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PARAGON STAR VILLAGE

Lot 20 / HUB Building

March 22, 2021

1401 NW View High Drive, Lee's Summit, MO

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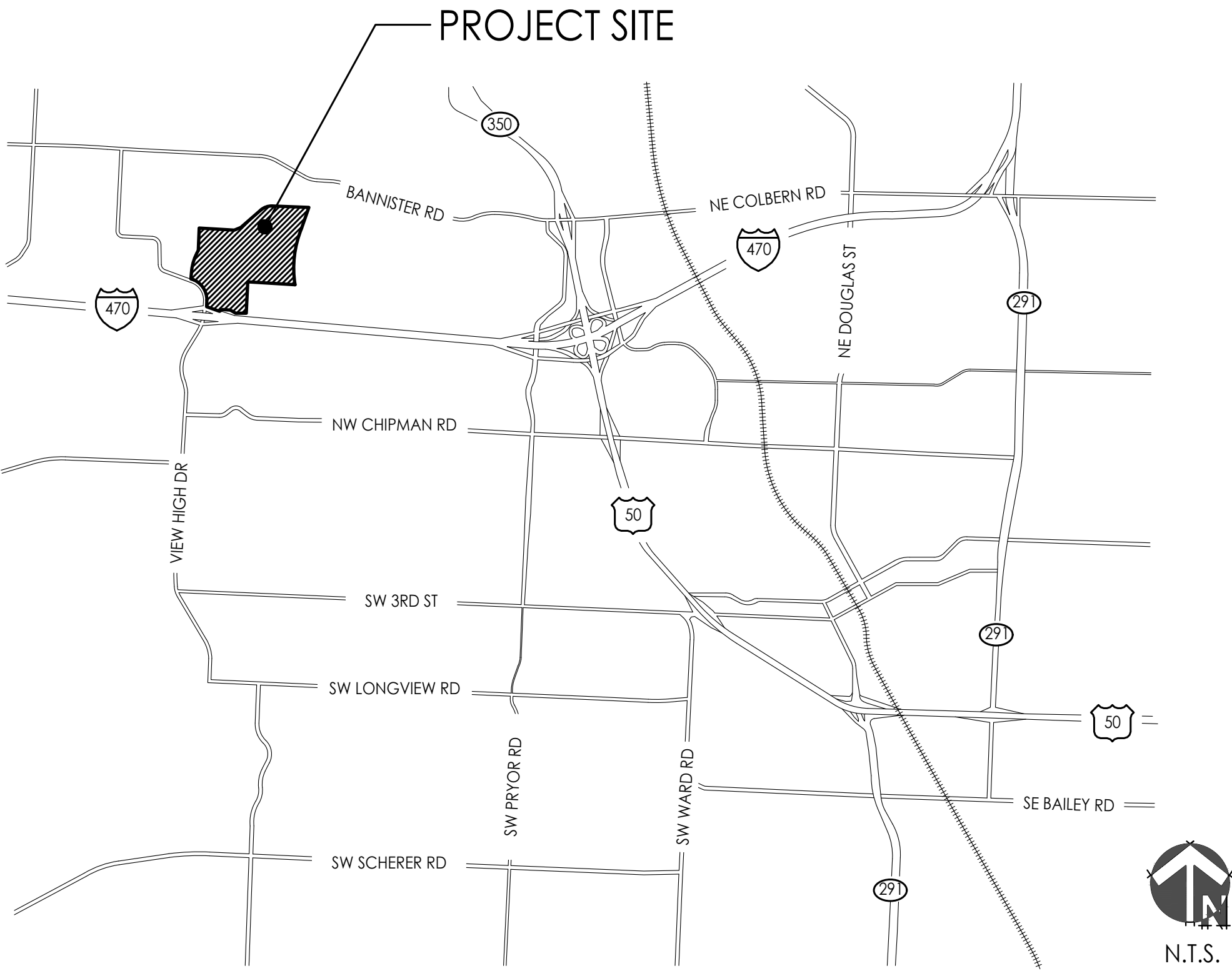
A1.01

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- LANDSCAPE

L100

PLANTING PLAN



PLANS PREPARED BY

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PROJECT:

Paragon Star Village
1401 NW View High Dr, Lee's Summit, MO 64081

Final Development Plan - Lot 20/HUB Building

ISSUE:

PROFESSIONAL SEAL:

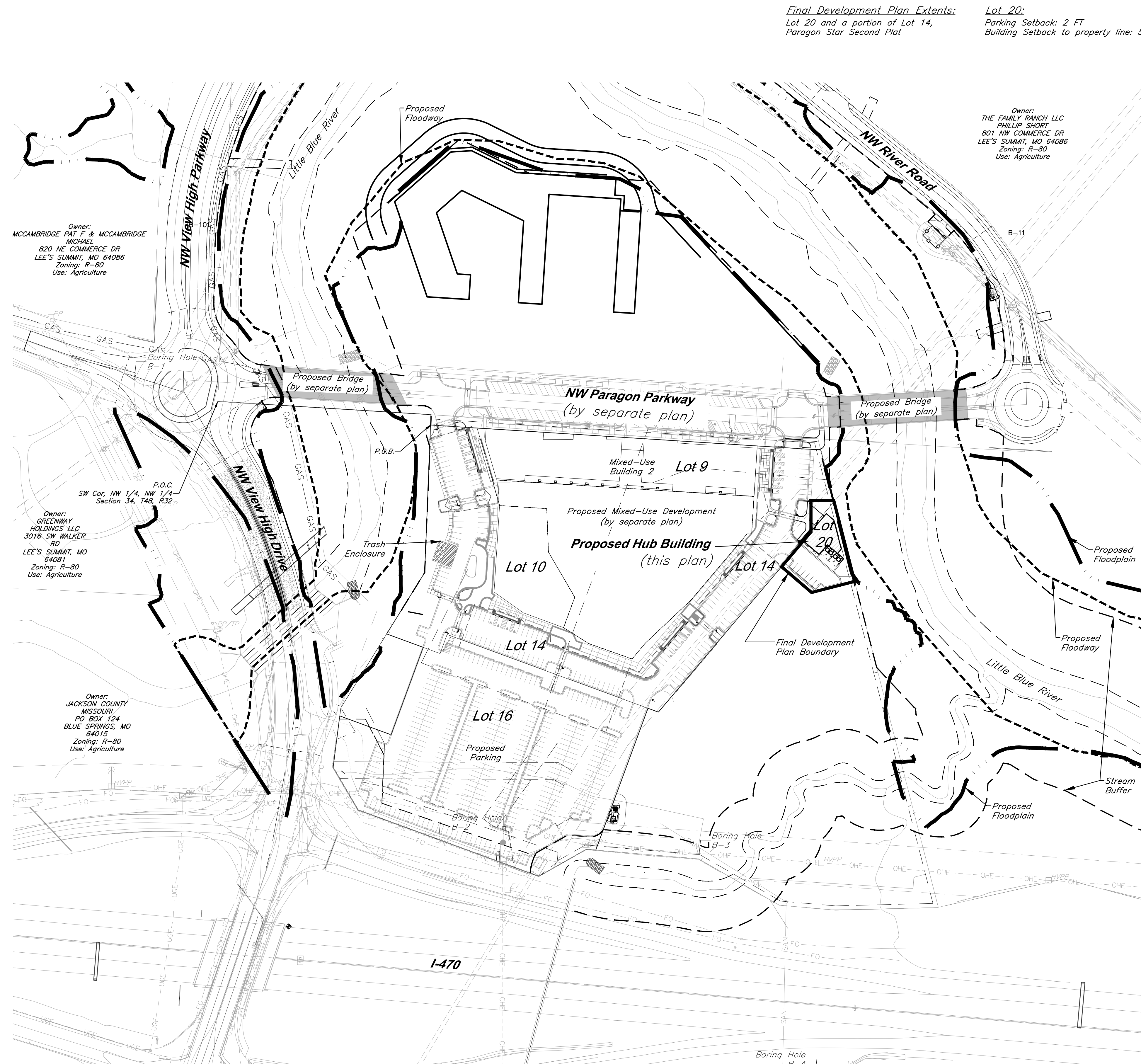
DRAWING TITLE:

COVERSHEET

JOB NO: 1249 SCALE:

DATE: 03.22.2021 DRAWN BY:

SHEET NO:



PROJECT BENCHMARK

BM #11 - Chiseled "L" on top Northeast corner of concrete guardrail at the Northeast corner of 1470 bridge spanning View High Drive. Coordinates: N=1008590.33', E=2803864.07', EL=833.80

BM #13 - Chiseled "L" on NE corner of
Interstate 470 and Cedar Creek Bridge
Coordinates: N=1008342.79', E=2806758.22',
EL=852.04'

Prepared and Submitted By:

George Butler Associates, Inc.
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Phone: 913-492-0400 Fax: 913-577-8312
Contact: Clint Loumaster, P.E.
Email: cloumaster@gbateam.com

Floodplain:

According to FEMA Flood Insurance Rate Map (FIRM) Community Panel No. 29095C0404G, effective Date 1/20/17, the tract lies partially within an area designated as Special Flood Hazard Areas. Special Flood Hazard Areas defined on portions of the site include regulatory floodway, Zone AE (with depths identified on site from 810 to 811), and 0.2% Annual Chance Flood Hazard Areas.

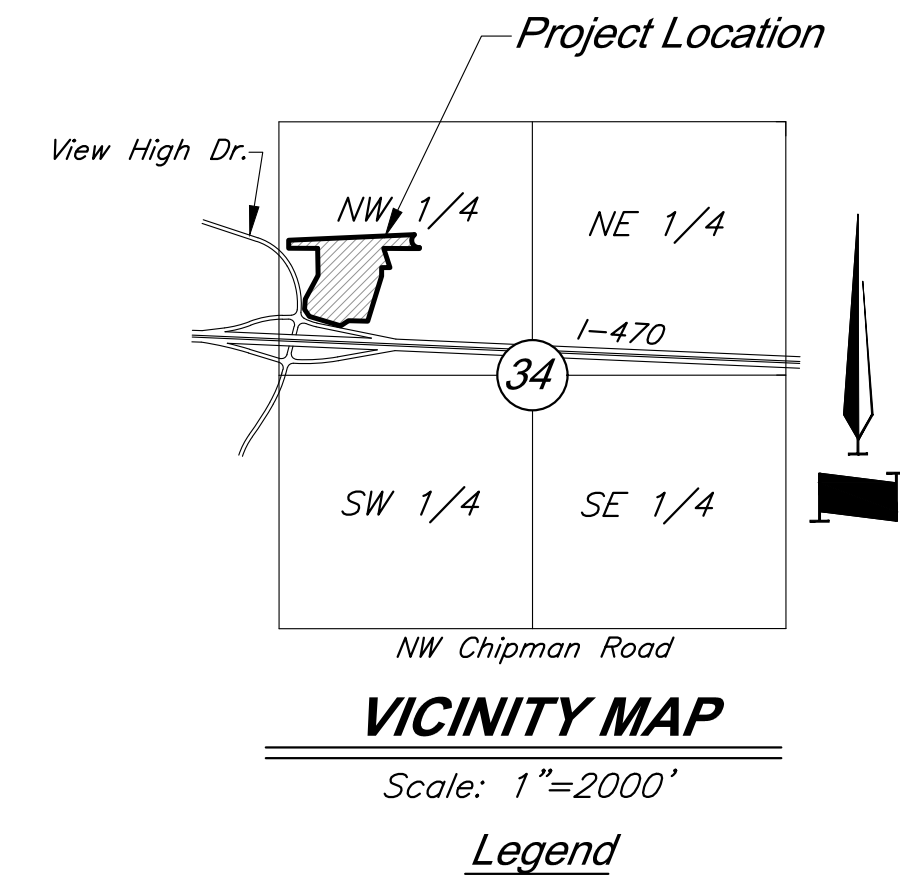
A CLOMR has been issued for this project, case number 20-07-0520R, dated 2/14/20. Proposed Floodplain/ Floodway refers to boundary set by this CLOMR.












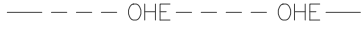





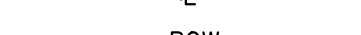













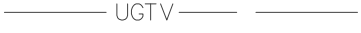

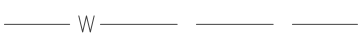



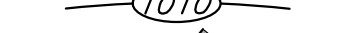




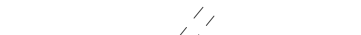

Parking:

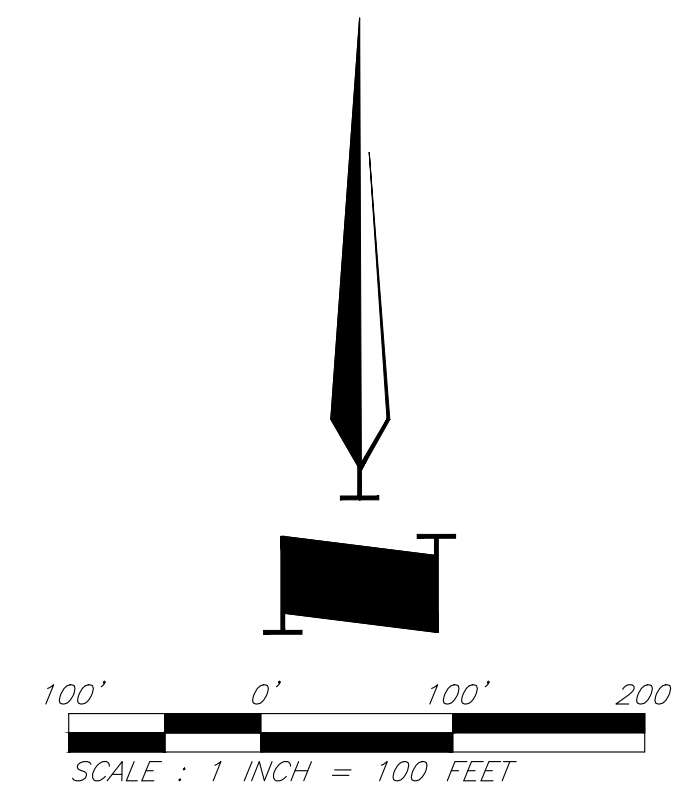
Total Parking Spaces = 498
Regular Spaces = 473
ADA Spaces = 25

Notes:

1. No oil or gas wells are located on site per Missouri Department of Natural Resources.



	<i>Power Pole</i>		<i>Centerline</i>
	<i>Guy Anchor</i>		<i>Fiber Optic Line</i>
	<i>Electric Meter</i>		<i>Gas Line</i>
	<i>Electrical Transformer</i>		<i>Guard Rail</i>
	<i>Electric Pedestal</i>		<i>Over Head Electric</i>
	<i>Power Pole/Telephone Pole</i>		<i>Over Head Telephone</i>
	<i>Power Pole/Light Pole</i>		<i>Property Line</i>
	<i>Gas Meter</i>		<i>Right-of-Way Line</i>
	<i>Gas Valve</i>		<i>Sanitary Sewer Line</i>
	<i>Curb Inlet</i>		<i>Stream</i>
	<i>Junction Box</i>		<i>Underground Electric</i>
	<i>Sanitary Sewer Manhole</i>		<i>Underground Telephone</i>
	<i>Light Pole</i>		<i>Underground Cable TV</i>
	<i>Boring Hole</i>		<i>Water Line</i>
	<i>Sign</i>		<i>Proposed Grades</i>
	<i>Property Corner</i>		<i>Proposed Storm Sewers</i>
	<i>Telephone Manhole</i>		<i>Existing Grades</i>
	<i>Telephone Pedestal</i>		<i>Existing Storm Sewers</i>
	<i>Telephone Pole</i>		<i>Tree Deciduous</i>
	<i>Proposed Building</i>		<i>Fire Hydrant</i>
			<i>Water Meter</i>
			<i>Proposed Floodway</i>
			<i>Proposed Floodplain</i>
			<i>Stream Corridor</i>



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PROJECT:

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1401 NW View High Dr, Lee's Summit, MO 64081

1401 NW View High Dr, Lee's Summit, MO 64081

Final Development Plan - Lot 20/HUB Building

ISSUE:



DRAWING TITLE:

General Site Plan

JOB NO: 1249

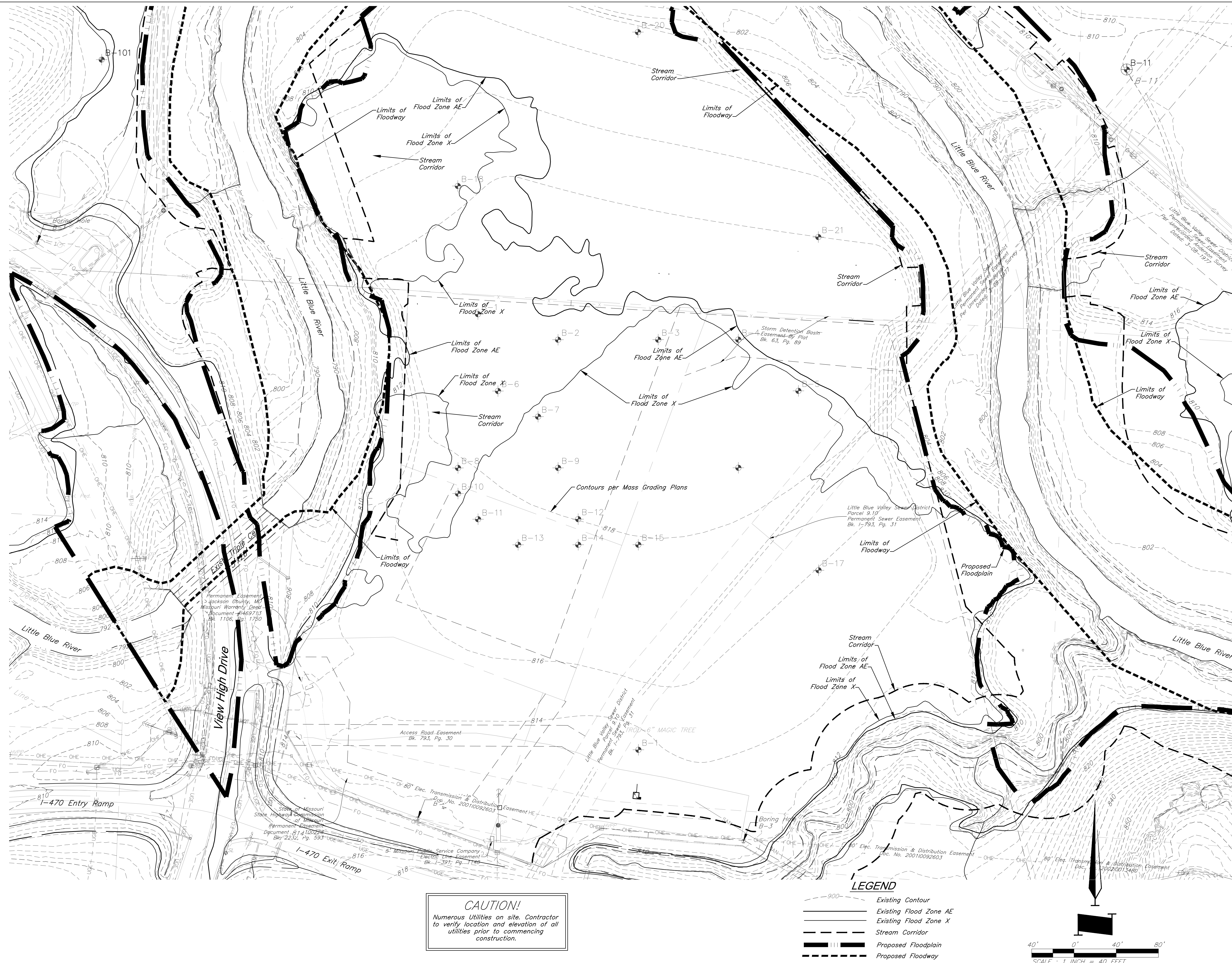
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DATE: 03.22.2021







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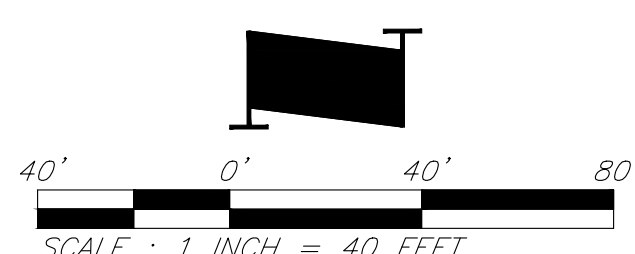
SHEET NO:

C001



CAUTION!
Numerous Utilities on site. Contractor
to verify location and elevation of all
utilities prior to commencing
construction.

- LEGEND**
-  Existing Contour
 -  Existing Flood Zone AE
 -  Existing Flood Zone X
 -  Stream Corridor
 -  Proposed Floodplain
 -  Proposed Floodway



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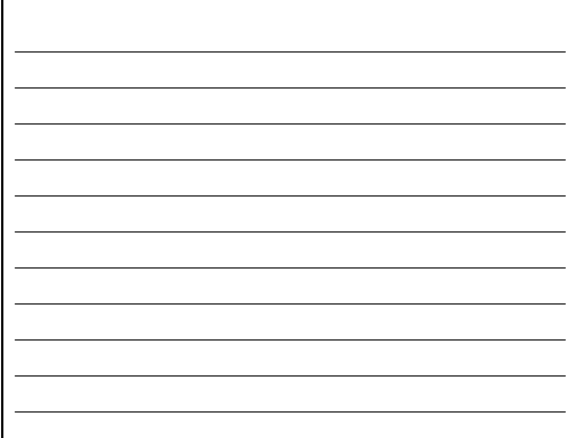
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PROJECT:

Paragon Star Village
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ISSUE:



PROFESSIONAL SEAL



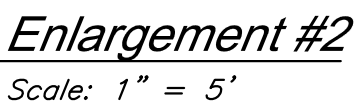
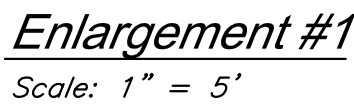
DRAWING TITLE:

Existing Conditions

JOB NO: 1249 SCALE:
DATE: 03.22.2021 DRAWN BY:JBH

SHEET NO.










C002

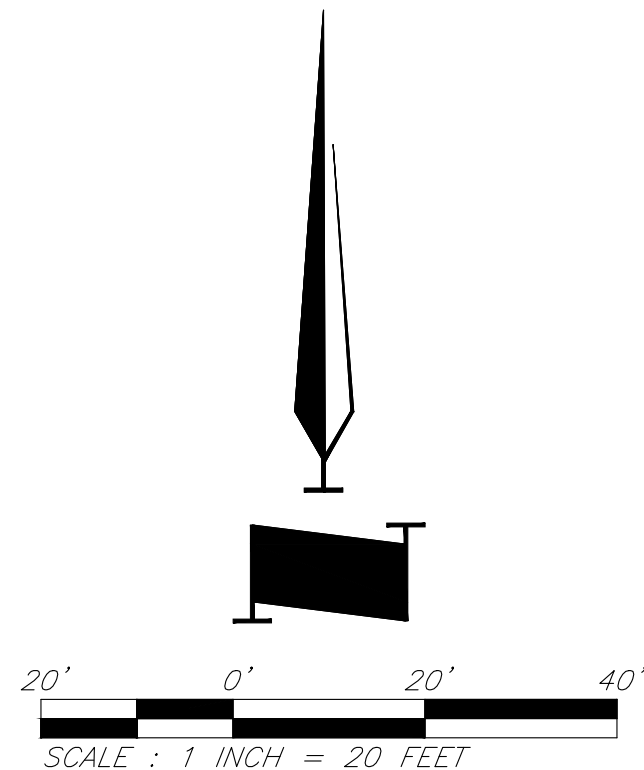


1. All curbs are to be Type CG-1 or Type CG-1 Dry unless shown otherwise.
2. Minimum finish floor of all buildings on lots within the proposed floodplain is 813.00.
3. ADA Parking stalls shall not exceed 2% slope in any direction.
4. For ADA Parking detail see sht. C023
5. Crosswalks may not exceed 2% cross slope and 5% longitudinal slope.

Numerous Utilities on site. Contractor to verify location and elevation of all utilities prior to commencing construction.

LEGEND

	<i>Proposed Building</i>		<i>Existing Contour</i>
	<i>Proposed HD Asphalt Surface</i>		<i>Proposed Contour</i>
	<i>Proposed LD Asphalt Surface</i>		<i>Proposed Top of Curve</i>
	<i>Proposed Concrete</i>		<i>Proposed Spot Grade</i>
			<i>Drainage Flow Arrow</i>



PROJECT:

Paragon Star Village
1401 NW View High Dr, Lee's Summit, MO 64081

1401 NW View High Dr, Lee's Summit, MO 64081

Final Development Plan - Lot 20/HUB Building

ISSUE:

[illegible]

PROFESSIONAL SEAL



DRAWING TITLE:

Grading Plan

JOB NO: 1249

SCALE:

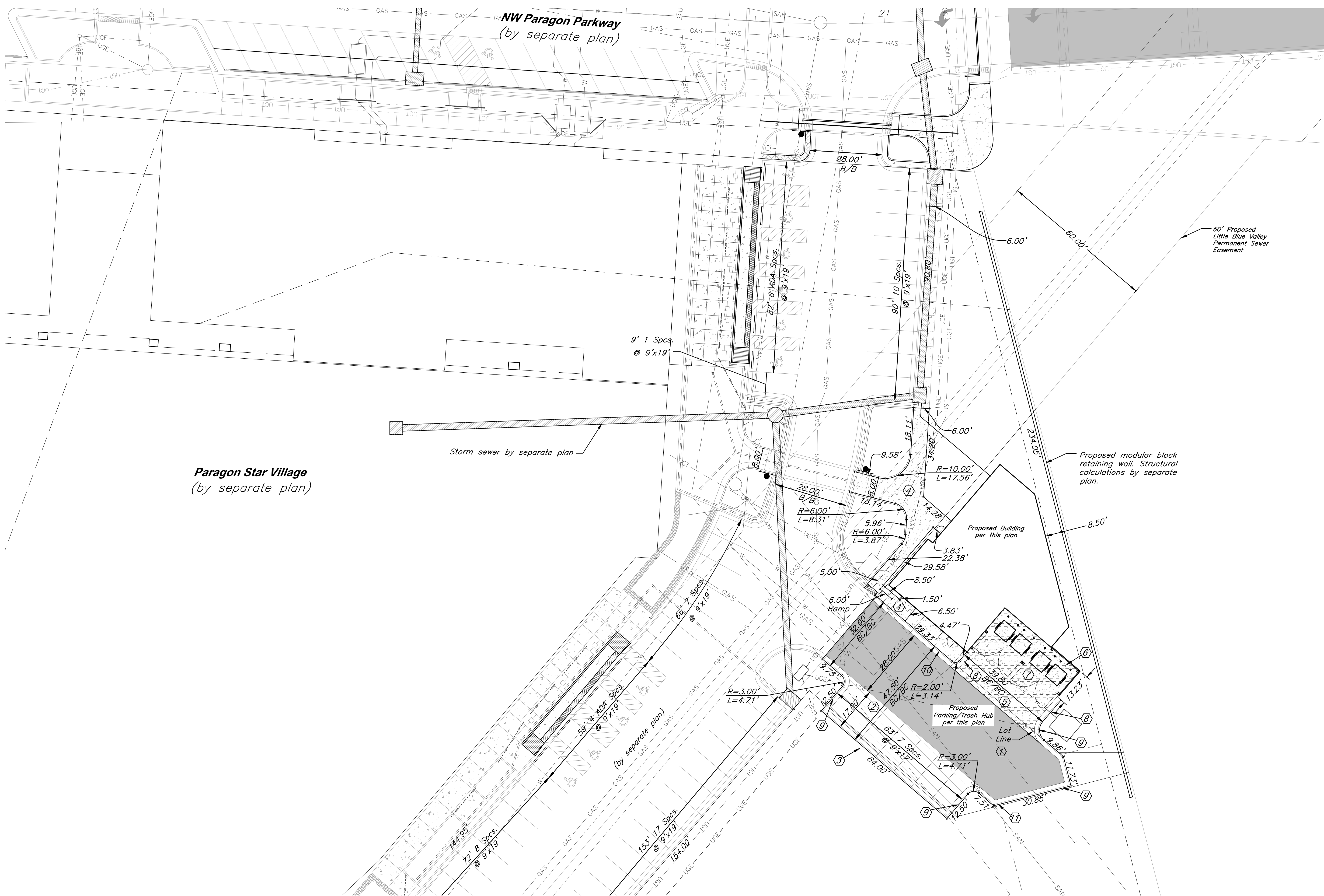
DATE: 03.22.2021

DRAWN BY: JRH

SHEET NO.

C003

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Paragon Star Village
(by separate plan)

Storm sewer by separate plan

60' Proposed
Little Blue Valley
Permanent Sewer
Easement

Proposed modular block
retaining wall. Structural
calculations by separate
plan.

Proposed Building
per this plan

Proposed
Parking/Trash Hub
per this plan

CONSTRUCTION NOTES:

1. Proposed HD Asphalt Pavement
2. Proposed LD Asphalt Pavement
3. Type CG-1 "Dry" Curb & Gutter
4. Construct Concrete Walk
5. No Parking Pavement Striping for Trash Enclosure
6. Construct Trash Enclosure (See Arch. Plans)
7. Construct HD Concrete for trash enclosure
8. Transition Curb to flush in 3 feet
9. Type CG-1 Curb & Gutter
10. Integral Curb & Gutter
11. Construct 3' curb cut

DIMENSION NOTES:

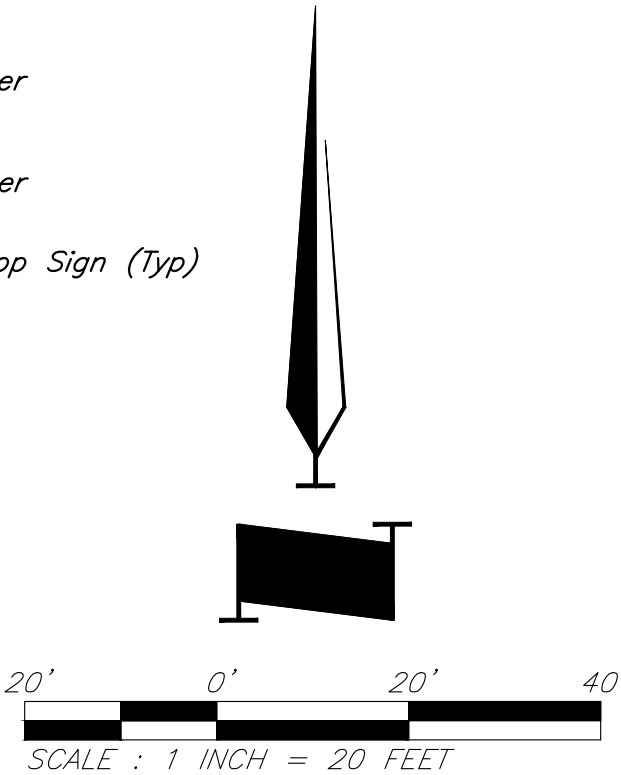
1. All curbs are to be Type CG-1 or Type CG-1 Dry unless shown otherwise.
2. Unless otherwise specified, all dimensions are to the back of curb and dimension ties to property line are measured at right angles to property lines.
3. See Sheet C006 for construction details.

CAUTION!

Numerous Utilities on site. Contractor to verify location and elevation of all utilities prior to commencing construction.

LEGEND

- | | | | |
|--|---|--|----------------------------------|
| | Proposed HD Asphalt Surface | | Proposed Water Line |
| | Proposed LD Asphalt Surface | | Proposed Storm Sewer |
| | Proposed Concrete Walk | | Existing Sanitary Sewer |
| | Proposed HD Concrete Pavement (Trash Enclosure) | | Crosswalk Sign / Stop Sign (Typ) |



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PROJECT:

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Final Development Plan - Lot 20/HUB Building

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DRAWING TITLE:

Dimension Plan

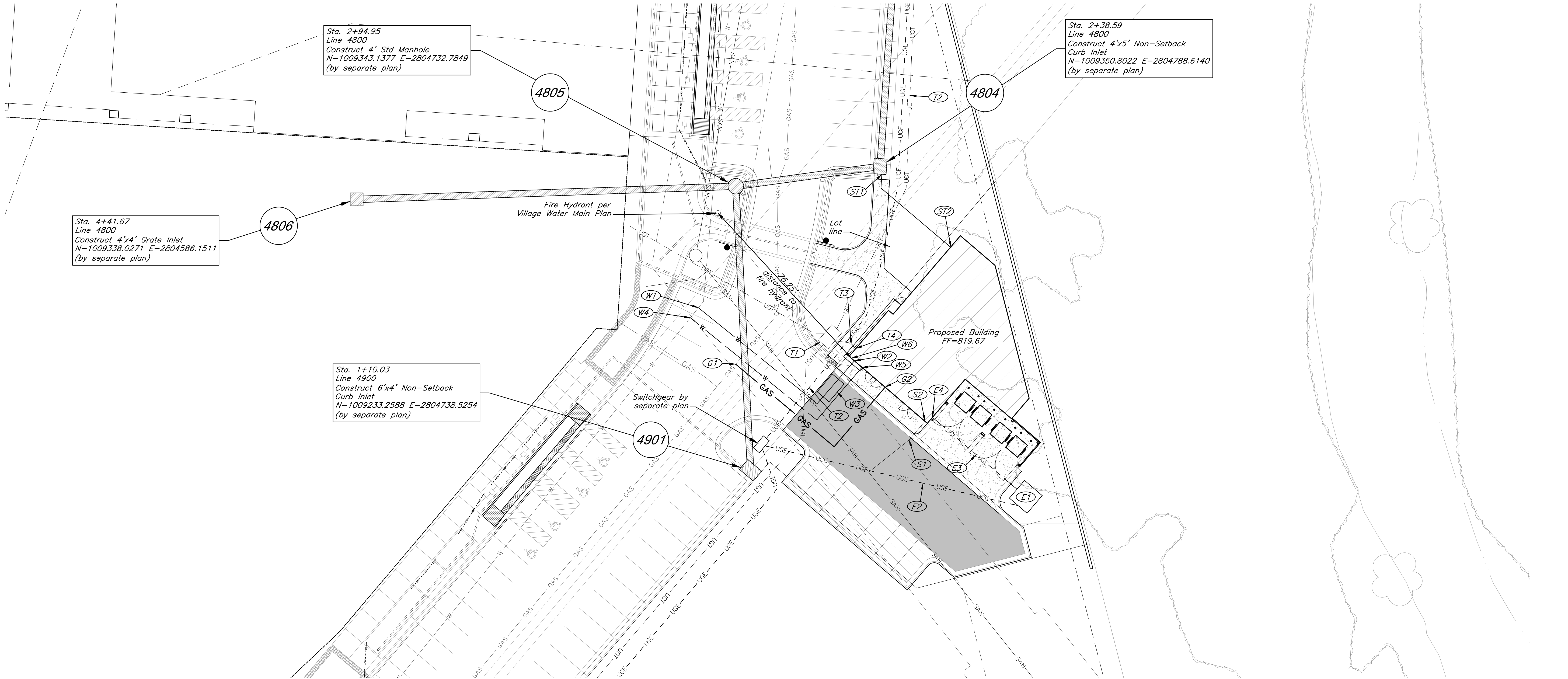
JOB NO: 1249 SCALE:

DATE: 03.22.2021 DRAWN BY: JRH

SHEET NO:

C004

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Telecom Construction Notes

- (T1) 11.5'x9.5'x7.5' Communication Vault by separate plan
- (T2) Communication Line by separate plan
- (T3) Install 12 LF Sch. 40 PVC Conduit to building stub T4
- (T4) Communication building stub

Electrical Service Construction Notes

- (E1) 9'x9' Transformer Pad per Evergy Standards
- (E2) Install 100 LF 4" Sch. 40 PVC conduit from switchgear to transformer
- (E3) Install 41 LF 4" Sch. 40 PVC conduit from transformer to building stub E4
- (E4) Electrical service line building stub

Sanitary Sewer Construction Notes

- (S1) Connect to existing sanitary sewer stub, ℓ =809.95.
Install 9.47 LF 6" Dia. SDR26 PVC east at 2% to S2.
- (S2) Connect to building stub, ℓ =810.14

Water Line Construction Notes

- (W1) Connect domestic water service line to existing 12" PVC water main via tapping sleeve with (2) 12" gate valves on the main and (1) 3" gate valve on the service line. Install 72 LF 3" Dia. C901 HDPE Domestic Water Service Line to building stub W2.
- (W2) Connect domestic water service line to building
- (W3) Install 3" Water Meter in vault per Lee's Summit Standards. Water meter sized per MEP plan. Vault to have 9" lid casting.
- (W4) Connect fire protection water service line to existing 12" PVC water main via tapping sleeve with (2) 12" gate valves on the main and (1) 6" gate valve on the service line. Install 90 LF 6" Dia. C900 PVC Fire Protection Water Service Line to building stub W5.
- (W5) Connect fire protection water service line to building
- (W6) Approximate location Fire Department Connection

Gas Service Line Construction Notes

- (G1) Connect gas service line to gas main. Contractor to coordinate with spire energy. Install 80 LF 2.5" Dia. gas service line to building gas line stub.
- (G2) Connect gas service line to building stub

Storm Sewer Construction Notes

- (ST1) Connect 12" HDPE pipe to structure 4804 via core and grout, ℓ =814.99. Install 42 LF 12" Dia. HDPE Pipe @ 2% to roof drain stub ST2.
- (ST2) Connect 12" HDPE to roof drain building stub, ℓ =815.83

Notes:

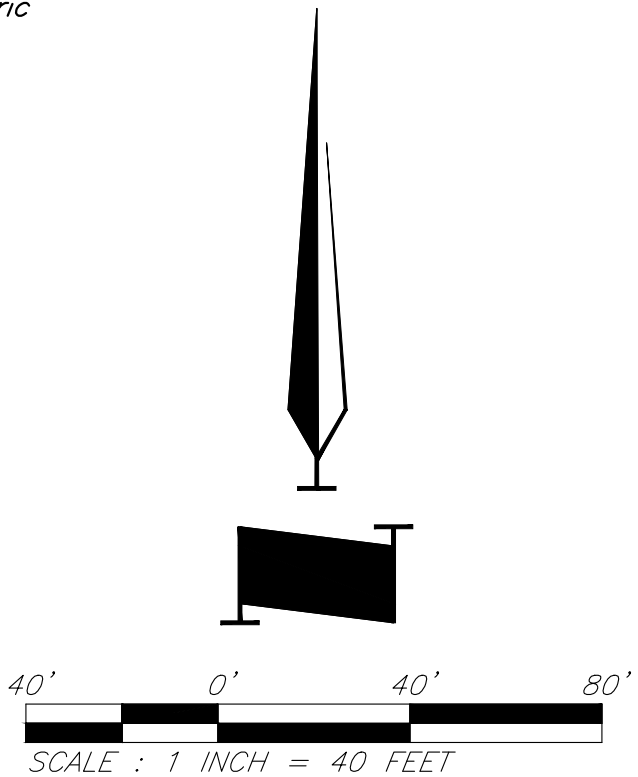
- Pipe length called out is from center of structure to center of structure. Payment for pipe length is from inside face to inside face of structure.
- Storm Sewer Structure Station offset and coordinates based on center of structure. Top elevations are top center of lid.
- Tops on all in grade inlets shall maintain street slope, low point inlets to be set level.
- Fire department connection locations are preliminary and subject to change upon final design. IFC distance requirements for FDCs shall be met with final design.
- Water meter size is preliminary and subject to change upon final design. MEP plan shall govern meter sizing.

General Utility Notes

- See Sheet C006 for Construction Details.
- Contractor to deflect conduits as necessary to avoid conflicts with other utilities.
- Contractor shall coordinate with the Surveyor to leave trenches open for collecting survey data for record drawings.
- Water line minimum burial depth shall be 42 inches.
- Gas line to be constructed by Spire.
- 3" Dia. HDPE water service line shall be AWWA C901 4710 DR11 PC200.
- HDPE Storm sewer pipe shall be ADS N-12.

Legend

- W Proposed Water Line
- Proposed Storm Sewer
- SAN Proposed Sanitary Sewer
- Paragon Parkway
- Paragon Star Village
- GAS GAS Proposed Gas Line
- UGE UGE Proposed Underground Electric
- UGT UGT Proposed Telecom
- Proposed Underdrain
- Proposed Building
- Proposed HD Asphalt Surface
- Proposed LD Asphalt Surface
- Proposed Concrete



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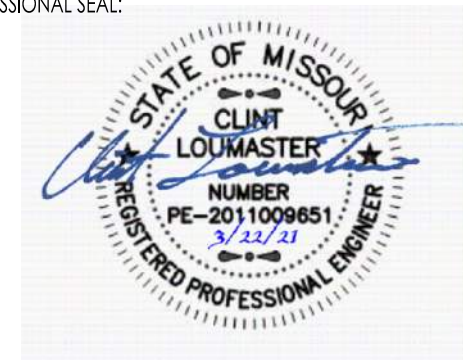
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PROJECT:

Paragon Star Village
1401 NW View High Dr, Lee's Summit, MO 64081
Final Development Plan - Lot 20/HUB Building

ISSUE:

PROFESSIONAL SEAL:



DRAWING TITLE:

Utility Plan

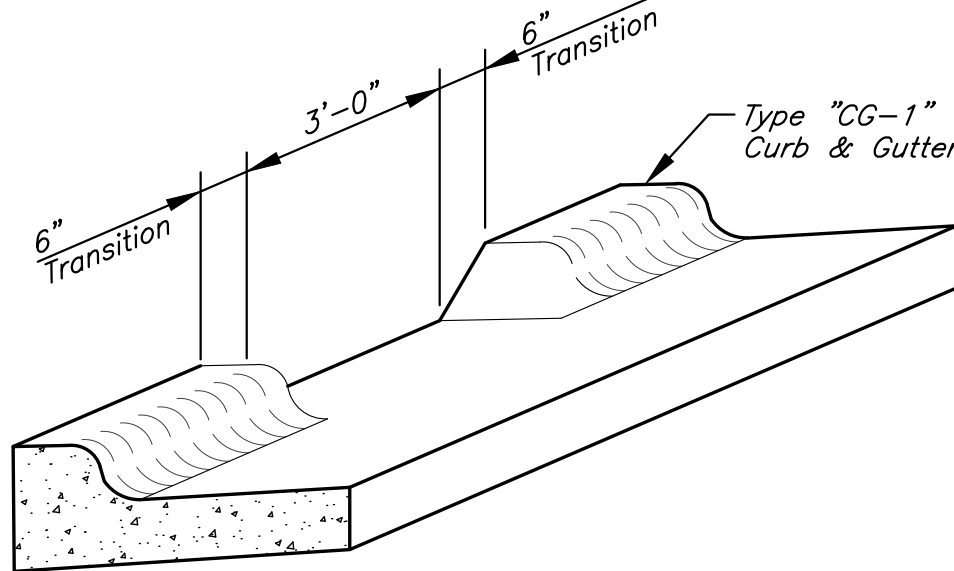
JOB NO: 1249 SCALE:
DATE: 03.22.2021 DRAWN BY: JRH

SHEET NO:

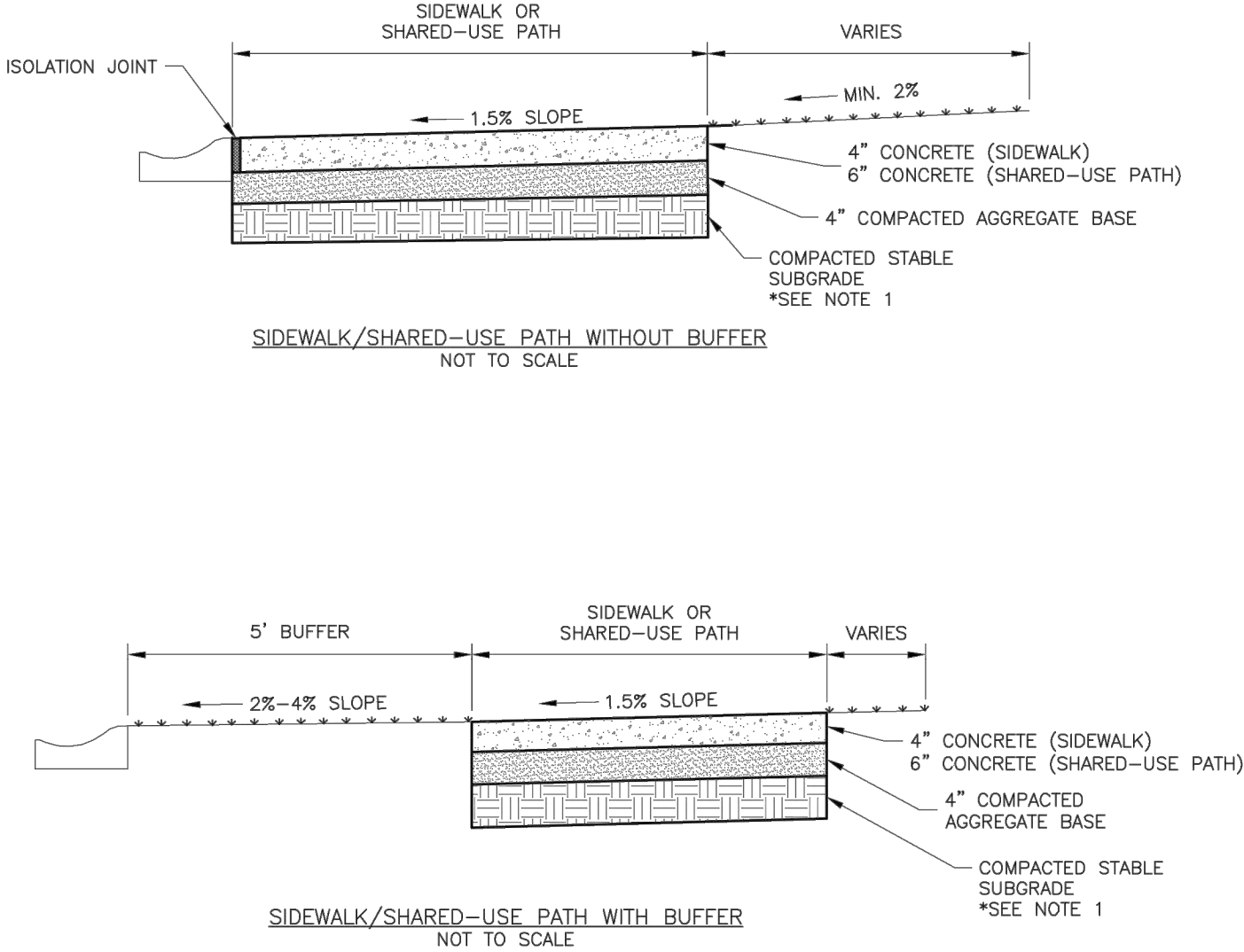
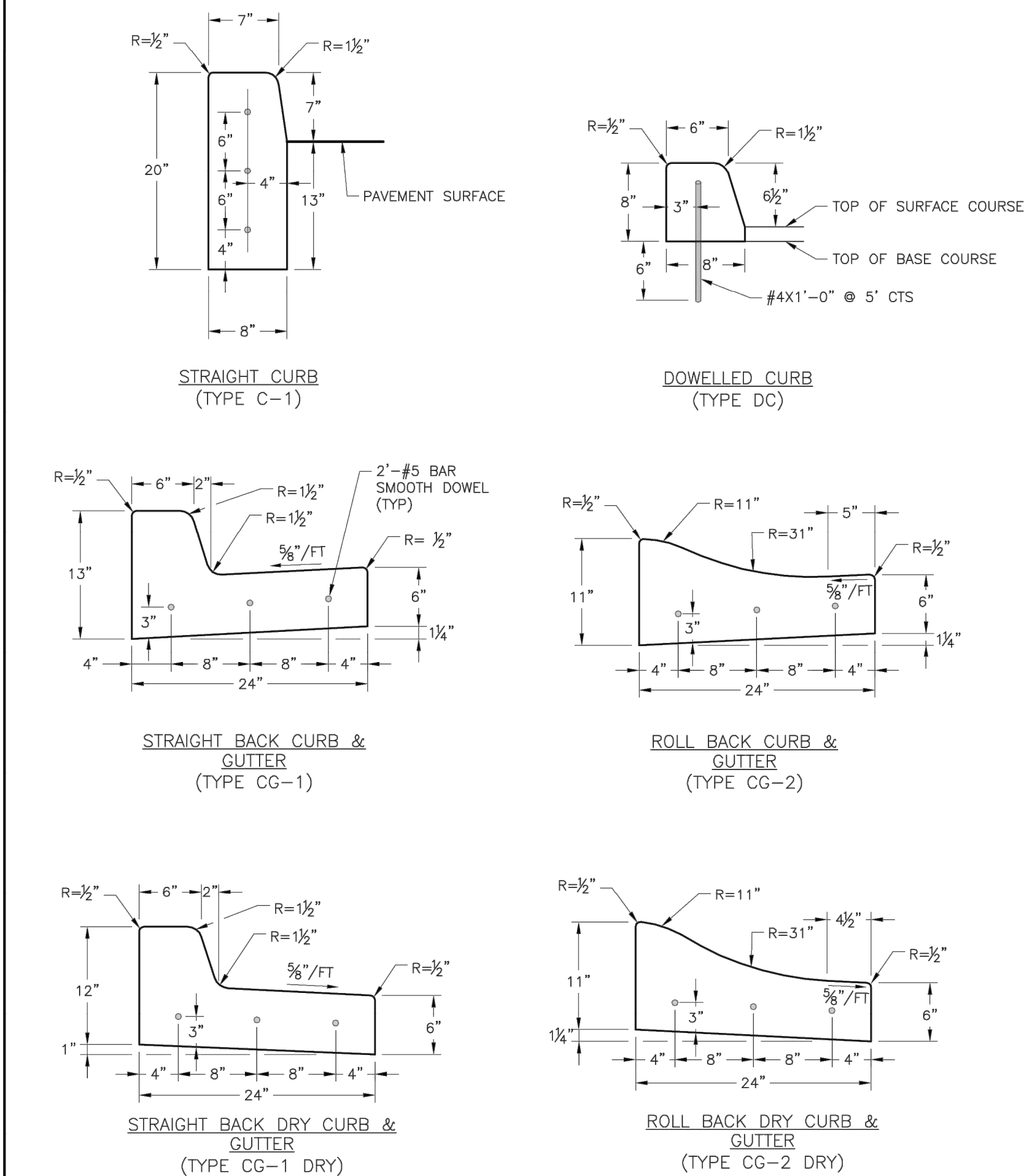
C005

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TYPICAL CURB CUT DETAIL
Not To Scale



- GENERAL NOTES:**
- SUBGRADE MUST BE OF STABLE, COMPACTED EARTH AND SHALL BE OVERLAYED WITH 4" COMPACTED DENSE GRADED AGGREGATE BASE.
 - 1.5% CROSS SLOPE MUST BE MAINTAINED THROUGH DRIVEWAYS.
 - KCMMB 4K CONCRETE MIX SHALL BE REQUIRED FOR ALL SIDEWALKS AND SHARED-USE PATHS OR AS APPROVED BY THE CITY INSPECTOR.
 - ALL SIDEWALKS SHALL MEET CURRENT PUBLIC RIGHT OF WAY ACCESSIBILITY GUIDELINES (PROWAG).
 - AN EXPANSION JOINT SHALL BE PLACED AT A MAXIMUM OF 150 FT. CONSTRUCTION JOINTS SHALL BE PLACED THE SAME WIDTH OF SIDEWALK, BUT NO GREATER THAN 10 FT.
 - SHARED-USE PATH WIDTH SHALL BE 10 FT. WIDE.
 - SIDEWALK FINISHING (NO PICTURE FRAMING) AS DIRECTED BY CITY INSPECTOR.
 - WHITE CURING COMPOUND MUST BE APPLIED UNIFORMLY TO THE CONCRETE SURFACE IMMEDIATELY AFTER FINAL FINISHING.

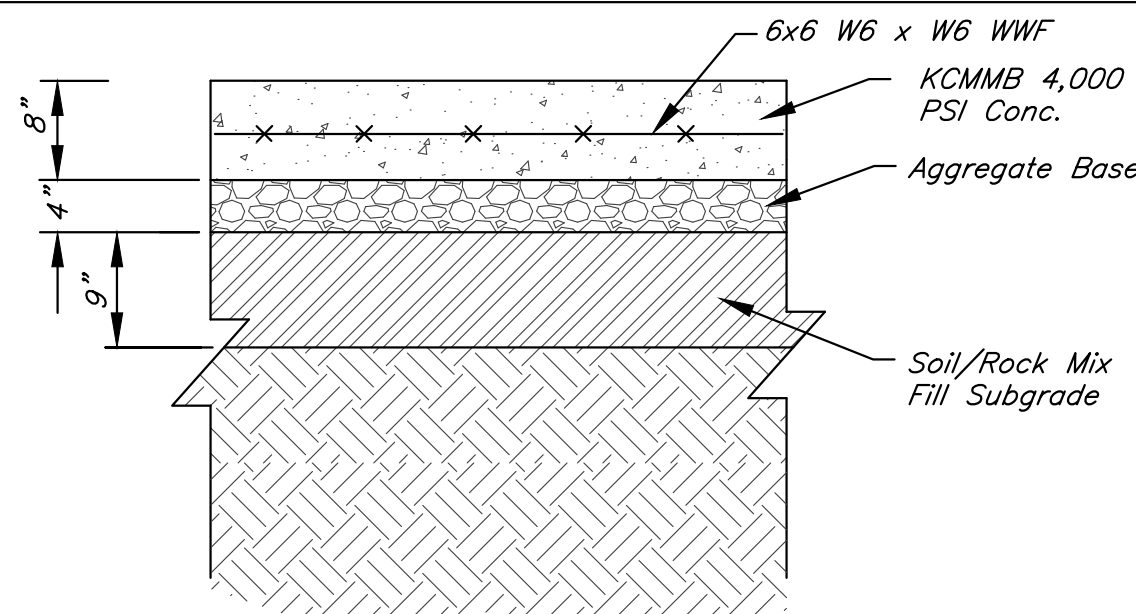


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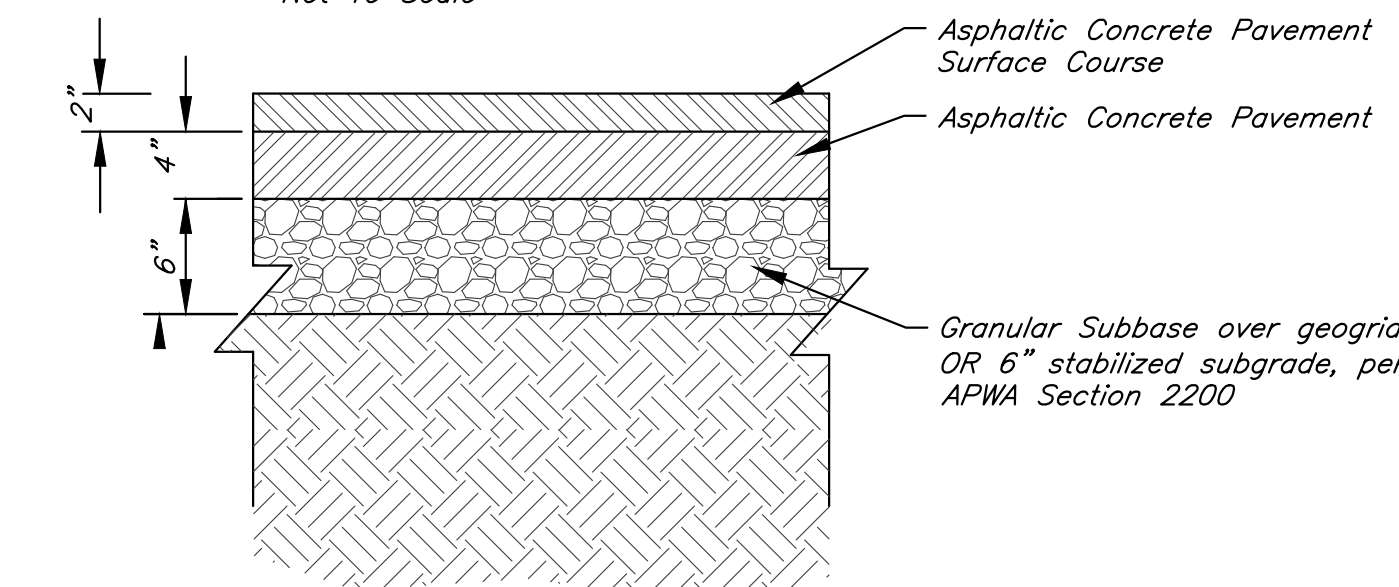
SIDEWALK/SHARED-USE PATH DETAIL

Date: 04/17
Drawn By: MUF
Checked By: DL

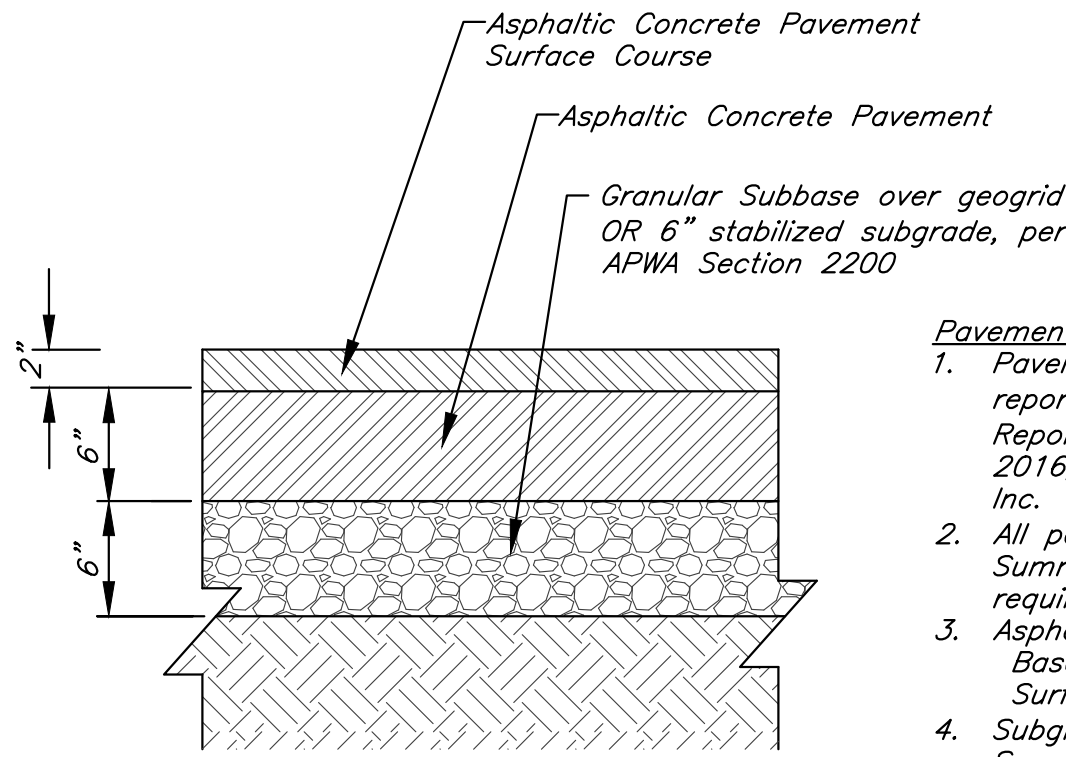
GEN-2



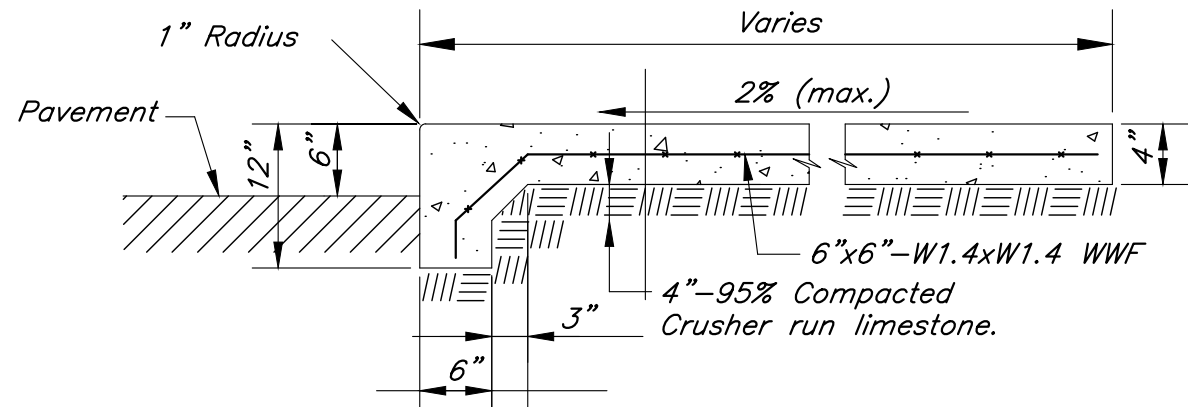
HEAVY DUTY CONCRETE PAVEMENT SECTION
Not To Scale



LIGHT DUTY ASPHALT PAVEMENT SECTION
Not To Scale



HEAVY DUTY ASPHALT PAVEMENT SECTION
Not To Scale



- Notes:**
- 1/4" Expansion Joints Placed at Radius Points and Structures with 2' Lengths of #5 Smooth Dowels. The Dowels will be Greased & Wrapped on Alternate Ends with Expansion Tubes.
 - 1-1/2" Deep Contraction Joints shall be placed at Approximately 15' Intervals.
 - Fix Dowels with Bar Chairs or Equal.
 - All concrete shall be KCMMB-4K.

INTEGRAL CONCRETE SIDEWALK/CURB
Not To Scale

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Final Development Plan - Lot 20/HUB Building

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DRAWING TITLE:

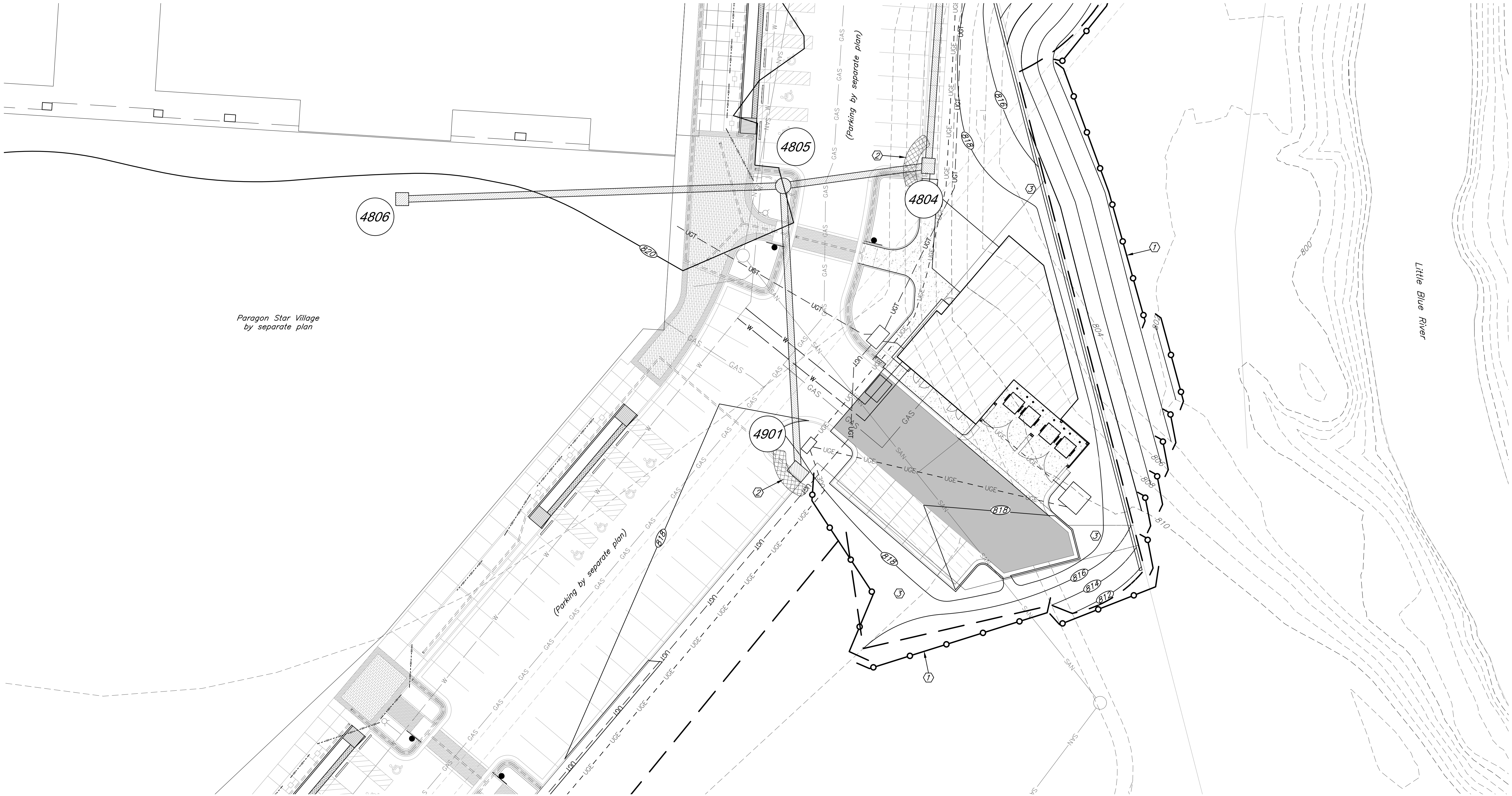
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JOB NO: 1249 SCALE:
DATE: 03.22.2021 DRAWN BY: JRH

SHEET NO:

C006

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EROSION CONTROL STAGING CHART

Project Phase	Reference No.	Description	Remove After Phase:	Notes
1 – Place Erosion Control Prior to Land Disturbance	①	Install Perimeter Silt Fence	4	Install as shown on plans
		Gravel Construction Entrance		Construction Entrance to be per Paragon Star Village plans
		Concrete Wash-out		Concrete Wash-out to be per Paragon Star Village plans
2 – After Storm Sewer Construction	②	Install Inlet Protection	4	Install as shown on plans
3 – Final Grading, Paving, and Landscaping	③	Final Grading, Seeding, Sodding, and Landscaping of all disturbed areas	N/A	Interior erosion control measures and inlet protection may be removed once seed and sodded areas are established to cover 80% of the site. See Landscape Plans for details.

Legend

Existing Contour

Proposed Contour

Sediment Fence

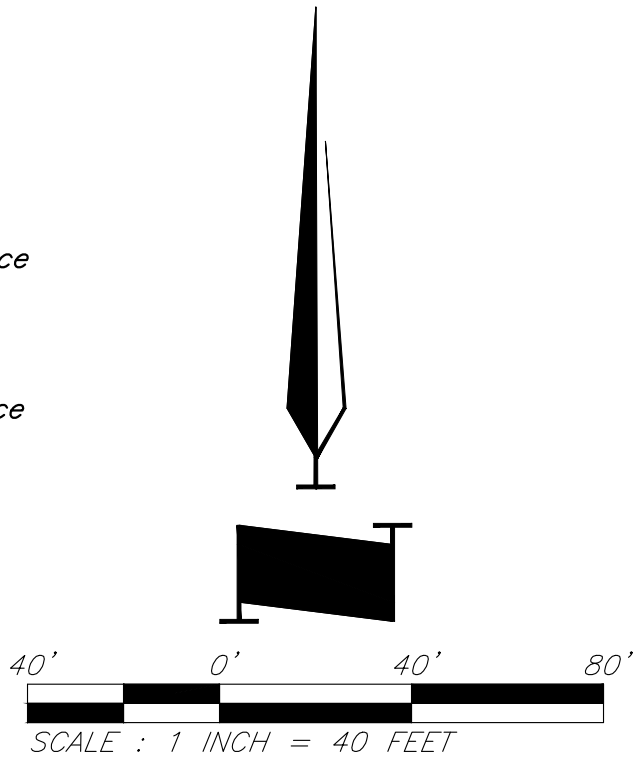
Inlet Sediment Trap

Proposed Building

Proposed HD Asphalt Surface

Proposed LD Asphalt Surface

Proposed Concrete



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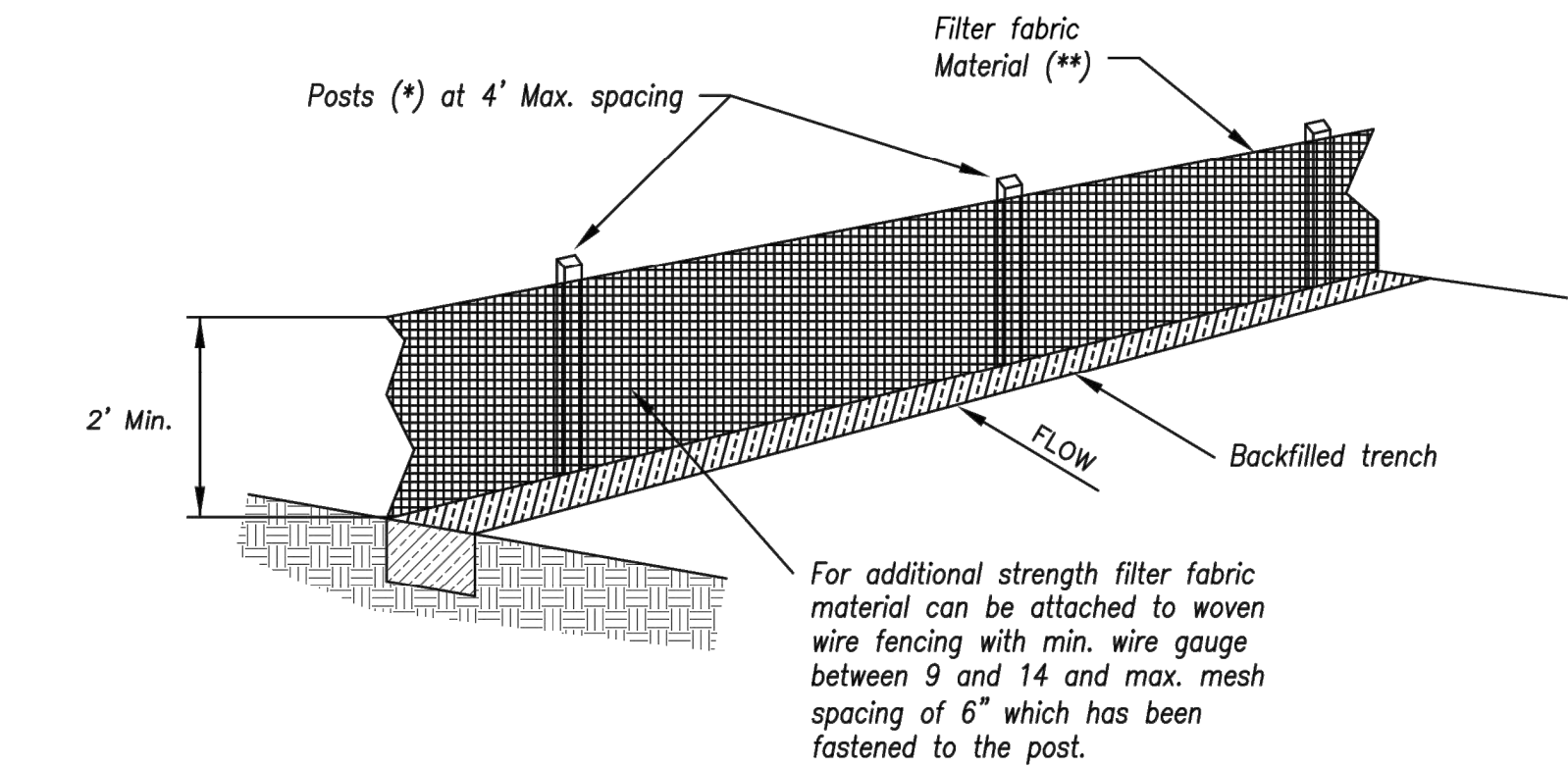
Erosion Control
Plan

JOB NO: 1249 SCALE:
DATE: 03.22.2021 DRAWN BY: JRH

SHEET NO:

C007

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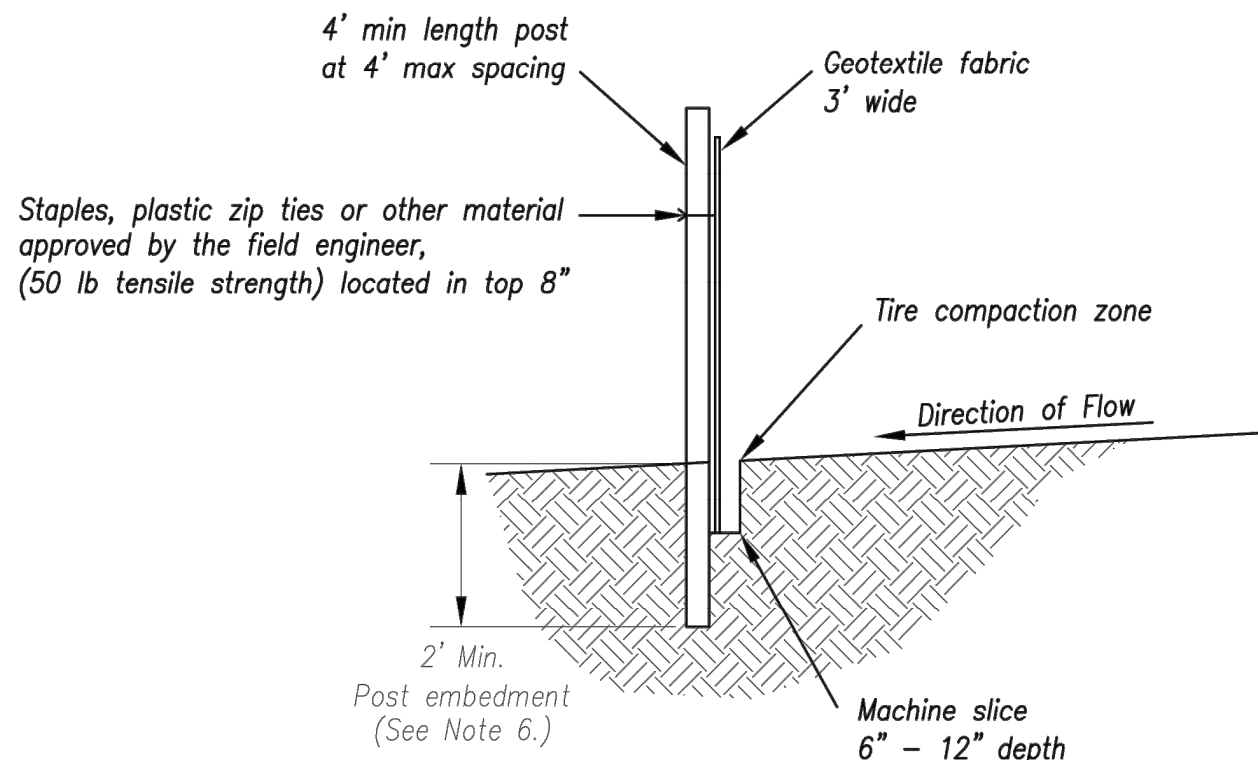


- (*) POSTS
- MIN. LENGTH 4'
 - HARDWOOD 1 3/8" x 1 3/8"
 - NO.2 SOUTHERN PINE 2 3/8" x 2 3/8"
 - STEEL 1.33 LB/FT

(**) - Geotextile Fabric shall meet the requirements of AASHTO M288

SILT FENCE DETAILS

Not to Scale



Notes:

1. In order to contain water, the ends of the silt fence must be turned uphill (Figure A).
2. Long perimeter runs of silt fence must be limited to 100'. Runs should be broken up into several smaller segments to minimize water concentrations (Figure A).
3. Long slopes should be broken up with intermediate rows of silt fence to slow runoff velocities.
4. Attach fabric to upstream side of post.
5. Install posts a minimum of 2' into the ground.
6. Trenching will only be allowed for small or difficult installation, where slicing machine cannot be reasonably used.

Maintenance:

1. Remove and dispose of sediment deposits when the deposit approaches 1/3 the height of silt fence.
2. Repair as necessary to maintain function and structure.

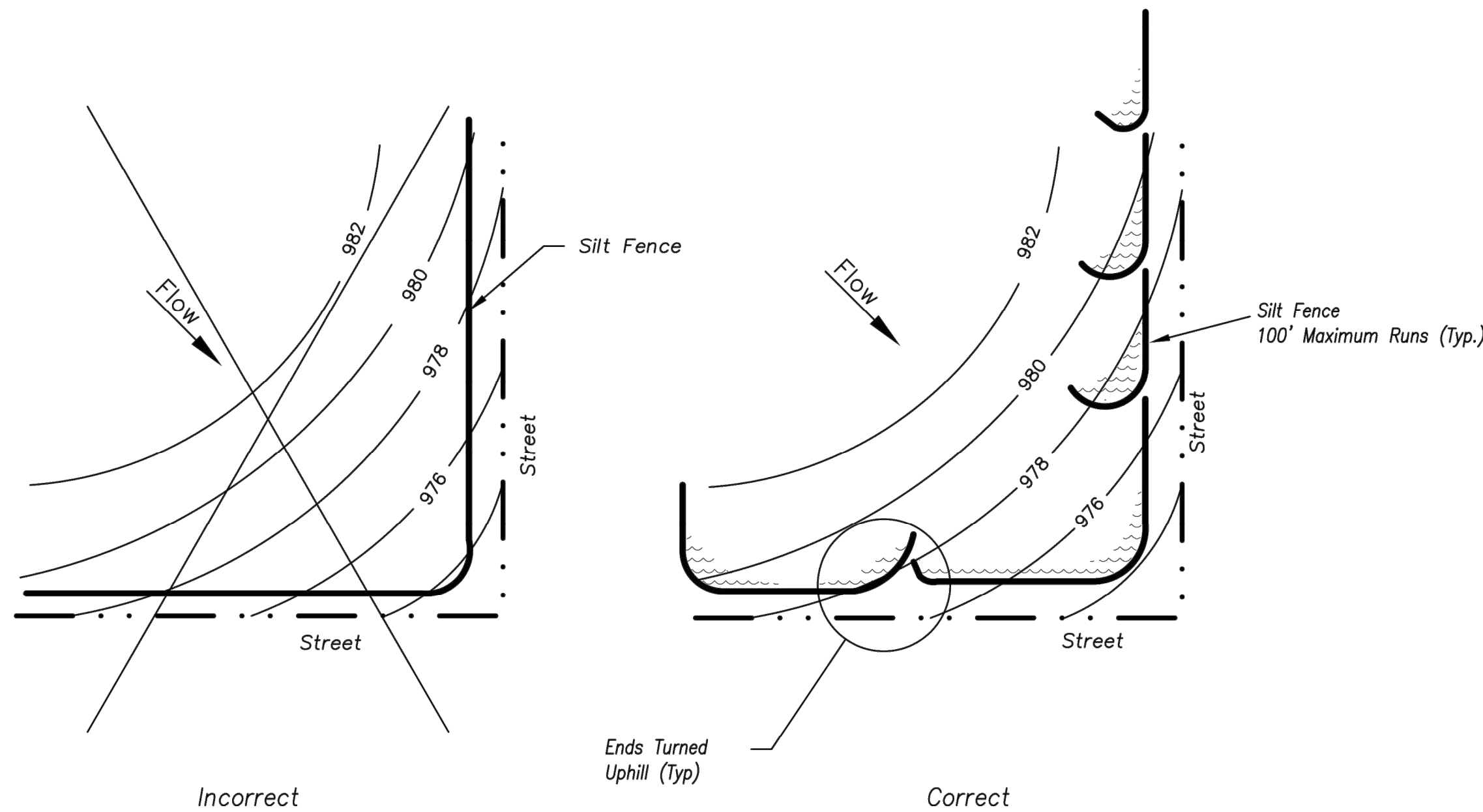
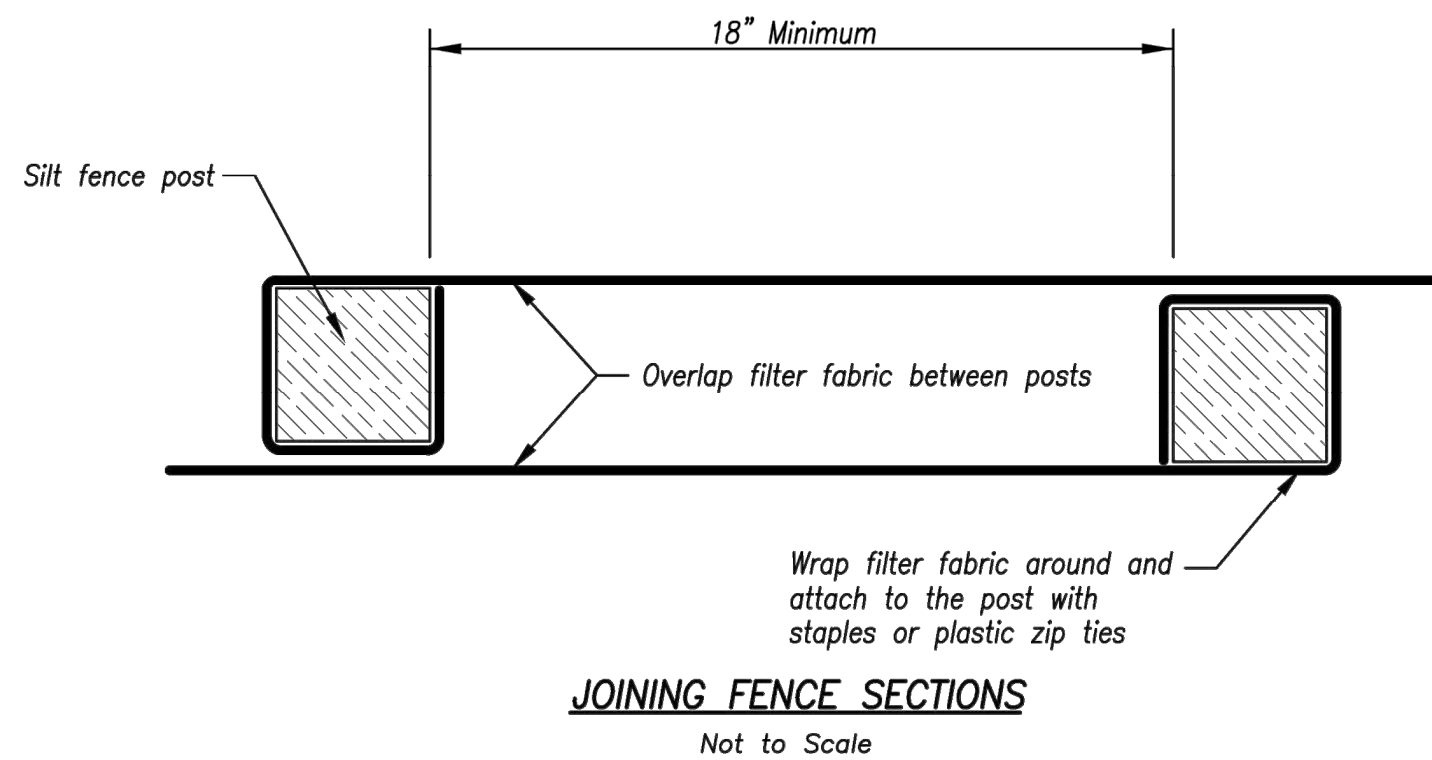
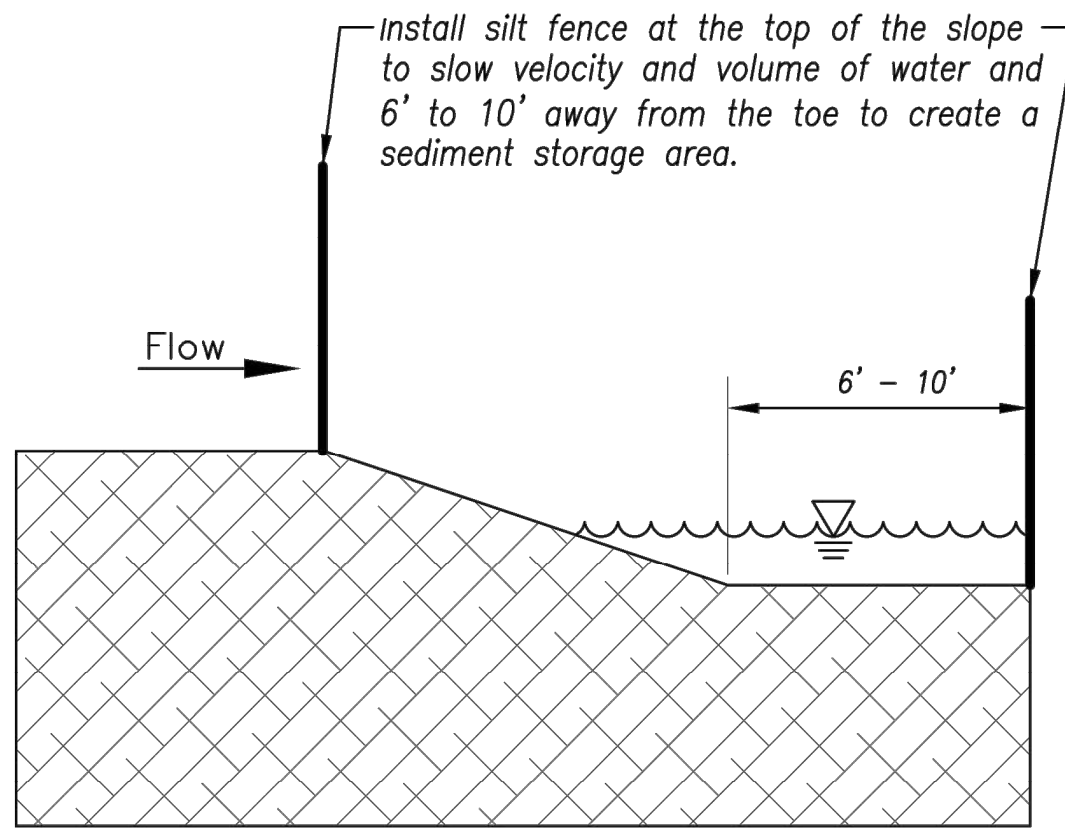


Figure A

SILT FENCE LAYOUT

Not to Scale



AMERICAN PUBLIC WORKS ASSOCIATION



KANSAS CITY
METRO CHAPTER

SILT FENCE

STANDARD DRAWING
NUMBER ESC-03
ADOPTED:
10/24/2016

Modified from 2015 Overland Park Standard Details for Erosion and Sediment Control.

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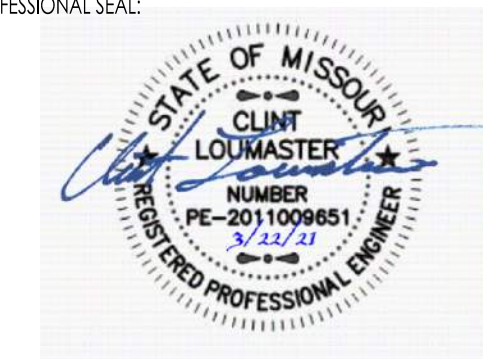
PROJECT:

Paragon Star Village
1401 NW View High Dr, Lee's Summit, MO 64081

Final Development Plan - Lot 20/HUB Building

ISSUE:

PROFESSIONAL SEAL:



DRAWING TITLE:

Erosion Control
Details

JOB NO: 1249

SCALE:

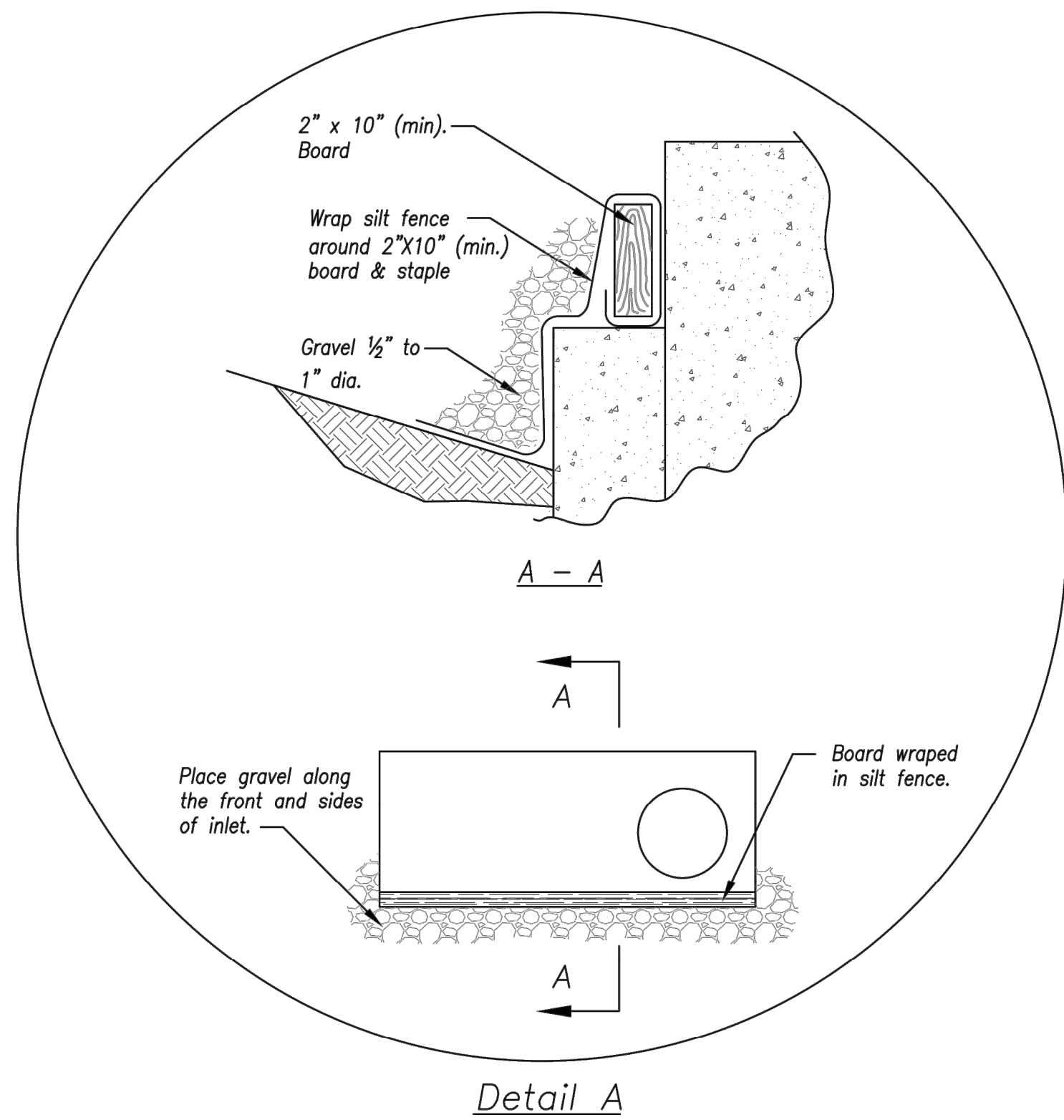
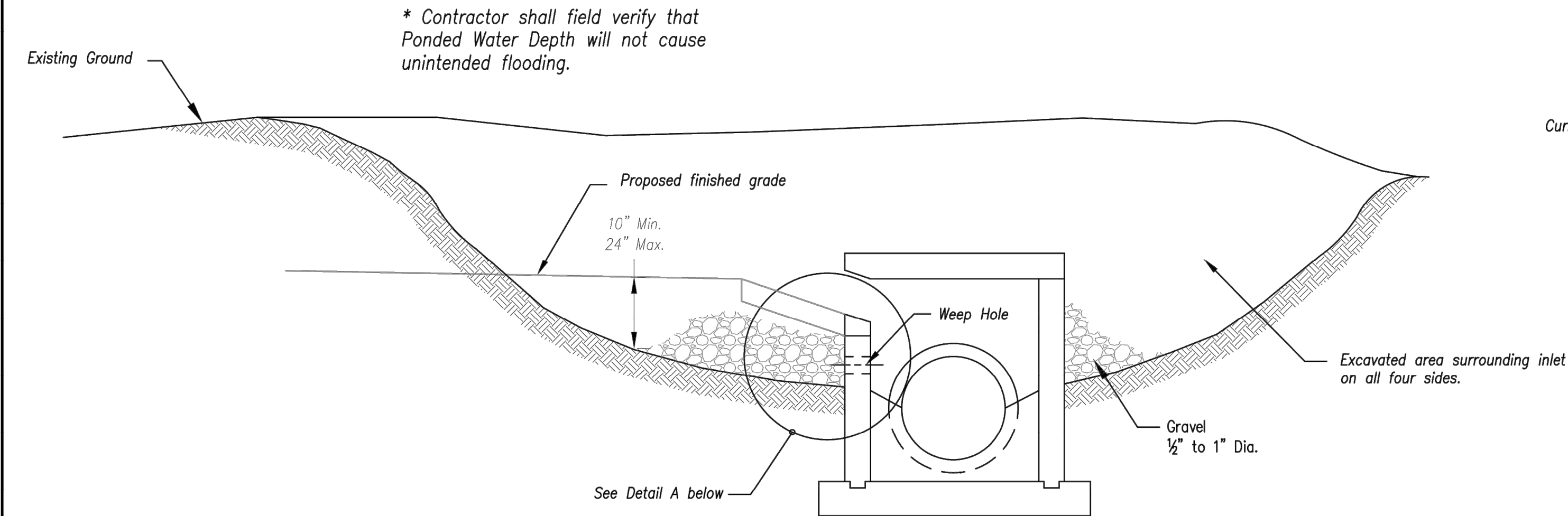
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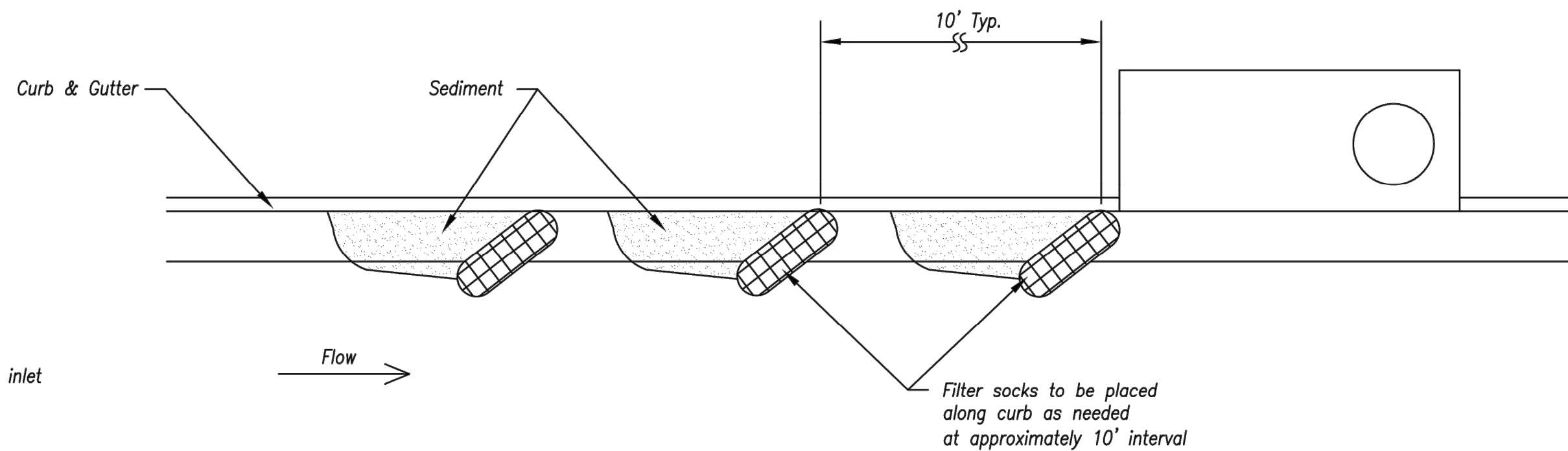
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C009

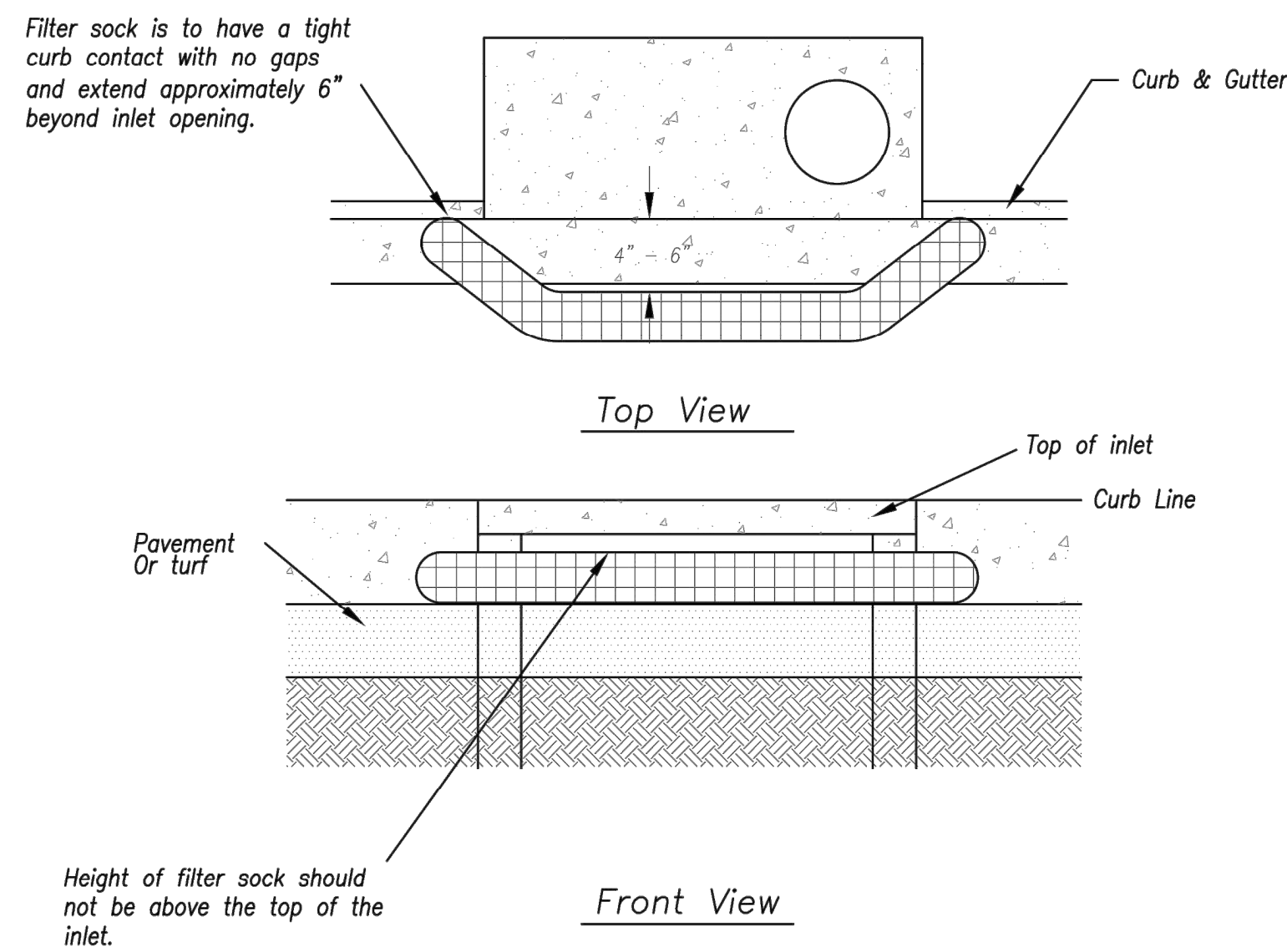
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EARLY STAGE CURB INLET
(Open Box and Prior to Pouring Curb and Inlet Throat)



On Grade Curb Inlet Protection



Sump Inlet Sediment Filter

LATE STAGE CURB INLET
(After Pouring Curb and Inlet Throat)


Notes:

1. Immediately following inlet construction and prior to construction of curb and inlet throat, protect inlet opening by installing 2" X 10" (min.) board wrapped in silt fence. Structures shall have excavated storage area on all four sides to allow settling of sediment (Early Stage Curb Inlet).
2. When inlet is completed and curb poured, filter socks or approved equal should be used (Late Stage Curb Inlet). Straw wattles are not approved for curb inlet use.
3. Contractor to field verify ponding water shall not create a traffic hazard.

Maintenance:

1. Remove deposited sediment from excavated storage areas when available storage has been reduced by 20%.
2. Remove deposited sediment from filter socks or similar when any accumulation of sediment is visible.
3. Repair or replace as necessary to maintain function and integrity of installation.

Modified from 2015 Overland Park Standard Details for Erosion and Sediment Control.

AMERICAN PUBLIC WORKS ASSOCIATION	
	KANSAS CITY METRO CHAPTER
CURB INLET PROTECTION	STANDARD DRAWING NUMBER ESC-06 ADOPTED: 10/24/2016

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PROFESSIONAL SEAL:



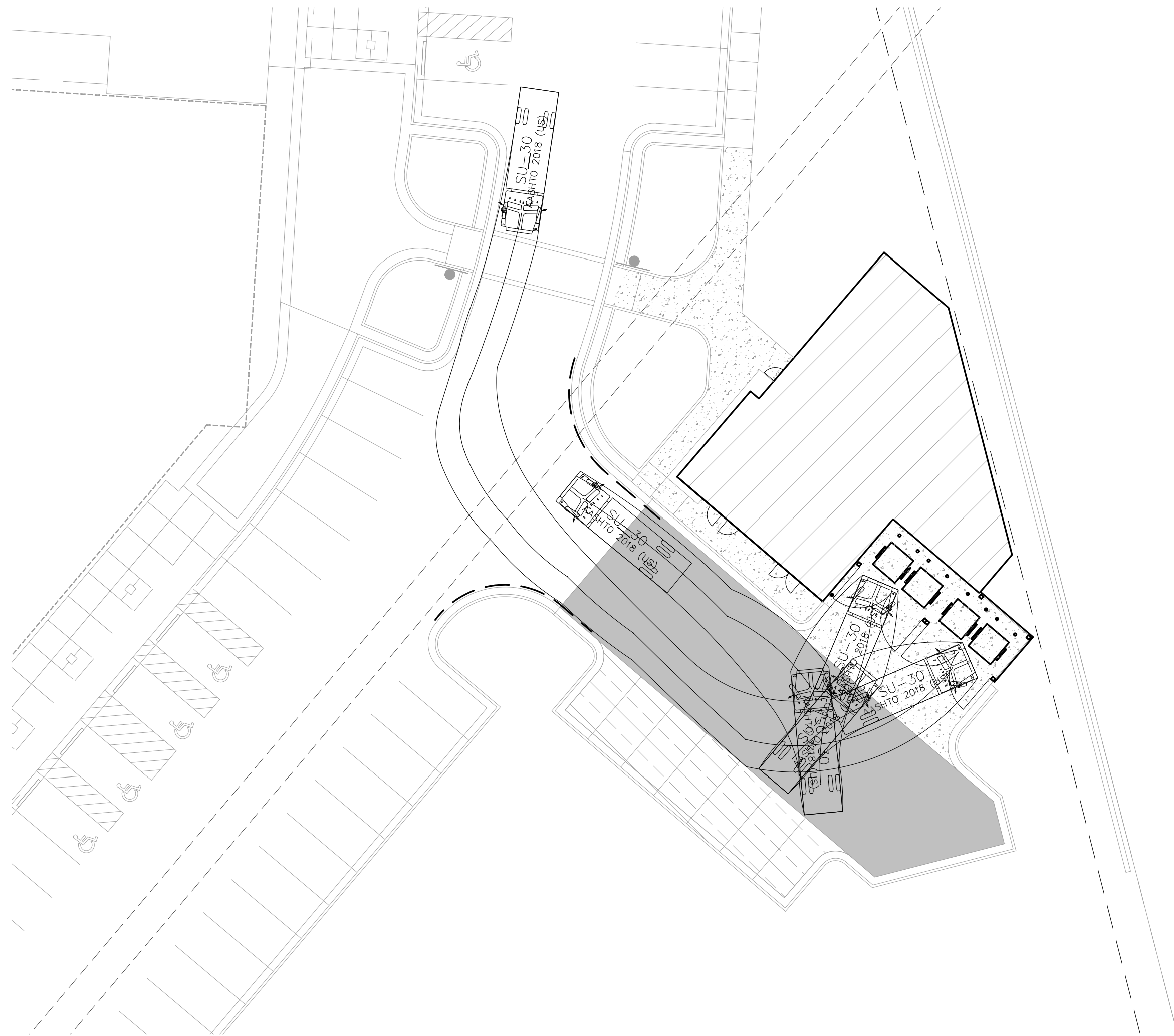
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**Erosion Control
Details**

JOB NO: 1249 SCALE:
DATE: 03.22.2021 DRAWN BY: JRH

SHEET NO:

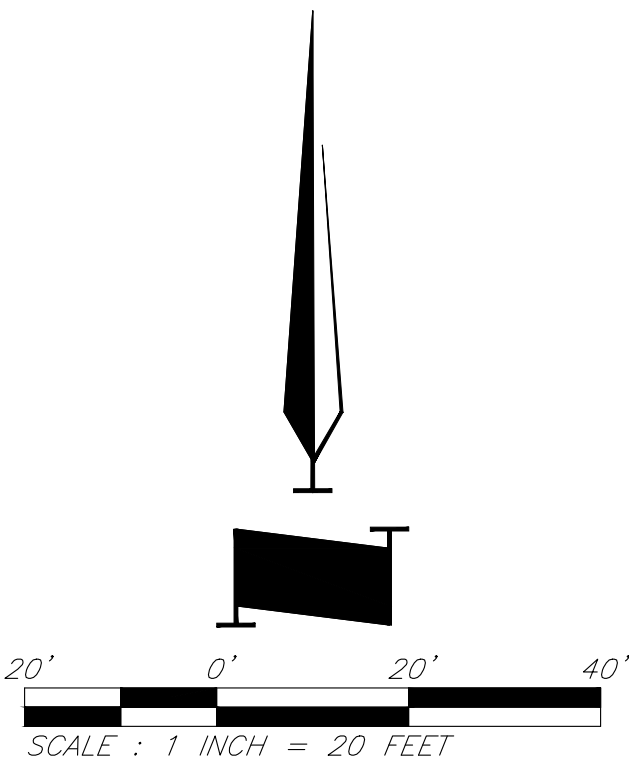
C010



Legend

— — — — 2' offset from face of curb

Turning Movements using SU-30 Design Vehicle.
Movements to a 2' clearance from tire track and curb.



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PROFESSIONAL SEAL



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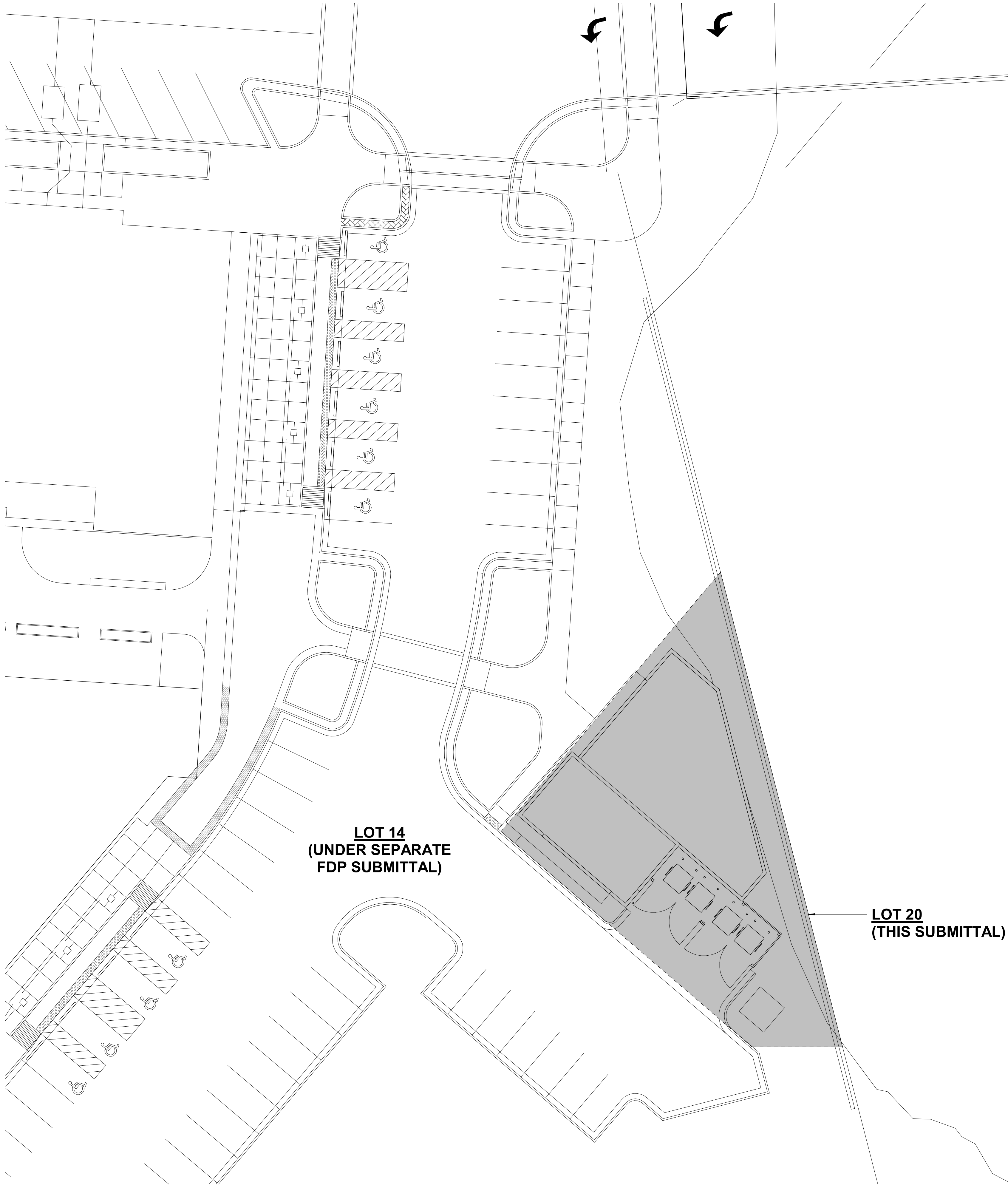
Truck Turning Movement

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1 | FDP - SITE PLAN
1/16" = 1'-0"



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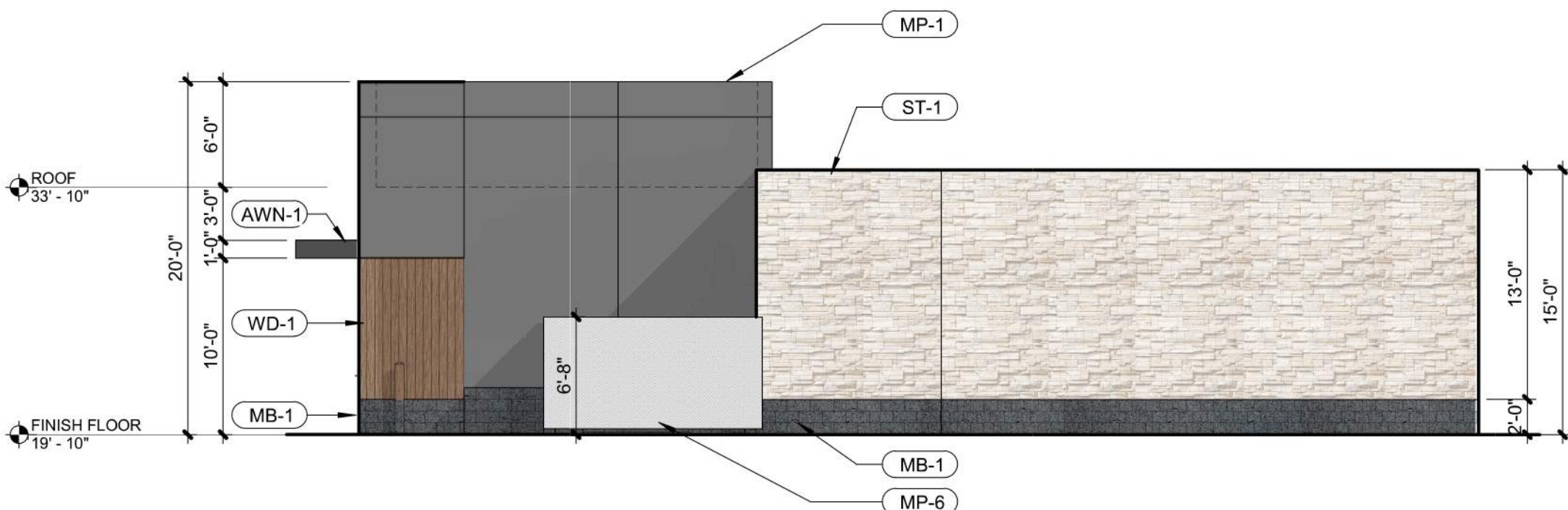
**ARCHITECTURAL
SITE PLAN**

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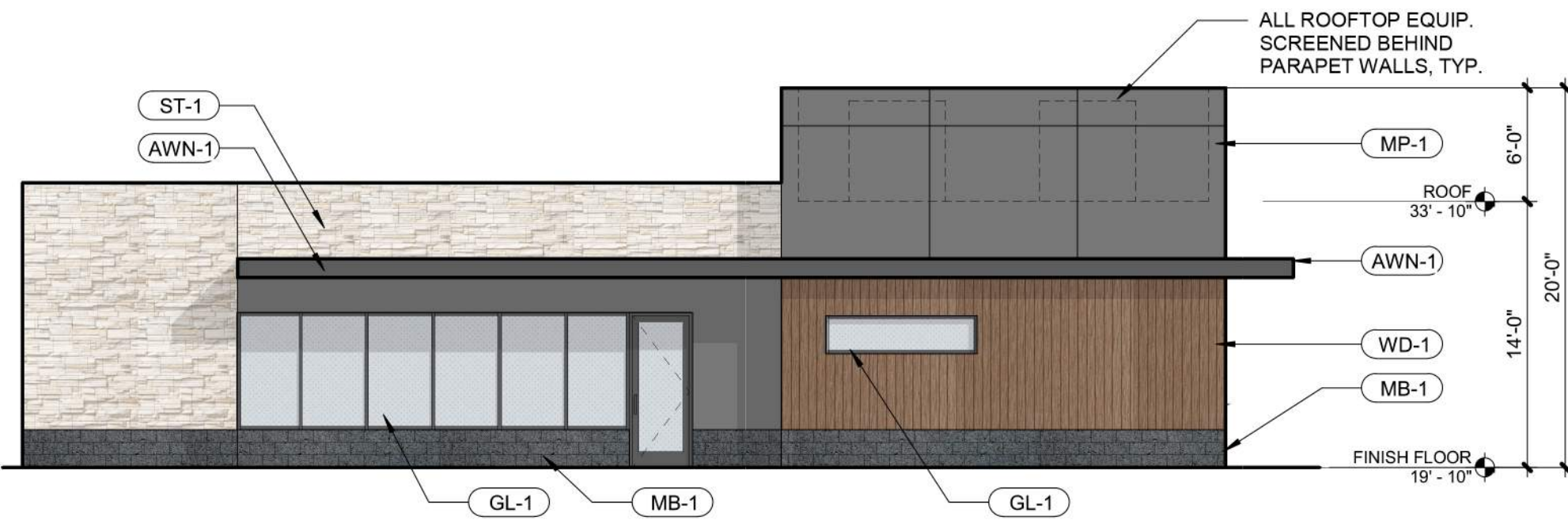
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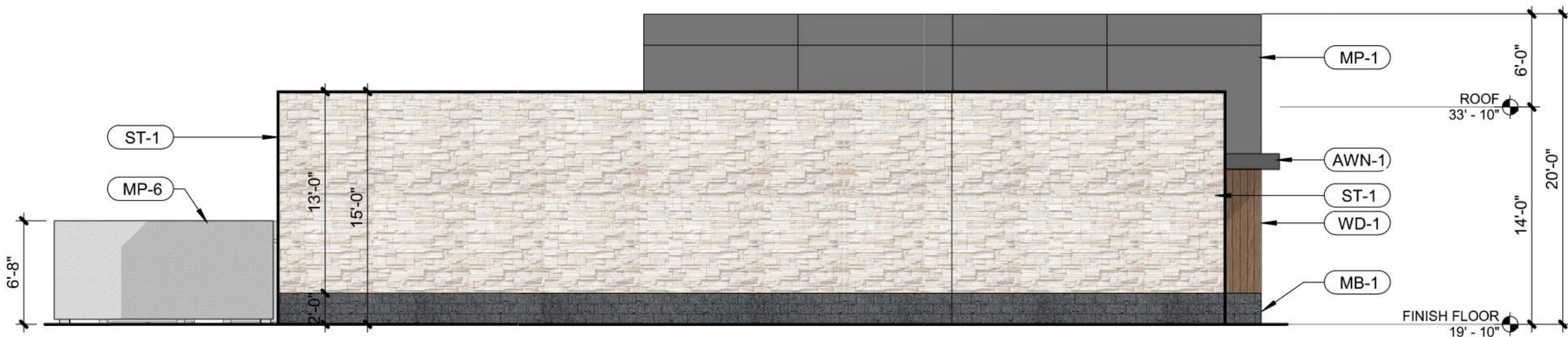
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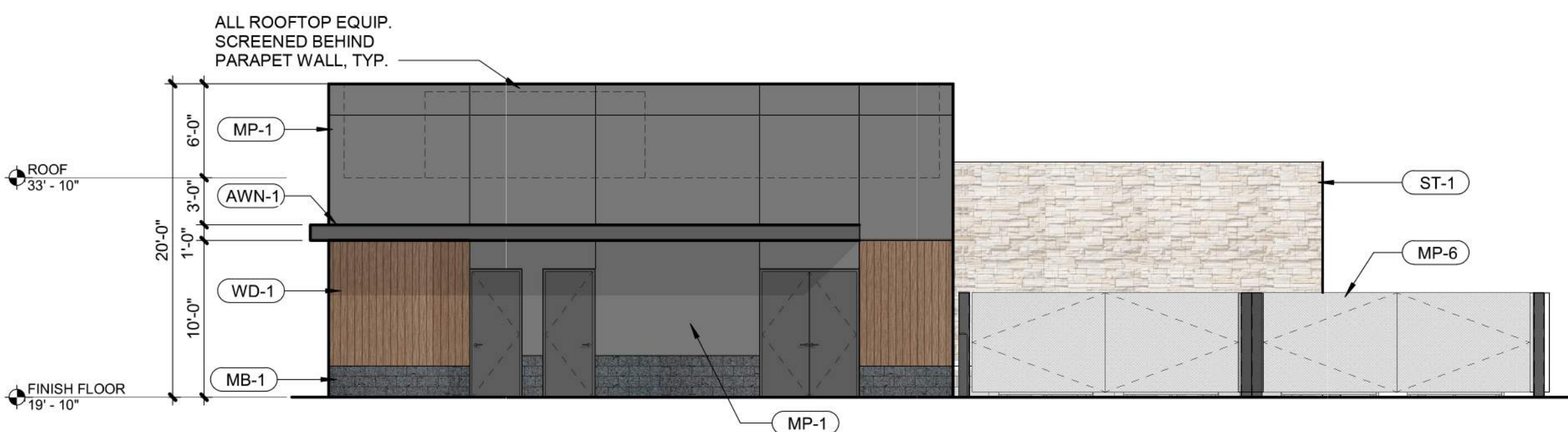
05 | EAST ELEVATION
1/8" = 1'-0"



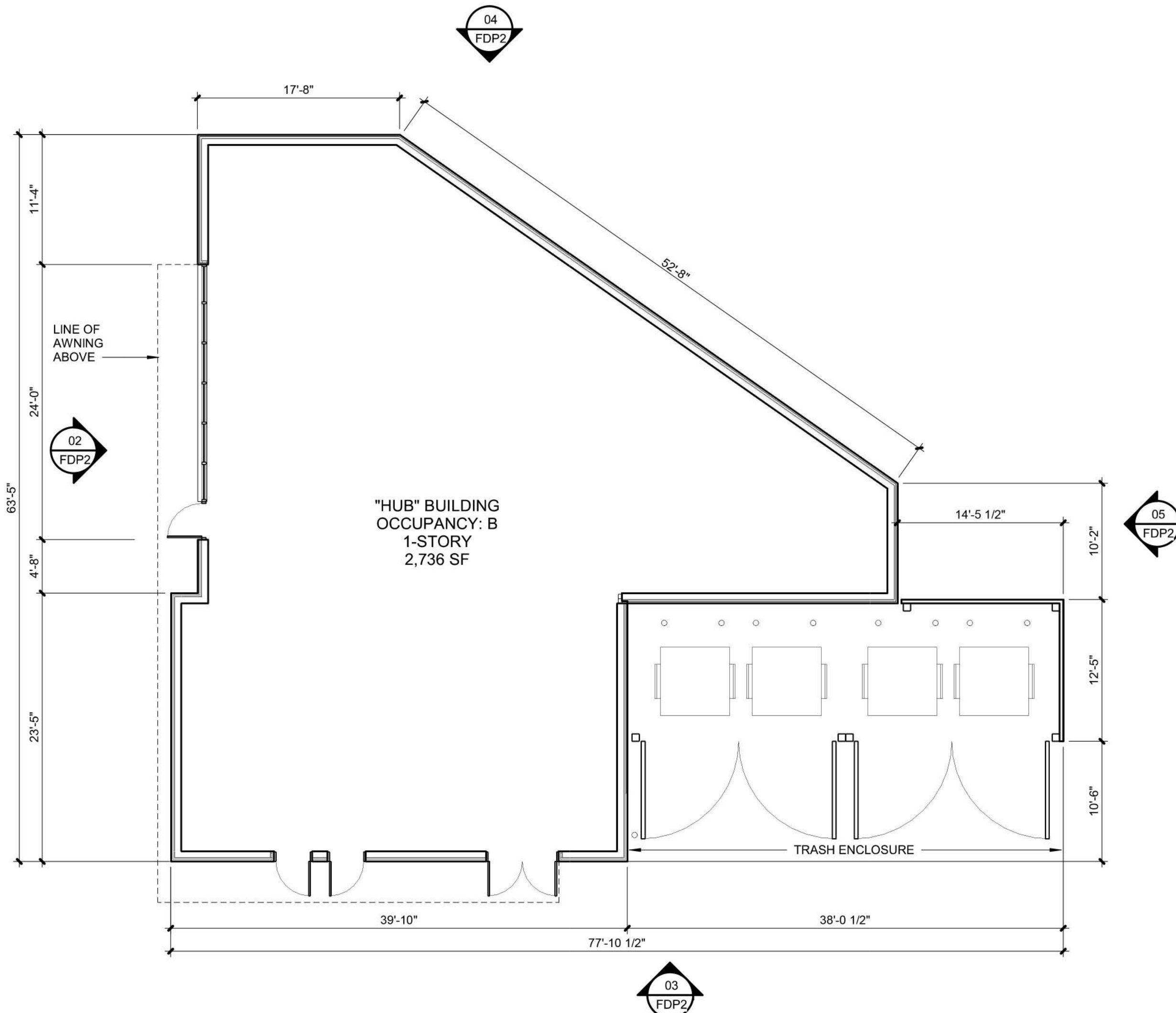
02 | WEST ELEVATION
1/8" = 1'-0"



04 | NORTH ELEVATION
1/8" = 1'-0"



03 | SOUTH ELEVATION
1/8" = 1'-0"



01 | FDP - FLOOR PLAN
1/8" = 1'-0"

EXTERIOR MATERIAL LEGEND

- MP-1 ALUMINUM COMPOSITE METAL (ACM) DRY SYSTEM, ALLUCOBOND, COLOR: NAUTRAL BRUSHED CARBON, ACM PANEL JOINTS TO ALIGN W/ GLAZING PER ELEVATIONS
- MP-6 PERFORATED METAL PANEL ON STEEL TUBE GATE/FRAME AT TRASH ENCLOSURE/SCREEN FENCE
- WD-1 GEOLAM VERTIGO 5010 COMPOSITE CLADDING, COLOR: MOLESKIN
- GL-1 STOREFRONT TYPE 1: 2" x 4.5" KAWNEER PERMACOAT SMOKE GRAY ALUMINUM CENTER GLAZED STOREFRONT SYSTEM W/ 1" INSULATED LOW-E GLAZING UNIT
- ST-1 ELDORADO CULTURED STONE VANTAGE 30, COLOR: WHITE ELM
- MB-1 GROUND FACE 6X16 MASONRY BLOCK PER STRUCTURAL DWGS, BURNISHED FINISH, COLOR: MIDWEST SLATE
- AWN-1 CANOPY: PAINTED STEEL CHANNEL FRAME WITH GEOLAM VERTIGO 5010 SOFFIT, COLOR: MOLESKIN

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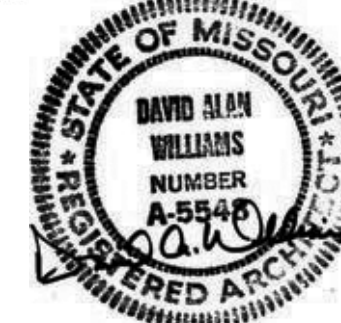
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PROJECT:

Paragon Star Village
1401 NW View High Dr, Lee's Summit, MO 64081
Final Development Plan - Lot 20/HUB Building

ISSUE:

PROFESSIONAL SEAL:



DRAWING TITLE:

**FLOOR PLAN
AND
ELEVATIONS**

JOB NO: 1249

SCALE:

DATE: 03.22.2021

DRAWN BY: EF

SHEET NO:

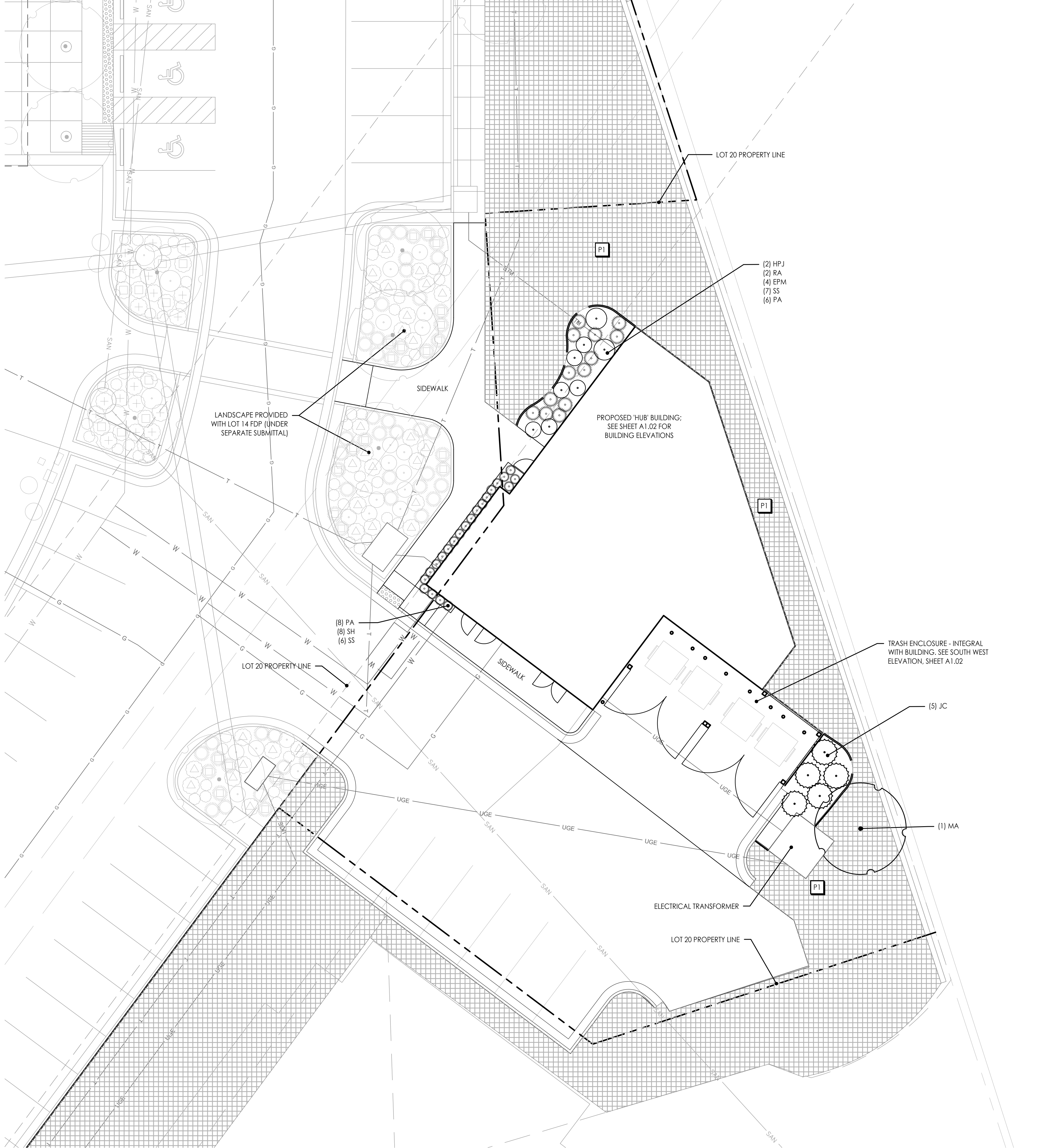
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1 PLANTING PLAN - LOT 20 / HUB BUILDING
Scale: 1"= 10'-0"



PLANTING NOTES

1. THIS PLAN PROVIDES LAYOUT, QUANTITY & SIZES OF ALL PLANT MATERIAL TO BE INSTALLED BY THE LANDSCAPE CONTRACTOR. REFER TO **SECTION 329300 - PLANTS** AND **SECTION 329200 - TURF AND GRASSES** FOR COMPLETE SCOPE OF WORK, RESPONSIBILITIES, PRODUCTS & EXECUTION OF WORK.
2. CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITIES BY CONTACTING ALL OF THE RESPECTIVE UTILITY COMPANIES AND/ OR THE LOCAL "ONE-CALL"/"CALL-BEFORE-YOU-DIG" SYSTEM AND BY EXCAVATING TEST PITS IF NECESSARY.
3. LOCATIONS OF ALL PLANT MATERIALS SHALL BE STAKED IN THE FIELD AND APPROVED BY THE OWNERS REPRESENTATIVE PRIOR TO PLANTING.
4. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE TO SEED ALL DISTURBED AREAS BACK TO ORIGINAL FINISHED GRADE ELEVATIONS, INCLUDING, EQUIPMENT MATERIAL STORAGE AREA AND STAGING AREAS ADJACENT TO SITE.

PLANTING SCHEDULE

SYM.	KEY	COMMON NAME BOTANICAL NAME	SIZE & REMARKS
●	ORNAMENTAL TREE		
	MA	Royal Raindrops® Crabapple <i>Malus 'JFS-KWS'</i>	3" cal.
●	EVERGREEN TREE		
	JC	Perfecta Juniper <i>Juniperus chinensis 'Perfecta'</i>	8' ht. min.
●	DECIDUOUS SHRUB		
	RA	Grow-low Sumac <i>Rhus aromatica 'Gro-low'</i>	3 gal.
	HPJ	Little Lime® Hydrangea <i>Hydrangea paniculata 'Jane'</i>	5 gal.
●	ORNAMENTAL GRASS		
	PA	Dwarf Fountain Grass <i>Pennisetum alopecuroides 'Hameln'</i>	1 gal.
	SS	Little Bluestem <i>Schizachyrium scoparium</i>	1 gal.
	SH	Prairie Dropseed <i>Sporobolus heterolepis</i>	1 gal.
●	PERENNIAL/GROUND COVER		
	EPM	Purple Coneflower <i>Echinacea purpurea 'Magnus'</i>	1 gal.
TURF/SEED MIXES			
P1	Native Prairie Seed Mix Butterfly Milkweed- <i>Asclepias tuberosa</i> (5%) Blue Wild Indigo- <i>Baptisia australis</i> (5%) New Jersey Tea- <i>Ceanothus americanus</i> (5%) Amethyst Vernal Witchhazel (10%) Switchgrass- <i>Panicum virgatum</i> (13%) Little Bluestem- <i>Schizachyrium scoparium</i> (30%) Indiangrass- <i>Sorghastrum nutans</i> (20%) Fall Aster - <i>Symphyotrichum oblongifolium</i> (10%)		

LANDSCAPE CALCULATIONS

	Ordinance Requirement	Required for this Site	Proposed
8.790.A.2 Street Frontage Trees	One (1) tree per 30 linear feet of street frontage. 20-foot-wide landscape strip along street frontage	Provided by overall development landscaping	N/A
8.790.A.2 Street Frontage Green Strip	20-foot-wide landscape setback	Provided by overall development landscaping	N/A
8.790.A.3 Street Frontage Shrubs	One (1) shrub per 20 linear feet of street frontage	Provided by overall development landscaping	N/A
8.790.B.1 Open Yard Areas	Two (2) shrubs per 5,000 SF of total lot area, excluding building footprint	Site area 0.16 Ac (7,153 sf) - Building (2,736 sf) = 4,417 sf 2 shrubs required	43 Shrubs provided
8.790.B.2 Open Yard Areas	All portions of site not covered with paving or buildings must be landscaped. Ground covers used on slopes in excess of 3:1		Meets requirement
8.790.B.3 Open Yard Areas	Additional trees required at a ratio of one (1) tree for every 5,000 square feet of lot area not covered by buildings/structures	Site area 0.16 Ac (7,153 sf) - Building (2,736 sf) = 4,417 1 tree required	1 tree provided
8.810.A Parking Lot Landscape Islands	Islands required, constituting at least 5% of the entire parking lot area. Every four rows of parking shall include an island at least 10' in width.	Parking lot area (3922 sf) x 0.05 = 197 sf required	288 sf planted islands; additional islands adjacent to FDP parcel
8.810.B Parking Lot Landscape Islands	Islands are required at the end of every parking bay, at least 9 foot wide and one-half the length of the adjacent parking space. Island shall be planted in trees, shrubs, grass or ground cover		Islands @ each end of parking bay
8.810.C Parking Lot Landscape Islands	Tree planting areas shall be no less than ten feet in width. No tree shall be less than four feet from the back of curb. All islands, strips or other planting areas shall be curbed.		Meets requirement
8.820.C.1 Parking Lot Screening, if required	Planted Only: A hedge consisting of at least 12 shrubs per 40 linear feet. Shrubs must be at least 18 inches tall at the time of planting	Provided by overall development landscaping	N/A

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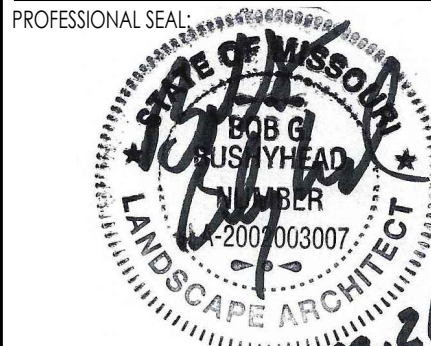
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