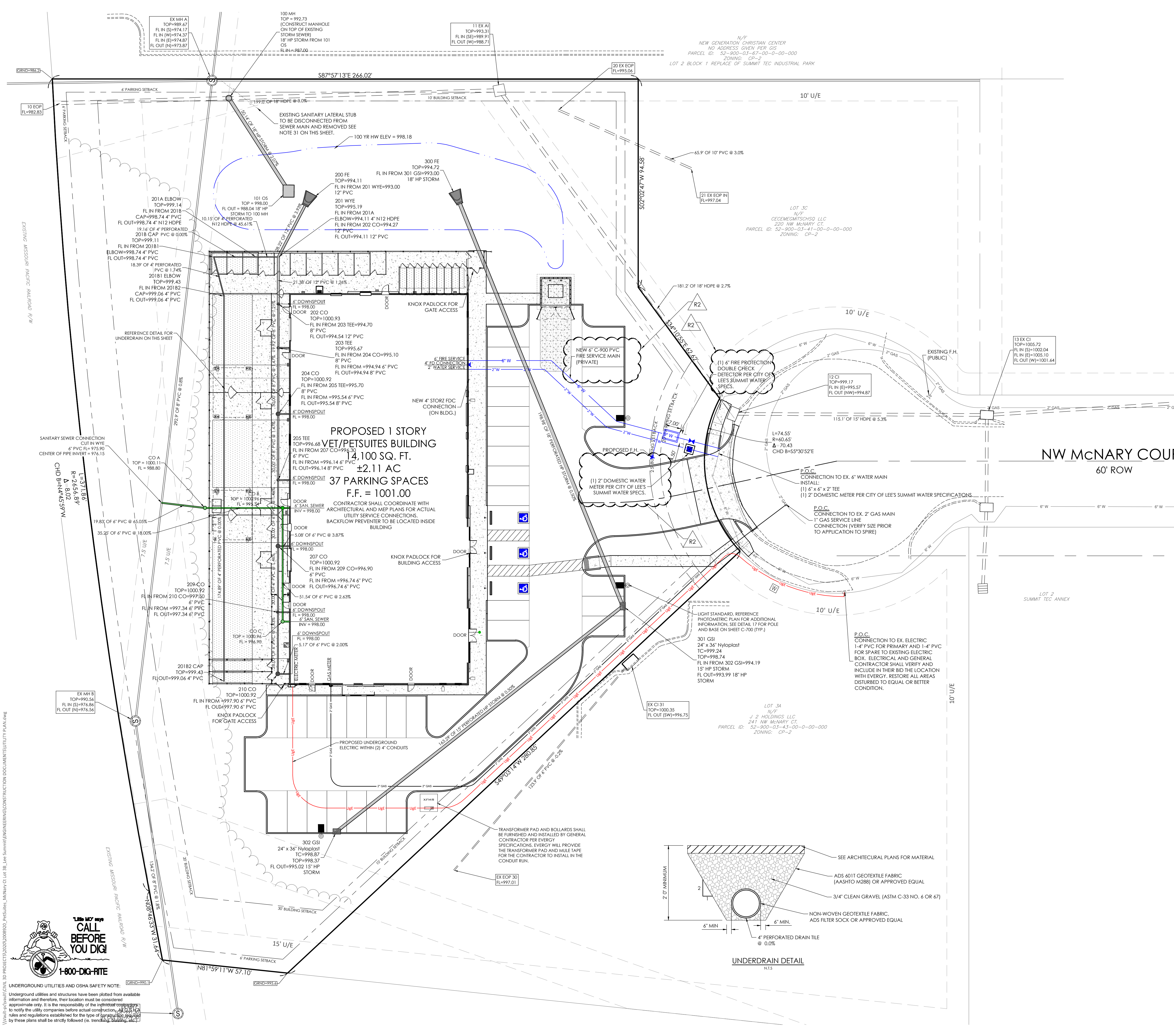
Project No. 2008920
Drawn By Z. KUNTZ/A. JONES
Checked By M. FOGARTY

1-27-2021

Sheet Title
GRADING PLAN

C-200

PERMIT SET



- UTILITY PLAN NOTES:**
- ALL FILL MATERIAL IS TO BE IN PLACE AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
 - CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITIES INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINE.
 - CONTRACTOR SHALL MAINTAIN A MINIMUM OF 3'-6" COVER ON ALL WATERLINES AND 3'-4" ON ALL SANITARY SEWER LINES.
 - CONTRACTOR SHALL COORDINATE WITH BUILDING ARCHITECT AND TELEPHONE COMPANY FOR EXACT LOCATIONS OF TELEPHONE ENTRY TO THE BUILDING. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY CONDUITS, PULL WIRES, TRENCHING, BACKFILL, ETC. REQUIRED BY TELEPHONE COMPANY.
 - CONNECTION FROM THE METER TO SITE UTILITY LINES SHALL BE MADE BY BUILDING CONTRACTOR.
 - EXISTING UTILITIES SHALL BE VERIFIED IN FIELD PRIOR TO INSTALLATION OF ANY NEW LINES.
 - REFER TO INTERIOR MECHANICAL, ELECTRIC AND PLUMBING DRAWINGS FOR TIE-IN OF ALL UTILITIES.
 - THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
 - ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICE.
 - CONTRACTOR SHALL COORDINATE WITH BUILDING ARCHITECT AND SPIRE FOR EXACT LOCATION OF GAS ENTRY. G.C. TO INCLUDE IN BID FOR CONTRACTOR ANY GAS PIPING, CONDUITS, TRENCHING, BACKFILLING, ETC. REQUIRED BY SPIRE.
 - CONTRACTOR SHALL COORDINATE WITH BUILDING ARCHITECT AND EVERGY FOR EXACT LOCATION OF ELECTRIC ENTRY. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY CONDUITS, TRENCHING, BACKFILLING, CABLES, ETC. REQUIRED BY ELECTRIC COMPANY.
 - REFER TO MEP PLANS FOR GAS SERVICE SIZING.
 - ALL UTILITY SEWER TRENCH BACKFILL SHALL HAVE GRANULAR BACKFILL AND BE MECHANICALLY COMPACTED.
 - THE CONTRACTOR SHALL VERIFY THE LOCATION, CONDITION AND ELEVATION OF ALL PROPOSED SEWER CONNECTION POINTS PRIOR TO THE START OF CONSTRUCTION. ANY DISCREPANCIES THAT WOULD INTERFERE WITH THE PROPOSED SEWER DESIGN SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE ENGINEER.
 - ALL PERMIT FEES AND COSTS ASSOCIATED WITH BRINGING UTILITY, SEWER AND WATER SERVICES TO THE BUILDING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ALL FEES AND COSTS SHALL BE INCLUDED IN THE CONTRACTORS BID.
 - ALL CONSTRUCTION MATERIALS USED SHALL CONFORM TO THE CURRENT VERSION OF THE CITY OF LEE'S SUMMIT AND STATE OF MISSOURI SPECIFICATIONS.
 - G.C. IS TO PROVIDE TRENCH PULL WIRE AND CONDUIT FOR TELEPHONE AND ELECTRICAL SERVICES. BACKFILL AND GRADE SMOOTH FOR A COMPLETE TELEPHONE AND ELECTRIC INSTALLATION SHALL BE BY THE GENERAL CONTRACTOR.
 - GENERAL CONTRACTOR IS TO PROVIDE TRENCH, BACKFILL AND GRADE SMOOTH FOR A COMPLETE WATER LINE INSTALLATION.
 - ANY DISTURBED SIDEWALK OR CONCRETE PAVEMENT SHALL BE FULL SLAB REPLACEMENT.
 - EXISTING SANITARY SEWER SERVICE SHALL NOT BE INTERRUPTED.
 - ALL WATER LINES GREATER THAN 3" SHALL BE C-900 PVC PIPE. WATER LINES SMALLER THAN 3" SHALL BE TYPE "K" COPPER.
 - ALL CONNECTIONS TO PUBLIC WATER SHALL BE AS REQUIRED BY CITY OF LEE'S SUMMIT WATER CODES. WATER TAP AND METERS UNDER 2" SHALL BE INSTALLED BY CITY OF LEE'S SUMMIT WATER UP TO THE RIGHT-OF-WAY LINES. WATER TAP AND METERS OVER 2" SHALL BE INSTALLED BY THE CONTRACTOR. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING CITY OF LEE'S SUMMIT TO SCHEDULE CONNECTION TO PUBLIC WATER.
 - SANITARY LINES SHALL BE PVC MEETING ASTM D-3034 SDR 26 EXCEPT FOR PIPES THAT CROSS ABOVE WATER MAINS. THIS PIPE SHALL BE AWA C900 UNLESS WATER MAIN IS CASED. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING CITY OF LEE'S SUMMIT SEWER TO SCHEDULE CONNECTION TO PUBLIC SEWER.
 - CONTRACTOR SHALL COORDINATE WITH ADJACENT PROPERTY OWNERS FOR ANY DISRUPTIONS TO EXISTING UTILITY SERVICES.
 - CONTRACTOR IS RESPONSIBLE FOR PAVEMENT REPAIR AND REPLACEMENT REQUIRED FOR ALL UTILITY CONNECTIONS AND INSTALLATIONS.
 - THE OWNER/DEVELOPER WILL BE RESPONSIBLE FOR ANY AND ALL APPLICABLE TAP AND SERVICE FEES AS LISTED IN THE MOST CURRENT EDITION OF CITY OF LEE'S SUMMIT RULES AND REGULATIONS FOR CUSTOMER SERVICE.
 - COORDINATION WITH THE ELECTRIC, TELEPHONE AND CATV COMPANIES SHALL BE THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR AND SHALL BE CONDUCTED IN A MANNER THAT RESULTS IN AN EFFICIENT AND TIMELY RELOCATION AND REMOVAL OF THE EXISTING FACILITIES.
 - GROUND ELEVATIONS SHALL BE WITHIN 6" OF THE FINAL PROPOSED ELEVATIONS PRIOR TO THE START OF ELECTRIC, TELEPHONE AND CATV RELOCATIONS OR INSTALLATIONS OF NEW SERVICE.
 - CONTRACTOR SHALL REFERENCE ELECTRICAL PLANS FOR FURTHER INFORMATION AND FOR CONDUIT ROUTING TO LIGHT STANDARDS AND ANY GROUND MOUNTED SIGNS.
 - ALL UTILITY IMPROVEMENTS (SERVICES, EXTENSIONS, CONNECTIONS, ETC.) TO BE "PRIVATE".
 - BUILDING SEWER STUBS BEING DISCONNECTED FROM THE SEWER MAIN SHALL BE DISCONNECTED BY THE WATER UTILITIES DEPARTMENT. AFTER THE CONTRACTOR HAS PROVIDED ACCESS TO THE SEWER MAIN VIA AN OSHA COMPLIANT EXCAVATION WITH PROPER SHORING AS NECESSARY, WATER UTILITIES STAFF RESERVE THE RIGHT TO NOT ENTER ANY TRENCH DETERMINED TO BE UNSAFE.

PREMIER DESIGN GROUP
100 MIDLAND PARK DRIVE
WENTZVILLE, MO 63385
MISSOURI CERTIFICATE OF AUTHORITY #E-200000008
MISSOURI CERTIFICATE OF AUTHORITY #E-2006007195

ENGINEERS AUTHENTICATION
The responsible for professional engineering advice on this project is hereby limited to the set of plans authorized by the seal, signature, and date hereunder attached. Responsibility is disclaimed for all other engineering plans involved in this project and specifically excludes revisions after the date stated hereunder.

STEVE MARION
NUMBER PE2006007195
PROFESSIONAL ENGINEER
PE 2006007195

PETSUITES OF AMERICA
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Project No. 2008920
Drawn By Z. KUNTZ/A. JONES
Checked By M. FOGARTY

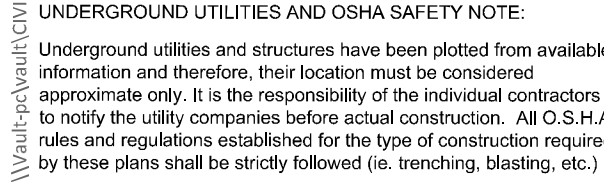
Revision Date Description of Changes
1 3-10-2021 REVISED PER CITY COMMENTS
2 3-22-2021 REVISED PER CITY COMMENTS
3 3-29-2021 ADDED STRUCTURE SIZES

Sheet Title
UTILITY PLAN

1" = 20'
20 10 0 20 40
SCALE IN FEET

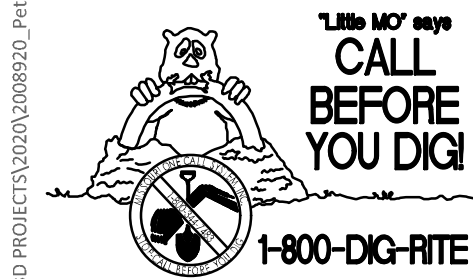
CALL BEFORE YOU DIG
1-800-DIG-RITE

UNDERGROUND UTILITIES AND OSHA SAFETY NOTE:
Underground utilities and structures have been plotted from available information and therefore, their location must be considered approximate only. It is the responsibility of the instrument user to notify the utility companies before actual construction. All construction shall follow the rules and regulations established for the type of construction specified by these plans and shall be strictly followed (ie. trenching, shoring, etc.).

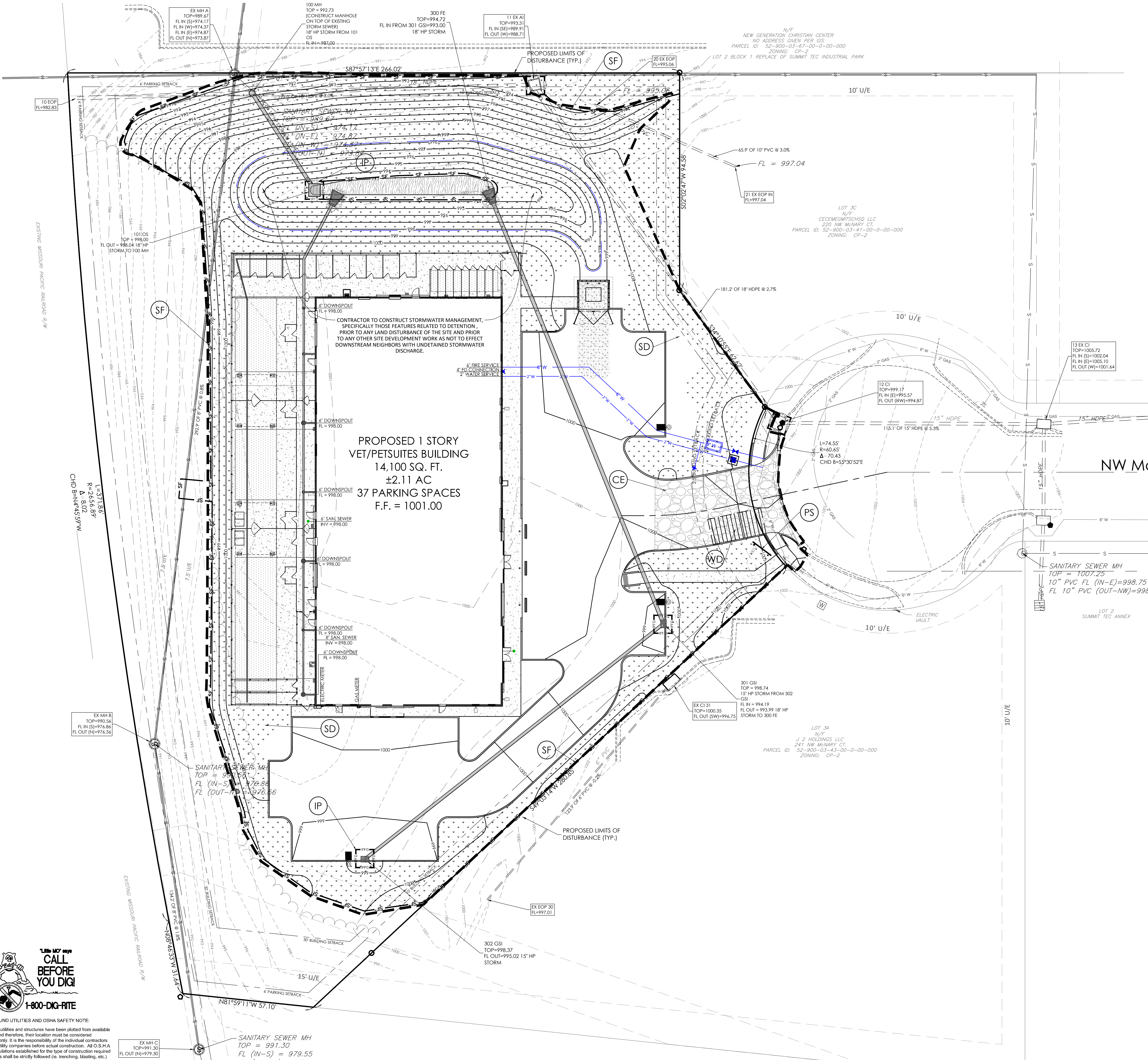


INITIAL EROSION CONTROL PLAN

\\va01-fra01\va01\civil\3D PROJECTS\2020\2008920_Petsuites_McNary Ct Lot 3B_Lee Summit\ENGINEERING\FINAL DEVELOPMENT PLAN C-401 INTERMEDIATE EROSION CONTROL PLAN.dwg



UNDERGROUND UTILITIES AND OSHA SAFETY NOTE:
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EROSION CONTROL SYMBOL LEGEND

---	LEASE LINE/PROPERTY LINE
---	STORM PIPE
-100-	EXISTING CONTOUR
-100-	PROPOSED CONTOUR
(LD)	LIMITS OF ANTICIPATED DISTURBED AREA / CONSTRUCTION LIMITS
(SF)	SILT FENCE (REFERENCE DRAWING 806-70.00 ON SHEET C-401)
(GB)	GRAVEL OR SAND BAG PROTECTION (REFERENCE DRAWING 806-45.08 ON SHEET C-401)
(CE)	CONSTRUCTION EXIT (REFERENCE DRAWING 806-46.01 ON SHEET C-401)
(WD)	CONSTRUCTION WASHDOWN STATION (REFERENCE DRAWING 806-46.00 ON SHEET C-401)
(SD)	SEEDING / SOD
(TS)	TOPSOIL WITH VEGETATION (REFERENCE SHEET L-100)
(IP)	INLET PROTECTION (REFERENCE DRAWING 806-45.12 ON SHEET C-401)
(PS)	PERMIT SIGN (REFERENCE DETAIL SHEET C-401)

CONSTRUCTION SEQUENCING ACTIVITIES:

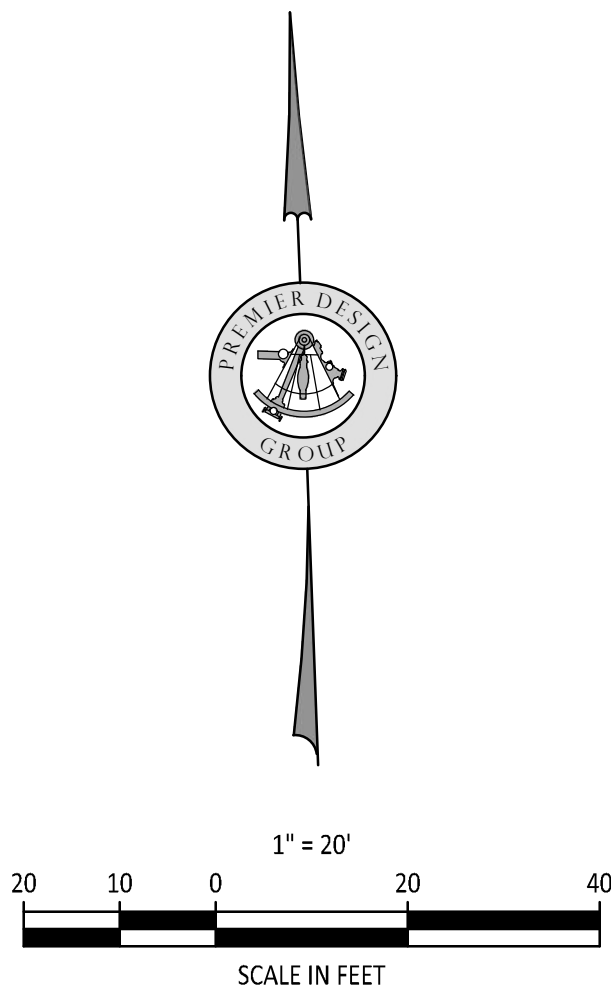
- INSTALL PROJECT SIGN & POST PERMITS
- INSTALL SILT & CONSTRUCTION FENCING
- INSTALL INLET PROTECTION
- INSTALL CONSTRUCTION ENTRANCE / EXIT
- INSTALL VEHICULAR WASH DOWN AREA
- BEGIN EXCAVATION & SITE DEMOLITION
- BEGIN BUILDING FOOTINGS & FOUNDATIONS
- BEGIN UTILITY TRENCHING & EXCAVATION
- PARKING & DRIVE AREA PAVING
- FINISHED GRADING & LANDSCAPING
- SEEDING & SOD WORK
- REMOVAL OF EROSION CONTROL AND OTHER BMP'S

NOTES:

1. REFER TO THE EROSION CONTROL DETAIL SHEET & STORMWATER POLLUTION PREVENTION NARRATIVE FOR ADDITIONAL NOTES AND REQUIREMENTS.
2. THE GENERAL CONTRACTOR SHALL OBTAIN A COPY OF THE NPDES PERMIT ISSUED FOR THE SITE AND POST IT AT THE PROJECT SITE PRIOR TO ANY LAND DISTURBING ACTIVITIES. REFER TO SITE SIGN DETAIL ON THE EROSION CONTROL DETAIL SHEET.
3. CONTRACTOR SHALL INSTALL BMP'S NOTED ON THIS PLAN PRIOR TO BEGINNING ANY LAND DISTURBING, DEMOLITION, OR TREE REMOVAL ACTIVITIES.
4. THE CONTRACTOR SHALL INSTALL CONSTRUCTION ENTRANCE/EXIT AND MAINTAIN THESE ENTRANCES DURING CONSTRUCTION.
5. THE JOB SITE TRAILER, DUMPSTER, FUELING AREA, STORAGE & LAY-DOWN AREA SHALL BE LOCATED BY THE GENERAL CONTRACTOR AT THE START OF CONSTRUCTION. THESE ITEMS MUST BE NOTED BY THE CONTRACTOR ON THE SWPPP DRAWINGS.
6. SOIL STOCKPILES AND DEMOLITION DEBRIS STOCKPILES SHALL HAVE SILT FENCES INSTALLED IF LEFT ON SITE & UNDISTURBED FOR MORE THAN 13 DAYS.

ALL PROJECT SITES ARE REQUIRED TO COMPLY WITH REQUIREMENTS OF THE "CLEAN WATER ACT" ESTABLISHED BY THE US ENVIRONMENTAL PROTECTION AGENCY.

THE EPA'S NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) PROGRAM REQUIRES PERMITS TO BE ISSUED BY REGULATORY AGENCIES WHEN PROJECT SITES DISTURB 1 ACRE OR MORE.



PETSUITES OF AMERICA
LEES SUMMIT, MO
250 NW MCNARY CT.
LEE'S SUMMIT, MO 64086
TM CROWLEY
501 PENNSYLVANIA PARKWAY SUITE 160
INDIANAPOLIS, IN 46280

Project
Date
1-27-2021

#	Revision Date	Description of Changes
1	3-10-2021	REVISED PER CITY COMMENTS
1	3-22-2021	REVISED PER CITY COMMENTS

Sheet Number
C-401
Project No. 2008920
Drawn By Z. KUNTZ/A. JONES
Checked By M. FOGARTY
PERMIT SET



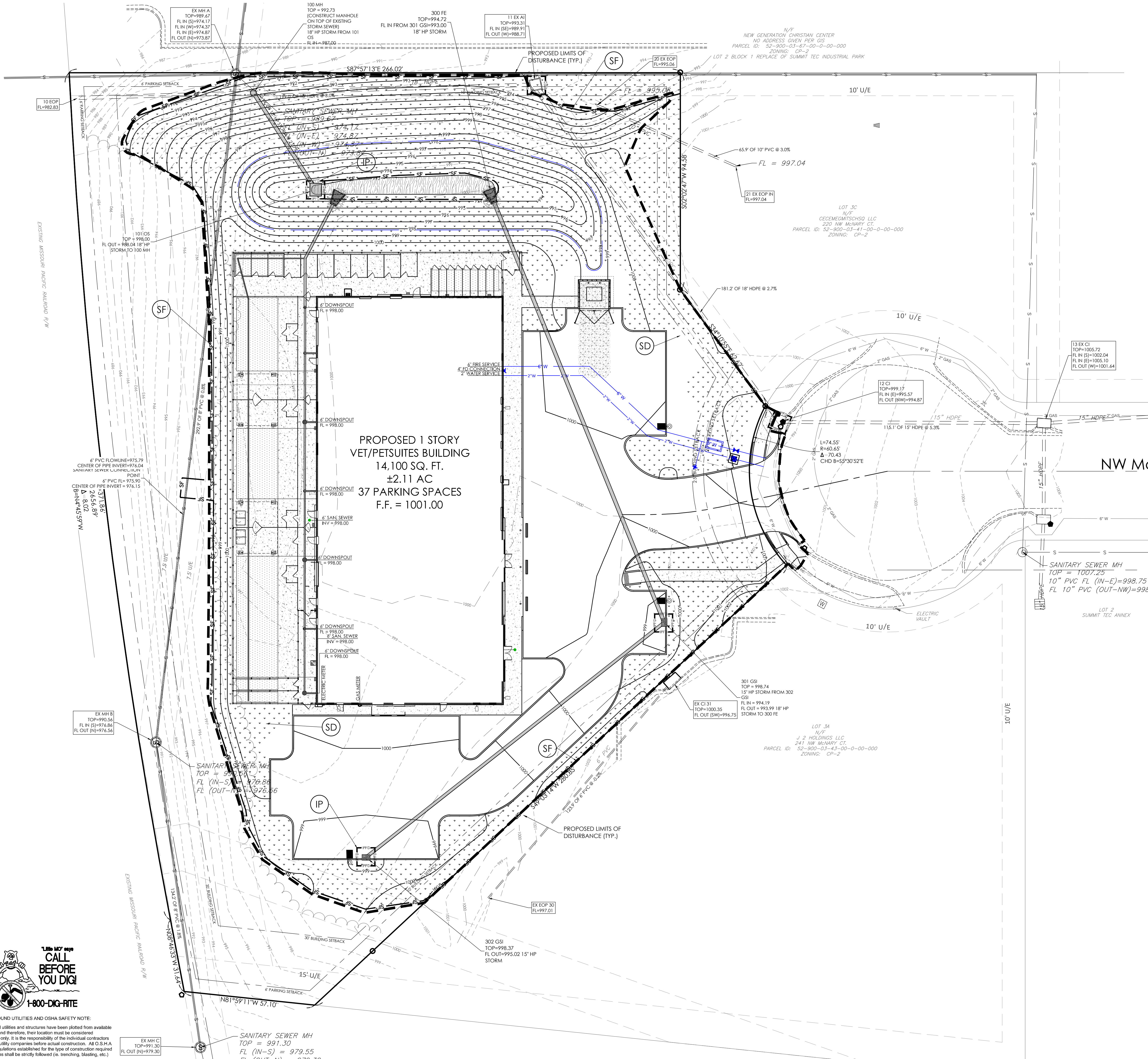
ENGINEERS AUTHENTICATION
The responsibility for professional engineering activities on this project is hereby limited to the act of plans authorized by the seal, signature, and date hereunder attached. Responsibility is disclaimed for all other engineering plans involved in this project and specifically excludes revisions after the date when authenticated.
STEVEN D. MARION P.E.
PROFESSIONAL ENGINEER
PE 2006007195

INTERMEDIATE EROSION CONTROL PLAN

\\na-fp\p\civil\civil\3D PROJECTS\2020\2008920_PetSuites_McHenry Ct Lot 3B_Lee Summit\ENGINEERING\FINAL DEVELOPMENT PLAN\FINAL EROSION CONTROL PLAN.dwg



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---	STORM PIPE
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(LD)	LIMITS OF ANTICIPATED DISTURBED AREA / CONSTRUCTION LIMITS
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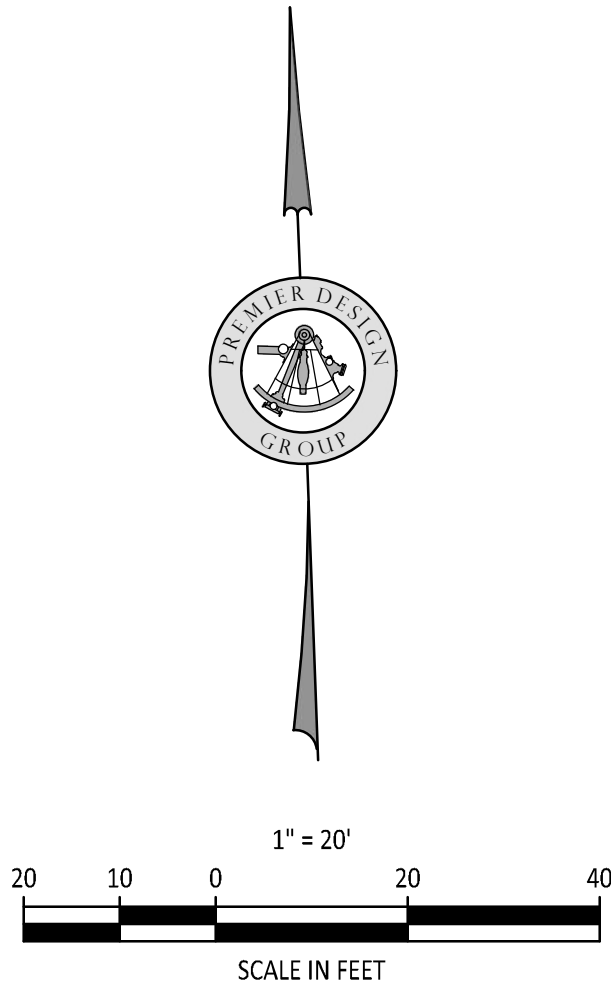
- INSTALL PROJECT SIGN & POST PERMITS
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- INSTALL INLET PROTECTION
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250 NW MCNARY CT.
LEE'S SUMMIT, MO 64086
TM CROWLEY
501 PENNSYLVANIA PARKWAY SUITE 160
INDIANAPOLIS, IN 46280

Project
Date
1-27-2021

#	Revision Date	Description of Changes
1	3-10-2021	REVISED PER CITY COMMENTS
1	3-22-2021	REVISED PER CITY COMMENTS

Sheet Title

Project No. 2008920
Drawn By Z. KUNTZ/A. JONES
Checked By M. FOGARTY
Permit Set

C-402

Final Erosion Control Plan

PERMIT SET

PREMIER
DESIGN GROUP
100 MIDLAND PARK DRIVE
WENTZVILLE, MO 63385
MISSOURI CERTIFICATE OF AUTHORITY #2-200000081
MISSOURI CERTIFICATE OF AUTHORITY #13-200607195

ENGINEERS AUTHENTICATION
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STEVEN D. MARION P.E.
PROFESSIONAL ENGINEER
PE 2006007195

\\ms01-fs1\mnt\civil\3D PROJECTS\2020\2008920_Petsuites_McNary Ct Lot 3B_Lee Summit Engineering\CONSTRUCTION DOCUMENTS\EXISTING DRAINAGE AREA MAP.dwg

UNDERGROUND UTILITIES AND OSHA SAFETY NOTE:

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THIS PLAN IS FOR DRAINAGE PURPOSES AND REFERENCE ONLY. DO NOT USE FOR CONSTRUCTION.

MINIMUM TIME OF CONCENTRATION = 5 MINUTES
EXISTING SOILS TYPE = C
CN PAVT = 98
CN GRASS = 74
CN COMMERCIAL AREAS = 94

MASTER DRAINAGE PLAN NOTES

- MBOE - (MINIMUM BUILDING OPENING ELEVATION) ELEV = 1001.00
- THE INDIVIDUAL LOT OWNER(S) SHALL NOT CHANGE OR OBSTRUCT THE OVERALL DRAINAGE FLOW LINES OR PATHS ON THE LOT AS SHOWN ON THE MASTER DRAINAGE PLAN, UNLESS SPECIFIC APPLICATION IS MADE AND APPROVED BY THE CITY ENGINEER.

EXISTING RUNOFF TABLE

ID	EXISTING Q (CFS)
AREA A	
2-Year	2.79
10-Year	4.43
100-Year	6.58
AREA B	
2-Year	0.12
10-Year	0.24
100-Year	0.42
AREA C	
2-Year	0.35
10-Year	0.73
100-Year	1.27
AREA D	
2-Year	0.14
10-Year	0.29
100-Year	0.51
AREA E	
2-Year	6.56
10-Year	10.38
100-Year	15.41
AREA F	
2-Year	3.57
10-Year	7.6
100-Year	13.44
AREA G	
2-Year	0.04
10-Year	0.08
100-Year	0.14
AREA H	
2-Year	0.02
10-Year	0.04
100-Year	0.07

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STEVEN D. MARION P.E.
PROFESSIONAL ENGINEER
PE 2006007195

PREMIER DESIGN GROUP

1" = 20'

SCALE IN FEET

EXISTING DRAINAGE AREA MAP

C-500

Project No.	2008920
Drawn By	Z. KUNTZ/A. JONES
Checked By	M. FOGARTY

PERMIT SET

PREMIER DESIGN GROUP
100 MIDLAND PARK DRIVE
WENTZVILLE, MO 63385
MISSOURI CERTIFICATE OF AUTHORITY #E-200800008
MISSOURI CERTIFICATE OF AUTHORITY #E-2006007849

STATE OF MISSOURI
STEVEN D. MARION
NUMBER PE2006007195
PROFESSIONAL ENGINEER

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PE 2006007195

PETSUITES OF AMERICA
LEES SUMMIT, MO
250 NW MCNARY CT.
LEES SUMMIT, MO 64086
TM CROWLEY
501 PENNSYLVANIA PARKWAY SUITE 160
INDIANAPOLIS, IN 46280

Project

Date

1-27-2021

Revision Date

Revision Number

Revision Description

Revision

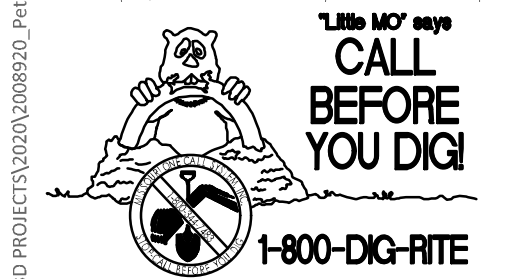
EXISTING DRAINAGE AREA MAP

C-500

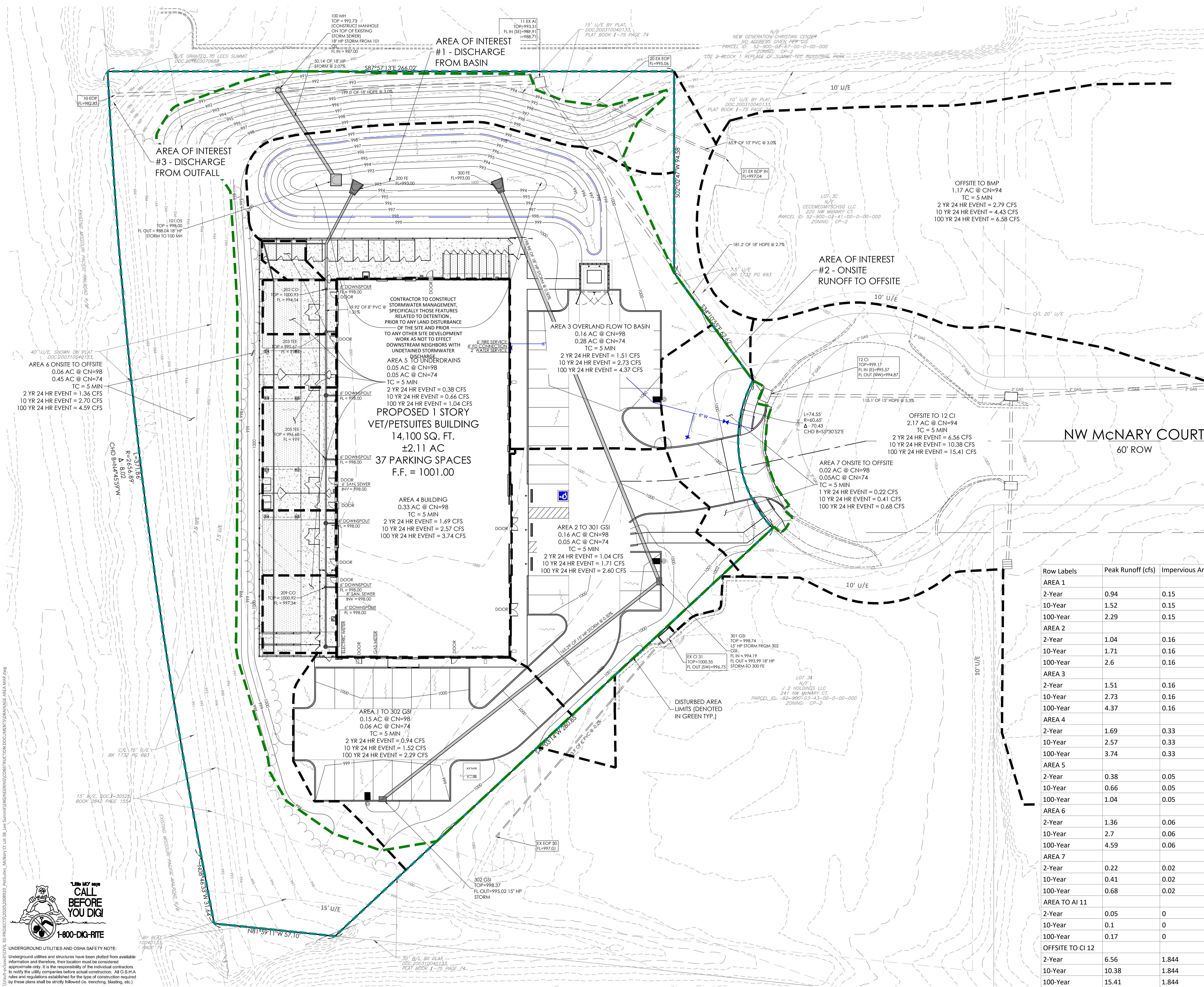
Project No.	2008920
Drawn By	Z. KUNTZ/A. JONES
Checked By	M. FOGARTY

PERMIT SET

\\va01-fra\civil\civil\3D PROJECTS\2020\008920_Petsuites_McNary Ct Lot 3B_Lee Summit\ENGINEERING\CONSTRUCTION DOCUMENTS\DRAINAGE AREA MAP.dwg



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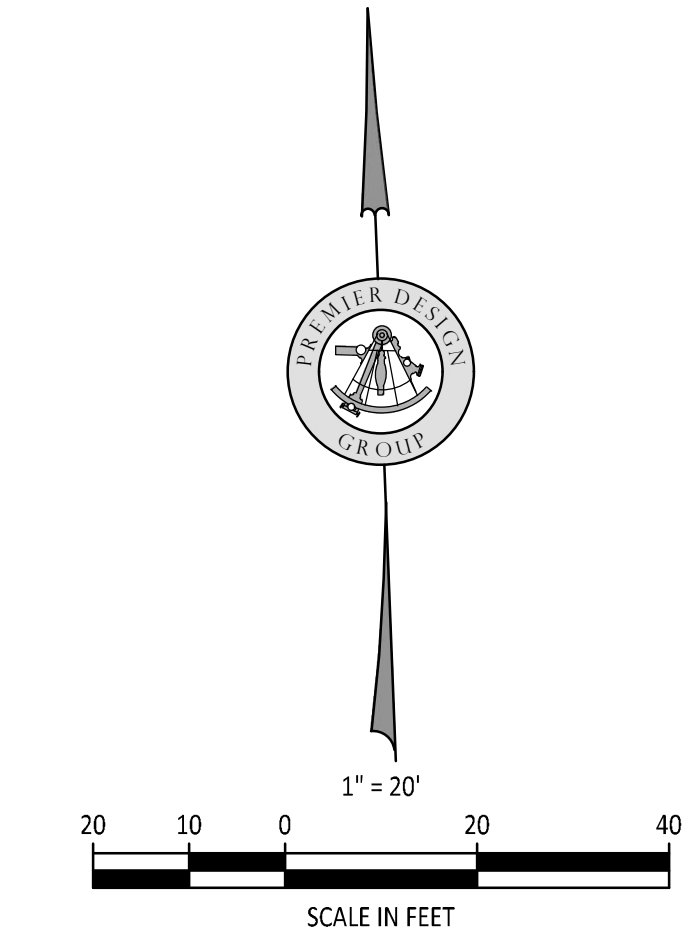


MINIMUM TIME OF CONCENTRATION = 5 MINUTES
EXISTING SOILS TYPE = C
CN PVMT = 98
CN GRASS = 74
CN COMMERCIAL AREAS = 94

MASTER DRAINAGE PLAN NOTES

1. MBOE (MINIMUM BUILDING OPENING ELEVATION) ELEV = 1001.00

2. THE INDIVIDUAL LOT OWNER(S) SHALL NOT CHANGE OR OBSTRUCT THE OVERALL DRAINAGE FLOW LINES OR PATHS ON THE LOT AS SHOWN ON THE MASTER DRAINAGE PLAN, UNLESS SPECIFIC APPLICATION IS MADE AND APPROVED BY THE CITY ENGINEER.



Row Labels	Peak Runoff (cfs)	Impervious Area	Pervious Area	Total Area	Composite CN	TC
AREA 1						
2-Year	0.94	0.15	0.06	0.21	91	5
10-Year	1.52	0.15	0.06	0.21	91	5
100-Year	2.29	0.15	0.06	0.21	91	5
AREA 2						
2-Year	1.04	0.16	0.08	0.24	90	5
10-Year	1.71	0.16	0.08	0.24	90	5
100-Year	2.6	0.16	0.08	0.24	90	5
AREA 3						
2-Year	1.51	0.16	0.28	0.44	83	5
10-Year	2.73	0.16	0.28	0.44	83	5
100-Year	4.37	0.16	0.28	0.44	83	5
AREA 4						
2-Year	1.69	0.33	0	0.33	98	5
10-Year	2.57	0.33	0	0.33	98	5
100-Year	3.74	0.33	0	0.33	98	5
AREA 5						
2-Year	0.38	0.05	0.05	0.1	86	5
10-Year	0.66	0.05	0.05	0.1	86	5
100-Year	1.04	0.05	0.05	0.1	86	5
AREA 6						
2-Year	1.36	0.06	0.45	0.51	77	5
10-Year	2.7	0.06	0.45	0.51	77	5
100-Year	4.59	0.06	0.45	0.51	77	5
AREA 7						
2-Year	0.22	0.02	0.05	0.07	81	5
10-Year	0.41	0.02	0.05	0.07	81	5
100-Year	0.68	0.02	0.05	0.07	81	5
AREA TO AI 11						
2-Year	0.05	0	0.02	0.02	74	5
10-Year	0.1	0	0.02	0.02	74	5
100-Year	0.17	0	0.02	0.02	74	5
OFFSITE TO CI 12						
2-Year	6.56	1.844	0.325	2.17	94	20
10-Year	10.38	1.844	0.325	2.17	94	20
100-Year	15.41	1.844	0.325	2.17	94	20

PETSUITES OF AMERICA
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TM CROWLEY
501 PENNSYLVANIA PARKWAY SUITE 160
INDIANAPOLIS, IN 46280

Project No. 2008920
Drawn By Z. KUNTZ/A. JONES
Checked By M. FOGARTY
PERMIT SET

1-27-2021

Revision Date

Sheet Title

C-501

STORMWATER MANAGEMENT PLAN

PREMIER

DESIGN GROUP

100 MIDLAND PARK DRIVE
WENTZVILLE, MO 63385
MISSOURI CERTIFICATE OF AUTHORITY #E-200800008
MISSOURI CERTIFICATE OF AUTHORITY #E-200600758

STATE OF MISSOURI

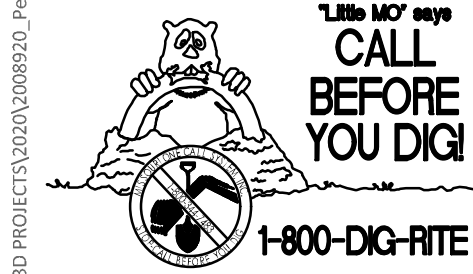
STEVE MARION

NUMBER PE2006007195

PROFESSIONAL ENGINEER

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PE 2006007195

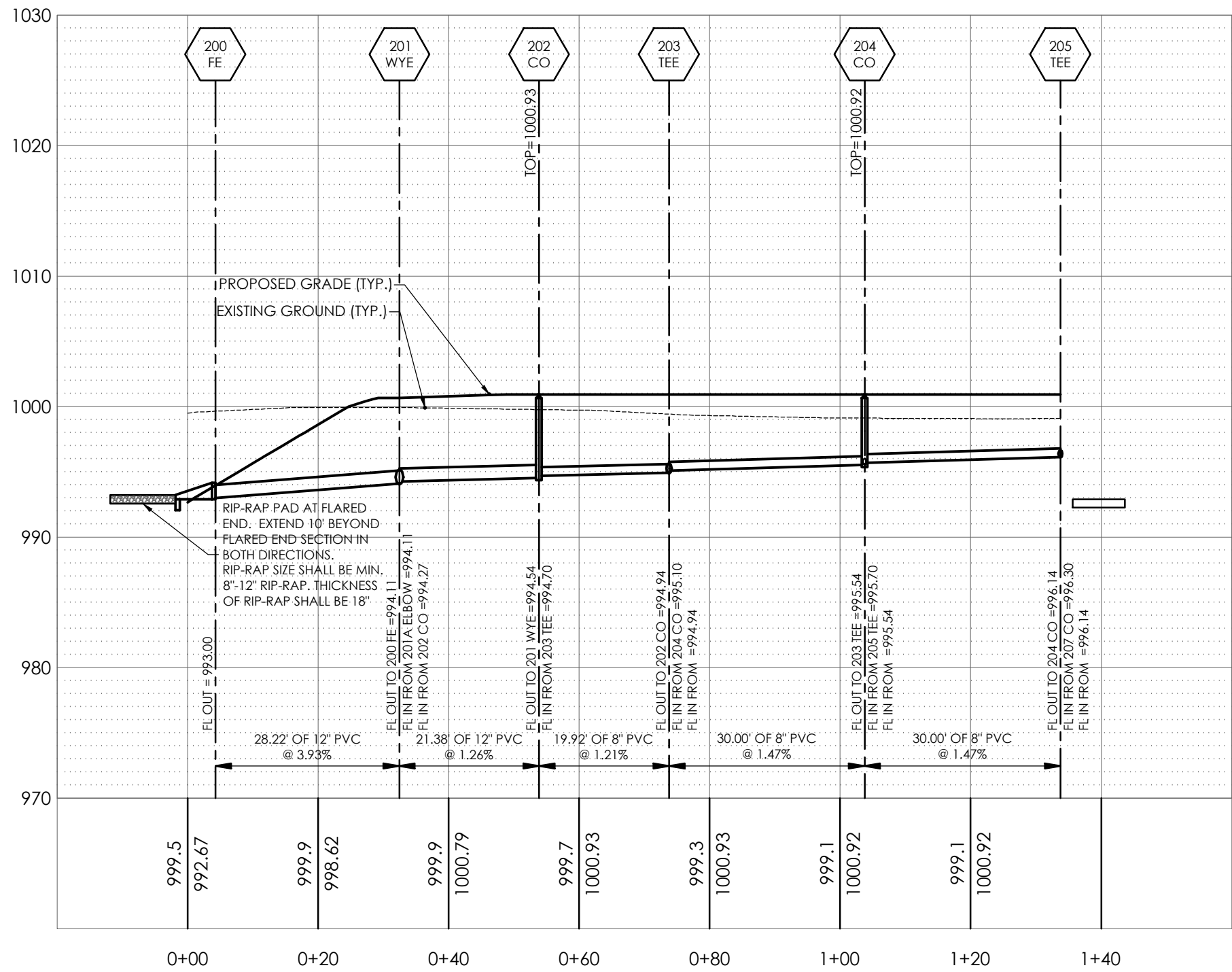
\\vaup-jr\vaup\civil\3D PROJECTS\2020\008920_PetSuties_Mchry G.Lot 3B_Lee Summit\ENGINEERING\CONSTRUCTION DOCUMENTS\STORM SEWER.dwg



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10 YEAR STORM HYDRAULICS																												
LineNo.	LineID	InletID	LineLength	n-valuePipe	LineSize	InvertUp	InvertDn	LineSlope	Grnd/RimElev Up	Grnd/RimElev Dn	DepthUp	HGLUp	HGLDn	Rim-Hw	Defl.Angle	VelDn	VelHd Dn	J-LossCoeff	EnergyLoss	MinorLoss	FlowRate	CapacityFull	Tc	QCaptured	InletEff	IncrQ	DrainageArea	RunoffCoeff
			(ft)		(in)	(ft)	(ft)	(%)	(ft)	(ft)	(ft)	(ft)	(ft)	(ft)	(Deg)	(ft/s)	(ft)		(ft)	(ft)	(cfs)	(cfs)	(min)	(cfs)	(%)	(cfs)	(ac)	(C)
2	302-301	302 GSI	165.286	0.012	15	994.94	994.11	0.50	998.37	998.74	0.49**	995.43 j	994.69	2.94	73.821	2.71	0.18	1.00 z	0.000	n/a	1.52	4.95	0.0	1.52	100	1.52	0.00	0.00
1	301-300	301 GSI	201.508	0.012	18	994.01	993.00	0.50	998.74	994.43	0.68**	994.69	993.68	4.05	69.997	4.11	0.26	1.45 z	0.000	n/a	3.23	8.13	0.9	1.71	100	1.71	0.00	0.00

100 YEAR STORM HYDRAULICS																												
LineNo.	LineID	InletID	LineLength	n-valuePipe	LineSize	InvertUp	InvertDn	LineSlope	Grnd/RimElev Up	Grnd/RimElev Dn	DepthUp	HGLUp	HGLDn	Rim-Hw	Defl.Angle	VelDn	VelHd Dn	J-LossCoeff	EnergyLoss	MinorLoss	FlowRate	CapacityFull	Tc	QCaptured	InletEff	IncrQ	DrainageArea	RunoffCoeff
			(ft)		(in)	(ft)	(ft)	(%)	(ft)	(ft)	(ft)	(ft)	(ft)	(ft)	(Deg)	(ft/s)	(ft)		(ft)	(ft)	(cfs)	(cfs)	(min)	(cfs)	(%)	(cfs)	(ac)	(C)
2	302-301	302 GSI	165.000	0.012	15	995.02	994.19	0.50	998.37	998.74	0.60**	995.62	994.84	2.75	73.821	3.55	0.24	1.00 z	0.000	0.24	2.29	4.96	0.0	2.29	100	2.29	0.00	0.00
1	301-300	301 GSI	198.980	0.012	18	993.99	993.00	0.50	998.74	994.43	0.85**	994.84	993.85	3.90	69.997	4.73	0.35	1.45 z	0.000	0.51	4.89	8.02	0.7	2.60	100	2.60	0.00	0.00



STORM SEWER PROFILE 205 CO TO 200 EOP

1"=20' HORIZONTAL
1"=10' VERTICAL

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LEES SUMMIT, MO 64086
TM CROWLEY
501 PENNSYLVANIA PARKWAY SUITE 160
INDIANAPOLIS, IN 46280

Project
Date
1-27-2021

Revision Date	Revised Per City Comments	Description of Changes
1	2-10-2021	REVISED PER CITY COMMENTS

Sheet Title

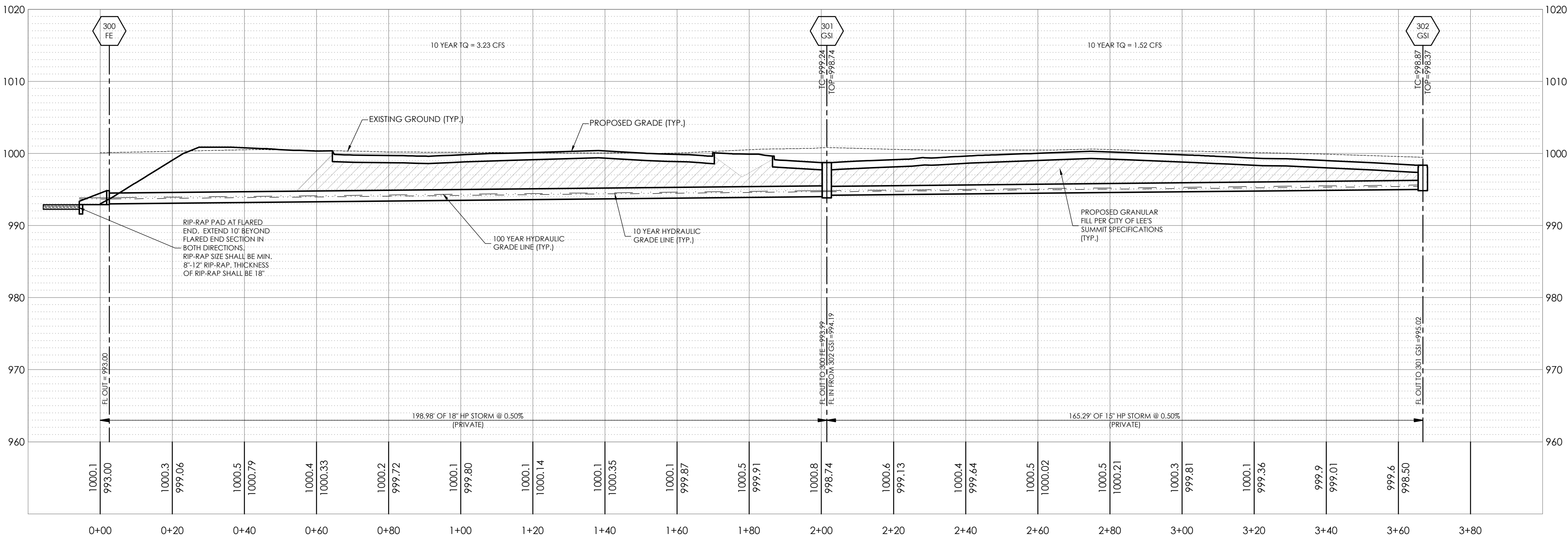
STORM SEWER PROFILES

C-600

Project No. 2008920
Drawn By Z. KUNTZ/A. JONES
Checked By M. FOGARTY

PERMIT SET

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PROFESSIONAL ENGINEER
PE 2006007195

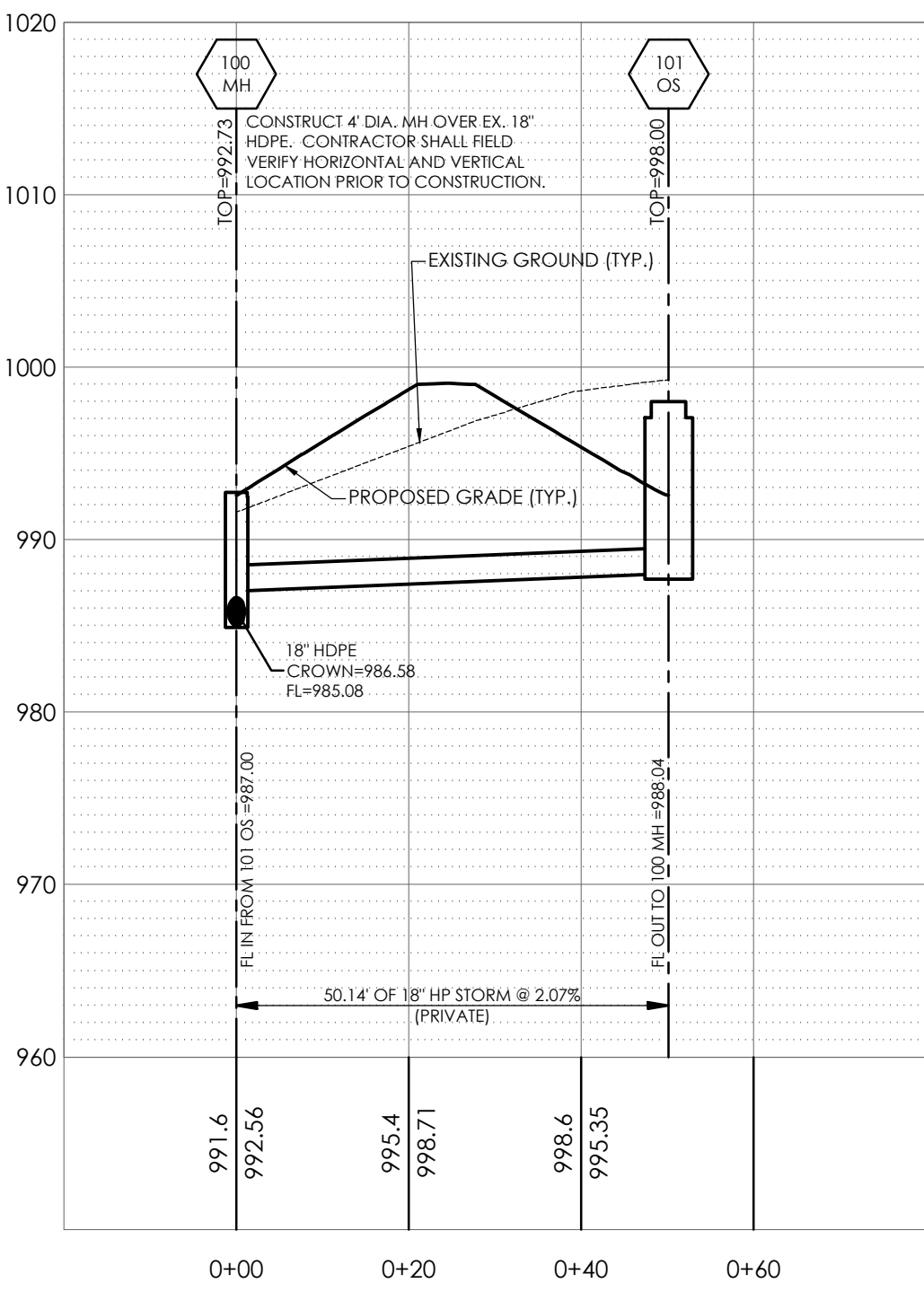


STORM SEWER PROFILE 300 EOP TO 302 GSI

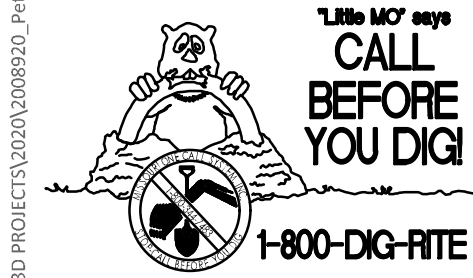
1"=20' HORIZONTAL
1"=10' VERTICAL

STORM SEWER PROFILE 100 MH TO 101 OS

1"=20' HORIZONTAL
1"=10' VERTICAL

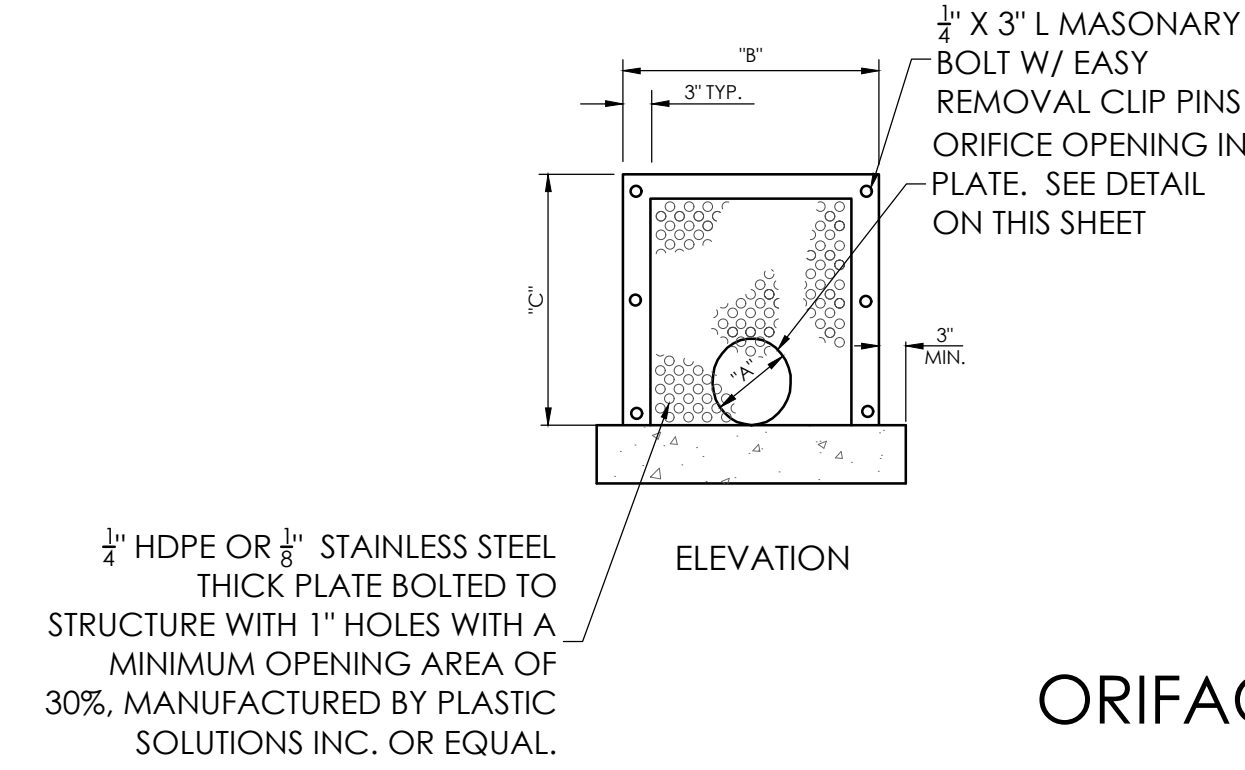


\\warr-fs1\p\civil\civil\3D PROJECTS\2020\2008920_Petsuites_Mchey CL Lot 3B_Lee Summit\ENGINEERING\CONSTRUCTION DOCUMENTS\OUTFALL STRUCTURE DETAIL.dwg

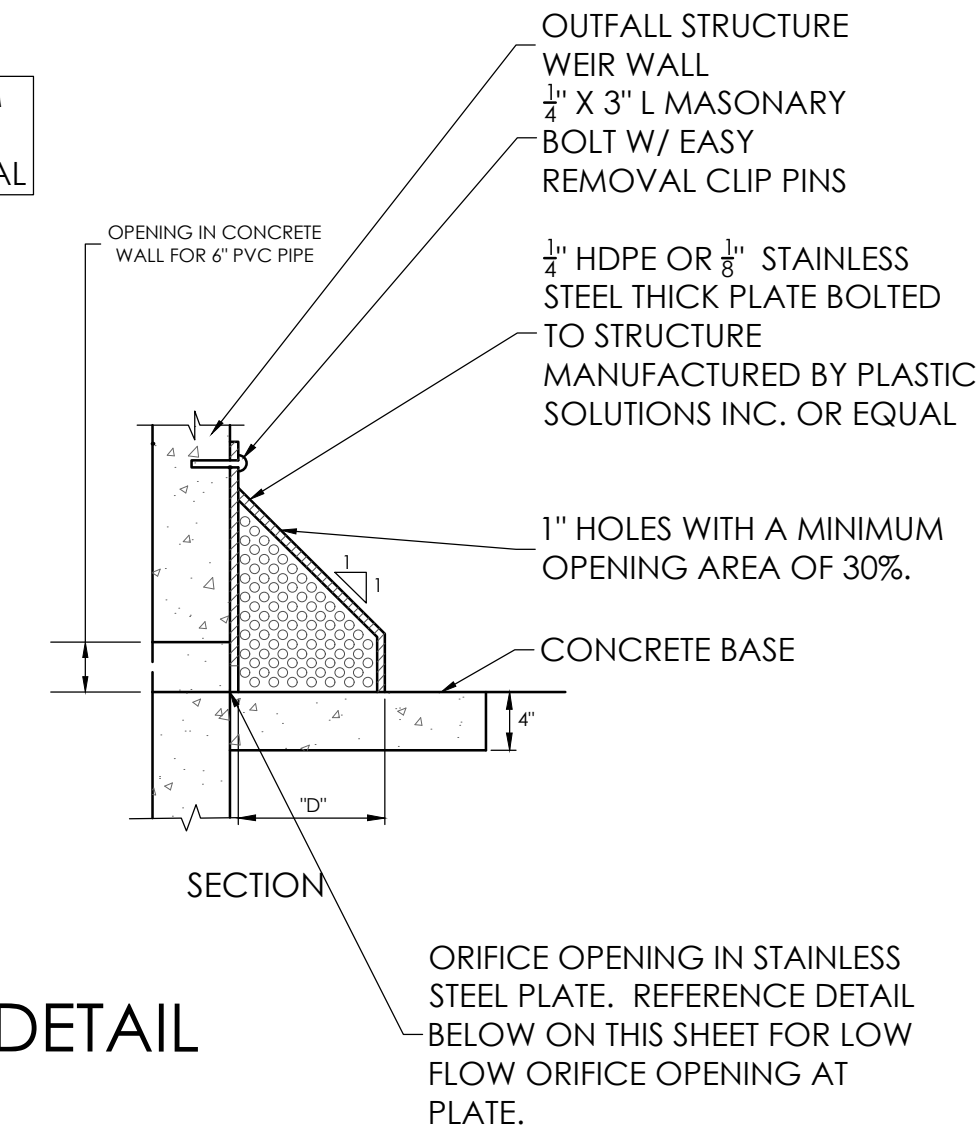
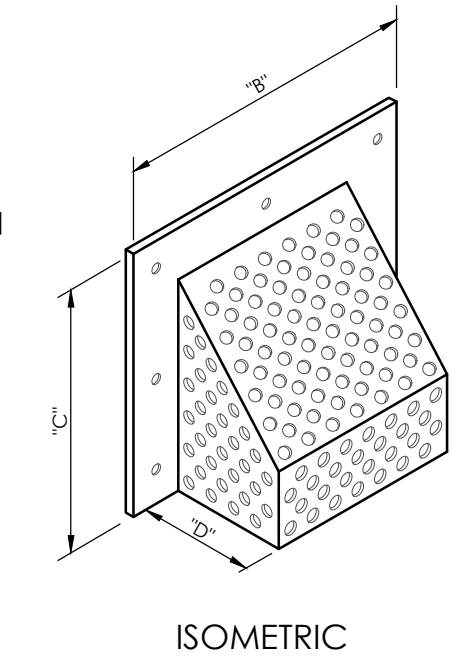


UNDERGROUND UTILITIES AND OSHA SAFETY NOTE:
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DIMENSION CHART				
LOW FLOW CULVERT DIA.	"B"	"C"	"D"	
1.00' - 6"	18"	15"	6"	
8" - 15"	24"	21"	12"	
18" - 24"	42"	39"	30"	



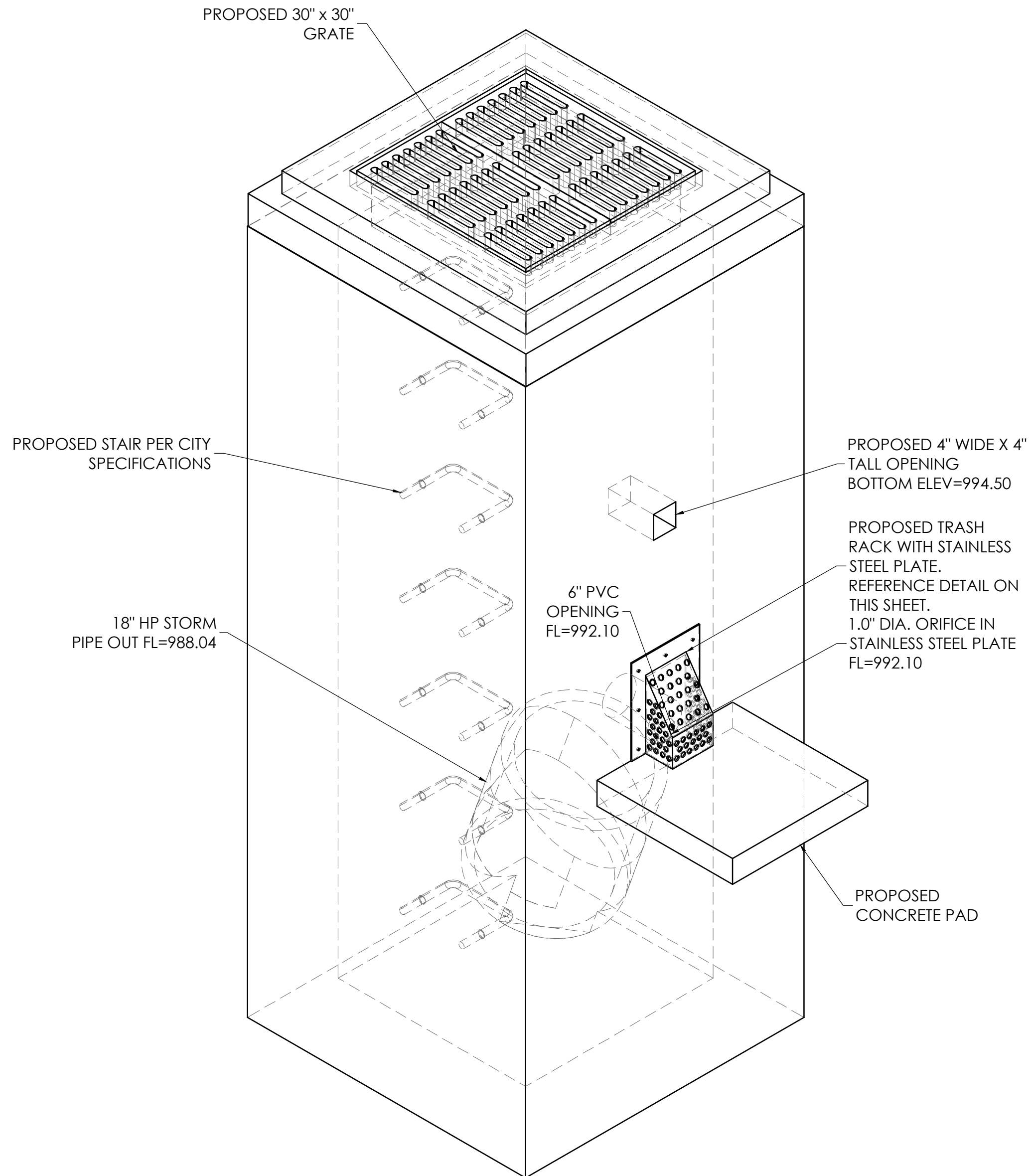
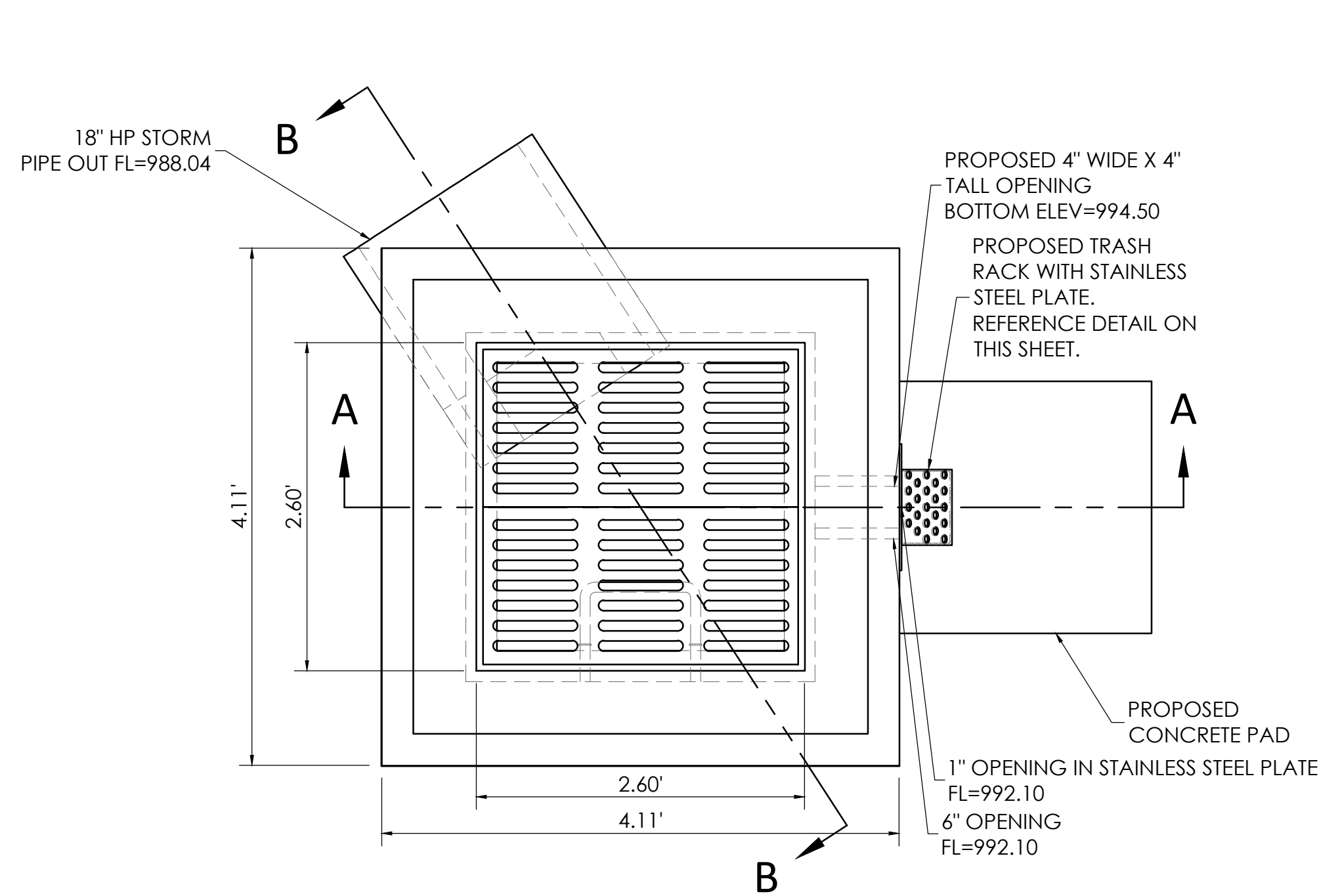
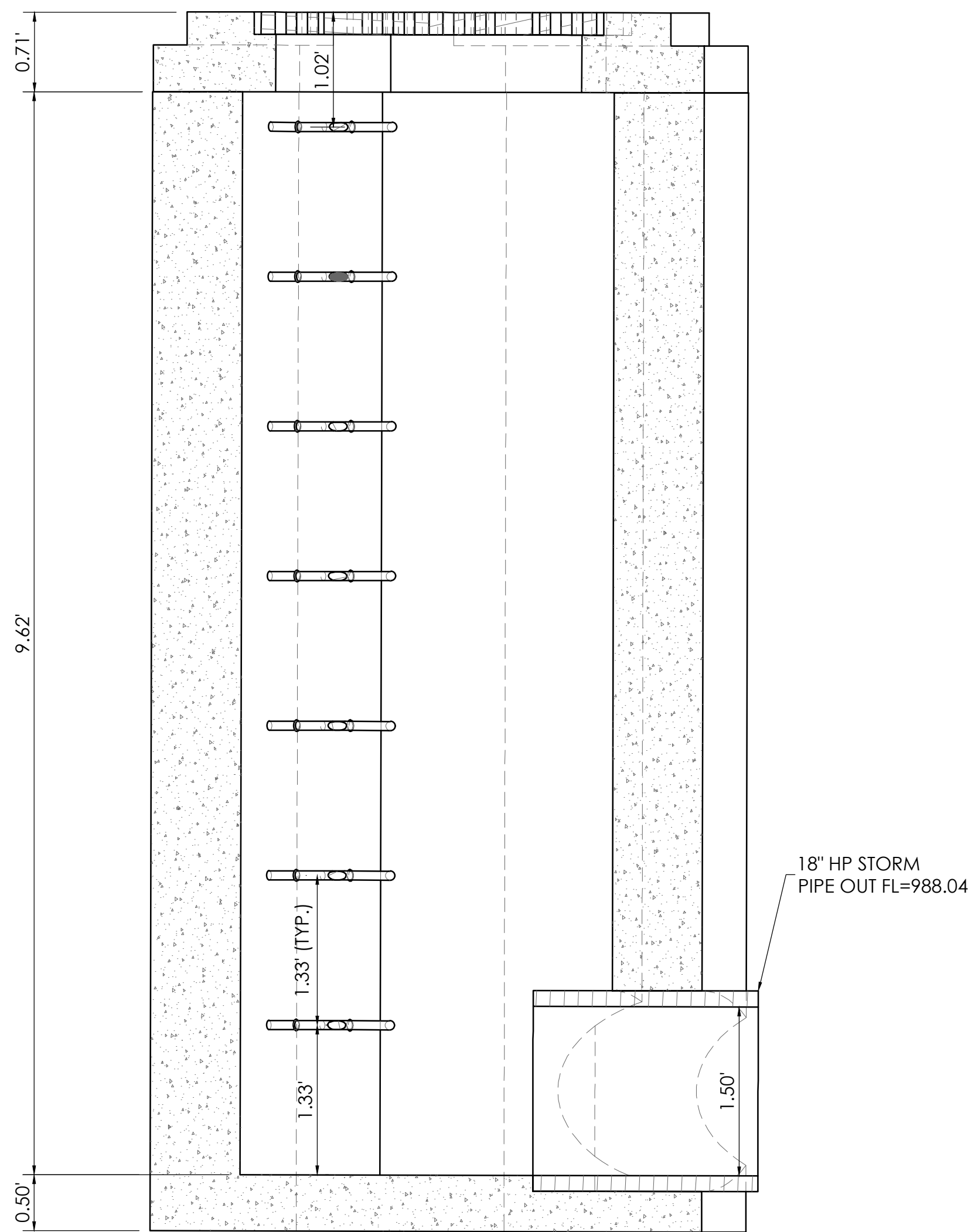
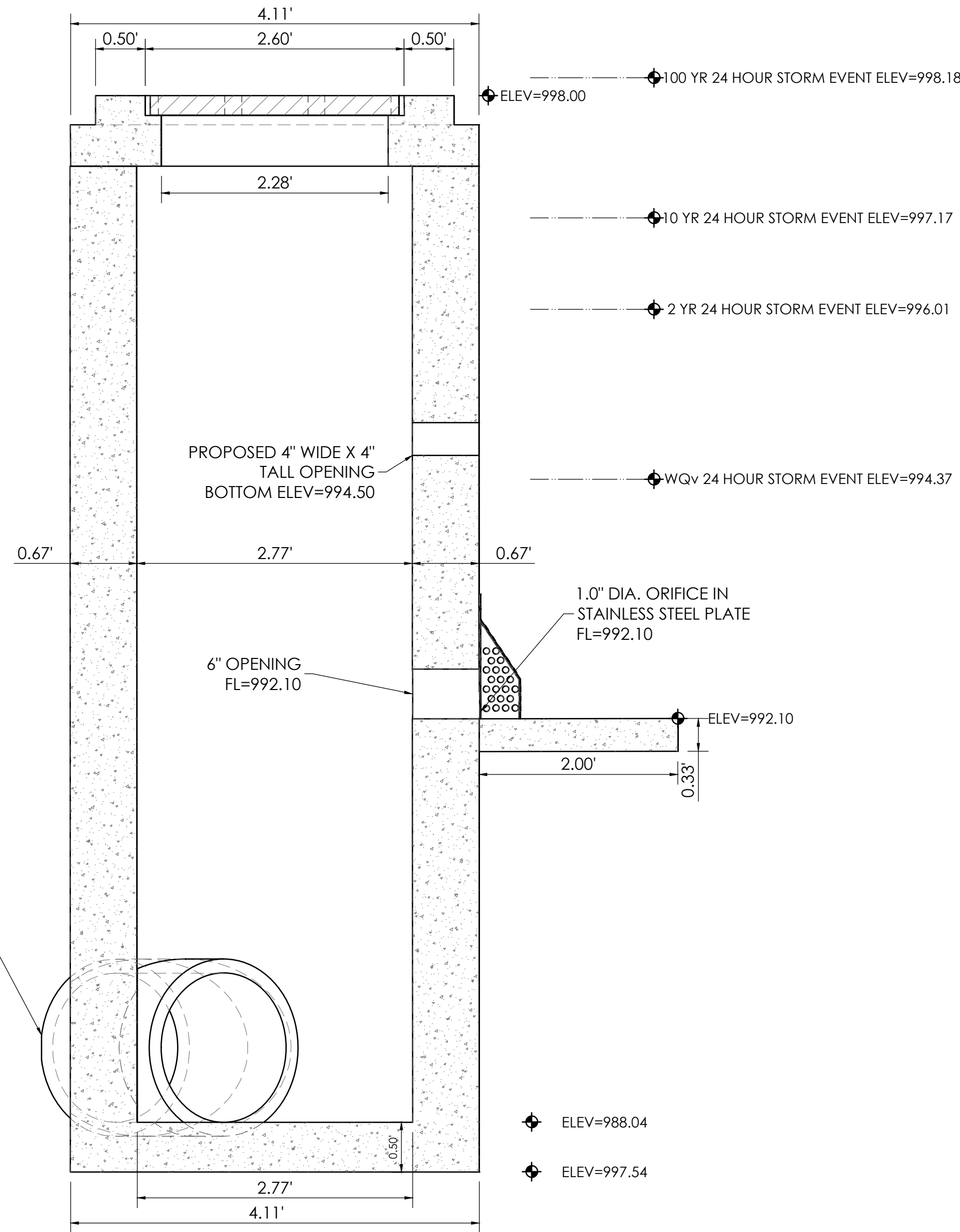
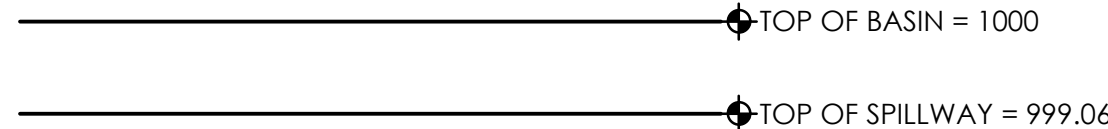
ORIFACE PROTECTION DETAIL (N.T.S.)



ALL JOINTS BETWEEN PIPE AND COLLAR SHALL BE SEALED WITH A NON-SHRINK/NON-EXANSIVE TAR OR SEALANT.

4,000 P.S.I. PCC CAST IN PLACE. FORM AS REQUIRED.

ANTI-SEEPAGE COLLAR DETAIL (N.T.S.)



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250 NW MONARY CT.
LEES SUMMIT, MO 64086
TM CROWLEY
501 PENNSYLVANIA PARKWAY SUITE 160
INDIANAPOLIS, IN 46280

Project
Date
1-27-2021

#	Revision Date	Description of Changes
1	3-10-2021	REVISED PER CITY COMMENTS
Sheet Title		
OUTFALL STRUCTURE DETAIL		
Sheet Number		

C-601

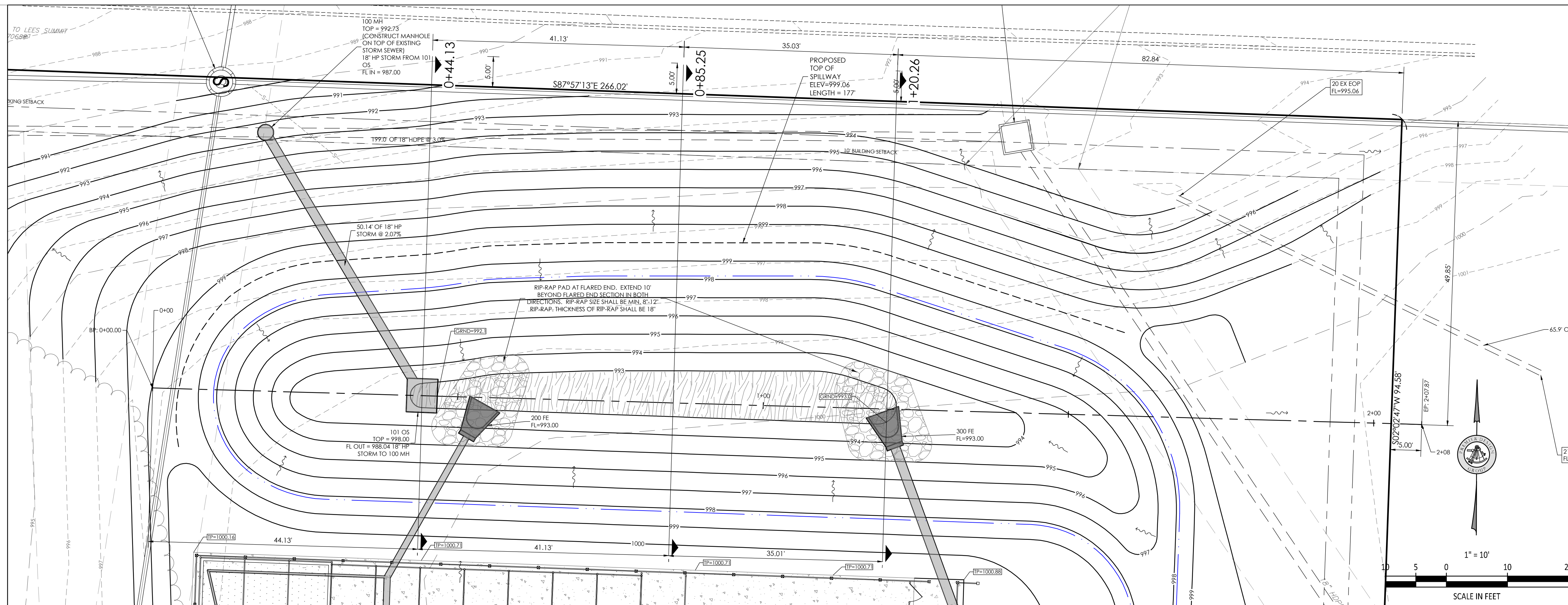
Project No. 2008920
Drawn By Z. KUNTZ/A. JONES
Checked By M.FOGARTY

PERMIT SET

PREMIER
DESIGN GROUP
100 MIDLAND PARK DRIVE
WENTZVILLE, MO 63385
MISSOURI CERTIFICATE OF AUTHORITY #E-2008000031
MISSOURI CERTIFICATE OF AUTHORITY #E-2008007819
MISSOURI CERTIFICATE OF AUTHORITY #E-2008007258

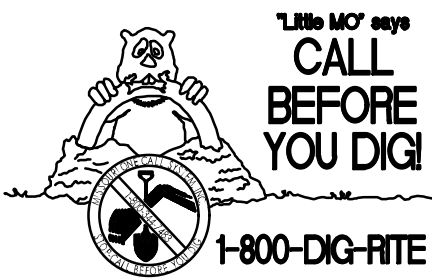
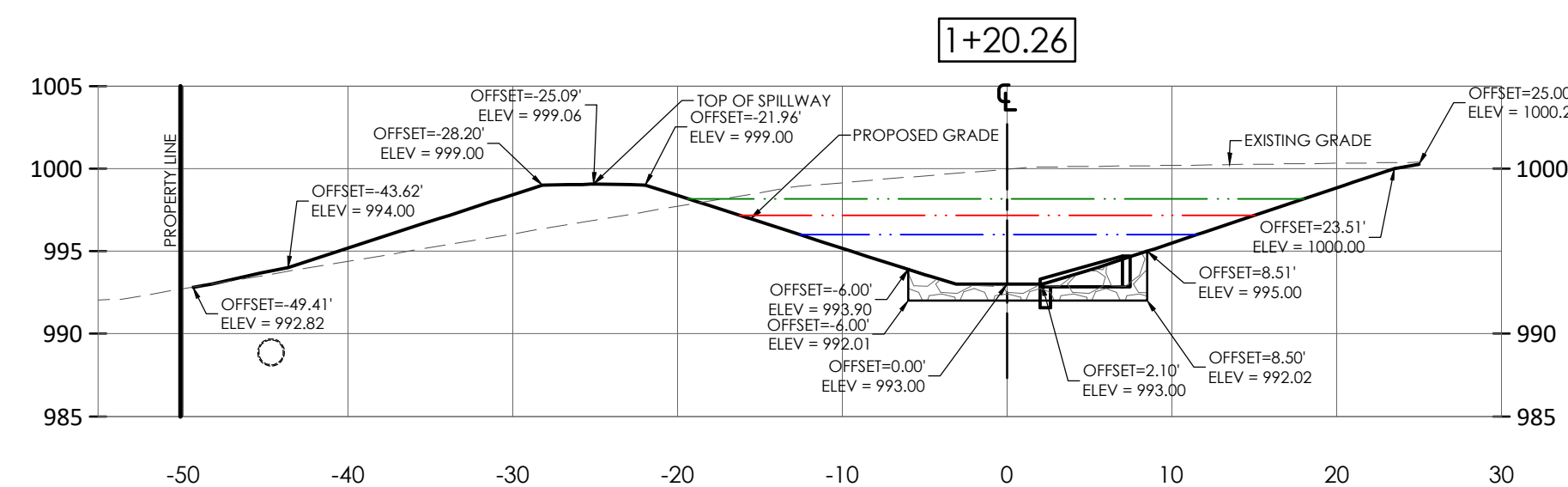
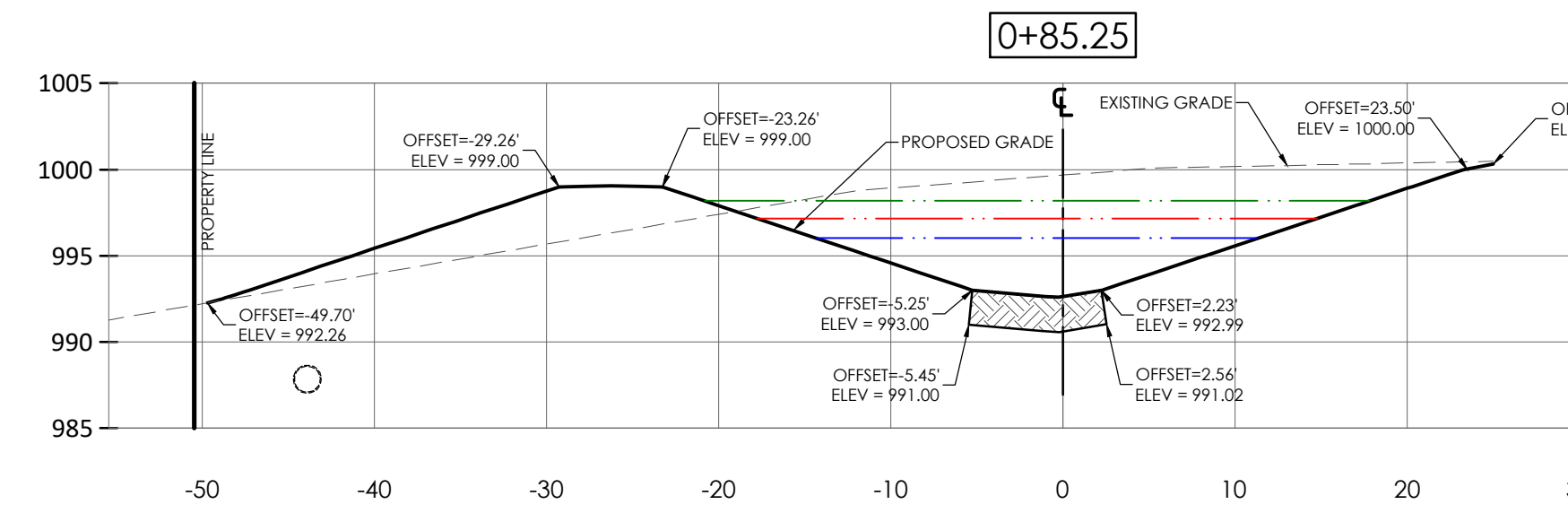
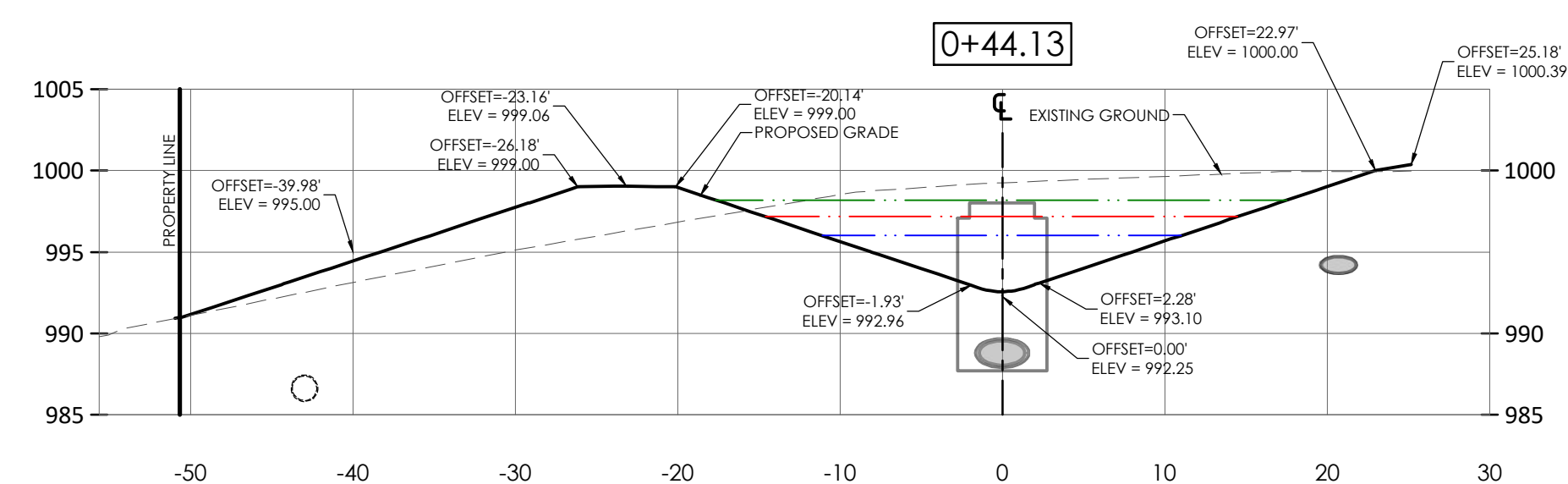
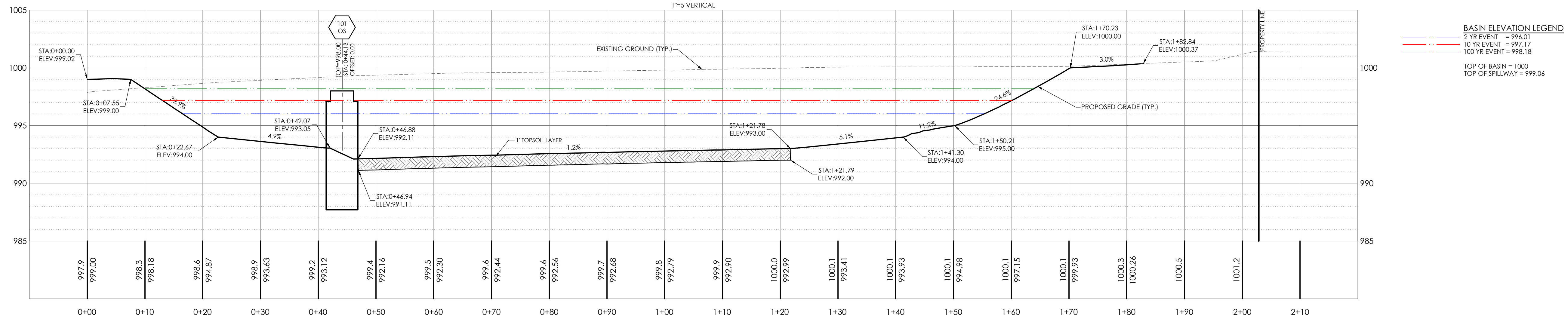
STATE OF MISSOURI
STEVE MARION
NUMBER PE2008007195
PROFESSIONAL ENGINEER

ENGINEERS AUTHENTICATION
The responsibility for professional engineering liability on this project is hereby limited to the act of plans authorized by the seal, signature, and date hereunder attached. Responsibility is disclaimed for all other engineering plans involved in this project and specifically excludes revisions after the date when reauthorized.
STEVEN D. MARION P.E.
PROFESSIONAL ENGINEER
PE 2006007195



DETENTION BASIN PLAN VIEW
SCALE = 1"=10'

BASIN PROFILE
1"=10' HORIZONTAL
1"=5' VERTICAL



UNDERGROUND UTILITIES AND OSHA SAFETY NOTE:

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ENGINEERS' AUTHENTICATION

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STEVEN D. MARION P.E.
PROFESSIONAL ENGINEER
PE 2006007195

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250 NW MCNARY CT.
LEE'S SUMMIT, MO 64086
TM CROWLEY
501 PENNSYLVANIA PARKWAY SUITE 1
INDIANAPOLIS, IN 46280

Project _____
Date 1-27-2021

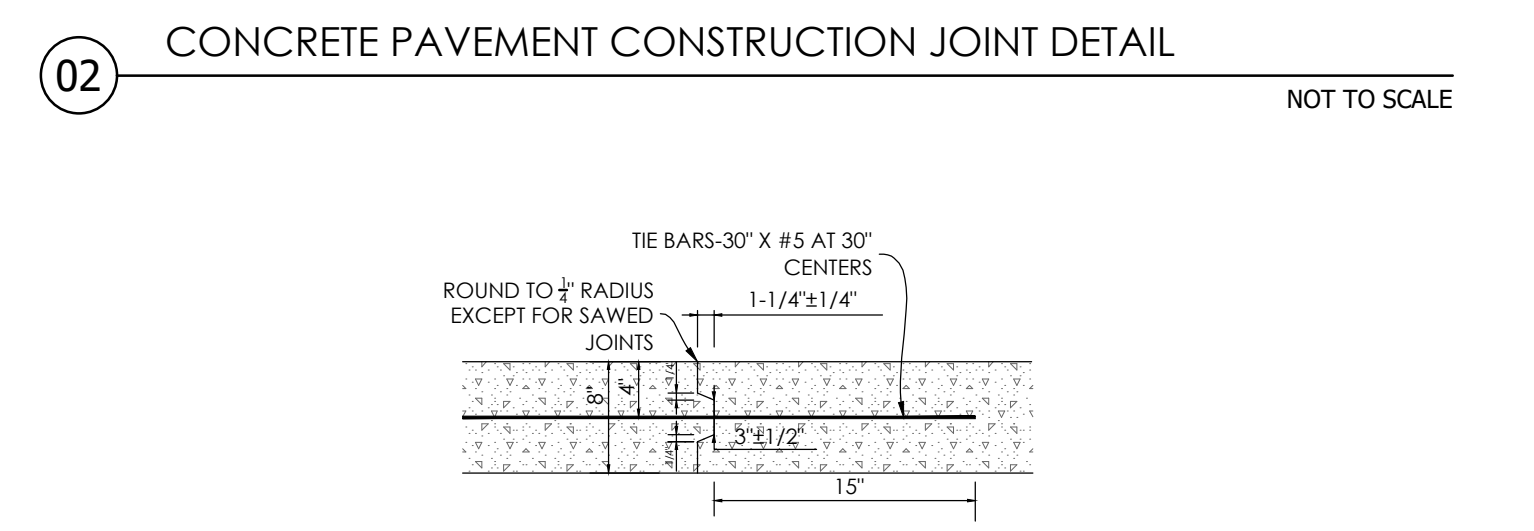
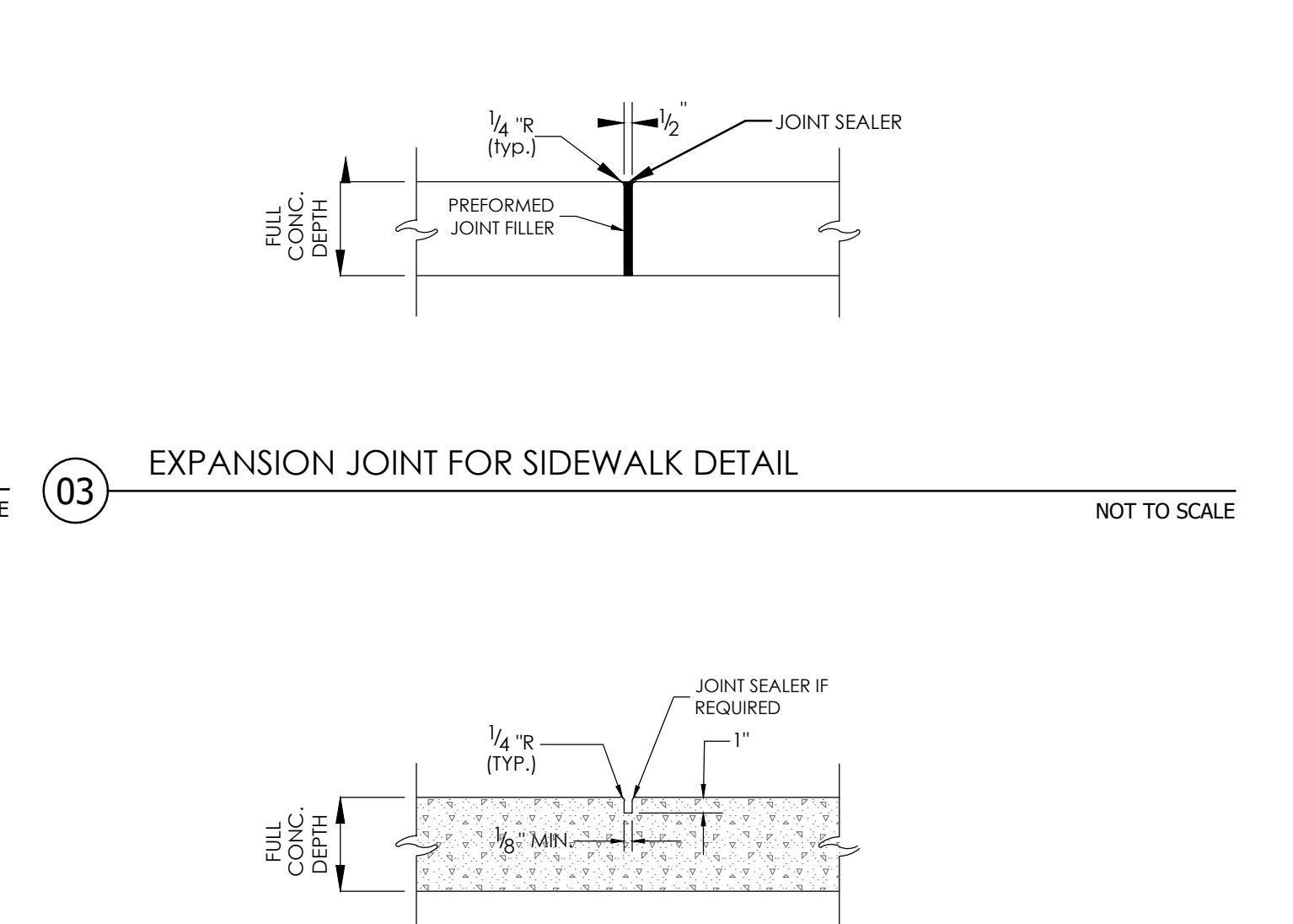
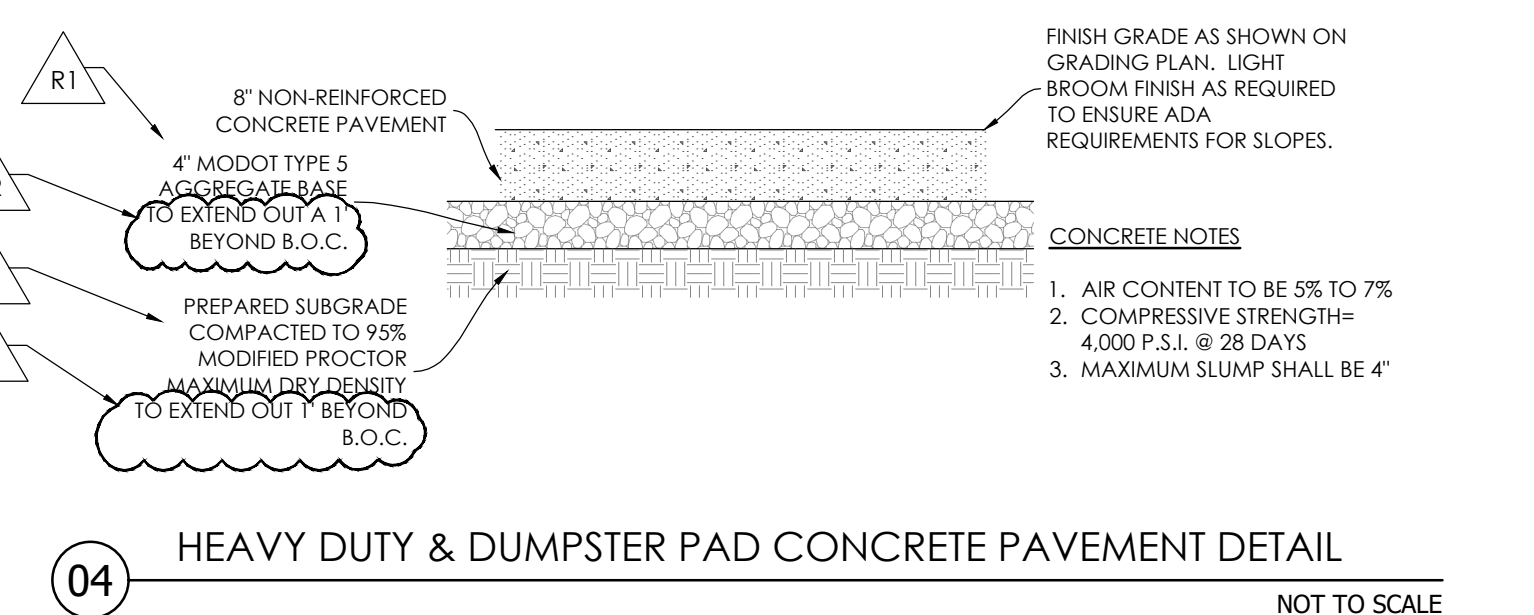
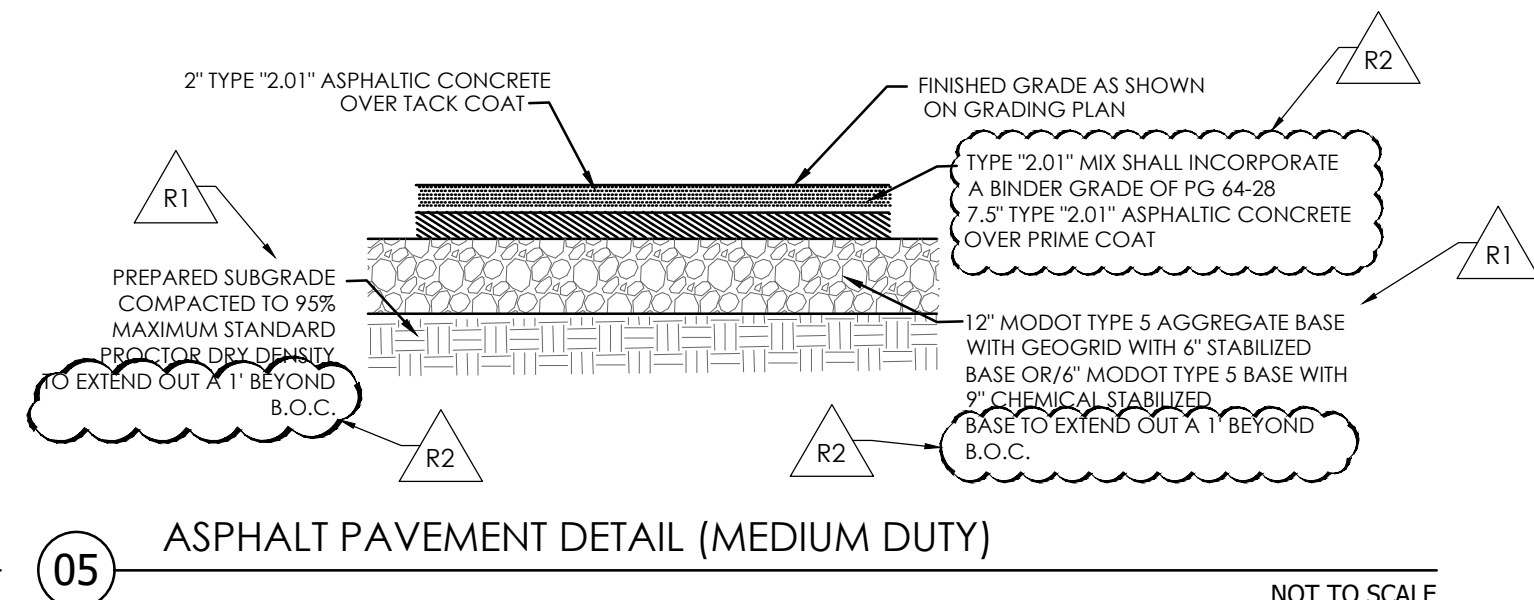
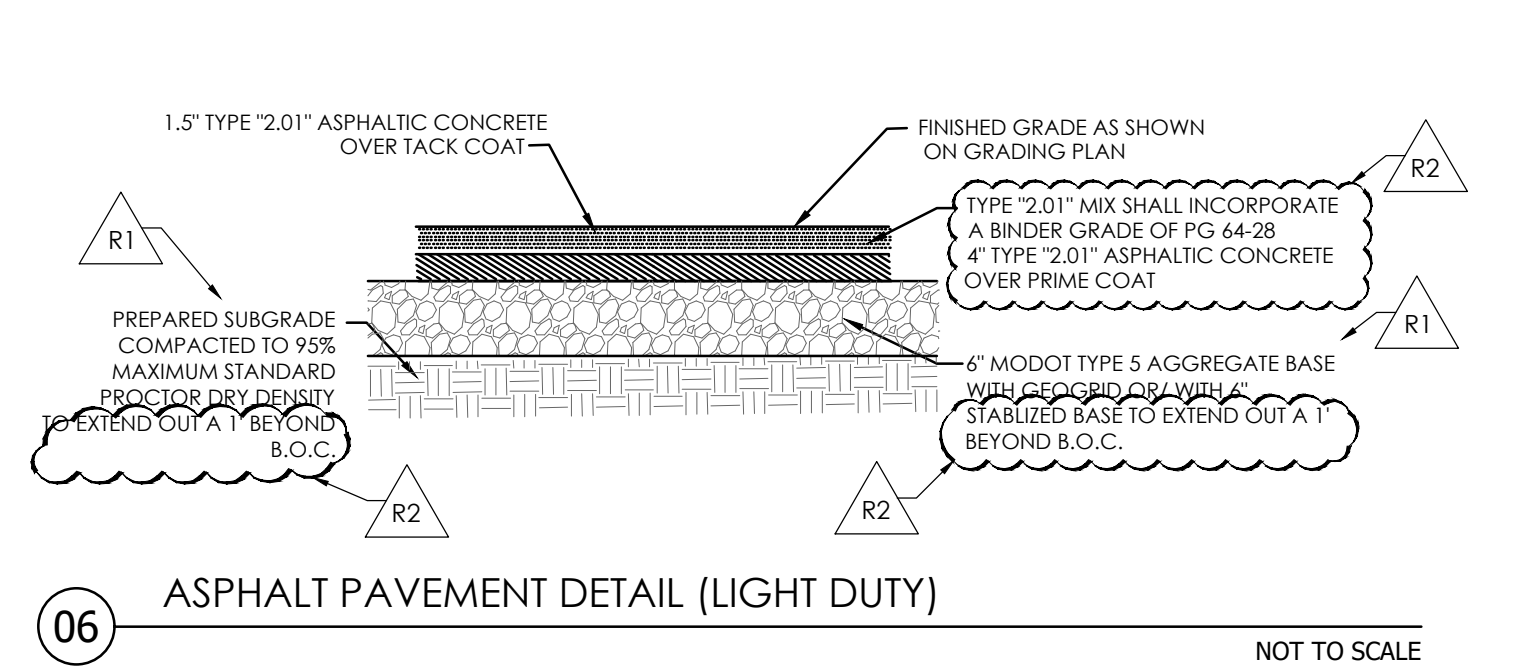
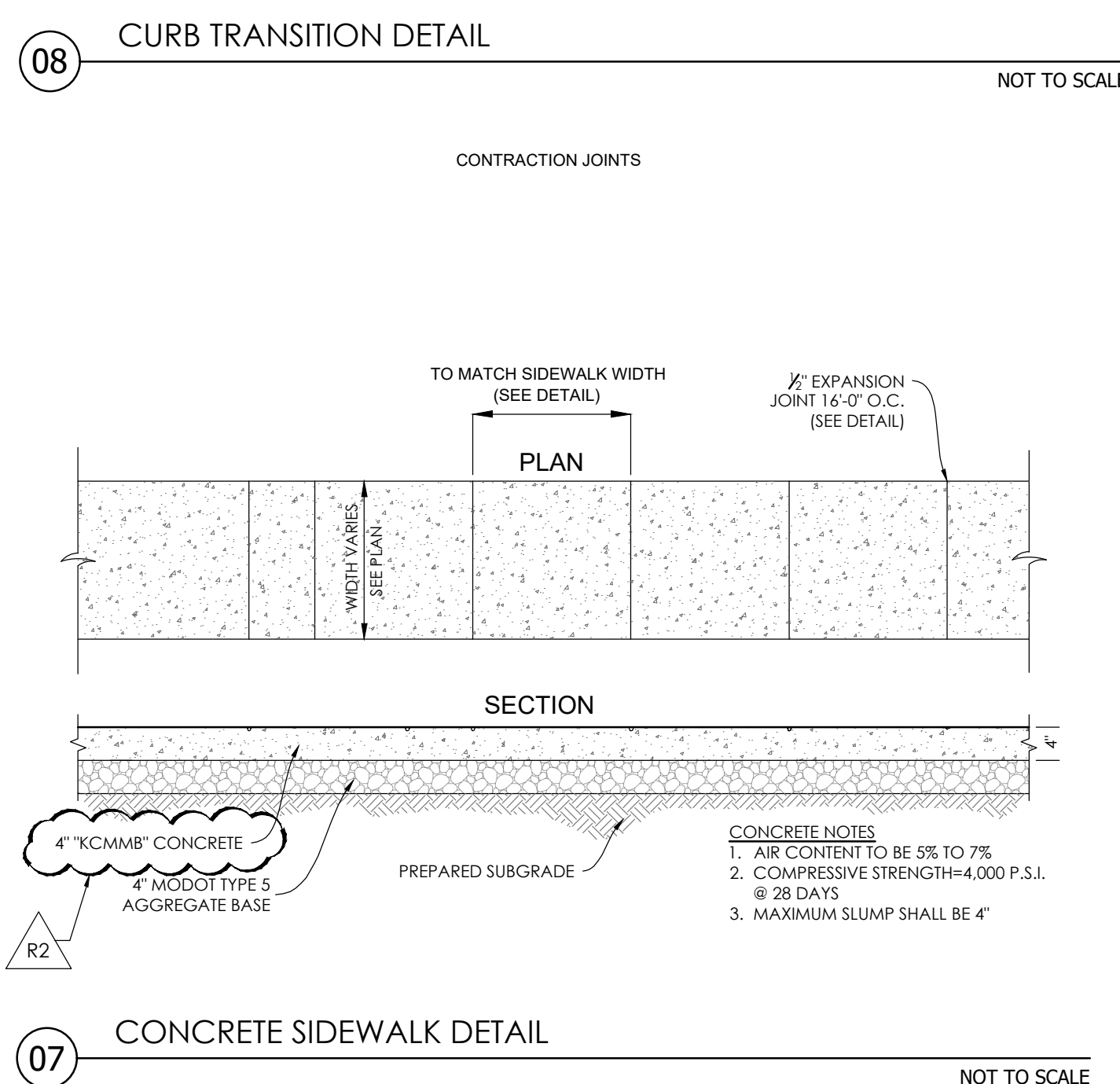
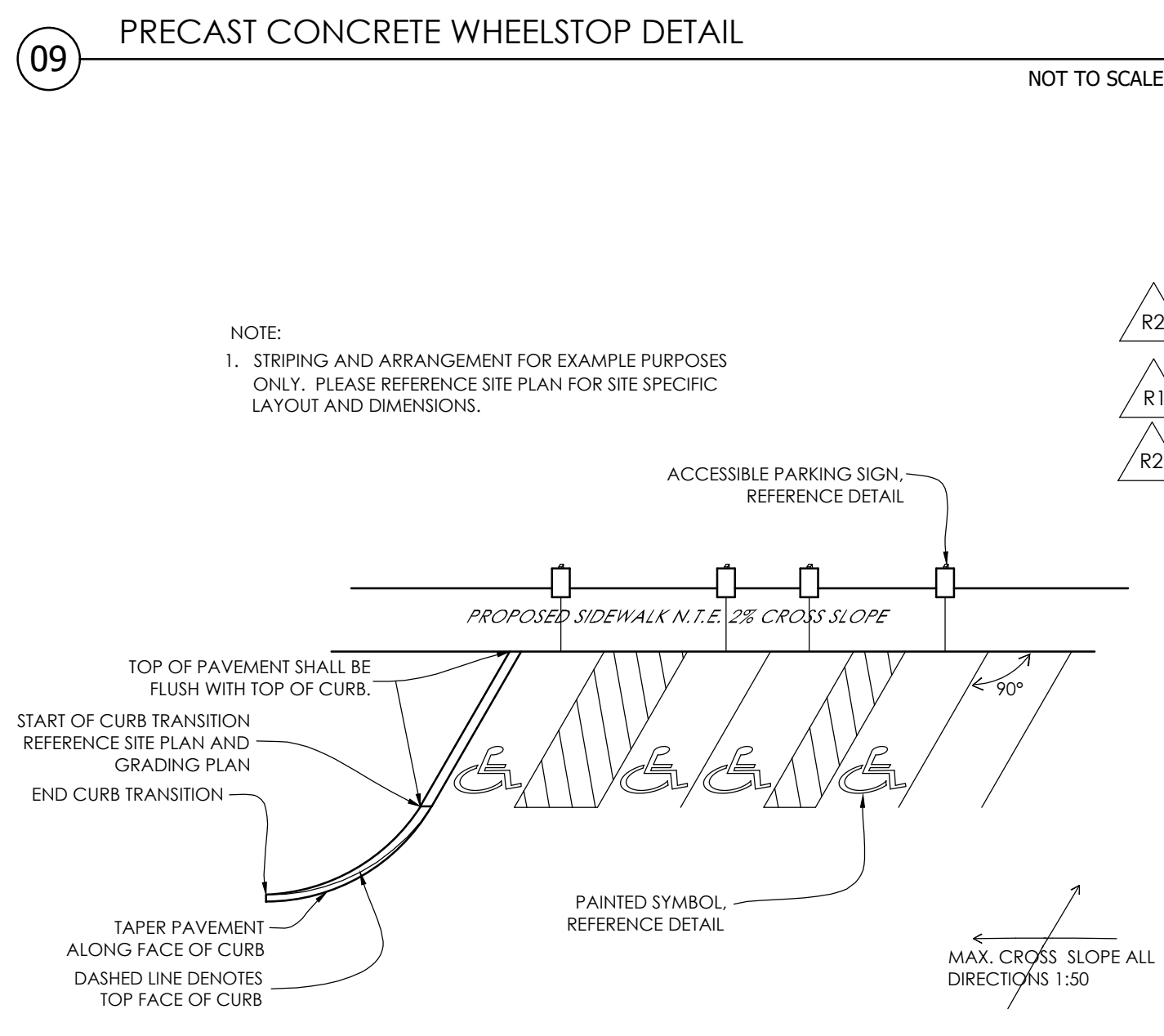
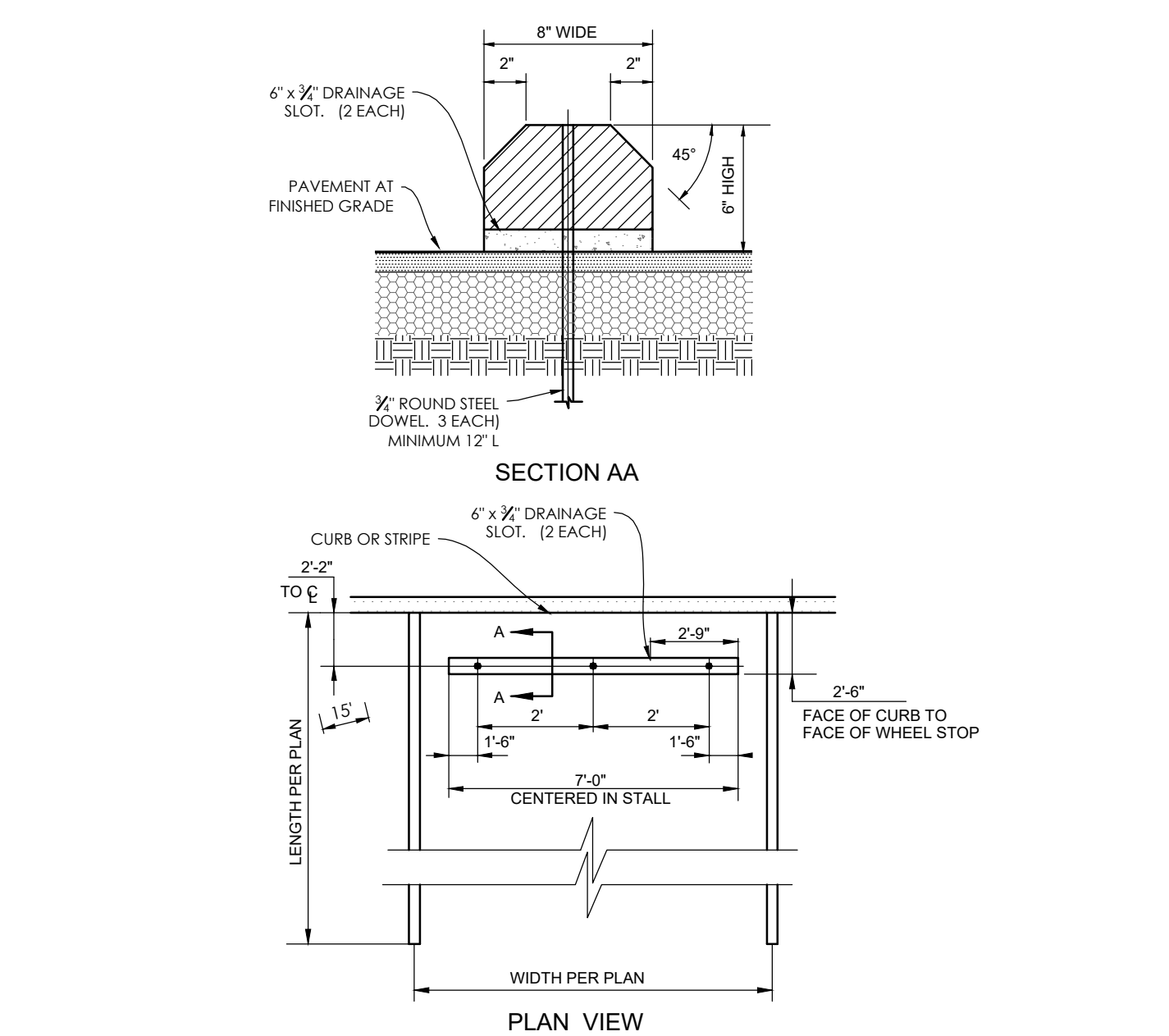
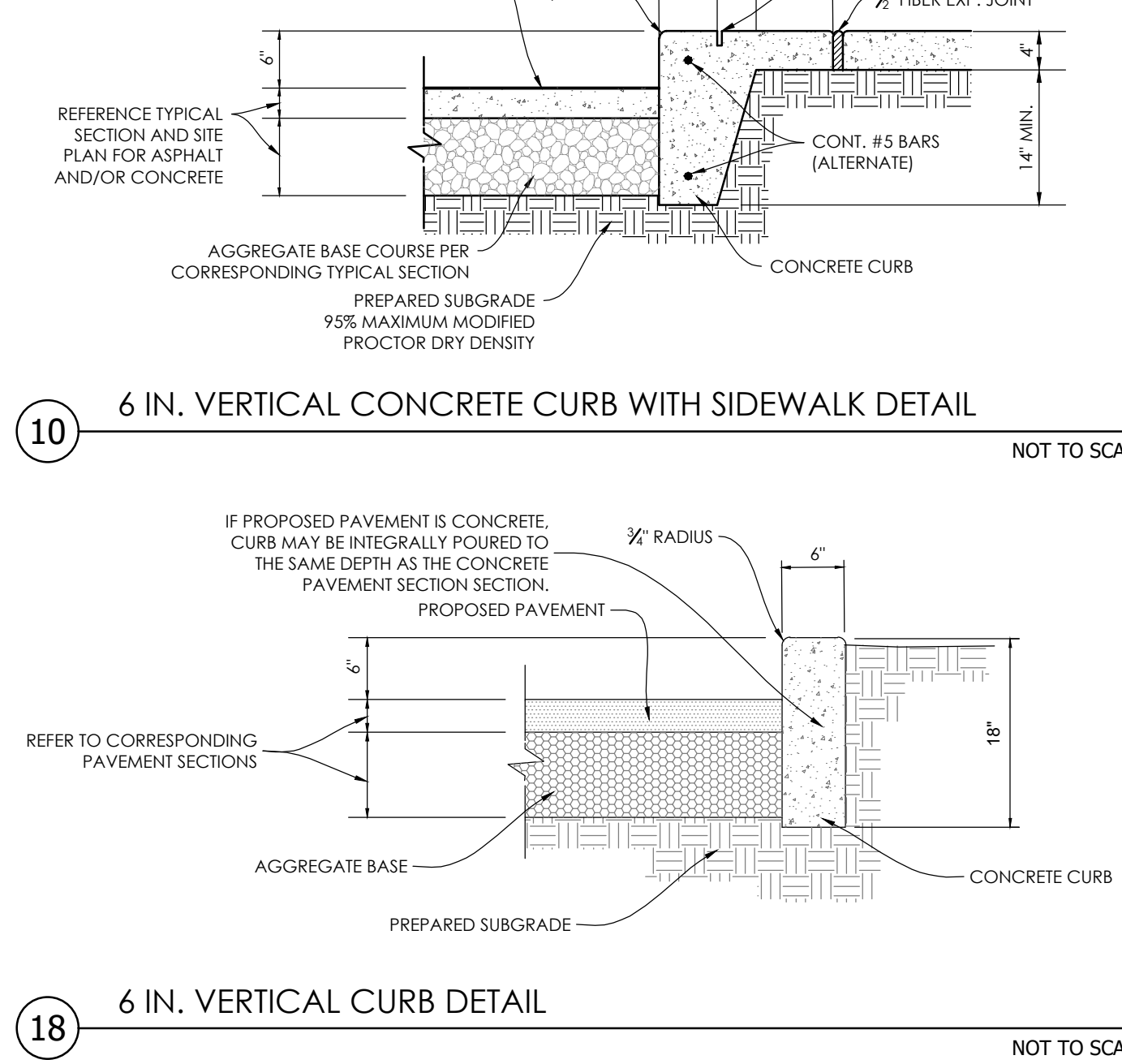
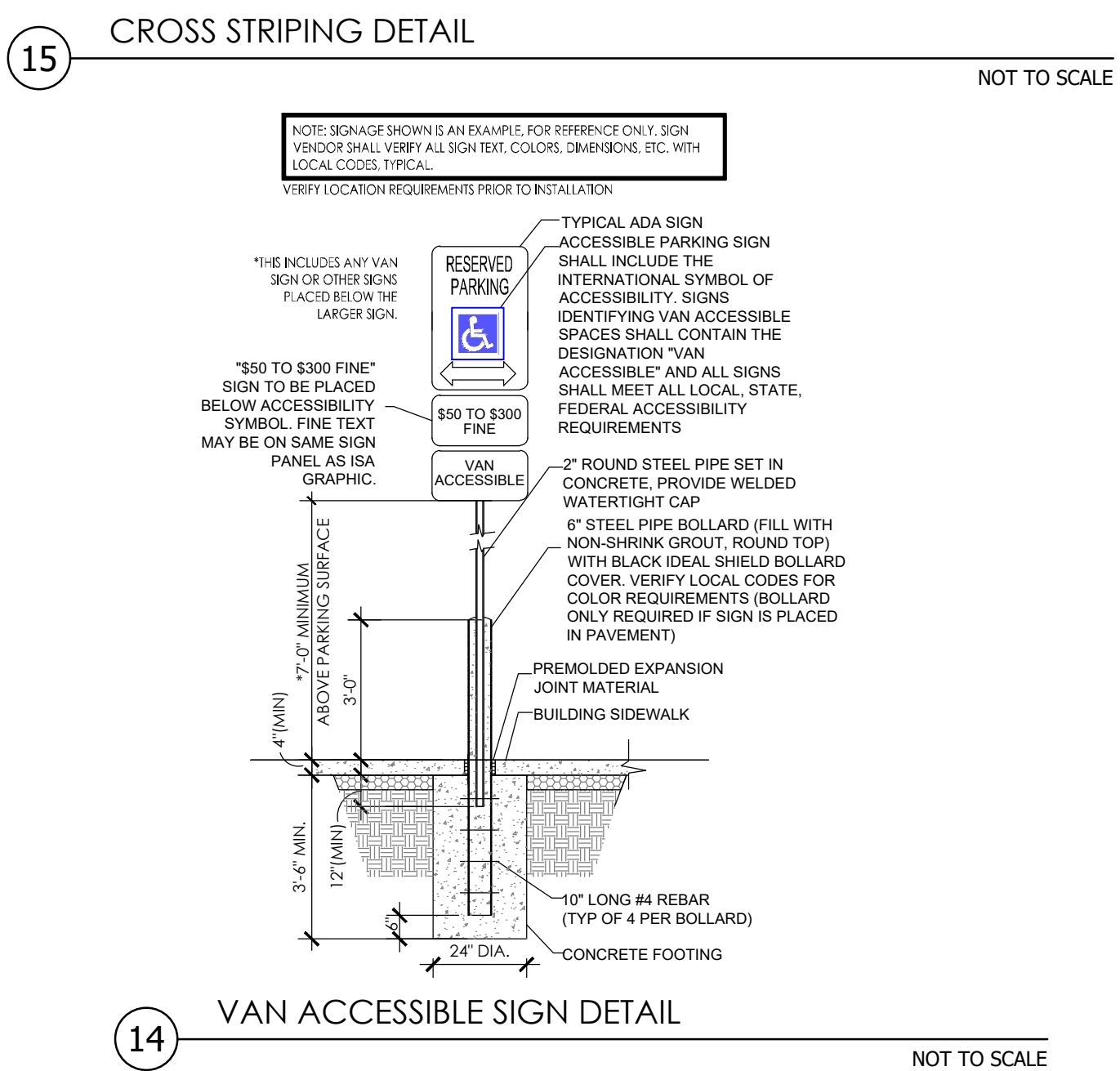
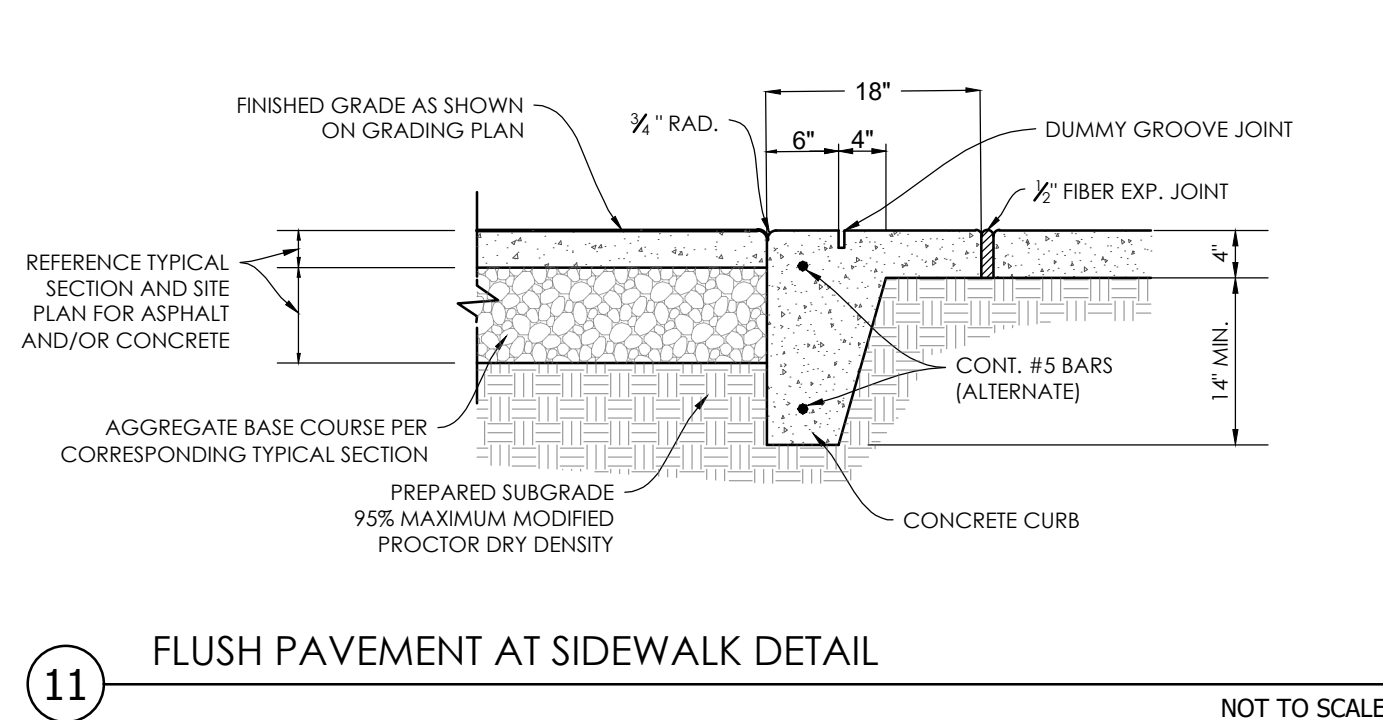
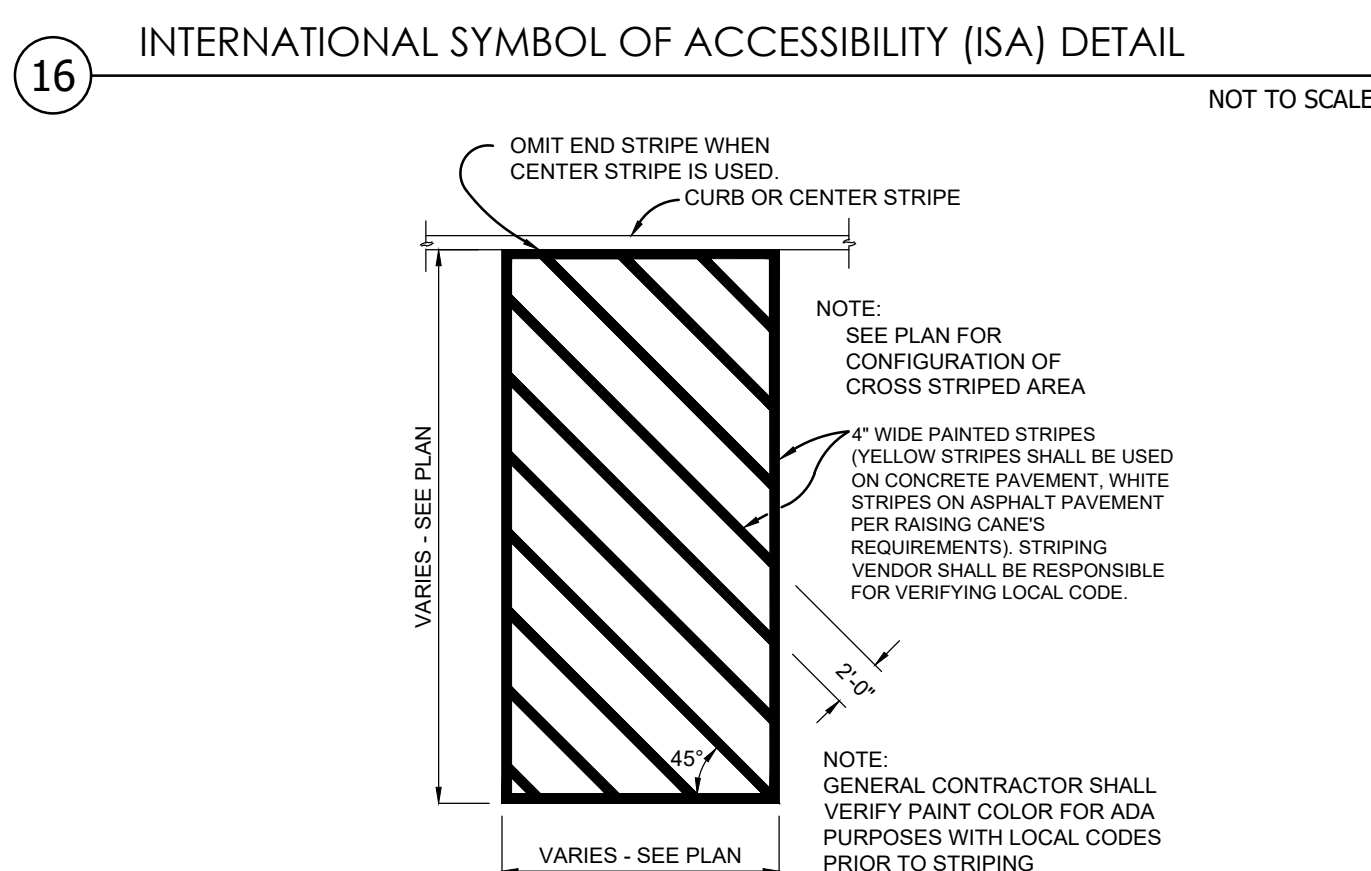
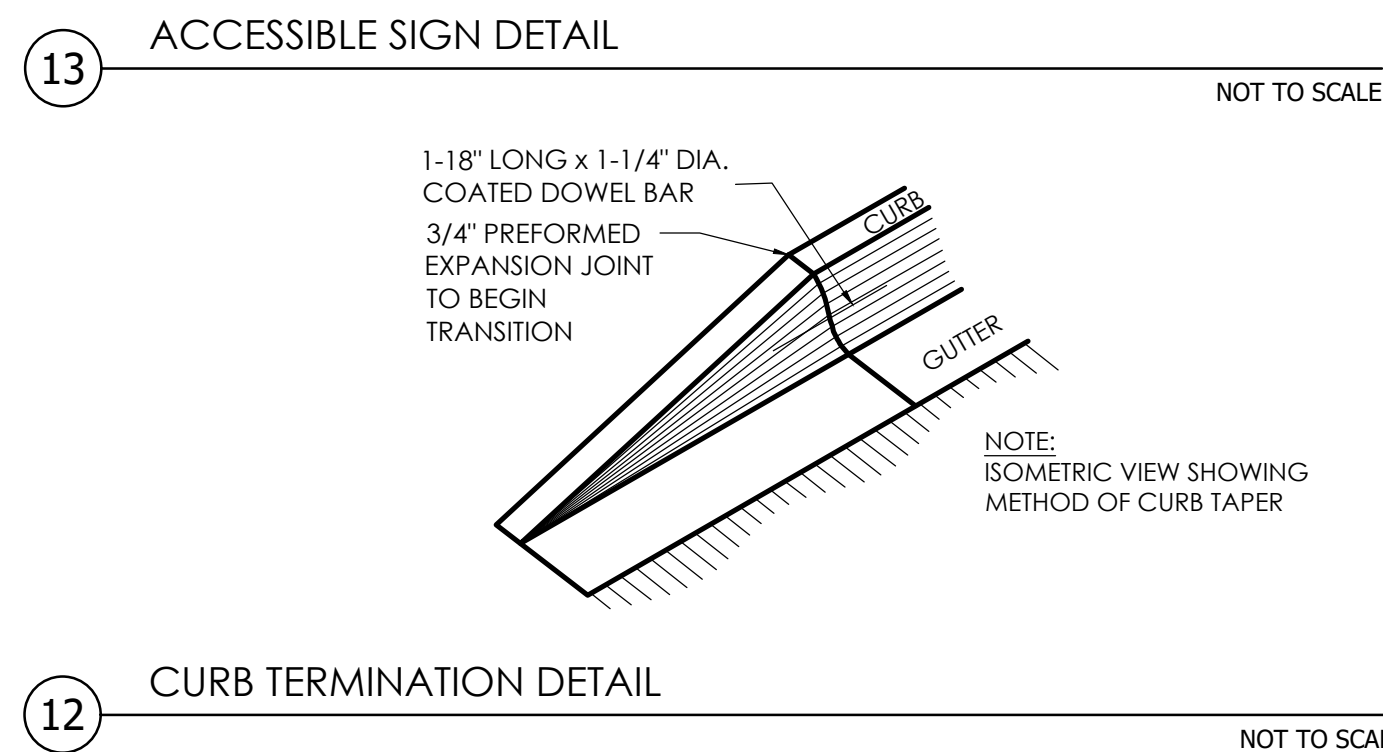
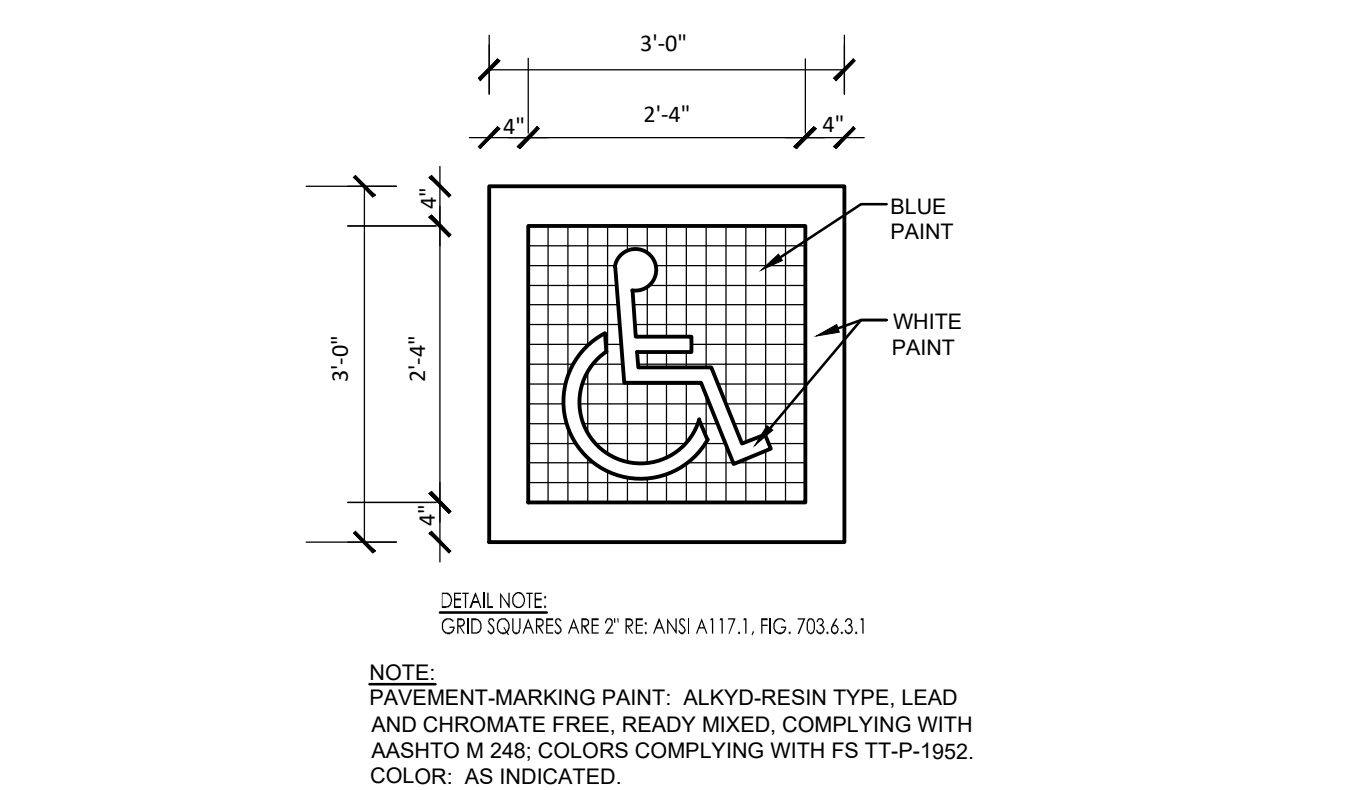
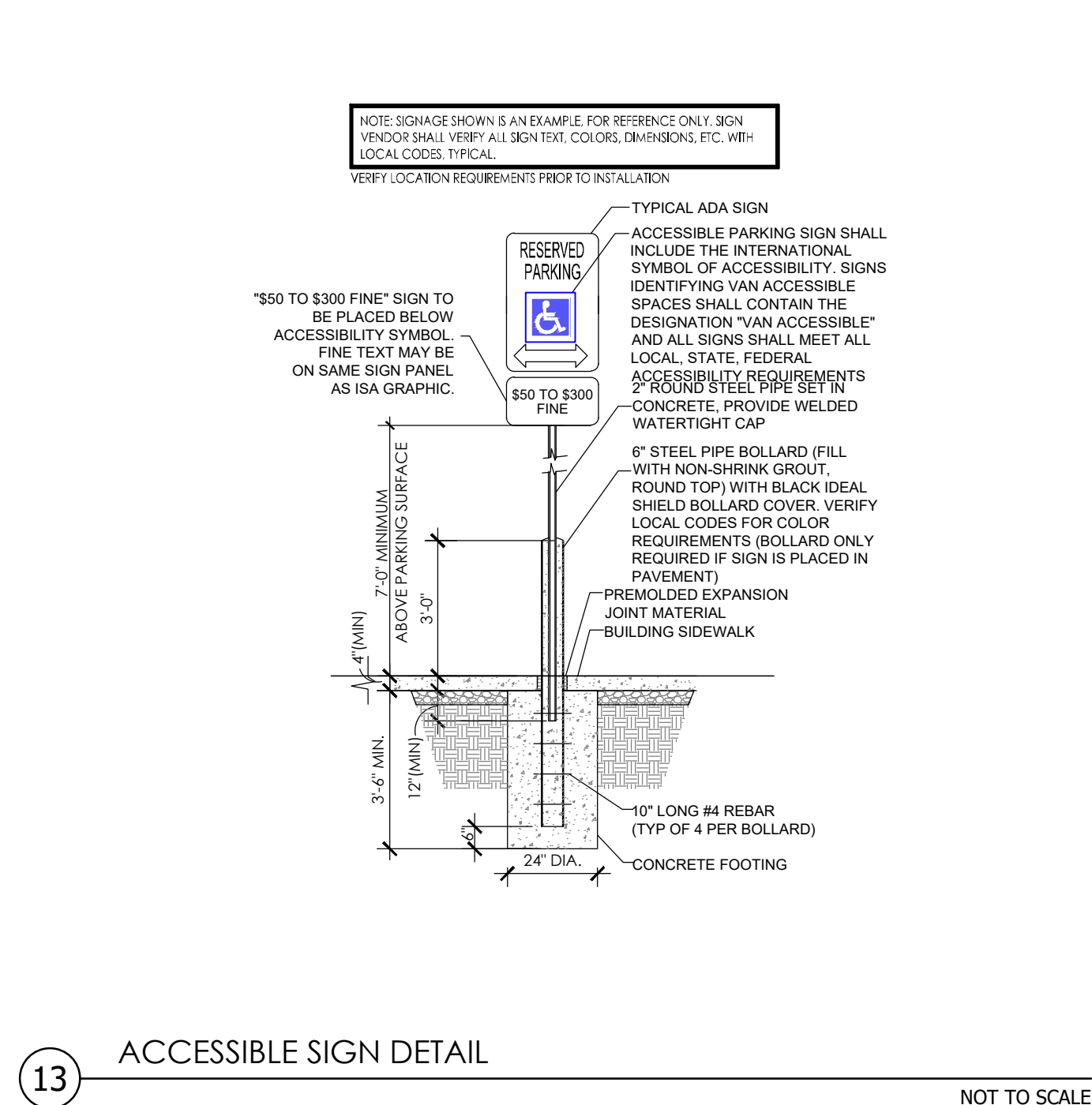
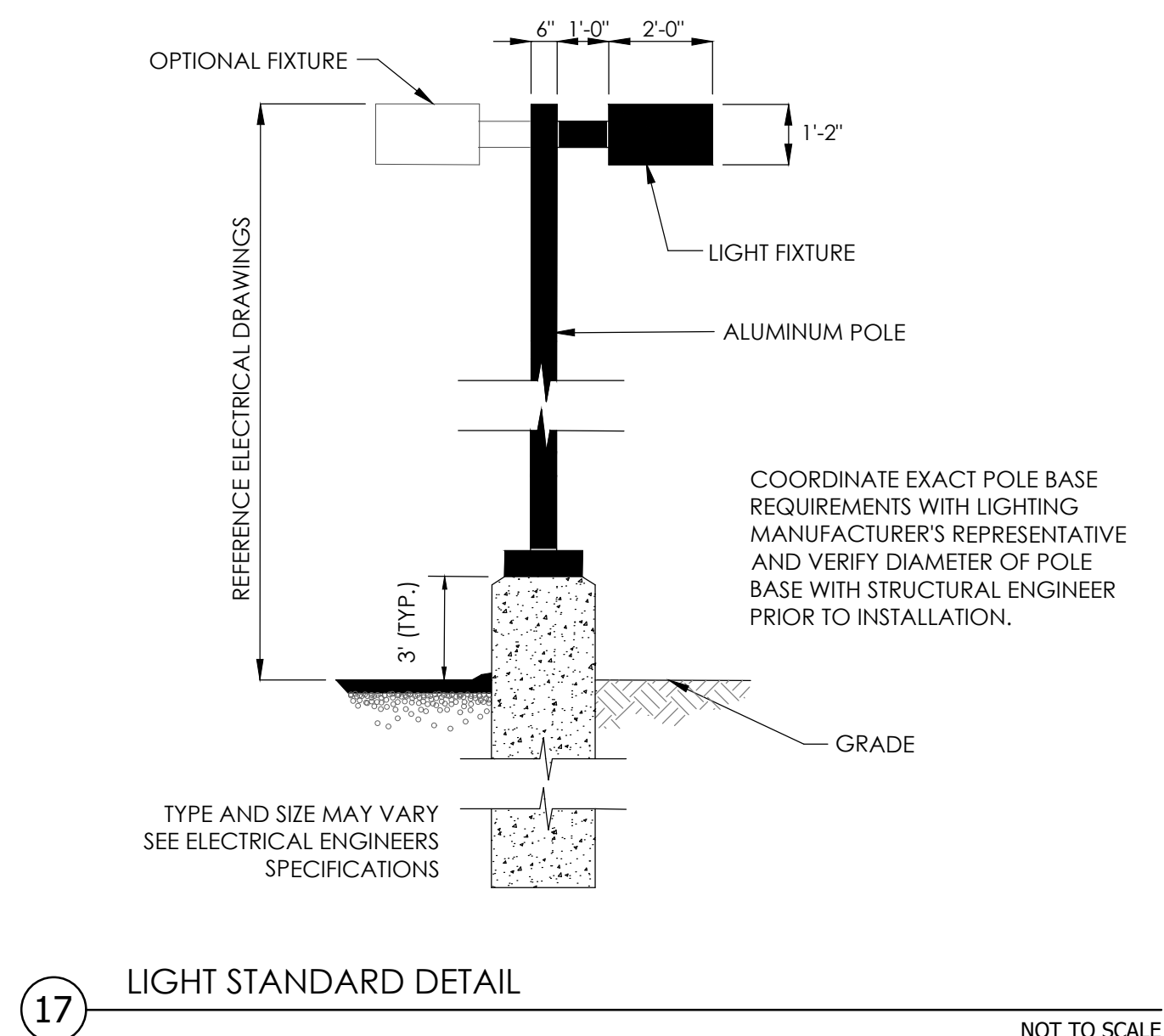
#	Revision Date	Description of Changes
1	3-10-2021	REVISED PER CITY COMMENTS

BASIN DETAILS

C-602

Project No.	2008920
Drawn By	Z. KUNTZ/A. JONES
Checked By	M.FOGARTY

PERMIT SET



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STEVEN D. MARION P.E.
PROFESSIONAL ENGINEER
PE 2006007195

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250 NW MCNARY CT.
LEE'S SUMMIT, MO 64086
TIM CROWLEY
501 PENNSYLVANIA PARKWAY SUITE
INDIANAPOLIS, IN 46280

Project _____
Date 1-27-2021

[illegible]

Sheet Number

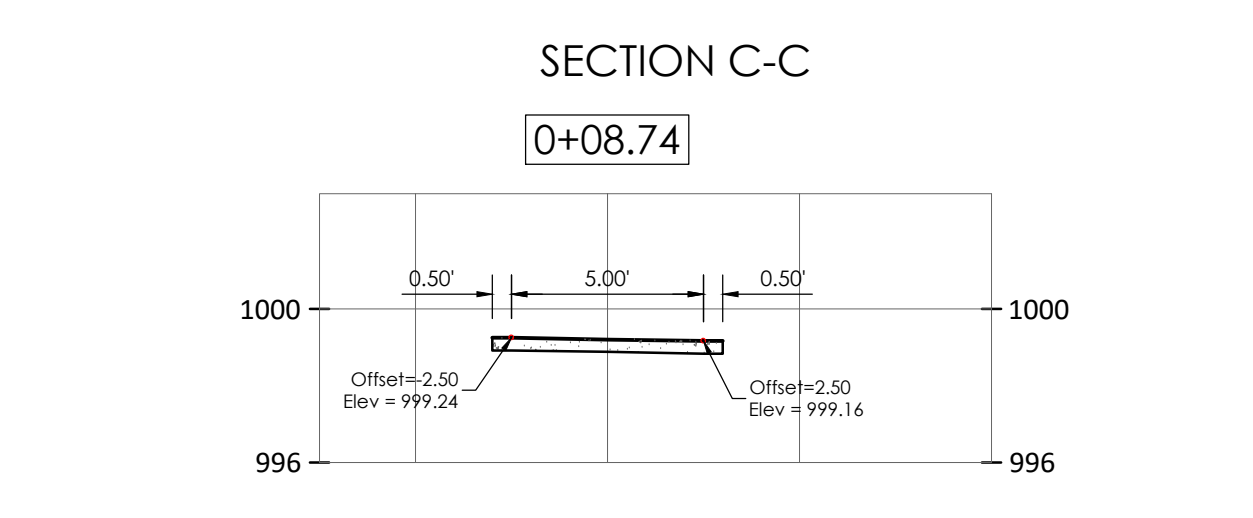
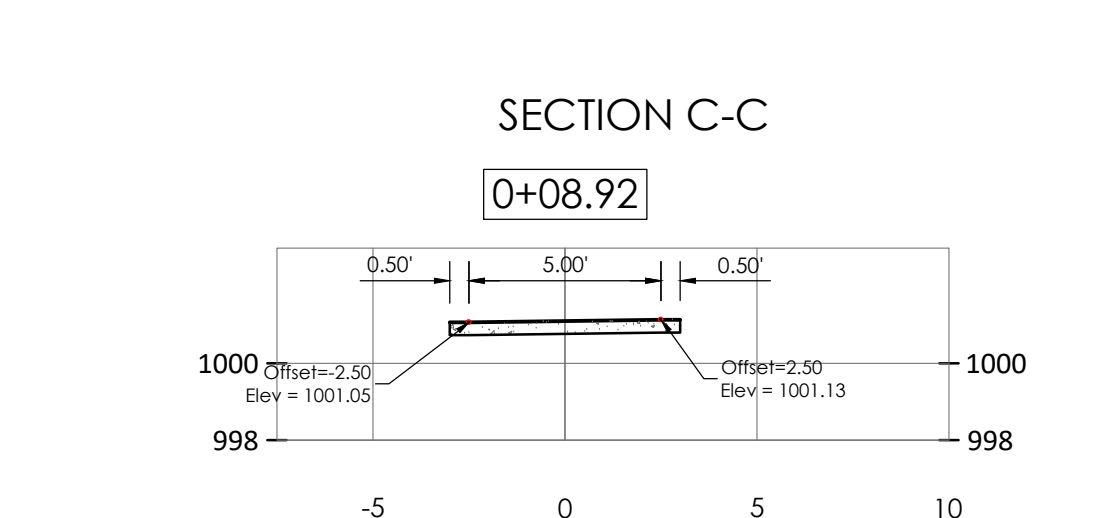
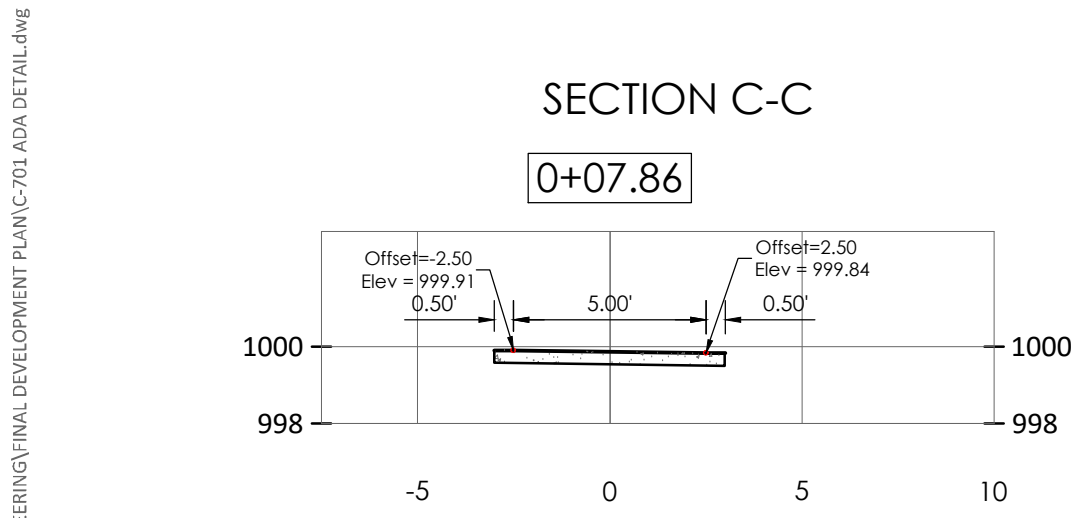
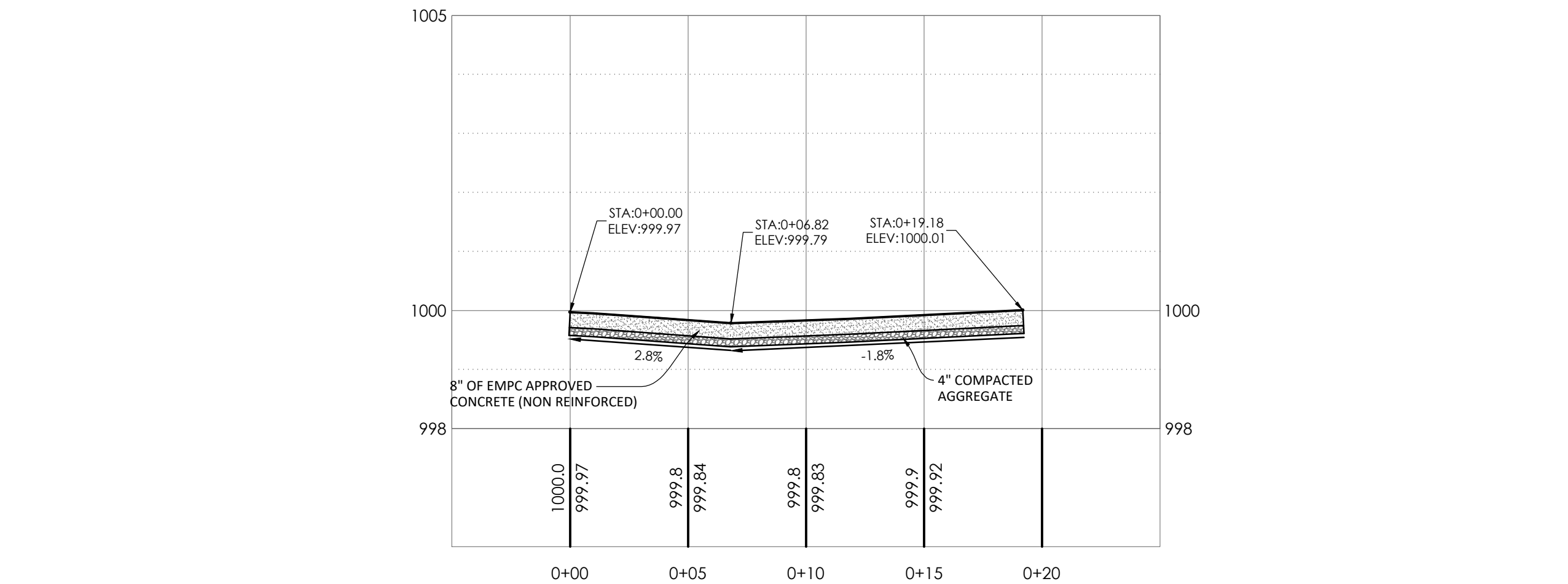
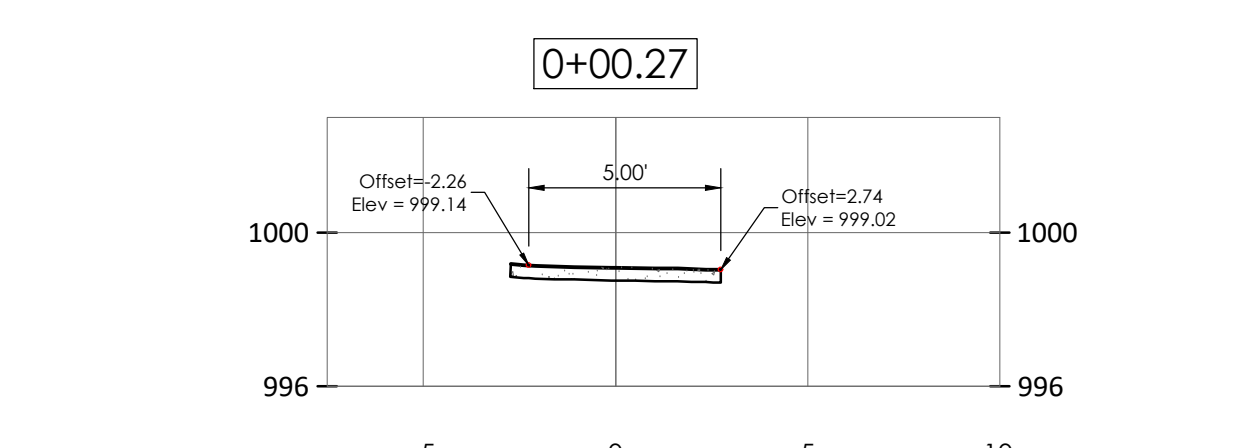
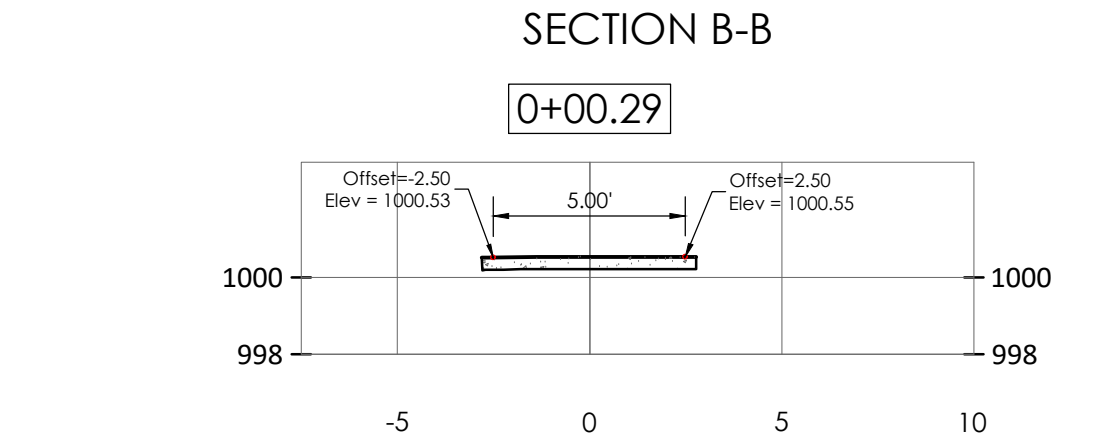
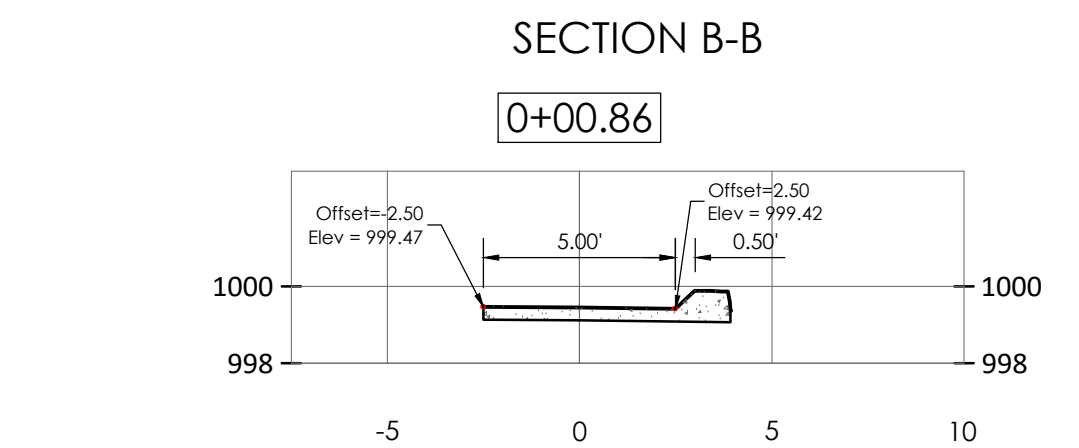
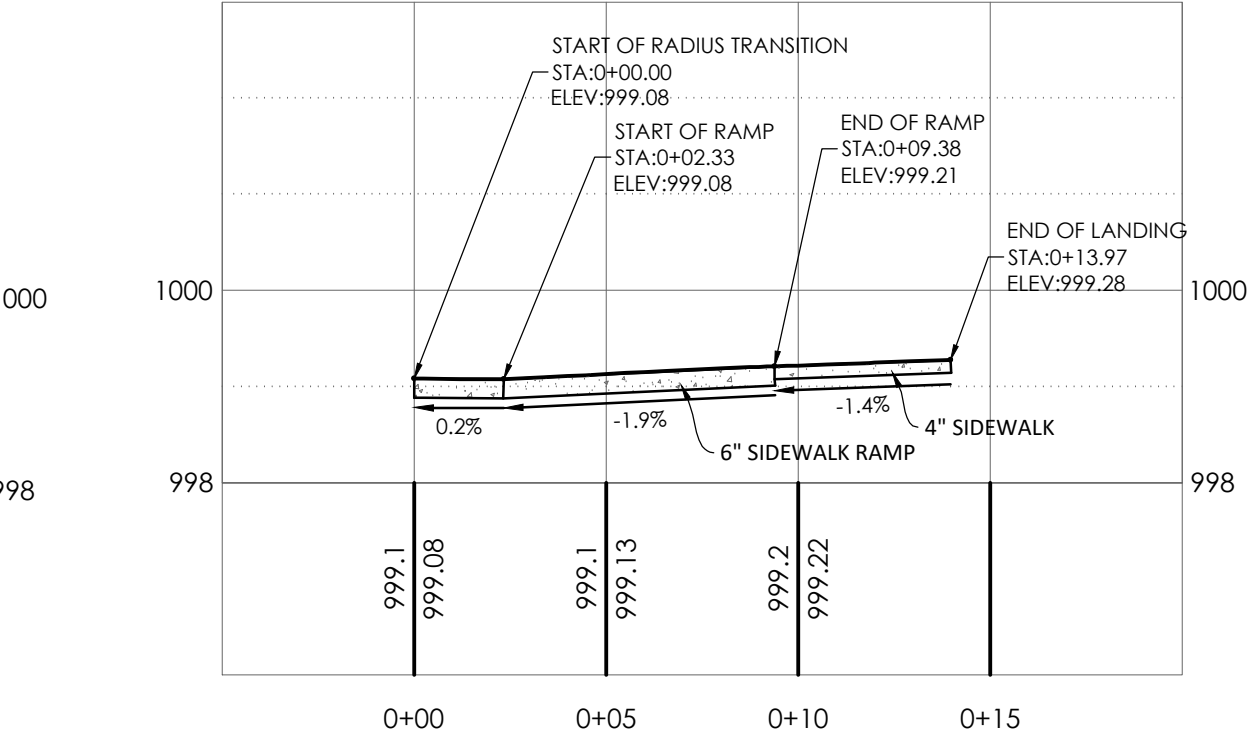
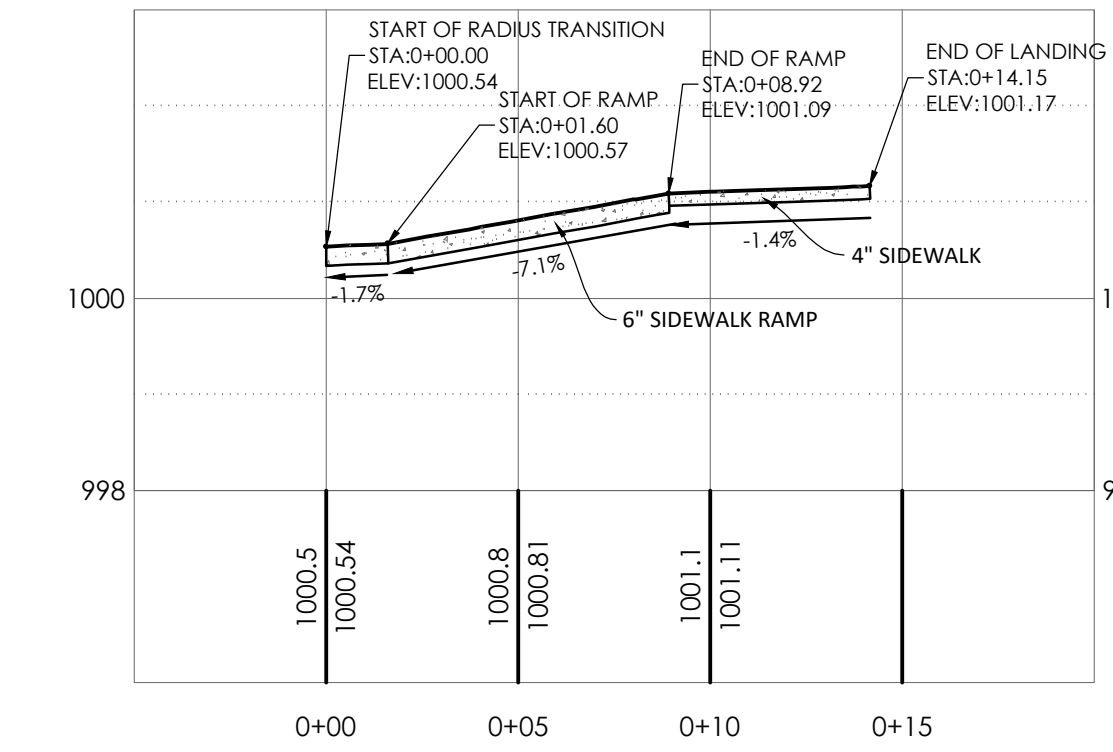
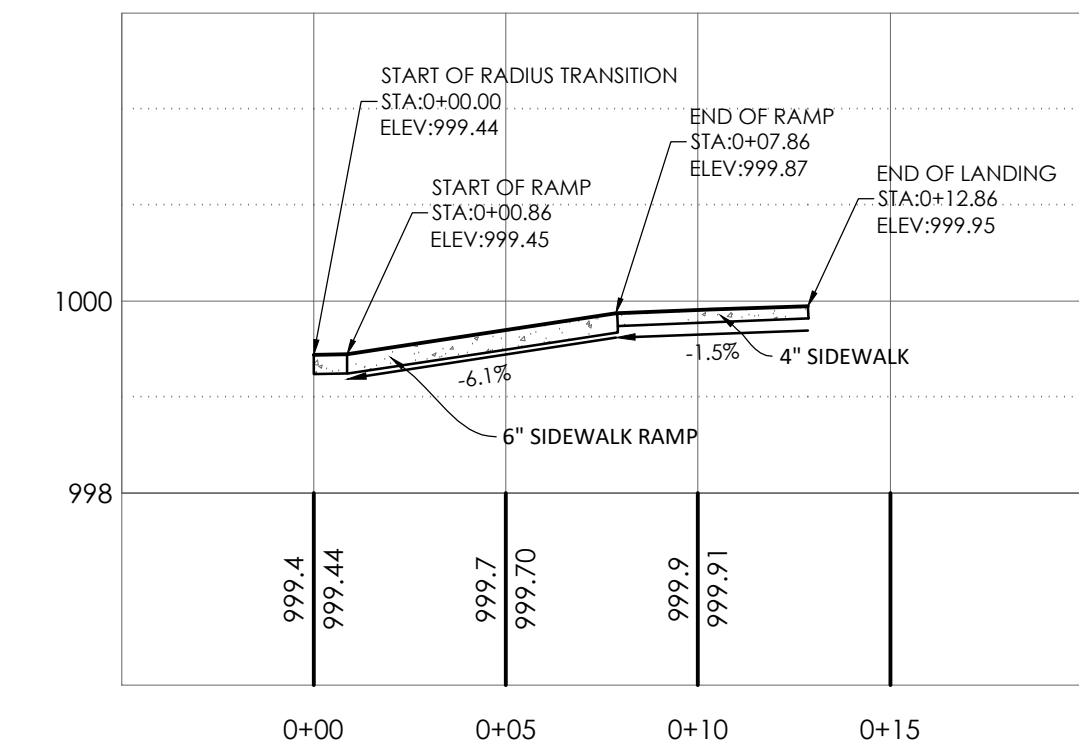
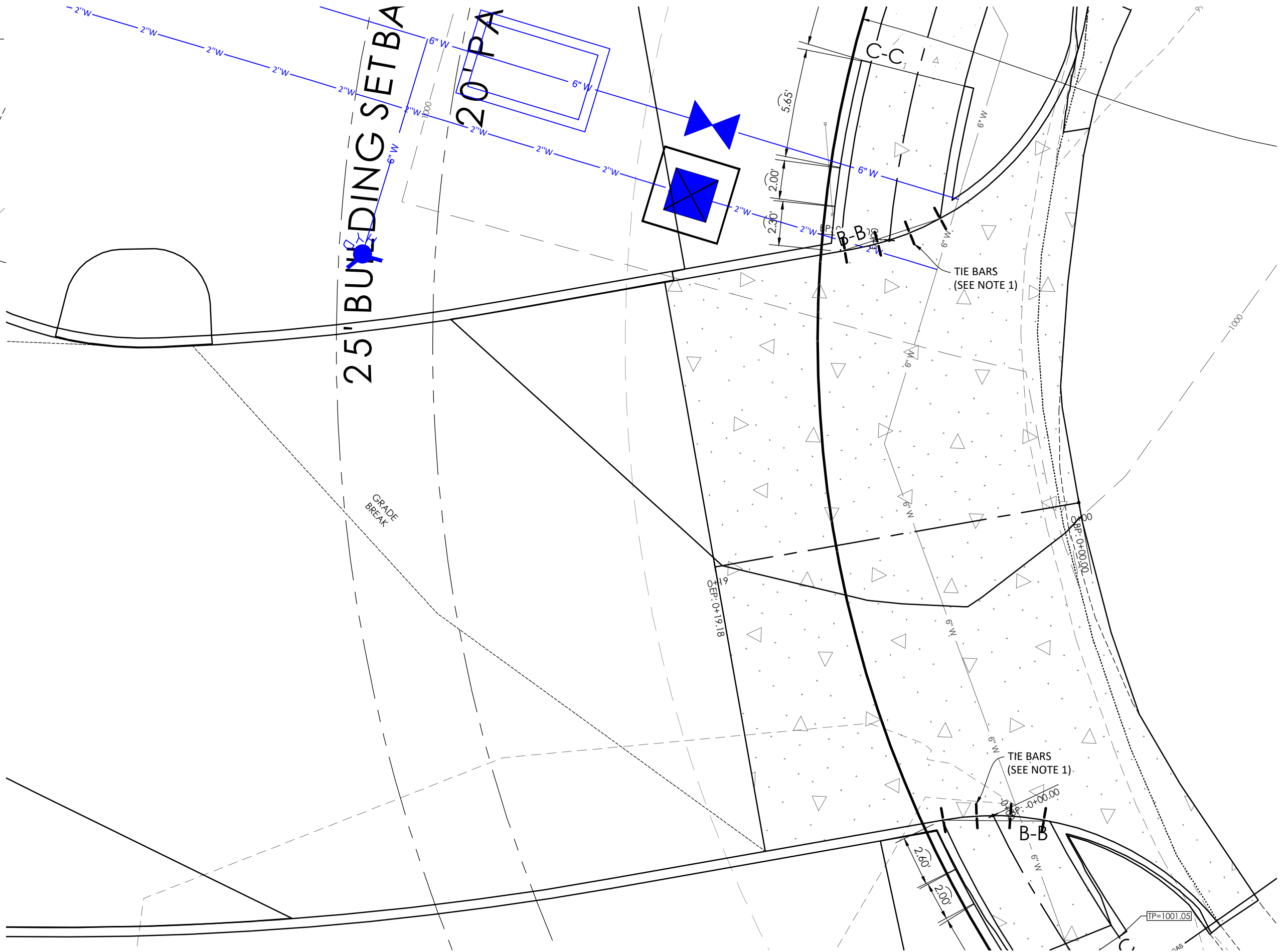
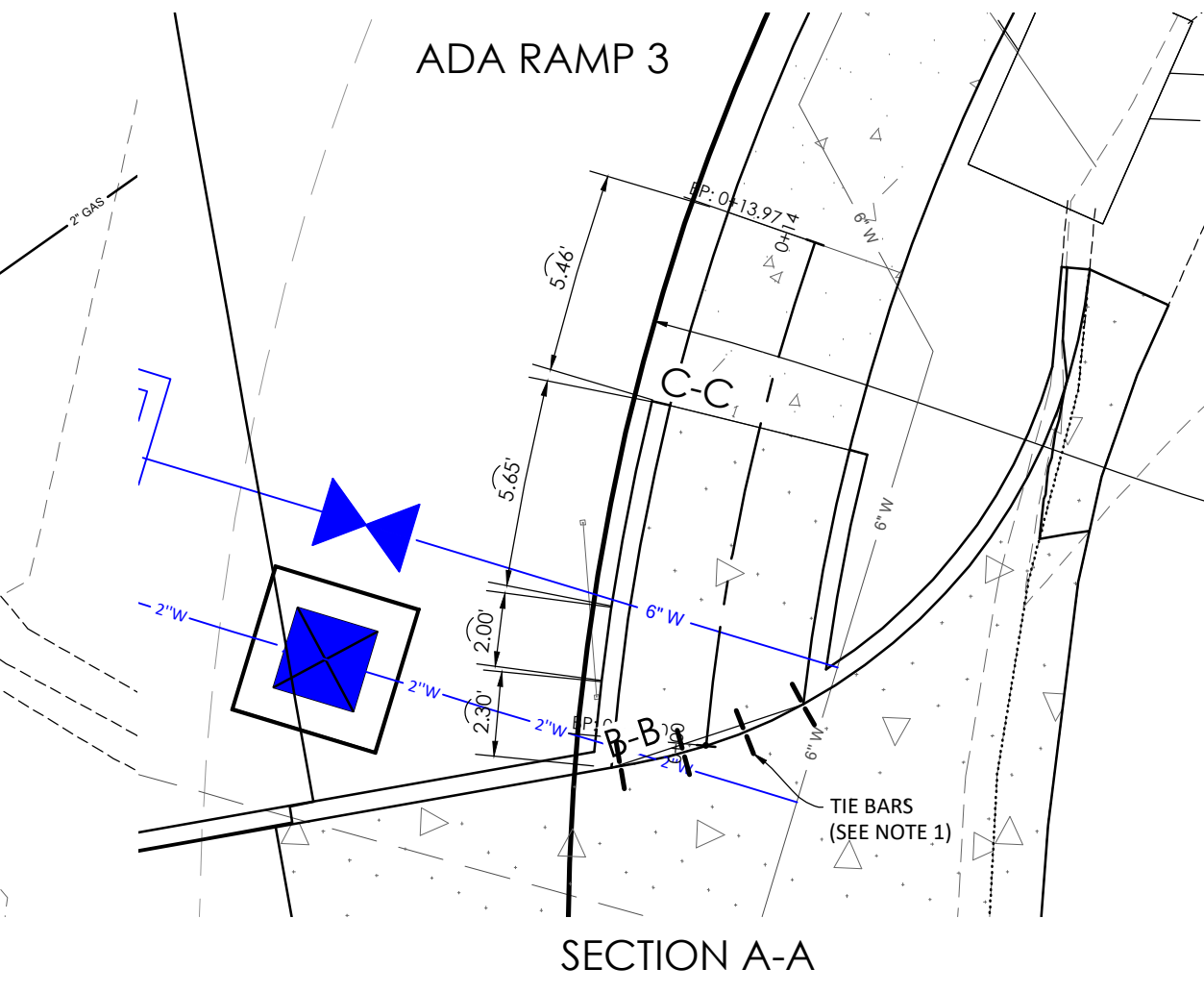
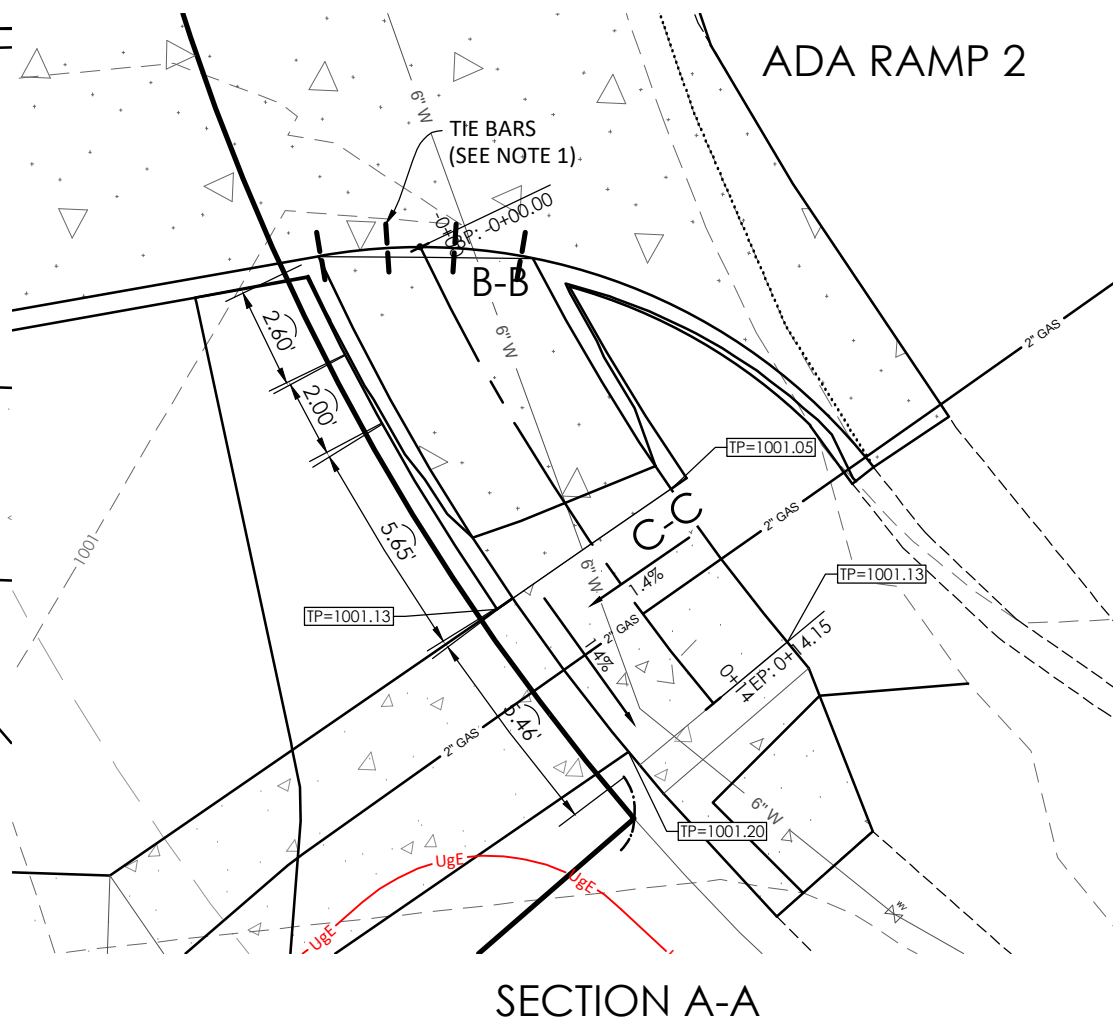
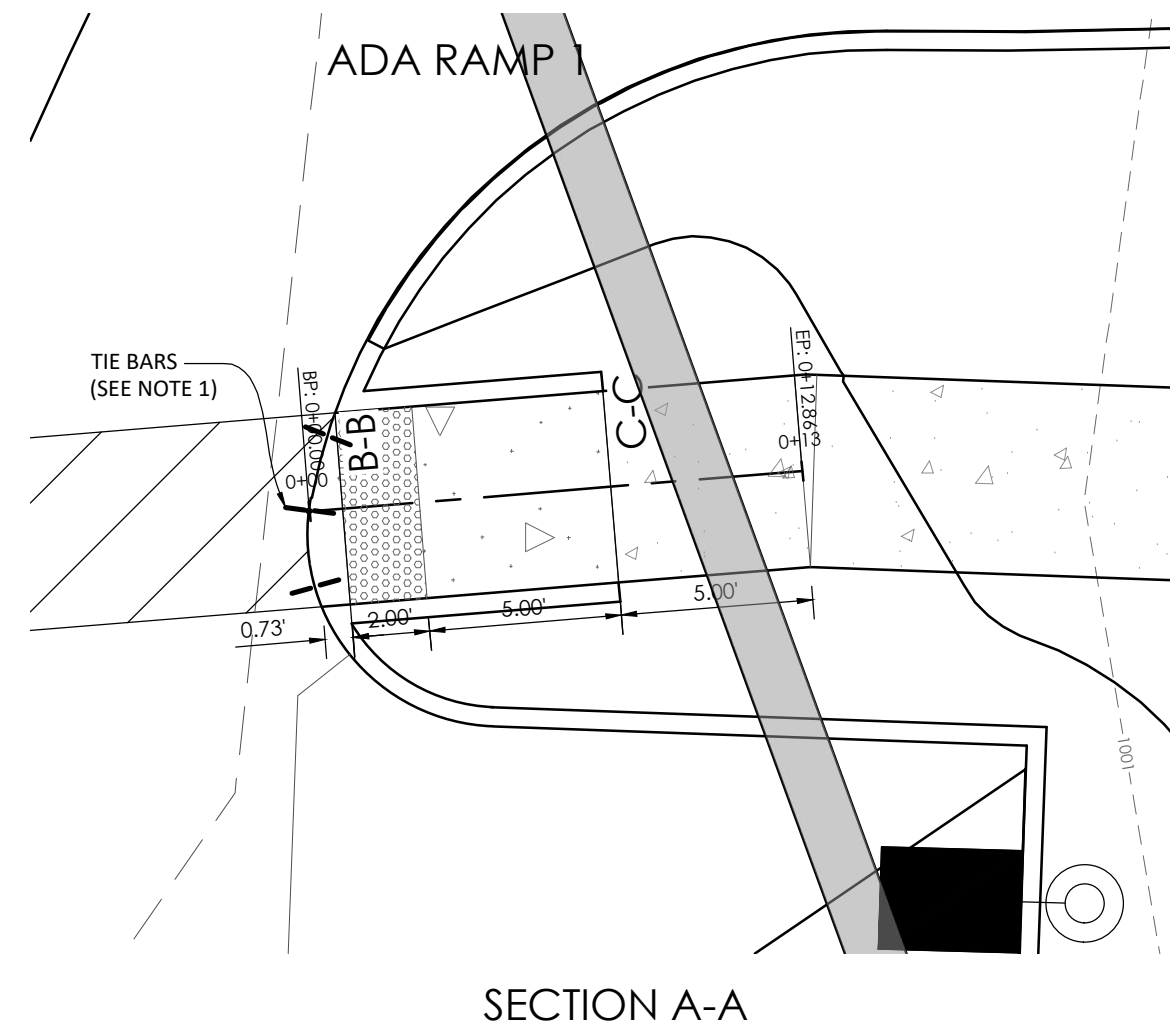
C-700

Project No. 2008920

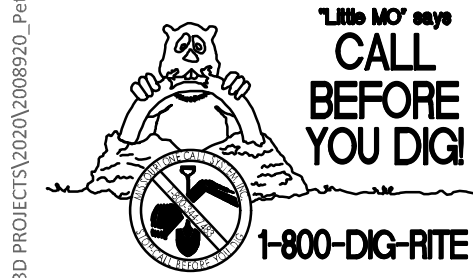
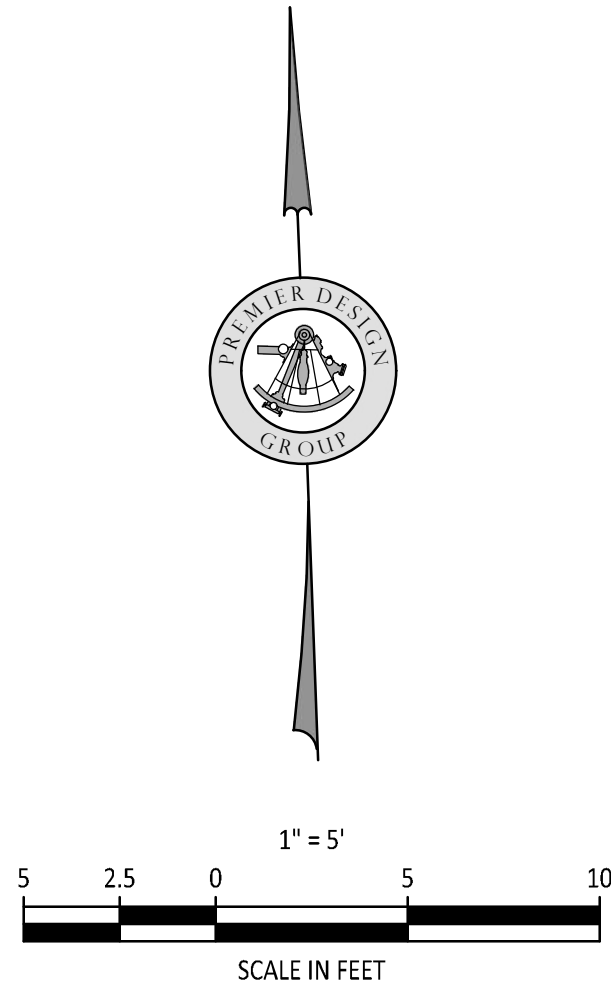
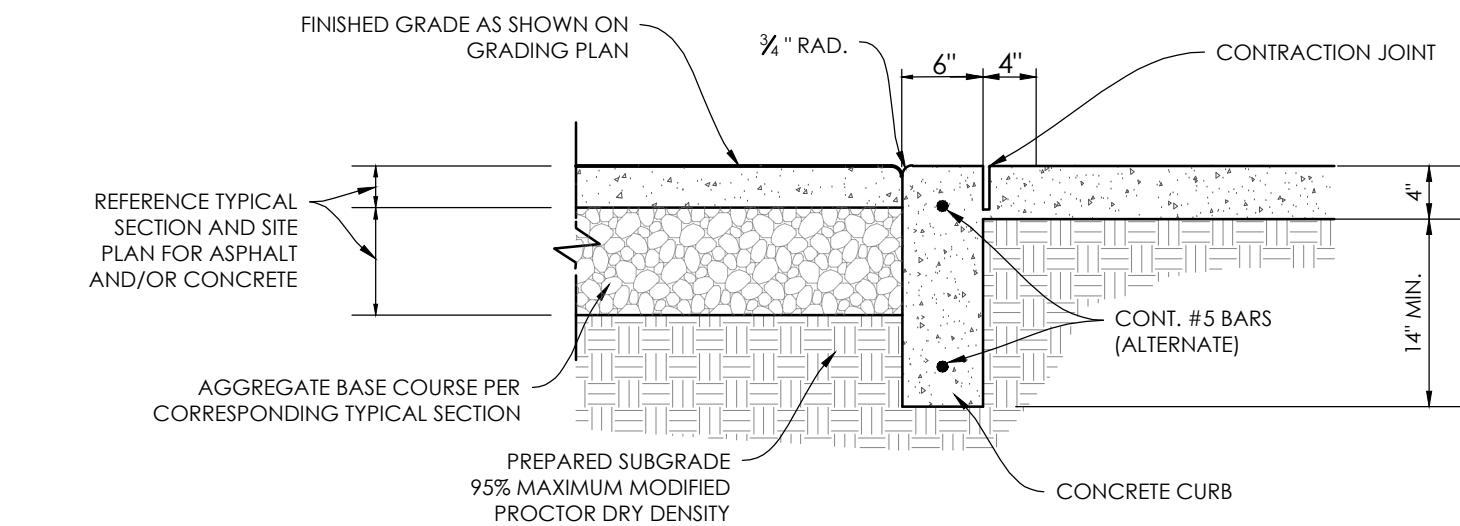
Drawn By Z. KUNTZ/A. JONES

Checked By M.FOGARTY

CONSTRUCTION DETAILS

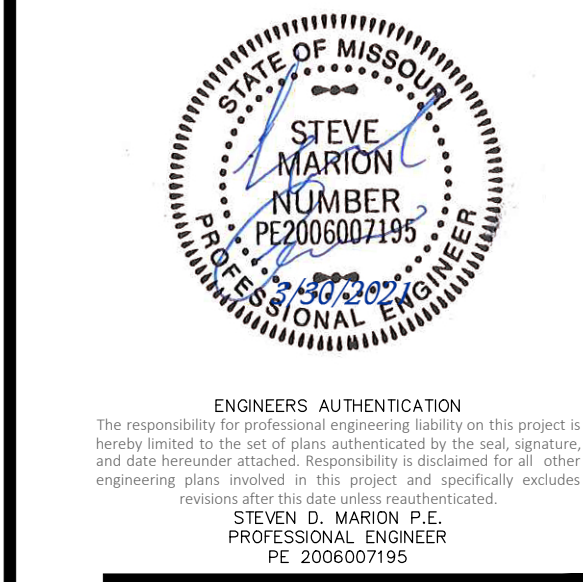
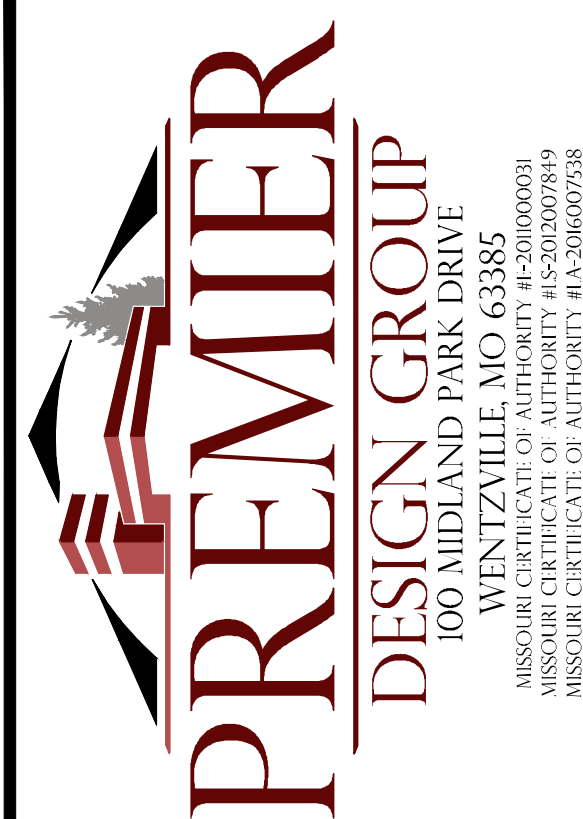


- SIDEWALK/SHARED-USE PATH & SIDEWALK/SHARED-USE RAMP NOTES:
- USE 18" LONG #4 EPOXY COATED TIE BARS @ 24" O.C. EMBED TIE BARS 9" IN EACH DIRECTION
 - ADA MAXIMUM RAMP SLOPE = 8.33%
 - ADA MAXIMUM CROSS SLOPE = 2.0%



UNDERGROUND UTILITIES AND OSHA SAFETY NOTE:

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250 NW MONARY CT.
LEE'S SUMMIT, MO 64086
TM CROWLEY
501 PENNSYLVANIA PARKWAY SUITE 160
INDIANAPOLIS, IN 46280

Project
Date 1-27-2021

Revision Date	Description of Changes
1 3-22-2021	REVISED PER CITY COMMENTS
1 3-22-2021	REVISED PER CITY COMMENTS

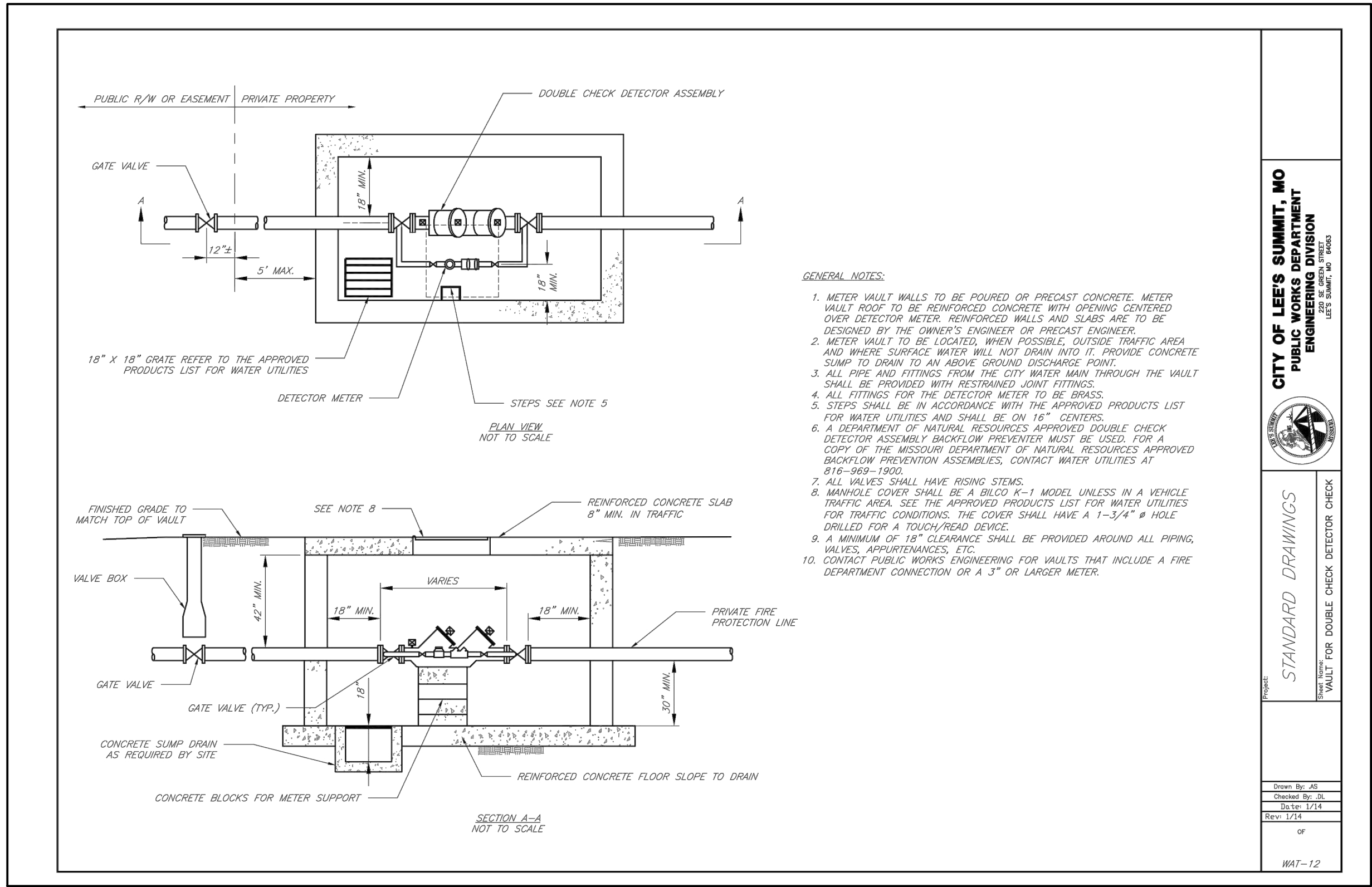
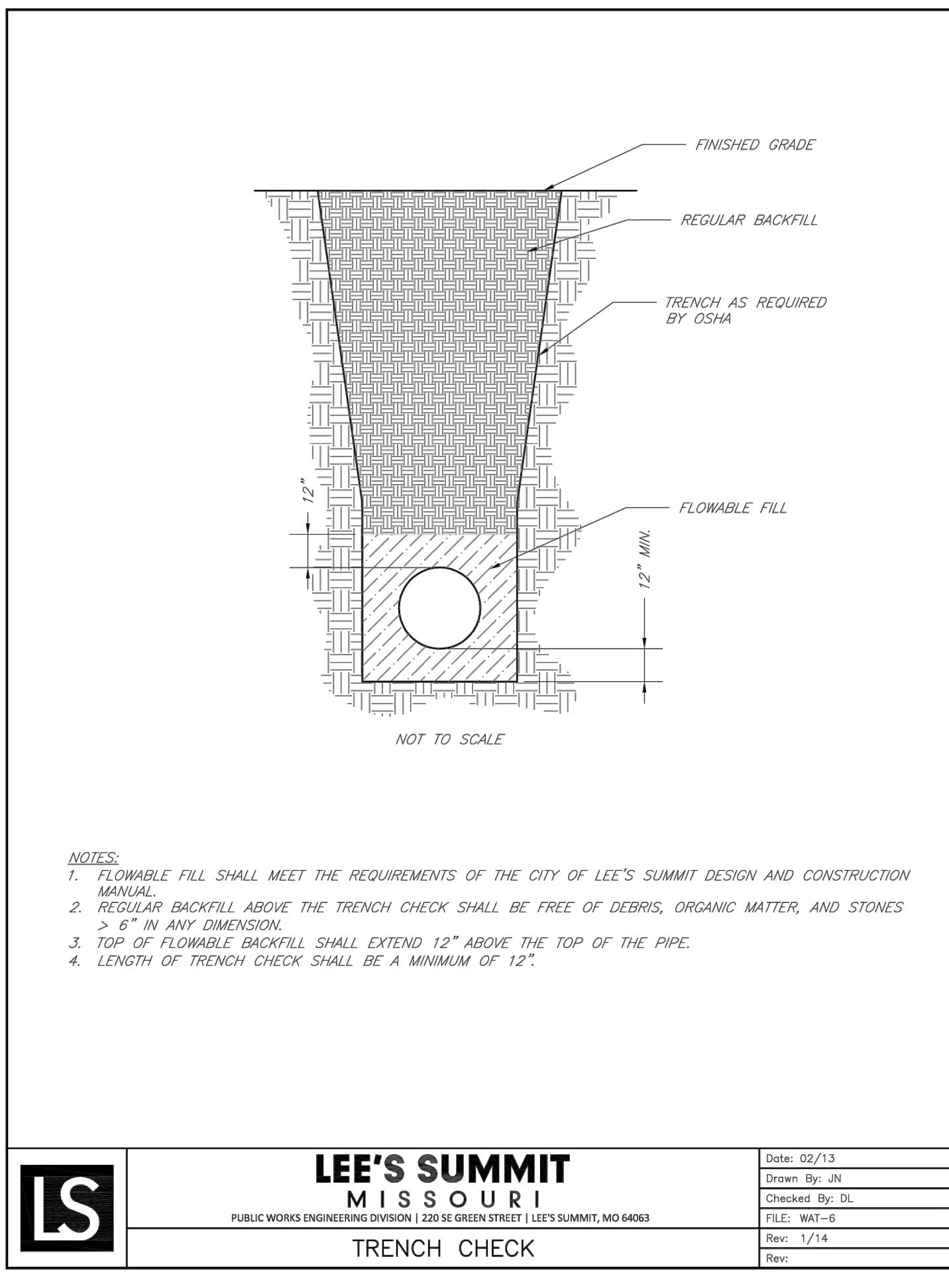
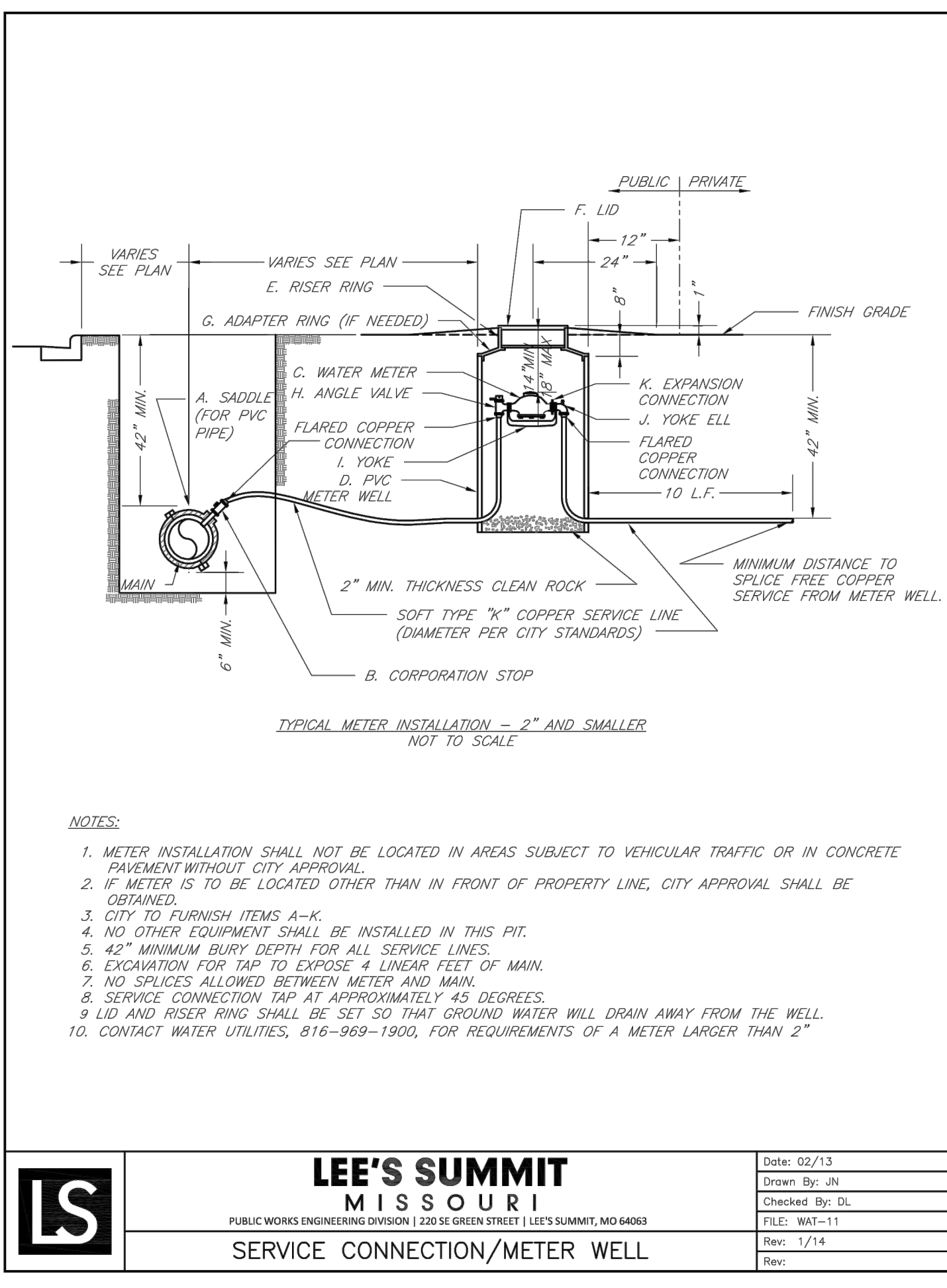
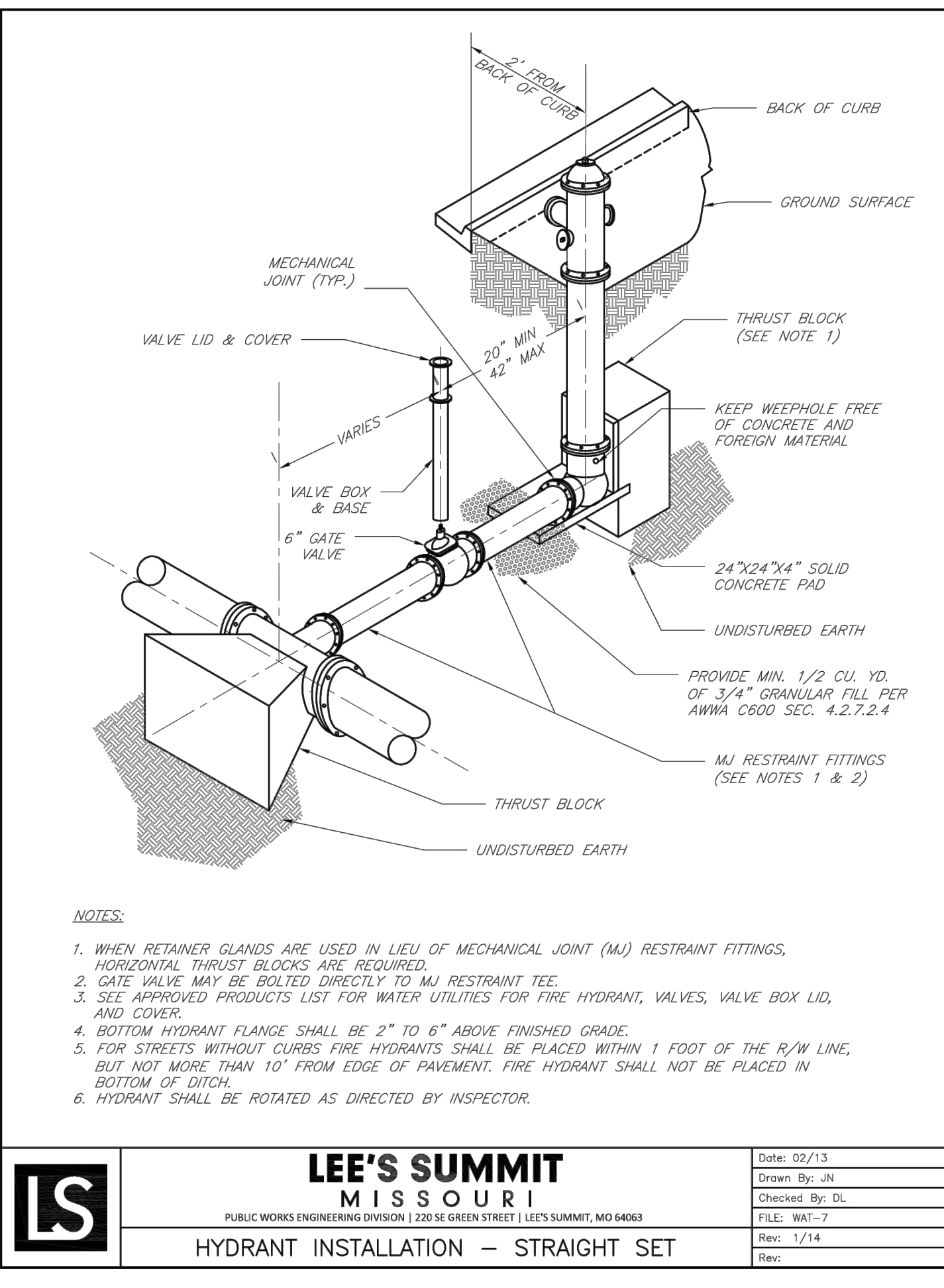
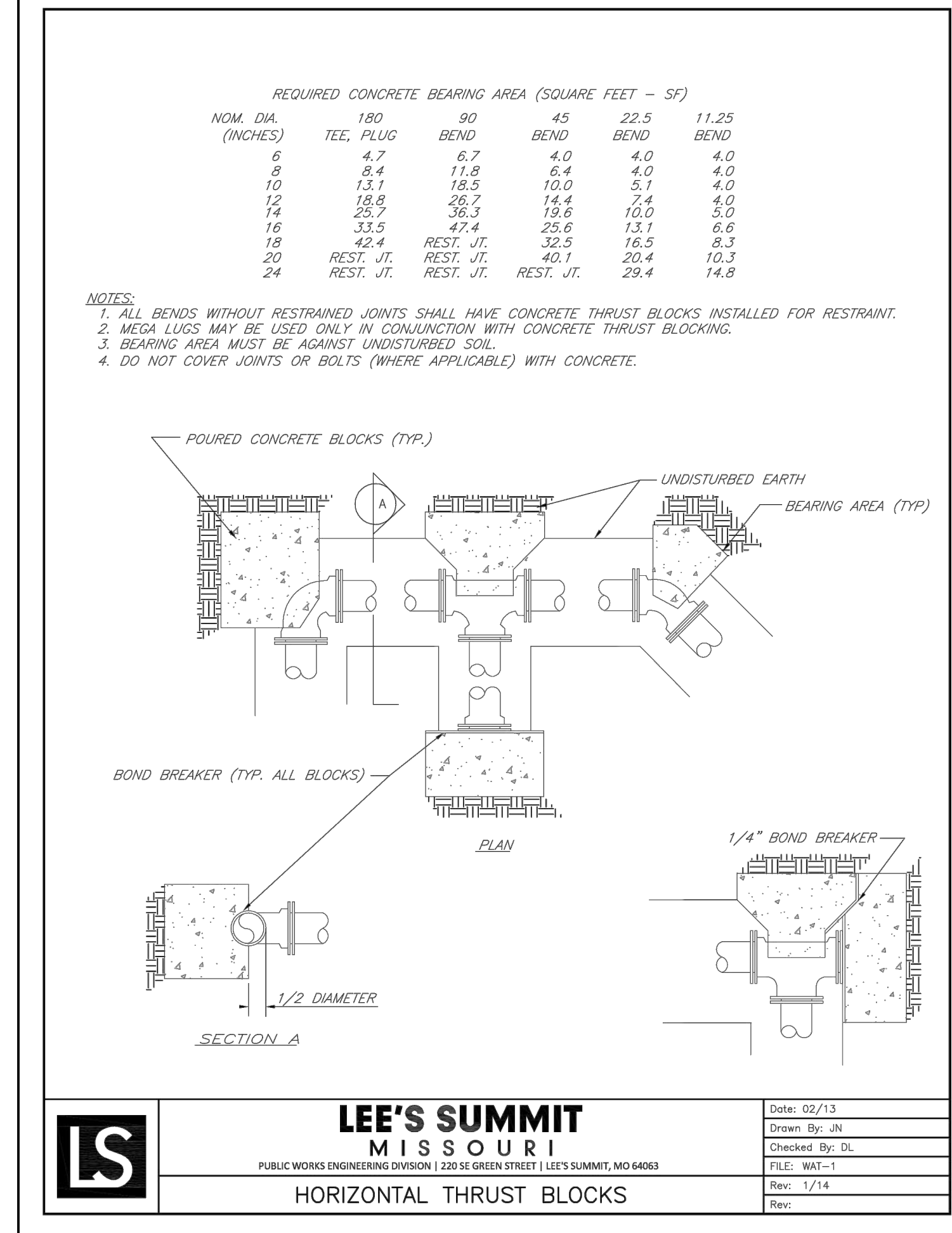
Sheet Number
C-701

Project No. 2008920
Drawn By Z. KUNTZ/A. JONES
Checked By M. GARTY

ADA DETAIL

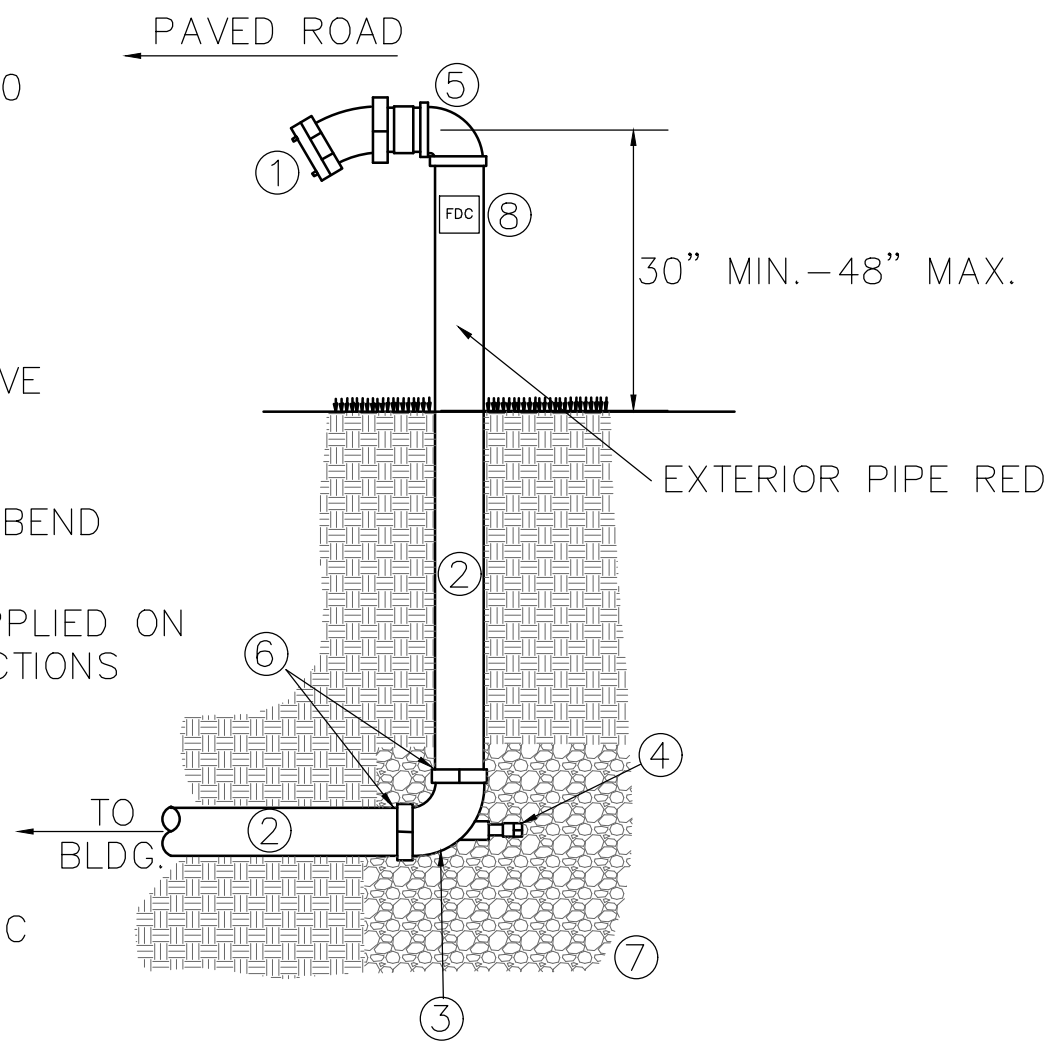
PERMIT SET

\\vaif-pc\vaif\civil\3D PROJECTS\2020\008920_PetSuites_Mchery Ct.Lsg.Lee Summit\ENGINEERING\CONSTRUCTION DOCUMENTS\C-800 UTILITY DETAILS.dwg



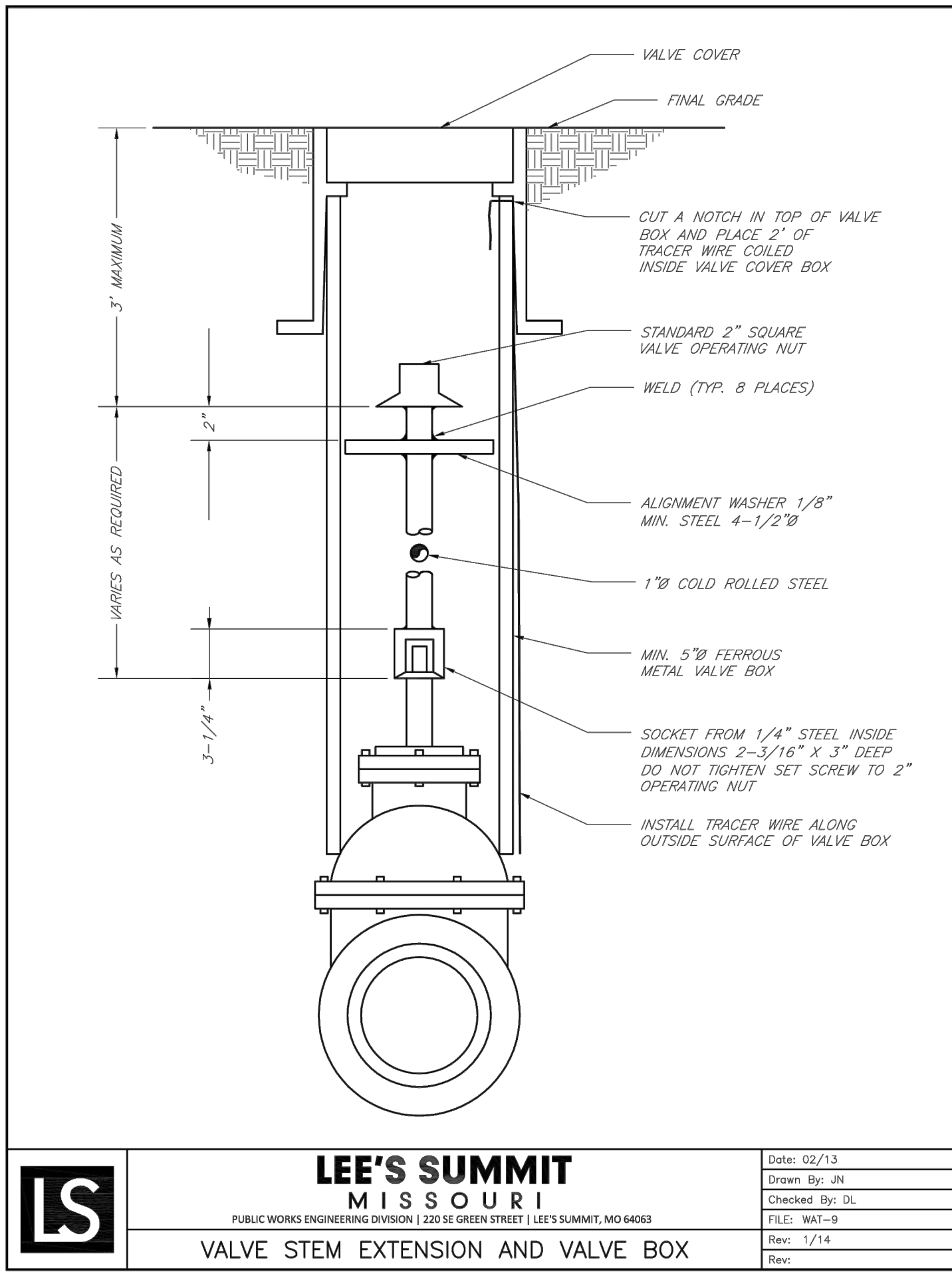
STORZ CONNECTION TO BE BLDG. MOUNTED.

- 1 4" GALV THREADED 90
- 2 4" GALV S40 PIPE
- 3 4" GROOVED DRAIN
- 4 1/2" BALL DRIP VALVE
- 5 4"x5" STORZ CONN. w/KNOX PLUG & 30' BEND
- 6 ASPHALT SEALANT APPLIED ON ALL GROOVED CONNECTIONS UNDERGROUND
- 7 GRANULAR FILL FOR DRAINAGE
- 8 STICKER DENOTING FDC



19 STORZ FDC CONNECTION DETAIL

NOT TO SCALE



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LEE'S SUMMIT, MO 64066
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1-27-2021

#	Revision Date	Description of Changes
1	3-10-2021	REVISED PER CITY COMMENTS
1	3-22-2021	REVISED PER CITY COMMENTS

Sheet Number

C-800

Project No. 2008920
Drawn By Z. KUNTZ/A. JONES
Checked By M. FOGARTY

PERMIT SET

\\na-fp\va\civ\3D PROJECT\2020\080902_PeSuties_Metery C1 Lot 38_Lee Summit\ENGINEERING\CONSTRUCTION DOCUMENTS\C-801 UTILITY DETAILS.dwg

Section 2723
Engineered Surface Drainage Products

GENERAL
PVC surface drainage inlets shall be of the curb inlet structure type as indicated on the contract drawings and referenced within the contract specifications. The **ductile iron frame, grate and hood** for each of these structures are to be considered an integral part of the surface drainage inlet and shall be furnished by the same manufacturer. The curb inlet structure shall be as manufactured by Nyloplast a division of Advanced Drainage Systems, Inc. or prior approved equal.

MATERIALS
The curb inlet structure required for this contract shall be manufactured from PVC pipe stock, utilizing a thermo-molding process to reform the pipe stock to the specified configuration. The drainage pipe connection stubs shall be manufactured from PVC pipe stock and formed to provide a watertight connection with the specified pipe system. This joint tightness shall conform to **ASTM D3212 for joints for drain and sewer plastic pipe** using flexible elastomeric seals. The flexible elastomeric seals shall conform to ASTM F477. The pipe bell spigot shall be joined to the main body of the structure. The raw material used to manufacture the pipe stock that is used to manufacture the main body and pipe stubs of the surface drainage inlets shall conform to **ASTM D1784 cell class 12454**.

The grate, frame and hood for all curb inlet structures shall be ductile iron and shall be made specifically for each so as to provide a round bottom flange that closely matches the diameter of the PVC structure body. The grate, frame and hood shall be capable of supporting H-20 wheel loading for traffic areas. The hood section will have a solid back and be adjustable by use of three (3) locking hex head bolts. The metal used in the manufacture of the castings shall conform to **ASTM A536 grade 70-50-05 for ductile iron**.

INSTALLATION
The specified PVC surface drainage inlet shall be installed using conventional flexible pipe backfill materials and procedures. The backfill material shall be crushed stone or other granular material meeting the requirements of class I, class 2, or class 3 material as defined in ASTM D2321. Bedding and backfill for the curb inlet structure shall be placed and compacted uniformly in accordance with ASTM D2321. The curb inlet structure body will be cut at the time of the final grade. No brick, stone or concrete block will be required to set the grate to the final grade height. For H-20 load rated installations, a concrete ring will be poured under the frame, grate, and hood. The concrete slab must be designed taking into consideration local soil conditions, traffic loading, and other applicable design factors. For other installation considerations such as migration of fines, ground water, and soft foundations refer to ASTM D2321 guidelines.

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0001070010245

DRAWN BY: CJA
DATE: 03-10-00
REVISY BY: NMM
DATE: 03-10-16


MATERIAL:
PROJECT NO: NAME:
TITLE:
2 FT X 2 FT 8 3/4 FT X 3 FT CURB INLET STRUCTURE SPECIFICATIONS

DWG NO: 7002-110-045
REV: H

3130 VERONA AVE
BUFFORD, GA 30518
PHN (770) 932-2443
FAX (770) 932-2499
www.nyloplast-usa.com



3130 VERONA AVE
BUFFORD, GA 30518
PHN (770) 932-2443
FAX (770) 932-2499
www.nyloplast-usa.com



1. GRATES/SOLID COVER SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05.

2. FRAMES SHALL BE DUCTILE IRON PER ASTM A536 GRADE 70-50-05.

3. DRAIN BASIN TO BE CUSTOM MANUFACTURED ACCORDING TO PLAN DETAILS. RISERS ARE NEEDED FOR BASINS OVER 8" DUE TO SHIPPING RESTRICTIONS. SEE DRAWING NO. 7001-10-068.

4. DRAINAGE CONNECTION STUB JOINT TIGHTNESS SHALL CONFORM TO ASTM D3212 FOR CORRUGATED HDPE (ADS N-12) HANGAR DUAL WALL, ADS HANGAR SINGLE WALL, N-12 HP, PVC SEWER (EX. SCH 35), PVC DWV (EX. SCH 40), PVC C900/C95, CORRUGATED & RIBBED PVC.

5. ADAPTER ANGLES CAN BE MOUNTED ON ANY ANGLE < 90° TO DETERMINE MINIMUM ANGLE BETWEEN ADAPTERS. SEE DRAWING NO. 7001-110-072.

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0001070010245

DRAWN BY: EBC
DATE: 04-03-06
REVISY BY: NMM
DATE: 03-14-16


MATERIAL:
PROJECT NO: NAME:
TITLE:
3 IN DRAB BASIN QUICK SPEC INSTALLATION DETAIL

DWG NO: 7002-110-193
REV: G

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BUFFORD, GA 30518
PHN (770) 932-2443
FAX (770) 932-2499
www.nyloplast-usa.com



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FAX (770) 932-2499
www.nyloplast-usa.com



FINISHED GRADE

HEAVY DUTY COVER SOLID FOR CLEANOUT

ADJUSTABLE HEAD

4" OR 6" DIA

4" MIN. CONCRETE ENCASEMENT

THREADS CLEANOUT PLUG

WYE

45° BEND

ENCASE IN CONCRETE

4" OR 6" PVC

8"

CLEANOUT DETAIL
(NOT TO SCALE)

RESTRAINED JOINTS

TYPICAL R.C.P.

#4 @ 12" EACH WAY

2'-6" OR TO ROCK, WHICHEVER IS LESS, (DOWEL 6" MIN. INTO ROCK)

CONCRETE TOWALL FULL WIDTH OF END SECTION

4"

8"

R.C.P. OUTFALL SECTION

TYPICAL C.P.P.

CONCRETE COLLAR

TYPICAL R.C.P. END SECTION

#4 @ 12" EACH WAY

2'-6"

8"

C.P.P. OUTFALL SECTION

8"

2'-6"

6" OR DOWEL DOWEL 6" MIN. INTO ROCK

X

X + 16"

END VIEW

2. CONCRETE USED FOR THE CONSTRUCTION OF END WALLS SHALL CONFORM TO JURISDICTIONAL REQUIREMENTS.

END SECTION

NYLOPLAST 30" DRAIN BASIN: 2830AG _ X

(1) (2) INTEGRATED DUCTILE IRON FRAME & GRATE TO MATCH BASIN O.D.

18" MIN WIDTH GUIDELINE

8" MIN THICKNESS GUIDELINE

6" DIA. WITH SOLID BACKFILL

(3) VARIABLE INVERT HEIGHTS (AVAILABLE ACCORDING TO PLAN/TAKE OFF)

MINIMUM PIPE BURIAL DEPTH PER PIPE MANUFACTURER RECOMMENDATION (MIN. SAME AS MIN. SUMP)

(4) ADAPTER ANGLES VARIABLE 0° - 90° ACCORDING TO PLANS

(5) VARIOUS TYPES OF INLET & OUTLET ADAPTERS AVAILABLE: 4" - 30" FOR CORRUGATED HDPE (ADS N-12) HANGAR DUAL WALL, ADS HANGAR SINGLE WALL, N-12 HP, PVC SEWER (EX. SCH 35), PVC DWV (EX. SCH 40), PVC C900/C95, CORRUGATED & RIBBED PVC

WATERTIGHT JOINT (CORRUGATED HOPE SHOWN)

TRAFFIC LOADS: CONCRETE SLAB DIMENSIONS ARE FOR GUIDELINE PURPOSES ONLY. ACTUAL CONCRETE SLAB MUST BE DESIGNED TAKING INTO CONSIDERATION LOCAL SOIL CONDITIONS, TRAFFIC LOADING, & OTHER APPLICABLE DESIGN FACTORS. SEE DRAWING NO. 7001-110-111 FOR NON-TRAFFIC INSTALLATION.

THE BACKFILL MATERIAL SHALL BE CRUSHED STONE OR OTHER GRANULAR MATERIAL MEETING THE REQUIREMENTS OF CLASS I, CLASS II, OR CLASS III MATERIAL AS DEFINED IN ASTM D2321. BEDDING & BACKFILL FOR SURFACE DRAINAGE INLETS SHALL BE PLACED & COMPACTED UNIFORMLY IN ACCORDANCE WITH ASTM D2321.

(3) VARIABLE SUMP DEPTH ACCORDING TO PLANS (MIN. BASED ON MANUFACTURER REQ.)

6" MIN

4" MIN ON 18" & 24" 10" MIN ON 30" BASED ON MANUFACTURING REQ.)

4" MIN ON 18" & 24" 10" MIN ON 30" BASED ON MANUFACTURING REQ.)

18" - 30"

GRATE OPTIONS

LOAD RATING

PART #

DRAWING #

1. 18" - 30" DRAIN BASIN: 2830AG _ X

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LANDSCAPE PLAN NOTES:

GENERAL:

- ALL LANDSCAPE MATERIAL SHALL CONFORM TO THE CITY OF LEE'S SUMMIT STANDARDS.
- ALL NATURAL VEGETATION SHALL BE MAINTAINED WHERE IT DOES NOT INTERFERE WITH CONSTRUCTION OR THE PERMANENT PLAN OF OPERATION. EVERY EFFORT POSSIBLE SHALL BE MADE TO PROTECT EXISTING VEGETATION OR STRUCTURES FROM DAMAGE DUE TO EQUIPMENT USAGE. CONTRACTOR SHALL AT ALL TIMES PROTECT ALL MATERIALS AND WORK AGAINST INJURY TO THE PUBLIC.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COORDINATION WITH OTHER SITE RELATED WORK BEING PERFORMED BY OTHER CONTRACTORS. REFER TO ARCHITECTURAL DRAWINGS FOR FURTHER COORDINATION OF WORK TO BE DONE.
- UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES MUST BE CONSIDERED APPROXIMATE ONLY. THERE MAY BE OTHERS NOT PRESENTLY SHOWN OR KNOWN. IT SHALL BE THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO DETERMINE OR VERIFY THE EXISTENCE OF AND EXACT LOCATION OF ALL UTILITIES. (CALL MISSOURI ONE CALL, 1-800-DIG-RITE)
- PLANT MATERIAL ARE TO BE PLANTED IN THE SAME RELATIONSHIP TO GRADE AS WAS GROWN IN NURSERY CONDITIONS. ALL PLANTING BEDS SHALL BE CULTIVATED TO A DEPTH OF 6" MINIMUM AND GRADED SMOOTH IMMEDIATELY BEFORE PLANTING OF PLANTS. PLANT GROUND COVER TO WITHIN 12" OF TRUNK OF TREES OR SHRUBS PLANTED WITHIN THE AREA.
- IT SHALL BE THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO:
 - VERIFY ALL EXISTING AND PROPOSED FEATURES SHOWN ON THE DRAWINGS PRIOR TO COMMENCEMENT.
 - REPORT ALL DISCREPANCIES FOUND WITH REGARD TO EXISTING CONDITIONS OR PROPOSED DESIGN TO THE ENGINEER OF RECORD IMMEDIATELY FOR A DECISION.
 - STAKE THE LOCATIONS OF ALL PROPOSED PLANT MATERIAL AND OBTAIN THE APPROVAL OF THE OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- ITEMS SHOWN ON THIS DRAWING TAKE PRECEDENCE OVER THE MATERIAL LIST. IT SHALL BE THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL QUANTITIES AND CONDITIONS PRIOR TO IMPLEMENTATION OF THIS PLAN. NO SUBSTITUTIONS OF TYPES OR SIZE OF PLANT MATERIALS WILL BE ACCEPTED WITHOUT WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT.
- PROVIDE SINGLE-STEM TREES UNLESS OTHERWISE NOTED IN PLANT SCHEDULE.
- ALL PLANT MATERIAL SHALL COMPLY WITH THE RECOMMENDATIONS AND REQUIREMENTS OF ANSI Z60.1 "AMERICAN STANDARDS FOR NURSERY STOCK".
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE FOR INSPECTION OF THE PLANT MATERIAL BY THE LANDSCAPE ARCHITECT PRIOR TO ACCEPTANCE. PLANTS NOT CONFORMING EXACTLY TO THE PLANT LIST WILL NOT BE ACCEPTED AND SHALL BE REPLACED AT THE LANDSCAPE CONTRACTOR'S EXPENSE.
- ALL BIDS ARE TO HAVE UNIT PRICES LISTED. THE OWNER HAS THE OPTION TO DELETE ANY PORTION OF THE CONTRACT PRIOR TO SIGNING THE CONTRACT OR BEGINNING WORK. THIS WILL BE A UNIT PRICE CONTRACT.
- ALL PLANT MATERIAL TO BE TRANSPLANTED SHALL BE IN ACCORDANCE TO THE GUIDELINES SET BY AAN STANDARDS. TRANSPLANTED MATERIAL WILL NOT BE GUARANTEED BY THE LANDSCAPE CONTRACTOR.

INSURANCE:

- THE LANDSCAPE CONTRACTOR SHALL SUBMIT CERTIFICATES OF INSURANCE FOR WORKMAN'S COMPENSATION AND GENERAL LIABILITY.

MULCH:

- ALL MULCH TO BE SHREDDED OAK BARK MULCH AT 3" DEPTH AFTER COMPACTION (UNLESS OTHERWISE NOTED). MULCH SHALL BE CLEAN AND FREE OF ALL FOREIGN MATERIALS, INCLUDING WEEDS, MOLD, DELETERIOUS MATERIALS, ETC. PROVIDE 4" DIAMETER MULCH RING AROUND ALL NEW TREES WITH MIN. 3" DEPTH OF SHREDDED OAK BARK MULCH.
- MIRAFI FABRIC SHALL BE USED BENEATH ALL GRAVEL MULCH BEDS.
- LANDSCAPE BEDS NOT BORDERED BY CONCRETE CURBING OR WALKS SHALL BE SPADE CUT EDGE.

MAINTENANCE:

- LANDSCAPE CONTRACTOR SHALL PROVIDE A SEPARATE PROPOSAL TO MAINTAIN ALL PLANTS, SHRUBS, GROUND COVER, PERENNIALS AND ANNUALS FOR A PERIOD OF 12 MONTHS AFTER ACCEPTANCE.
- CONTRACTOR SHALL ENSURE THAT ONLY COMPETENT AND TRAINED PERSONNEL SHALL PROVIDE SUCH SERVICES AND THAT SUCH SERVICES BE PROVIDED IN A TIMELY MANNER.

TOPSOIL:

- TOPSOIL MIX FOR ALL PROPOSED LANDSCAPE PLANTINGS SHALL BE FIVE (5) PARTS WELL-DRAINED SCREENED ORGANIC TOPSOIL TO ONE (1) PART CANADIAN SPHAGNUM PEAT MOSS AS PER PLANTING DETAILS. ROTO-TILL TOPSOIL MIX TO A DEPTH OF 4" MINIMUM AND GRADE SMOOTH.
- PROVIDE A SOIL ANALYSIS, AS REQUESTED, MADE BY AN INDEPENDENT SOIL-TESTING AGENCY OUTLINING THE PERCENTAGE (%) OF ORGANIC MATTER, INORGANIC MATTER, DELETERIOUS MATERIAL, PH AND MINERAL CONTENT.
- ANY FOREIGN TOPSOIL USED SHALL BE FREE OF ROOTS, STUMPS, WEEDS, BRUSH, STONES (LARGER THAN 1"), LITTER OR ANY OTHER EXTRANEOUS OR TOXIC MATERIAL.
- LANDSCAPE CONTRACTOR TO APPLY PRE-EMERGENT HERBICIDE TO ALL PLANTING BEDS UPON COMPLETION OF PLANTING OPERATIONS AND BEFORE APPLICATION OF SHREDDED OAK BARK MULCH.

MISC. MATERIAL:

PROVIDE STAKES AND DEADMAN OF SOUND, NEW HARDWOOD, FREE OF KNOTHOLES AND DEFECTS.

- TREE WRAP TAPE SHALL BE 4" MINIMUM, DESIGNED TO PREVENT BORER DAMAGE AND WINTER FREEZING. ADDITIONALLY, ONLY 3-PLY TYING MATERIAL SHALL BE USED.

TURF:

- ALL DISTURBED LAWN AREAS TO BE SODDED UNLESS NOTED OTHERWISE WITH A TURF-TYPE KENTUCKY BLUE GRASS/RESCUE MIX. LAWN AREAS SHALL BE UNCONDITIONALLY WARRANTED FOR A PERIOD OF 90 DAYS FROM DATE OF FINAL ACCEPTANCE.
- ANY POINTS CARRYING CONCENTRATED WATER LOADS AND ALL SLOPES OF 4:1 OR GREATER SHALL BE SODDED AND THE SOD SHALL HAVE STAKES PLACED.
- ALL SOD SHALL BE PLACED A MAXIMUM OF 24 HOURS AFTER HARVESTING.
- RECONDITION EXISTING LAWN AREAS DAMAGED BY CONTRACTOR'S OPERATIONS INCLUDING EQUIPMENT/ MATERIAL STORAGE AND MOVEMENT OF VEHICLES.
- SOD CONTRACTOR TO ENSURE SOD IS PLACED BELOW SIDEWALK AND ALL PAVED AREA ELEVATIONS TO ALLOW FOR PROPER DRAINAGE.
- OFF-SITE LAND DISTURBED SHALL BE SODDED AND RESTORED TO A CONDITION BETTER THAN EXISTING.

SIGHT TRIANGLES:

- NO LANDSCAPE MATERIAL OR OTHER OBSTRUCTIONS SHALL BE PLACED OR BE MAINTAINED WITHIN THE SIGHT DISTANCE AREA SO AS NOT TO IMPEDE THE VISION BETWEEN A HEIGHT OF THIRTY INCHES (30") AND TEN FEET (10') ABOVE THE ADJACENT STREET OR PAVING SURFACES.
- THE TRIANGLE ADJACENT TO STREET INTERSECTIONS SHALL BE FORMED BY MEASURING FROM THE POINT OF INTERSECTION OF THE FRONT AND SIDE LOT LINES A DISTANCE OF 20' MINIMUM ALONG SAID FRONT AND SIDE LOT LINES AND CONNECTING THE POINTS SO ESTABLISHED TO FORM THE SIGHT TRIANGLE AREA.
- SIGHT TRIANGLES AT THE INTERSECTION OF A PUBLIC STREET AND A PRIVATE ACCESS WAY (EXCEPT FOR SINGLE FAMILY RESIDENCES) SHALL ALSO BE FORMED AS OUTLINED IN NOTE #2 ABOVE.

WARRANTY:

- ALL PLANT MATERIAL (EXCLUDING GROUND COVER, PERENNIALS AND ANNUALS) ARE TO BE WARRANTED FOR A PERIOD OF 12 MONTHS AFTER INSTALLATION AT 100% OF THE INSTALLED PRICE.
- ANY PLANT MATERIAL FOUND TO BE DEFECTIVE SHALL BE REMOVED AND REPLACED WITHIN 30 DAYS OF NOTIFICATION OR IN GROWTH SEASON DETERMINED TO BE BEST FOR THE PLANT.
- ONLY ONE REPLACEMENT PER TREE OR SHRUB SHALL BE REQUIRED AT THE END OF THE WARRANTY PERIOD, UNLESS LOSS IS DUE TO FAILURE TO COMPLY WITH WARRANTY.
- LAWN ESTABLISHMENT PERIOD WILL BE IN EFFECT ONCE THE LAWN HAS BEEN MOWED THREE TIMES. PLANT ESTABLISHMENT PERIOD SHALL COMMENCE ON THE DATE OF ACCEPTANCE AND 100% COMPLETION.

LANDSCAPE PLAN REQUIREMENTS

- REQUIRED FRONT YARD LANDSCAPING
 - ONE TREE SHALL BE PLANTED FOR EACH 30 FEET OF STREET FRONTAGE
 - ONE SHRUB REQUIRED FOR EACH 20 FEET OF STREET FRONTAGE
- REQUIRED OPEN YARD LANDSCAPING
 - ONE TREE FOR EVERY 5,000 SQ. FT. OF LOT AREA NOT COVERED BY BUILDINGS/STRUCTURES
 - TWO SHRUBS PER 5,000 SQ. FT. OF TOTAL LOT AREA
- REQUIRED TRASH STORAGE CONTAINER LANDSCAPING
 - REFER TO LANDSCAPE PLAN FOR SCREENING OF TRASH ENCLOSURE.

- PROVIDED FRONT YARD LANDSCAPING
 - TREES PROVIDED - 74.55' OF STREET FRONTAGE / 30 FEET = 3 TREES PROVIDED
 - SHRUBS PROVIDED - 74.55' OF STREET FRONTAGE / 20 FEET = 4 SHRUBS PROVIDED
- PROVIDED OPEN YARD LANDSCAPING
 - TREES PROVIDED- 92,014 SQ. FT. - 14,100 BLDG SQ. FT. = 77,917 SQ. FT. / 5,000 SQ. FT. = 17 EX TREES
 - SHRUBS PROVIDED- 92,014 SQ. FT. / 5,000 SQ. FT. = 18.4 x 2 = 37 SHRUBS PROVIDED
- REQUIRED TRASH STORAGE CONTAINER LANDSCAPING
 - REFER TO LANDSCAPE PLAN - 10 EMERALD ARBORVITAE PROVIDED

PLANT SCHEDULE

TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE
CH	9	CARPINUS BETULUS 'COLUMNARIS'	COLUMNAR EUROPEAN HORNBEAM	8 & 8	3" CAL	8' TALL MIN.
TH	10	THUJA OCCIDENTALIS 'EMERALD'	EMERALD ARBORVITAE	15 GAL	3" CAL	6' TALL MIN.
TS	2	TILIA CORDATA 'SPRING GLOW'	LITTLELEAF LINDEN	8 & 8	3" CAL	6' TALL MIN.

EXISTING TREE MASS	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE
EX	17	EXISTING	EXISTING TREE	EXISTING	VARIES	VARIES

SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE
BG	9	BUXUS X 'GREEN MOUND'	GREEN MOUND BOXWOOD	3 GAL
CA	3	CALAMAGROSIS X ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS	3 GAL
EC	3	EUONYMUS ALATUS 'COMPACTUS'	COMPACT BURNING BUSH	3 GAL
PD	3	PHYSCARPUS OPULIFOLIUS 'DIABLO'	DIABLO NINEBARK	3 GAL
RG	21	RHUS AROMATICA 'GRO-LOW'	GRO-LOW FRAGRANT SUMAC	3 GAL
SY	6	SYRINGA MEYERI 'PALBIN'	DWARF KOREAN LILAC	3 GAL
VI CA	5	VIBURNUM CARLESS 'COMPACTUM'	KOREAN SPICE VIBURNUM	3 GAL

GROUND COVERS	QTY	BOTANICAL NAME	COMMON NAME	CONT
	533 SF	BOUTELOUA DACTYLOIDES	BUFFALO GRASS	SOD
	379	JUNCUS EFFUSUS	SOFT RUSH	4" POT

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UNDERGROUND UTILITIES AND OSHA SAFETY NOTE:

Underground utilities and structures have been plotted from available information and therefore, their location must be considered approximate only. It is the responsibility of the individual contractor to notify the utility companies before actual construction. All O.S.H.A. rules and regulations established for the type of construction required by these plans shall be strictly followed (ie. trenching, blasting, etc.)

PREMIER DESIGN GROUP

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MISSOURI CERTIFICATE OF AUTHORITY #2-200000081
MISSOURI CERTIFICATE OF AUTHORITY #15-206007538

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Project
Date
Revision Date
Description of Changes
Sheet Number

1	1-27-2021	REVISED PER CITY COMMENTS
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LANDSCAPE PLAN

L-100

Project No. 2008920
Drawn By Z. KUNTZ/A. JONES
Checked By M. FOGARTY

PERMIT SET