

PROJECT DIRECTORY

OWNER / DEVELOPER
TM CROWLEY
501 PENNSYLVANIA PARKWAY SUITE 160
INDIANAPOLIS, IN 46280
(317) 705-8800

CIVIL ENGINEER
PREMIER DESIGN GROUP
100 MIDLAND PARK DRIVE
WENTZVILLE, MO 63385
314-925-7444
CONTACT: MATT FOGARTY

MUNICIPALITY
CITY OF LEE'S SUMMIT
200 SE GREEN
LEE'S SUMMIT, MO 64063
(816) 969-1239
CONTACT: JENNIFER THOMPSON

UTILITY PROVIDERS

WATER
CITY OF LEE'S SUMMIT WATER
1200 SE HAMBLIN RD
LEE'S SUMMIT, MO 64081
(816) 969 1900
CONTACT: T.B.D.

ELECTRIC
EVERGY ELECTRIC
1351 NW WARD RD
LEE'S SUMMIT, MO 64086
(888) 471-5275
CONTACT: T.B.D.

GAS
SPIRE GAS
1117 S. PLEASANT ST
INDEPENDENCE, MO 64050
(800) 582-1234
CONTACT: T.B.D.

TELEPHONE
AT&T BUSINESS COMMUNICATION SERVICES
(618) 346-6400
CONTACT: T.B.D.

FIRE DEPARTMENT
CITY OF LEE'S SUMMIT FIRE PROTECTION
207 E. DOUGLAS BLVD
LEE'S SUMMIT, MO 64063
(816) 969-1313
CONTACT: MIKE SNIDER - FIRE CHIEF

SANITARY SEWER
CITY OF LEE'S SUMMIT SEWER
1200 SE HAMBLIN ROAD
LEE'S SUMMIT, MO 64081
(816) 969 1900
CONTACT: T.B.D.

CABLE
SPECTRUM
188 NW OLDHAM PKWY
LEE'S SUMMIT, MO 64081
(874) 874 2389
CONTACT: T.B.D.

CONSTRUCTION PLANS FOR



250 NW MCNARY CT.

ALL OF LOT 3B, SUMMIT TEC ANNEX-LOTS 3A, 3B, AND 3C, A SUBDIVISION IN LEE'S SUMMIT, JACKSON COUNTY, MISSOURI, ACCORDING TO THE RECORDED PLAT THEREOF, BEING A REPLAT OF LOT I AND TRACT A OF BLOCK 3 OF SUMMIT TEC INDUSTRIAL PARK, A SUBDIVISION IN LEE'S SUMMIT, JACKSON COUNTY, MISSOURI.



LOCATION MAP
1" = 250'

DISTURBED AREA = 1.63 ACRES

DATUM BENCHMARK

JA-43: KC METRO ALUM GRS DISK SET IN CONCRETE : KC METRO ALUM GRS DISK SET IN CONCRETE ABOUT 0.5 MILES SOUTH OF THE I-470 INTERSECTION WITH DOUGLAS ROAD AND NEAR THE INTERSECTION WITH NW VICTORIA STREET. ELEV:934.77

SITE BENCHMARKS

BM#1 - CHISELED SQUARE CUT INTO THE MIDDLE FRONT OF THE : CHISELED SQUARE CUT INTO THE MIDDLE FRONT OF THE WEST CURB INLET AT THE END OF CUL-DE-SAC ELEV= 999.04

BM#2 - CHISELED CROSS AT THE NORTHERN END OF INLET AT END OF CUL-DE-SAC ELEV:999.16

BM#3 - CHISELED CROSS AT THE SOUTHEAST CORNER OF THE SOUTHWESTERN CURB INLET LOCATED PRIOR TO THE CUL-DE-SAC ROUNDING. ELEV: 1006.12

MBOE - (MINIMUM BUILDING OPENING ELEVATION)
ELEV = 1001.00



SHEET INDEX

- C-000 COVER SHEET
- C-001 GENERAL NOTES
- C-100 SITE PLAN
- C-200 GRADING PLAN
- C-300 UTILITY PLAN
- C-400 INITIAL EROSION CONTROL PLAN
- C-401 INTERMEDIATE EROSION CONTROL PLAN
- C-402 FINAL EROSION CONTROL PLAN
- C-403 EROSION CONTROL DETAILS
- C-500 EXISTING DRAINAGE AREA MAP
- C-501 STORMWATER MANAGEMENT PLAN
- C-600 STORM SEWER PROFILES
- C-601 OUTFALL STRUCTURE DETAIL
- C-602 BASIN DETAILS
- C-700 CONSTRUCTION DETAILS
- C-701 ADA DETAIL
- C-800 UTILITY DETAILS
- C-801 UTILITY DETAILS
- L-100 LANDSCAPE PLAN

PROPERTY DATA

OVERALL SITE ACREAGE	±2.11 ACRES - 92.014 S.F.
ADDRESS	250 NW MCNARY CT.
PARCEL ID#	52-900-03-42-00-0-00-000
EXISTING ZONING	CP-2
CURRENT LAND USE	VACANT COMMERCIAL PROPERTY
PROPOSED LAND USE	PET SERVICES AND VETERINARY CLINIC

LEGAL DESCRIPTION:

ALL OF LOT 3B, SUMMIT TEC ANNEX-LOTS 3A, 3B, AND 3C, A SUBDIVISION IN LEE'S SUMMIT, JACKSON COUNTY, MISSOURI, ACCORDING TO THE RECORDED PLAT THEREOF, BEING A REPLAT OF LOT I AND TRACT A OF BLOCK 3 OF SUMMIT TEC INDUSTRIAL PARK, A SUBDIVISION IN LEE'S SUMMIT, JACKSON COUNTY, MISSOURI.

SITE COVERAGE CALCULATIONS

SITE AREA = 2.11 ACRES
FLOOR TO AREA RATIO
14,100/92,014 = 0.15% FAR

EXISTING IMPERVIOUS AREA PARKING LOT AND BUILDING
0.00 ACRES OF PAVEMENT
0.00 ACRES OF BUILDING

EXISTING GREEN SPACE
2.11 ACRES

EXISTING PERCENT OF IMPERVIOUS AREA COVERAGE = 0%

PROPOSED IMPERVIOUS AREA PARKING LOT AND BUILDING
0.87 ACRES OF PAVEMENT
0.32 ACRES OF BUILDING

PROPOSED GREEN SPACE
1.12 ACRES OF GREEN SPACE

PROPOSED PERCENT OF IMPERVIOUS AREA COVERAGE = 46.9%

ELECTRONIC DRAWING NOTE:

ELECTRONIC MEDIA OR DIGITAL DRAWINGS ARE INSTRUMENT OF PROFESSIONAL SERVICES. OWNERSHIP OF SUCH WILL BE RETAINED BY THE CIVIL ENGINEER AND MAY NOT BE RELEASED TO CONTRACTORS. CONTRACTORS ARE ADVISED TO CREATE BIDS BASED ON THE USE OF PAPER COPIES OF THE PLANS.

PREMIER DESIGN GROUP
100 MIDLAND PARK DRIVE
WENTZVILLE, MO 63385
MISSOURI CERTIFICATE OF AUTHORITY #E-2008000031
MISSOURI CERTIFICATE OF AUTHORITY #E-2008007849
MISSOURI CERTIFICATE OF AUTHORITY #E-2008007528

STATE OF MISSOURI
STEVEN D. MARION
NUMBER
PE2006007195
PROFESSIONAL ENGINEER

ENGINEERS AUTHENTICATION

The responsibility for professional engineering liability on this project is hereby limited to the set of plans authorized by the seal, signature, and date hereunder attached. Responsibility is disclaimed for all other engineering plans involved in this project and specifically excludes revisions after the date values reauthorized.

STEVEN D. MARION P.E.
PROFESSIONAL ENGINEER
PE 2006007195

PETSUITES OF AMERICA
LEE'S SUMMIT, MO
250 NW MCNARY CT.
LEE'S SUMMIT, MO 64086
TM CROWLEY
501 PENNSYLVANIA PARKWAY SUITE 160
INDIANAPOLIS, IN 46280

Project		Date	
1-27-2021		1-27-2021	
#	Revision Date	Description of Changes	Sheet Title
1	3-10-2021	REVISED C-100 THROUGH C-401, C-601 THROUGH L-100	COVER SHEET

C-000

Project No.	2008920
Drawn By	Z. KUNTZ/A. JONES
Checked By	M. FOGARTY

NOT RELEASED FOR CONSTRUCTION

\\va01hpc-vault\ITM\3D PROJECTS\2020\2008920_PetSuites_Archery C1 Lot 3B_Lee Summit\ENGINEERING\CONSTRUCTION DOCUMENTS\C-000 COVER SHEET.dwg

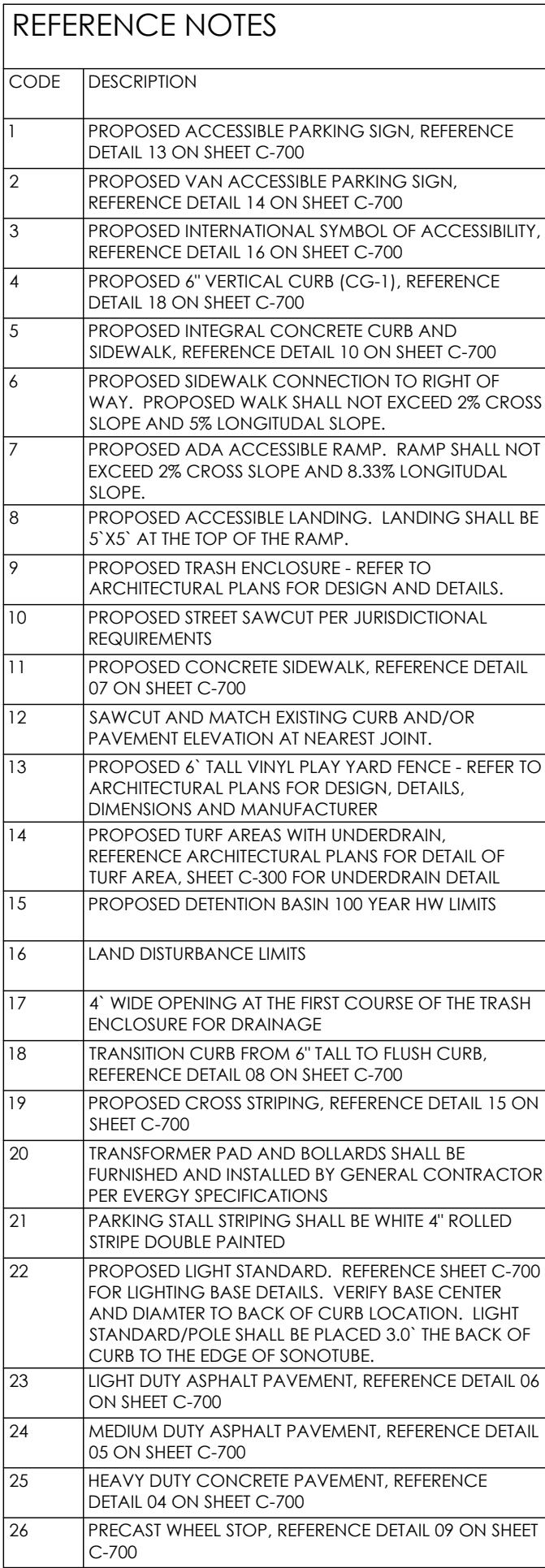


UNDERGROUND UTILITIES AND OSHA SAFETY NOTE:
Underground utilities and structures have been plotted from available information and therefore, their location must be considered approximate only. It is the responsibility of the individual contractors to notify the utility companies before actual construction. All O.S.H.A. rules and regulations established for the type of construction required by these plans shall be strictly followed (ie. trenching, blasting, etc.)

\\Vault-pc\\vault\\CIVIL 3D PROJECTS\\2020\\2008920_PetSutiles_McNary Ct Lot 3B_Lee Summit\\ENGINEERING\\CONSTRUCTION DOCUMENTS\\GENERAL NOTES.dwg

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- Underground utilities and structures have been plotted from available information and therefore, their location must be considered approximate only. It is the responsibility of the individual contractors to notify the utility companies before actual construction. All O.S.H.A. rules and regulations established for the type of construction required by these plans shall be strictly followed (ie. trenching, blasting, etc.)



PAVEMENT NOTES

1. PAVEMENT THICKNESS SHALL BE AS FOLLOWS:
(UNLESS NOTED OTHERWISE ON PLAN)

LIGHT DUTY ASPHALT PAVEMENT

- 1.5" TYPE "C" ASPHALT SURFACE COURSE
- 2" TYPE "X" ASPHALT BASE COURSE
- 6" MODOT TYPE 5 STABILIZED BASE WITH GEOTRID OR
- 6" MODOT TYPE 5 AGGREGATE WITH 6" STABILIZED BASE

MEDIUM DUTY ASPHALT PAVEMENT (DRIVE AISLE)

- 2" TYPE "C" ASPHALT SURFACE COURSE
- 2" TYPE "X" ASPHALT BASE COURSE
- 12" MODOT TYPE 5 AGGREGATE WITH GEOTRID OR 6"
- 6" MODOT TYPE 5 AGGREGATE WITH 9" STABILIZED BASE

HEAVY DUTY CONCRETE PAVEMENT

- 18" NON-REINFORCED PORTLAND CEMENT CONCRETE (PAV)
- 18" NON-REINFORCED PORTLAND CEMENT CONCRETE
- 4" MODOT TYPE 5 AGGREGATE BASE

CONCRETE SIDEWALKS

- 4" PORTLAND CEMENT CONCRETE
- 4" MODOT TYPE 5 AGGREGATE BASE

1. BASIS OF BEARINGS: THIS SURVEY WAS ADOPTED FROM THE MISSOURI STATE PLANE COORDINATE SYSTEM, NAD 1983 - WEST ZONE
2. CURRENT ZONING: CP-2
3. SITE AREA = ±21.1 ACRES
4. PROPOSED USE - PESUITES AND VETERINARY CLINIC
5. PROPOSED BUILDING HEIGHT - REFER TO ARCHITECTURAL PLANS
6. PARKING SETBACK:
20' MINIMUM FROM NW MCNARY COURT
6' MINIMUM FROM SIDE AND REAR YARDS
7. BUILDING SETBACKS:
FRONT BUILDING SETBACK: 25'
SIDE BUILDING SETBACK: NONE - ABUTTING COMMERCIAL
REAR BUILDING SETBACK: 20'
8. FLOOR AREA RATIO - 14.100/29.014 = 0.15 FAR
9. IMPERVIOUS COVERAGE - SITE = 33%
10. PARKING AND LOADING REQUIREMENTS
REQUIRED PARKING - TWO AND A HALF (2.5) SPACES PER 1,000 SQ. FT. OF BUILDING AREA
14.100 / 1,000 = 14.1 x 2.5 = 35.25 OR 36 PARKING SPACE REQUIRED
PROVIDED PARKING= 37 PARKING SPACES
11. PER FEMA FIRM MAP #29059C0417G, EFFECTIVE ON 01/10/2017 THE PROPERTY IS ZONED IN THE 100 YEAR FLOOD AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN.
12. THIS PROPERTY IS LOCATED WITHIN THE LITTLE CEDAR CREEK WATERSHED.
13. OIL AND GAS WELL LOCATIONS: BASED ON MIDCON STATE OIL AND GAS COUNCIL, THERE ARE NO ACTIVE WELLS AS OF JUNE 2, 2020. ALL EXISTING OIL AND GAS WELLS FOR THIS COUNTY-TOWNSHIP-RANGE HAVE BEEN ABANDONED OR PLUGGED.

PETSUITES OF AMERICA
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250 NW MCNARY CT.
LEE'S SUMMIT, MO 64086
TM CROWLEY
501 PENNSYLVANIA PARKWAY SUITE 160
INDIANAPOLIS, IN 46280

Project _____
Date 1-27-2021

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C-100

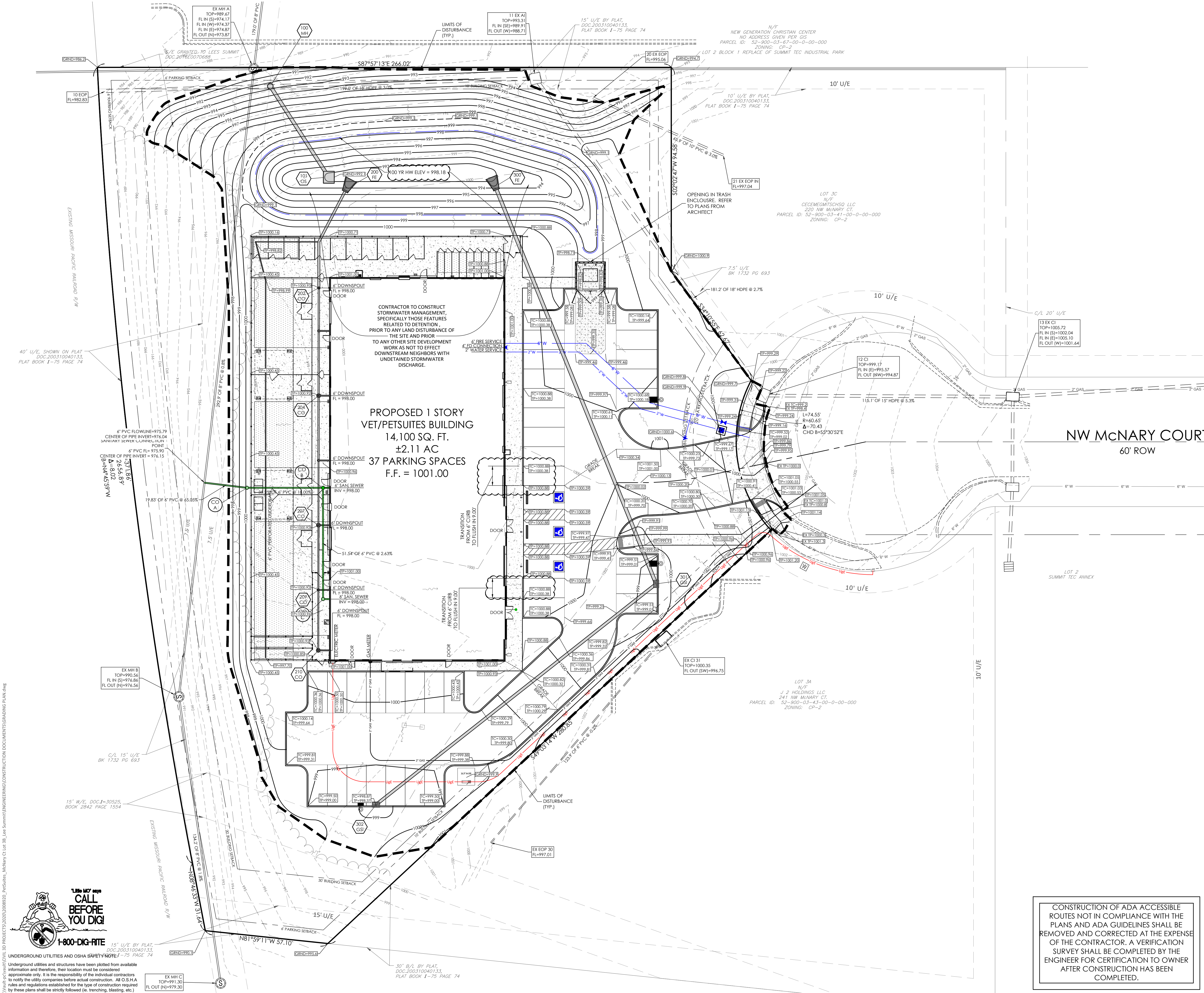
Project No.	2008920
Drawn By	Z. KUNTZ/A. JONES
Checked By	M.FOGARTY

NOT RELEASED FOR CONSTRUCTION

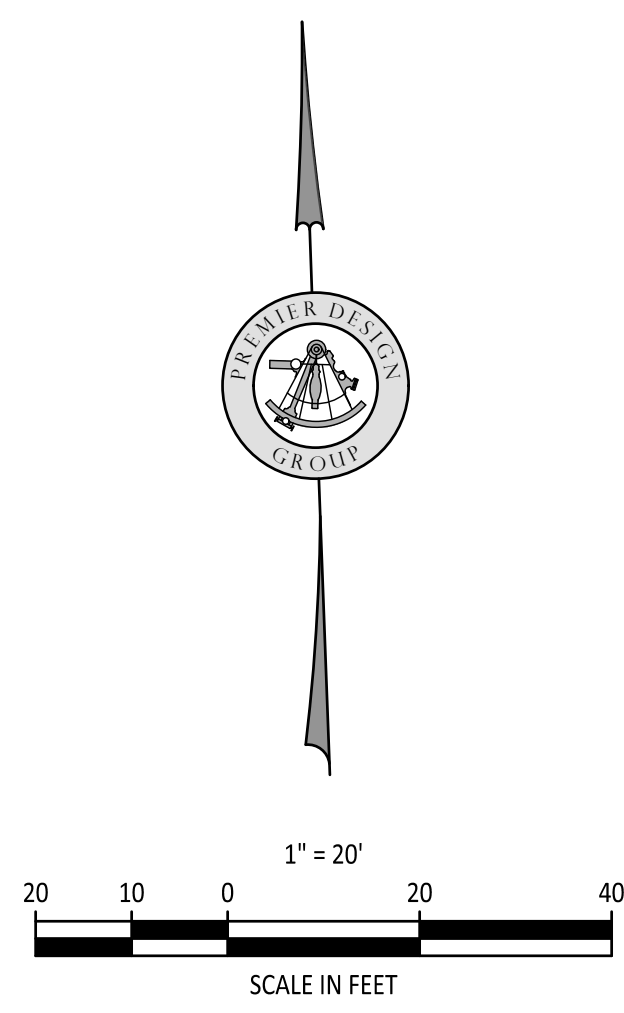
\\msr\p\dwg\civil\3D PROJECTS\2020\008920_Petsuites_McNary Ct Lot 38_Lee Summit\ENGINEERING\CONSTRUCTION DOCUMENTS\GRADING PLAN.dwg



UNDERGROUND UTILITIES AND OSHA SAFETY NOTE: 1-75 PAGE 74
Underground utilities and structures have been plotted from available information and therefore, their location must be considered approximate only. It is the responsibility of the individual contractors to notify the utility companies before actual construction. All O.S.H.A. rules and regulations established for the type of construction required by these plans shall be strictly followed (ie. trenching, blasting, etc.)



CONSTRUCTION OF ADA ACCESSIBLE ROUTES NOT IN COMPLIANCE WITH THE PLANS AND ADA GUIDELINES SHALL BE REMOVED AND CORRECTED AT THE EXPENSE OF THE CONTRACTOR. A VERIFICATION SURVEY SHALL BE COMPLETED BY THE ENGINEER FOR CERTIFICATION TO OWNER AFTER CONSTRUCTION HAS BEEN COMPLETED.



EARTHWORK QUANTITY NOTES:

- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO READ ALL APPLICABLE REPORTS IN ORDER TO UNDERSTAND THE SOIL AND GROUNDWATER CONDITIONS OF THE SITE.
- THE CUT AND FILL QUANTITIES SHOWN ON THIS PLAN ARE FOR PERMITTING PURPOSES ONLY. THE GRADING CONTRACTOR IS CAUTIONED THAT THE QUANTITIES SHOWN ARE THE ENGINEER'S ESTIMATE FOR PERMITTING PURPOSES ONLY. THE GRADING CONTRACTOR SHALL COMPLETE HIS/HER OWN ESTIMATE WHEN BIDDING. NO ADDITIONAL COSTS WILL BE ALLOWED FOR GRADING WITHOUT JUSTIFICATION DUE TO PLAN CHANGES OR REVISIONS.
- TRUCKS SHALL NOT EXCEED POSTED WEIGHT LIMITS FOR THE CITY OF LEE'S SUMMIT, COUNTY AND STATE BRIDGES DURING HAUL OPERATIONS.

ESTIMATED EARTHWORK QUANTITIES:

CUT = 1.749 CUBIC YARDS
FILL = 1.347 CUBIC YARDS x 1.15 (SHRINKAGE) = 1.549 CUBIC YARDS
EXPORT = 200 CUBIC YARDS

GENERAL CONTRACTOR SHALL PROVIDE A PROPOSED HAUL ROUTE FOR APPROVAL PRIOR TO ANY HAUL ACTIVITIES

ABBREVIATIONS:

ALL ELEVATIONS SHOWN ON THE GRADING PLAN ARE TO TOP OF PAVEMENT OR FINISHED GROUND UNLESS NOTED OTHERWISE. ELEVATIONS TO POINTS OTHER THAN THE TOP OF PAVEMENT ARE NOTED AS FOLLOWS:

TP=TOP OF PAVEMENT
TC=TOP OF CURB
TW=TOP OF WALL
BW=FINISHED GROUND AT FACE OF WALL
GRND=FINISHED GROUND AT YARD DRAINS

APPLICABLE REPORTS:

GEOTECHNICAL EXPLORATION
PETSUITES
LOT 38 NW McNARY COURT
LEE'S SUMMIT, MISSOURI
GEOTECHNOLOGY PROJECT NO.: J036943.01

ENGINEERS AUTHENTICATION
The responsibility for the professional engineering services on this project is hereby limited to the act of plans authorized by the seal, signature, and date hereunder attached. Responsibility is disclaimed for all other engineering plans involved in this project and specifically excludes revisions after the date when executed.

STEVEN MARION P.E.
PROFESSIONAL ENGINEER
PE 2006007195

PETSUITES OF AMERICA
LEE'S SUMMIT, MO
250 NW McNARY CT.
LEE'S SUMMIT, MO 64066
TM CROWLEY
501 PENNSYLVANIA PARKWAY SUITE 160
INDIANAPOLIS, IN 46280

Project
Date
1-27-2021

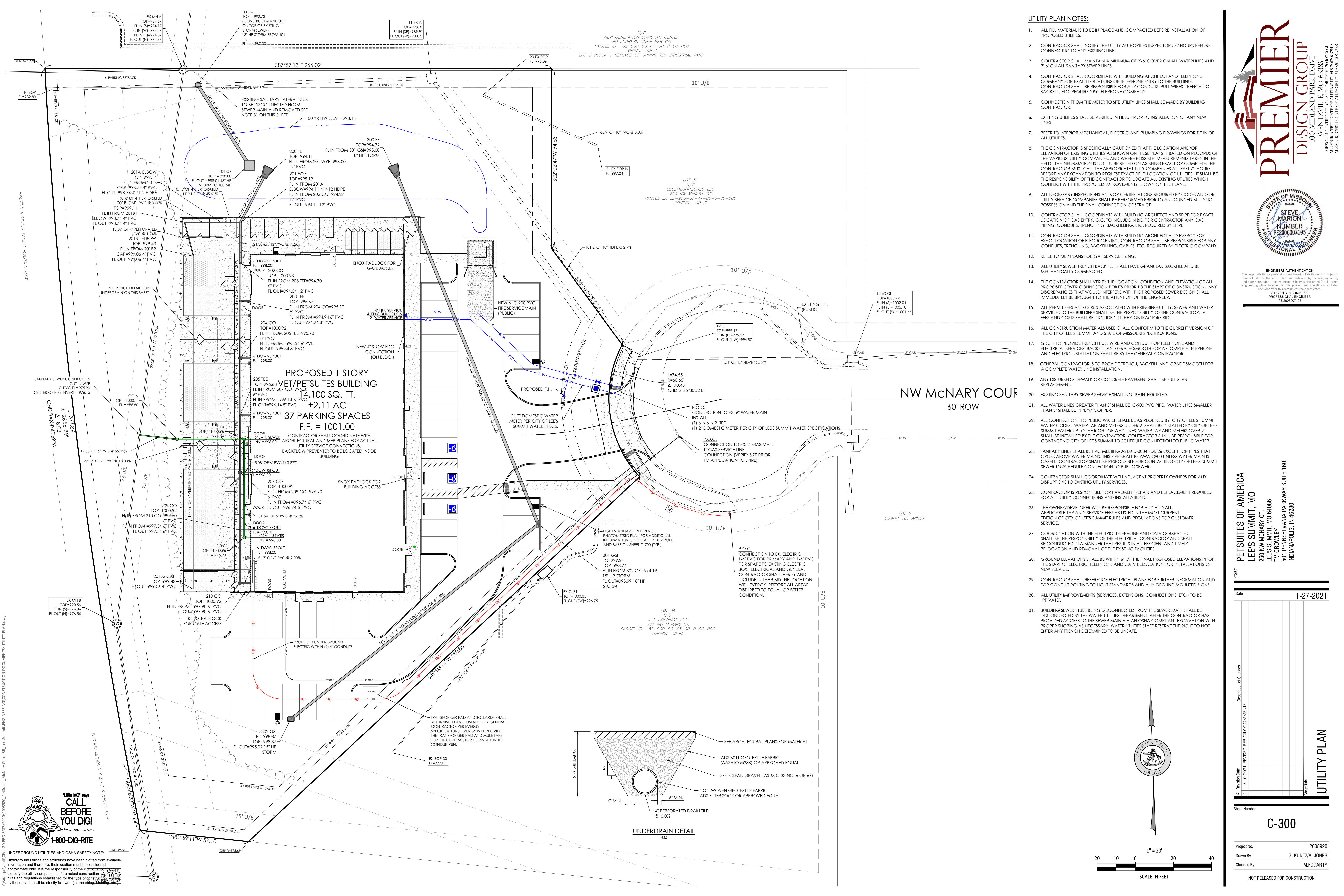
#	Revision Date	Description of Changes
1	3-10-2021	REVISED PER CITY COMMENTS

Sheet Number
C-200

Project No. 2008920
Drawn By Z. KUNTZ/A. JONES
Checked By M. FOGARTY

NOT RELEASED FOR CONSTRUCTION

GRADING PLAN



UTILITY PLAN NOTES:

- ALL FILL MATERIAL IS TO BE IN PLACE AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
- CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITIES INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINE.
- CONTRACTOR SHALL MAINTAIN A MINIMUM OF 3'-6" COVER ON ALL WATERLINES AND 3'-6" ON ALL SANITARY SEWER LINES.
- CONTRACTOR SHALL COORDINATE WITH BUILDING ARCHITECT AND TELEPHONE COMPANY FOR EXACT LOCATIONS OF TELEPHONE ENTRY TO THE BUILDING. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY CONDUITS, PULL WIRES, TRENCHING, BACKFILL, ETC. REQUIRED BY TELEPHONE COMPANY.
- CONNECTION FROM THE METER TO SITE UTILITY LINES SHALL BE MADE BY BUILDING CONTRACTOR.
- EXISTING UTILITIES SHALL BE VERIFIED IN FIELD PRIOR TO INSTALLATION OF ANY NEW LINES.
- REFER TO INTERIOR MECHANICAL, ELECTRIC AND PLUMBING DRAWINGS FOR TIE-IN OF ALL UTILITIES.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICE.
- CONTRACTOR SHALL COORDINATE WITH BUILDING ARCHITECT AND SPIRE FOR EXACT LOCATION OF GAS ENTRY, G.C. TO INCLUDE IN BID FOR CONTRACTOR ANY GAS PIPING, CONDUITS, TRENCHING, BACKFILLING, ETC. REQUIRED BY SPIRE.
- CONTRACTOR SHALL COORDINATE WITH BUILDING ARCHITECT AND EVERGY FOR EXACT LOCATION OF ELECTRIC ENTRY. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY CONDUITS, TRENCHING, BACKFILLING, CABLES, ETC. REQUIRED BY ELECTRIC COMPANY.
- REFER TO MEP PLANS FOR GAS SERVICE SIZING.
- ALL UTILITY SEWER TRENCH BACKFILL SHALL HAVE GRANULAR BACKFILL AND BE MECHANICALLY COMPACTED.
- THE CONTRACTOR SHALL VERIFY THE LOCATION, CONDITION AND ELEVATION OF ALL PROPOSED SEWER CONNECTION POINTS PRIOR TO THE START OF CONSTRUCTION. ANY DISCREPANCIES THAT WOULD INTERFERE WITH THE PROPOSED SEWER DESIGN SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE ENGINEER.
- ALL PERMIT FEES AND COSTS ASSOCIATED WITH BRINGING UTILITY, SEWER AND WATER SERVICES TO THE BUILDING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ALL FEES AND COSTS SHALL BE INCLUDED IN THE CONTRACTORS BID.
- ALL CONSTRUCTION MATERIALS USED SHALL CONFORM TO THE CURRENT VERSION OF THE CITY OF LEE'S SUMMIT AND STATE OF MISSOURI SPECIFICATIONS.
- G.C. IS TO PROVIDE TRENCH PULL WIRE AND CONDUIT FOR TELEPHONE AND ELECTRICAL SERVICES. BACKFILL AND GRADE SMOOTH FOR A COMPLETE TELEPHONE AND ELECTRIC INSTALLATION SHALL BE BY THE GENERAL CONTRACTOR.
- GENERAL CONTRACTOR IS TO PROVIDE TRENCH, BACKFILL AND GRADE SMOOTH FOR A COMPLETE WATER LINE INSTALLATION.
- ANY DISTURBED SIDEWALK OR CONCRETE PAVEMENT SHALL BE FULL SLAB REPLACEMENT.
- EXISTING SANITARY SEWER SERVICE SHALL NOT BE INTERRUPTED.
- ALL WATER LINES GREATER THAN 3" SHALL BE C-900 PVC PIPE. WATER LINES SMALLER THAN 3" SHALL BE TYPE "K" COPPER.
- ALL CONNECTIONS TO PUBLIC WATER SHALL BE AS REQUIRED BY CITY OF LEE'S SUMMIT WATER CODES. WATER TAP AND METERS UNDER 2" SHALL BE INSTALLED BY CITY OF LEE'S SUMMIT WATER UP TO THE RIGHT-OF-WAY LINES. WATER TAP AND METERS OVER 2" SHALL BE INSTALLED BY THE CONTRACTOR. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING CITY OF LEE'S SUMMIT TO SCHEDULE CONNECTION TO PUBLIC WATER.
- SANITARY LINES SHALL BE PVC MEETING ASTM D-3034 SDR 26 EXCEPT FOR PIPES THAT CROSS ABOVE WATER MAINS. THIS PIPE SHALL BE AWA C900 UNLESS WATER MAIN IS CASED. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING CITY OF LEE'S SUMMIT SEWER TO SCHEDULE CONNECTION TO PUBLIC SEWER.
- CONTRACTOR SHALL COORDINATE WITH ADJACENT PROPERTY OWNERS FOR ANY DISRUPTIONS TO EXISTING UTILITY SERVICES.
- CONTRACTOR IS RESPONSIBLE FOR PAVEMENT REPAIR AND REPLACEMENT REQUIRED FOR ALL UTILITY CONNECTIONS AND INSTALLATIONS.
- THE OWNER/DEVELOPER WILL BE RESPONSIBLE FOR ANY AND ALL APPLICABLE TAP AND SERVICE FEES AS LISTED IN THE MOST CURRENT EDITION OF CITY OF LEE'S SUMMIT RULES AND REGULATIONS FOR CUSTOMER SERVICE.
- COORDINATION WITH THE ELECTRIC, TELEPHONE AND CATV COMPANIES SHALL BE THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR AND SHALL BE CONDUCTED IN A MANNER THAT RESULTS IN AN EFFICIENT AND TIMELY RELOCATION AND REMOVAL OF THE EXISTING FACILITIES.
- GROUND ELEVATIONS SHALL BE WITHIN 6" OF THE FINAL PROPOSED ELEVATIONS PRIOR TO THE START OF ELECTRIC, TELEPHONE AND CATV RELOCATIONS OR INSTALLATIONS OF NEW SERVICE.
- CONTRACTOR SHALL REFERENCE ELECTRICAL PLANS FOR FURTHER INFORMATION AND FOR CONDUIT ROUTING TO LIGHT STANDARDS AND ANY GROUND MOUNTED SIGNS.
- ALL UTILITY IMPROVEMENTS (SERVICES, EXTENSIONS, CONNECTIONS, ETC.) TO BE "PRIVATE".
- BUILDING SEWER STUBS BEING DISCONNECTED FROM THE SEWER MAIN SHALL BE DISCONNECTED BY THE WATER UTILITIES DEPARTMENT, AFTER THE CONTRACTOR HAS PROVIDED ACCESS TO THE SEWER MAIN VIA AN OSHA COMPLIANT EXCAVATION WITH PROPER SHORING AS NECESSARY. WATER UTILITIES STAFF RESERVE THE RIGHT TO NOT ENTER ANY TRENCH DETERMINED TO BE UNSAFE.

PREMIER DESIGN GROUP
100 MIDLAND PARK DRIVE
WENTZVILLE, MO 63385
MISSOURI CERTIFICATE OF AUTHORITY #E-200000031
MISSOURI CERTIFICATE OF AUTHORITY #E-200000758

STEVEN D. MARION, P.E.
PROFESSIONAL ENGINEER
PE 2006007195

ENGINEERS AUTHENTICATION
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PROJECT INFORMATION
Project No. 2008920
Drawn By Z. KUNTZ/A. JONES
Checked By M. FOGARTY
NOT RELEASED FOR CONSTRUCTION

UTILITY PLAN
C-300
1-27-2021

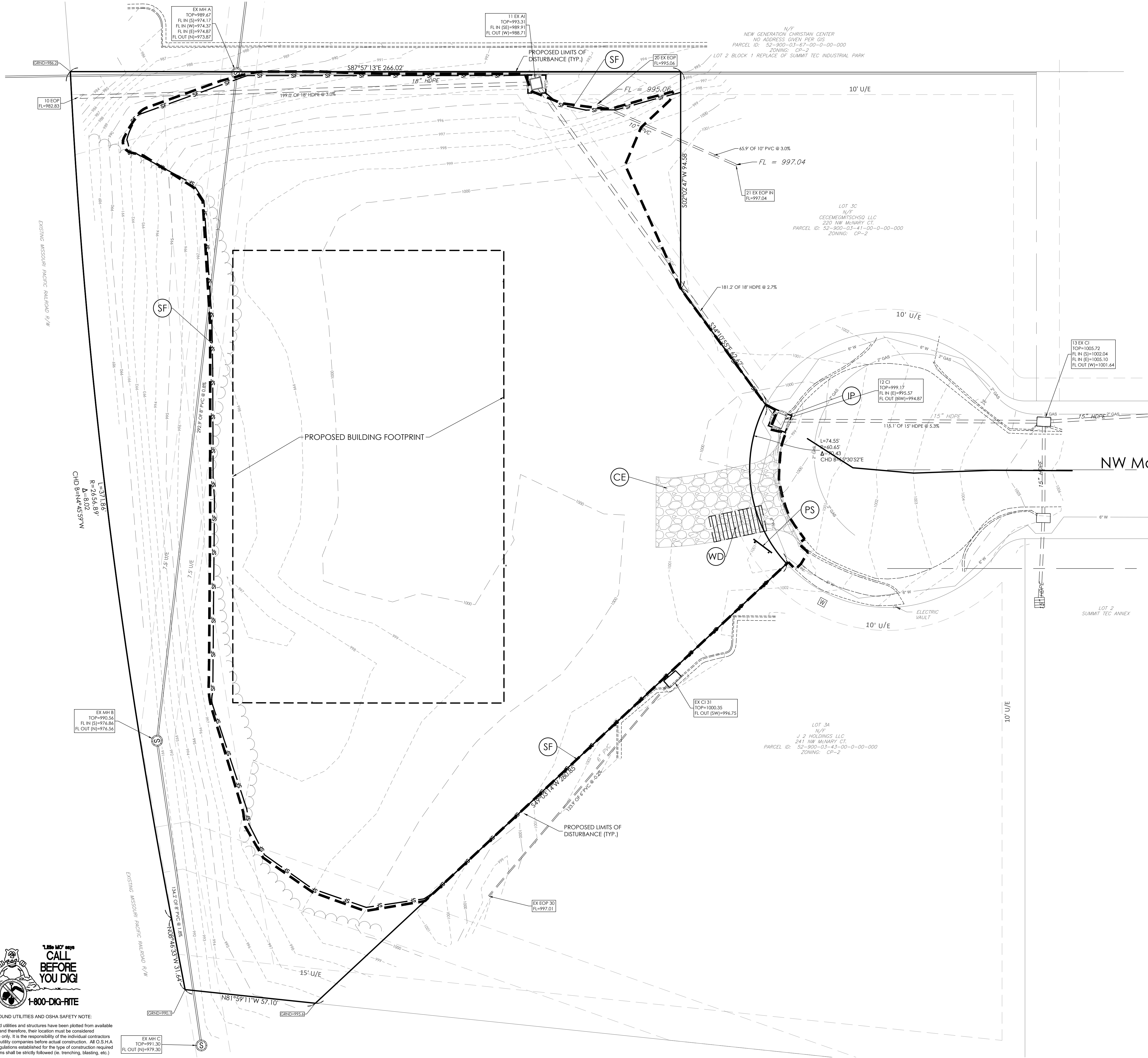
1-800-DIG-RITE
CALL BEFORE YOU DIG

UNDERGROUND UTILITIES AND OSHA SAFETY NOTE:
Underground utilities and structures have been plotted from available information and therefore, their location must be considered approximate only. It is the responsibility of the information recipient to notify the utility companies before actual construction. All construction activities shall be strictly followed in trenching, shoring, etc.

\\usmhc\p\civil\CIVIL 3D PROJECTS\2020\0008920_Petsuites_McKery C1 Lot 38_Lee Summit Engineering\FINAL DEVELOPMENT PLAN\C-400 INITIAL EROSION CONTROL PLAN.dwg



UNDERGROUND UTILITIES AND OSHA SAFETY NOTE:
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EROSION CONTROL SYMBOL LEGEND

---	LEASE LINE/PROPERTY LINE
---	STORM PIPE
- - - - -	EXISTING CONTOUR
— — — — —	PROPOSED CONTOUR
(LD)	LIMITS OF ANTICIPATED DISTURBED AREA / CONSTRUCTION LIMITS
(SF)	SILT FENCE (REFERENCE DRAWING 806-70.00 ON SHEET C-401)
(SB)	GRAVEL OR SAND BAG PROTECTION (REFERENCE DRAWING 806-45.08 ON SHEET C-401)
(CE)	CONSTRUCTION EXIT (REFERENCE DRAWING 806-46.01 ON SHEET C-401)
(WD)	CONSTRUCTION WASHDOWN STATION (REFERENCE DRAWING 806-46.00 ON SHEET C-401)
(SD)	SEEDING / SOD
(TS)	TOPSOIL WITH VEGETATION (REFERENCE SHEET L-100)
(IP)	INLET PROTECTION (REFERENCE DRAWING 806-45.12 ON SHEET C-401)
(PS)	PERMIT SIGN (REFERENCE DETAIL SHEET C-401)

CONSTRUCTION SEQUENCING ACTIVITIES:

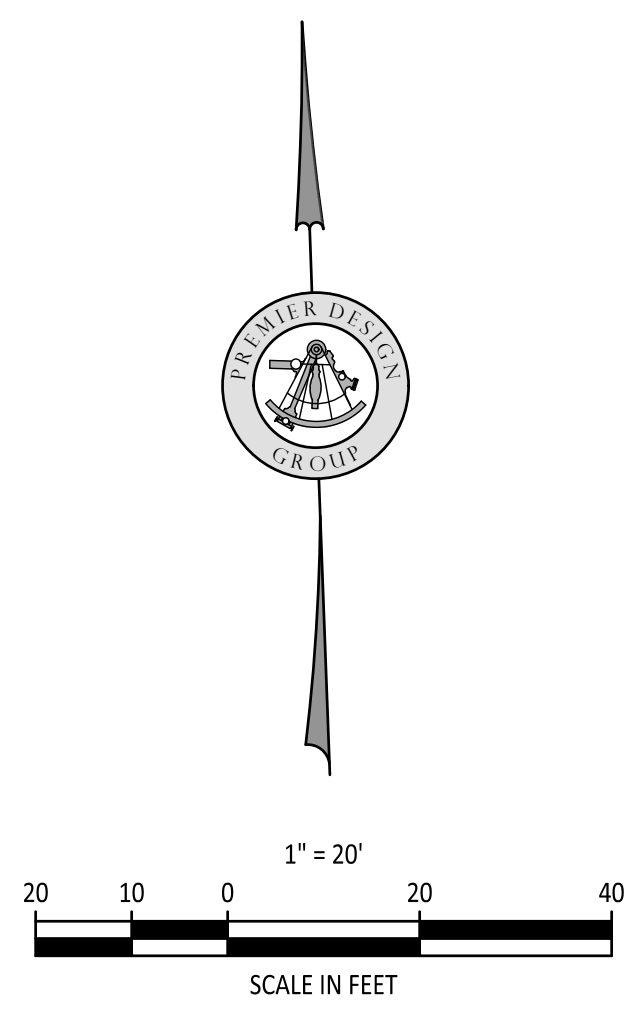
- INSTALL PROJECT SIGN & POST PERMITS
- INSTALL SILT & CONSTRUCTION FENCING
- INSTALL INLET PROTECTION
- INSTALL CONSTRUCTION ENTRANCE / EXIT
- INSTALL VEHICULAR WASH DOWN AREA
- BEGIN EXCAVATION & SITE DEMOLITION
- BEGIN BUILDING FOOTINGS & FOUNDATIONS
- BEGIN UTILITY TRENCHING & EXCAVATION
- PARKING & DRIVE AREA PAVING
- FINISHED GRADING & LANDSCAPING
- SEEDING & SOD WORK
- REMOVAL OF EROSION CONTROL AND OTHER BMP'S

NOTES:

1. REFER TO THE EROSION CONTROL DETAIL SHEET & STORMWATER POLLUTION PREVENTION NARRATIVE FOR ADDITIONAL NOTES AND REQUIREMENTS.
2. THE GENERAL CONTRACTOR SHALL OBTAIN A COPY OF THE NPDES PERMIT ISSUED FOR THE SITE AND POST IT AT THE PROJECT SITE PRIOR TO ANY LAND DISTURBING ACTIVITIES. REFER TO SITE SIGN DETAIL ON THE EROSION CONTROL DETAIL SHEET.
3. CONTRACTOR SHALL INSTALL BMP'S NOTED ON THIS PLAN PRIOR TO BEGINNING ANY LAND DISTURBING, DEMOLITION, OR TREE REMOVAL ACTIVITIES.
4. THE CONTRACTOR SHALL INSTALL CONSTRUCTION ENTRANCE/EXIT AND MAINTAIN THESE ENTRANCES DURING CONSTRUCTION.
5. THE JOB SITE TRAILER, DUMPSTER, FUELING AREA, STORAGE & LAY-DOWN AREA SHALL BE LOCATED BY THE GENERAL CONTRACTOR AT THE START OF CONSTRUCTION. THESE ITEMS MUST BE NOTED BY THE CONTRACTOR ON THE SWPPP DRAWINGS.
6. SOIL STOCKPILES AND DEMOLITION DEBRIS STOCKPILES SHALL HAVE SILT FENCES INSTALLED IF LEFT ON SITE & UNDISTURBED FOR MORE THAN 13 DAYS.

ALL PROJECT SITES ARE REQUIRED TO COMPLY WITH REQUIREMENTS OF THE "CLEAN WATER ACT" ESTABLISHED BY THE US ENVIRONMENTAL PROTECTION AGENCY.

THE EPA'S NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES) PROGRAM REQUIRES PERMITS TO BE ISSUED BY REGULATORY AGENCIES WHEN PROJECT SITES DISTURB 1 ACRE OR MORE.



ENGINEERS AUTHENTICATION

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STEVEN D. MARION P.E.
PROFESSIONAL ENGINEER
PE 2006007195

PETSUITES OF AMERICA
LEES SUMMIT, MO
250 NW MCNARY CT.
LEES SUMMIT, MO 64066
TM CROWLEY
501 PENNSYLVANIA PARKWAY SUITE 160
INDIANAPOLIS, IN 46280

Project No. 2008920
Drawn By Z. KUNTZ/A. JONES
Checked By M. FOGARTY

1-27-2021

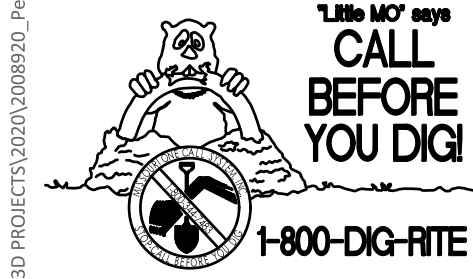
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INITIAL EROSION CONTROL PLAN

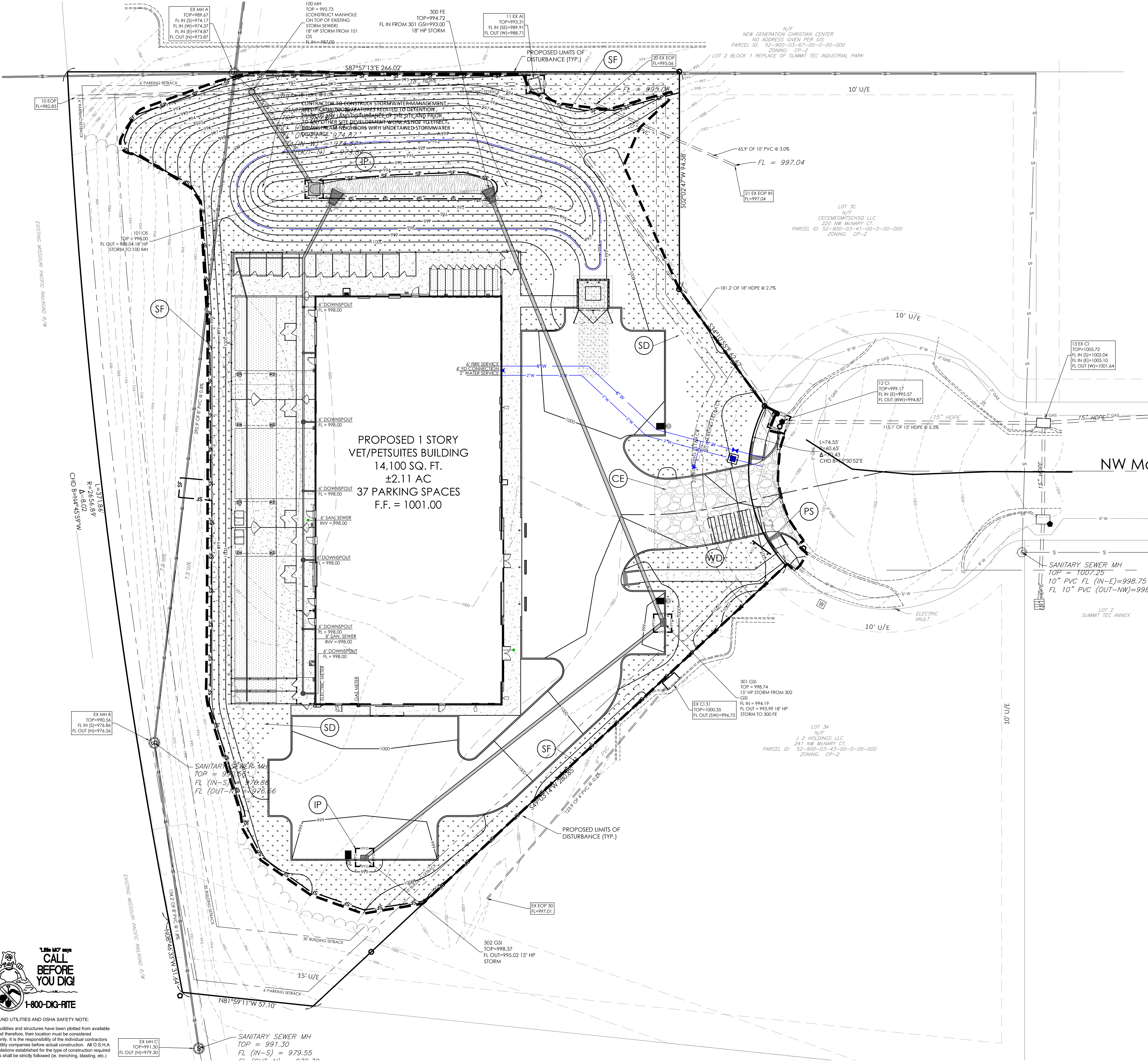
C-400

NOT RELEASED FOR CONSTRUCTION

\\wms\p\civil\civil 3d\PROJECTS\2020\008920_Petsuites_McHenry Ct Lot 38_Lee Summit Engineering\FINAL DEVELOPMENT PLAN\C-401 INTERMEDIATE EROSION CONTROL PLAN.dwg



UNDERGROUND UTILITIES AND OSHA SAFETY NOTE:
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EROSION CONTROL SYMBOL LEGEND

---	LEASE LINE/PROPERTY LINE
---	STORM PIPE
---	EXISTING CONTOUR
---	PROPOSED CONTOUR
(LD)	LIMITS OF ANTICIPATED DISTURBED AREA / CONSTRUCTION LIMITS
(SF)	SILT FENCE (REFERENCE DRAWING 806-70.00 ON SHEET C-401)
(GB)	GRAVEL OR SAND BAG PROTECTION (REFERENCE DRAWING 806-45.08 ON SHEET C-401)
(CE)	CONSTRUCTION EXIT (REFERENCE DRAWING 806-46.01 ON SHEET C-401)
(WD)	CONSTRUCTION WASHDOWN STATION (REFERENCE DRAWING 806-46.00 ON SHEET C-401)
(SD)	SEEDING / SOD
(TS)	TOPSOIL WITH VEGETATION (REFERENCE SHEET L-100)
(IP)	INLET PROTECTION (REFERENCE DRAWING 806-45.12 ON SHEET C-401)
(PS)	PERMIT SIGN (REFERENCE DETAIL SHEET C-401)

CONSTRUCTION SEQUENCING ACTIVITIES:

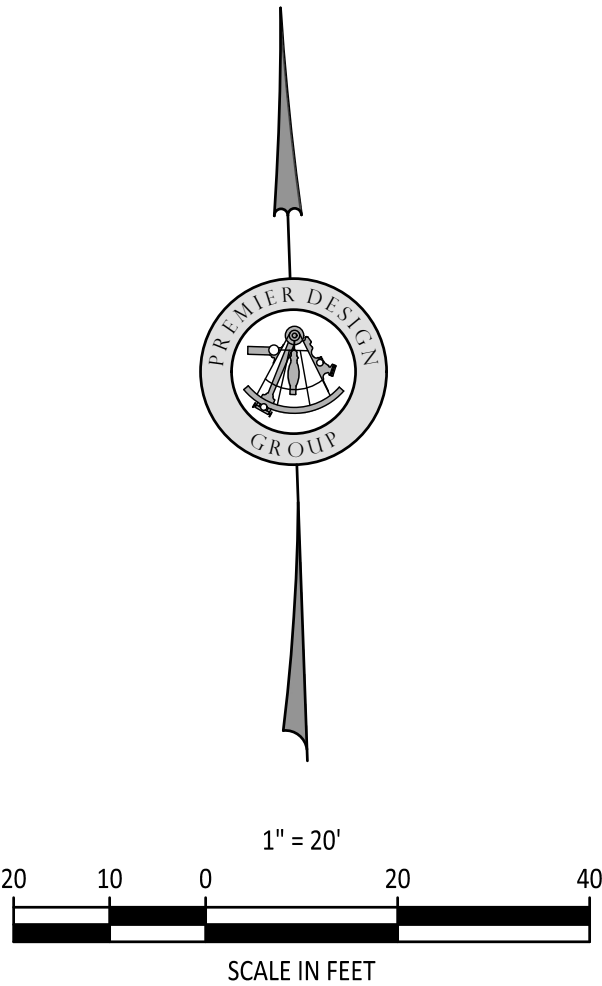
- INSTALL PROJECT SIGN & POST PERMITS
- INSTALL SILT & CONSTRUCTION FENCING
- INSTALL INLET PROTECTION
- INSTALL CONSTRUCTION ENTRANCE / EXIT
- INSTALL VEHICULAR WASH DOWN AREA
- BEGIN EXCAVATION & SITE DEMOLITION
- BEGIN BUILDING FOOTINGS & FOUNDATIONS
- BEGIN UTILITY TRENCHING & EXCAVATION
- PARKING & DRIVE AREA PAVING
- FINISHED GRADING & LANDSCAPING
- SEEDING & SOD WORK
- REMOVAL OF EROSION CONTROL AND OTHER BMP'S

NOTES:

1. REFER TO THE EROSION CONTROL DETAIL SHEET & STORMWATER POLLUTION PREVENTION NARRATIVE FOR ADDITIONAL NOTES AND REQUIREMENTS.
2. THE GENERAL CONTRACTOR SHALL OBTAIN A COPY OF THE NPDES PERMIT ISSUED FOR THE SITE AND POST IT AT THE PROJECT SITE PRIOR TO ANY LAND DISTURBING ACTIVITIES. REFER TO SITE SIGN DETAIL ON THE EROSION CONTROL DETAIL SHEET.
3. CONTRACTOR SHALL INSTALL BMP'S NOTED ON THIS PLAN PRIOR TO BEGINNING ANY LAND DISTURBING, DEMOLITION, OR TREE REMOVAL ACTIVITIES.
4. THE CONTRACTOR SHALL INSTALL CONSTRUCTION ENTRANCE/EXIT AND MAINTAIN THESE ENTRANCES DURING CONSTRUCTION.
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Project		1-27-2021
Date		
Description of Changes		
#	Revision Date	Revised Per City Comments
1	3-10-2021	
Sheet Number		C-401
Project No.		2008920
Drawn By		Z. KUNTZ/A. JONES
Checked By		M. FOGARTY
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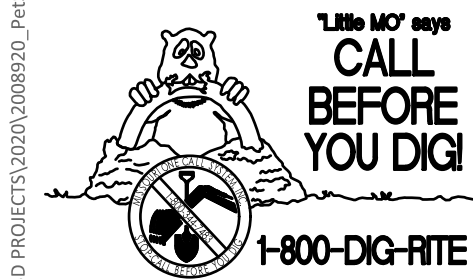
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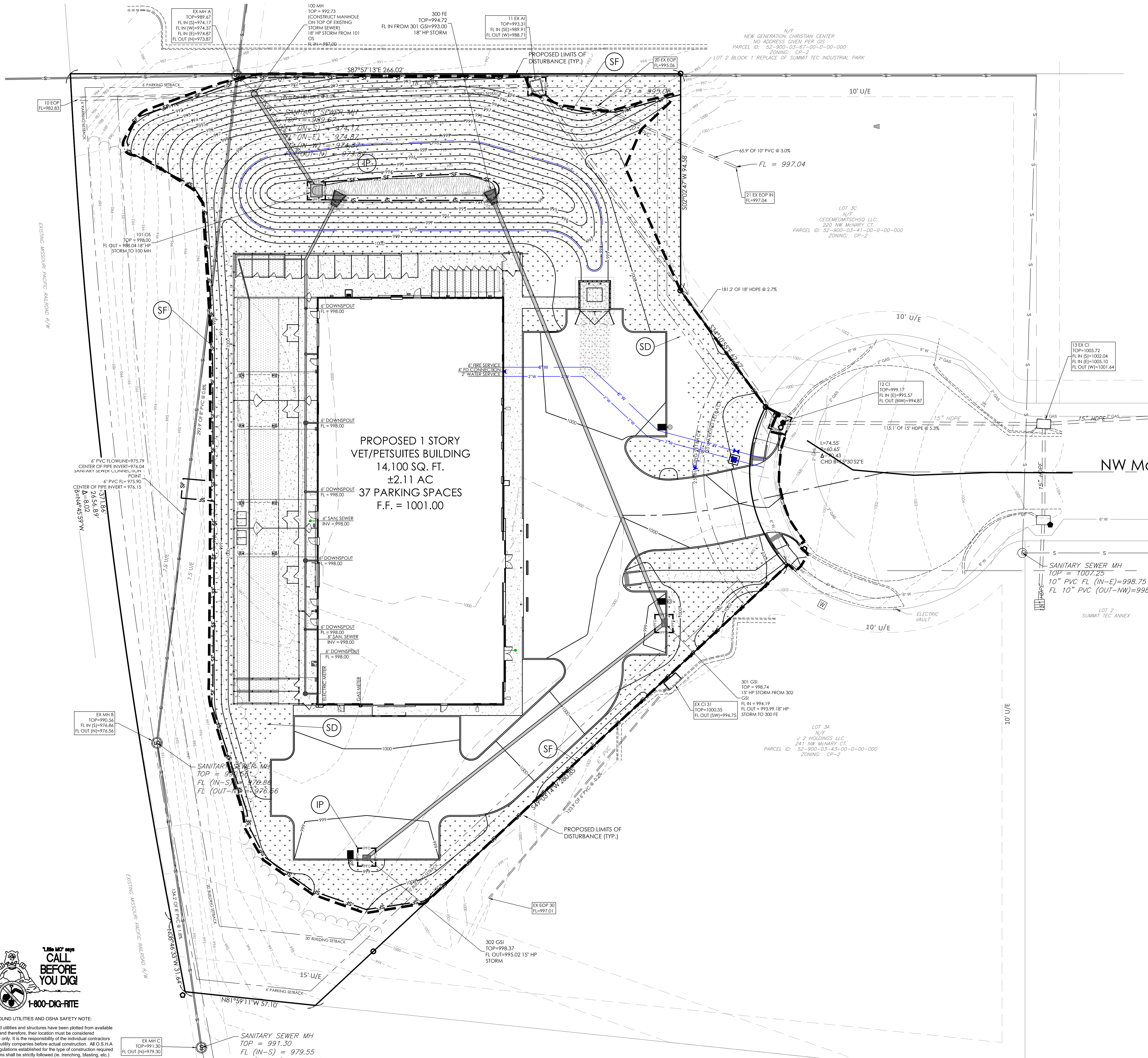
PREMIER DESIGN GROUP
100 MIDLAND PARK DRIVE
WENTZVILLE, MO 63385
MISSOURI CERTIFICATE OF AUTHORITY #E-200800038
MISSOURI CERTIFICATE OF AUTHORITY #E-200800789

INTERMEDIATE EROSION CONTROL PLAN

\\usm-cv\p\civil\3D PROJECTS\2020\008920_Petsuites_McKer C\Lot 38_Lee Summit Engineering\FINAL DEVELOPMENT PLAN\FINAL EROSION CONTROL PLAN.dwg



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EROSION CONTROL SYMBOL LEGEND

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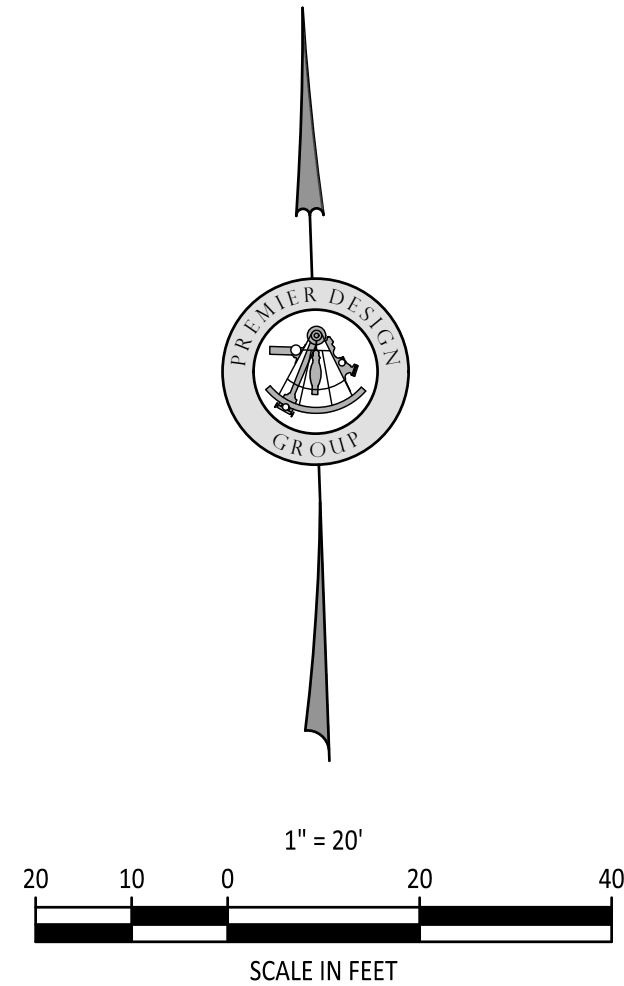
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- FINISHED GRADING & LANDSCAPING
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- REMOVAL OF EROSION CONTROL AND OTHER BMP'S

NOTES:

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2. THE GENERAL CONTRACTOR SHALL OBTAIN A COPY OF THE NPDES PERMIT ISSUED FOR THE SITE AND POST IT AT THE PROJECT SITE PRIOR TO ANY LAND DISTURBING ACTIVITIES. REFER TO SITE SIGN DETAIL ON THE EROSION CONTROL DETAIL SHEET.
3. CONTRACTOR SHALL INSTALL BMP'S NOTED ON THIS PLAN PRIOR TO BEGINNING ANY LAND DISTURBING, DEMOLITION, OR TREE REMOVAL ACTIVITIES.
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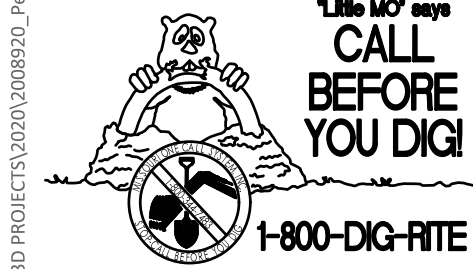
Project No. 1-27-2021

#	Revision Date	Revised Per City Comments	Description of Changes
1	3-10-2021		

Sheet Title: C-402
Project No.: 2008920
Drawn By: Z. KUNTZ/A. JONES
Checked By: M. FOGARTY
NOT RELEASED FOR CONSTRUCTION

FINAL EROSION CONTROL PLAN

\\usnrl-pc\usnrl\civil\3D PROJECT\2020\008920_Petsuites_Mchery C1 3d_B3_Lee Summit\ENGINEERING\CONSTRUCTION DOCUMENTS\SY-C-403 EROSION CONTROL DETAILS.dwg



UNDERGROUND UTILITIES AND OSHA SAFETY NOTE:

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GENERAL EROSION AND SEDIMENTATION CONTROL NOTES:

1. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING A COPY OF THE LAND DISTURBANCE PERMIT FOR THIS SITE PRIOR TO THE START OF CONSTRUCTION. A LAND DISTURBANCE PERMIT FROM THE MISSOURI DEPARTMENT OF NATURAL RESOURCES WILL BE REQUIRED. A GRADING PERMIT FROM THE CITY OF LEES SUMMIT WILL BE REQUIRED.
2. THE CONTRACTOR SHALL KEEP & MAINTAIN A COPY OF THE LAND DISTURBANCE PERMIT(S), EROSION CONTROL PLANS, AND STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AT THE PROJECT SITE DURING CONSTRUCTION.
3. ALL EROSION CONTROL MEASURES MUST MEET LOCAL REQUIREMENTS AND THE "PROTECTING WATER QUALITY, A FIELD GUIDE TO EROSION, SEDIMENT AND STORM WATER BEST MANAGEMENT PRACTICES FOR DEVELOPMENT SITES IN MISSOURI AND KANSAS". THE DOCUMENT IS AVAILABLE FROM THE MISSOURI DEPARTMENT OF NATURAL RESOURCES AND CAN BE DOWNLOADED FROM THE DNR WEBSITE AT <http://www.dnr.mo.gov/enr/wpp/wppc-guide.htm>.
4. PRIOR TO THE START OF ANY LAND DISTURBING ACTIVITIES, EROSION AND SEDIMENT CONTROL MEASURES AND APPLICABLE BMPs SHALL BE INSTALLED.
5. THE CONTRACTOR SHALL NOTIFY THE CITY ENGINEER A MINIMUM OF 48 HOURS PRIOR TO THE START OF GRADING SO THAT SITE BMPs CAN BE VERIFIED.
6. THE GENERAL CONTRACTOR SHALL HAVE ULTIMATE CONTROL OF THE SITE AND REQUIRE THAT ALL SUBCONTRACTORS, UTILITY COMPANIES, AND ANY PERSON PERFORMING LAND DISTURBING ACTIVITIES CONFORM TO THE REQUIREMENTS OF THE PERMITS ISSUED FOR THE SITE. THIS INCLUDES CONFORMANCE TO THE STORM WATER POLLUTION PLAN PREPARED & MAINTAINED FOR THE SITE.
7. THE CONTRACTOR IS RESPONSIBLE FOR MANAGING STORM WATER RUNOFF AND EROSION THROUGHOUT CONSTRUCTION.
8. THIS EROSION CONTROL PLAN HAS BEEN PREPARED AS A BEGINNING POINT AND SHOULD EVOLVE AS SITE CONDITIONS WARRANT. THE GENERAL CONTRACTOR SHALL IMPLEMENT ADDITIONAL BMPs AS DEEMED NECESSARY TO ADEQUATELY RETAIN SEDIMENT ON-SITE.
9. THE CONTRACTOR SHALL MAINTAIN AND PROTECT EXISTING TREES AND VEGETATION.
10. CONSTRUCTION MATERIAL STORAGE AND LAY-DOWN AREAS ARE TO BE AWAY FROM DRAINAGE COURSES AND LOW AREAS.
11. PROVIDE CONTAINERS FOR THE DISPOSAL OF WASTE PAINTS, SOLVENTS, CLEANING COMPOUNDS, ETC.
12. PROVIDE TRASH CONTAINERS ON-SITE AND PERFORM REGULAR SITE CLEAN UP FOR PROPER DISPOSAL OF SOLID WASTE. SOLID WASTE SHALL INCLUDE, BUT NOT BE LIMITED TO, SCRAP BUILDING MATERIALS, PRODUCT/MATERIAL PACKAGING, FOOD AND DRINK CONTAINERS.
13. THE CONTRACTOR SHALL INSTALL CONTAMINANT BERM(S) & DRIP PANS AT PETROLEUM PRODUCT & LIQUID STORAGE TANK AREAS.
14. THE CONTRACTOR SHALL PROVIDE CONCRETE WASH OUT AREAS. CONCRETE TRUCKS SHALL NOT DISCHARGE SURPLUS CONCRETE OR WASH WATER ON THE GROUND OR INTO DITCHES. CONCRETE WASH-OUT AREAS SHALL BE DESIGNED TO ENSURE CONCRETE PARTICLES WILL NOT BE RELEASED FROM THE CONSTRUCTION SITE.
15. THE CONTRACTOR SHALL IMPLEMENT DUST CONTROL MEASURES IF CONDITIONS WARRANT. DUST CONTROL MAY INCLUDE WATERING/IRRIGATION, WIND BARRIERS, SPRAY ON ADHESIVES, TILLING, OR CHEMICAL TREATMENT. ANY CLEANUP TO ADJACENT PROPERTIES DUE TO INADEQUATE DUST CONTROL WILL BE THE CONTRACTOR'S RESPONSIBILITY.
16. THE CONTRACTOR SHALL PROVIDE FOR SOLID WASTE/TRASH COLLECTION. THE CONSTRUCTION SITE SHALL BE KEPT CLEAN AND ORDERLY.
17. THE CONTRACTOR SHALL PROVIDE FOR SANITARY WASTE COLLECTION DURING CONSTRUCTION. PORTA POTTIES SHALL BE LOCATED BY THE CONTRACTOR AND NOTED ON THE DRAWINGS.

CONSTRUCTION SWPPP LOG

1. THE CONTRACTOR SHALL DEVELOP A CONSTRUCTION SWPPP LOG AT THE START OF CONSTRUCTION. THE CONSTRUCTION SWPPP LOG SHALL INCLUDE INSTALLATION DATES OF BMPs, MAINTENANCE RECORDS, RAINFALL RECORDS, AND ANY ITEM THAT ADDRESSES THE MANAGEMENT OF STORM WATER POLLUTION PREVENTION MEASURES AT THE PROJECT SITE.
2. REFER TO THE SWPPP DOCUMENT/NARRATIVE FOR FORMS AND OTHER DETAILED INFORMATION REGARDING STORM WATER POLLUTION PREVENTION PRACTICES.
3. THE SWPPP LOG SHALL BE KEPT ON THE JOB SITE AND SHALL BE MADE AVAILABLE FOR REVIEW AT THE REQUEST OF APPLICABLE GOVERNING AUTHORITIES.
4. BMPs SHALL BE INSPECTED ONCE A WEEK AND WITHIN 24 HRS OF RAIN EVENTS OF 1/2" OR GREATER. INSPECTIONS ARE TO BE DOCUMENTED IN THE SWPPP LOG. REPAIR AND MAINTENANCE TO BMPs SHALL BE DONE IMMEDIATELY.
5. THE CONTRACTOR SHALL SUBMIT AN INSPECTION REPORT WITHIN 72 HOURS AFTER EVERY STORM EVENT TO THE CITY ENGINEER.
6. THE CONTRACTOR SHALL ENSURE THE SITE CONFORMS TO THE REQUIREMENTS OF THE LAND DISTURBANCE PERMIT AND INSTALL ADDITIONAL BMPs SHOULD SITE CONDITIONS WARRANT.
7. AFTER CONSTRUCTION, THE CONSTRUCTION SWPPP LOG SHALL BE RETAINED BY THE CONTRACTOR FOR A MINIMUM OF 3 YEARS.

FINAL SITE STABILIZATION

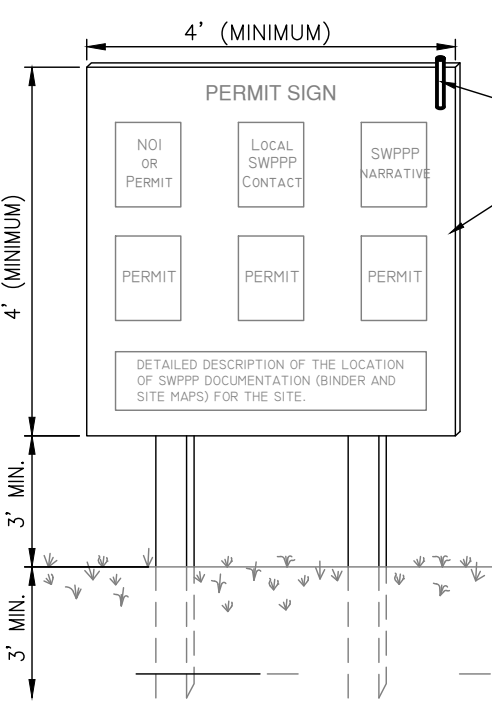
1. ONCE GRADED AREAS ARE CONSTRUCTED TO FINAL GRADES, PERMANENT STABILIZATION SHALL BE ESTABLISHED.
2. THE CONTRACTOR SHALL RESTORE OFF-SITE AREAS DAMAGED BY CONSTRUCTION TO A CONDITION, EQUAL TO, OR BETTER THAN THE CONDITION PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
3. ALL EROSION CONTROL BMPs SHALL REMAIN IN PLACE UNTIL THE SITE HAS BEEN PERMANENTLY STABILIZED.
4. ONCE THE SITE HAS REACH FINAL STABILIZATION, THE CONTRACTOR IS TO CLEAN AND REMOVE DEBRIS FROM BMPs AND STORM WATER COLLECTION AREAS. BMPs ARE NOT TO BE REMOVED.

POTENTIAL POLLUTANTS THAT MAY BE FOUND ON SITE DURING CONSTRUCTION:

Material Trade Name	Chemical/Physical Description	Storm Water Pollutants
Erosion	Solid Particles	Soil, sediment
Fertilizer	Liquid or solid grains	Nitrogen, phosphorus
Pesticides (insecticides, fungicides, herbicides, rodenticides)	Various colored to colorless liquid, powder, pellets, or grains	Chlorinated hydrocarbons, organo-phosphates, carbonates, aromatic
Asphalt	Black solid	Oil, petroleum distillates
Concrete	White solid	Limestone, sand
Plaster	White granules or powder	Calcium Sulphate, calcium carbonate, sulfuric acid
Glass adhesives	White or yellow liquid	Polymers, epoxies
Paints	Various colored liquid	Metal oxides, Stoddard solvent, talc, calcium carbonate, aromatic
Coating compounds	Creamy white liquid	Naphtha
Wood preservatives	Clear amber or dark brown liquid	Stoddard solvent, petroleum distillates, arsenic, copper, chromum
Hydraulic oil/fluids	Brown oily petroleum hydrocarbon	Standard solvent, petroleum distillates, oil & grease, naphthalene, xylene
Gasoline	Colorless, pale brown or pink petroleum hydrocarbon	Benzene, ethyl benzene, toluene, xylene, MTBE
Diesel Fuel	Clear, blue-green to yellow liquid	Petroleum distillate, oil & grease, naphthalene, xylene
Antifreeze/coolant	Clear green-yellow liquid	Diethylene glycol, propylene glycol, heavy metals (copper, lead, zinc)

MATERIALS STORED ON SITE

1. ALL MATERIALS STORED ON-SITE SHALL BE STORED IN A NEAT, ORDERLY MANNER IN THEIR APPROPRIATE CONTAINERS. IF POSSIBLE, MATERIALS SHALL BE STORED UNDER A ROOF OR OTHER ENCLOSURE.
2. PRODUCTS SHALL BE KEPT IN THEIR ORIGINAL CONTAINERS WITH THE MANUFACTURER'S LABEL. SUBSTANCES SHALL NOT BE MIXED WITH ONE ANOTHER UNLESS RECOMMENDED BY THE MANUFACTURER. WHENEVER POSSIBLE, ALL OF THE PRODUCT SHALL BE USED UP BEFORE DISPOSING OF THE CONTAINER. THE MANUFACTURER'S RECOMMENDATIONS FOR THE PROPER USE AND DISPOSAL OF THEIR PRODUCTS SHALL BE FOLLOWED. THE CONSTRUCTION MANGER SHALL INSPECT THE ON-SITE MATERIALS DAILY TO ENSURE THE PROPER USE AND DISPOSAL.
3. HAZARDOUS PRODUCTS SHALL BE KEPT IN RESEALABLE CONTAINERS. ORIGINAL LABELS AND MATERIAL SAFETY DATA SHALL BE RETAINED. ALL FEDERAL, STATE AND CITY REGULATIONS SHALL BE FOLLOWED WHEN DISPOSING OF ANY HAZARDOUS WASTE.



NOTES:

1. THE SWPPP INFORMATION SIGN MUST BE LOCATED NEAR THE CONSTRUCTION EXIT OF THE SITE, SUCH THAT IT IS ACCESSIBLE AND VIEWABLE BY THE GENERAL PUBLIC, BUT NOT OBSTRUCTING VIEWS AS TO CAUSE A SAFETY HAZARD.
2. ALL POSTED DOCUMENTS MUST BE MAINTAINED IN A CLEARLY READABLE CONDITION AT ALL TIMES THROUGHOUT CONSTRUCTION AND UNTIL THE PERMIT HAS BEEN TERMINATED.
3. CONTRACTOR SHALL POST OTHER STORMWATER AND/OR EROSION AND SEDIMENT CONTROL RELATED PERMITS ON THE SIGN AS REQUIRED BY THE GOVERNING AGENCY.
4. SIGN SHALL BE LOCATED OUTSIDE OF PUBLIC RIGHT-OF-WAY AND EASEMENTS UNLESS APPROVED BY THE GOVERNING AGENCY.
5. CONTRACTOR IS RESPONSIBLE FOR ENSURING STABILITY OF THE SWPPP INFORMATION SIGN.

PERMIT SIGN DETAIL (NOT TO SCALE)

MAINTENANCE OF EROSION AND SEDIMENTATION CONTROLS:

1. SILT FENCING SHALL BE INSPECTED DAILY DURING PERIODS OF RAINFALL, IMMEDIATELY AFTER EACH SIGNIFICANT RAINFALL EVENT, AND WEEKLY DURING PERIODS OF NO RAINFALL. REPAIRS TO SILT FENCES SHALL BE DONE IMMEDIATELY. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN THE SEDIMENT REACHES ONE-HALF THE HEIGHT OF THE SILT FENCE.
2. THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE INSPECTED REGULARLY, AFTER EVERY RAINFALL EVENT, AND DURING HIGH VOLUMES OF TRAFFIC. REPAIRS TO THE CONSTRUCTION ENTRANCE SHALL BE MADE IMMEDIATELY. ALL SEDIMENTS, AND ALL OTHER MATERIALS, TRACKED ONTO PUBLIC ROADWAYS SHALL BE REMOVED IMMEDIATELY.
3. SELECT STOCKPILE LOCATION TO AVOID SLOPES AND NATURAL DRAINAGE WAYS, AVOIDING TRAFFIC ROUTES. ON LARGE SITES, RE-SPREADING IS EASIER AND MORE ECONOMICAL WHERE TOPSOIL IS STOCKPILED IN SMALL PILES LOCATED NEAR AREAS WHERE THEY WILL BE USED.
4. INSPECT AND MAINTAIN ALL BMPs LOCATED DOWN HILL OF AREA BEING GRADED, AS INDICATED. ADDITIONAL BMPs SHOULD BE CONSTRUCTED IF IT IS OBSERVED THAT THE PROPOSED BMPs ARE NOT EFFECTIVELY LIMITING SEDIMENT TRANSPORT FROM THE SITE. TYPICAL BMPs THAT MIGHT BE UTILIZED INCLUDE, BUT ARE NOT LIMITED TO:

- SEDIMENT BARRIERS - USE SILT FENCES, STRAW BALE SEDIMENT TRAPS OR OTHER BARRIERS WHERE NECESSARY TO RETAIN SEDIMENT
- TEMPORARY SEEDING - PROTECT TOPSOIL STOCKPILES BY TEMPORARILY SEEDING AS SOON AS POSSIBLE, NO MORE THAN 14 CALENDAR DAYS AFTER THE FORMATION OF THE STOCKPILE
- PERMANENT VEGETATION - IF STOCKPILES WILL NOT BE USED WITHIN 12 MONTHS, THEY MUST BE STABILIZED WITH PERMANENT VEGETATION TO CONTROL EROSION AND WEED GROWTH

SPILL CONTROL OF POLLUTANTS:

1. ALL ON-SITE VEHICLES SHALL BE MONITORED FOR LEAKS AND SHALL RECEIVE REGULAR PREVENTATIVE MAINTENANCE TO REDUCE THE CHANCE OF LEAKAGE.
2. CONCRETE TRUCKS SHALL ONLY WASH-OUT OR DISCHARGE SURPLUS CONCRETE, OR DRUM WASH WATER, AT DEDICATED CONCRETE TRUCK WASH-OUT AREAS. NO EXCESS CONCRETE OR DRUM WASH WATER SHALL BE RELEASED FROM THE SITE.
3. PETROLEUM PRODUCTS SHALL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED.
4. ALL ASPHALTIC SUBSTANCES USED ON-SITE SHALL BE APPLIED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS.
5. FERTILIZERS SHALL BE APPLIED ONLY IN THE MINIMUM AMOUNTS RECOMMENDED BY THE MANUFACTURER. ONCE APPLIED, FERTILIZER SHALL BE WORKED INTO THE SOIL TO LIMIT EXPOSURE TO STORM WATER. THE CONTENTS OF ANY PARTIALLY USED BAGS OF FERTILIZER SHALL BE TRANSFERRED TO A SEALABLE PLASTIC CONTAINER TO AVOID SPILLS.
6. ALL SPILLS SHALL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY. THE MANUFACTURER'S RECOMMENDED METHOD(S) FOR SPILL CLEANUP SHALL BE USED TO SITE PERSONNEL AND THEY SHALL BE MADE AWARE OF THE LOCATION OF THE CLEANUP SUPPLIES. MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP SHALL BE STORED ON-SITE. IN CASE OF A SPILL, THE SPILL AREA SHALL BE KEPT WELL VENTILATED AND CLEANUP PERSONNEL SHALL WEAR THE APPROPRIATE CLOTHING TO PREVENT INJURY FROM CONTACT WITH THE HAZARDOUS SUBSTANCE. SPILLS OF TOXIC AND HAZARDOUS MATERIAL, REGARDLESS OF THE SIZE OF THE SPILL, SHALL BE REPORTED TO THE APPROPRIATE STATE AND LOCAL GOVERNMENT AGENCIES IMMEDIATELY AFTER DISCOVERY.

CONSTRUCTION ENTRANCE (CE)

1. THE LOCATION OF A CONSTRUCTION ENTRANCE/EXIT HAS BEEN SHOWN ON THE EROSION CONTROL PLAN(S). THE CONTRACTOR SHALL INSTALL OR ESTABLISH A DESIGNATED CONSTRUCTION ENTRANCE/EXIT AT THE START OF CONSTRUCTION. IN THE EVENT THE ENTRANCE IS LOCATED IN A DIFFERENT LOCATION, THE CONTRACTOR SHALL UPDATE THE EROSION CONTROL PLAN.
2. A PERMIT SIGN SHALL BE INSTALLED AT OR NEAR THE CONSTRUCTION ENTRANCE FOR POSTING RELEVANT CONSTRUCTION PERMITS FOR THE PROJECT.
3. AS PART OF THE CONSTRUCTION ENTRANCE, THE CONTRACTOR SHALL INSTALL A VEHICLE WASH DOWN AREA. THE WASH DOWN AREA IS TO PREVENT THE TRACKING OF MUD AND DEBRIS FROM THE PROJECT SITE.
4. TRACKING IS NOT PERMISSIBLE. ANY TRACKING OF MUD AND/OR DEBRIS ONTO OFF-SITE ROADS SHALL BE CLEANED IMMEDIATELY.
5. LOCATION AND FINAL DIMENSIONS OF THE CONSTRUCTION ENTRANCE, WASH DOWN AREA AND STAGING AREAS SHALL BE ESTABLISHED BY THE GENERAL CONTRACTOR.
6. ALL CONSTRUCTION TRAFFIC LEAVING THE PROJECT SITE SHALL UTILIZE THE CONSTRUCTION ENTRANCE/EXIT.

SILT FENCE (SF)

7. SILT FENCE TO BE ADJUSTED AS NECESSARY FOR CONSTRUCTION ACTIVITY.
8. UNLESS NOTED OTHERWISE, SILT FENCE SHALL BE A WOVEN GEOTEXTILE FABRIC SUCH AS MIRAFI 100X OR EQUAL.
9. REFER TO THE SILT FENCE DETAIL FOR INSTALLATION REQUIREMENTS.
10. SILT FENCES SHALL ONLY BE USED FOR STORM WATER SHEET FLOW CONDITIONS.
11. SILT FENCES SHALL FOLLOW CONTOURS AND UTILIZE "J" HOOKS TO HELP TRAP SEDIMENT.
12. SILT FENCES SHALL BE INSPECTED REGULARLY FOR TEARS, RIPS, OR DETERIORATION. DAMAGED FENCE SHALL BE REPLACED.
13. WHEN SEDIMENT BUILDS UP TO ONE HALF THE HEIGHT OF THE FENCE, IT SHALL BE CLEANED AND REINSTALLED.

INLET PROTECTION (IP)

1. REFER TO THE INLET PROTECTION DETAILS FOR VARIOUS TYPES OF INLET PROTECTION. THE CONTRACTOR SHALL HAVE THE OPTION OF UTILIZING ANY TYPES SHOWN OR ACCEPTABLE ALTERNATE.
2. INLET PROTECTION DEVICES SHALL BE INSTALLED IMMEDIATELY AROUND EACH INLET ONCE INLET CONSTRUCTION IS COMPLETED. INLET PROTECTION SHALL REMAIN IN PLACE AND BE MAINTAINED UNTIL THE SITE HAS BEEN CONSIDERED STABLE.

SOD OR SEEDING, MULCHING AND FERTILIZING (SD) (SM)

1. ALL DISTURBED AREAS WHICH REMAIN UNWORKED FOR 14 DAYS, SHALL BE TEMPORARILY STABILIZED.
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3. ALL AREAS DISTURBED DURING CONSTRUCTION, WHICH WILL NOT BE PAVED, SHALL HAVE A MINIMUM OF 4" OF TOPSOIL INSTALLED.
4. GRASSSED AREAS SHALL BE EITHER SODDED OR SEEDDED AND MULCHED. REFER TO THE SITE AND LANDSCAPING PLANS FOR LOCATIONS OF EACH.
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9. FINAL STABILIZATION MUST MEET THE LAND DISTURBANCE PERMIT REQUIREMENTS.

SEEDING REQUIREMENTS

Dates for Seeding											
Permanent Seeding	Jan	Feb	March	April	May	June	July	Aug	Sep	Oct	Nov
Tall Fescue			O	O	O				O	O	
Smooth Brome			O	O	O				O	O	
Fescue & Brome			O	O	O				O	O	
Fescue, Rye & Bluegrass	A	A	O	O	O	P	P	O	O	P	A

Temporary Seeding	Jan	Feb	March	April	May	June	July	Aug	Sep	Oct	Nov
Rye or Sudan	A	A	O	O	O	O	O	O	O	O	A
Orls	A	A	O	O	O	O	O	O	O	O	A

O = Optimum seeding dates
A = Acceptable seeding dates
P = Permitted seeding dates with reseeding 2 months later - Initially use 50% of seed and 70% of fertilizer. Reseed with additional 75% seed and remaining fertilizer.

Permanent Seeding*	Pounds per acre	Pounds Per 1000 sq. ft.
Tall Fescue	200	7.0
Smooth Brome	200	4.6
Mixture #1	250	5.7
Mixture #2	210	4.8

Mixture #1 = Tall Fescue @ 150 pounds per acre and Brome @ 100 pounds per acre.
Mixture #2 = Tall Fescue @ 100 pounds per acre, Perennial Rye grass @ 100 pounds per acre; and Kentucky Blue grass @ 10 pounds per acre.
* = Seeding rate for slopes in excess of 20% (5:1), shall be 10 pounds per 1000 sq. ft.

Temporary Seeding	Pounds per acre	Pounds Per 1000 sq. ft.
Rye or Sudan	150	3.5
Orls	200	2.5

Fertilizer	Permanent Seeding (pounds per acre)	Temporary Seeding (pounds per acre)
Nitrogen	45	30
Phosphate	65	30
Potassium	65	30
Lime - ENM	600	600

ENM = Effective neutralizing material per State evaluation of quarried rock.

CONSTRUCTION ENTRANCE (CE)

1. THE LOCATION OF A CONSTRUCTION ENTRANCE/EXIT HAS BEEN SHOWN ON THE EROSION CONTROL PLAN(S). THE CONTRACTOR SHALL INSTALL OR ESTABLISH A DESIGNATED CONSTRUCTION ENTRANCE/EXIT AT THE START OF CONSTRUCTION. IN THE EVENT THE ENTRANCE IS LOCATED IN A DIFFERENT LOCATION, THE CONTRACTOR SHALL UPDATE THE EROSION CONTROL PLAN.
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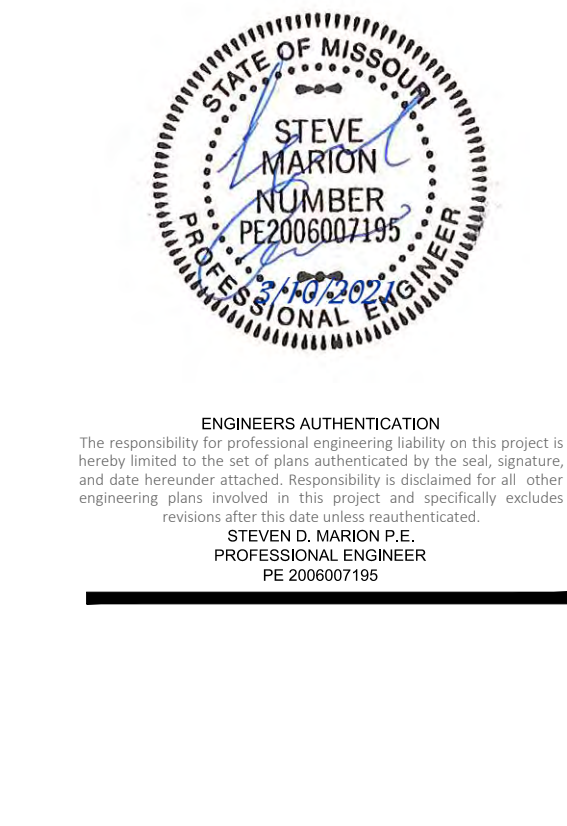
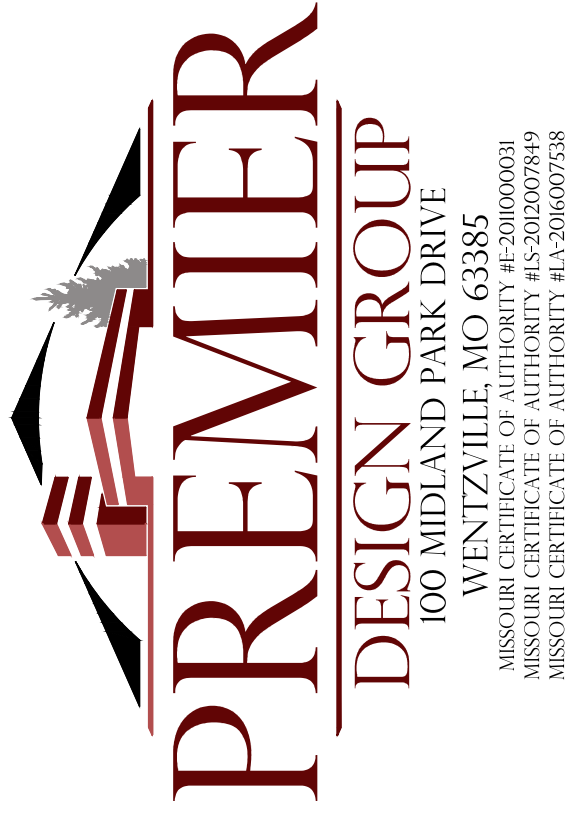
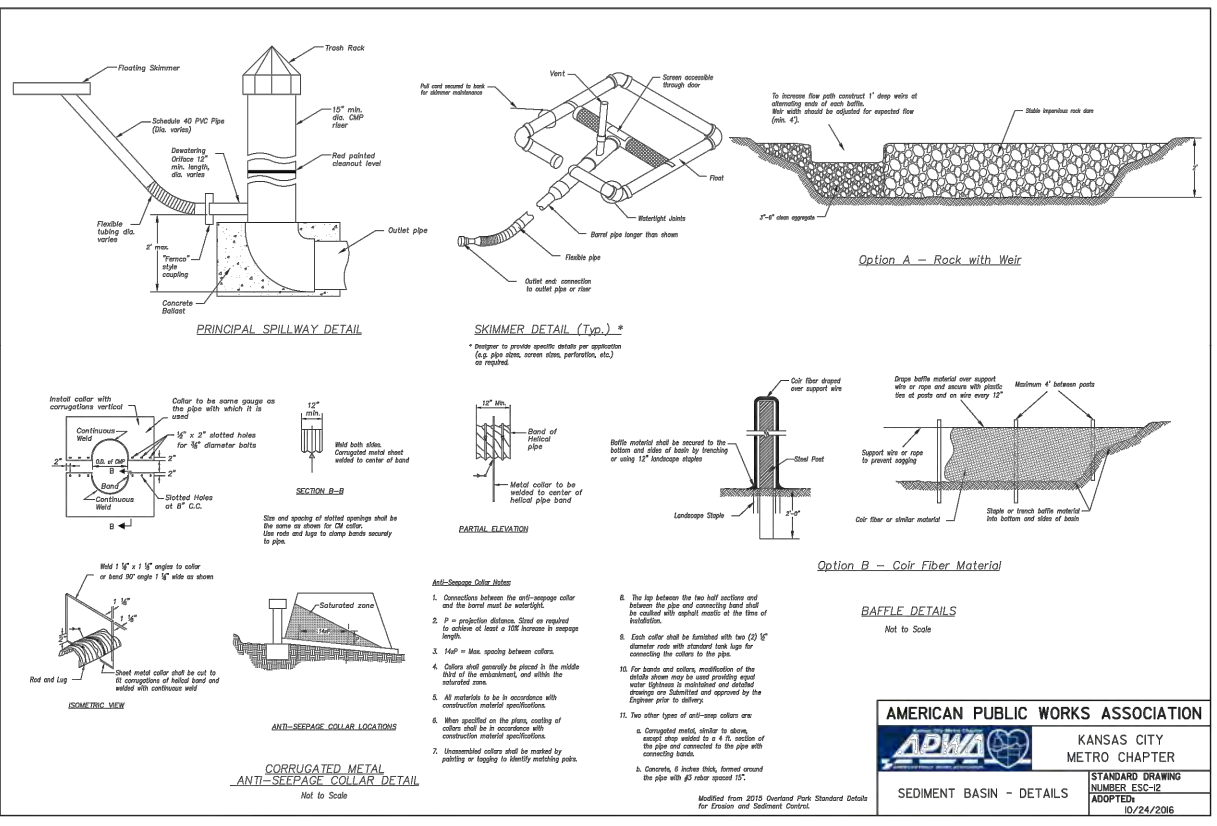
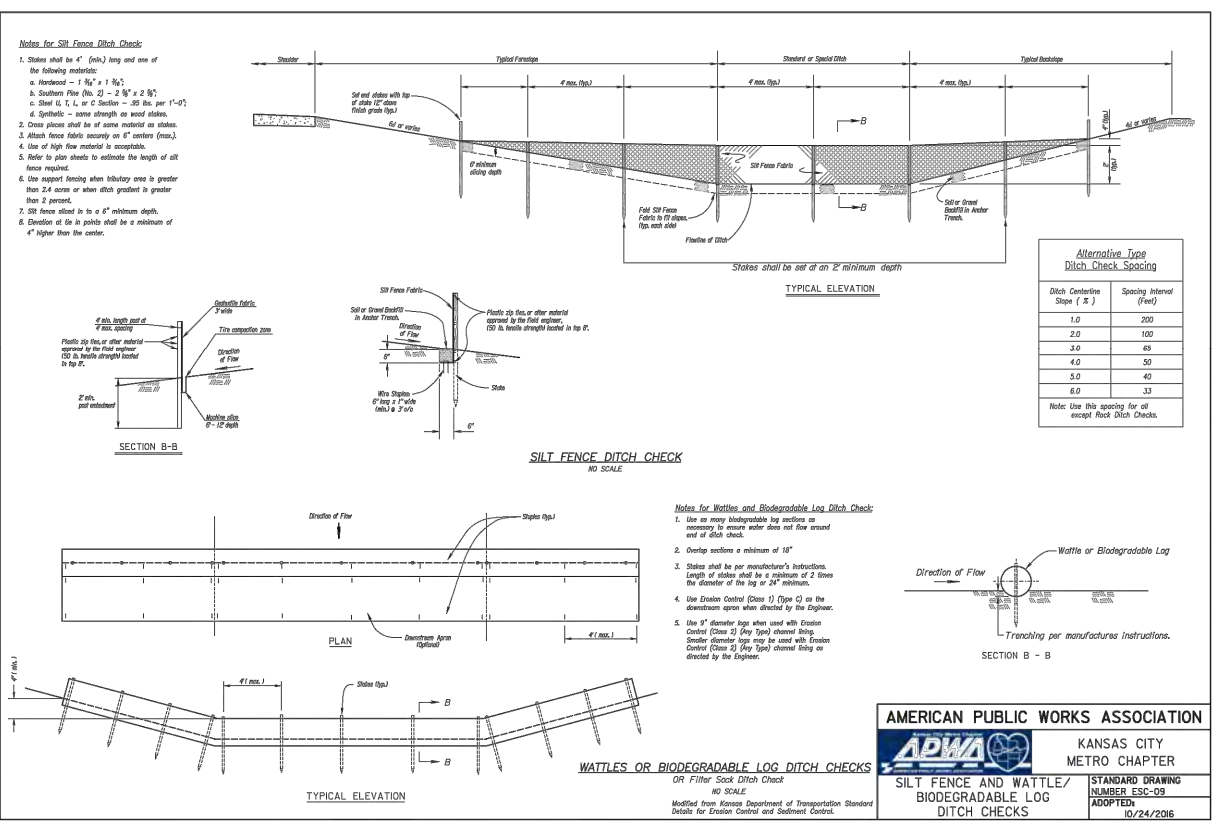
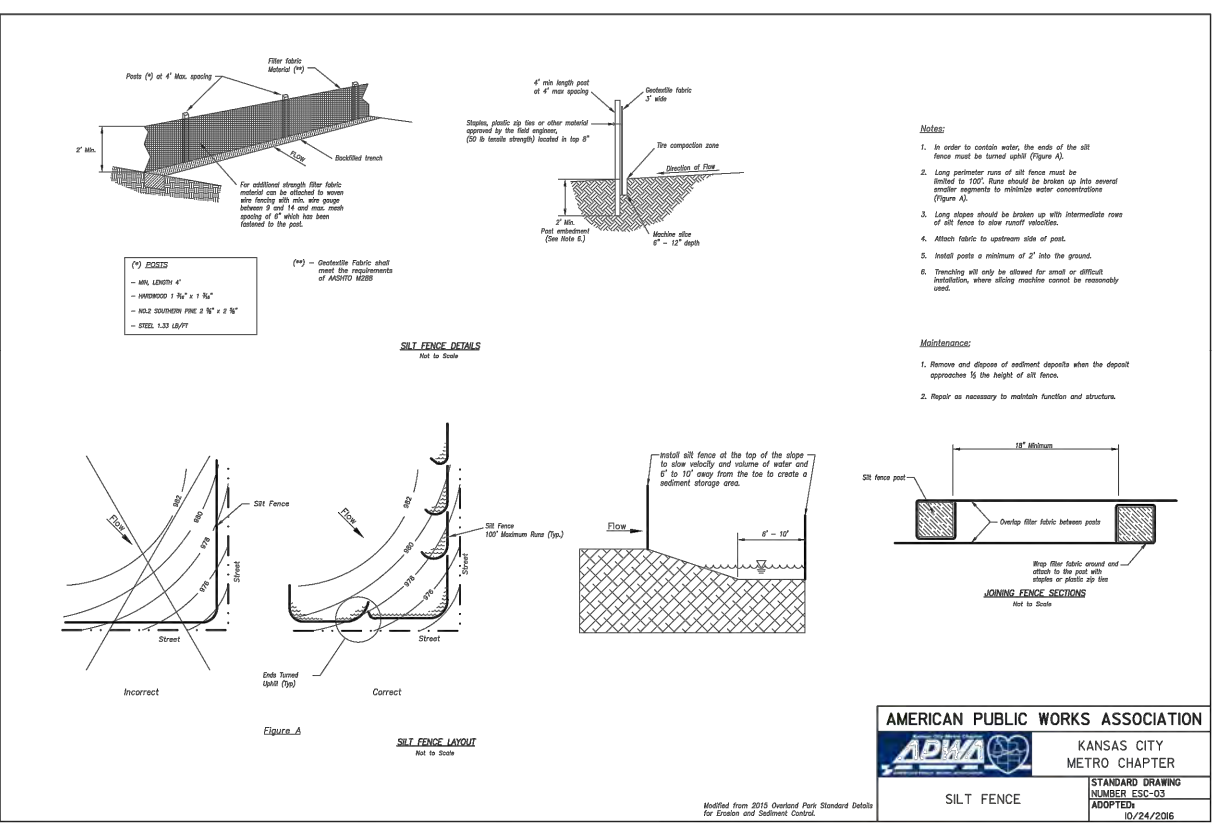
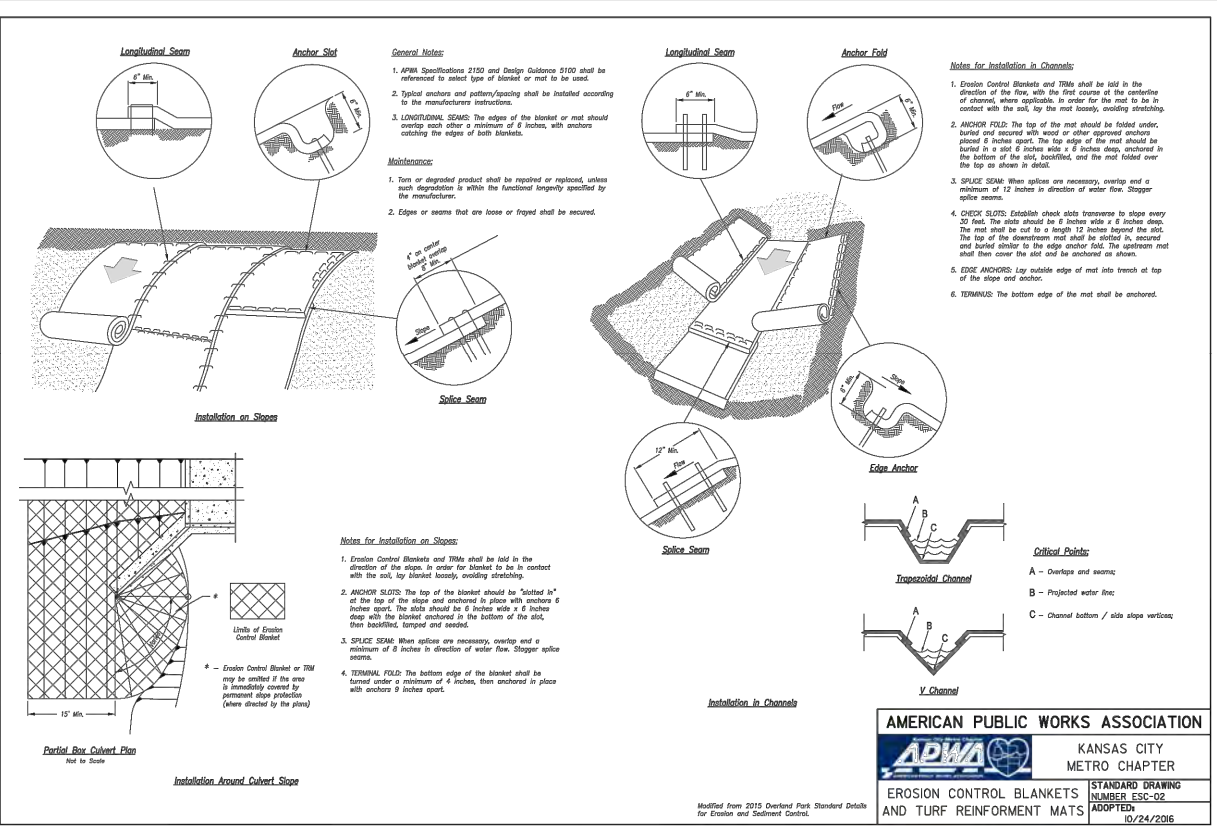
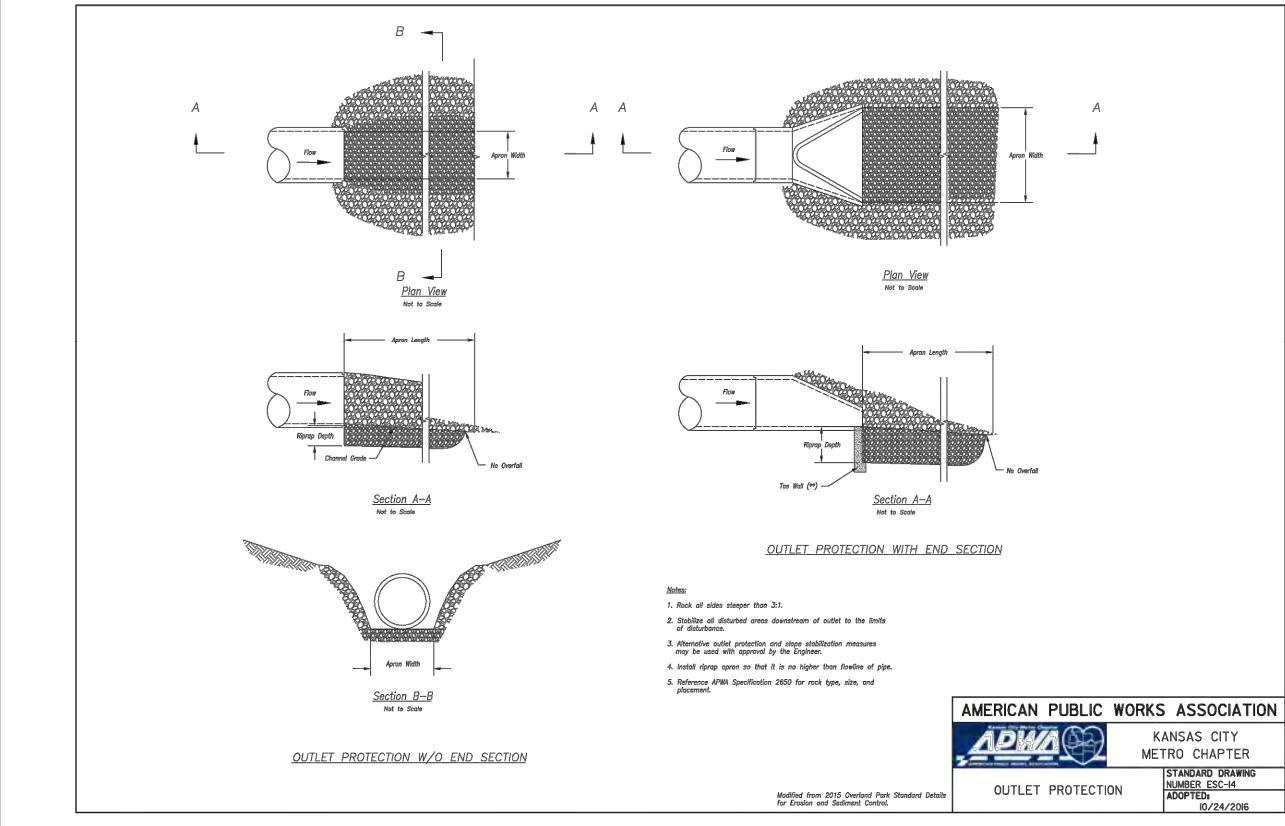
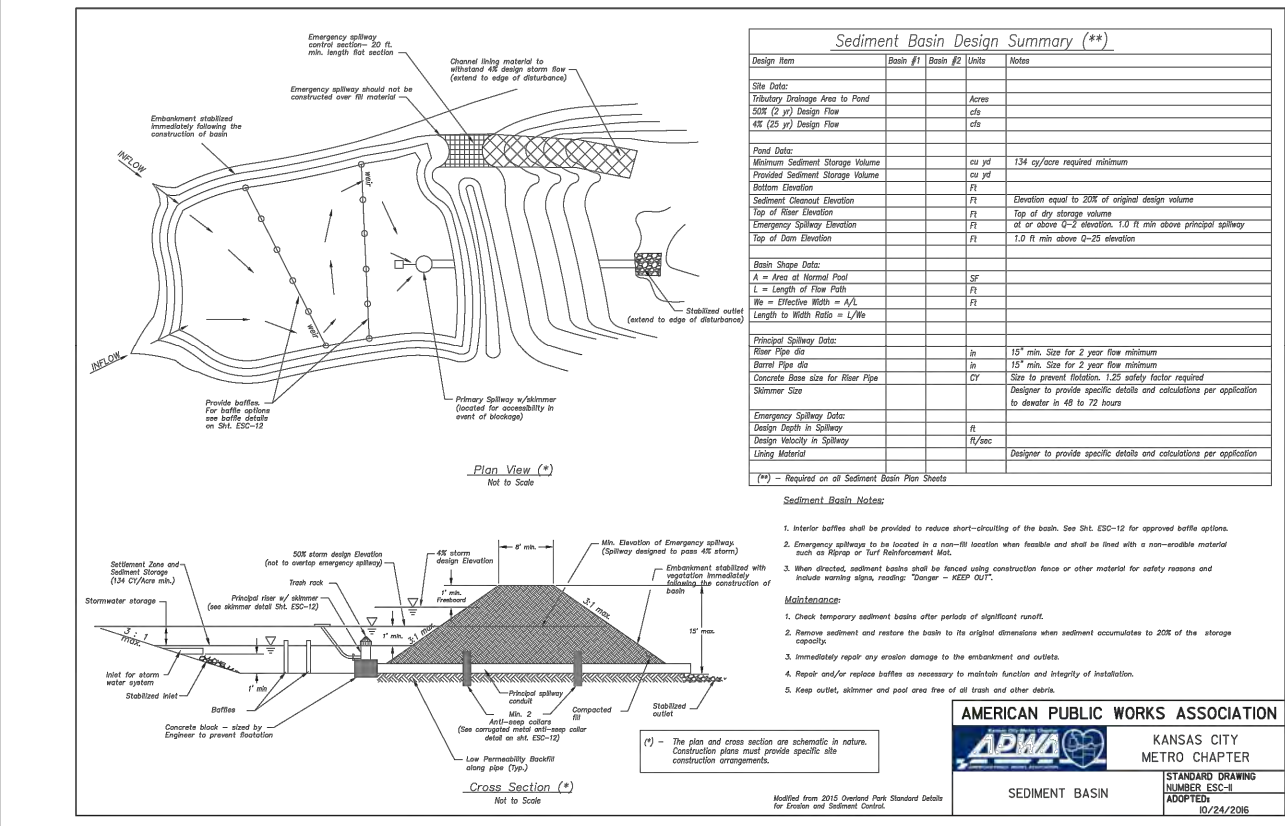
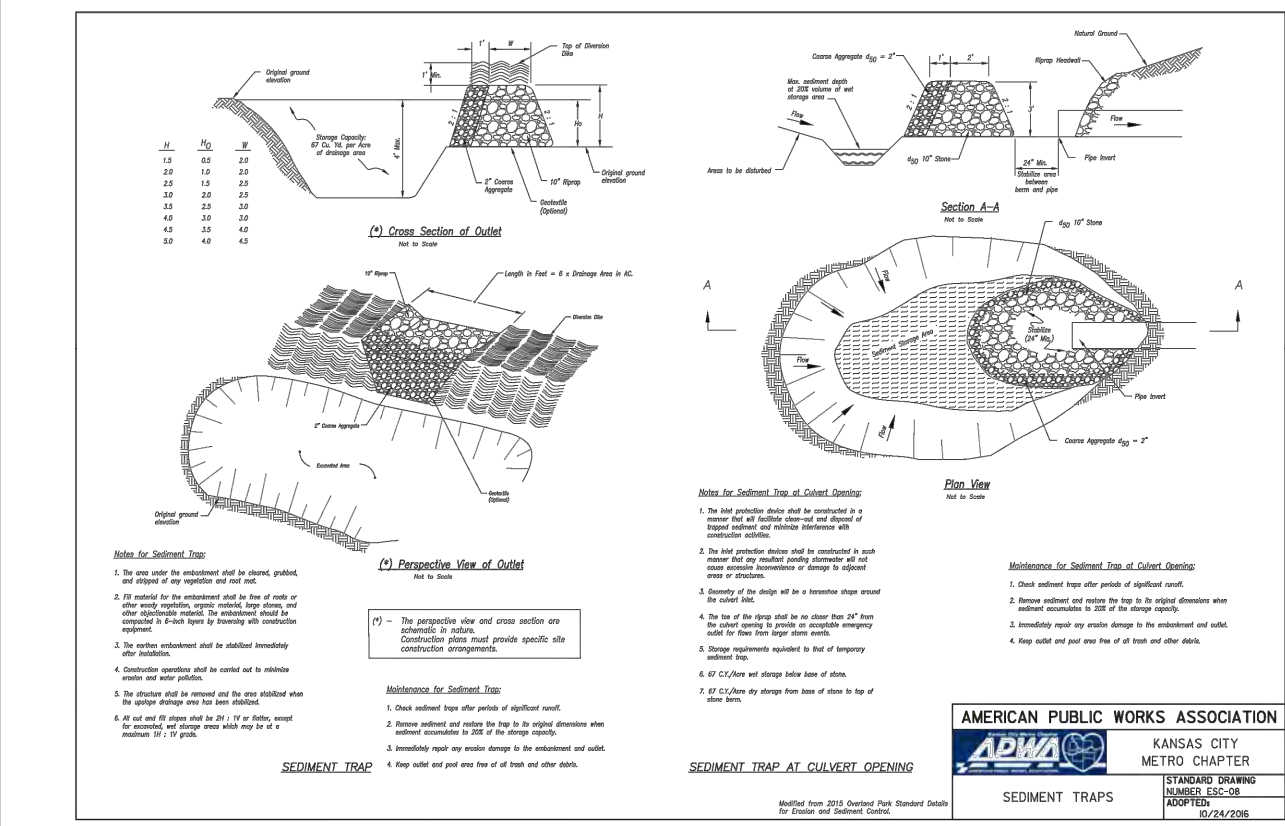
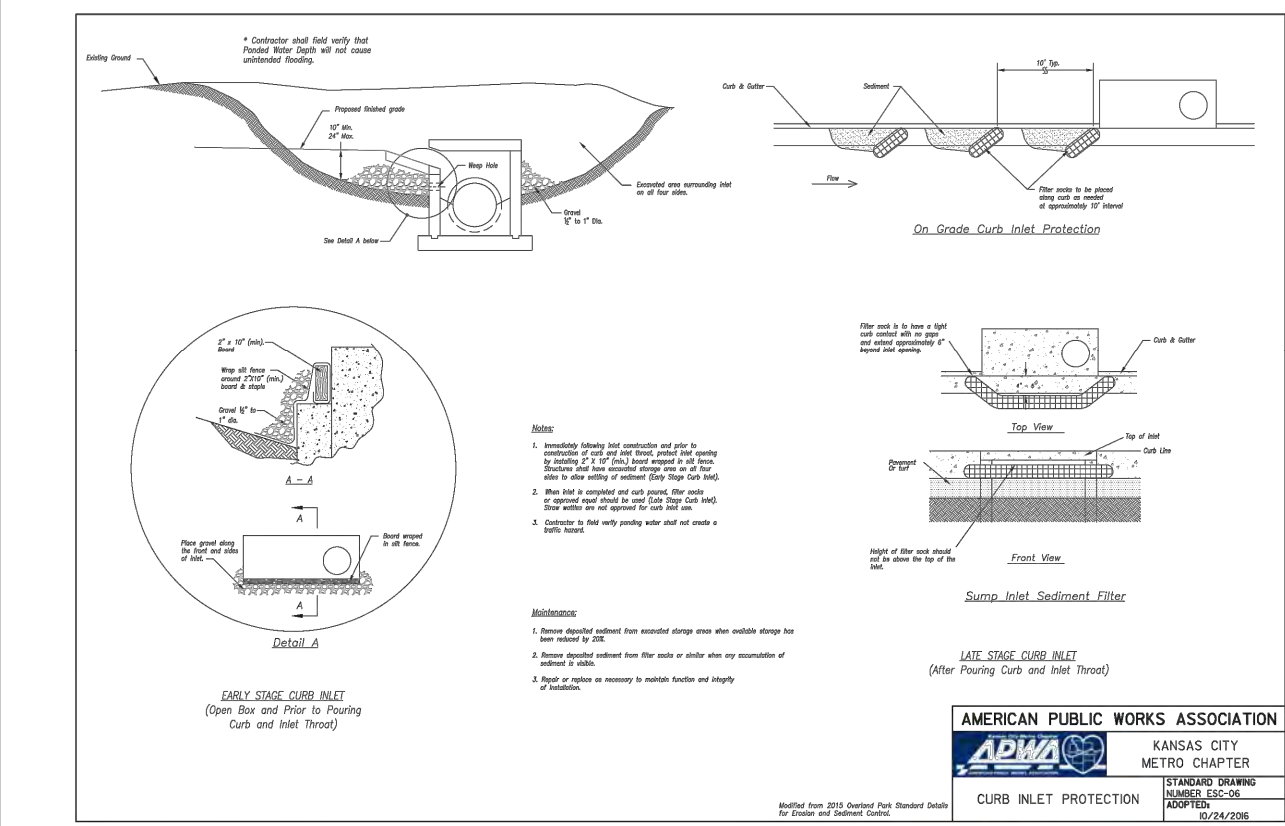
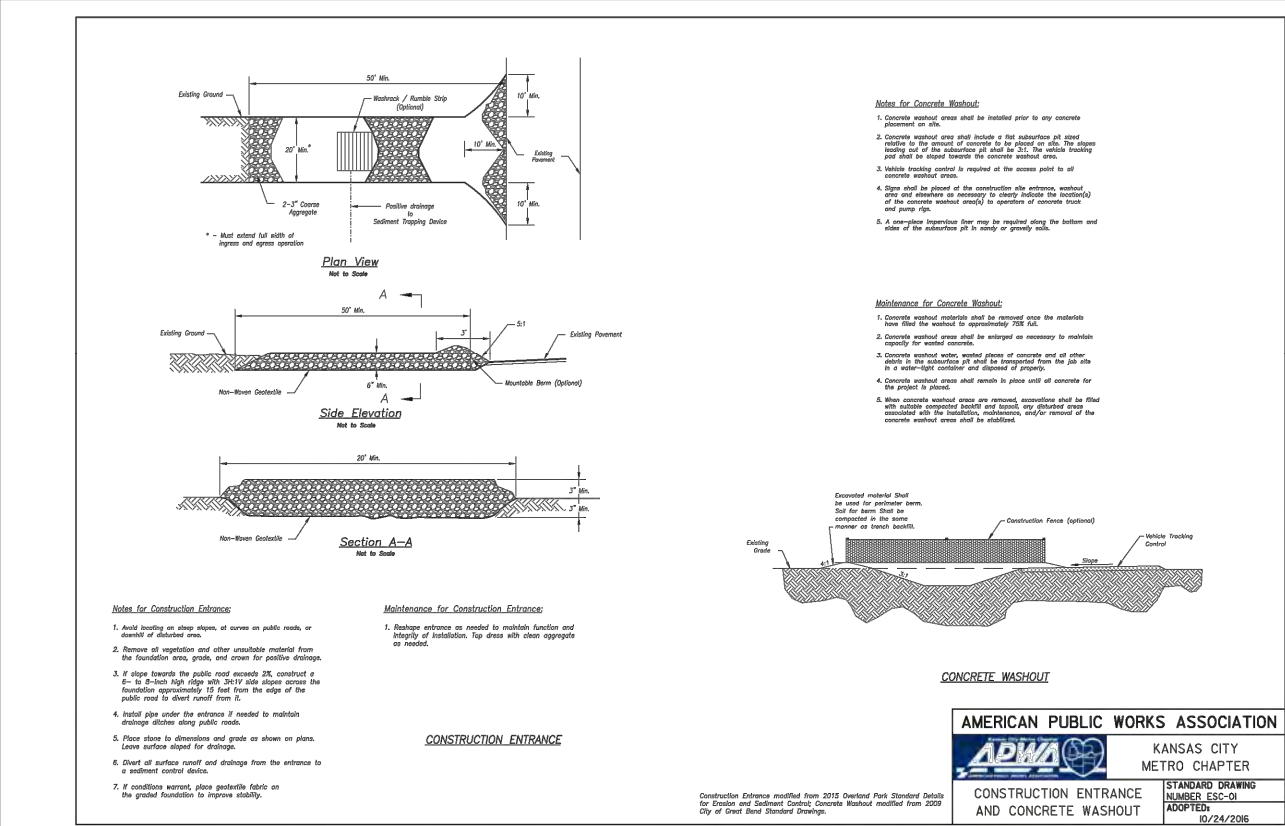
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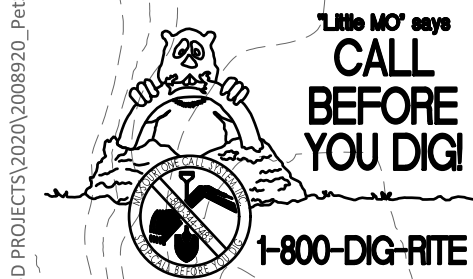


ENGINEERS AUTHENTICATION
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STEVEN J. MARION P.E.
PROFESSIONAL ENGINEER
PE 200607195

Project	PETSUITES OF AMERICA LEES SUMMIT, MO 250 NW MCNARY CT. LEES SUMMIT, MO 64066 TM CROWLEY 501 PENNSYLVANIA PARKWAY SUITE 160 INDIANAPOLIS, IN 46280
Date	1-27-2021
Description of Changes	
# Revision Date	
Sheet Number	C-403
Project No.	2008920
Drawn By	Z. KUNTZ/A. JONES
Checked By	M. FOGARTY
NOT RELEASED FOR CONSTRUCTION	

EROSION CONTROL DETAILS

\\usm-cv\p\m\c\civil\3D PROJECTS\2020\2008920_Petsuites_McNary Ct Lot 3B_Lee Summit Engineering\CONSTRUCTION DOCUMENTS\EXISTING DRAINAGE AREA MAP.dwg



UNDERGROUND UTILITIES AND OSHA SAFETY NOTE:
Underground utilities and structures have been plotted from available information and therefore, their location must be considered approximate only. It is the responsibility of the individual contractors to notify the utility companies before actual construction. All O.S.H.A. rules and regulations established for the type of construction required by these plans shall be strictly followed (ie. trenching, blasting, etc.)

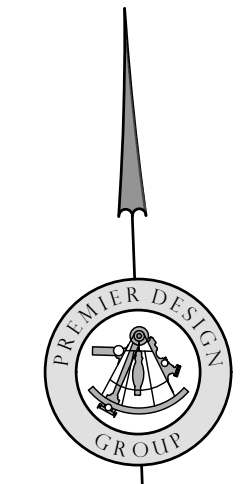


THIS PLAN IS FOR DRAINAGE PURPOSES AND
REFERENCE ONLY. DO NOT USE FOR
CONSTRUCTION.

MINIMUM TIME OF CONCENTRATION = 5 MINUTES
EXISTING SOILS TYPE = C
CN PAVT = 98
CN GRASS = 74
CN COMMERCIAL AREAS = 94

MASTER DRAINAGE PLAN NOTES

1. MBOE - (MINIMUM BUILDING OPENING ELEVATION)
ELEV = 1001.00
2. THE INDIVIDUAL LOT OWNER(S) SHALL NOT CHANGE
OR OBSTRUCT THE OVERALL DRAINAGE FLOW LINES OR
PATHS ON THE LOT AS SHOWN ON THE MASTER
DRAINAGE PLAN, UNLESS SPECIFIC APPLICATION IS
MADE AND APPROVED BY THE CITY ENGINEER.



1" = 20'
SCALE IN FEET

EXISTING RUNOFF TABLE

ID	EXISTING Q (CFS)
AREA A	
2-Year	2.79
10-Year	4.43
100-Year	6.58
AREA B	
2-Year	0.12
10-Year	0.24
100-Year	0.42
AREA C	
2-Year	0.35
10-Year	0.73
100-Year	1.27
AREA D	
2-Year	0.14
10-Year	0.29
100-Year	0.51
AREA E	
2-Year	6.56
10-Year	10.38
100-Year	15.41
AREA F	
2-Year	3.57
10-Year	7.6
100-Year	13.44
AREA G	
2-Year	0.04
10-Year	0.08
100-Year	0.14
AREA H	
2-Year	0.02
10-Year	0.04
100-Year	0.07

PREMIER
DESIGN GROUP
100 MIDLAND PARK DRIVE
WENTZVILLE, MO 63385
MISSOURI CERTIFICATE OF AUTHORITY #E-200800038
MISSOURI CERTIFICATE OF AUTHORITY #E-200600758

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PROFESSIONAL ENGINEER
PE 2006007195

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LEES SUMMIT, MO
250 NW McNARY CT.
LEES SUMMIT, MO 64066
TM CROWLEY
501 PENNSYLVANIA PARKWAY SUITE 160
INDIANAPOLIS, IN 46280

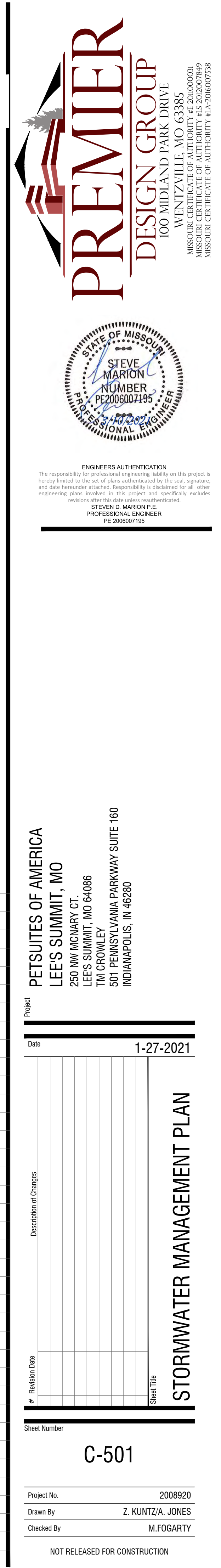
Project No. 2008920
Drawn By Z. KUNTZ/A. JONES
Checked By M. FOGARTY

1-27-2021

EXISTING DRAINAGE AREA MAP

C-500

NOT RELEASED FOR CONSTRUCTION



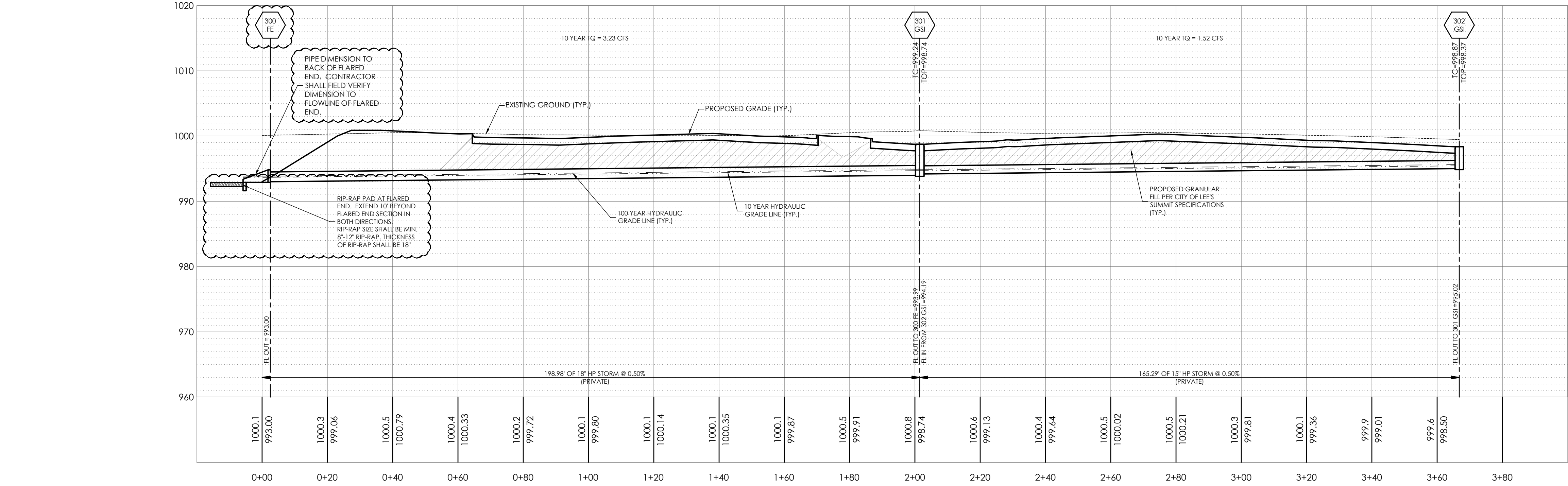
\\usm-fs-pw\usm\civil\3D PROJECTS\2020\008920_PetSuites_Mchery C1 Lot 38_Lee Summit\ENGINEERING\CONSTRUCTION DOCUMENTS\STORM SEWER.dwg



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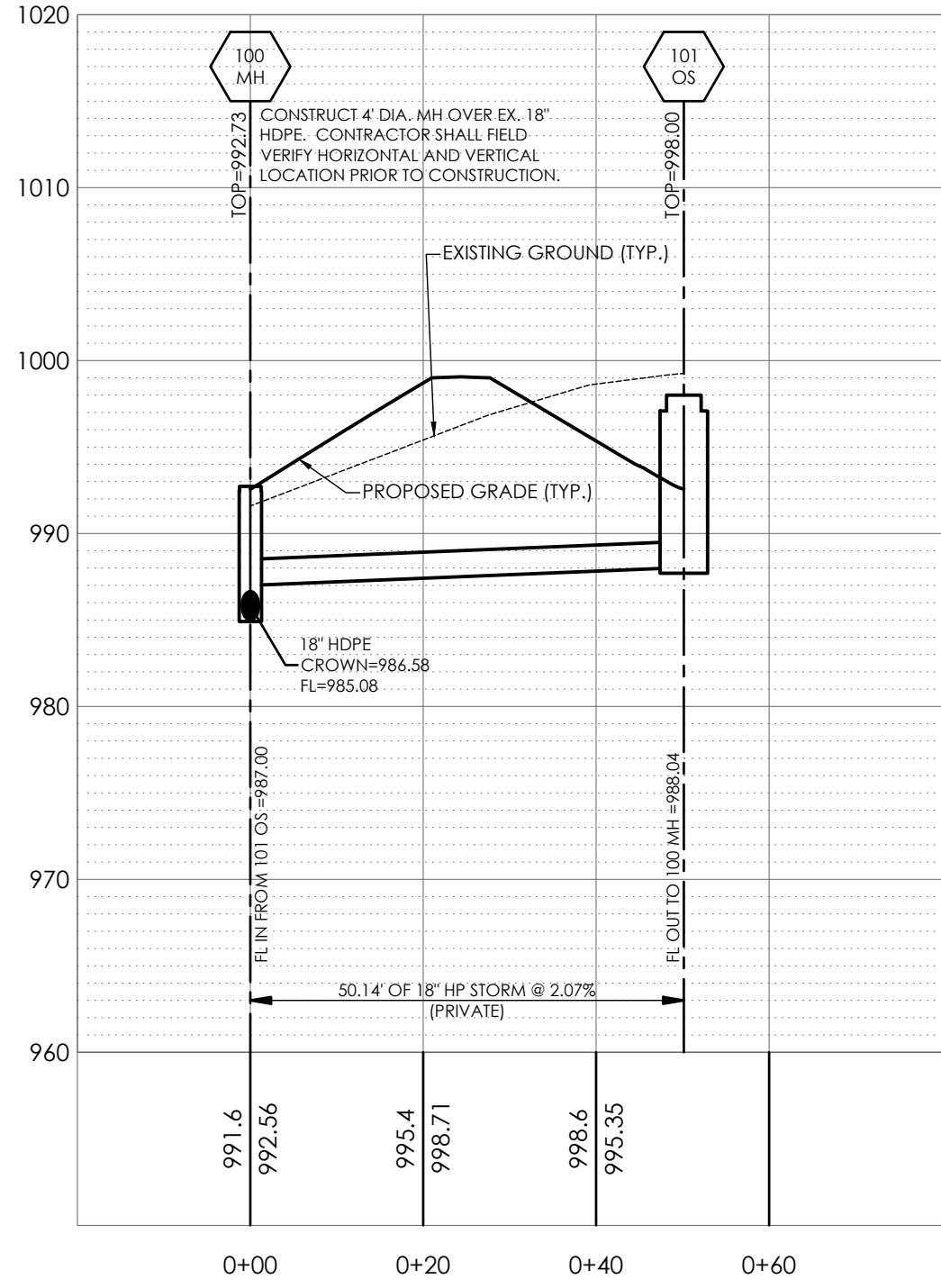
10 YEAR STORM HYDRAULICS																												
LineNo.	LineID	InletID	LineLength	n-valuePipe	LineSize	InvertUp	InvertDn	LineSlope	Grnd/RimElev Up	Grnd/RimElev Dn	DepthUp	HGLUp	HGLDn	Rim-Hw	Defl.Angle	VelDn	VelHd Dn	J-LossCoeff	EnergyLoss	MinorLoss	FlowRate	CapacityFull	Tc	QCaptured	InletEff	IncrQ	DrainageArea	RunoffCoeff
			(ft)		(in)	(ft)	(ft)	(%)	(ft)	(ft)	(ft)	(ft)	(ft)	(ft)	(Deg)	(ft/s)	(ft)		(ft)	(ft)	(cfs)	(cfs)	(min)	(cfs)	(%)	(cfs)	(ac)	(C)
2	302-301	302 GSI	165.286	0.012	15	994.94	994.11	0.50	998.37	998.74	0.49**	995.43 j	994.69	2.94	73.821	2.71	0.18	1.00 z	0.000	n/a	1.52	4.95	0.0	1.52	100	1.52	0.00	0.00
1	301-300	301 GSI	201.508	0.012	18	994.01	993.00	0.50	998.74	994.43	0.68**	994.69	993.68	4.05	69.997	4.11	0.26	1.45 z	0.000	n/a	3.23	8.13	0.9	1.71	100	1.71	0.00	0.00

100 YEAR STORM HYDRAULICS																												
LineNo.	LineID	InletID	LineLength	n-valuePipe	LineSize	InvertUp	InvertDn	LineSlope	Grnd/RimElev Up	Grnd/RimElev Dn	DepthUp	HGLUp	HGLDn	Rim-Hw	Defl.Angle	VelDn	VelHd Dn	J-LossCoeff	EnergyLoss	MinorLoss	FlowRate	CapacityFull	Tc	QCaptured	InletEff	IncrQ	DrainageArea	RunoffCoeff
			(ft)		(in)	(ft)	(ft)	(%)	(ft)	(ft)	(ft)	(ft)	(ft)	(ft)	(Deg)	(ft/s)	(ft)		(ft)	(ft)	(cfs)	(cfs)	(min)	(cfs)	(%)	(cfs)	(ac)	(C)
2	302-301	302 GSI	165.000	0.012	15	995.02	994.19	0.50	998.37	998.74	0.60**	995.62	994.84	2.75	73.821	3.55	0.24	1.00 z	0.000	0.24	2.29	4.96	0.0	2.29	100	2.29	0.00	0.00
1	301-300	301 GSI	198.980	0.012	18	993.99	993.00	0.50	998.74	994.43	0.85**	994.84	993.85	3.90	69.997	4.73	0.35	1.45 z	0.000	0.51	4.89	8.02	0.7	2.60	100	2.60	0.00	0.00



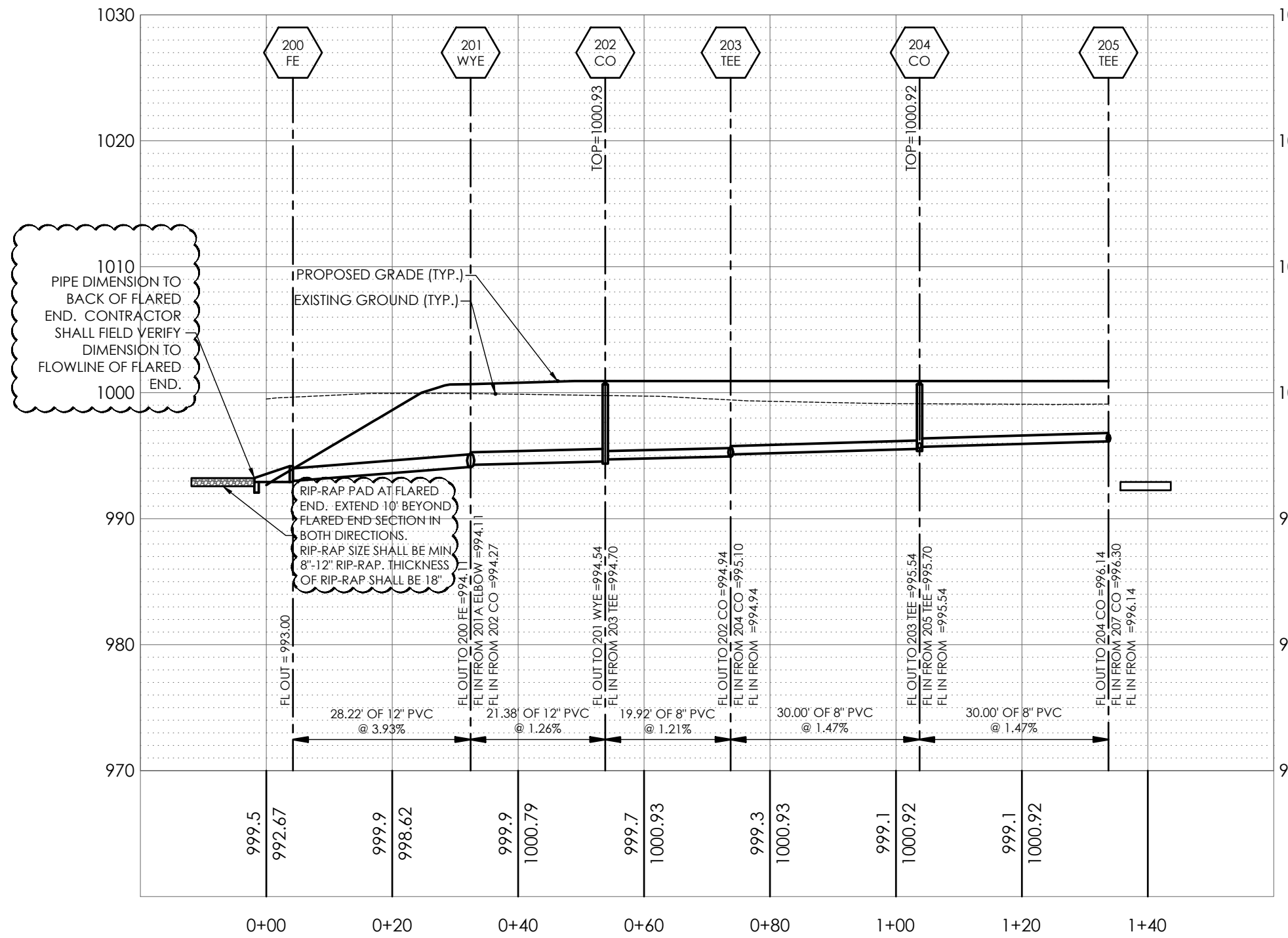
STORM SEWER PROFILE 300 EOP TO 302 GSI

1"=20' HORIZONTAL
1"=10' VERTICAL



STORM SEWER PROFILE 100 MH TO 101 OS

1"=20' HORIZONTAL
1"=10' VERTICAL



STORM SEWER PROFILE 205 CO TO 200 EOP

1"=20' HORIZONTAL
1"=10' VERTICAL

PREMIER
DESIGN GROUP
100 MIDLAND PARK DRIVE
WENTZVILLE, MO 63385
MISSOURI CERTIFICATE OF AUTHORITY #E-200000038
MISSOURI CERTIFICATE OF AUTHORITY #L-200607528

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LEES SUMMIT, MO 64086
TM CROWLEY
501 PENNSYLVANIA PARKWAY SUITE 160
INDIANAPOLIS, IN 46280

Project
Date
1-27-2021

Revision Date Description of Changes
1 3-10-2021 REVISED PER CITY COMMENTS

Sheet Title
C-600

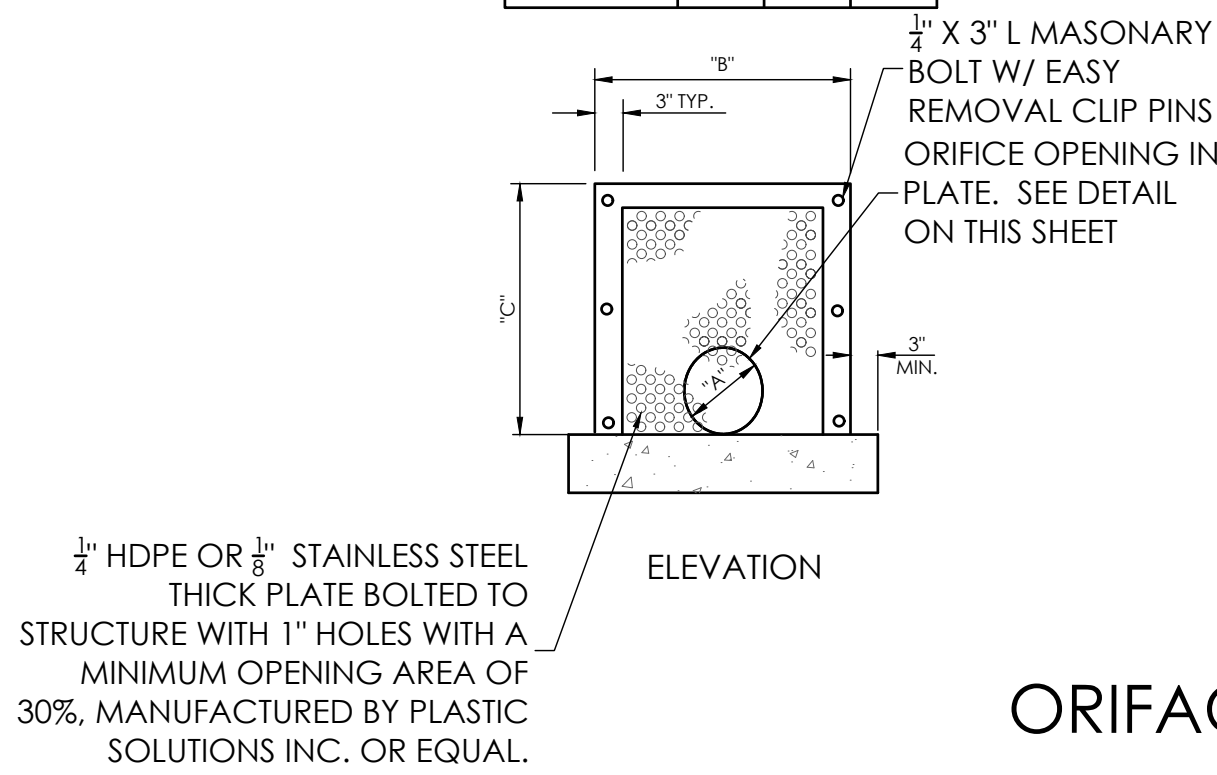
Project No. 2008920
Drawn By Z. KUNTZ/A. JONES
Checked By M. FOGARTY

NOT RELEASED FOR CONSTRUCTION

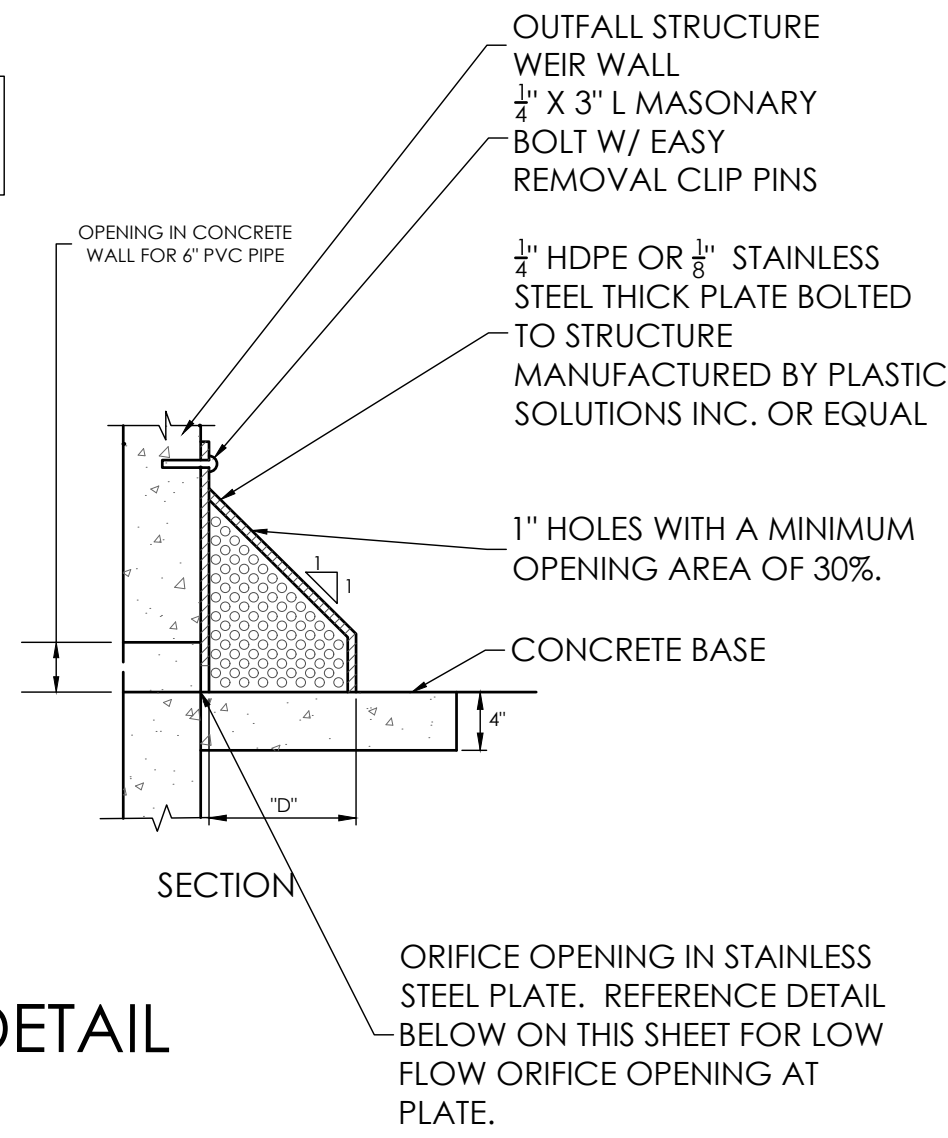
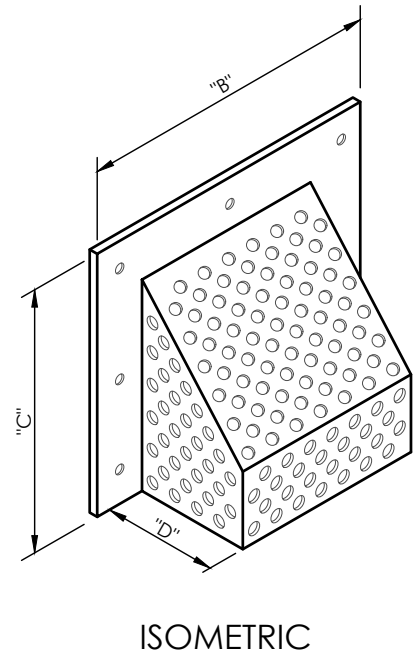
STORM SEWER PROFILES

LOW FLOW CULVERT DIA. IN.	8"	12"	15"	18"
18" - 24"	24"	21"	12"	30"

THIS DETAIL MUST MEET MINIMUM STANDARDS AS SHOWN ON PLASTICSOLUTIONS.COM OR EQUAL



ORIFACE PROTECTION DETAIL (N.T.S.)



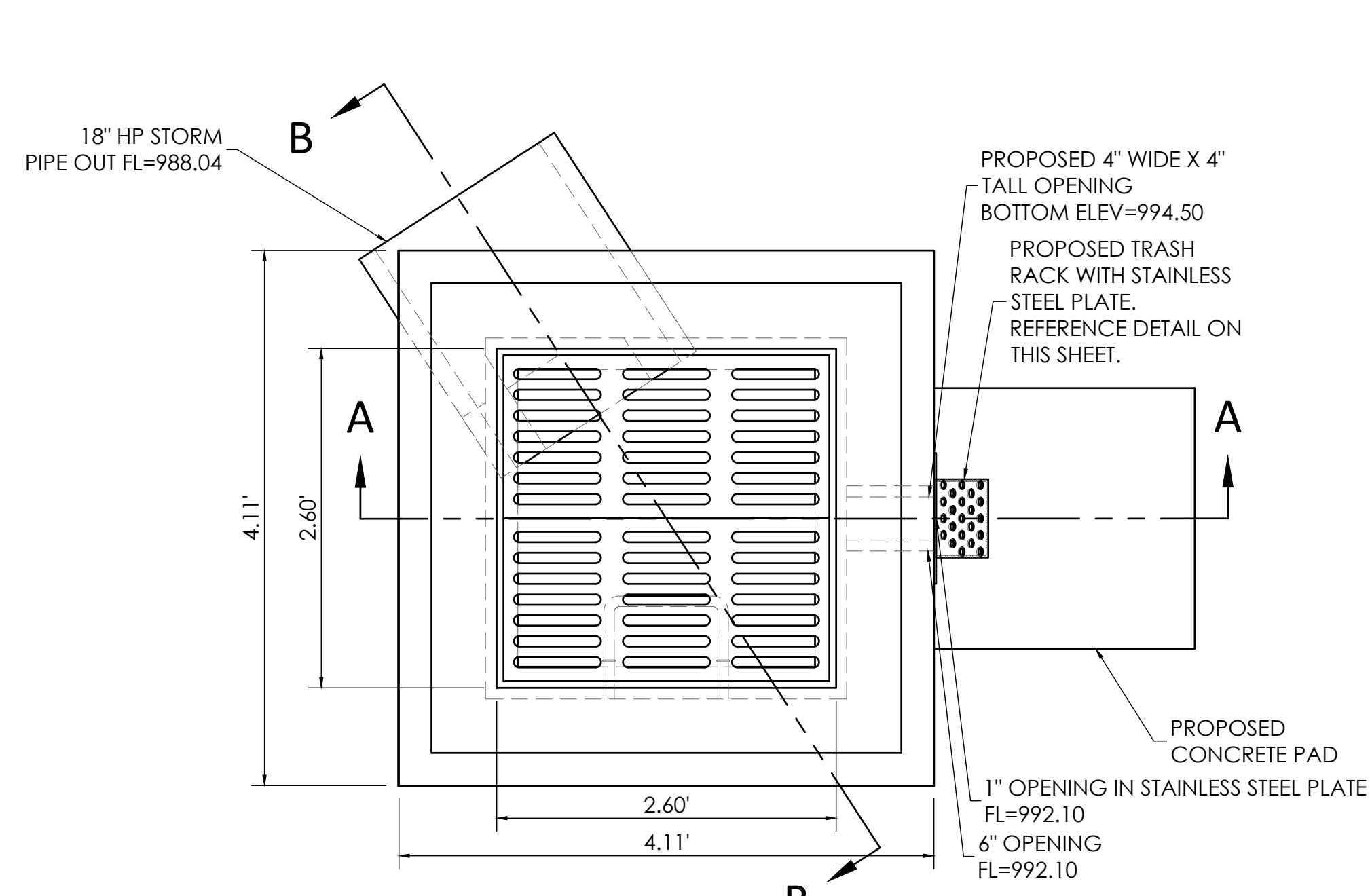
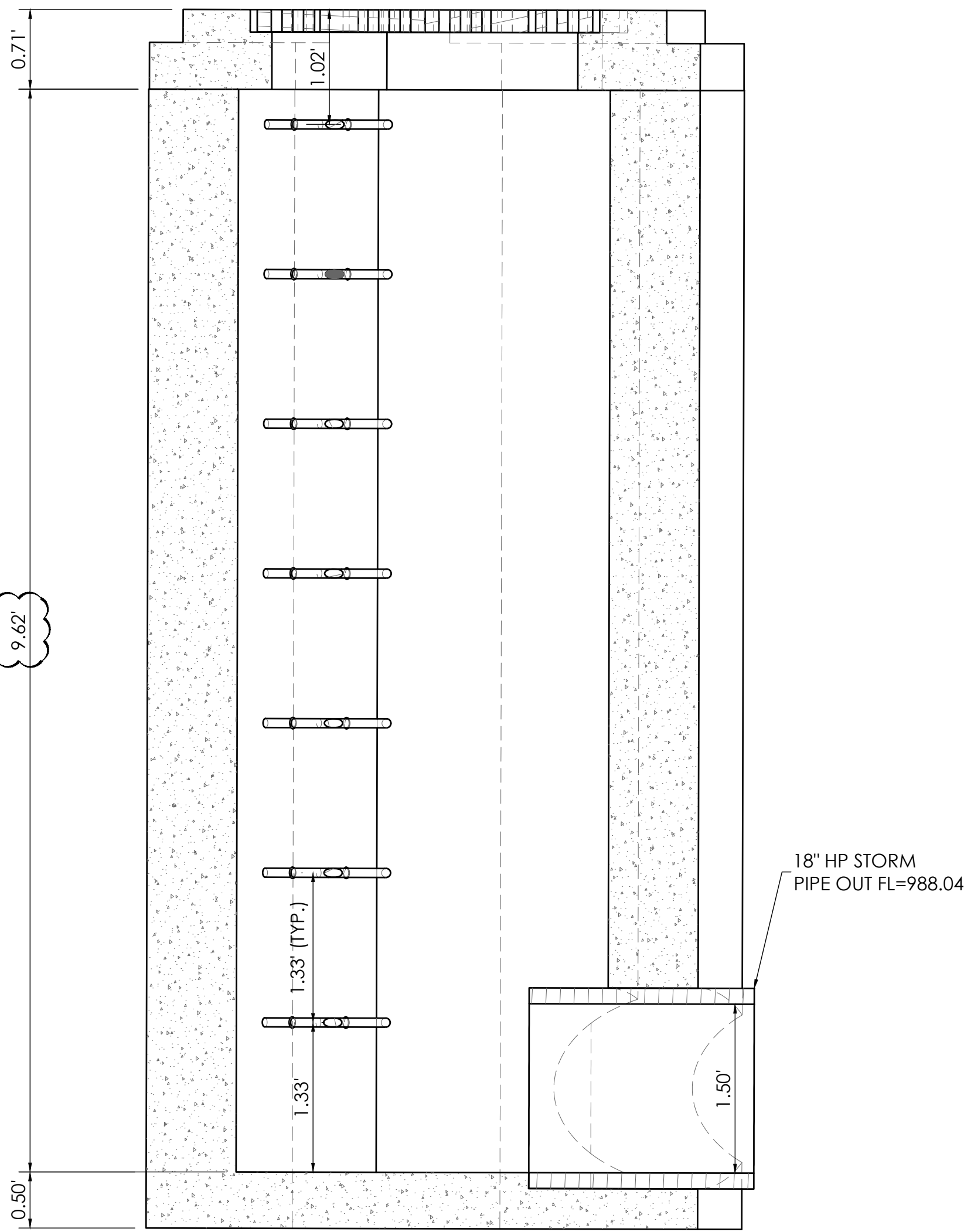
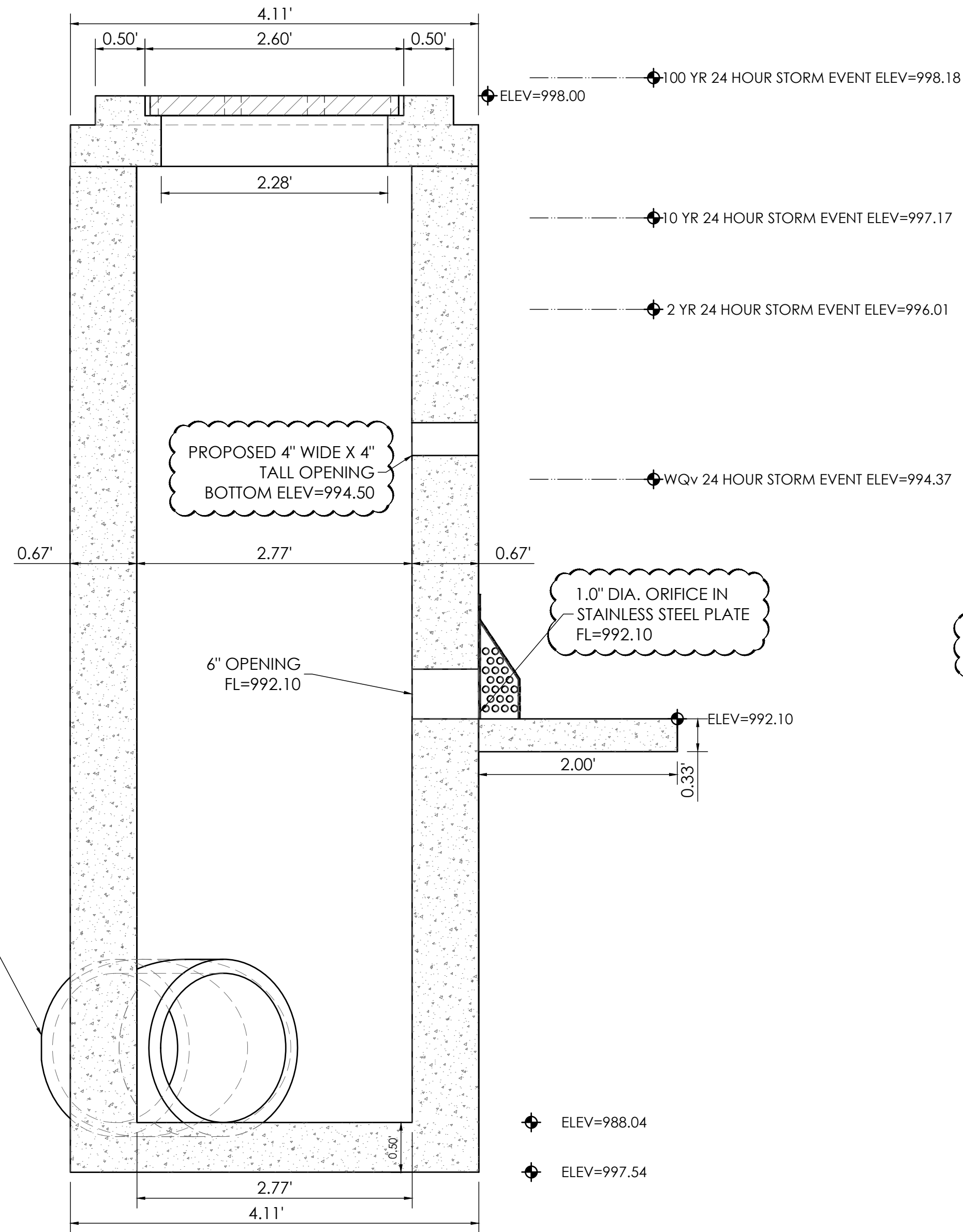
ALL JOINTS BETWEEN PIPE AND COLLAR SHALL BE SEALED WITH A NON-SHRINK/NON-EXANSIVE TAR OR SEALANT.

4,000 P.S.I. PCC CAST IN PLACE. FORM AS REQUIRED.

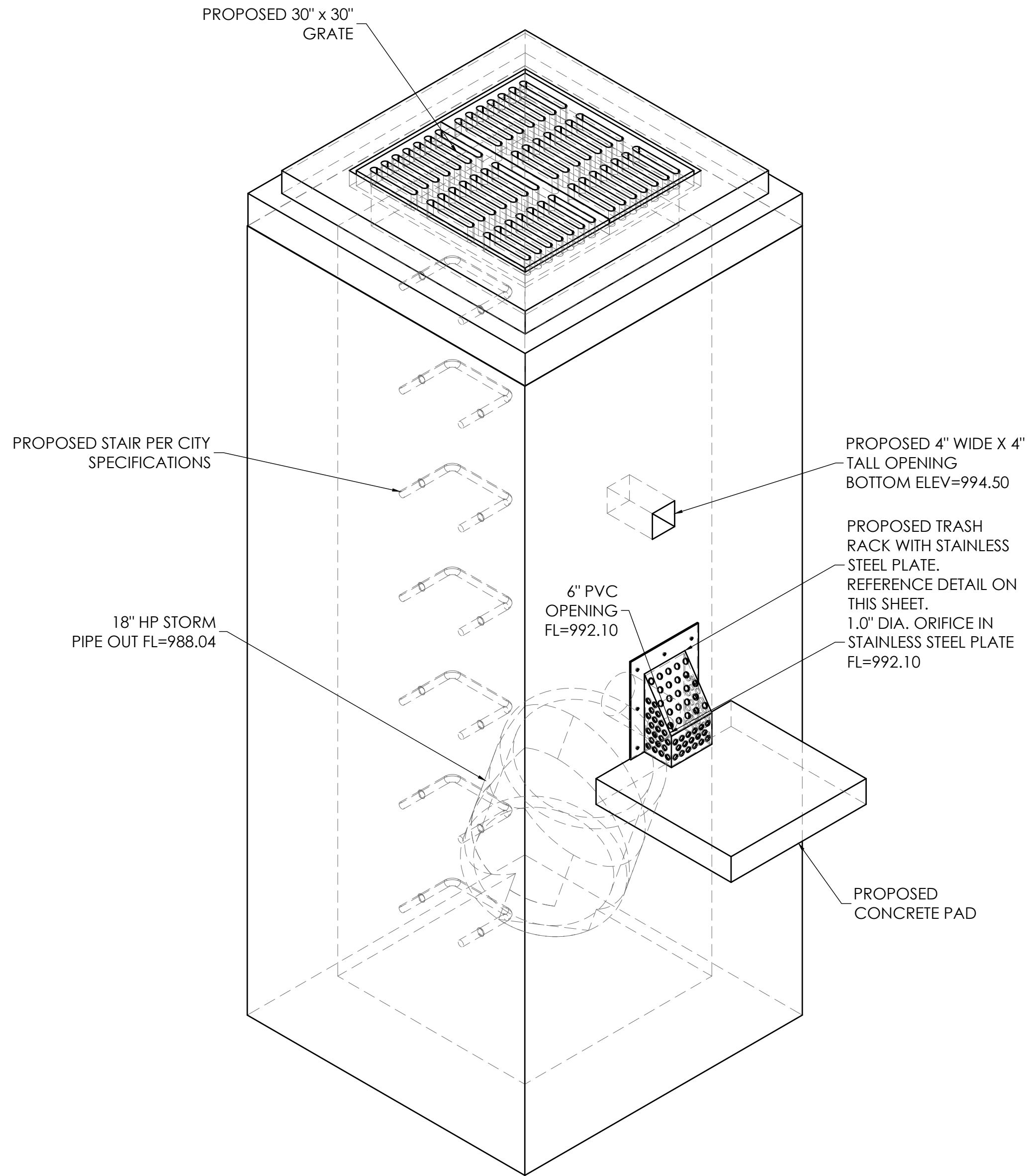
ANTI-SEEPAGE COLLAR DETAIL (N.T.S.)

TOP OF BASIN = 1000

TOP OF SPILLWAY = 999.06



DETENTION BASIN OUTFALL STRUCTURE VIEW - 101 OS SCALE = 1"=1'



DETENTION BASIN OUTFALL ISOMETRIC VIEW - 101 OS SCALE = 1"=1'



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Project
Date
1-27-2021

#	Revision Date	Description of Changes
1	3-10-2021	REVISED PER CITY COMMENTS

C-601

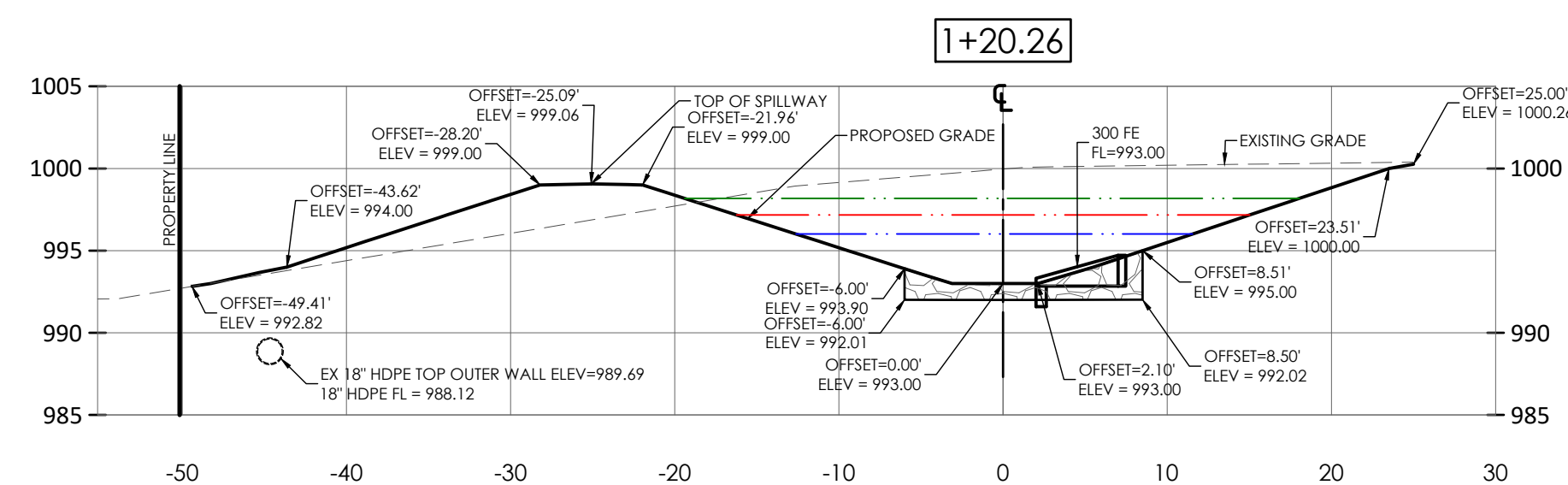
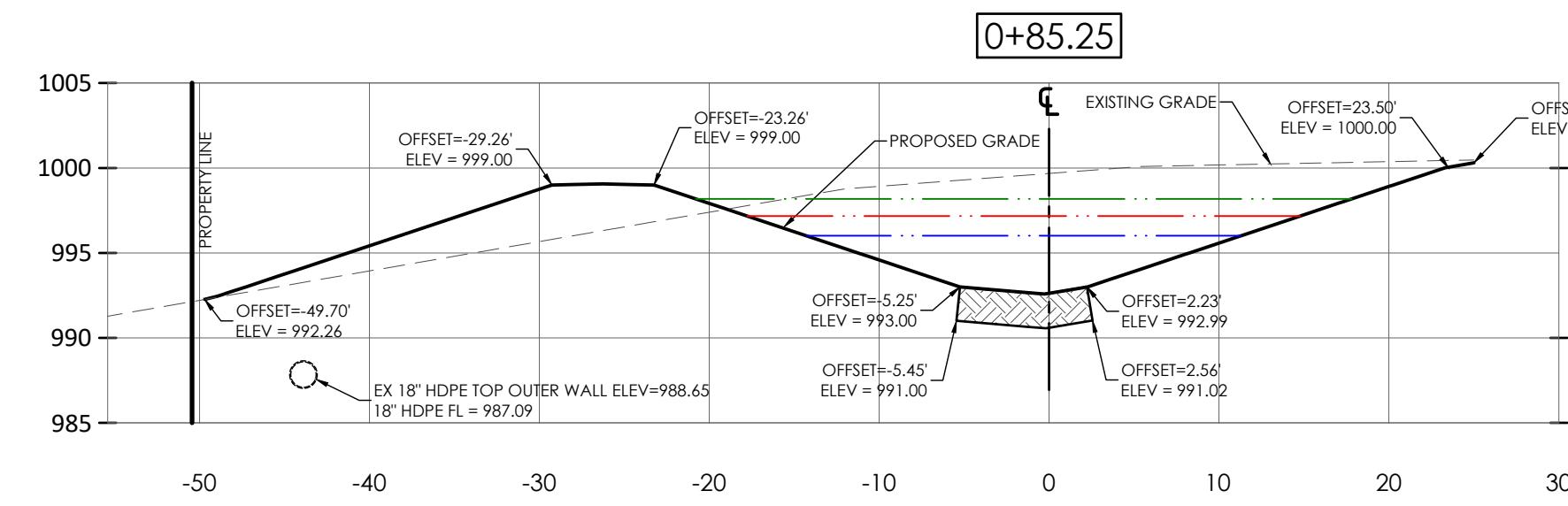
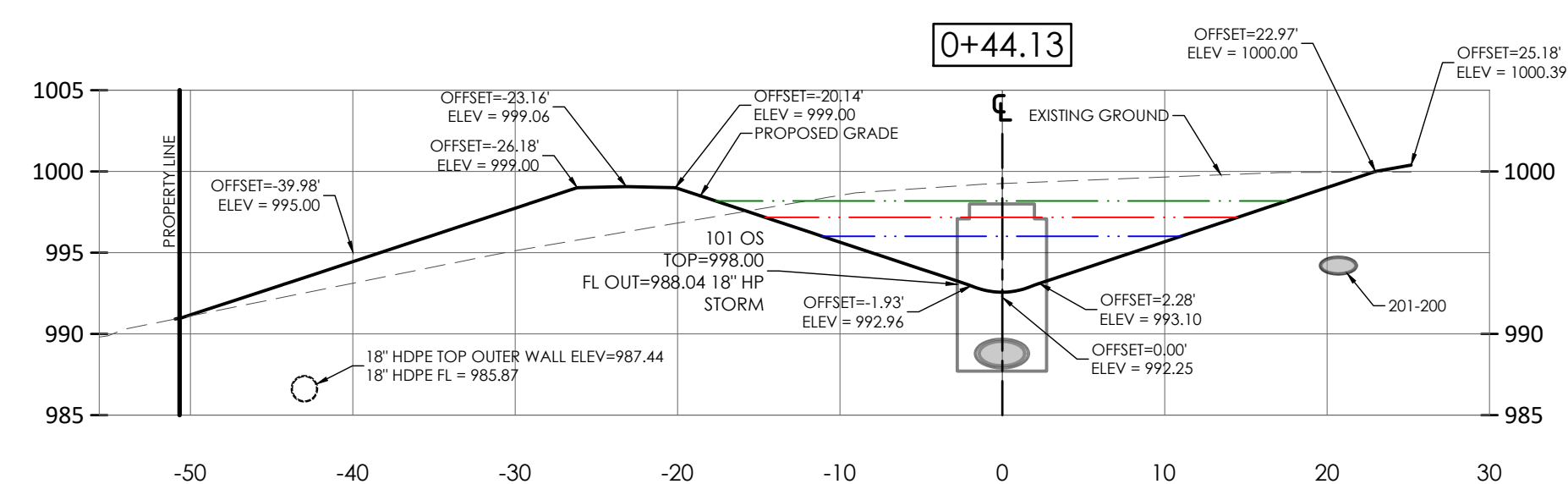
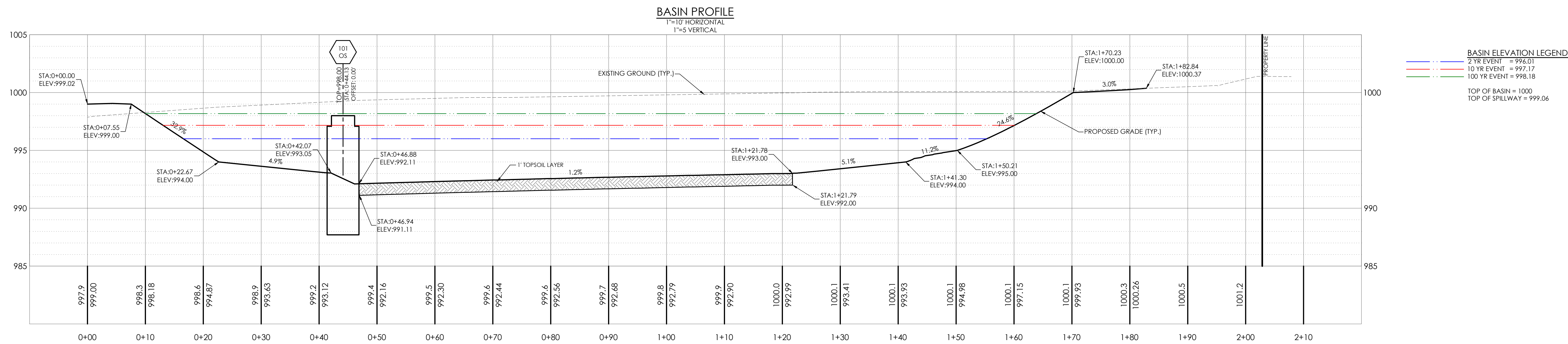
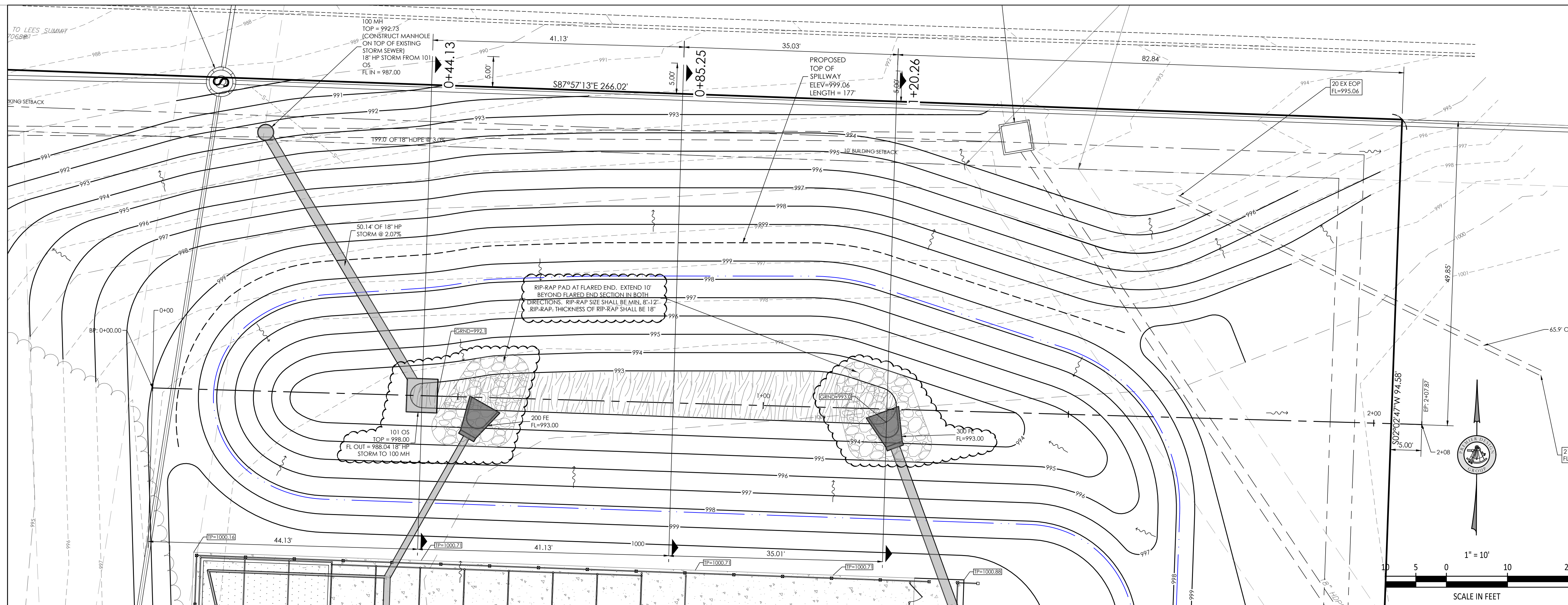
Project No. 2008920
Drawn By Z. KUNTZ/A. JONES
Checked By M. FOGARTY

NOT RELEASED FOR CONSTRUCTION

\\warr-pc\pawar\CIVIL\3D PROJECTS\2020\008920_Petsuites_Mchery C1 Lot 38_Lee Summit\ENGINEERING\CONSTRUCTION DOCUMENTS\OUTFALL STRUCTURE DETAIL.dwg

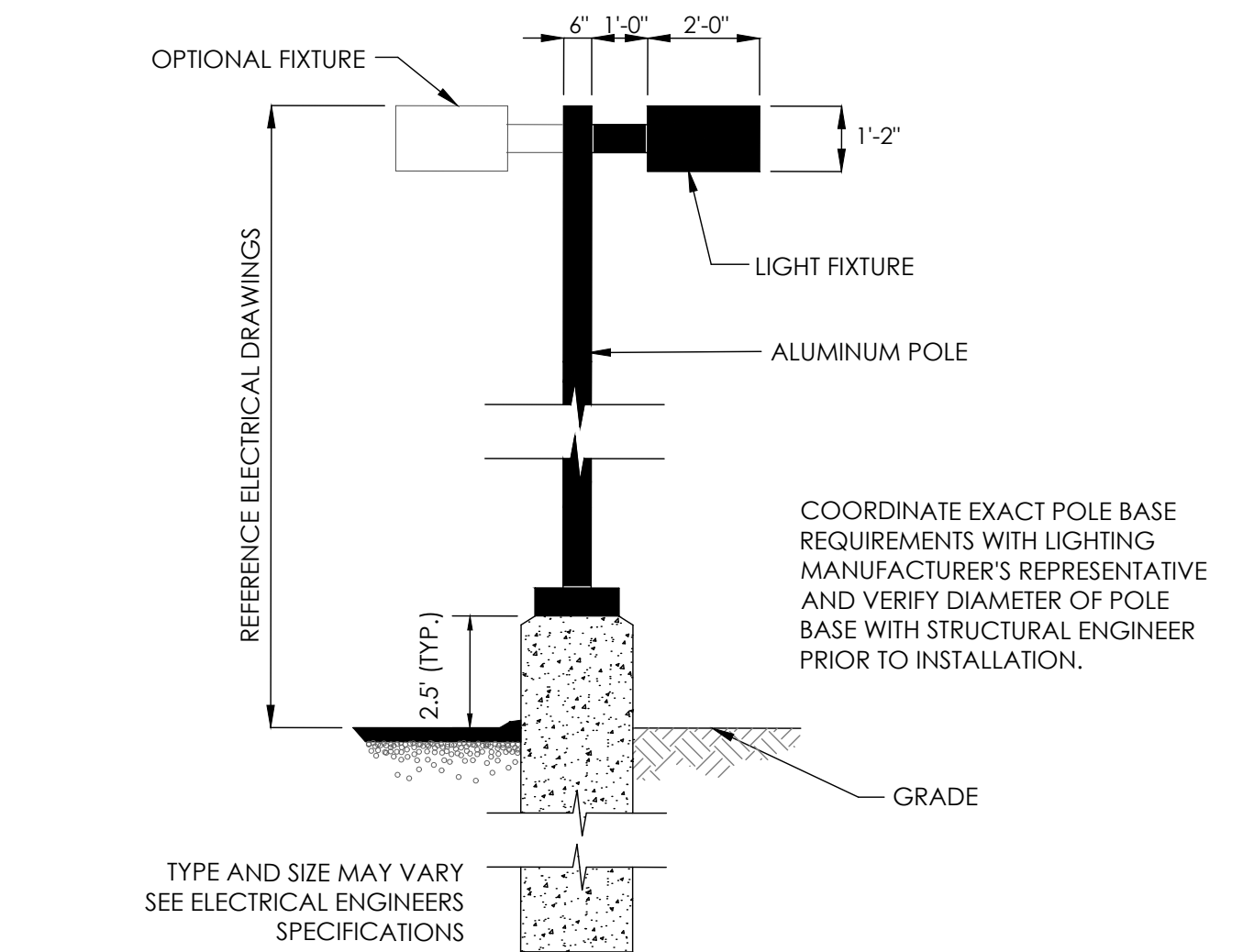


UNDERGROUND UTILITIES AND OSHA SAFETY NOTE:
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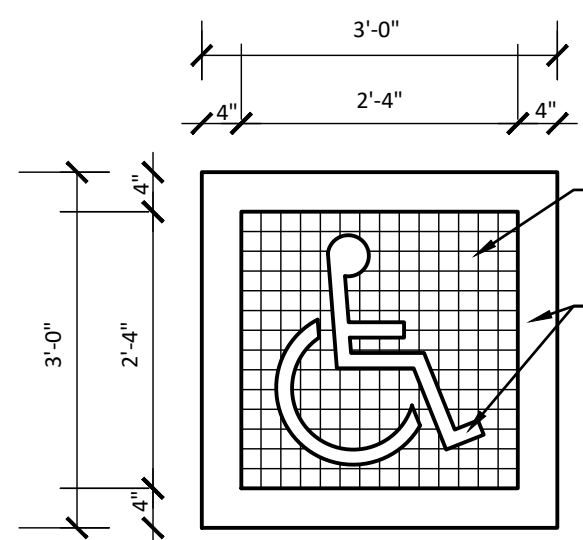


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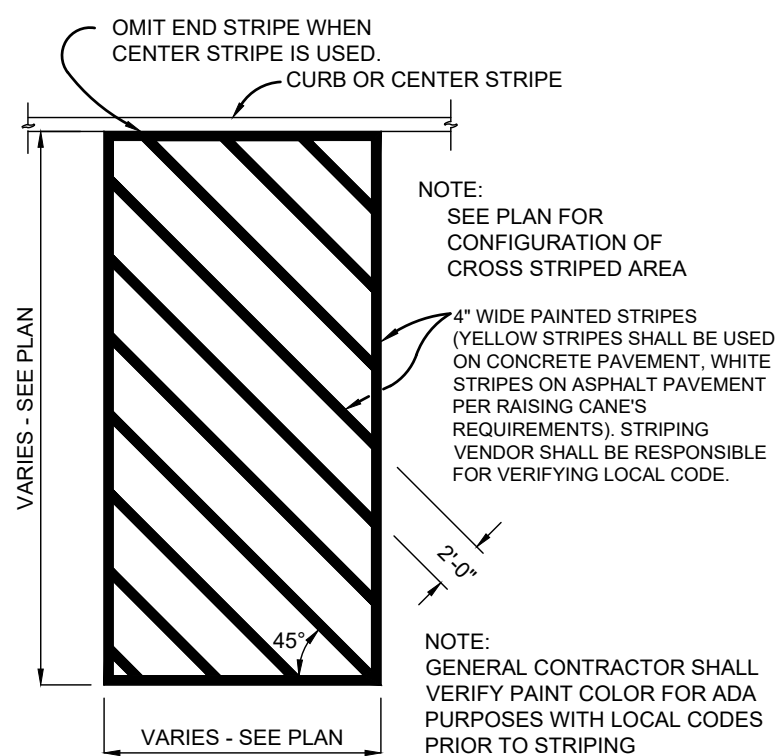




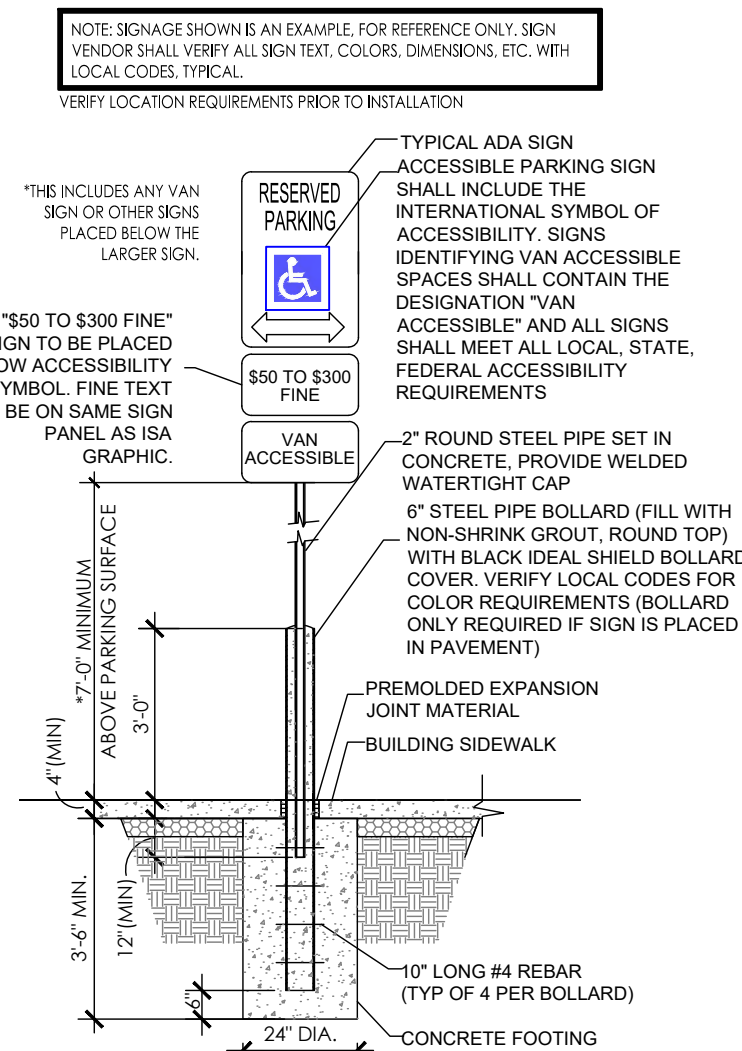
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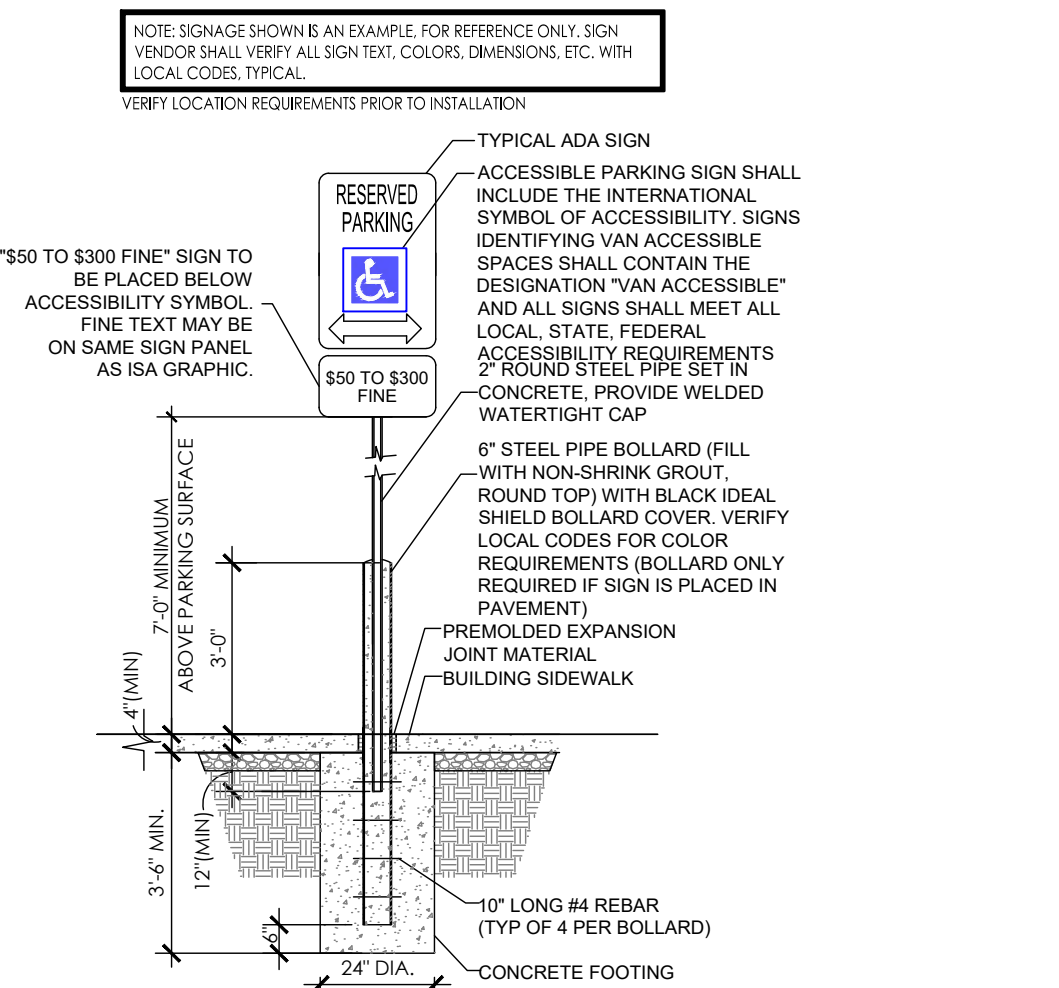
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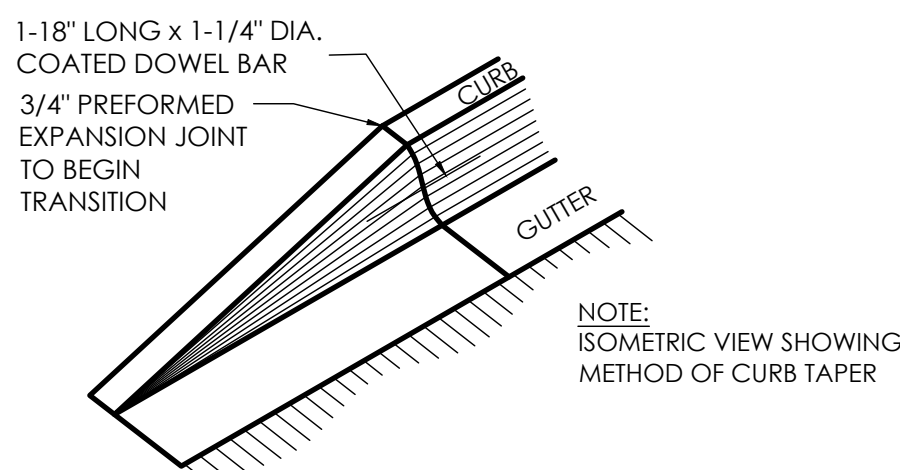
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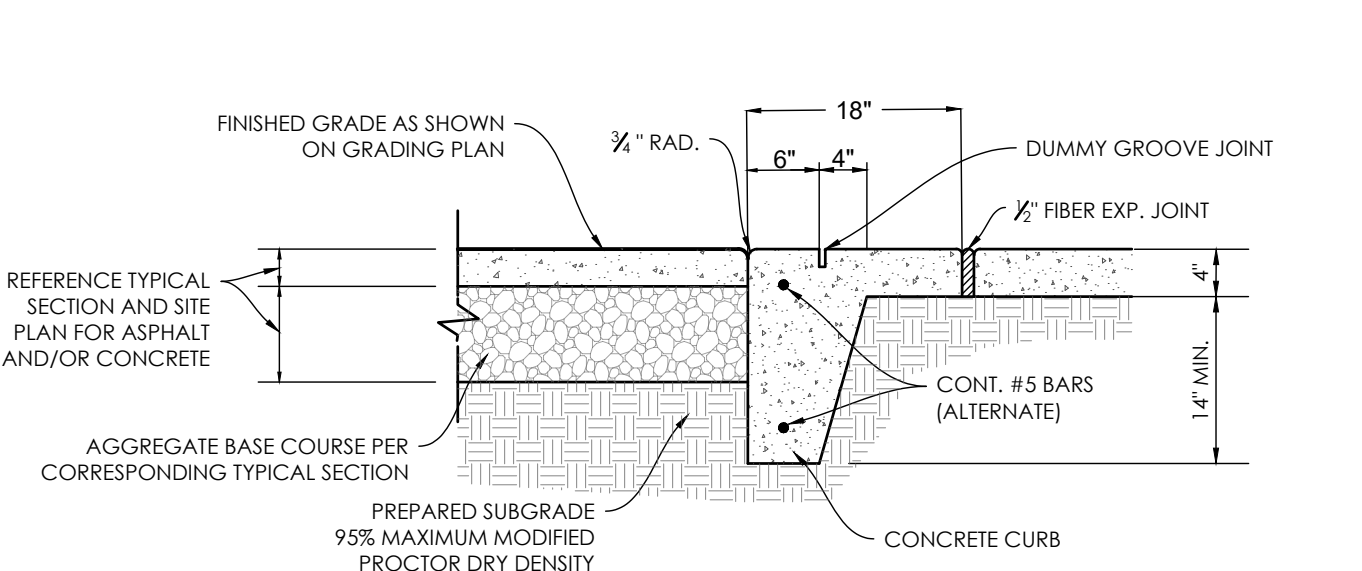
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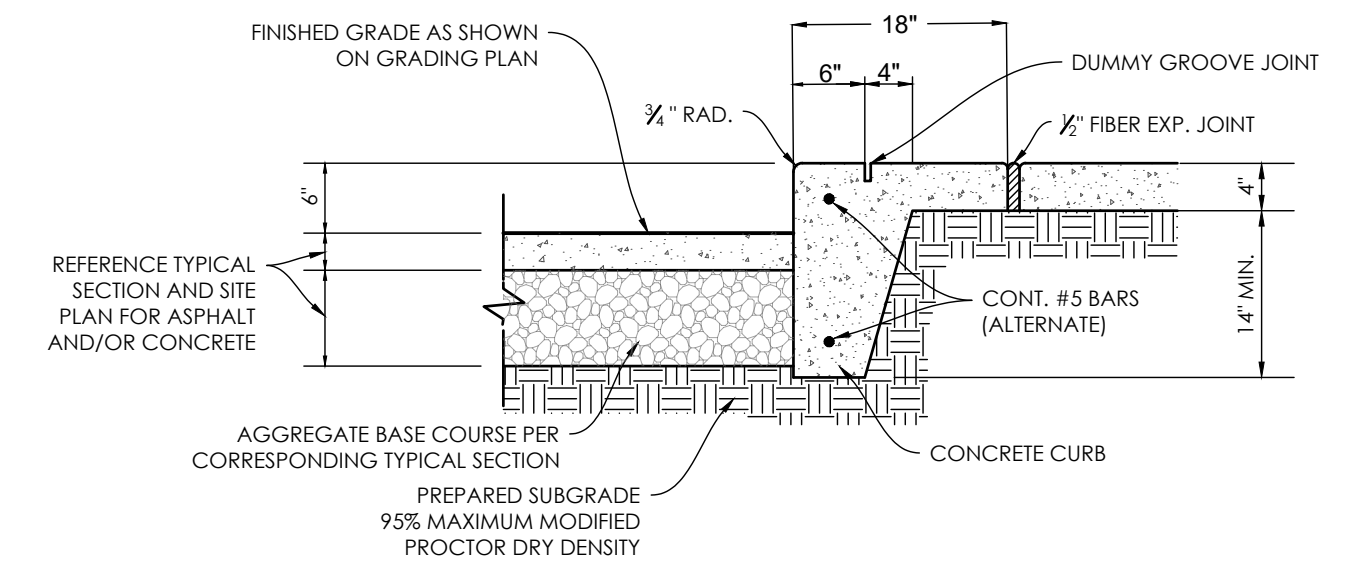
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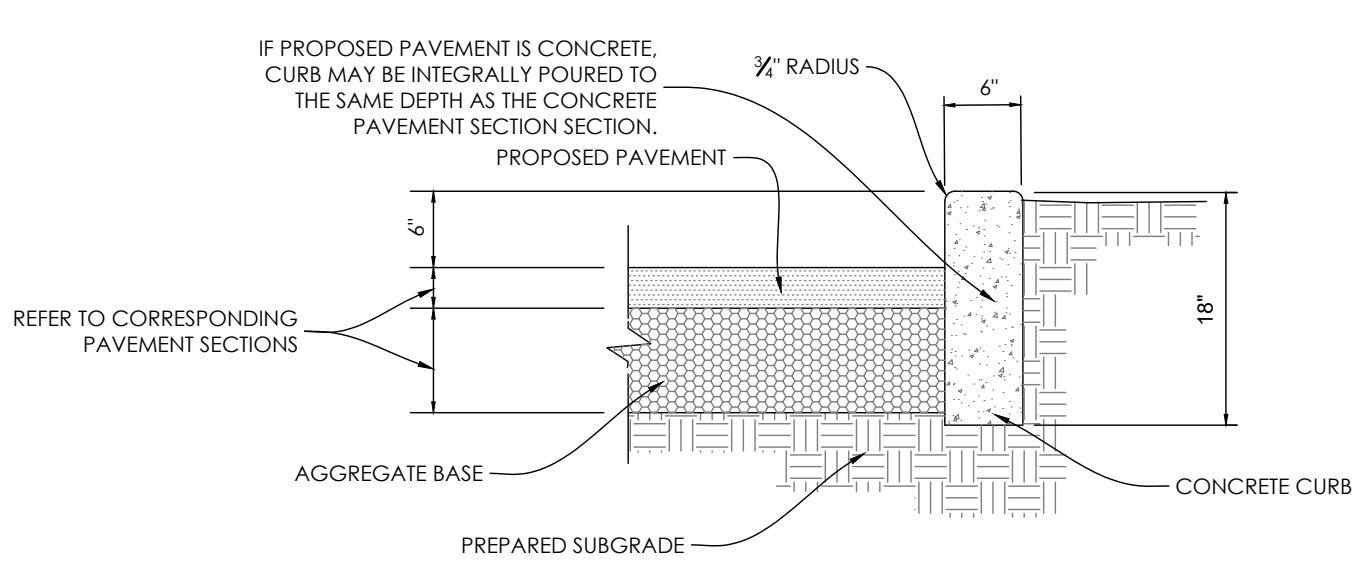
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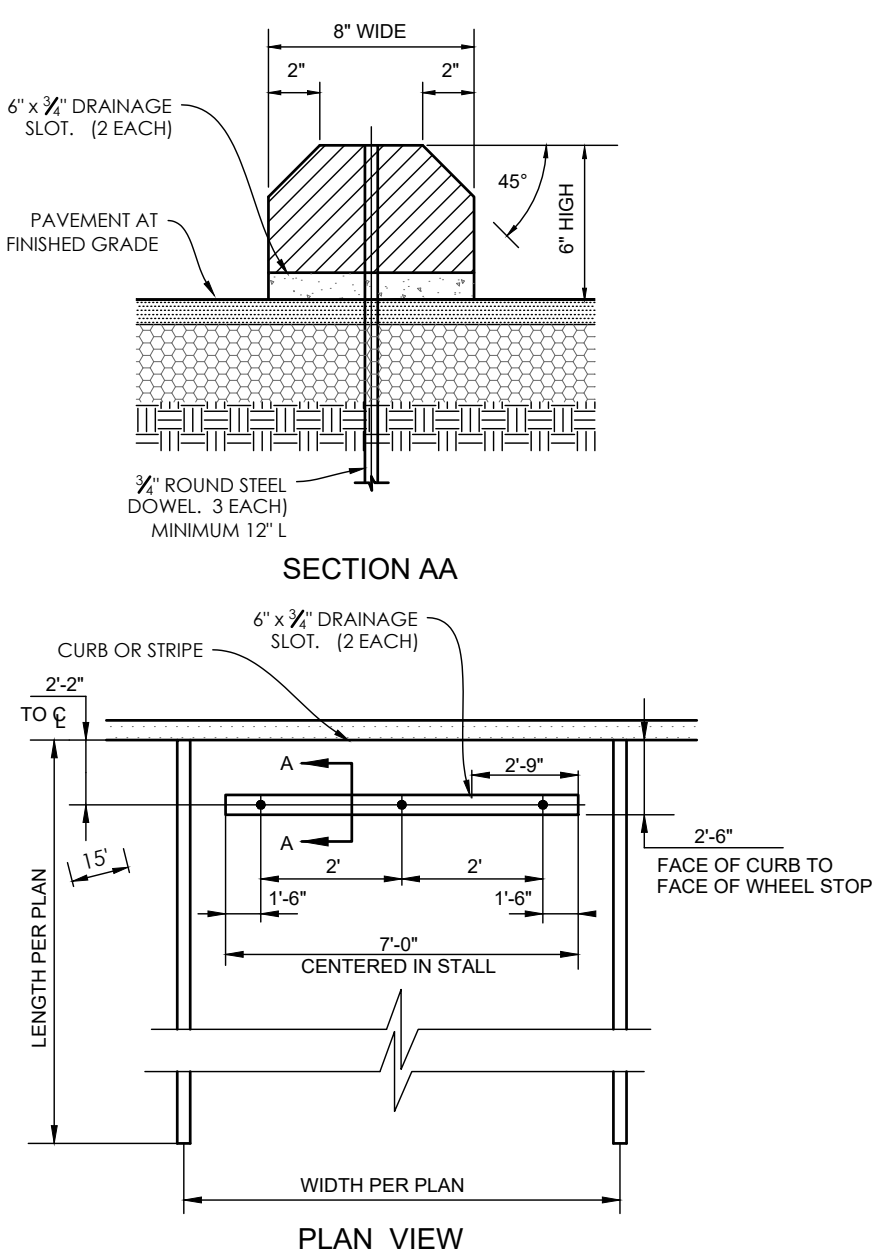
11 FLUSH PAVEMENT AT SIDEWALK DETAIL NOT TO SCALE



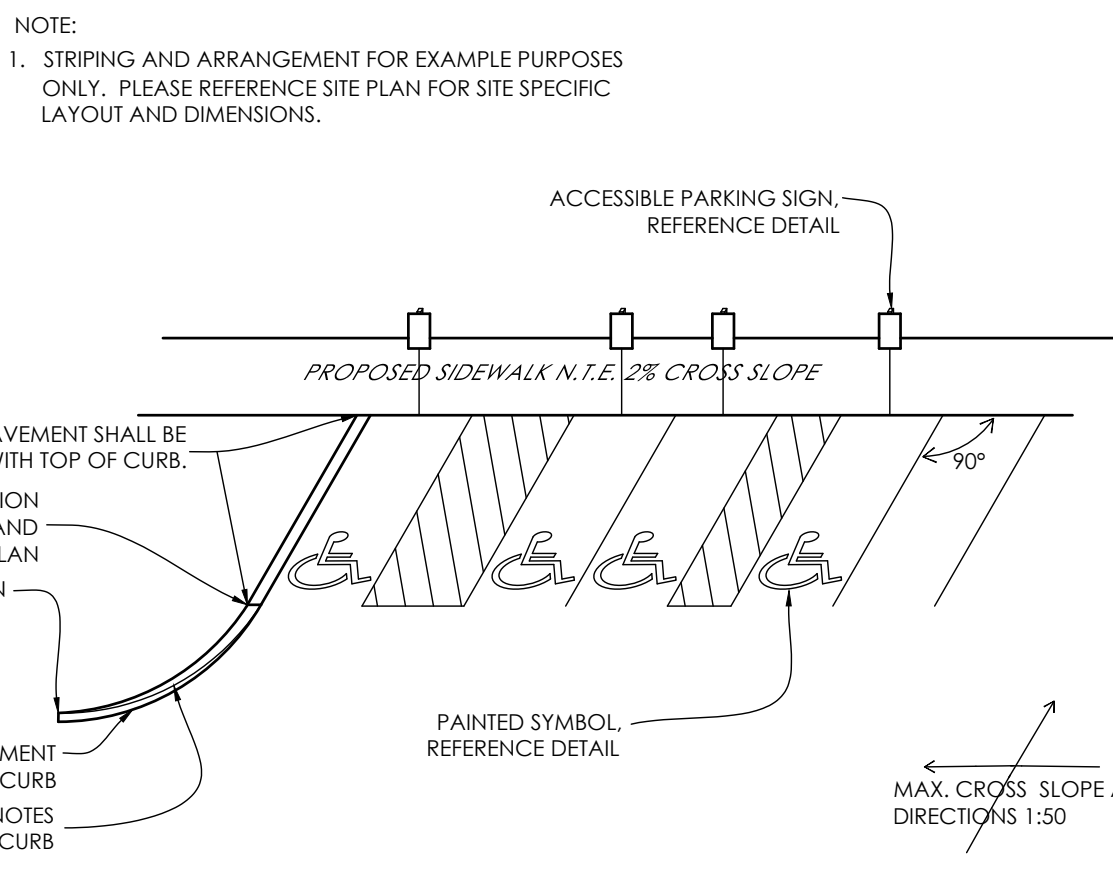
10 6 IN. VERTICAL CONCRETE CURB WITH SIDEWALK DETAIL NOT TO SCALE



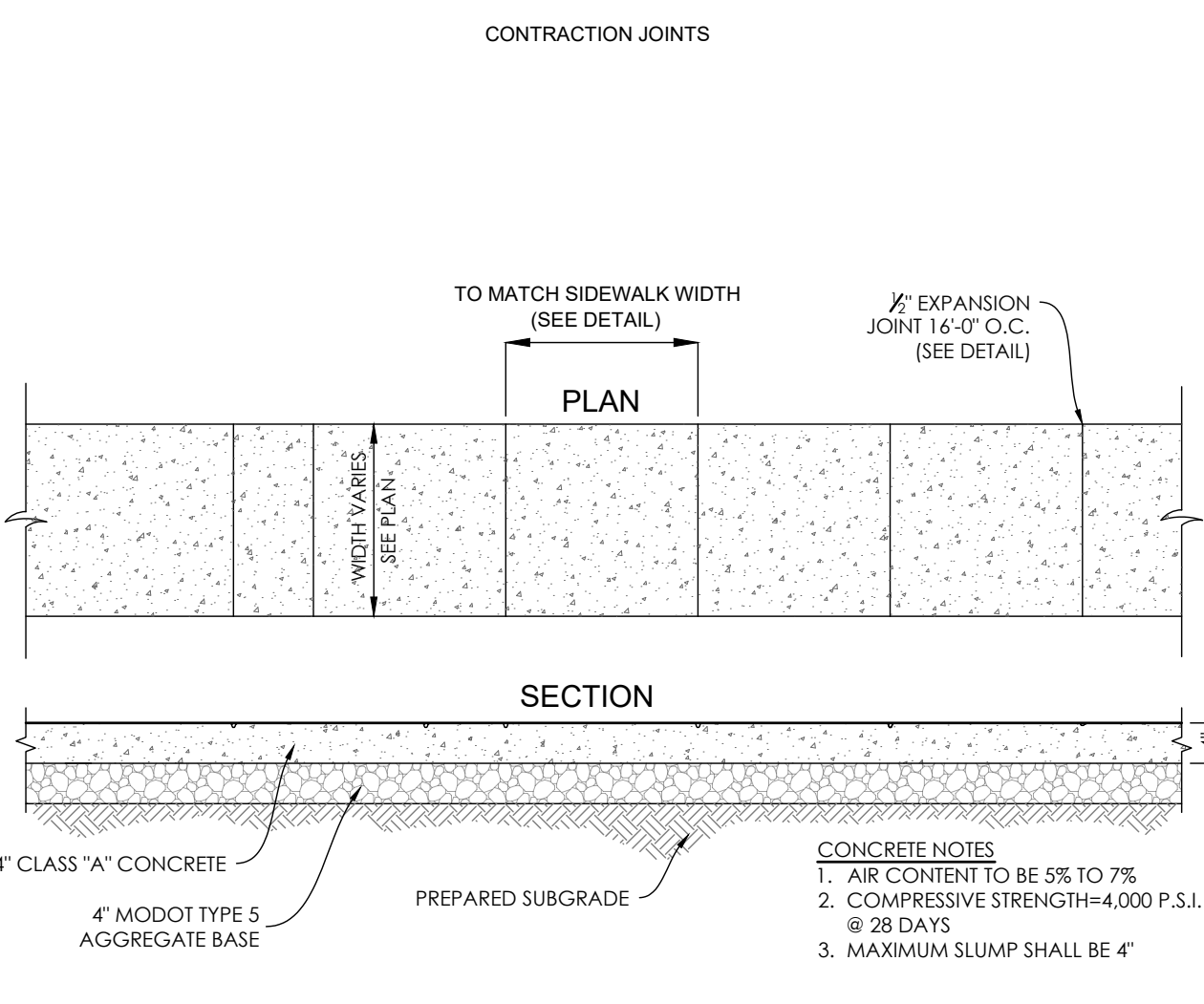
18 6 IN. VERTICAL CURB DETAIL NOT TO SCALE



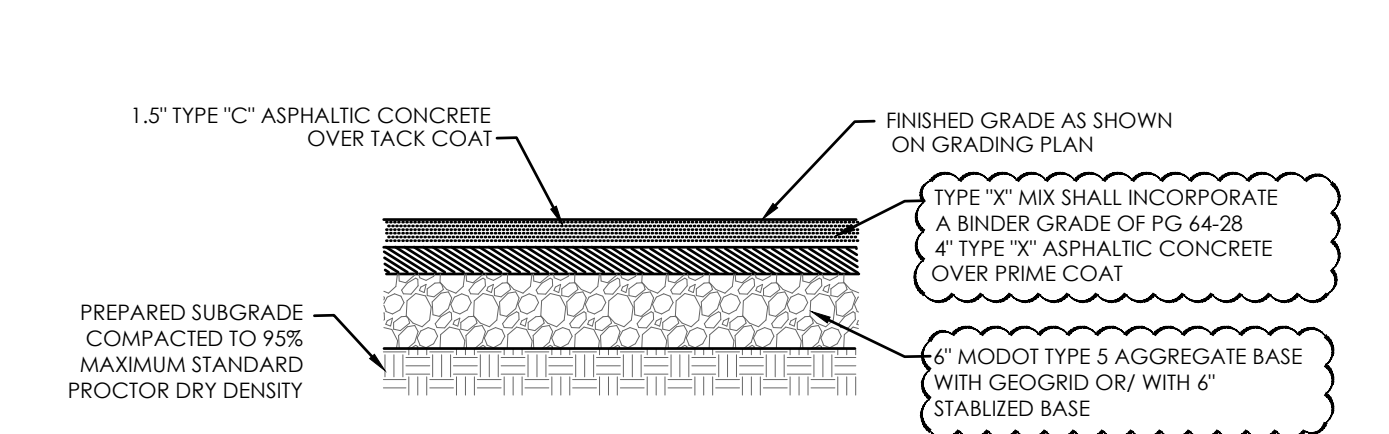
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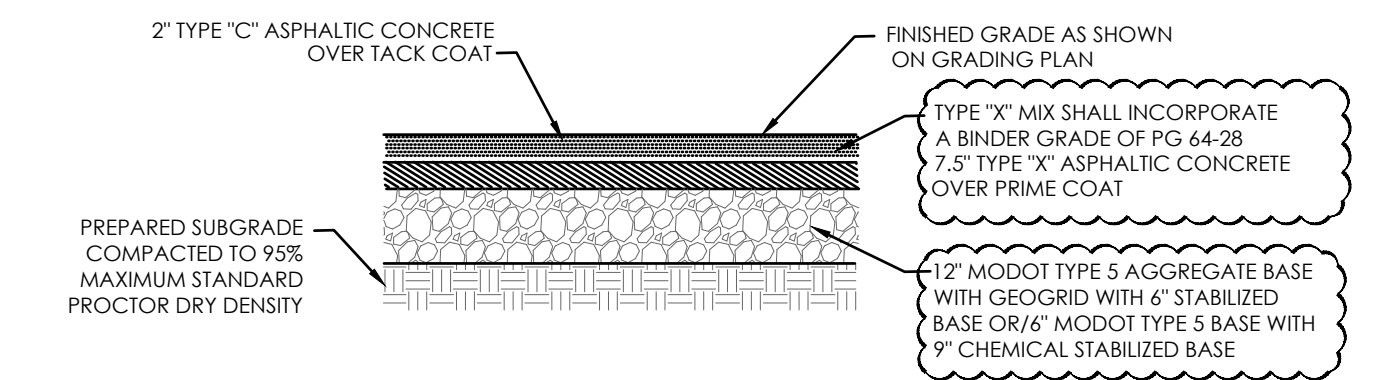
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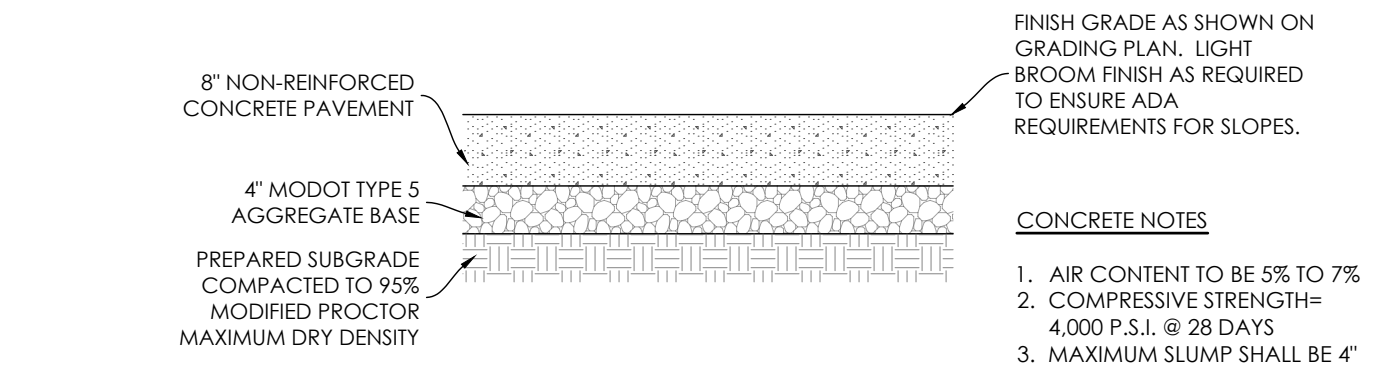
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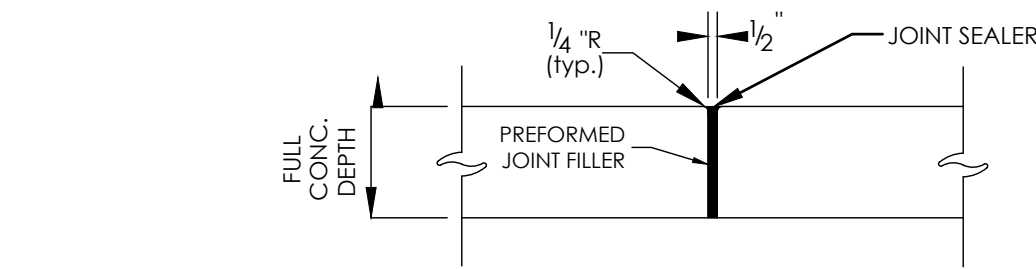
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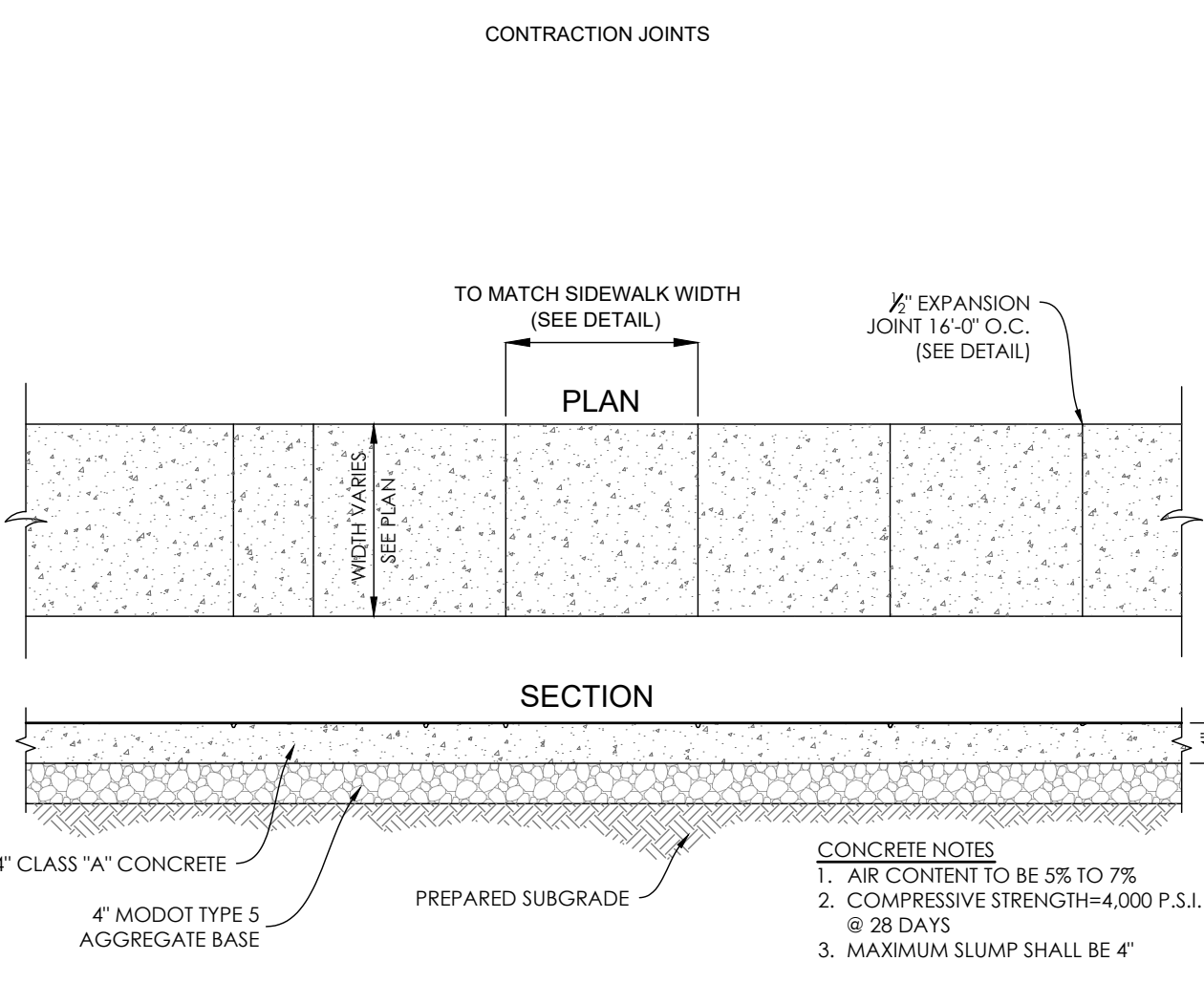
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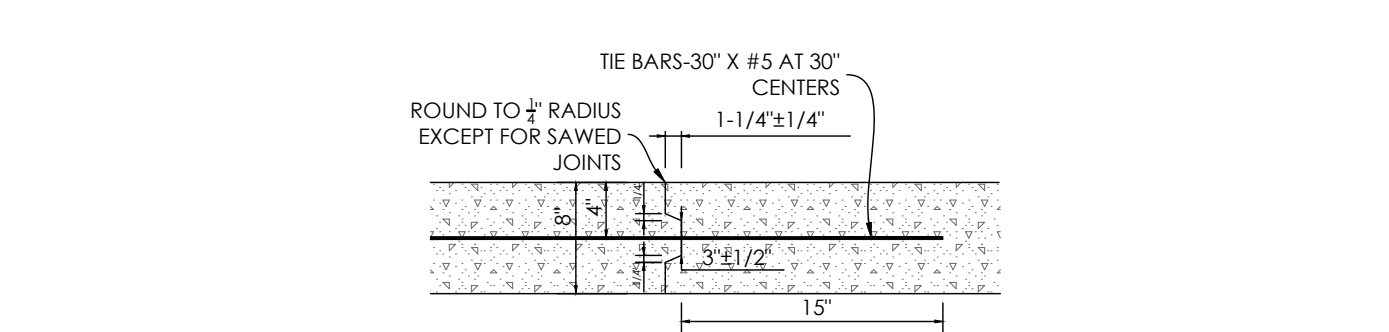
04 HEAVY DUTY & DUMPSTER PAD CONCRETE PAVEMENT DETAIL NOT TO SCALE



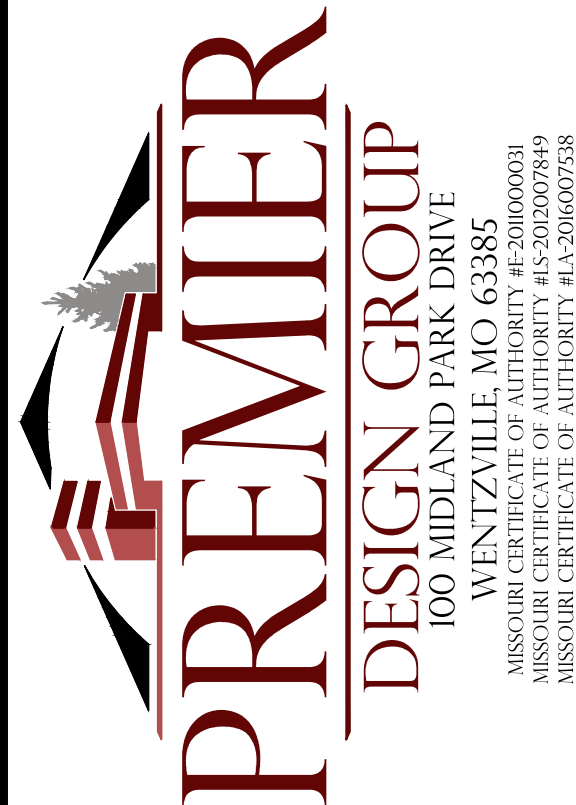
03 EXPANSION JOINT FOR SIDEWALK DETAIL NOT TO SCALE



02 CONCRETE PAVEMENT CONSTRUCTION JOINT DETAIL NOT TO SCALE



01 KEYWAY FOR CONCRETE PAVEMENT DETAIL NOT TO SCALE



ENGINEERS AUTHENTICATION
The responsibility for professional engineering liability on this project is hereby limited to the act of plans authorized by the seal, signature, and date hereunder attached. Responsibility is disclaimed for all other engineering plans involved in this project and specifically excludes revisions after the date unless reauthorized.
STEVEN D. MARION P.E.
PROFESSIONAL ENGINEER
PE 2006007195

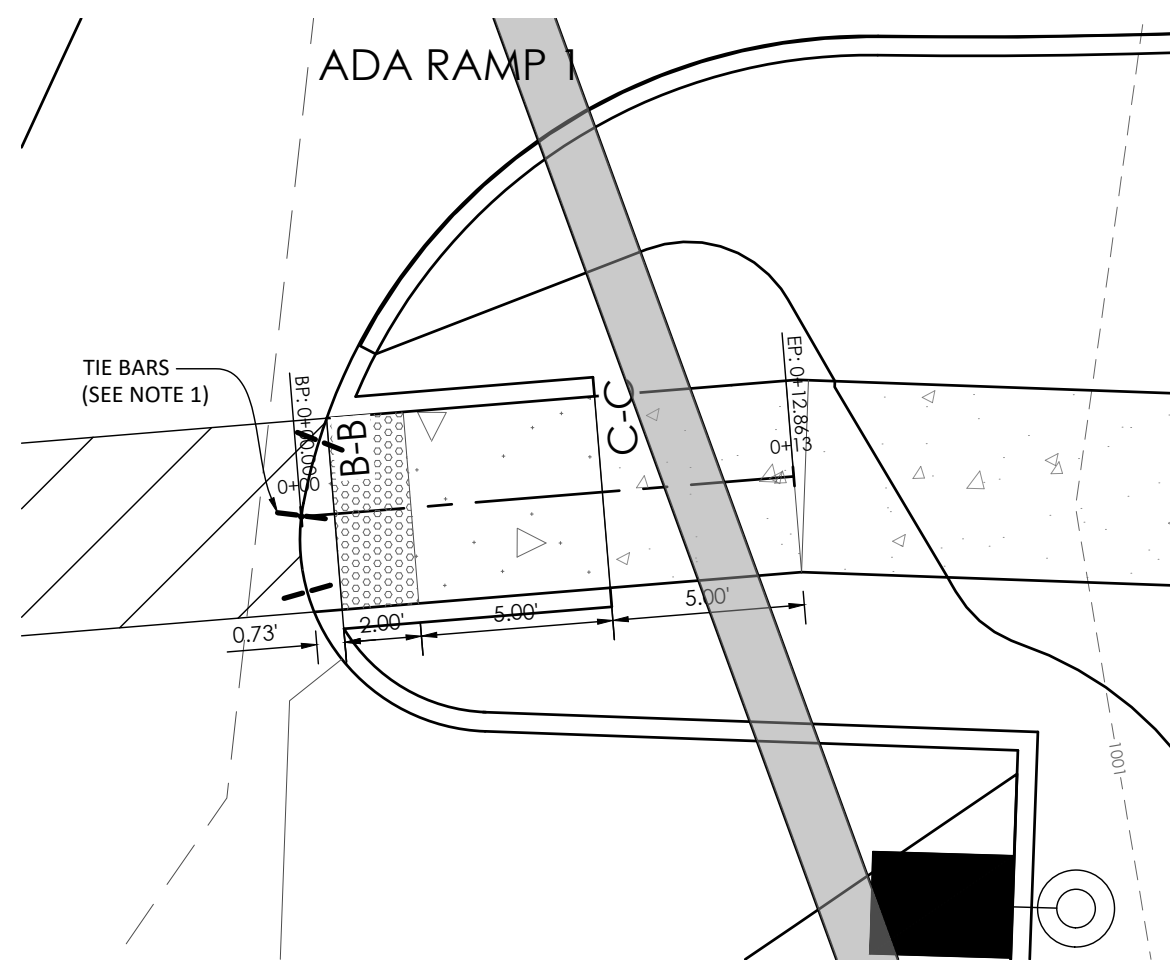
PETSUITES OF AMERICA
LEE'S SUMMIT, MO
250 NW MONMOUTH CT.
LEE'S SUMMIT, MO 64066
TM CROWLEY
501 PENNSYLVANIA PARKWAY SUITE 160
INDIANAPOLIS, IN 46280

Project
Date 1-27-2021

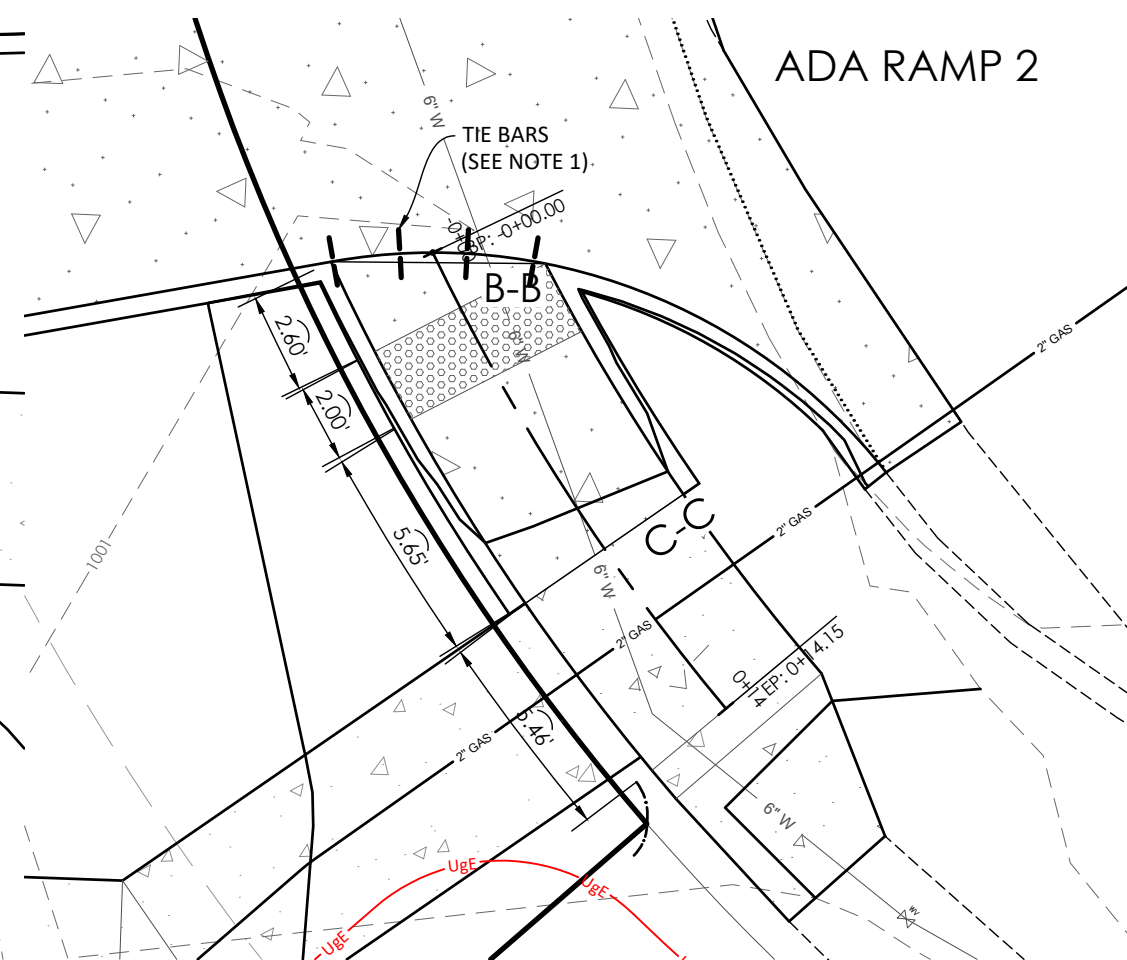
#	Revision Date	Description of Changes
1	3-10-2021	REVISED PER CITY COMMENTS

Sheet Number
C-700
Project No. 2008920
Drawn By Z. KUNTZ/A. JONES
Checked By M. FOGARTY
NOT RELEASED FOR CONSTRUCTION

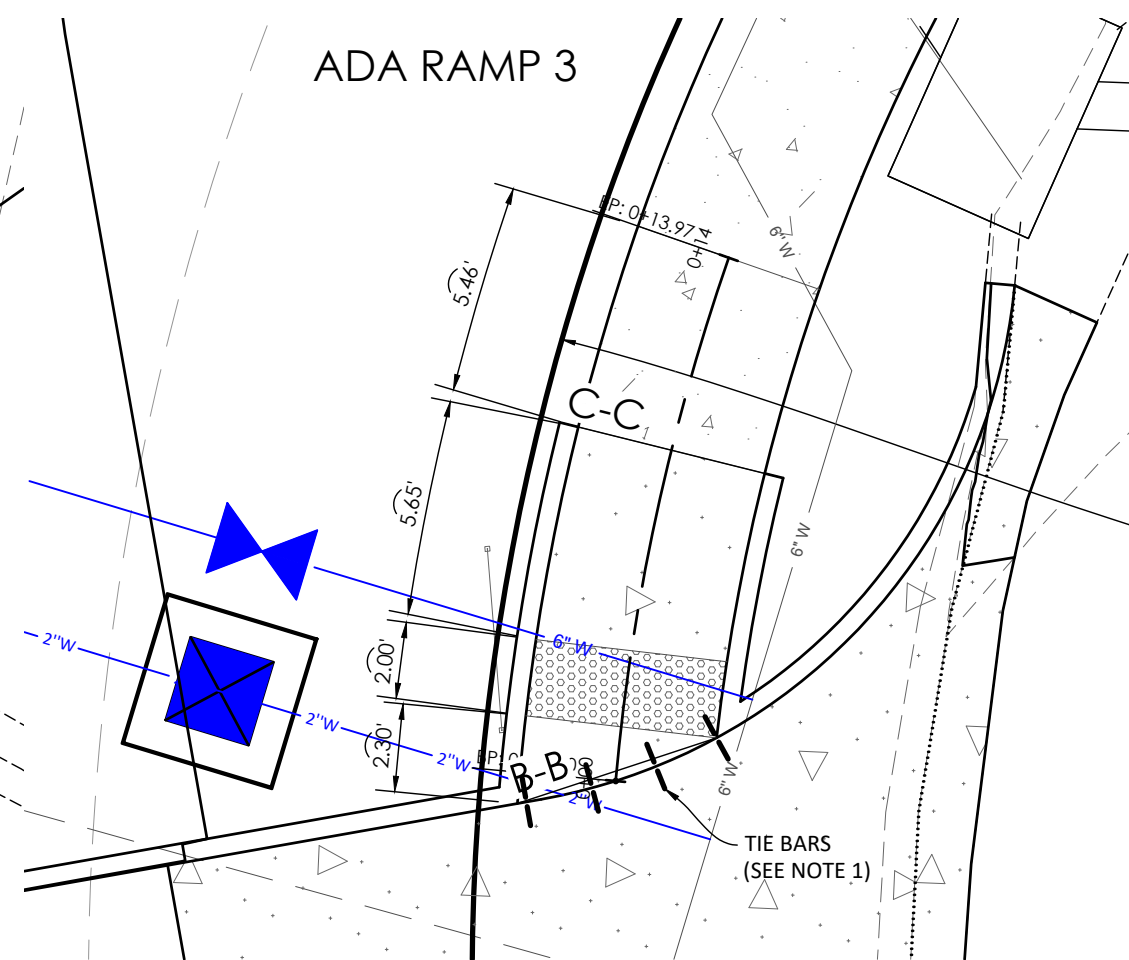
CONSTRUCTION DETAILS



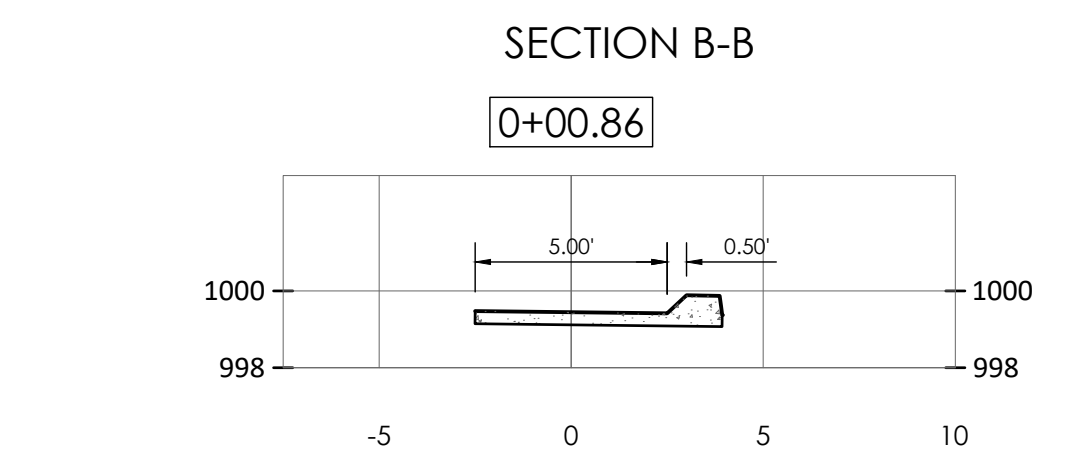
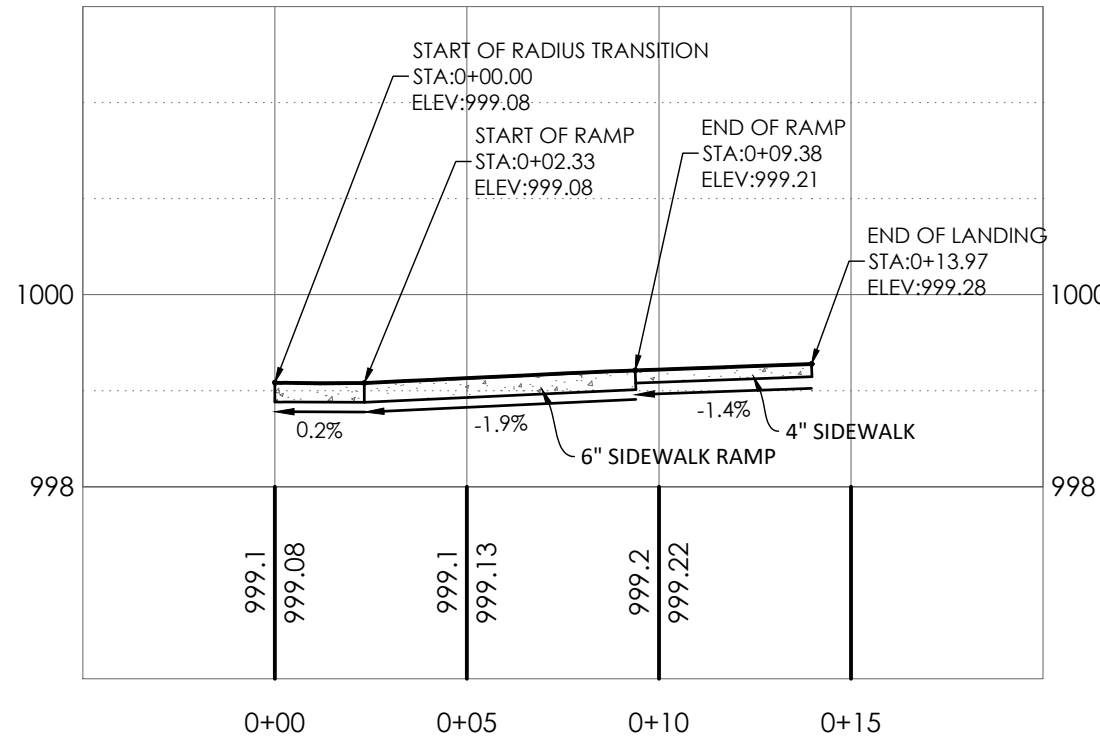
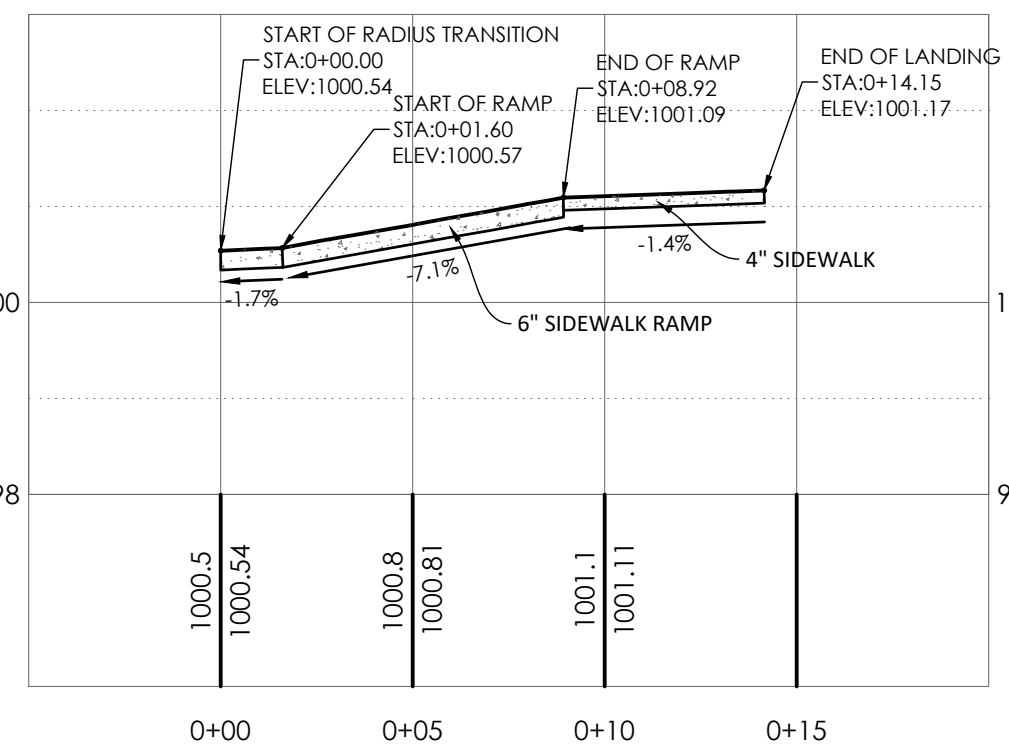
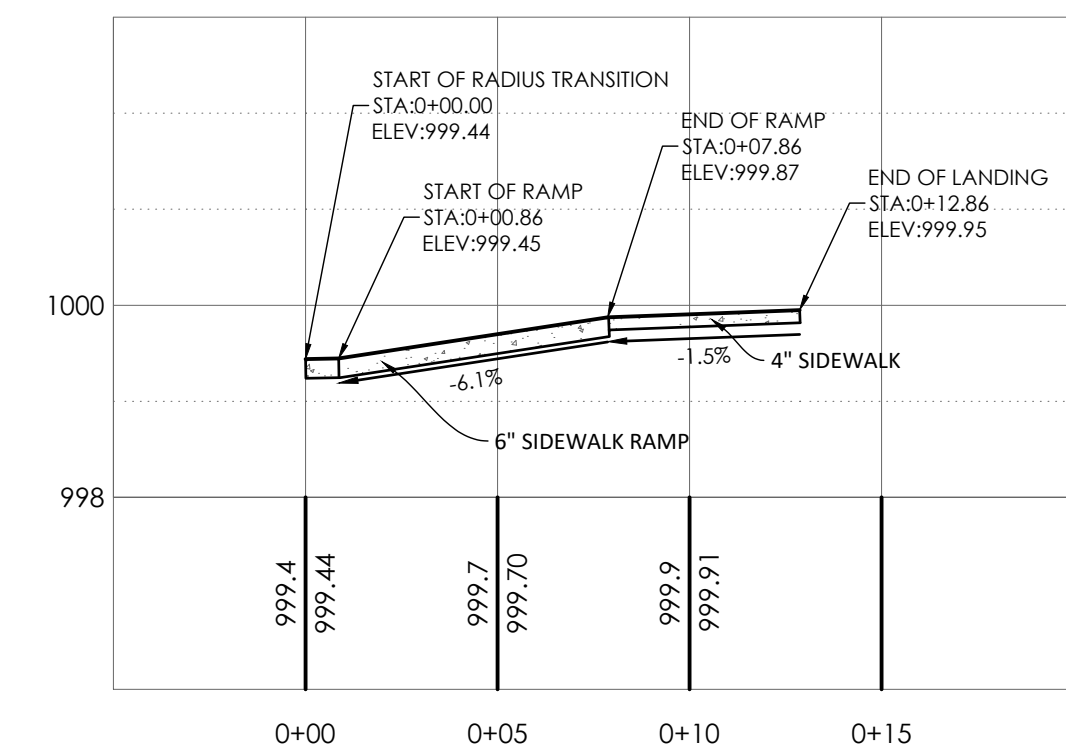
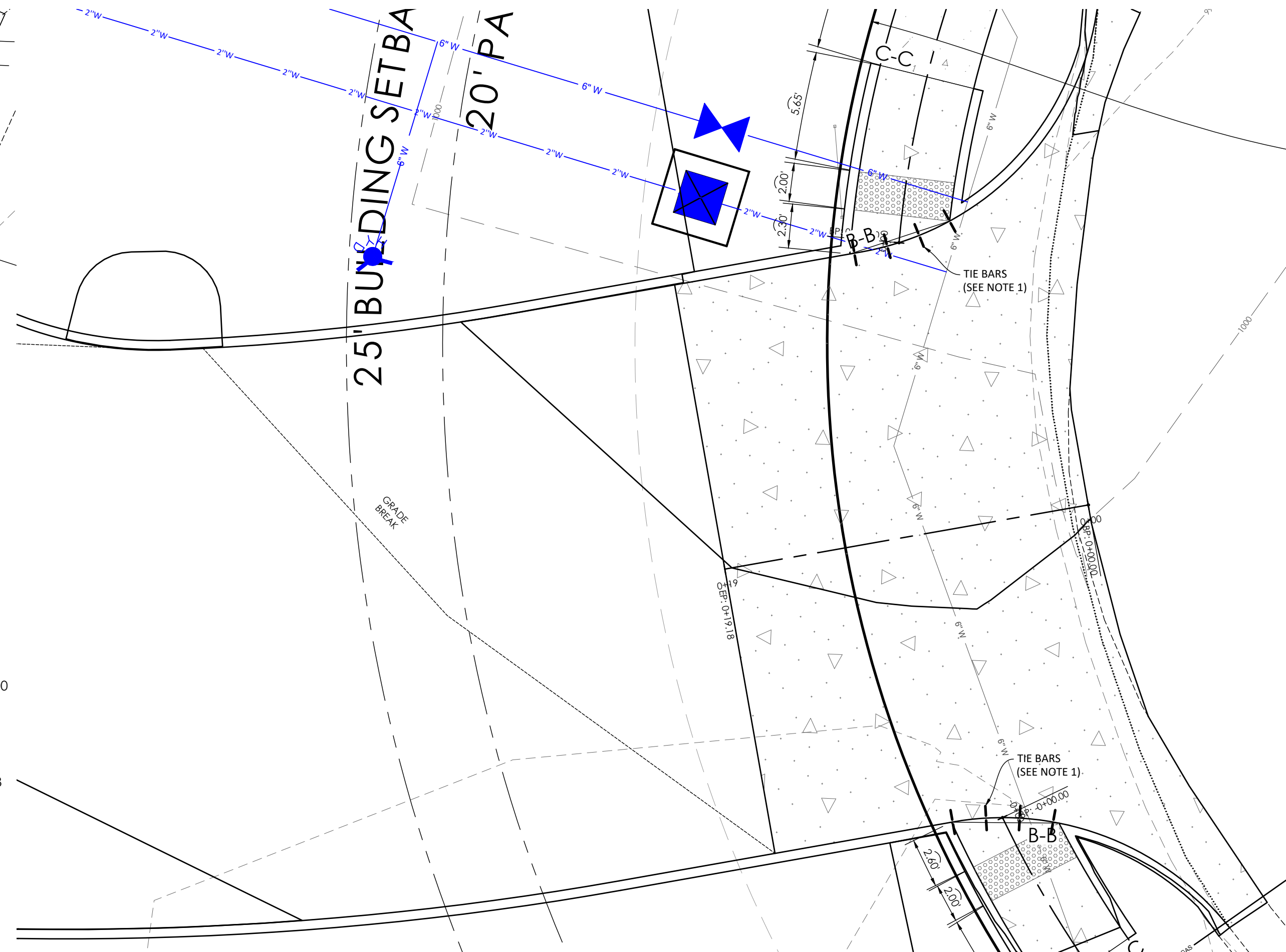
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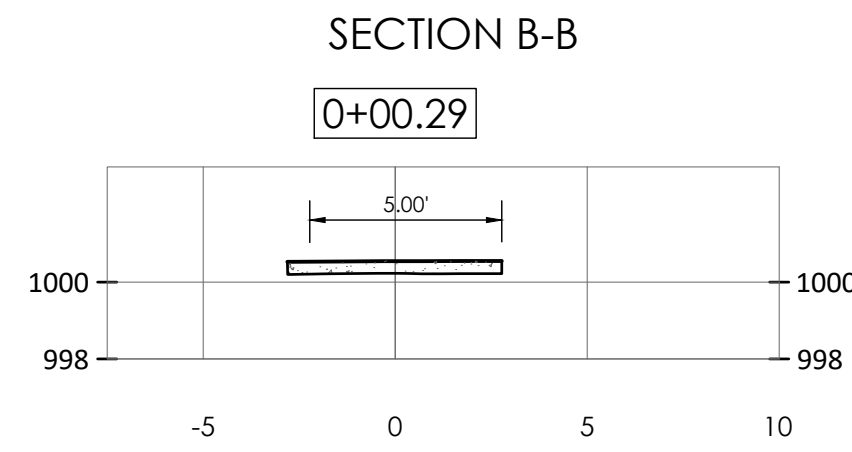
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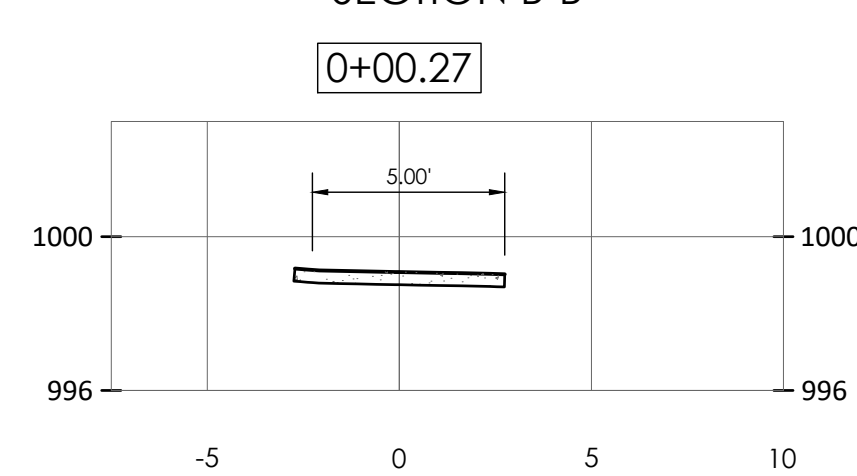
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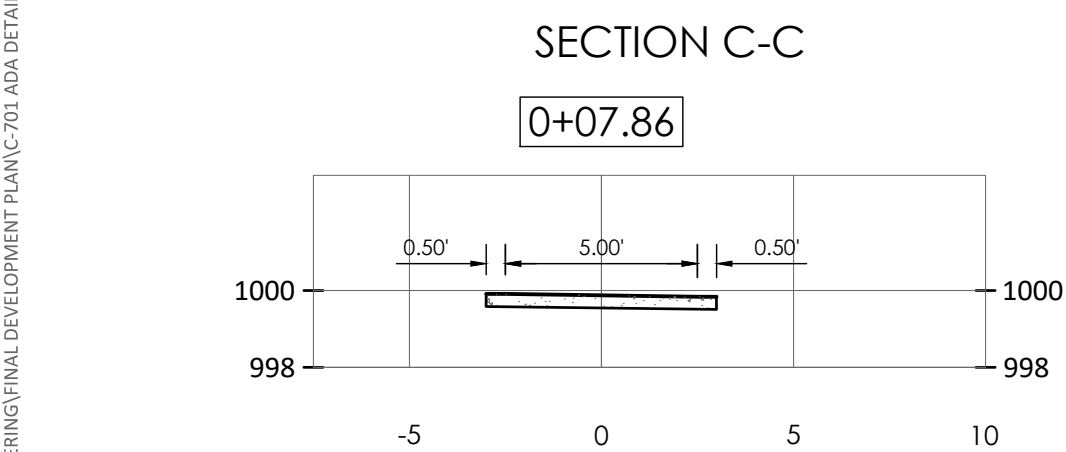
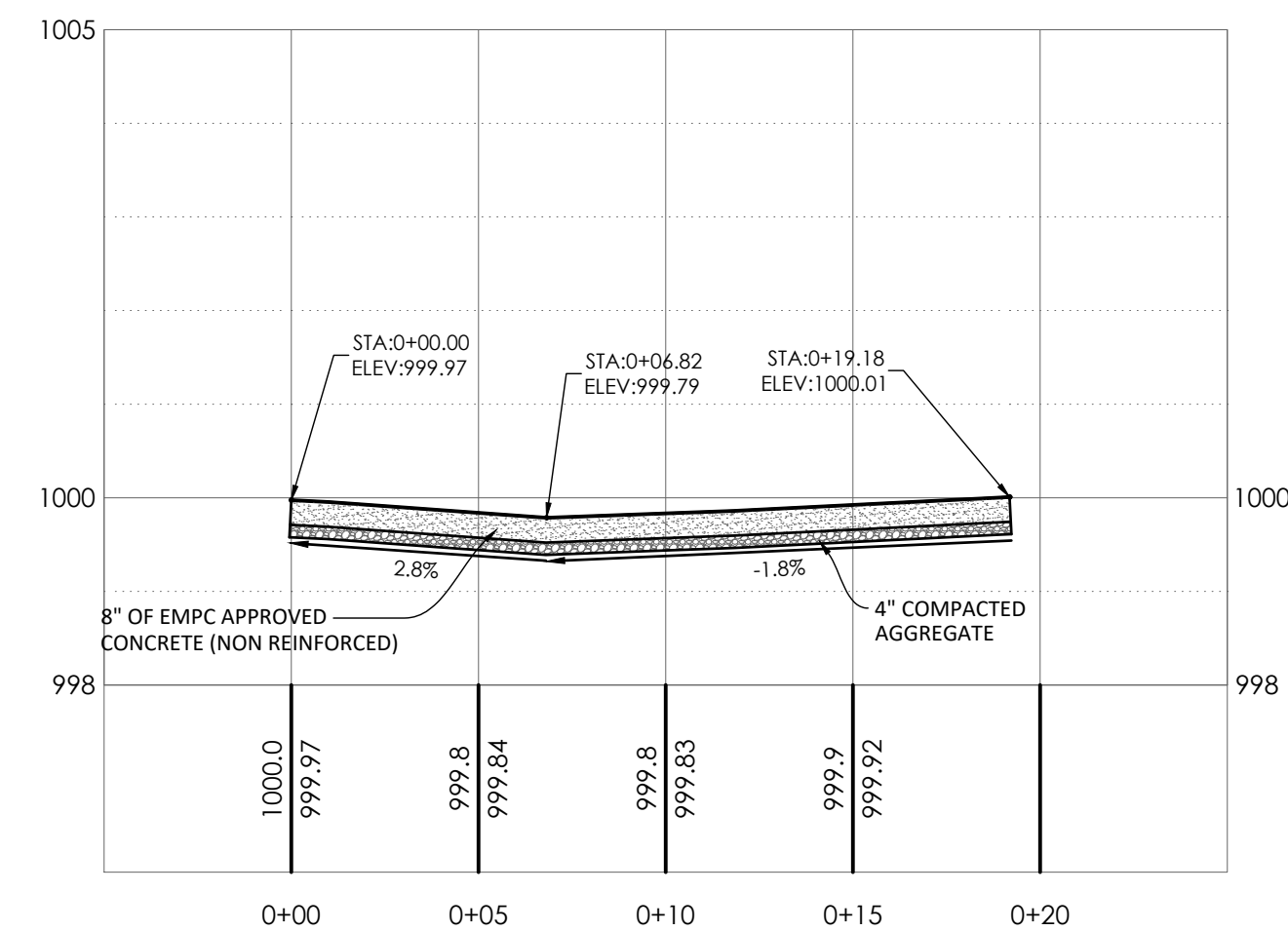
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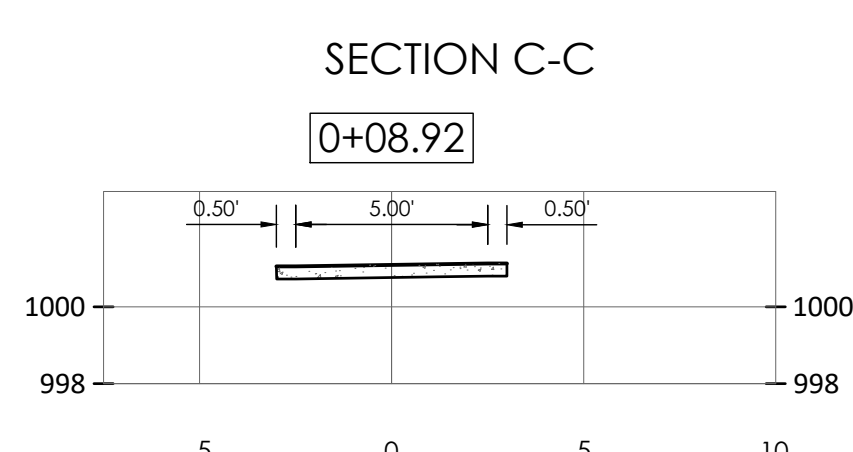
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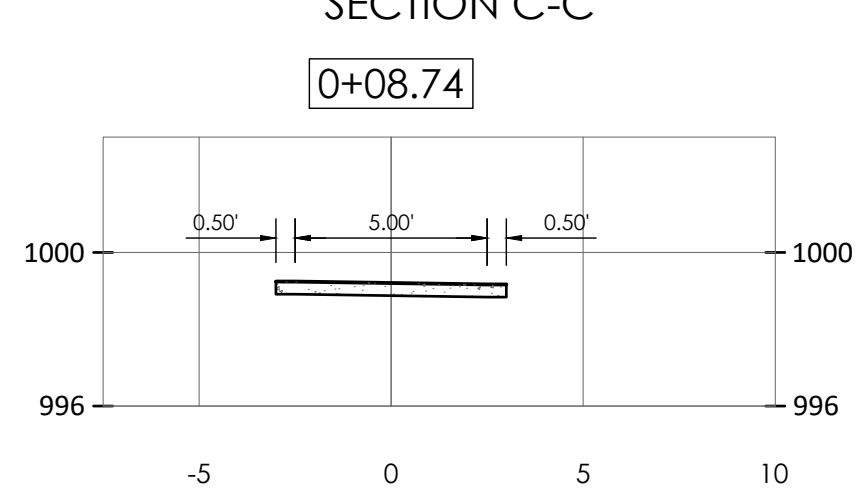
SECTION B-B



SECTION C-C

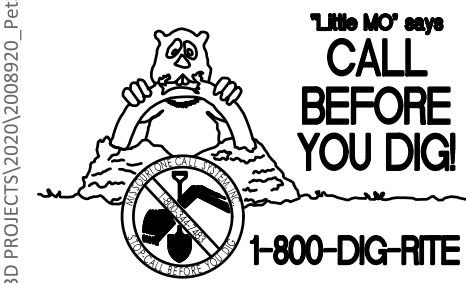
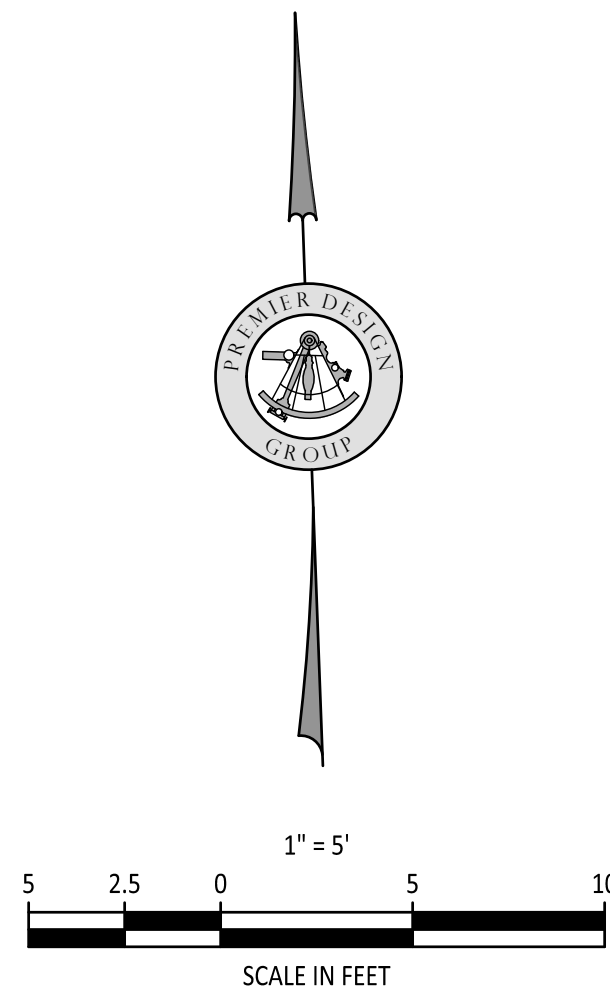
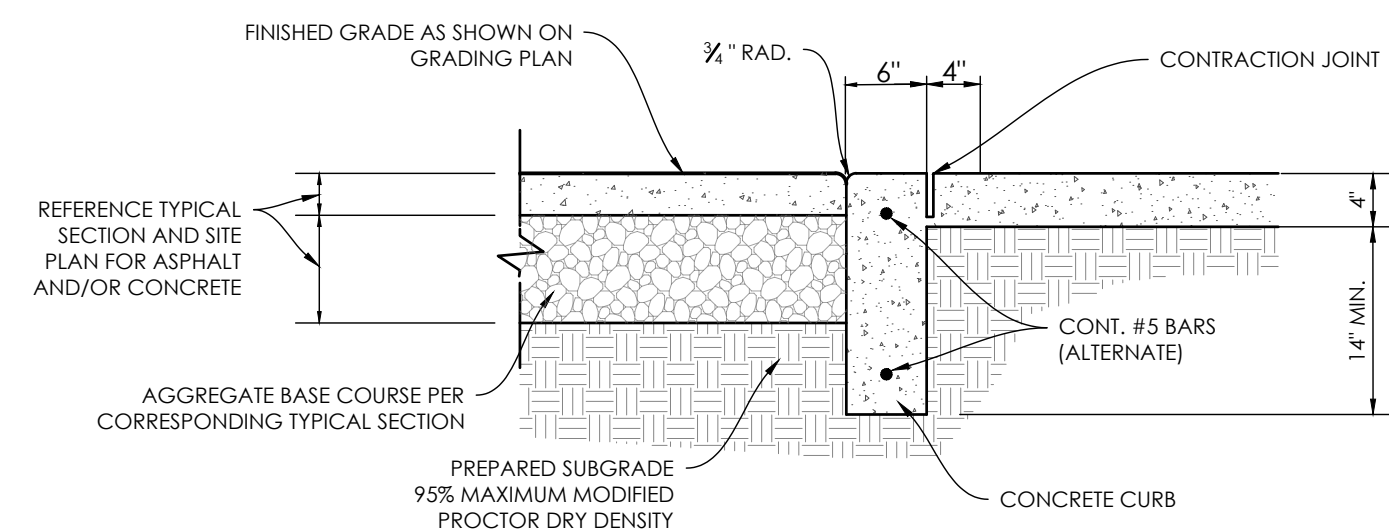


SECTION C-C



SECTION C-C

- SIDEWALK/SHARED-USE PATH & SIDEWALK/SHARED-USE RAMP NOTES:
1. USE 18" LONG #4 EPOXY COATED TIE BARS @ 24" O.C. EMBED TIE BARS 9" IN EACH DIRECTION
 2. ADA MAXIMUM RAMP SLOPE = 8.33%
 3. ADA MAXIMUM CROSS SLOPE = 2.0%



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250 NW MCNARY CT.
LEE'S SUMMIT, MO 64086
TM CROWLEY
501 PENNSYLVANIA PARKWAY SUITE
INDIANAPOLIS, IN 46280

[illegible]

ADA DETAIL

C-701

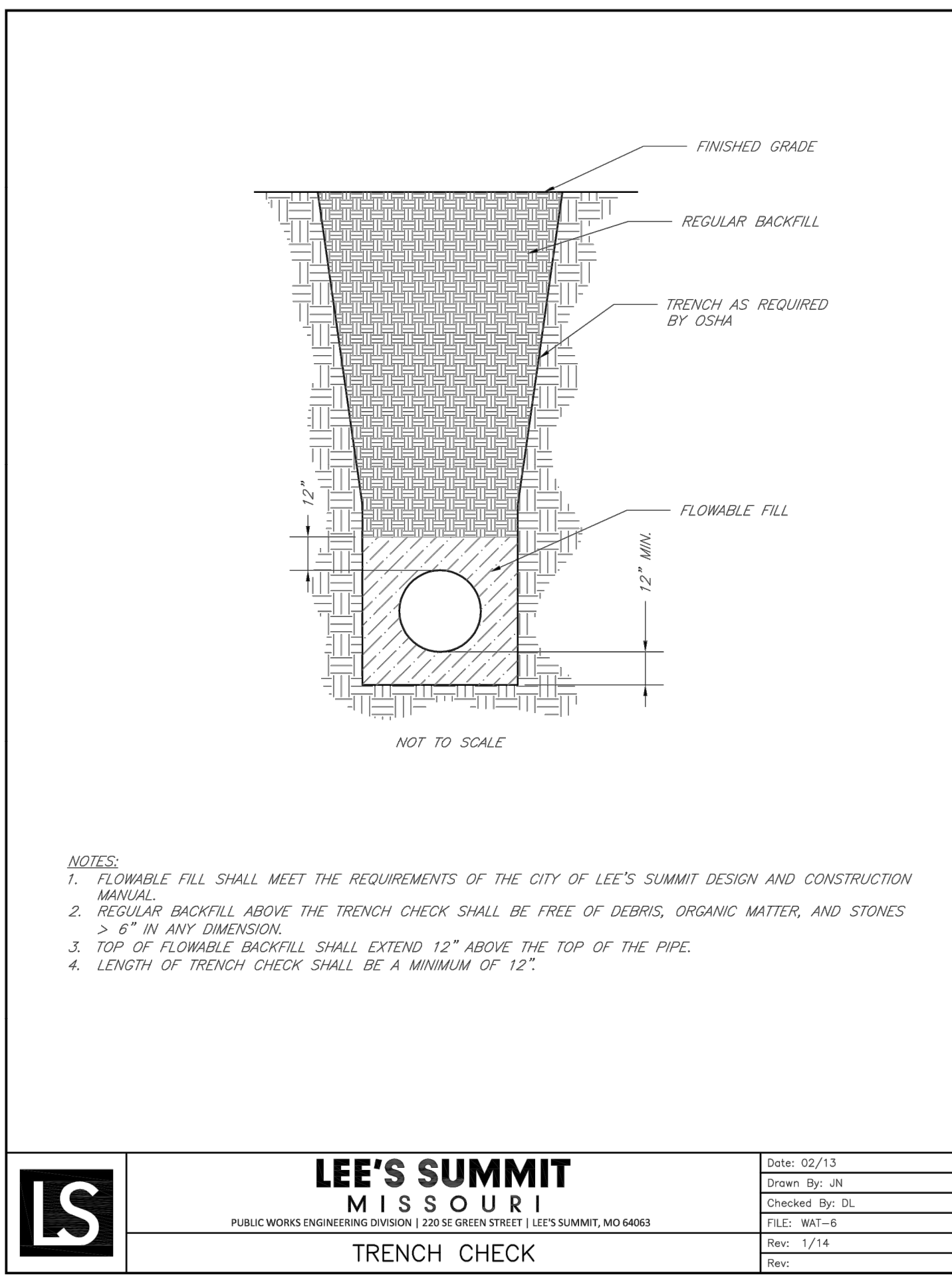
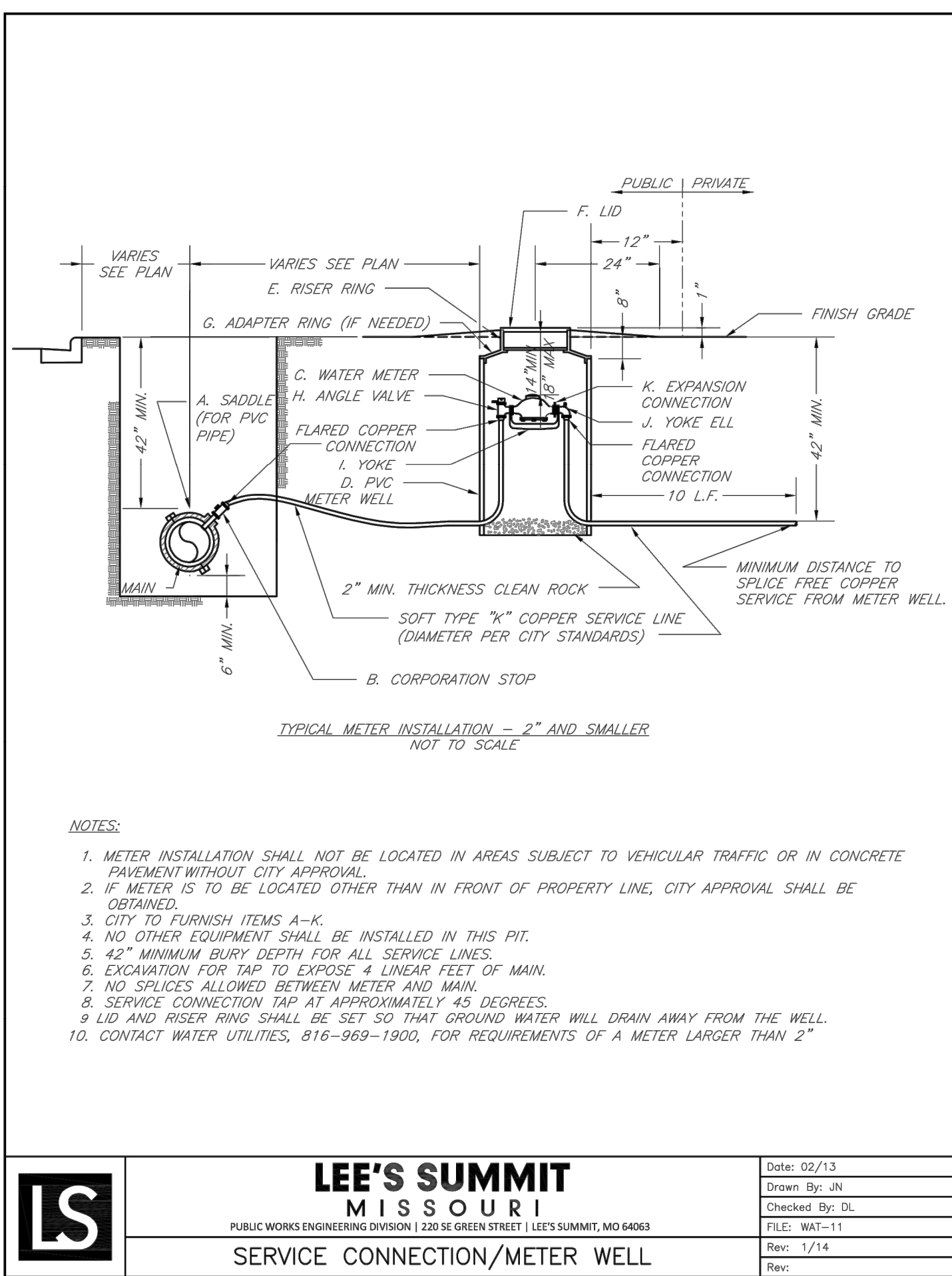
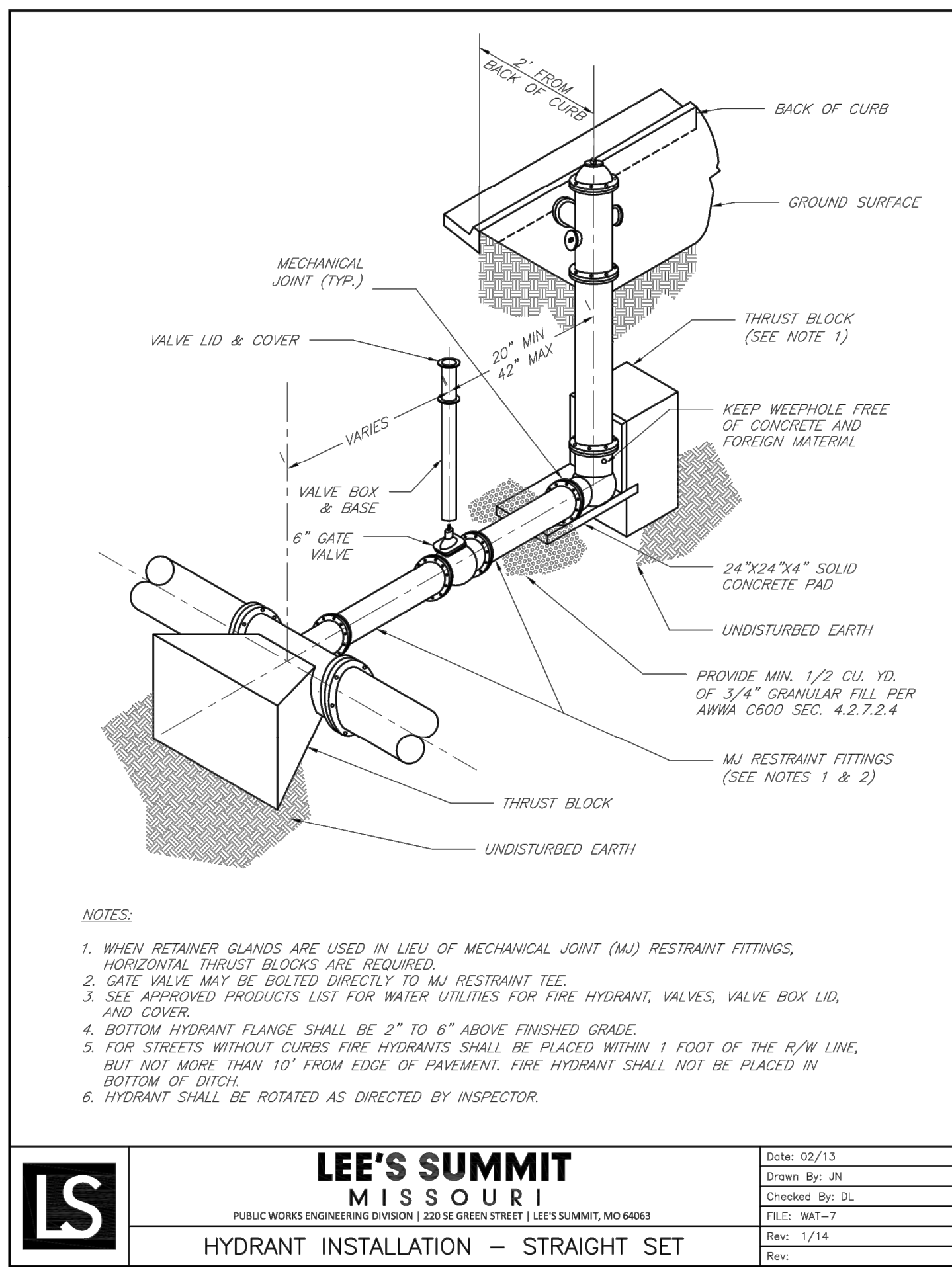
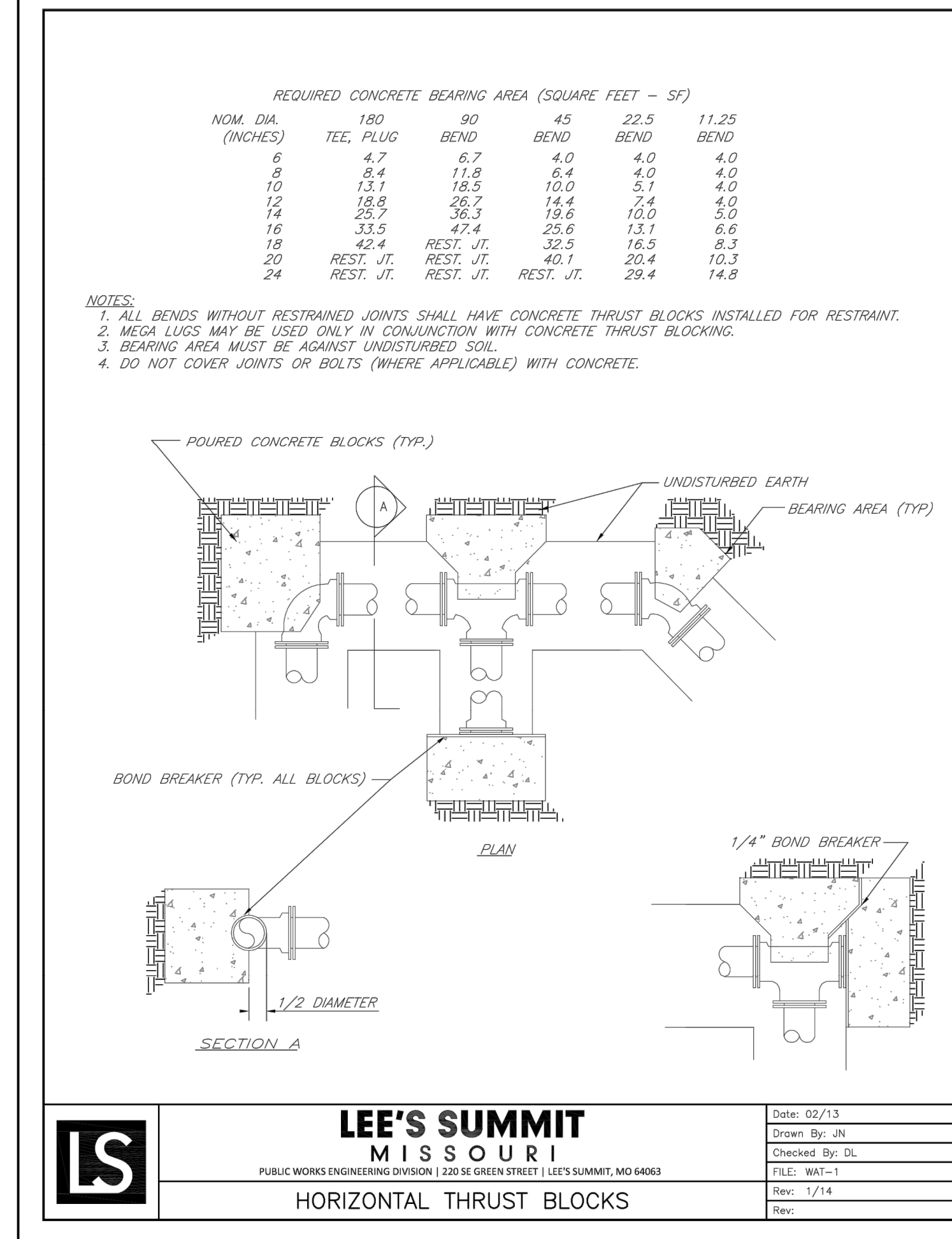
Project No.	2008920
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Drawn By Z. KUNTZ/A. JONES

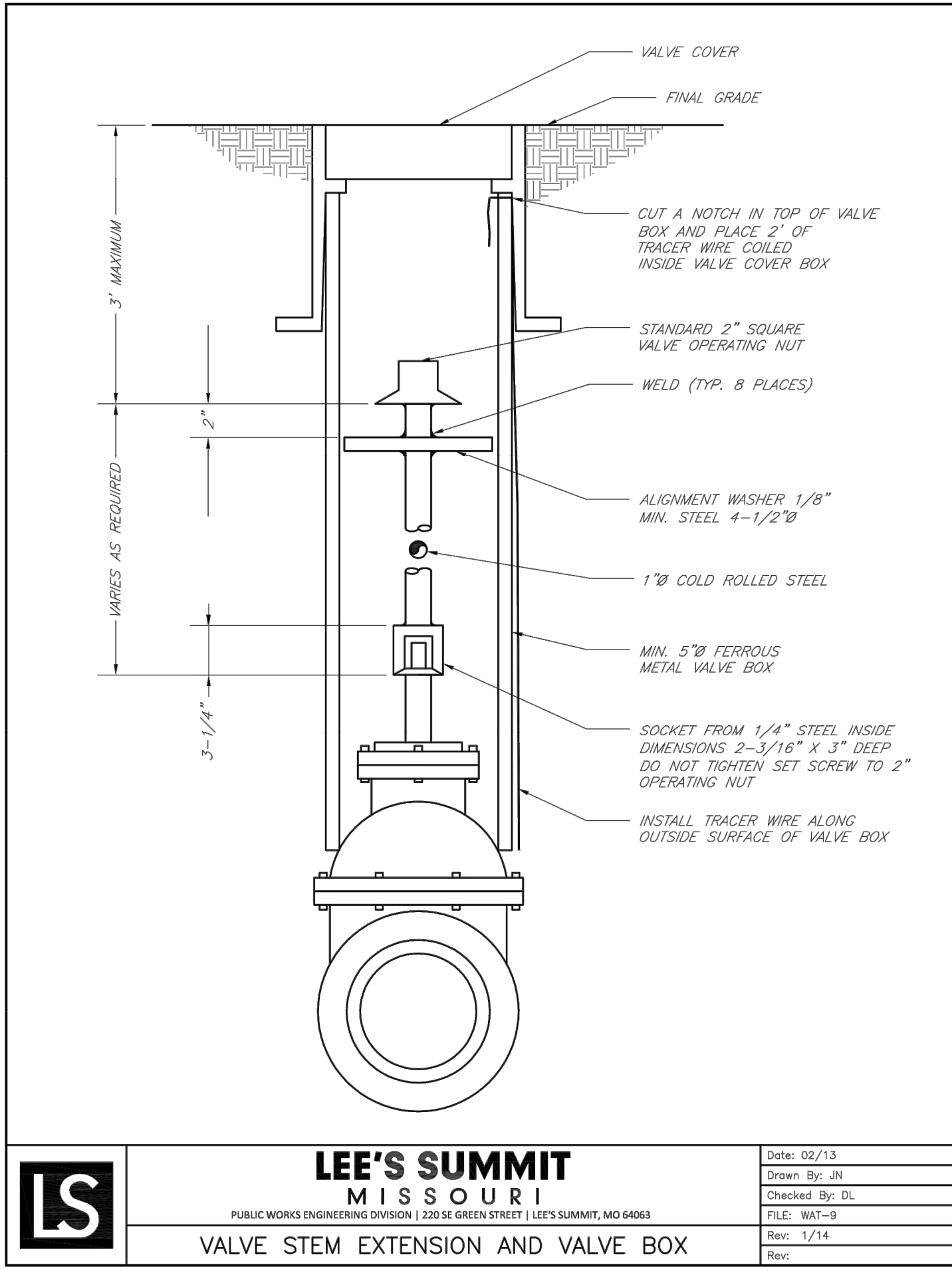
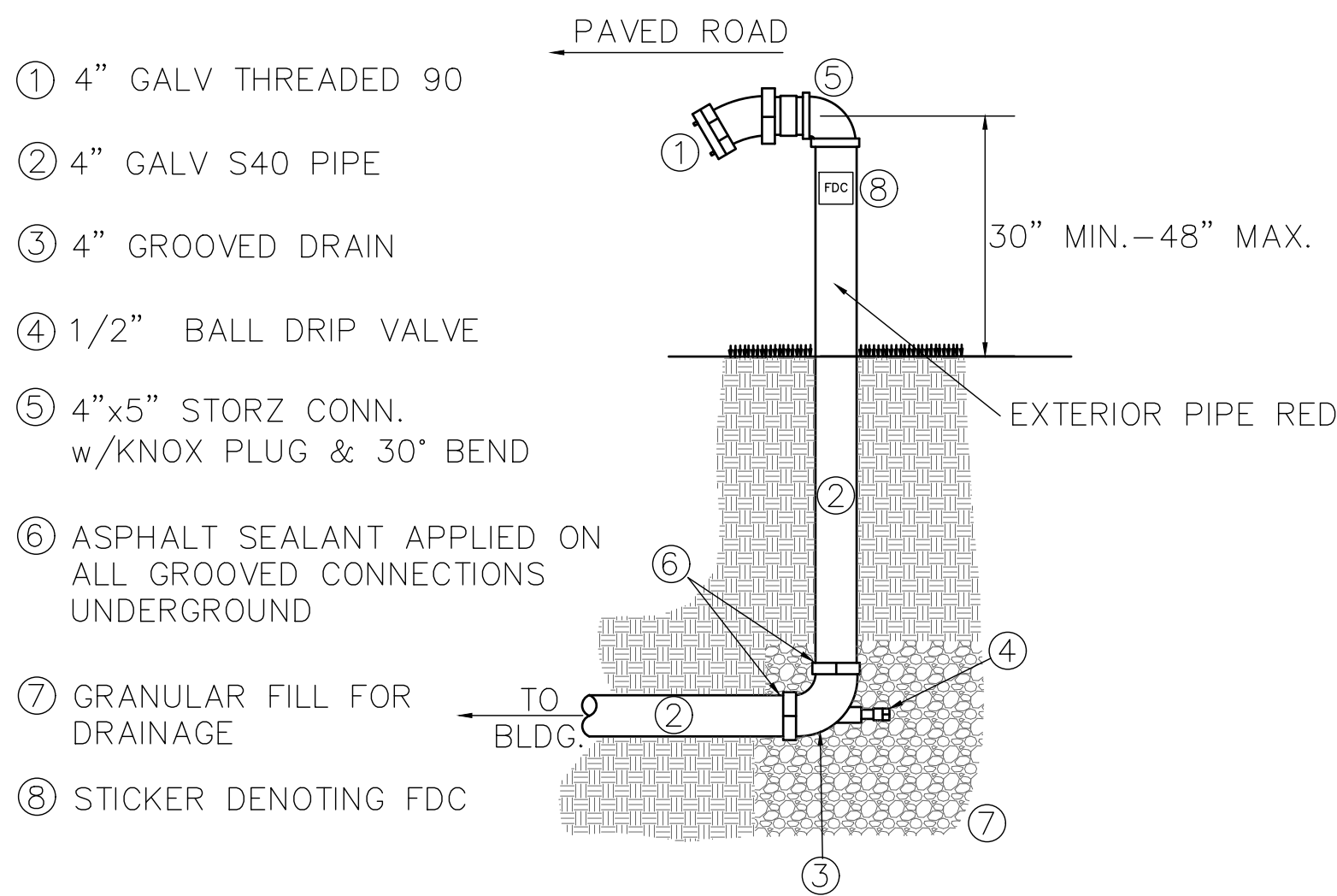
Checked By M.FOGARTY

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STORZ CONNECTION TO BE BLDG. MOUNTED.



PREMIER
DESIGN GROUP
100 MIDLAND PARK DRIVE
WENTZVILLE, MO 63385
MISSOURI CERTIFICATE OF AUTHORITY #E-2008000031
MISSOURI CERTIFICATE OF AUTHORITY #E-2008007849
MISSOURI CERTIFICATE OF AUTHORITY #E-2008007528

STEVE MARION
NUMBER PE2006007195
PROFESSIONAL ENGINEER

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PROFESSIONAL ENGINEER
PE 2006007195

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LEE'S SUMMIT, MO 64066
TM CROWLEY
501 PENNSYLVANIA PARKWAY SUITE 160
INDIANAPOLIS, IN 46280

Project
Date
1-27-2021

Revision Date
1 3-10-2021 REVISED PER CITY COMMENTS

Description of Changes

Sheet Title
UTILITY DETAILS

C-800

Project No. 2008920
Drawn By Z. KUNTZ/A. JONES
Checked By M. FOGARTY

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Engineered Surface Drainage Products

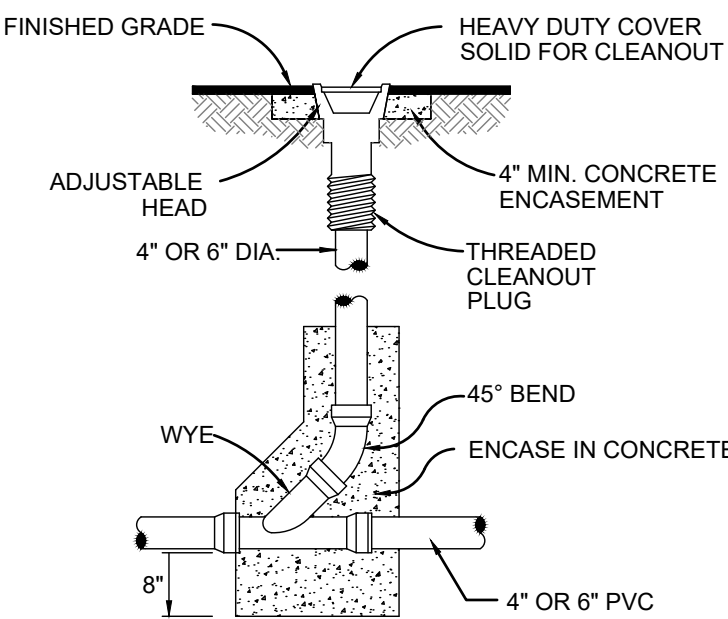
PVC surface drainage inlets shall be of the curb inlet structure type as indicated on the contract drawings and referenced within the contract specifications. The **ductile iron frame, grate and hood** for each of these structures are to be considered an integral part of the surface drainage inlet and shall be furnished by the same manufacturer. The curb inlet structure shall be as manufactured by Nyloplast a division of Advanced Drainage Systems, Inc. or prior approved equal.

The curb inlet structure required for the contract shall be manufactured from PVC pipe stock, utilizing a thermo-molding process to reform the pipe stock to the specified configuration. The drainage pipe connection stubs shall be manufactured from PVC pipe stock and formed to provide a watertight connection with the specified pipe system. This joint tightness shall conform to ASTM D3212 for joints for drain and sewer plastic pipe, using flexible elastomeric seals. The flexible elastomeric seals shall conform to ASTM F477. The pipe bell/grip shall be joined to the main body of the structure. The raw material used to manufacture the pipe stock that is used to manufacture the main body and pipe stubs of the surface drainage inlets shall conform to ASTM D1784 cell class 12454.

The grate, frame and hood for all curb inlet structures shall be ductile iron and shall be made specifically for each so as to provide a round bottom flange that closely matches the diameter of the PVC structure body. The grate, frame and hood shall be capable of supporting H-20 wheel loading for traffic areas. The hood section will have a solid back and be adjustable by use of three (3) locking hex head bolts. The metal used in the manufacture of the castings shall conform to ASTM A536 grade 70-50-05 for ductile iron.

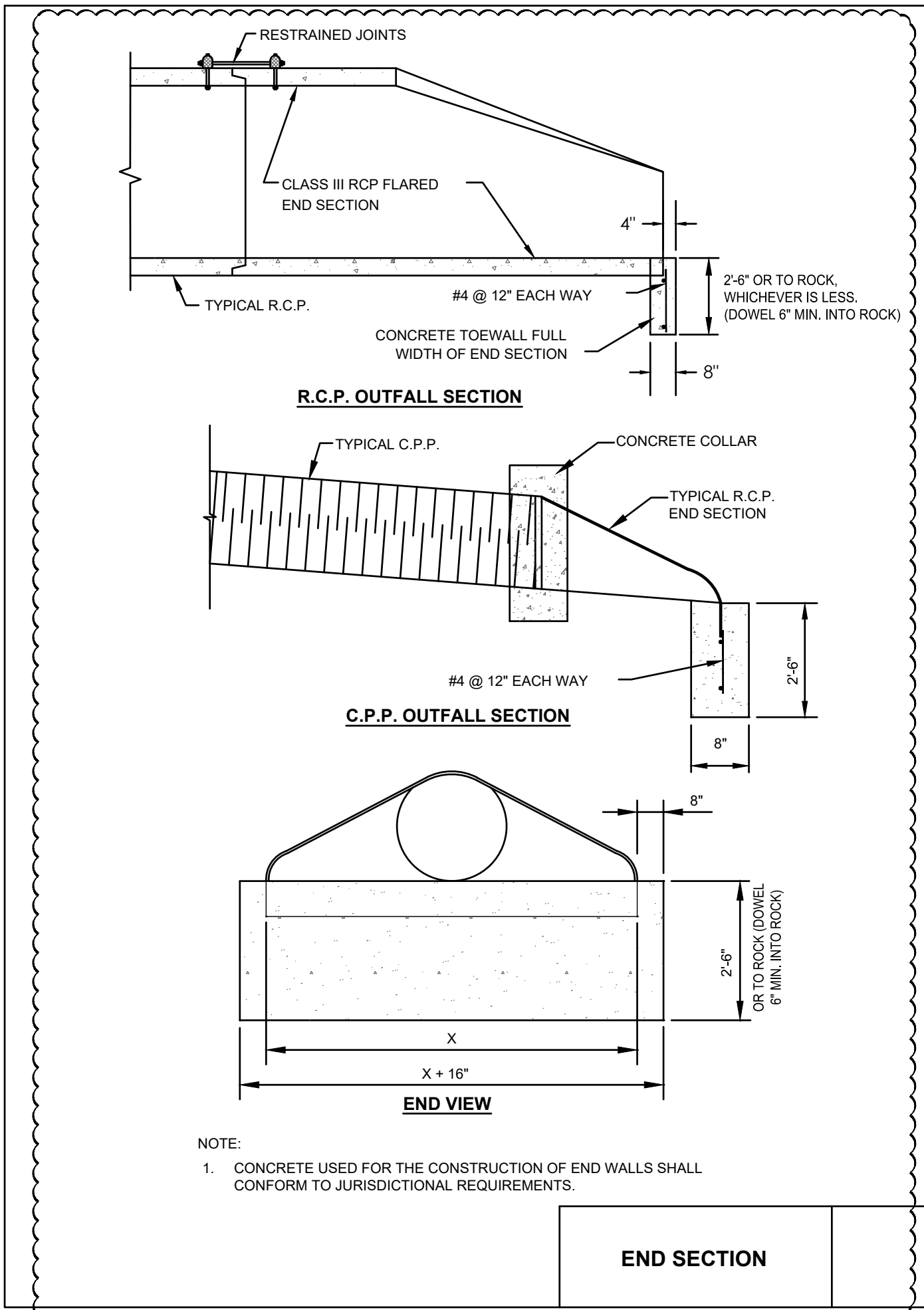
The specified PVC surface drainages shall be installed using conventional flexible pipe backfill materials and procedures. The backfill material shall be crushed stone or other granular material meeting the requirements of class 1, class 2, or class 3 material as defined in [ASTM D3231](#). Bedding and backfill for the curb inlet structure shall be placed and compacted uniformly in accordance with [ASTM D3231](#). The curb inlet structure shall be placed on a bedding of compacted bedding sand. The bedding sand shall be required to be placed to the final grade height. For 18 inch and larger load rated installations, a concrete ring will be poured under the frame, grate, and hood. The concrete slab must be designed taking into consideration local soil conditions, traffic loading, and other applicable design factors. For other installation considerations such as migration of fines, ground water, and soft foundations refer to [ASTM D3231](#) guidelines.

<p>THIS PRINT DISCLOSES SUBJECT MATTER IN WHICH NYLOPLAST HAS PROPRIETARY RIGHTS. THE RECEIPT OR POSSESSION OF THIS PRINT DOES NOT CONFER, TRANSFER, OR LICENSE THE USE OF THE DESIGN OR TECHNICAL INFORMATION SHOWN HEREIN. REPRODUCTION OF THIS PRINT OR ANY INFORMATION CONTAINED HEREIN, OR MANUFACTURE OF A DEVICE HEREFROM, FOR THE DISCLOSURE TO OTHERS IS FORBIDDEN, EXCEPT BY SPECIFIC WRITTEN PERMISSION OF NYLOPLAST, INC.</p>	<p>DRAWN BY CJA MATERIAL DATE 03-10-00 REVIEWED BY NMH DATE 03-10-16 DWG SIZE A SCALE 1:1 SHEET 1 OF 1</p>	<p>PROJECT NO. NAME TITLE 2" X 2" X 2" & 3" X 3" CURB INLET STRUCTURE DWG NO. 7002-11-005 REV H</p>	<p>3130 VERONA AVE BURLING, CA 95018 PHN (770) 933-3443 FAX (770) 932-2490 www.nyloplast.com</p>
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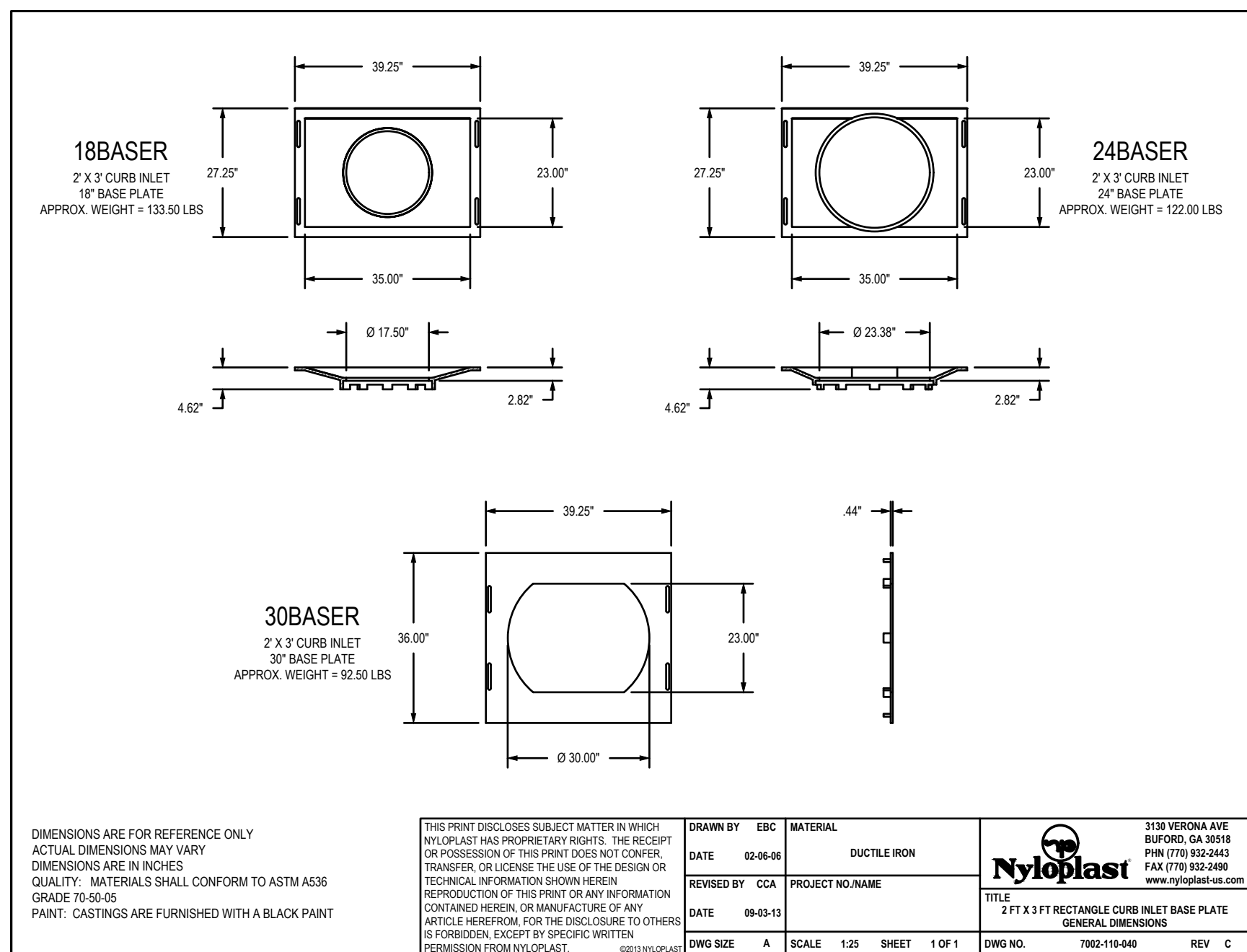
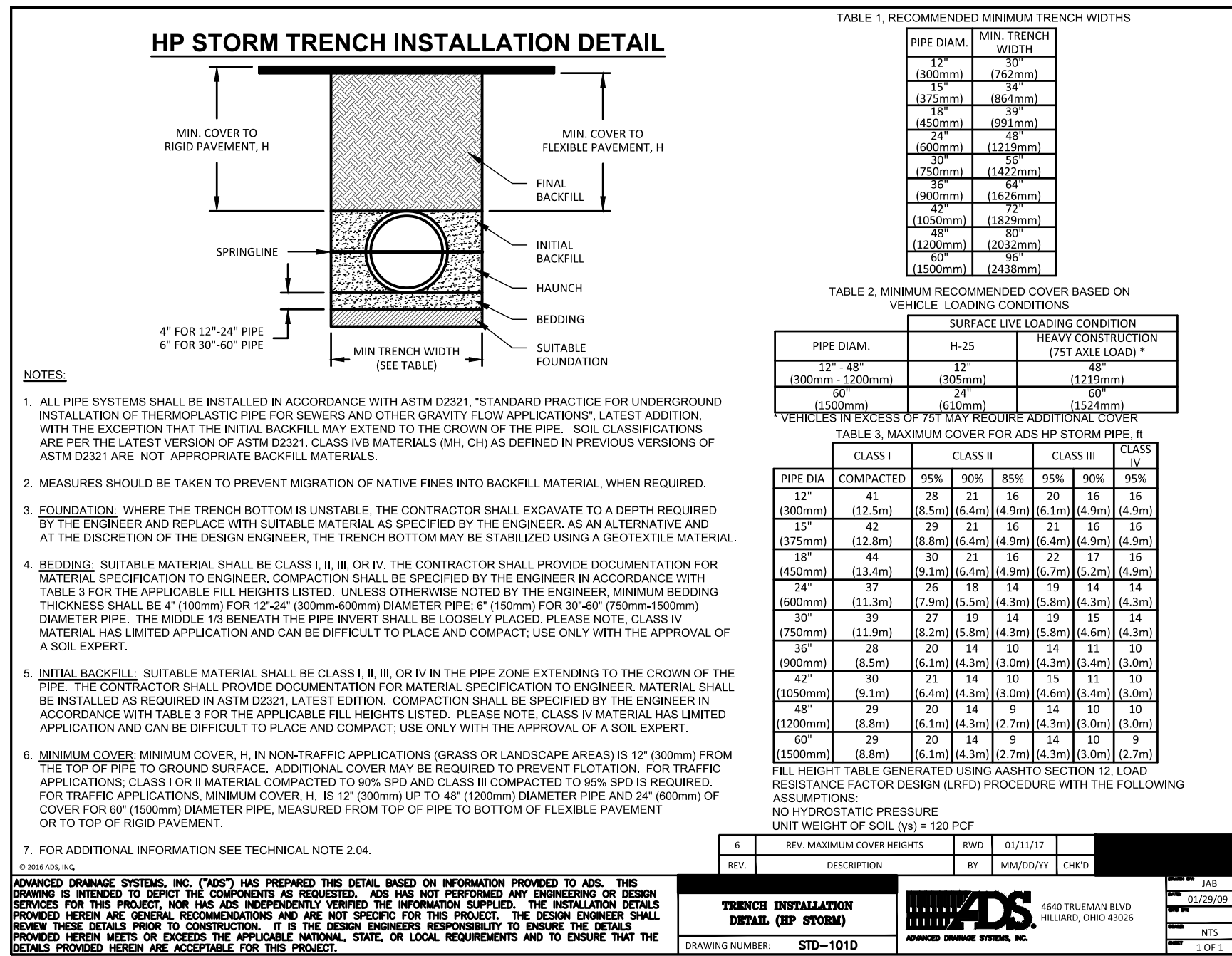
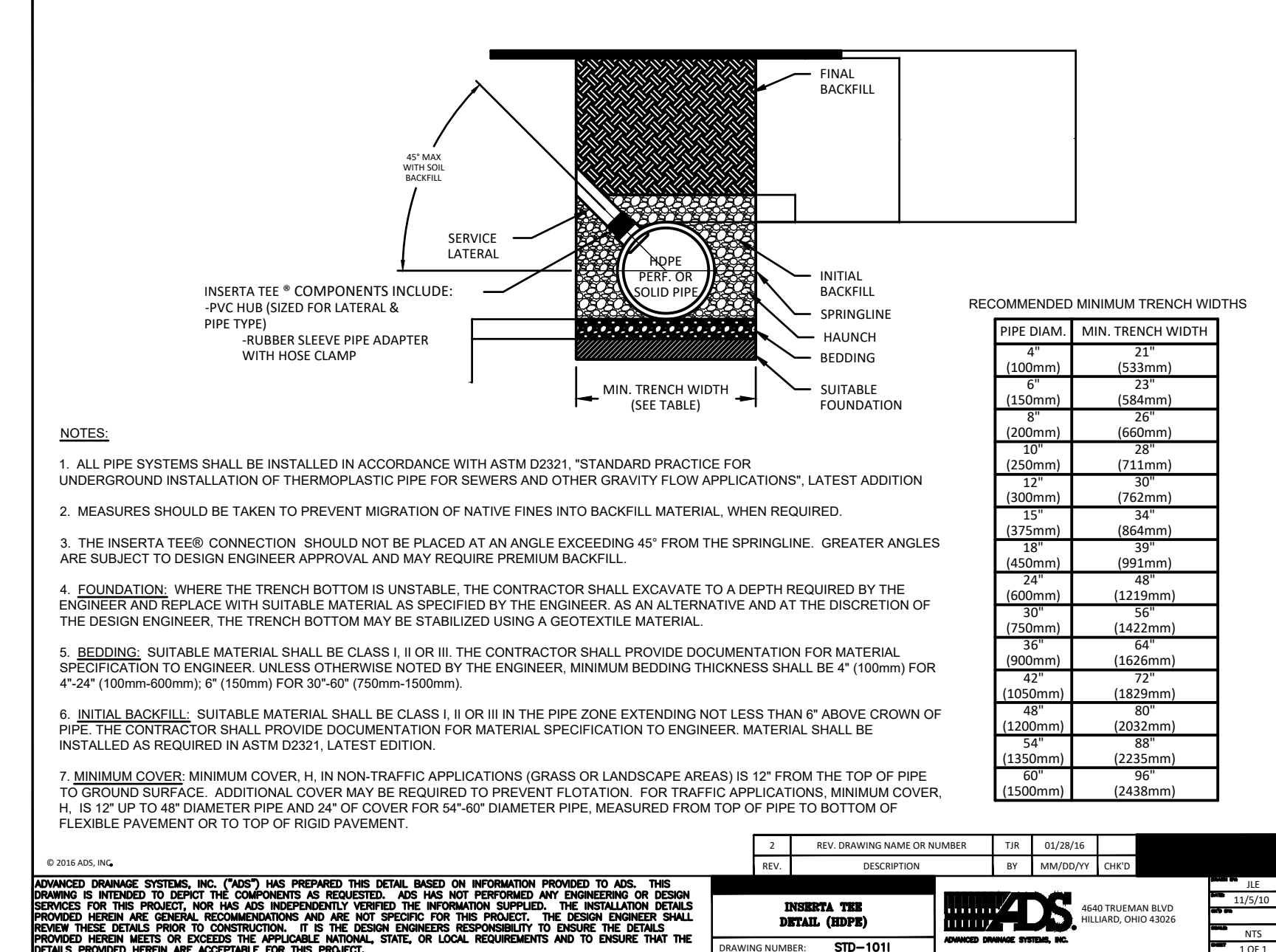
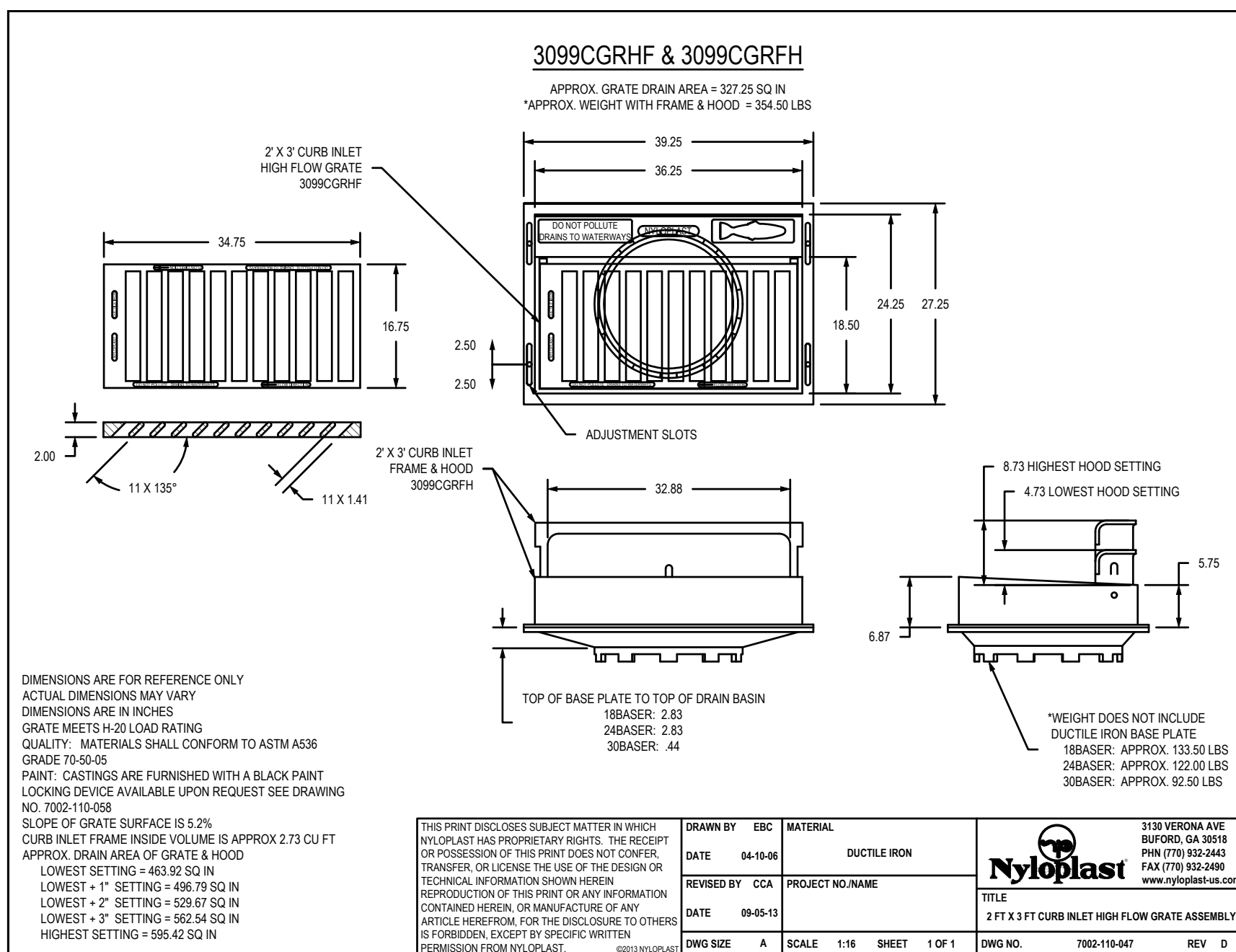
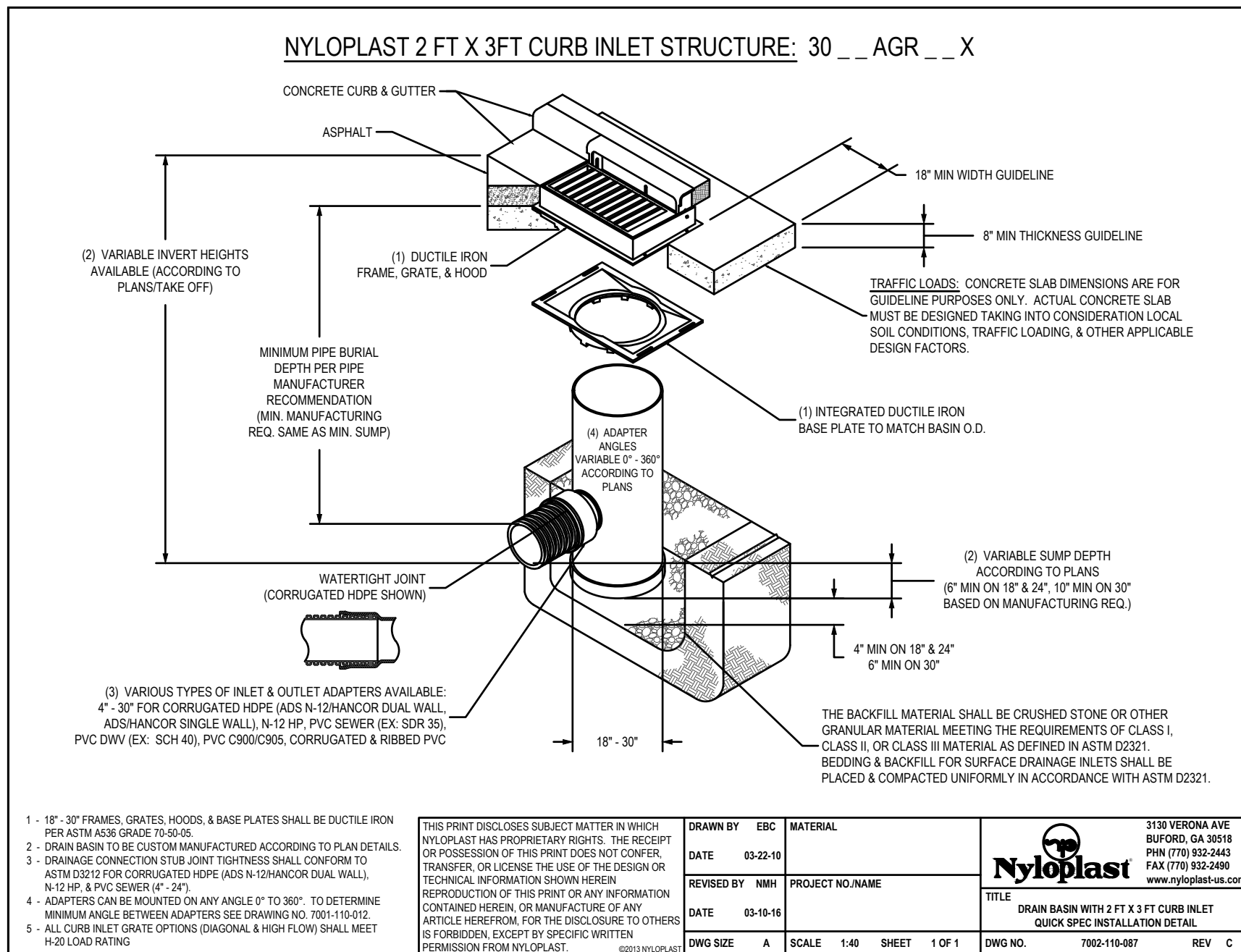
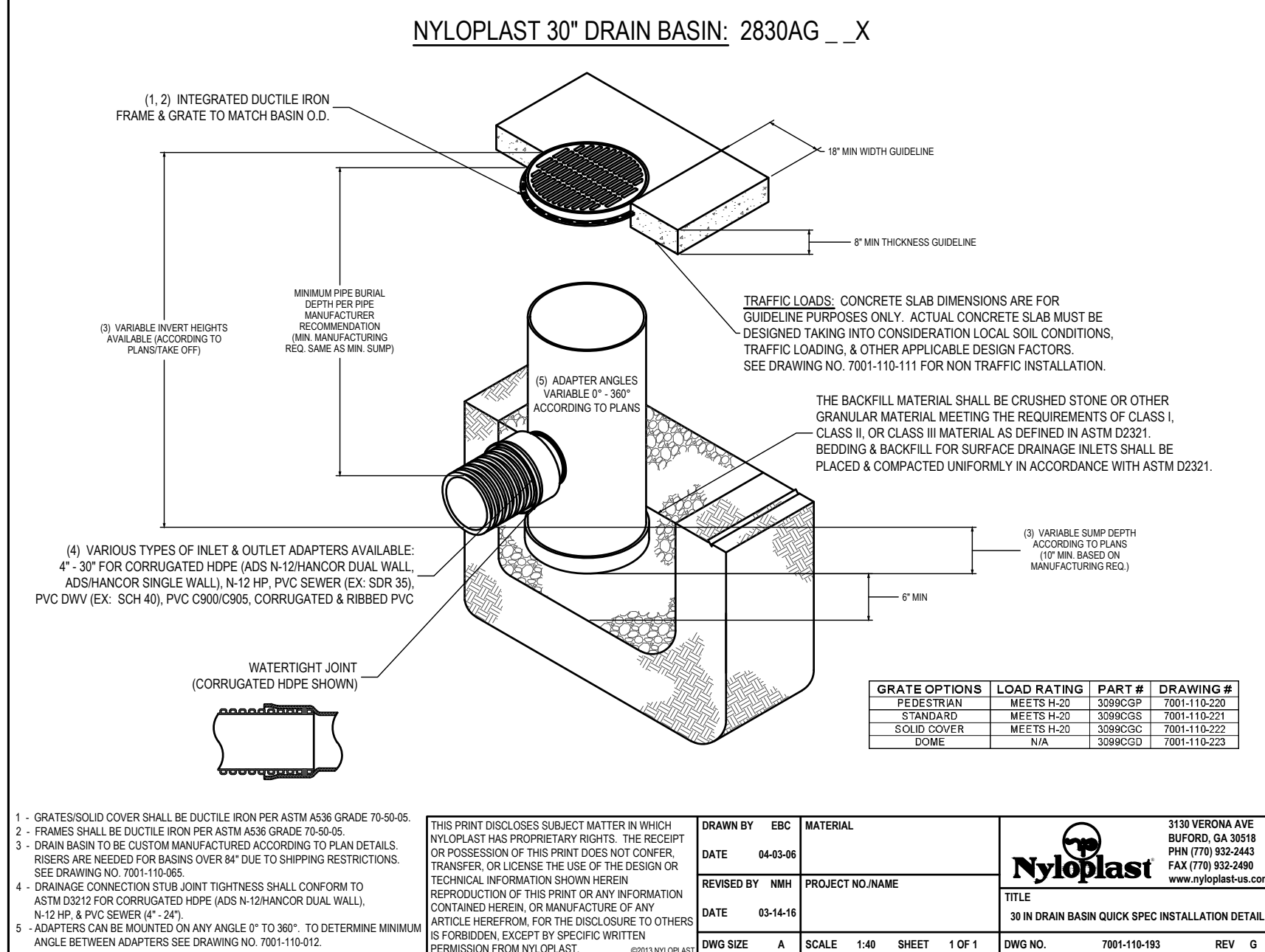


CLEANOUT DETAIL

(NOT TO SCALE)



1. CONCRETE USED FOR THE CONSTRUCTION OF END WALLS SHALL CONFORM TO JURISDICTIONAL REQUIREMENTS.



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STEVEN D. MARION P.E.
PROFESSIONAL ENGINEER
PE 008007195

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LEE'S SUMMIT, MO 64086
TIM CROWLEY
5001 PENNSYLVANIA PARKWAY SUITE
INDIANAPOLIS, IN 46280

Date 1-27-2021

UTILITY DETAILS

C-801

Project No.	2008920
Drawn By	Z. KUNTZ/A. JONES
Checked By	M.FOGARTY

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LANDSCAPE PLAN NOTES:

GENERAL:

1. ALL LANDSCAPE MATERIAL SHALL CONFORM TO THE CITY OF LEE'S SUMMIT STANDARDS.
2. ALL NATURAL VEGETATION SHALL BE MAINTAINED WHERE IT DOES NOT INTERFERE WITH CONSTRUCTION OR THE PERMANENT PLAN OF OPERATION. EVERY EFFORT POSSIBLE SHALL BE MADE TO PROTECT EXISTING VEGETATION OR STRUCTURES FROM DAMAGE DUE TO EQUIPMENT USAGE. CONTRACTOR SHALL AT ALL TIMES PROTECT ALL MATERIALS AND WORK AGAINST INJURY TO THE PUBLIC.
3. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COORDINATION WITH OTHER SITE RELATED WORK BEING PERFORMED BY OTHER CONTRACTORS. REFER TO ARCHITECTURAL DRAWINGS FOR FURTHER COORDINATION OF WORK TO BE DONE.
4. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES MUST BE CONSIDERED APPROXIMATE ONLY. THERE MAY BE OTHERS NOT PRESENTLY SHOWN OR KNOWN. IT SHALL BE THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO DETERMINE OR VERIFY THE EXISTENCE OF AND EXACT LOCATION OF ALL UTILITIES. (CALL MISSOURI ONE CALL, 1-800-DIG-RITE)
5. PLANT MATERIAL ARE TO BE PLANTED IN THE SAME RELATIONSHIP TO GRADE AS WAS GROWN IN NURSERY CONDITIONS. ALL PLANTING BEDS SHALL BE CULTIVATED TO A DEPTH OF 6" MINIMUM AND GRADED SMOOTH IMMEDIATELY BEFORE PLANTING OF PLANTS. PLANT GROUNDCOVER TO WITHIN 12" OF TRUNK OF TREES OR SHRUBS PLANTED WITHIN THE AREA.
6. IT SHALL BE THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO:
A. VERIFY ALL EXISTING AND PROPOSED FEATURES SHOWN ON THE DRAWINGS PRIOR TO COMMENCEMENT.
B. REPORT ALL DISCREPANCIES FOUND WITH REGARD TO EXISTING CONDITIONS OR PROPOSED DESIGN TO THE ENGINEER OF RECORD IMMEDIATELY FOR A DECISION.
C. STAKE THE LOCATIONS OF ALL PROPOSED PLANT MATERIAL AND OBTAIN THE APPROVAL OF THE OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
7. ITEMS SHOWN ON THIS DRAWING TAKE PRECEDENCE OVER THE MATERIAL LIST. IT SHALL BE THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL QUANTITIES AND CONDITIONS PRIOR TO IMPLEMENTATION OF THIS PLAN. NO SUBSTITUTIONS OF TYPES OR SIZE OF PLANT MATERIALS WILL BE ACCEPTED WITHOUT WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT.
8. PROVIDE SINGLE-STEM TREES UNLESS OTHERWISE NOTED IN PLANT SCHEDULE.
9. ALL PLANT MATERIAL SHALL COMPLY WITH THE RECOMMENDATIONS AND REQUIREMENTS OF ANSI Z60.1 "AMERICAN STANDARDS FOR NURSERY STOCK".
10. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE FOR INSPECTION OF THE PLANT MATERIAL BY THE LANDSCAPE ARCHITECT PRIOR TO ACCEPTANCE. PLANTS NOT CONFORMING EXACTLY TO THE PLANT LIST WILL NOT BE ACCEPTED AND SHALL BE REPLACED AT THE LANDSCAPE CONTRACTOR'S EXPENSE.
11. ALL BIDS ARE TO HAVE UNIT PRICES LISTED. THE OWNER HAS THE OPTION TO DELETE ANY PORTION OF THE CONTRACT PRIOR TO SIGNING THE CONTRACT OR BEGINNING WORK. THIS WILL BE A UNIT PRICE CONTRACT.
12. ALL PLANT MATERIAL TO BE TRANSPLANTED SHALL BE IN ACCORDANCE TO GUIDELINES SET BY AAN STANDARDS. TRANSPLANTED MATERIAL WILL NOT BE GUARANTEED BY THE LANDSCAPE CONTRACTOR.

INSURANCE:

1. THE LANDSCAPE CONTRACTOR SHALL SUBMIT CERTIFICATES OF INSURANCE FOR WORKMAN'S COMPENSATION AND GENERAL LIABILITY.

MULCH:

1. ALL MULCH TO BE SHREDDED OAK BARK MULCH AT 3" DEPTH AFTER COMPACTION (UNLESS OTHERWISE NOTED). MULCH SHALL BE CLEAN AND FREE OF ALL FOREIGN MATERIALS, INCLUDING WEEDS, MOLD, DELETERIOUS MATERIALS, ETC. PROVIDE 4" DIAMETER MULCH RING AROUND ALL NEW TREES WITH MIN. 3" DEPTH OF SHREDDED OAK BARK MULCH.
2. MIRAFI FABRIC SHALL BE USED BENEATH ALL GRAVEL MULCH BEDS.
3. LANDSCAPE BEDS NOT BORDERED BY CONCRETE CURBING OR WALKS SHALL BE SPADE CUT EDGE.

MAINTENANCE:

1. LANDSCAPE CONTRACTOR SHALL PROVIDE A SEPARATE PROPOSAL TO MAINTAIN ALL PLANTS, SHRUBS, GROUNDCOVER, PERENNIALS AND ANNUALS FOR A PERIOD OF 12 MONTHS AFTER ACCEPTANCE.
2. CONTRACTOR SHALL ENSURE THAT ONLY COMPETENT AND TRAINED PERSONNEL SHALL PROVIDE SUCH SERVICES AND THAT SUCH SERVICES BE PROVIDED IN A TIMELY MANNER.

TOPSOIL:

1. TOPSOIL MIX FOR ALL PROPOSED LANDSCAPE PLANTINGS SHALL BE FIVE (5) PARTS WELL-DRAINED SCREENED ORGANIC TOPSOIL TO ONE (1) PART CANADIAN SPHAGNUM PEAT MOSS AS PER PLANTING DETAILS. ROTO-TILL TOPSOIL MIX TO A DEPTH OF 4" MINIMUM AND GRADE SMOOTH.
2. PROVIDE A SOIL ANALYSIS, AS REQUESTED, MADE BY AN INDEPENDENT SOIL-TESTING AGENCY OUTLINING THE PERCENTAGE (%) OF ORGANIC MATTER, INORGANIC MATTER, DELETERIOUS MATERIAL, PH AND MINERAL CONTENT.
3. ANY FOREIGN TOPSOIL USED SHALL BE FREE OF ROOTS, STUMPS, WEEDS, BRUSH, STONES (LARGER THAN 1"), LITTER OR ANY OTHER EXTRANEOUS OR TOXIC MATERIAL.
4. LANDSCAPE CONTRACTOR TO APPLY PRE-EMERGENT HERBICIDE TO ALL PLANTING BEDS UPON COMPLETION OF PLANTING OPERATIONS AND BEFORE APPLICATION OF SHREDDED OAK BARK MULCH.

MISC. MATERIAL:

PROVIDE STAKES AND DEADMAN OF SOUND, NEW HARDWOOD, FREE OF KNOTHOLES AND DEFECTS.

1. TREE WRAP TAPE SHALL BE 4" MINIMUM, DESIGNED TO PREVENT BORER DAMAGE AND WINTER FREEZING. ADDITIONALLY, ONLY 3-PLY TYING MATERIAL SHALL BE USED.

TURF:

1. ALL DISTURBED LAWN AREAS TO BE SODDED UNLESS NOTED OTHERWISE WITH A TURF-TYPE KENTUCKY BLUE GRASS/RESCUE MIX. LAWN AREAS SHALL BE UNCONDITIONALLY WARRANTED FOR A PERIOD OF 90 DAYS FROM DATE OF FINAL ACCEPTANCE.
2. ANY POINTS CARRYING CONCENTRATED WATER LOADS AND ALL SLOPES OF 4:1 OR GREATER SHALL BE SODDED AND THE SOD SHALL HAVE STAKES PLACED.
3. ALL SOD SHALL BE PLACED A MAXIMUM OF 24 HOURS AFTER HARVESTING.
4. RECONDITION EXISTING LAWN AREAS DAMAGED BY CONTRACTOR'S OPERATIONS INCLUDING EQUIPMENT/ MATERIAL STORAGE AND MOVEMENT OF VEHICLES.
5. SOD CONTRACTOR TO ENSURE SOD IS PLACED BELOW SIDEWALK AND ALL PAVED AREA ELEVATIONS TO ALLOW FOR PROPER DRAINAGE.
6. OFF-SITE LAND DISTURBED SHALL BE SODDED AND RESTORED TO A CONDITION BETTER THAN EXISTING.

SIGHT TRIANGLES:

1. NO LANDSCAPE MATERIAL OR OTHER OBSTRUCTIONS SHALL BE PLACED OR BE MAINTAINED WITHIN THE SIGHT DISTANCE AREA SO AS NOT TO IMPEDE THE VISION BETWEEN A HEIGHT OF THIRTY INCHES (30") AND TEN FEET (10') ABOVE THE ADJACENT STREET OR PAVING SURFACES.
2. THE TRIANGLE ADJACENT TO STREET INTERSECTIONS SHALL BE FORMED BY MEASURING FROM THE POINT OF INTERSECTION OF THE FRONT AND SIDE LOT LINES A DISTANCE OF 20' MINIMUM ALONG SAID FRONT AND SIDE LOT LINES AND CONNECTING THE POINTS SO ESTABLISHED TO FORM THE SIGHT TRIANGLE AREA.
3. SIGHT TRIANGLES AT THE INTERSECTION OF A PUBLIC STREET AND A PRIVATE ACCESS WAY (EXCEPT FOR SINGLE FAMILY RESIDENCES) SHALL ALSO BE FORMED AS OUTLINED IN NOTE #2 ABOVE.

WARRANTY:

1. ALL PLANT MATERIAL (EXCLUDING GROUND COVER, PERENNIALS AND ANNUALS) ARE TO BE WARRANTED FOR A PERIOD OF 12 MONTHS AFTER INSTALLATION AT 100% OF THE INSTALLED PRICE.
2. ANY PLANT MATERIAL FOUND TO BE DEFECTIVE SHALL BE REMOVED AND REPLACED WITHIN 30 DAYS OF NOTIFICATION OR IN GROWTH SEASON DETERMINED TO BE BEST FOR THE PLANT.
3. ONLY ONE REPLACEMENT PER TREE OR SHRUB SHALL BE REQUIRED AT THE END OF THE WARRANTY PERIOD, UNLESS LOSS IS DUE TO FAILURE TO COMPLY WITH WARRANTY.
4. LAWN ESTABLISHMENT PERIOD WILL BE IN EFFECT ONCE THE LAWN HAS BEEN MOVED THREE TIMES. PLANT ESTABLISHMENT PERIOD SHALL COMMENCE ON THE DATE OF ACCEPTANCE AND 100% COMPLETION.

LANDSCAPE PLAN REQUIREMENTS

1. REQUIRED FRONT YARD LANDSCAPING
A. ONE TREE SHALL BE PLANTED FOR EACH 30 FEET OF STREET FRONTAGE
B. ONE SHRUB REQUIRED FOR EACH 20 FEET OF STREET FRONTAGE
2. REQUIRED OPEN YARD LANDSCAPING
A. ONE TREE FOR EVERY 5,000 SQ. FT. OF LOT AREA NOT COVERED BY BUILDINGS/STRUCTURES
B. TWO SHRUBS PER 5,000 SQ. FT. OF TOTAL LOT AREA
3. REQUIRED TRASH STORAGE CONTAINER LANDSCAPING
A. REFER TO LANDSCAPE PLAN FOR SCREENING OF TRASH ENCLOSURE.

1. PROVIDED FRONT YARD LANDSCAPING
A. TREES PROVIDED - 74.55' OF STREET FRONTAGE / 30 FEET = 3 TREES PROVIDED
B. SHRUBS PROVIDED - 74.55' OF STREET FRONTAGE / 20 FEET = 4 SHRUBS PROVIDED
2. PROVIDED OPEN YARD LANDSCAPING
A. TREES PROVIDED - 92,014 SQ. FT. - 14,100 BLDG SQ. FT. = 77,917 SQ. FT. / 5,000 SQ. FT. = 17 EX TREES
B. SHRUBS PROVIDED - 92,014 SQ. FT. / 5,000 SQ. FT. = 18.4 x 2 = 37 SHRUBS PROVIDED
3. REQUIRED TRASH STORAGE CONTAINER LANDSCAPING
A. REFER TO LANDSCAPE PLAN - 10 EMERALD ARBORVITAE PROVIDED

SEED AND MULCH WITH GUARANTEE FOR ESTABLISHMENT OF GRASS WITHIN 3-6 MONTHS.

PLANT SCHEDULE

TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE
CH	7	CARPINUS BETULUS 'COLUMNARIS'	COLUMNAR EUROPEAN HORNBEAM	8 & 8	8" TALL MIN.
TH	10	THUJA OCCIDENTALIS 'EMERALD'	EMERALD ARBORVITAE	15 GAL	6" TALL MIN.
TS	2	TILIA CORDATA 'SPRING GLOW'	LITTLELEAF LINDEN	8 & 8	6" TALL MIN.

EXISTING TREE MASS	QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE
EX	17	EXISTING	EXISTING TREE	EXISTING	VARIES

SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE
BG	7	BUXUS X 'GREEN MOUND'	GREEN MOUND BOXWOOD	3 GAL	MIN. HEIGHT
CA	3	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS	3 GAL	
EC	3	EUCHONIA ALATA 'COMPACTUS'	COMPACT BURNING BUSH	3 GAL	
PD	3	PHYSCARPUS OPULIFOLIUS 'DIABLO'	DIABLO NINEBARK	3 GAL	
RG	21	RHUS AROMATICA 'GRO-LOW'	GRO-LOW FRAGRANT SUMAC	3 GAL	
SY	6	SYRINGA MEYERI 'PALIBIN'	DWARF KOREAN LLAC	3 GAL	
VI CA	5	VIBURNUM CARLESSII 'COMPACTUM'	KOREAN SPICE VIBURNUM	3 GAL	

GROUND COVERS	QTY	BOTANICAL NAME	COMMON NAME	CONT
	533 SF	BOULELOUA DACTYLOIDES	BUFFALO GRASS	SOD
	379	JUNCUS EFFUSUS	SOFT RUSH	4"POT

PREMIER DESIGN GROUP
100 MIDLAND PARK DRIVE
WENTZVILLE, MO 63385
MISSOURI CERTIFICATE OF AUTHORITY #E-200800031
MISSOURI CERTIFICATE OF AUTHORITY #E-200800789

STEVE MARION
PE 2006007195
LANDSCAPE ARCHITECT

STEVEN D. MARION P.E.
PROFESSIONAL ENGINEER
PE 2006007195

PETSUITES OF AMERICA
LEE'S SUMMIT, MO
250 NW MCNARY CT.
LEE'S SUMMIT, MO 64086
TM CROWLEY
501 PENNSYLVANIA PARKWAY SUITE 160
INDIANAPOLIS, IN 46280

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Drawn By
Z. KUNTZ/A. JONES

Checked By
M. FOGARTY

NOT RELEASED FOR CONSTRUCTION

LANDSCAPE PLAN