

PRELIMINARY DEVELOPMENT PLANS
FOR
MID-CONTINENT LIBRARY LEE'S SUMMIT BRANCH
150 SOUTH WEST OLDHAM PKWY
NE 1/4 OF SECTION 1, TOWNSHIP 47 NORTH, RANGE 32 WEST
LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

UTILITY COMPANIES AND GOVERNING AGENCIES:

CITY OF LEE'S SUMMIT, PUBLIC WORKS:

ENGINEERING
1200 SE HAMBLÉN ROAD
LEE'S SUMMIT, MO 64081
816.969.1800

CITY OF LEE'S SUMMIT, CITY HALL:

220 SE GREEN
LEE'S SUMMIT, MO 64063
816.969.1000

CITY OF LEE'S SUMMIT, FIRE CHIEF:

207 SE DOUGLAS
LEE'S SUMMIT, MO 64063
816.969.7407

CITY OF LEE'S SUMMIT, POLICE CHIEF:

10 NE TUDOR
LEE'S SUMMIT, MO 64086
816.969.1700

PUBLIC WATER:

1200 SE HAMBLÉN ROAD
LEE'S SUMMIT, MO 64081
816.969.1940

BUILDING INSPECTIONS

1200 SE HAMBLÉN ROAD
LEE'S SUMMIT, MO 64081
816.969.1800

OWNER & DEVELOPER

MID CONTINENT PUBLIC LIBRARY
DISTRICT NO 3
15616 E US HWY 24
INDEPENDENCE MO 64050-2057

ENGINEER

TERRY PARSONS
OLSSON
7301 W. 133RD STREET SUITE 200
OVERLAND PARK, KS 66213
PHONE: 913.381.1170
EMAIL: tparsons@olsson.com

POWER COMPANY:

EVERGY
8700 EAST FRONT STREET
KANSAS CITY., MO 64120
816.471.5275

GAS COMPANY:

SPIRE GAS
3025 S.E CLOVER ST
LEES SUMMIT, MO 64082
816.756.5252

TELEPHONE:

AT&T
DARRIN SHEPARD
816.275.3825
ds616h@att.com

CABLE/FIBER:

SPECTRUM
877.772.2253

GOOGLE FIBER
877.454.6959



Sheet Number	Sheet Title
C1.0	COVER SHEET
C1.1	GENERAL NOTES
C1.3	DEMOLITION PLAN
C2.0	SITE & DIMENSION PLAN
C3.0	GRADING PLAN
C4.0	UTILITY PLAN
C5.0	STORM SEWER PLAN
C5.1	STORM SEWER CALCULATIONS
C8.0	STANDARD DETAILS
C8.1	STANDARD DETAILS
C8.2	STANDARD DETAILS
C8.3	STANDARD DETAILS
C8.4	STANDARD DETAILS
C8.5	STANDARD DETAILS

NOTE:
ACCORDING TO MDNR STATE OIL & GAS COUNSEL THERE ARE NO OIL
AND GAS WELLS LOCATED WITHIN OR ADJACENT TO THE PROPERTY.

THE ENTIRETY OF THE SITE LIES WITHIN ZONE X - AREA OF MINIMAL
FLOOD HAZARD PER FEMA PANEL 290174 (CITY OF LEE'S SUMMIT, MO)

NOTE:
ACCORDING TO MDNR STATE OIL & GAS COUNSEL THERE
ARE NO OIL AND GAS WELLS LOCATED WITHIN OR
ADJACENT TO THE PROPERTY.

THE ENTIRE PROPERTY IS DESIGNATED "ZONE X - AREA
OF MINIMAL FLOOD HAZARD" AS DEFINED BY FEMA PANEL
29095C0438G - EFFECTIVE DATE JANUARY 20, 2017



THE CONTRACTOR SHALL ADHERE TO THE
PROVISIONS OF THE SENATE BILL NUMBER 583,
78TH GENERAL ASSEMBLY OF THE STATE OF
MISSOURI. THE BILL REQUIRES THAT ANY PERSON
OR FIRM DOING EXCAVATION ON PUBLIC RIGHT-
OF-WAY DO SO ONLY AFTER GIVING NOTICE TO, &
OBTAINING INFORMATION FROM, UTILITY COMPANIES.
STATE LAW REQUIRES 48 HOURS ADVANCE
NOTICE. CALL 1-800-DIG-RITE.

BENCHMARKS

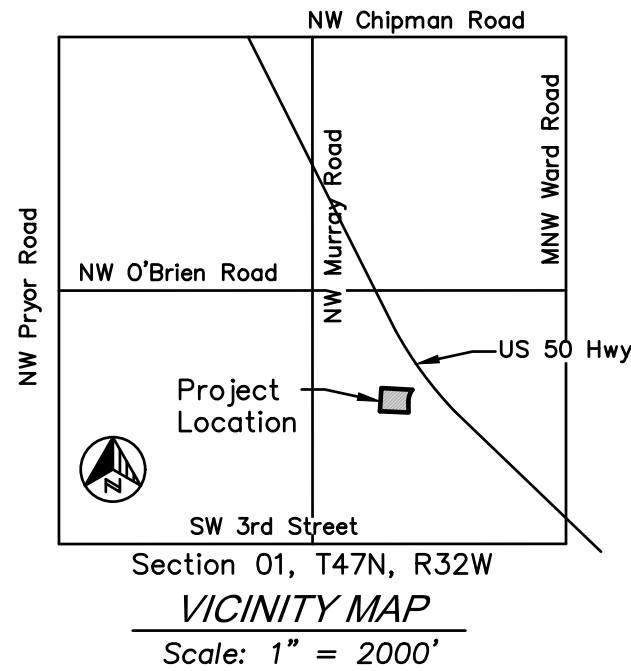
OA Bench Mark #1:
ELEVATION=973.75' (NAVD'88)
SET PUNCH MARK IN CHISELED "C" CUT ON THE
TOP EAST SIDE OF A CONCRETE BASE FOR A
LIGHT POLE, FIRST LIGHT POLE EAST OF THE
ENTRANCE TO GENESIS GYM, 205'± WNW OF THE
NW CORNER OF THE MID-CONTINENT PUBLIC
LIBRARY, 340' ENE OF THE SOUTH CORNER OF
GOODYEAR TIRE STORE.

OA Bench Mark #2:
ELEVATION=952.38' (NAVD'88)
SET CHISELED "X" CUT ON TOP OF CURB ON
THE NORTH SIDE OF A CONCRETE CURB ISLAND,
WEST OF EQUITY BANK BUILDING, 213'± EAST
OF THE EAST FACE OF THE MID-CONTINENT
PUBLIC LIBRARY, 22' EAST OF THE E OF
MCCLENDON DRIVE.

LEGAL DESCRIPTION:

LIBRARY PROPERTY
MID-CONTINENT ADD TRACT A
JACKSON COUNTY, MISSOURI,
CONTAINING 70,306 SQUARE FEET OR
1.6140 ACRES, MORE OR LESS.

SHOPPING CENTER PROPERTY
SUMMIT SHOPPING CENTER LOT 1
JACKSON COUNTY, MISSOURI,
CONTAINING 722,033 SQUARE FEET OR
16.5756 ACRES, MORE OR LESS.



SAPP
DESIGN
ARCHITECTS

3750 S. Fremont Ave.
Springfield, MO 65804 417.877.9600

Sapp Design Associates Architects, P.C.
Missouri State Certificate of Authority #000607

helix.

1629 Walnut
Kansas City, MO 64108 816.300.0300

Helix Architecture + Design
Missouri State Certificate of Authority #000720

SPECIAL NOTICES

In the event the client consents to, allows, authorizes or approves of
changes to any plans, specifications or other construction
documents, and these changes are not approved in writing by the
design professional, the client recognizes that such changes and the
results thereof are not the responsibility of the design professional.
Therefore, the client agrees to release the design professional from
any liability arising from the construction, use or result of such
changes. In addition, the client agrees to the fullest extent permitted
by law, to indemnify and hold the design professional harmless from
any damage, liability or cost (including reasonable attorney's fees and
costs of defense) arising from such changes.

The personal seal of the registered Architect or Engineer shall be the
legal equivalent of his signature whenever & wherever used, and the
owner of the seal shall authenticate this seal and the specification
sections pertaining to this sheet. Responsibility shall be disclaimed
for all other plans, specifications, estimates, reports or other
documents or instruments relating to or intended to be used for any
part or parts of the architectural project.

Mid-Continent Public Library
PRELIMINARY DEVELOPMENT PLAN
LEE'S SUMMIT LIBRARY
150 NW Oldham Parkway
LEE'S SUMMIT, MO 64081
JACKSON COUNTY

PACKAGE
15

Engineer of Record

Terry M Parsons, Engineer MO PE-2018010605

olsson

7301 West 133rd Street, Suite 200
Overland Park, KS 66213
TEL 913.381.1170
FAX 913.381.1174
www.olsson.com

Olsson
Missouri State Certificate of Authority #001592

Revision No. Description Date

Project No. Date Drawn
B18-0330 10.12.2020 HMO

Drawing No.

C1.0

COVER SHEET

© Copyright 2019 - Sapp Design Associates, Architects, P.C.

DWG: F:\2018\0001-0500\018-0330-B\40-Design\AutoCAD\Final Plans\Sheets\GNC\WORK PACKAGE_15\PDF_PDP-80330.dwg
DATE: Feb 23, 2021 1:20pm
USER: tparsons
XREFS: C:\BTLK_80330

GENERAL NOTES:

1.

THE EXISTING UTILITY LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND MAY NOT INCLUDE ALL LINES PRESENT. THE CONTRACTOR SHALL BE RESPONSIBLE TO CALL "1-800-DIG-RITE", 1(800)344-7483 OR 811 AND COORDINATE FIELD LOCATION OF EXISTING UNDERGROUND UTILITIES PRIOR TO BEGINNING GRADING ACTIVITIES. !!STOP!! CALL BEFORE YOU DIG!!
2.

THE CONTRACTOR SHALL NOT CHANGE OR DEVIATE FROM THE PLANS WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE OWNER AND ENGINEER.
3.

ALL WORK AND MATERIALS SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE OWNER OR THE OWNER'S REPRESENTATIVE.
4.

ALL ESTIMATES OF QUANTITIES ARE FOR INFORMATION PURPOSES ONLY. CONTRACTOR AND SUBCONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING ALL QUANTITIES AND FOR BRINGING THE PROJECT TO THE LINES AND GRADES SHOWN HEREIN. CONTRACTOR SHALL PROVIDE ALL WORK AND MATERIALS REQUIRED TO FULFILL THE PLANS IT IS THE CONTRACTOR'S **SOLE** RESPONSIBILITY TO DETERMINE EARTHWORK QUANTITIES AND TO ACCOUNT FOR HAUL IN OR HAUL OFF OF MATERIAL AS NECESSARY TO MEET THE LINES AND GRADES OF THE PLANS EVEN IF QUANTITY ESTIMATES ARE SHOWN WITHIN THESE DOCUMENTS. NO ADDITIONAL PAYMENTS WILL BE MADE FOR IMPORT OR EXPORT OF MATERIAL OR FOR ADJUSTMENTS TO QUANTITY ESTIMATES.
5.

ALL CONSTRUCTION SHALL CONFORM TO THE LATEST STANDARDS AND SPECIFICATIONS OF *THE AMERICAN PUBLIC WORKS ASSOCIATION – KANSAS CITY METROPOLITAN CHAPTER (APWA-KC)* AND THE CITY OF LEE'S SUMMIT, MO, EXCEPT WHERE SHOWN OTHERWISE. NOTIFY ENGINEER OF DISCREPANCIES.
6.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS, PAYING ALL FEES AND FOR OTHERWISE COMPLYING WITH ALL APPLICABLE REGULATIONS GOVERNING THE WORK.
7.

THE CONTRACTOR SHALL ADHERE TO THE PROVISIONS OF MISSOURI STATE LAW WHICH REQUIRES THAT ANY PERSON OR FIRM DOING EXCAVATION ON PUBLIC RIGHT-OF-WAY DO SO ONLY AFTER GIVING NOTICE TO, AND OBTAINING INFORMATION FROM UTILITY COMPANIES.
8.

PRIOR TO COMMENCEMENT OF WORK, THE CONTRACTOR SHALL NOTIFY ALL THOSE COMPANIES WHICH HAVE FACILITIES IN THE NEAR VICINITY OF THE CONSTRUCTION TO BE PERFORMED.
9.

THE CONTRACTOR SHALL LIMIT THE REMOVAL OF TREES TO THE LIMITS OF DEMOLITION SHOWN ON THE DEMOLITION PLAN.
10.

CLEARING AND GRUBBING OPERATIONS AND DISPOSAL OF ALL DEBRIS THEREFROM SHALL BE PERFORMED BY THE CONTRACTOR IN STRICT ACCORDANCE WITH ALL LOCAL CODES AND ORDINANCES.
11.

ALL WASTE MATERIAL RESULTING FROM THE PROJECT SHALL BE DISPOSED OF OFF-SITE BY THE CONTRACTOR.
12.

ALL MANHOLES, CATCH BASINS, UTILITY VALVES AND METER PITS ARE TO BE ADJUSTED OR REBUILT TO GRADE AS REQUIRED.
13.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTROL OF SURFACE EROSION DURING CONSTRUCTION AND UNTIL THE OWNER ACCEPTS THE WORK AS COMPLETE. EROSION CONTROL MEASURES INCLUDING, BUT NOT LIMITED TO, THE SILT FENCES AND GRAVEL FILTER BAGS SHOWN ON THE EROSION CONTROL PLAN SHALL BE IN PLACE FOR THE DURATION OF THE SITE IMPROVEMENTS.
14.

ALL HDPE PIPE SHALL BE ADS (N-12) OR APPROVED EQUAL, AND CONFORM TO AASHTO M294 SPECIFICATIONS. ALL PIPE LENGTHS ARE MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE.
15.

IF PRECAST CONCRETE STORM SEWER STRUCTURES ARE TO BE USED ON THIS PROJECT, THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS AND HAVE THEM APPROVED BY THE ENGINEER PRIOR TO FABRICATION OF THE STRUCTURES. FAILURE TO DO SO SHALL BE CAUSE FOR REJECTION.
19.

EXISTING TOPSOIL SHALL BE STRIPPED TO A POINT WHERE ALL VEGETATION IS REMOVED. REFER TO THE GEOTECHNICAL REPORT PROVIDED BY CFS ENGINEERS, PROJECT NO. 20-1074 AND DATED JUNE 8, 202 AND ALL ADDENDUMS FOR ADDITIONAL REQUIREMENTS.
20.

THE CONTRACTOR SHALL, BY HIS OWN INVESTIGATION, AND PRIOR TO COMMENCING WORK, SATISFY HIMSELF AS TO THE SURFACE AND SUBSURFACE CONDITIONS TO BE ENCOUNTERED.
21.

THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL BOUNDARY CORNERS AND SECTION CORNERS. ANY BOUNDARY CORNER AND/OR SECTION CORNER DISTURBED OR DAMAGED BY CONSTRUCTION ACTIVITIES SHALL BE RESET BY A LAND SURVEYOR LICENSED IN THE STATE OF MISSOURI, AT THE CONTRACTOR'S EXPENSE.
22.

NO FEDERALLY OWNED MAILBOX MAY BE DISTURBED. THE CONTRACTOR SHALL GIVE AT LEAST TWENTY-FOUR (24) HOURS ADVANCE NOTICE TO THE MANAGER OF DELIVERY AND COLLECTIONS. TAMPERING WITH FEDERAL MAIL FACILITIES MAY SUBJECT THE CONTRACTOR TO PROSECUTION BY THE FEDERAL GOVERNMENT.
23.

THE CONTOUR LINES SHOWN ARE FOR MASS GRADING PURPOSES.
24.

EXISTING CONTOURS REPRESENT MASS FINISH GRADE ELEVATIONS.
25.

THE CONTRACTOR SHALL FINISH GRADE SLOPES AS SHOWN NO STEEPER THAN 1 FOOT VERTICAL IN 3 FEET HORIZONTAL UNLESS OTHERWISE SHOWN BY CONTOURS OR SPOT ELEVATIONS.
26.

THE CONTRACTOR SHALL GRADE LANDSCAPED AREAS TO PROVIDE POSITIVE DRAINAGE IN THE BORROW AREA.
27.

THE CONTRACTOR SHALL MAKE HIS OWN ASSUMPTIONS ON THE LOCATION AND CONSISTENCY OF ANY EXISTING ROCK LAYERS UNDERLYING THE PROJECT SITE. ALL ROCK EXCAVATION AND REMOVAL SHALL BE INCLUDED IN THE CONTRACTORS' BID.
28.

CONTRACTOR TO FIELD VERIFY ELEVATIONS AND LOCATIONS OF EXISTING UTILITIES AND INFRASTRUCTURE PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES BETWEEN PLANS AND FIELD CONDITIONS.
29.

BY ACCEPTING AND UTILIZING ANY ELECTRONIC FILE OF ANY DRAWING, REPORT OR DATA TRANSMITTED BY OLSSON (OLSSON), THE RECIPIENT AGREES FOR ITSELF, ITS SUCCESSORS, ASSIGNS, INSURERS AND ALL THOSE CLAIMING UNDER OR THROUGH IT, THAT BY USING ANY OF THE INFORMATION CONTAINED IN THE ELECTRONIC FILE, ALL USERS AGREE TO BE BOUND BY THE FOLLOWING TERMS. ALL OF THE INFORMATION CONTAINED IN THIS ELECTRONIC FILE IS THE WORK PRODUCT AND INSTRUMENT OF SERVICE OF OLSSON, WHO SHALL BE DEEMED THE AUTHOR, AND SHALL RETAIN ALL COMMON LAW, STATUTORY LAW AND OTHER RIGHTS, INCLUDING COPYRIGHTS, UNLESS THE SAME HAVE PREVIOUSLY BEEN TRANSFERRED IN WRITING TO THE RECIPIENT. THE INFORMATION CONTAINED IN THE ELECTRONIC FILE IS PROVIDED FOR THE CONVENIENCE OF THE RECIPIENT AND IS PROVIDED IN "AS IS" CONDITION. THE RECIPIENT IS AWARE THAT DIFFERENCES MAY EXIST BETWEEN THE ELECTRONIC FILES AND THE PRINTED HARD-COPY ORIGINAL SIGNED AND SEALED DRAWINGS OR REPORTS. IN THE EVENT OF A CONFLICT BETWEEN THE SIGNED AND SEALED ORIGINAL DOCUMENTS PREPARED BY OLSSON AND THE ELECTRONIC FILES TRANSFERRED HEREWITH, THE SIGNED AND SEALED ORIGINAL DOCUMENTS SHALL GOVERN. OLSSON SPECIFICALLY DISCLAIMS ALL WARRANTIES, EXPRESSED OR IMPLIED, INCLUDING WITHOUT LIMITATION, ANY WARRANTY OF MERCHANTABILITY OR FITNESS FOR A PARTICULAR PURPOSE WITH RESPECT TO ELECTRONIC FILES. IT SHALL BE THE RECIPIENT'S RESPONSIBILITY TO CONFIRM THE ACCURACY OF THE INFORMATION CONTAINED IN THE ELECTRONIC FILE AND THAT IF ACCURATELY REFLECTS THE INFORMATION NEEDED BY THE RECIPIENT. THE RECIPIENT SHALL NOT RETRANSMIT THE ELECTRONIC FILE, OR ANY PORTION THEREOF, WITHOUT INCLUDING THIS DISCLAIMER AS PART OF ANY SUCH TRANSMISSION. IN ADDITION, THE RECIPIENT AGREES TO THE FULLEST EXTENT PERMITTED BY LAW, TO INDEMNIFY AND HOLD HARMLESS OLSSON, ITS OFFICERS, DIRECTORS, EMPLOYEES AND SUBCONSULTANTS AGAINST ANY AND ALL DAMAGES, LIABILITIES, CLAIMS OR COSTS, INCLUDING REASONABLE ATTORNEY'S AND EXPERT WITNESS FEES AND DEFENSE COSTS, ARISING FROM ANY CHANGES MADE BY ANYONE OTHER THAN OLSSON OR FROM ANY REUSE OF THE ELECTRONIC FILES WITHOUT THE PRIOR WRITTEN CONSENT OF OLSSON.
30.

DESIGN PROFESSIONAL SHALL REVIEW SHOP DRAWINGS OR SAMPLES FOR GENERAL CONFORMANCE WITH THE DESIGN CONCEPTS ON THE PROJECT AND FOR COMPLIANCE WITH THE INFORMATION GIVEN IN THE CONTRACT DOCUMENTS, AND SHALL NOT EXTEND TO MEANS OR METHODS OF CONSTRUCTION. THE DESIGN PROFESSIONAL'S REVIEW SHALL NOT RELIEVE CONTRACTOR FROM RESPONSIBILITY FOR ANY VARIATION FROM THE REQUIREMENTS OF THE CONTRACT DOCUMENTS UNLESS CONTRACTOR HAS IN WRITING CALLED DESIGN PROFESSIONAL'S ATTENTION TO EACH SUCH VARIATION AT THE TIME OF SUBMISSION, AND DESIGN PROFESSIONAL HAS GIVEN WRITTEN APPROVAL OF EACH SUCH VARIATION BY SPECIFIC WRITTEN NOTATION THEREOF INCORPORATED INTO OR ACCOMPANYING THE SHOP DRAWING OR SAMPLE; NOR WILL ANY APPROVAL BY THE DESIGN PROFESSIONAL RELIEVE CONTRACTOR FROM RESPONSIBILITY FOR ERRORS OR OMISSIONS IN SHOP DRAWINGS WITH CONFORMANCE TO CONTRACT DOCUMENTS.
31.

GENERAL CONSTRUCTION NOTE REGARDING SEQUENCING OF EROSION CONTROL – ALL PERIMETER SILT FENCE, EARTH DIKES, SEDIMENT BASINS, AND ROCK CONSTRUCTION ENTRANCES WILL BE INSTALLED BEFORE GRADING OPERATIONS BEGIN, EXCEPT THAT SILT FENCE WHICH IS TO BE PLACED ALONG THE BACK OF CURB FOR PROTECTION OF THE STREET. SILT FENCE AND EARTH DIKES THAT ARE PLACED BEFORE GRADING BEGINS WILL BE MAINTAINED BY THE GRADING CONTRACTOR UNTIL ALL UTILITIES ARE IN PLACE. THE SILT FENCE THAT IS PLACED ALONG THE BACK OF THE CURB OR RIGHT -OF-WAY WILL BE INSTALLED IMMEDIATELY AFTER THE CURB IS CONSTRUCTED. EROSION AND SEDIMENTATION CONTROLS ARE TEMPORARY AND MUST BE REMOVED BY THE CONTRACTOR AFTER CONSTRUCTION IS COMPLETE AND THE DISTURBED AREA IS AT LEAST 70% PERMANENTLY VEGETATED.
32.

HANDICAP PARKING STALLS SHALL BE SIGNED WITH CITY/ADA APPROVED SIGNAGE AND CONSTRUCTED IN STRICT ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF *THE APWA-KC*, CITY OF LEE'S SUMMIT ADA STANDARDS, AND SHALL NOT EXCEED 2.00 PERCENT IN ANY DIRECTION. ACCESSIBLE SIDEWALKS HAVE A MAXIMUM CROSS SLOPE OF 2 PERCENT AND A MAXIMUM LONGITUDINAL SLOPE OF 5 PERCENT.
33.

ALL WATER LINES SHALL BE INSTALLED PER THE LATEST STANDARDS AND SPECIFICATIONS OF *THE APWA-KC* AND THE CITY OF LEE'S SUMMIT, MO. ALL WATER LINES SHALL BE A MINIMUM OF 48 INCHES BELOW THE FINISHED GRADE ELEVATIONS SHOWN HEREIN.
34.

ALL WATER LINES SHALL BE INSTALLED PER CITY STANDARDS. ALL WATER LINES SHALL BE A MINIMUM OF 48 INCHES BELOW THE FINISHED GRADE ELEVATIONS SHOWN HEREIN.
35.

ALL EXTERIOR CONCRETE SHALL BE KCMMB-4K AND HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 4000 PSI, SHALL MEET KCMMB STANDARDS AND SPECIFICATIONS, AND SHALL BE AIR ENTRAINED. FLYASH IS NOT A SUITABLE REPLACEMENT FOR PORTLAND CEMENT.
36.

ALL ON-SITE WIRING AND CABLES SHALL BE PLACED UNDERGROUND.
37.

CONCRETE PAVEMENT JOINTS SHALL BE CONSTRUCTED AS FOLLOWS (REFER TO HARDSCAPE PLANS FOR SPECIFIC TREATMENT OF THESE AREAS):

A.

CONTROL JOINTS SPACED AT INTERVALS NOT GREATER THAN 12 FEET AND TOOLED TO 1/3 THE SLAB THICKNESS.

B.

CONSTRUCTION JOINTS AT THE END OF EACH POUR AND WHEN PAVING OPERATIONS ARE SUSPENDED FOR 30 MINUTES OR MORE.

C.

ISOLATION JOINTS PLACED WHERE THE PAVEMENT ABUTS THE BUILDING, DRAINAGE STRUCTURES AND OTHER FIXED STRUCTURES, CONSTRUCTED WITH A 1/2" NONEXTRUDING FILLER, CLOSED-CELL FOLSSONM RUBBER OR A BITUMEN-TREATED FIBER-BOLSSONRD, AND WITH A THICKENED EDGE, INCREASED BY 20 PERCENT, TAPERED TO THE REGULAR THICKNESS IN 5 FEET.

D.

ALL EXPANSION JOINTS SHALL BE FILLED AND SEALED WITH A PLASTIC JOINT SEALANT MATERIAL.
35.

TELEPHONE AND COMMUNICATION SERVICE ROUTING AND CONDUITS NOT SHOWN ON PLANS. CONTRACTOR SHALL INSTALL NECESSARY CONDUIT PRIOR TO PAVEMENT INSTALLATION. CONTRACTOR SHALL COORDINATE ROUTING AND INSTALLATION SCOPE WITH SERVICE PROVIDER.
36.

ANY CONTRACTOR BIDDING ANY PORTION OF THIS WORK SHALL HAVE IN HIS OR HER POSSESSION A COMPLETE SET OF CONSTRUCTION DOCUMENTS AND BE FAMILIAR WITH ALL SCOPES OF WORK AND TRADES TO UNDERSTAND THEIR INTERACTIONS.
37.

EXISTING TOPSOIL SHALL BE STRIPPED TO A POINT WHERE ALL VEGETATION IS REMOVED. REFER TO THE GEOTECHNICAL REPORT PROVIDED BY OLSSON DATED 01/09/2019 AND ALL ADDENDUMS.
38.

SITE PREPARATION, GRADING AND EXCAVATION PROCEDURES SHALL CONFORM TO THE RECOMMENDATIONS AS OUTLINED IN THE GEOTECHNICAL REPORT PREPARED BY OLSSON DATED 01/09/2019 AND ALL ADDENDUMS.

GENERAL UTILITY NOTES

39.

THE SIZE AND LOCATION OF SERVICES SHALL BE VERIFIED WITH THE ARCHITECTURAL AND MEP PLANS PRIOR TO CONSTRUCTION. IF DISCREPANCIES EXIST, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY.
40.

IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING SLEEVING UNDER PAVING AREAS WHERE NECESSARY.
41.

INSTALL ALL PIPE LENGTHS, BENDS AND FITTINGS NECESSARY FOR UTILITY CONNECTIONS.
42.

CONTRACTOR SHALL VERIFY ALL CROSSING ELEVATIONS AND LOCATIONS, SIZES, AND ELEVATIONS OF EXISTING UTILITIES PRIOR TO CONSTRUCTION OF STORM LINES AND ALL UTILITY SERVICE CONNECTIONS. ANY CONFLICTS SHALL BE MADE KNOWN TO THE ENGINEER AND RESOLVED PRIOR TO CONSTRUCTION.
43.

CONTRACTOR TO VERIFY FIRE SERVICE SIZE WITH SPRINKLER DESIGNER/CONTRACTOR PRIOR TO CONSTRUCTION AND INSTALLATION OF METER/BACKFLOW PREVENTER AND SERVICES. NOTIFY ENGINEER OF ALTERATIONS.
44.

CONTRACTOR RESPONSIBLE FOR PAYING ALL TAP AND CONNECTION FEES AND SHALL CONTRACT AND PAY FOR ANY REQUIRED SUB CONTRACTORS BY UTILITY COMPANIES.
45.

REFERENCE MEP PLANS FOR BUILDING CONNECTIONS.
46.

CONTRACTOR TO REPAIR ALL AREA DAMAGED BY CONSTRUCTION TO EXISTING CONDITIONS OR BETTER.
47.

BACK FLOW PREVENTION TO BE PROVIDED INSIDE BUILDING. SEE MEP AND ARCHITECTURAL PLANS FOR DETAILS.
48.

LOCATION FOR POWER SHOWN IS APPROXIMATE AND SUBJECT TO CHANGE. CONTRACTOR TO VERIFY FINAL LOCATION AND DESIGN WITH UTILITY COMPANY PRIOR TO CONSTRUCTION.
49.

CONTRACTOR TO COORDINATE LIGHT POLE LOCATIONS WITH OWNER, STORM SEWER INSTALLATION AND UTILITY COMPANIES PRIOR TO INSTALLATION TO AVOID CONFLICTS. NOTIFY ENGINEER AND ARCHITECT OF ANY CONFLICTS PRIOR TO INSTALLATION.
50.

WATER METER CANNOT BE INSTALLED IN THE BUILDING.
51.

CONTRACTOR SHALL COORDINATE CABLE/FIBER OPTIC CONDUIT AND SERVICE INSTALLATION WITH UTILITY COMPANY.
52.

ALL TAPS AND CONNECTIONS FOR FIRE AND DOMESTIC WATER SERVICES ARE TO BE IN ACCORDANCE WITH THE CITY OF LEE' SUMMIT, MO, STANDARDS AND SPECIFICATIONS.
53.

CONTRACTOR TO COORDINATE POWER ROUTING TO MONUMENT SIGNS NOT SHOWN ON PLANS.
54.

ALL ROOF DRAIN AND DOWNSPOUT HEADER PIPES SHALL BE 12" HDPE PIPE AND INSTALLED AT 1.00% MINIMUM SLOPE UNLESS OTHERWISE NOTED WITHIN THIS PLAN. ALL BENDS AND FITTINGS NEEDED TO BUILD ROUTING AS SHOWN SHALL BE INCLUDED IN BID.
55.

CONTRACTOR SHALL PROVIDE AND INSTALL ALL NECESSARY FITTINGS TO COMPLETE ROOF DRAIN AND DOWNSPOUT CONNECTIONS TO BUILDINGS. ALL ROOF DRAIN AND DOWNSPOUT CONNECTIONS / FITTINGS, INCLUDING BUT NOT LIMITED TO BENDS AND TEES, SHALL BE MADE OF HDPE PIPE UNLESS OTHERWISE NOTED WITHIN THIS PLAN.

PAVEMENT MARKING NOTES:

1.

PAVEMENT MARKING PAINT: LATEX, WATER-BASE EMULSION, READY-MIXED, COMPLYING WITH FS TT-P-1952 WITH DRYING TIME OF LESS THAN 45 MINUTES.
2.

DO NOT APPLY PAVEMENT MARKING PAINT UNTIL LAYOUT, COLORS AND PLACEMENT HAVE BEEN VERIFIED WITH THE ARCHITECT.
3.

ALLOW PAVING TO AGE FOR 24 HOURS BEFORE MARKING.
4.

SWEEP AND CLEAN SURFACE PRIOR TO INSTALLING PAVEMENT MARKINGS.
5.

APPLY PAINT WITH MECHANICAL EQUIPMENT TO PRODUCE MARKINGS WITH UNIFORM STRAIGHT EDGES. PROVIDE A MINIMUM WET FILM THICKNESS OF 15 MILS.
6.

THIS WORK SHALL CONSIST OF FURNISHING AND APPLYING PAINT ON PAVEMENT SURFACES, IN TRAFFIC LANES, PARKING BAYS, AREAS RESTRICTED TO HANDICAPPED PERSONS, CROSSWALKS, AND OTHER DETAIL PAVEMENT MARKINGS, IN ACCORDANCE WITH THE DETAILS SHOWN ON THE DRAWINGS.
7.

DETAILS NOT SHOWN SHALL BE IN CONFORMITY WITH THE STATE STANDARDS FOR TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS, AND SIMILAR REQUIREMENTS ESTABLISHED BY THE U.S. DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION.
8.

ALL PARKING LOT STRIPING SHALL BE SINGLE LINE 4" WIDE AS PER THE SITE PLANS.
9.

PAINT FOR MARKING PAVEMENT SHALL CONFORM TO FEDERAL HIGHWAY MARKING STANDARDS. USE SHERWIN WILLIAMS PROMAR TRAFFIC MARKING PAINT, COLORS TO MATCH THE EXISTING ADJACENT INSTALLATIONS. USE FLAT BLACK, WHITE OR YELLOW, WHERE APPROPRIATE. UNLESS OTHERWISE DIRECTED, USE THE FOLLOWING:

A.

BLACKTOP OR BITUMINOUS ASPHALT PAVING: USE WHITE COLOR.

B.

PORTLAND CEMENT CONCRETE PAVING: USE YELLOW COLOR.

C.

HANDICAPPED ACCESSIBLE PARKING AND ENTRYWAYS: USE WHITE COLOR WITH WHITE STRIPES.

D.

PROVIDE PAINTED CURBS AT FIRE LANE DESIGNATIONS PER FIRE MARSHAL REQUIREMENTS.
10.

APPLY ALL MARKINGS USING APPROVED MECHANICAL EQUIPMENT (WITH PROVISIONS FOR CONSTANT AGITATION OF PAINT), CAPABLE OF APPLYING THE MARKING WIDTHS AS SHOWN. USE PNEUMATIC SPRAY GUNS FOR HAND APPLICATION OF PAINT. ALL PAINTING EQUIPMENT AND OPERATIONS SHALL BE UNDER THE CONTROL OF EXPERIENCED TECHNICIANS THOROUGHLY FAMILIAR WITH EQUIPMENT AND MATERIALS AND MARKING LAYOUTS.
11.

DETAIL PAVEMENT MARKINGS SHALL BE THAT MARKING, EXCLUSIVE OF ACTUAL TRAFFIC LANE MARKING, AT EXIT AND ENTRANCE ISLANDS AND TURNOUTS, ON CURBS, AT CROSSWALKS, AT PARKING BAYS AND AT SUCH OTHER LOCATIONS AS SHOWN. HANDICAPPED PARKING SPACES SHALL BE MARKED BY THE INTERNATIONAL HANDICAPPED SYMBOL AT INDICATED PARKING SPACES. USE A SUITABLE TEMPLATE THAT WILL PROVIDE A PAVEMENT MARKING WITH TRUE, SHARP EDGES AND ENDS.

NOTE:
ACCORDING TO MDNR STATE OIL & GAS COUNSEL THERE ARE NO OIL AND GAS WELLS LOCATED WITHIN OR ADJACENT TO THE PROPERTY.

THE ENTIRE PROPERTY IS DESIGNATED "ZONE X – AREA OF MINIMAL FLOOD HAZARD" AS DEFINED BY FEMA PANEL 29095C0438G – EFFECTIVE DATE JANUARY 20, 2017



THE CONTRACTOR SHALL ADHERE TO THE PROVISIONS OF THE SENATE BILL NUMBER 583, 78TH GENERAL ASSEMBLY OF THE STATE OF MISSOURI. THE BILL REQUIRES THAT ANY PERSON OR FIRM DOING EXCAVATION ON PUBLIC RIGHT- OF-WAY DO SO ONLY AFTER GIVING NOTICE TO, & OBTAINING INFORMATION FROM, UTILITY COMPANIES. STATE LAW REQUIRES 48 HOURS ADVANCE NOTICE. CALL 1-800-DIG-RITE.

SAPP
DESIGN
ARCHITECTS

3750 S. Fremont Ave.
Springfield, MO 65804 417.877.9600

Sapp Design Associates Architects, P.C.
Missouri State Certificate of Authority #0030607

helix

1629 Walnut
Kansas City, MO 64108 816.300.0300

Helix Architecture + Design
Missouri State Certificate of Authority #000720

SPECIAL NOTICES

In the event the client consents to, allows, authorizes or approves of changes to any plans, specifications or other construction documents, and these changes are not approved in writing by the design professional, the client recognizes that such changes and the results thereof are not the responsibility of the design professional. Therefore, the client agrees to release the design professional from any liability arising from the construction, use or result of such changes. In addition, the client agrees to the fullest extent permitted by law, to indemnify and hold the design professional harmless from any damage, liability or cost (including reasonable attorney's fees and costs of defense) arising from such changes.

The personal seal of the registered Architect or Engineer shall be the legal equivalent of his signature whenever & wherever used, and the owner of the seal shall authenticate this seal and the specification sections pertaining to this sheet. Responsibility shall be disclaimed for all other plans, specifications, estimates, reports or other documents or instruments relating to or intended to be used for any part or parts of the architectural project.

Mid-Continent Public Library
PRELIMINARY DEVELOPMENT PLAN
LEE'S SUMMIT LIBRARY
150 NW Oldham Parkway
LEE'S SUMMIT, MO 64081
JACKSON COUNTY

PACKAGE
15

Engineer of Record

Terry M Parsons, Engineer MO PE-2018010505

olsson

7301 West 133rd Street, Suite 200
Overland Park, KS 66213
TEL 913.381.1170
FAX 913.381.1174
www.olsson.com

Olsson
Missouri State Certificate of Authority #001592

Revision No. Description Date

Project No. B18-0330 Date 10.12.2020 Drawn HMO

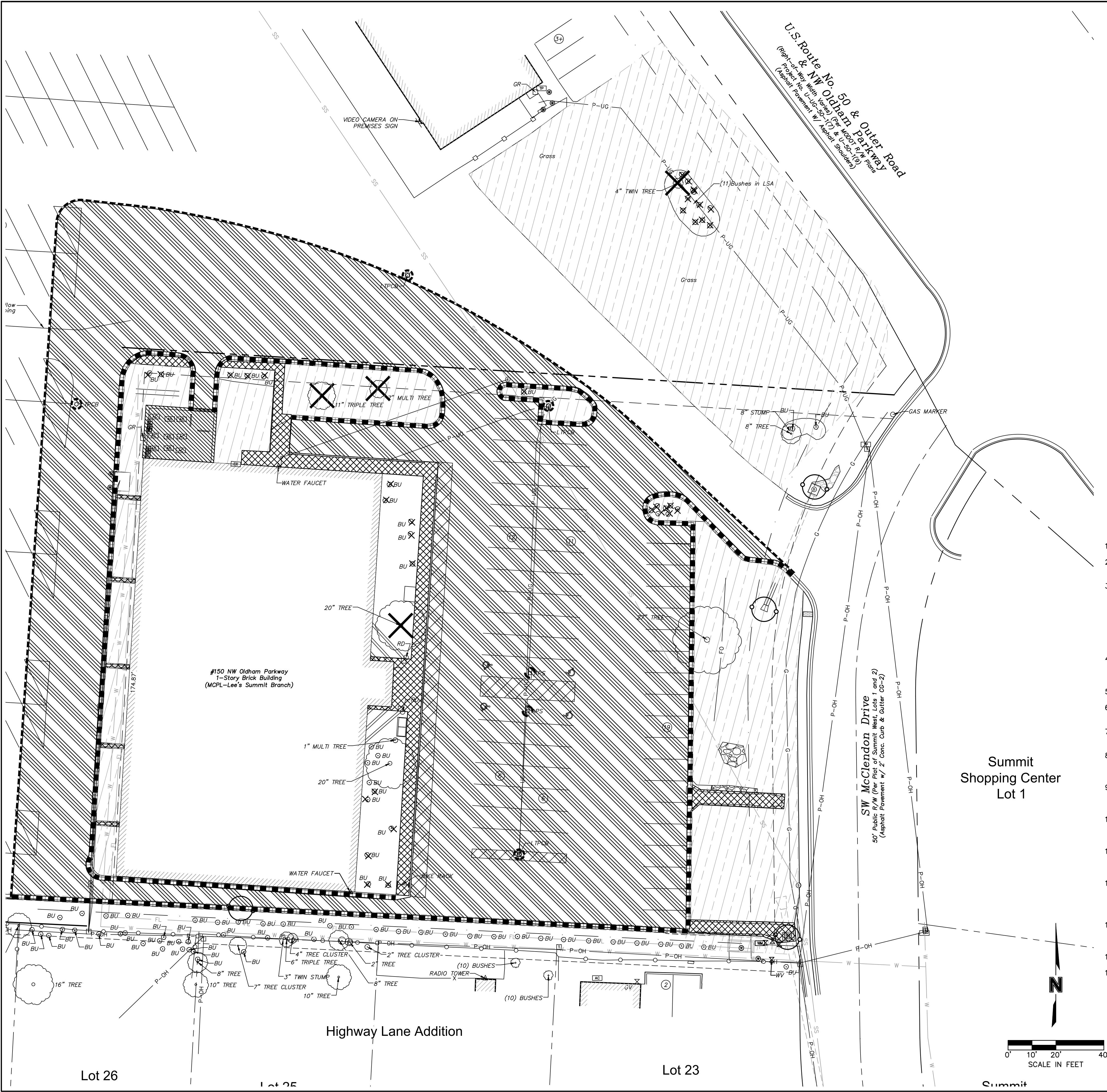
Drawing No.

C1.1

GENERAL NOTES

© Copyright 2019 - Sapp Design Associates, Architects, P.C.

DWG: F:\2018\0001-0500\018-0330-B\40-Design\AutoCAD\Final Plans\Sheets\GNCV\WORK PACKAGE 15\PDF Plans\VC-DEMO_PDP_80330.dwg USER: tparsons
DATE: Feb 23, 2021 1:20pm XREFS: C:\PBASE_80330 C:\BASE_80330 C:\BLK_80330



EXISTING CONDITIONS LEGEND

---	PROPERTY LINES
---	RIGHT-OF-WAY LINES
---	EASEMENT LINES
---	OVERHEAD ELECTRIC
---	UNDERGROUND ELECTRIC
---	UNDERGROUND TELEPHONE
---	UNDERGROUND FIBER OPTIC
---	GAS LINE
---	WATER LINE
---	STORM SEWER LINE

KEY NOTE LEGEND

1	REMOVE EXISTING CURB AND GUTTER
2	REMOVE EXISTING CONCRETE
3	REMOVE EXISTING ASPHALT
4	REMOVE EXISTING LANDSCAPING
5	REMOVE EXISTING SIDEWALK
6	SAWCUT EXISTING PAVEMENT
7	REMOVE EXISTING TREES
8	REMOVE EXISTING SHRUBS
9	PROTECT EXISTING STORM SEWER BOX
10	PROTECT EXISTING STORM SEWER PIPE & STRUCTURES
11	REMOVE EXIST. LIGHT POLES
12	REMOVE EXIST. SIGNS
13	REMOVAL AND RELOCATE EQUIPMENT PAD AND EQUIPMENT.
14	REMOVAL OF EXIST. OVERHEAD POWER LINES BY OTHERS
15	RELOCATE EXISTING TREES (18 TOTAL). SEE LANDSCAPE PLANS. VERIFY FINAL LOCATIONS WITH LANDSCAPE ARCHITECT.

DEMOLITION NOTES

- CONTRACTOR TO PRESERVE ALL SURVEY CONTROL.
- CONTRACTOR TO COMPLETE DEMOLITION PER THE INTENT OF THESE PLANS AND THAT NECESSARY FOR NEW GRADING PER THESE PLANS.
- THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE ENGINEER MAKES NO GUARANTEES THAT THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE ENGINEER HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. THIS INCLUDES PRIVATE AND PUBLIC UTILITIES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL PUBLIC AND PRIVATE UTILITIES AND RELOCATE AS NECESSARY. CONTRACTOR SHALL CONTACT MISSOURI ONE CALL IN ADVANCE OF ANY EXCAVATION TO COORDINATE UTILITY LOCATIONS.
- CONTRACTOR IS REQUIRED TO TAKE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN AND ANY OTHER EXISTING LINES NOT OF RECORD OR SHOWN ON THESE PLANS. CONTRACTOR SHALL REPAIR ALL UTILITIES DAMAGED AT CONTRACTOR'S EXPENSE.
- ALL ITEMS REMOVED SHALL BE LEGALLY DISPOSED OFF SITE BY THE CONTRACTOR.
- DO NOT DISRUPT UTILITY SERVICE TO ADJACENT BUSINESSES OR RESIDENCES WITHOUT PRIOR WRITTEN APPROVAL BY THE ENGINEER OR OWNER.
- DO NOT DISRUPT TRAFFIC ON ADJACENT PUBLIC STREETS WITHOUT PRIOR WRITTEN APPROVAL BY THE CITY.
- ALL SIDEWALK AND PAVEMENT TO REMAIN SHALL BE PROTECTED IN PLACE INCLUDING PROTECTION FROM DAMAGE CAUSED BY REMOVAL OF ABUTTING PAVEMENT. CONTRACTOR SHALL SAW CUT WHERE NECESSARY.
- CONTRACTOR SHALL GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DISCONNECTION, DEMOLITION, AND REMOVAL OF SERVICE LINES. CAP ALL LINES BEFORE PROCEEDING WITH WORK ON THIS CONTRACT.
- CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANIES WORK FORCE AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES.
- CONTRACTOR SHALL PROTECT THE PUBLIC AT ALL TIME WITH FENCING, BARRICADES, ENCLOSURES, ETC. TO THE BEST PRACTICES AND AS APPROVED BY THE ENGINEER AND THE OWNER.
- DAMAGE TO EXISTING CURB, ASPHALT, CONCRETE PAVING OR STORM STRUCTURES AS A RESULT OF CONSTRUCTION ACTIVITIES SHALL BE REPLACED AND/OR REPAIRED AT CONTRACTOR'S EXPENSE. ALL REPLACEMENT SHALL BE JOINT. NO PARTIAL REPLACEMENT WILL BE ALLOWED.
- CONTRACTOR TO FIELD VERIFY LOCATION, SIZE AND DEPTH OF EXISTING UTILITIES. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES BETWEEN FIELD CONDITIONS AND THESE PLANS.
- SEE UTILITY PLANS FOR ADDITIONAL INFORMATION.
- CONTRACTOR TO SALVAGE SITE MISCELLANEOUS SITE ITEMS SUCH AS BENCHES AND TRASH RECEPTACLES FOR USE BY MCPL IN FUTURE CONDITIONS.

SAPP DESIGN ARCHITECTS

3750 S. Fremont Ave.
Springfield, MO 65804 417.877.9600

Sapp Design Associates Architects, P.C.
Missouri State Certificate of Authority #000607

helix.

1629 Walnut
Kansas City, MO 64108 816.300.0300

Helix Architecture + Design
Missouri State Certificate of Authority #000720

SPECIAL NOTICES

In the event the client consents to, allows, authorizes or approves of changes to any plans, specifications or other construction documents, and these changes are not approved in writing by the design professional, the client recognizes that such changes and the results thereof are not the responsibility of the design professional. Therefore, the client agrees to release the design professional from any liability arising from the construction, use or result of such changes. In addition, the client agrees to the fullest extent permitted by law, to indemnify and hold the design professional harmless from any damage, liability or cost (including reasonable attorney's fees and costs of defense) arising from such changes.

The personal seal of the registered Architect or Engineer shall be the legal equivalent of his signature wherever & whenever used, and the owner of the seal shall authenticate this sheet and the specification sections pertaining to this sheet. Responsibility shall be disclaimed for all other plans, specifications, estimates, reports or other documents or instruments relating to or intended to be used for any part or parts of the architectural project.

Mid-Continent Public Library
PRELIMINARY DEVELOPMENT PLAN

LEE'S SUMMIT LIBRARY

150 NW Oldham Parkway
LEE'S SUMMIT, MO 64081
JACKSON COUNTY

PACKAGE
15

Engineer of Record

Terry M Parsons, Engineer MO PE-2018010505

olsson

7301 West 133rd Street, Suite 200
Overland Park, KS 66213
TEL 913.381.1170
FAX 913.381.1174
www.olson.com

Olsson
Missouri State Certificate of Authority #001592

Revision No.	Description	Date
--------------	-------------	------

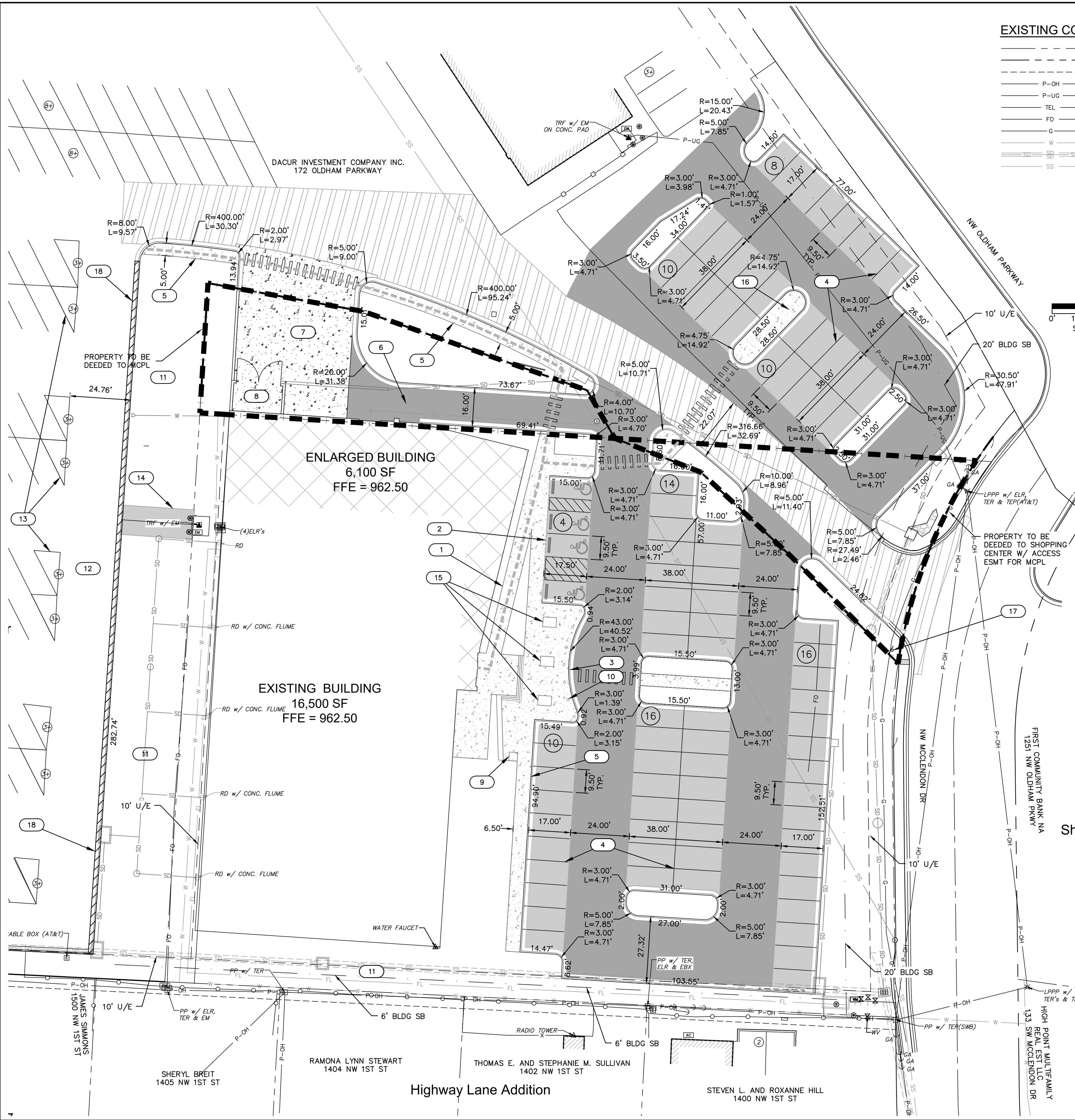
Project No. B18-0330	Date 10.12.2020	Drawn HMO
-------------------------	--------------------	--------------

Drawing No.
C1.3

DEMOLITION PLAN

© Copyright 2019 - Sapp Design Associates, Architects, P.C.

DWG: F:\2018\0001-0500\018-0330-B\40-Design\AutoCAD\Final Plans\Sheets\GNC\WORK PACKAGE 15\PDp Plans\VC_SIT_PDP_80330.dwg
DATE: Feb 23, 2021 1:21pm
XREFS: C:\BASE_80330 C:\BLK_80330
USER: tparsons



EXISTING CONDITIONS LEGEND

---	PROPERTY LINES
---	RIGHT-OF-WAY LINES
---	EASEMENT LINES
P-OH	OVERHEAD ELECTRIC
P-UG	UNDERGROUND ELECTRIC
TEL	UNDERGROUND TELEPHONE
FO	UNDERGROUND FIBER OPTIC
G	GAS LINE
W	WATER LINE
SD	STORM SEWER LINE
SS	SANITARY SEWER LINE

PROPOSED CONDITIONS LEGEND

E	PROPOSED UNDERGROUND ELECTRIC
FO	PROPOSED FIBER OPTIC
W	PROPOSED WATER LINE
FP	PROPOSED FIRE PROTECTION LINE
SD	PROPOSED STORM SEWER LINE
T	PROPOSED TURF DRAIN LINE
SS	PROPOSED SANITARY SEWER SERVICE
---	PROPOSED AGGREGATE PATH
---	TYPE CG-1 CONCRETE CURB & GUTTER
---	PROPOSED CONCRETE PAVEMENT
---	PROPOSED HEAVY DUTY ASPHALT PAVEMENT
---	PROPOSED LIGHT DUTY ASPHALT PAVEMENT
---	PROPOSED MILL & OVERLAY ASPHALT PAVEMENT
---	ADA PATH - SIDEWALKS NOT DELINEATED AS ADA PATHS MAY NOT BE ADA COMPLIANT.
---	ACCESSIBLE RAMP
X	PARKING COUNT

KEYNOTES:

- 1 CONSTRUCT ADA ACCESSIBLE RAMP
- 2 ADA PARKING STALL LAYOUT
- 3 PROPOSED DROP OFF ZONE
- 4 INSTALL PAVEMENT STRIPING - TYPICAL.
- 5 INSTALL CONCRETE SIDEWALK
- 6 PROPOSED DRIVE THRU WINDOW AND LANE
- 7 SERVICE AREA
- 8 TRASH ENCLOSURE
- 9 PROPOSED BOOK DROP-OFF
- 10 PROPOSED BOLLARD (TYPICAL)
- 11 ADDITIONAL GREEN SPACE
- 12 RELOCATED DRIVE LANE
- 13 REVISED STRIPING IN EXISTING LOT
- 14 10' ACCESS ASPHALT LANE FOR TRANSFORMER
- 15 PROPOSED PLANTERS
- 16 PROPOSED CONCRETE ISLAND
- 17 PROPOSED STOP SIGN
- 18 FIRE LANE (RED CURB)

NOTE

- DIMENSIONS ARE TO BACK OF CURB
- EDGE PARKING STALLS ARE 9.5'X17'
- CENTRAL PARKING STALLS ARE 9.5'X19'

SITE DATA						
	PRE CONSTRUCTION			POST CONSTRUCTION		
	TOTAL	LIB	SC	TOTAL	LIB	SC
SITE AREA (AC) - ZONING CP-2						
SITE AREA :	18.2	1.6	16.6	18.2	1.7	16.5
DISTURBED AREA:	2.6	1.6	0.9	2.6	1.7	0.9
IMPERVIOUS:	1.8	1.2	0.5	1.7	1.2	0.5
PERVIOUS:	0.8	0.4	0.4	0.9	0.5	0.4
% IMPERVIOUS:	69%	76%	58%	66%	72%	56%
% PERVIOUS	31%	24%	42%	34%	28%	44%
BUILDING AREA (SF)						
BUILDING AREA	16500	16500	0	22600	22600	0
FAR (0.55 MAX):	23%			31%		
PARKING						
PARKING SPACES	83	53	30*	96	68**	28
ADA	3	3	0	4	4***	0
NOTES: (LIB - LIBRARY PROPERTY, SC - SHOPPING CENTER PROPERTY)						
* 30 SPACES REMOVED WEST OF EXISTING LIBRARY, 28 SPACES WILL BE						
** 3 PER 1000 SF = 66						
*** 3 ADA SPACES ARE REQUIRED PER CITY TABLE						

SAPP DESIGN ARCHITECTS

3750 S. Fremont Ave.
Springfield, MO 65804 417.877.9600

Sapp Design Associates Architects, P.C.
Missouri State Certificate of Authority #000607

helix.

1629 Walnut
Kansas City, MO 64108 816.300.0300

Helix Architecture + Design
Missouri State Certificate of Authority #000720

SPECIAL NOTICES

In the event the client consents to, allows, authorizes or approves of changes to any plans, specifications or other construction documents, and these changes are not approved in writing by the design professional, the client recognizes that such changes and the results thereof are not the responsibility of the design professional. Therefore, the client agrees to release the design professional from any liability arising from the construction, use or result of such changes. In addition, the client agrees to the fullest extent permitted by law, to indemnify and hold the design professional harmless from any damage, liability or cost (including reasonable attorney's fees and costs of defense) arising from such changes.

The personal seal of the registered Architect or Engineer shall be the legal equivalent of his signature whenever & wherever used, and the owner of the seal shall authorize this seal and the specification sections pertaining to this sheet. Responsibility shall be disclaimed for all other plans, specifications, estimates, reports or other documents or instruments relating to or intended to be used for any part or parts of the architectural project.

Mid-Continent Public Library
PRELIMINARY DEVELOPMENT PLAN
LEE'S SUMMIT LIBRARY
150 NW Oldham Parkway
LEE'S SUMMIT, MO 64081
JACKSON COUNTY

PACKAGE
15

Engineer of Record

Terry M Parsons, Engineer MO PE-2018010505

olsson

7301 West 133rd Street, Suite 200
Overland Park, KS 66213
TEL 913.381.1170
FAX 913.381.1174
www.olsson.com

Olsson
Missouri State Certificate of Authority #001592

Revision No. Description Date

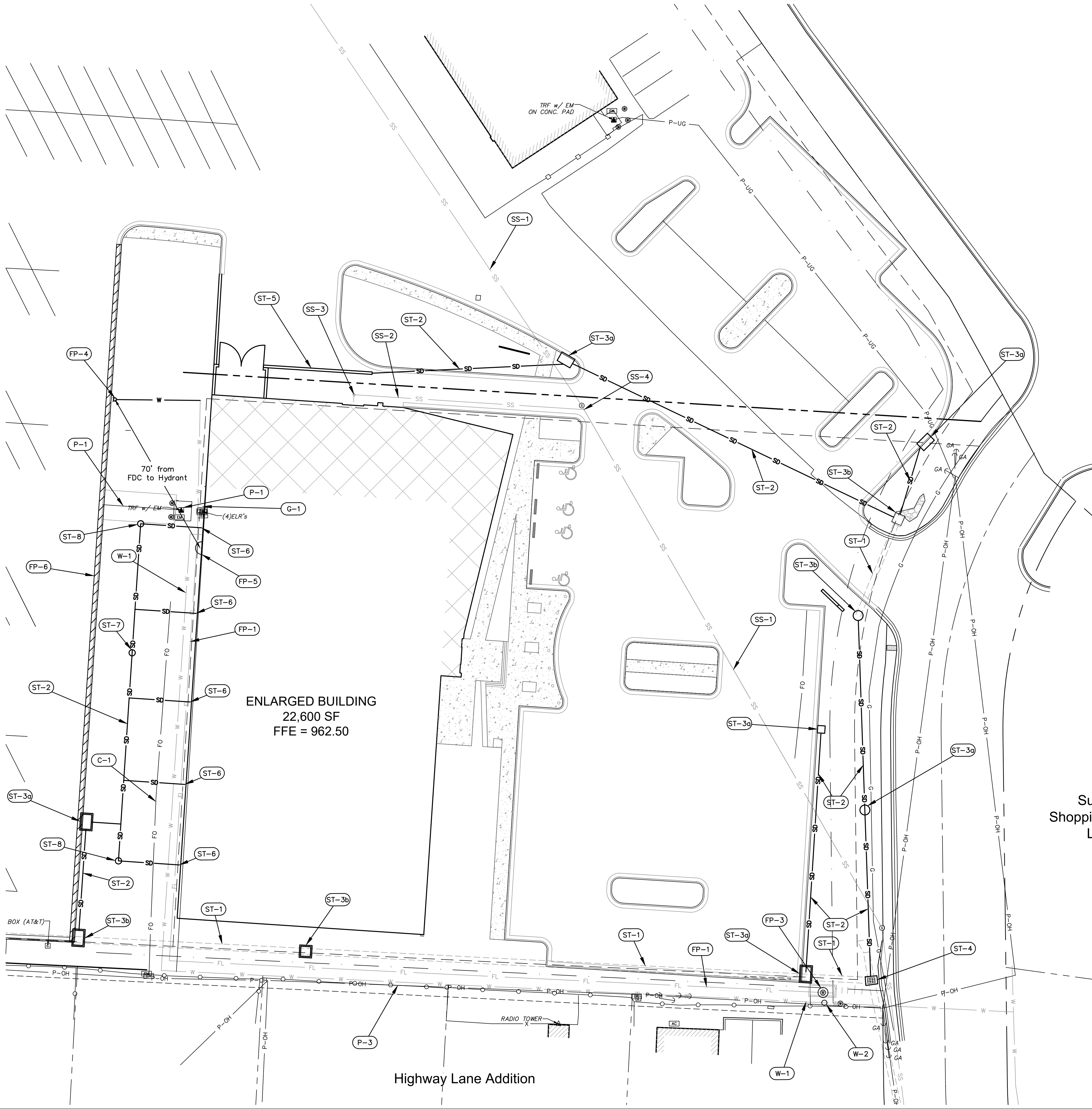
Project No. B18-0330 Date 10.12.2020 Drawn HMO

Drawing No.

C2.0

SITE & DIMENSION PLAN

© Copyright 2019 - Sapp Design Associates, Architects, P.C.



EXISTING CONDITIONS LEGEND

- PROPERTY LINES
- RIGHT-OF-WAY LINES
- EASEMENT LINES
- P-OH OVERHEAD ELECTRIC
- P-UG UNDERGROUND ELECTRIC
- TEL UNDERGROUND TELEPHONE
- FO UNDERGROUND FIBER OPTIC
- G GAS LINE
- W WATER LINE
- SD STORM SEWER LINE
- SS SANITARY SEWER LINE

PROPOSED CONDITIONS LEGEND

- E PROPOSED UNDERGROUND ELECTRIC
- FO PROPOSED FIBER OPTIC
- W PROPOSED WATER LINE
- FP PROPOSED FIRE PROTECTION LINE
- SD PROPOSED STORM SEWER LINE
- T PROPOSED TURF DRAIN LINE
- SS PROPOSED SANITARY SEWER SERVICE

UTILITY KEYNOTES: XX

WATER
W-1 EXISTING 2" SERVICE LINE TO REMAIN
W-2 EXISTING 2" WATER METER TO REMAIN.

FIRE PROTECTION
FP-1 EXISTING 6" FIRE SERVICE TO REMAIN
FP-2 EXISTING HYDRANT TO REMAIN
FP-3 RELOCATE BACKFLOW PREVENTOR AND VAULT TO REMAIN
FP-4 RELOCATE EXISTING HYDRANT
FP-5 EXISTING FDC TO REMAIN
FP-6 PAINT PROPOSED CURB RED AT BACK OF BUILDING FOR FIRE LANE PER CITY STANDARDS

SANITARY SEWER
SS-1 EXISTING 8" PUBLIC SANITARY MAIN
SS-2 INSTALL 4" PVC SERVICE LINE
SS-3 INSTALL STANDARD CLEANOUT
SS-4 CONNECT TO EXISTING WYE ON THE EXISTING 8" MAIN (APPROX. FL=962.68)

STORM SEWER
ST-1 EXISTING STORM TO REMAIN
ST-2 PROPOSED HDPE STORM PIPE
ST-3a PROPOSED STORM STRUCTURE
ST-3b PROPOSED STORM STRUCTURE OVER EXISTING STORM LINE
ST-4 CONNECT TO EXISTING STRUCTURE
ST-5 PROPOSED TRENCH DRAIN
ST-6 CONNECT ROOF DRAIN TO PROPOSED STORM LINE
ST-7 INSTALL INSERT-A-TEE WITH 6" LANDSCAPE DRAIN
ST-8 INSTALL STANDARD CLEANOUT

POWER
P-1 PRIMARY SERVICE
P-2 PROPOSED TRANSFORMER TO REMAIN
P-3 OVERHEAD POWER TO REMAIN

GAS
G-1 EXISTING GAS METER AND SERVICE TO REMAIN

COMMUNICATION
C-1 EXISTING FIBER LINE TO REMAIN

SAPP DESIGN ARCHITECTS

3750 S. Fremont Ave.
Springfield, MO 65804 417.877.9600

Sapp Design Associates Architects, P.C.
Missouri State Certificate of Authority #000607

helix.

1629 Walnut
Kansas City, MO 64108 816.300.0300

Helix Architecture + Design
Missouri State Certificate of Authority #000720

SPECIAL NOTICES

In the event the client consents to, allows, authorizes or approves of changes to any plans, specifications or other construction documents, and these changes are not approved in writing by the design professional, the client recognizes that such changes and the results thereof are not the responsibility of the design professional. Therefore, the client agrees to release the design professional from any liability arising from the construction, use or result of such changes. In addition, the client agrees to the fullest extent permitted by law, to indemnify and hold the design professional harmless from any damage, liability or cost (including reasonable attorney's fees and costs of defense) arising from such changes.

The personal seal of the registered Architect or Engineer shall be the legal equivalent of his signature whenever & wherever used, and the owner of the seal shall authorize this seal and the specification sections pertaining to this sheet. Responsibility shall be disclaimed for all other plans, specifications, estimates, reports or other documents or instruments relating to or intended to be used for any part or parts of the architectural project.

Mid-Continent Public Library PRELIMINARY DEVELOPMENT PLAN LEE'S SUMMIT LIBRARY 150 NW Oldham Parkway LEE'S SUMMIT, MO 64081 JACKSON COUNTY

PACKAGE
15

Engineer of Record

Terry M Parsons, Engineer MO PE-2018010505

olsson

7301 West 133rd Street, Suite 200
Overland Park, KS 66213
TEL 913.381.1170
FAX 913.381.1174
www.olsson.com

Olsson
Missouri State Certificate of Authority #001592

Revision No. Description Date

Project No. B18-0330 Date 10.12.2020 Drawn HMO

Drawing No.

C4.0

UTILITY PLAN

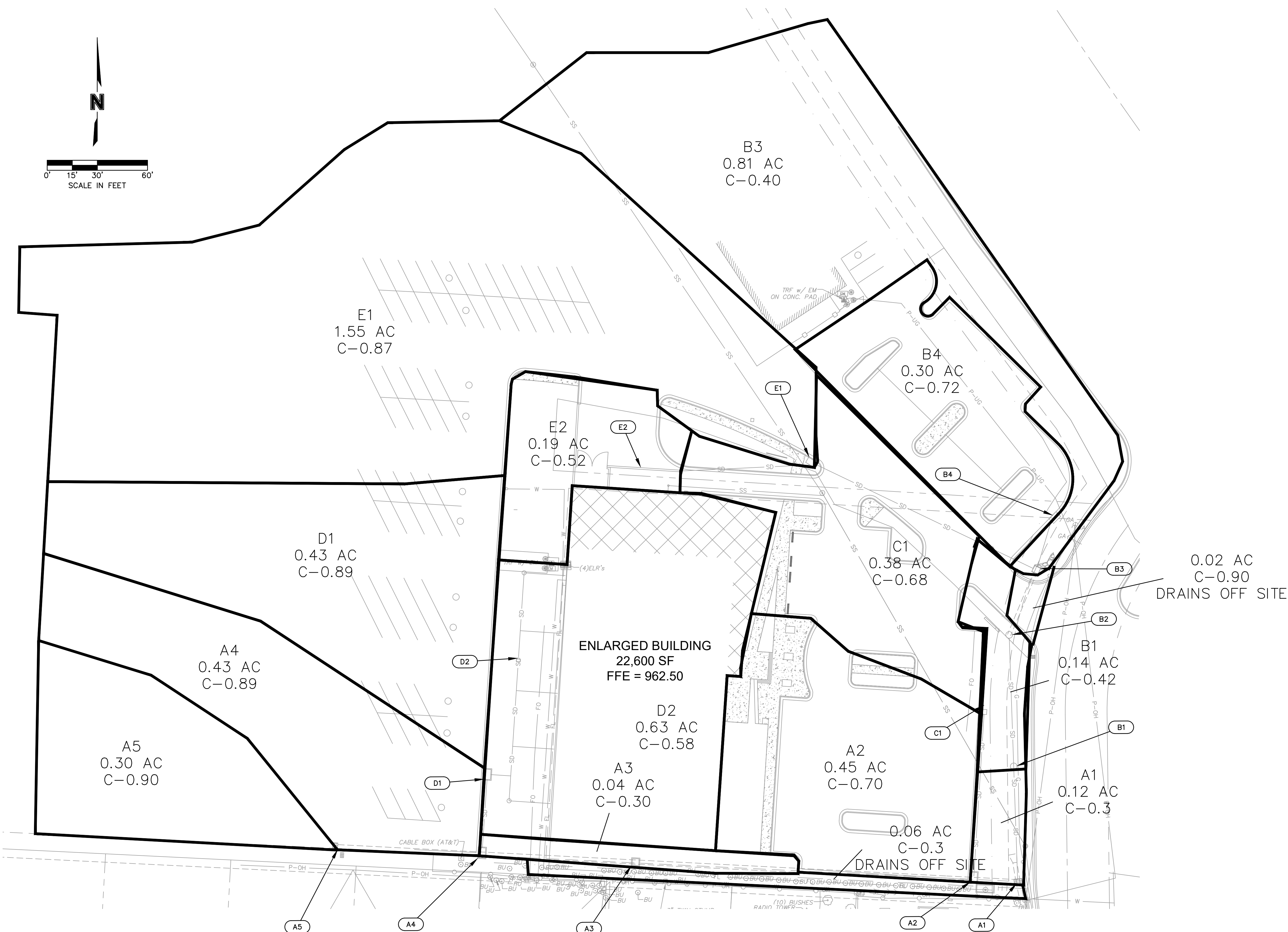
© Copyright 2019 - Sapp Design Associates, Architects, P.C.

— — — — —	PROPERTY LINES
— — — — —	RIGHT-OF-WAY LINES
- - - - -	EASEMENT LINES
— P — OH —	OVERHEAD ELECTRIC
— P — UG —	UNDERGROUND ELECTRIC
— TEL —	UNDERGROUND TELEPHONE
— FO —	UNDERGROUND FIBER OPTIC
— G —	GAS LINE
— W —	WATER LINE
==== SD — SD — SD —	STORM SEWER LINE
— SS —	SANITARY SEWER LINE

_____ E _____	PROPOSED UNDERGROUND ELECTRIC
_____ FO _____	PROPOSED FIBER OPTIC
_____ W _____ W _____	PROPOSED WATER LINE
_____ FP _____	PROPOSED FIRE PROTECTION LINE
_____ SD _____ SD _____	PROPOSED STORM SEWER LINE
_____ T _____	PROPOSED TURF DRAIN LINE
_____ SS _____	PROPOSED SANITARY SEWER SERVICE
_____ _____	PROPOSED AGGREGATE PATH

GENERAL STRUCTURE DESCRIPTIONS AND CALCULATIONS ARE PROVIDED ON SHEET C5.1

DRAINAGE AREAS OUTSIDE OF THE SURVEY AREA WERE DEFINED BY GOOGLE EARTH SURFACE



DWG: F:\2018\0001-0500\018-0330-B\40-Design\AutoCAD\Final Plans\Sheets\GNCV\WORK PACKAGE 15\PDF Plans\C_STM_PDP_80330.dwg
XREFS: C_XBASE_80330 C_PBASE_80330 C_TBLK_80330
DATE: Feb 23, 2021 1:22pm
USER: tpoursons

**SAPP
DESIGN
ARCHITECTS**

3750 S. Fremont Ave.
Springfield, MO 65804 417.877.9600

Sapp Design Associates Architects, P.C.
Missouri State Certificate of Authority #000607

helix.

1629 Walnut
Kansas City, MO 64108 816.300.03

Helix Architecture + Design

Missouri State Certificate of Authority #0007

SPECIAL NOTICES

In the event the client consents to, allows, authorizes or approves of changes to any plans, specifications or other construction documents, and these changes are not approved in writing by the design professional, the client recognizes that such changes and the results thereof are not the responsibility of the design professional. Therefore, the client agrees to release the design professional from any liability arising from the construction, use or result of such changes. In addition, the client agrees to the fullest extent permitted by law to indemnify and hold the design professional harmless from any damage, liability or cost (including reasonable attorney's fees and costs of defense) arising from such changes.

The personal seal of the registered Architect or Engineer shall be the legal equivalent of his signature whenever & wherever used, and the owner of the seal shall authenticate this sheet and the specification sections pertaining to this sheet. Responsibility shall be disclaimed for all other plans, specifications, estimates, reports or other documents or instruments relating to or intended to be used for any part or parts of the architectural project.

Mid-Continent Public Library
PRELIMINARY DEVELOPMENT PLAN
LEE'S SUMMIT LIBRARY
150 NW Oldham Parkway
LEE'S SUMMIT, MO 64081
JACKSON COUNTY

15
PACKAGE

Engineer of Record

Terry M Parsons, Engineer MO PE-201801050

olsson

7301 West 133rd Street, Suite 200
Overland Park, KS 66213
TEL 913.381.1170
FAX 913.381.1174
www.olsson.com

Olsson

Missouri State Certificate of Authority #0015		
Revision No.	Description	Date

Revision No.	Description	Date
--------------	-------------	------

Project No.	Date	Drawn
-------------	------	-------

B18-0330	10.12.2020	HMO
----------	------------	-----

Drawing No.	
-------------	--

C50

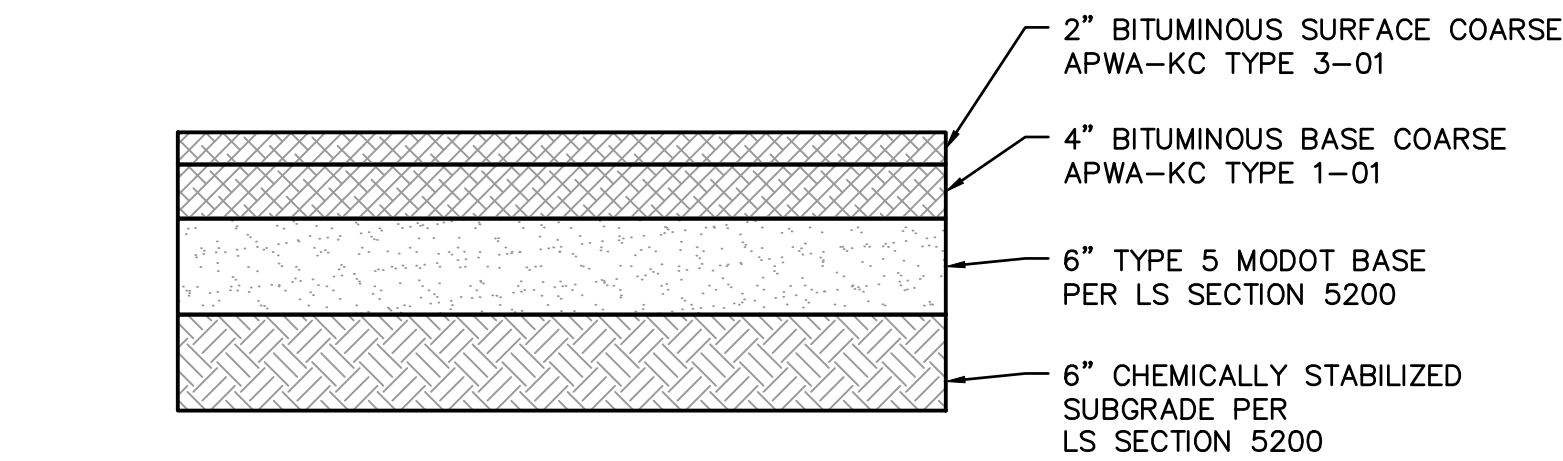
CS.0

STORM SEWER PLAN

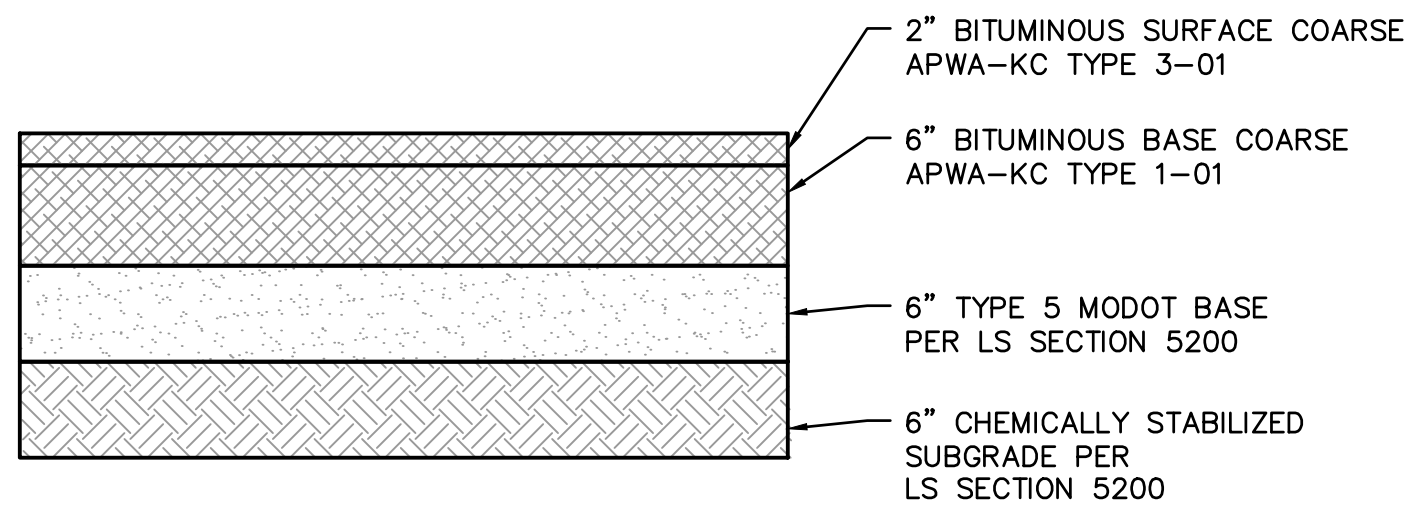
© Copyright 2010, Gann Design Associates, Architects, P.C.

FORM SEWER PIPE AND STRUCTURE TABLE																	
TITLE: LEES SUMMIT LIBRARY																	
JOB #: B18-0330																	
DESIGN CONDITIONS: 100 YEAR STORM EVENT																	
STRUCTURES		RUNOFF CALCULATIONS							PIPE DESIGN								
FROM	TO	DIRECT AREA (ACRES)	TOTAL AREA (ACRES)	C	KC (K=1.25)	Tc (MIN)	FLOW TIME (MIN)	INTENSITY (IN/HR)	DESIGN Q (CFS)	DESCRIPTION	PIPE LENGTH (L.F.)	PIPE SLOPE (%)	PIPE DIA (IN)	Q FULL (CFS)	PIPE AREA (SQ.FT.)	V FULL (F/S)	DESIGN V (F/S)
A5		0.30		0.90	1.00	5.0	-	10.32	3.10	EXISTING STRUCTURE							
	A4		1.36	0.75	0.94	5.0	-	10.32	13.16	30 in. HDPE	81.00	4.00	30	82.26	4.91	16.76	12.26
A4		0.43		0.89	1.11	5.0	-	10.32	4.94	6X4 CURB INLET OF EX. PIPE							
	A3		1.79	0.78	0.98	5.0	-	10.32	18.01	30 in. HDPE	92.00	4.00	30	82.26	4.91	16.76	13.40
A3		0.04		0.30	0.38	5.0	-	10.32	0.15	4X4 AREA INLET OF EX. PIPE							
	A2		2.21	0.75	0.94	5.0	-	10.32	21.38	30 in. HDPE	202.00	4.00	30	82.26	4.91	16.76	14.06
A2		0.45		0.70	0.88	5.0	-	10.32	4.06	6X4 CURB INLET OF EX. PIPE							
	A1		5.65	0.70	0.88	5.0	-	10.32	51.02	30 in. HDPE	27.00	4.00	30	82.26	4.91	16.76	17.62
A1		0.12		0.30	0.38	5.0	-	10.32	0.46	RECONS EX. AREA INLET							
	A0		5.77	0.67	0.84	5.0	-	10.32	49.87	36 in. HDPE	118.00	1.60	36	84.59	7.07	11.97	12.43
B4		0.30		0.72	0.90	5.0	-	10.32	2.79	6x4 CURB INLET							
	B3		0.30	0.72	0.90	5.0	-	10.32	2.79	15 in. HDPE	110.00	1.00	15	6.48	1.23	5.28	5.07
B3		0.81		0.40	0.50	5.0	-	10.32	4.18	RECONS EX. AREA INLET							
	B3		1.11	0.42	0.53	5.0	-	10.32	6.01	24 in. HDPE	55.00	1.50	24	27.78	3.14	8.84	7.05
B2		0.00		0.30	0.38	5.0	-	10.32	0.00	JUNCTION BOX							
	B1		2.85	0.67	0.84	5.0	-	10.32	24.63	30 in. HDPE	67.00	2.40	30	63.71	4.91	12.98	12.13
B1		0.14		0.42	0.53	5.0	-	10.32	0.76	CURB INLET							
	A1		2.99	0.67	0.84	5.0	-	10.32	25.84	36 in. HDPE	69.00	2.40	36	103.61	7.07	14.66	12.16
C1		0.38		0.68	0.85	5.0	-	10.32	3.33	6x4 CURB INLET							
	A2		0.38	0.68	0.85	5.0	-	10.32	3.33	15 in. HDPE	98.00	1.00	15	6.48	1.23	5.28	5.31
D2		0.63		0.58	0.73	5.0	-	10.32	4.71	4x4 AREA INLET							
	D2		0.63	0.58	0.73	5.0	-	10.32	4.71	15 in. HDPE	71.00	1.00	15	6.48	1.23	5.28	5.75
D1		0.43		0.89	1.00	5.0	-	10.32	4.44	6x4 CURB INLET							
	A4		1.06	0.71	0.89	5.0	-	10.32	9.71	18 in. HDPE	47.00	1.00	18	10.53	1.77	5.96	6.75
E2		0.19		0.52	0.65	5.0	-	10.32	1.27	TRENCH DRAIN							
	E1		0.19	0.33	0.41	5.0	-	10.32	0.81	15 in. HDPE	79.00	1.50	15	7.93	1.23	6.46	4.16
E1		1.55		0.87	1.00	5.0	-	10.32	16.00	6x4 CURB INLET							
	B2		1.74	0.83	1.00	5.0	-	10.32	17.96	24 in. HDPE	148.00	1.50	24	27.78	3.14	8.84	9.38

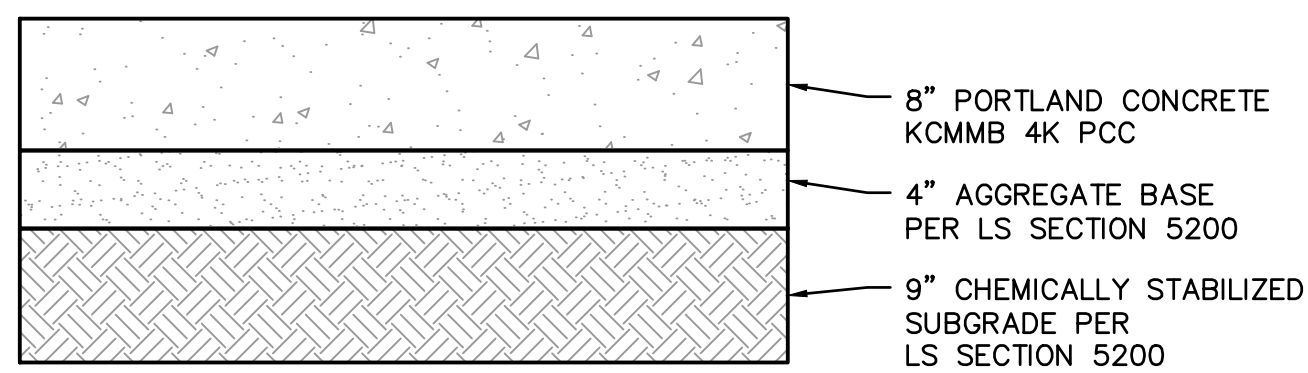
DWG: F:\2018\0001-0500\018-0330-B\40-Design\AutoCAD\Final Plans\Streets\GNC\WORK PACKAGE 15\PDF Plans\VC_DTL_PDP_80330.dwg
DATE: Feb 23, 2021 1:23pm
USER: tparsons
XREFS: C:\BLK_80330



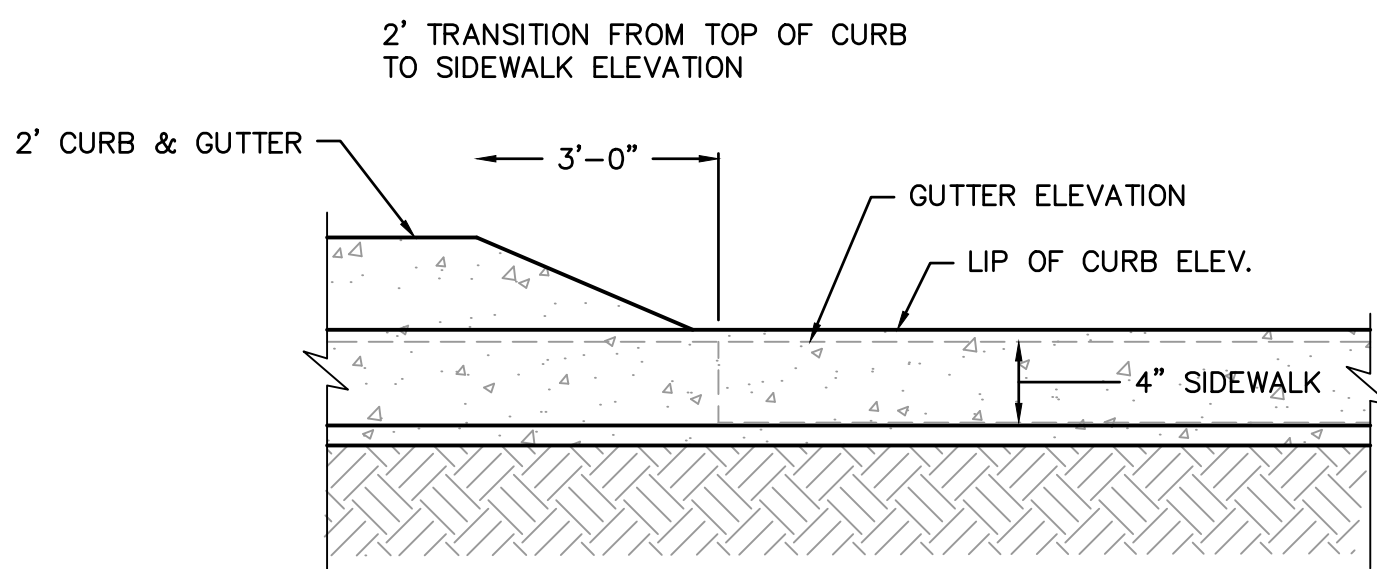
ASPHALT PAVEMENT (LIGHT TRAFFIC) WITH AGGREGATE BASE SECTION
NOT TO SCALE



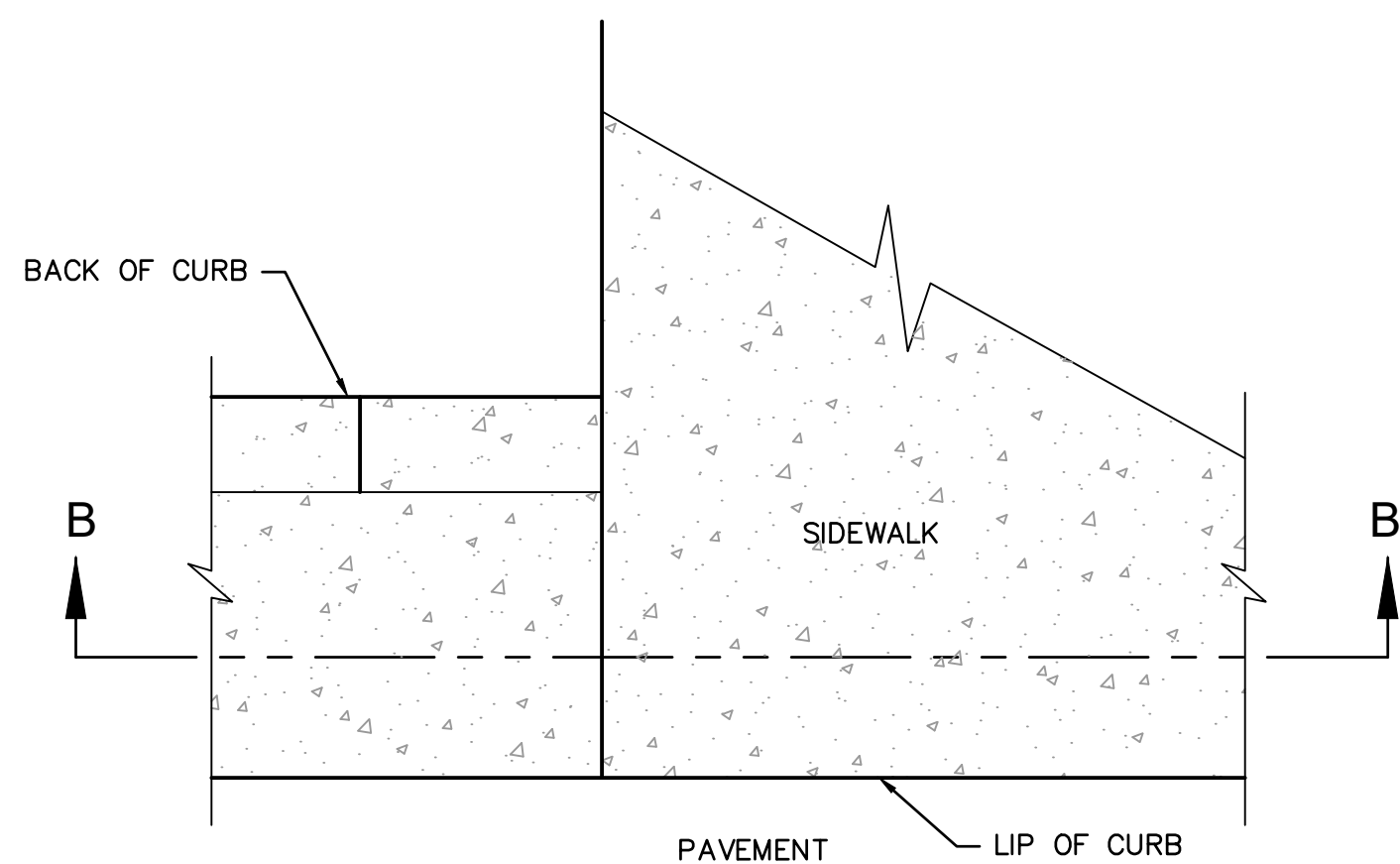
ASPHALT PAVEMENT (HEAVY TRAFFIC) WITH AGGREGATE BASE SECTION
NOT TO SCALE



PCC DRIVE PAVEMENT SECTION
NOT TO SCALE



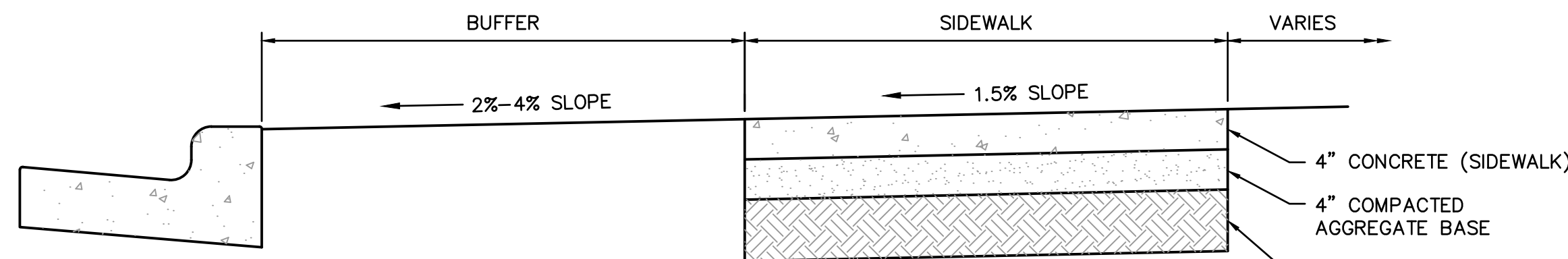
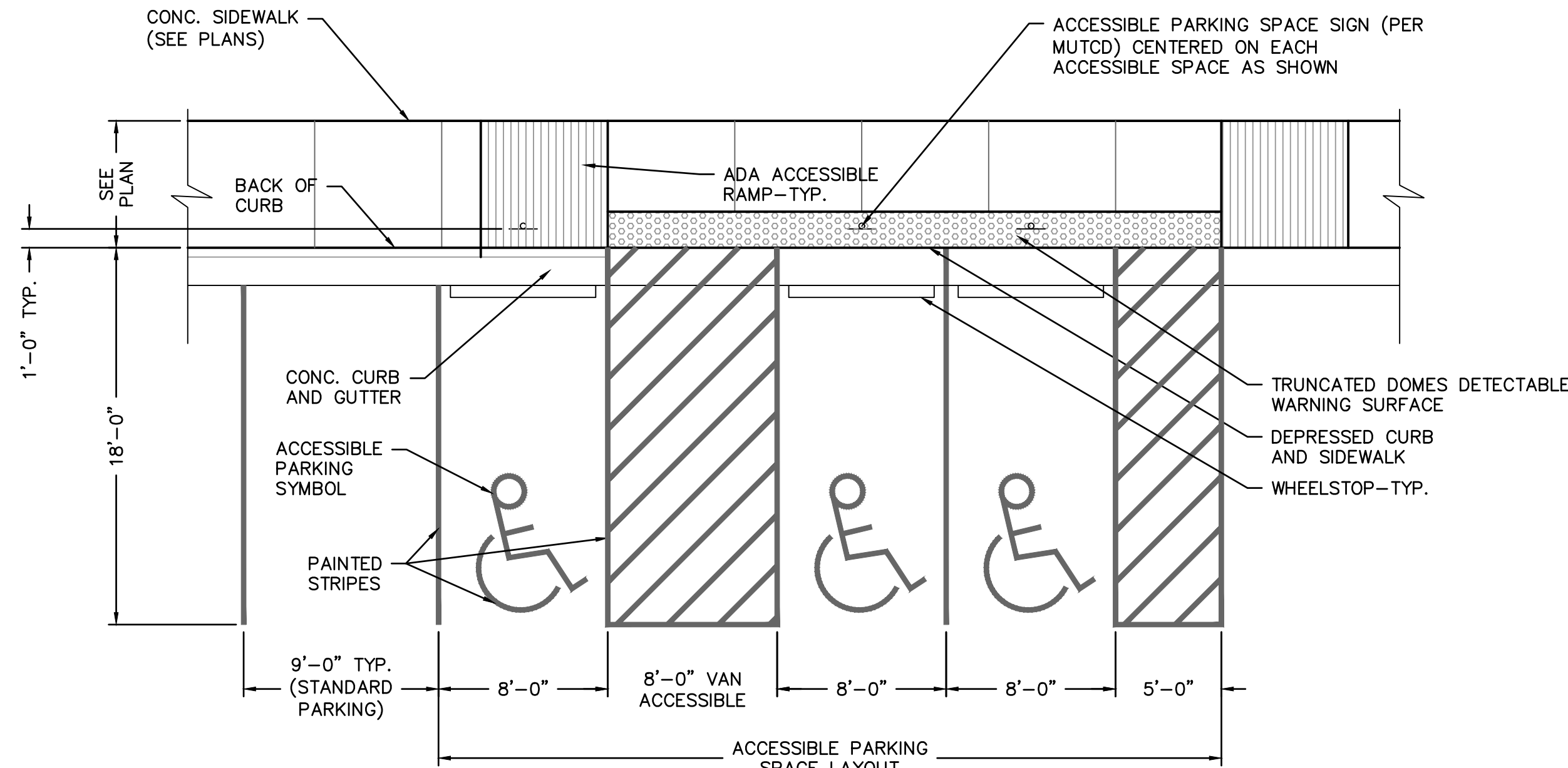
SECTION B-B



CURB TRANSITION DETAIL
NOT TO SCALE

NOTE

ACCESSIBLE PARKING SYMBOL AND SIGNAGE SHALL COMPLY WITH THE APPLICABLE RECOMMENDATIONS OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).



CONCRETE SIDEWALK WITH BUFFER
NOT TO SCALE

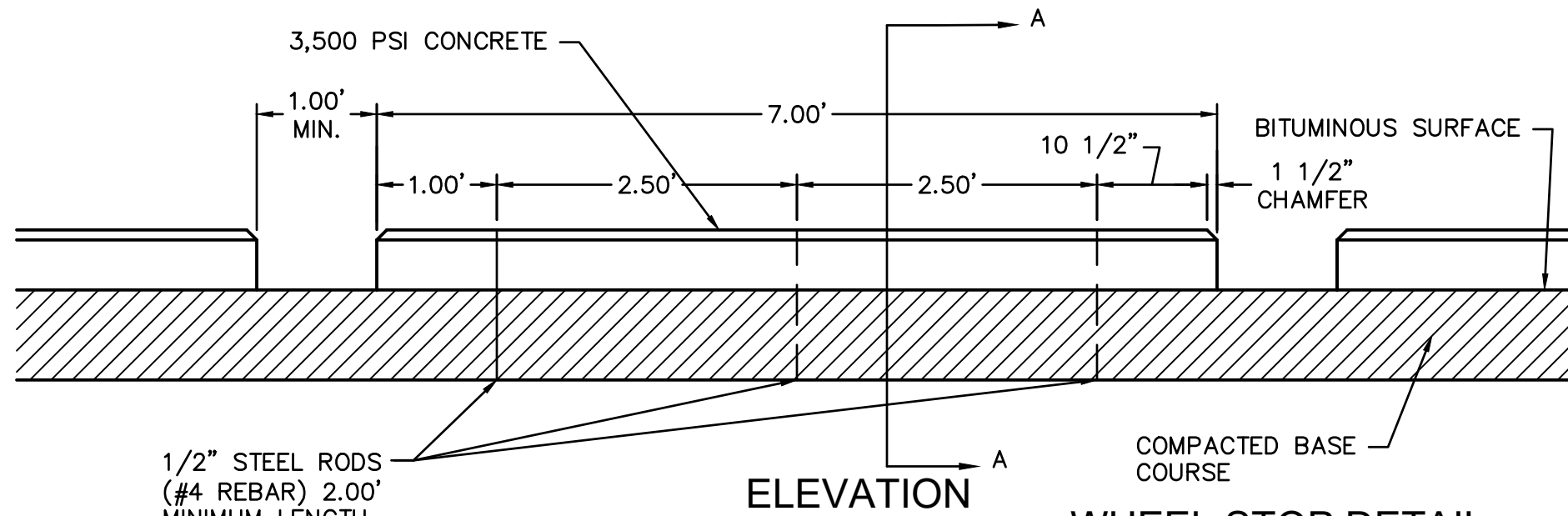
GENERAL NOTES:

1. SUBGRADE MUST BE OF STABLE, COMPACTED EARTH AND SHALL BE OVERLAYED WITH 4" COMPACTED DENSE GRADED AGGREGATE BASE.
2. 1.5% CROSS SLOPE MUST BE MAINTAINED THROUGH DRIVEWAYS.
3. KCMMB 4K CONCRETE MIX SHALL BE REQUIRED FOR ALL SIDEWALKS OR AS APPROVED BY THE CITY INSPECTOR.
4. ALL SIDEWALKS SHALL MEET CURRENT PUBLIC RIGHT OF WAY ACCESSIBILITY GUIDELINES (PROWAG).
5. AN EXPANSION JOINT SHALL BE PLACED AT A MAXIMUM OF 150 FT. CONSTRUCTION JOINTS SHALL BE PLACED THE SAME WIDTH OF SIDEWALK, BUT NO GREATER THAN 10 FT.
6. SIDEWALK FINISHING (NO PICTURE FRAMING) AS DIRECTED BY CITY INSPECTOR.
7. WHITE CURING COMPOUND MUST BE APPLIED UNIFORMLY TO THE CONCRETE SURFACE IMMEDIATELY AFTER FINAL FINISHING.

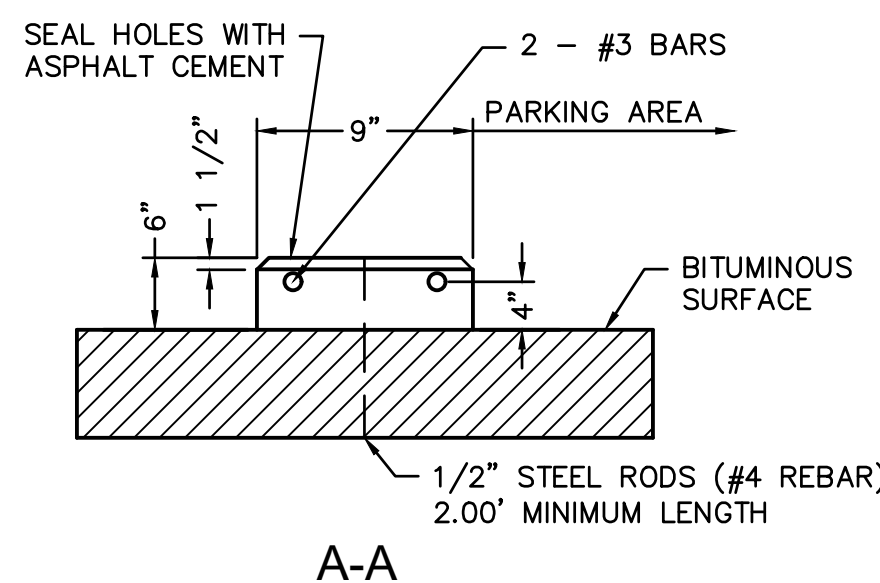
TYPICAL ADA PARKING SPACE LAYOUT DETAIL

NOTE:

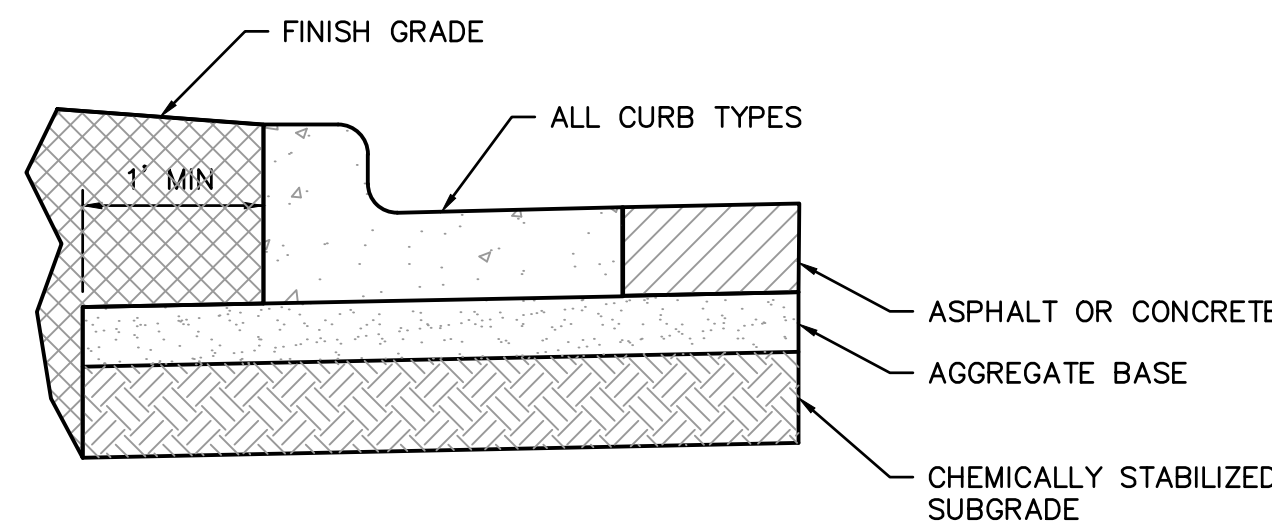
ANCHOR RODS TO BE SLEEVED OF GREASED THRU CONCRETE CURBS TO PERMIT RELOCATION OF CURBS.



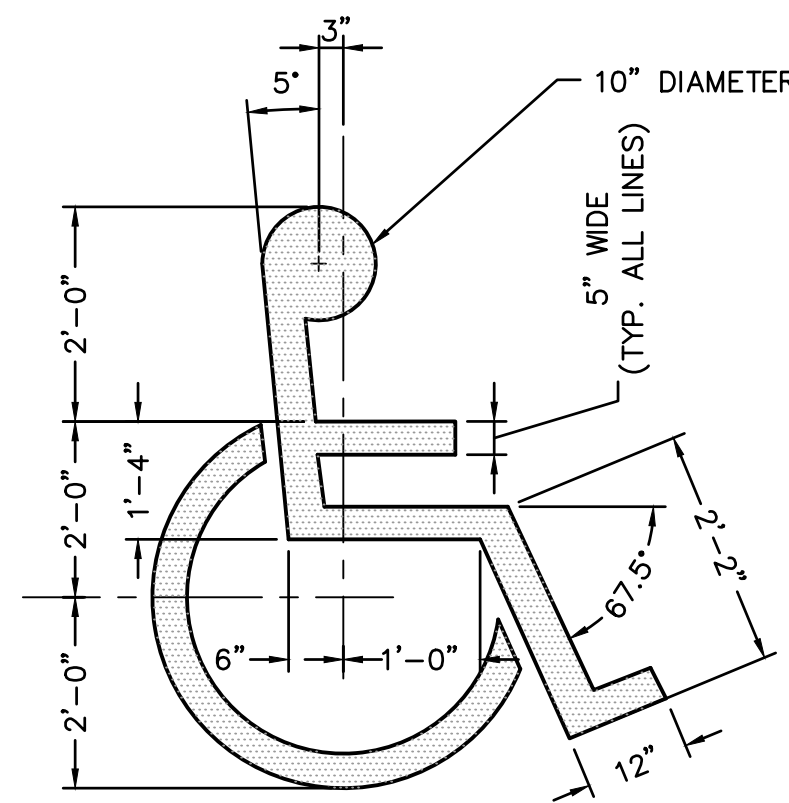
WHEEL STOP DETAIL
NOT TO SCALE



A-A

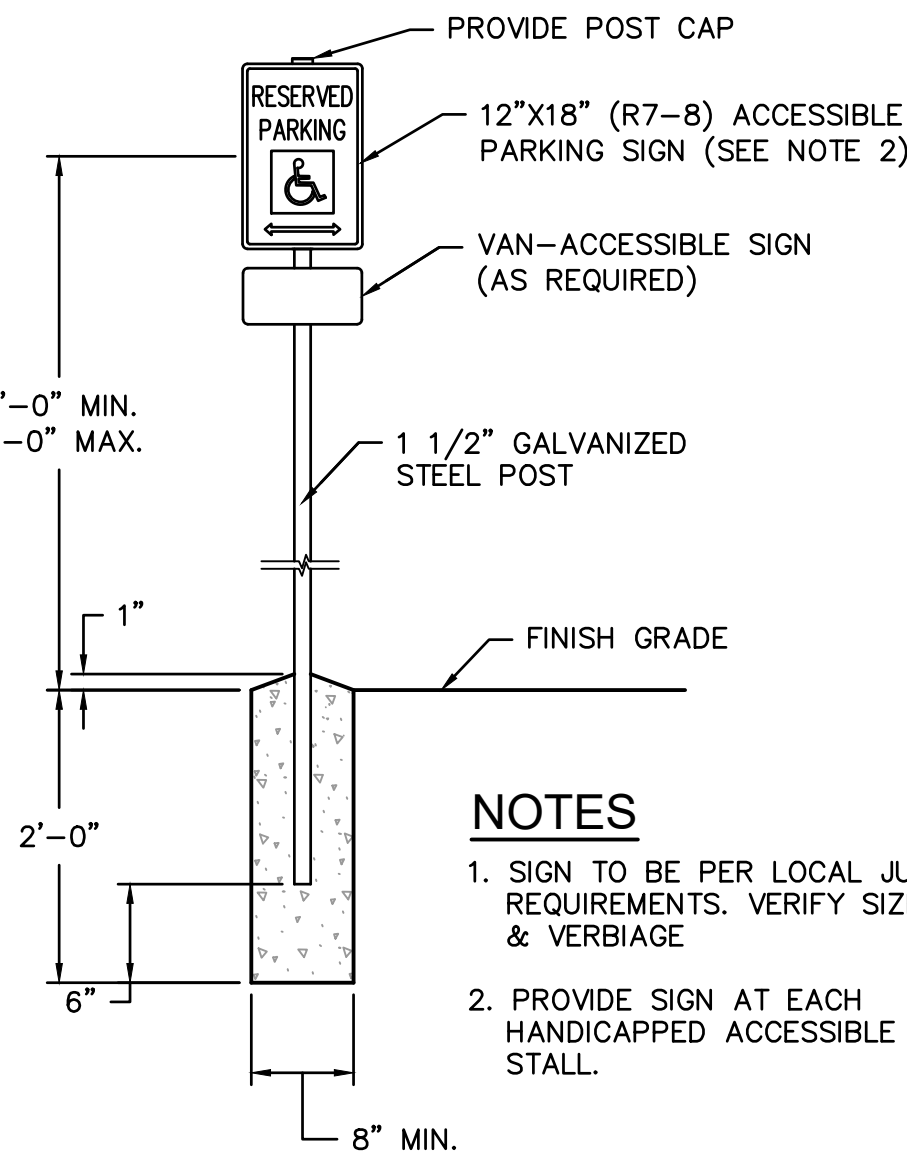


TYPICAL SUBGRADE PLACEMENT UNDER CURB
NOT TO SCALE



PROVIDE PAINTED SYMBOL AT EACH DESIGNATED ACCESSIBLE PARKING STALL. CENTER SYMBOL IN EACH STALL.

ACCESSIBLE PARKING SYMBOL
NOT TO SCALE



NOTES

1. SIGN TO BE PER LOCAL JURISDICTION REQUIREMENTS. VERIFY SIZE, SHAPE & VERBIAGE
2. PROVIDE SIGN AT EACH HANDICAPPED ACCESSIBLE PARKING STALL.

ACCESSIBLE PARKING SPACE SIGNAGE
NOT TO SCALE

**SAPP
DESIGN
ARCHITECTS**

3750 S. Fremont Ave.
Springfield, MO 65804 417.877.9600

Sapp Design Associates Architects, P.C.
Missouri State Certificate of Authority #000607

helix.

1629 Walnut
Kansas City, MO 64108 816.300.0300

Helix Architecture + Design
Missouri State Certificate of Authority #000720

SPECIAL NOTICES

In the event the client consents to, allows, authorizes or approves of changes to any plans, specifications or other construction documents, and these changes are not approved in writing by the design professional, the client recognizes that such changes and the results thereof are not the responsibility of the design professional. Therefore, the client agrees to release the design professional from any liability arising from the construction, use or result of such changes. In addition, the client agrees to the fullest extent permitted by law, to indemnify and hold the design professional harmless from any damage, liability or cost (including reasonable attorney's fees and costs of defense) arising from such changes.

The personal seal of the registered Architect or Engineer shall be the legal equivalent of his signature whenever & wherever used, and the owner of the seal shall authenticate this sheet and the specification sections pertaining to this sheet. Responsibility shall be disclaimed for all other plans, specifications, estimates, reports or other documents or instruments relating to or intended to be used for any part or parts of the architectural project.

Mid-Continent Public Library
PRELIMINARY DEVELOPMENT PLAN
LEE'S SUMMIT LIBRARY
150 NW Oldham Parkway
LEE'S SUMMIT, MO 64081
JACKSON COUNTY

PACKAGE
15

Engineer of Record

Terry M Parsons, Engineer MO PE-2018010505

olsson

7301 West 133rd Street, Suite 200
Overland Park, KS 66213
TEL 913.381.1170
FAX 913.381.1174
www.olsson.com

Olsson
Missouri State Certificate of Authority #001592

Revision No.	Description	Date
--------------	-------------	------

Project No.	Date	Drawn
-------------	------	-------

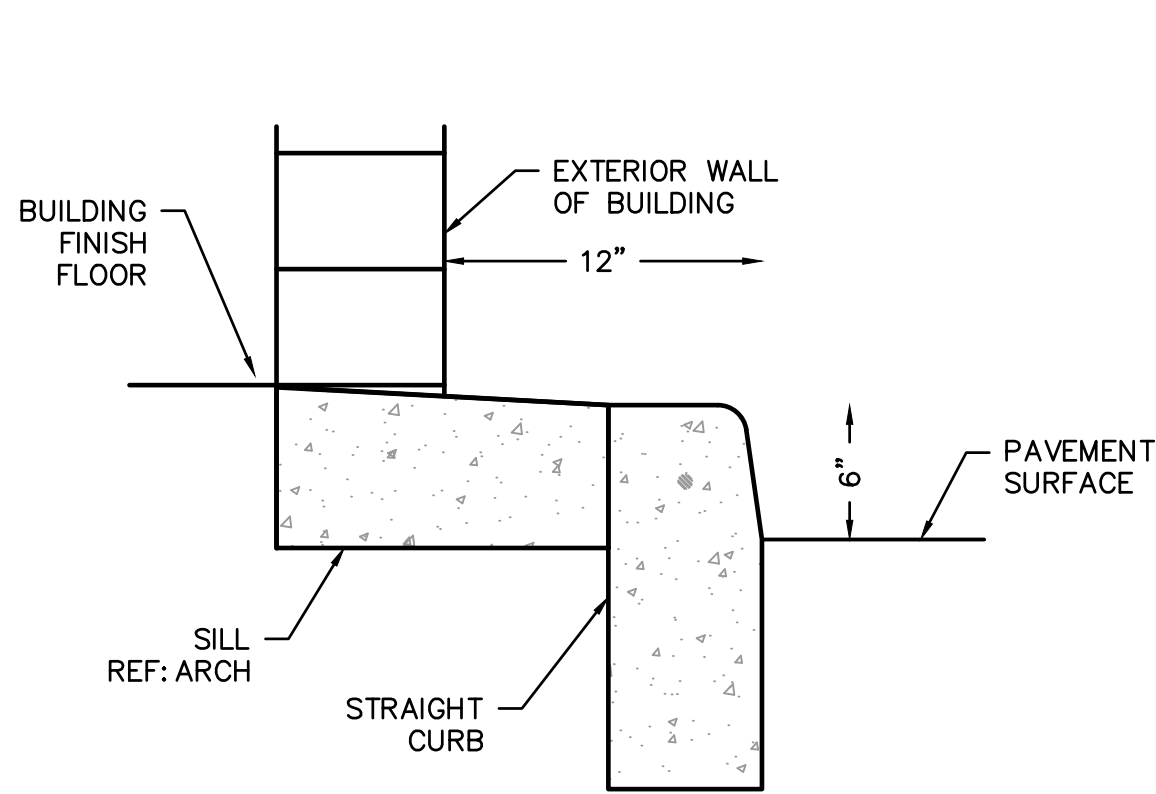
B18-0330	10.12.2020	HMO
----------	------------	-----

Drawing No.

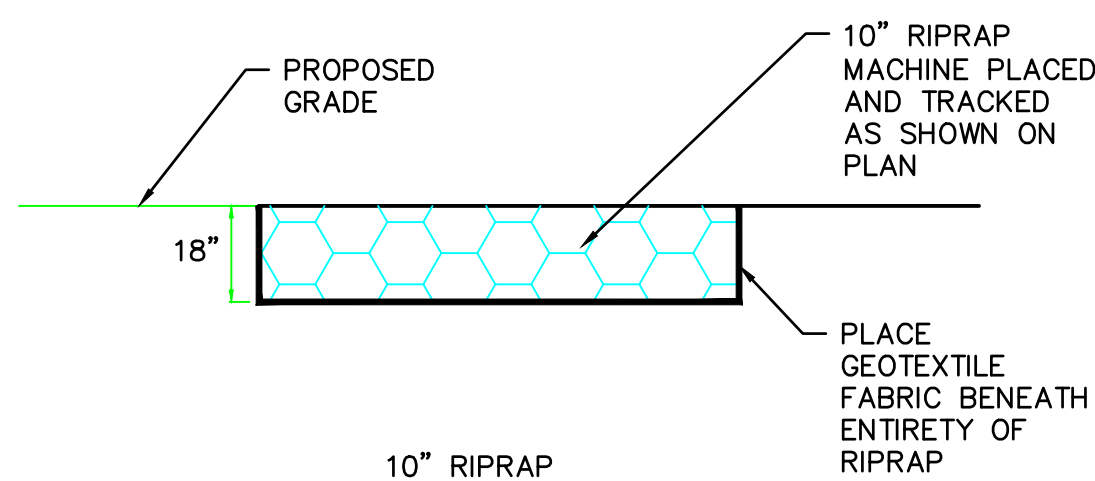
C8.0

STANDARD DETAILS

© Copyright 2019 - Sapp Design Associates, Architects, P.C.

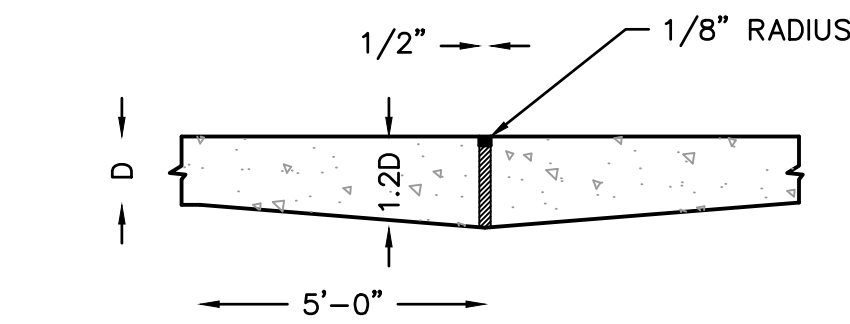


PROTECTION CURB
NOT TO SCALE



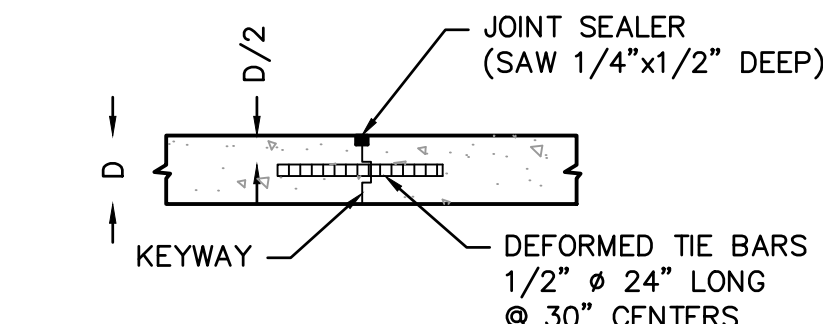
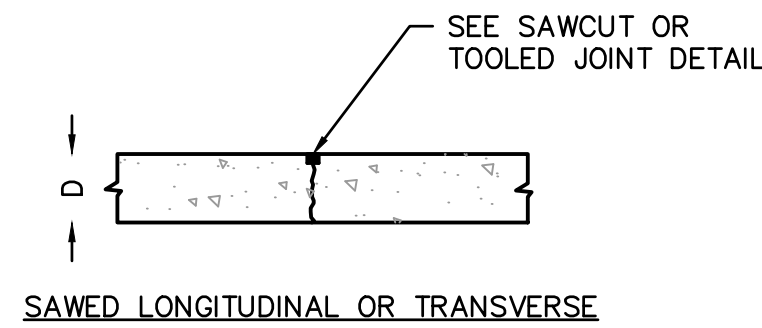
10" RIPRAP	
WEIGHT OF INDIVIDUAL PIECES	MINIMUM PERCENT LARGER THAN
500 lbs.	0%
250 lbs.	50%
125 lbs.	70%
10 lbs.	90%

STONE RIPRAP DETAIL
NOT TO SCALE

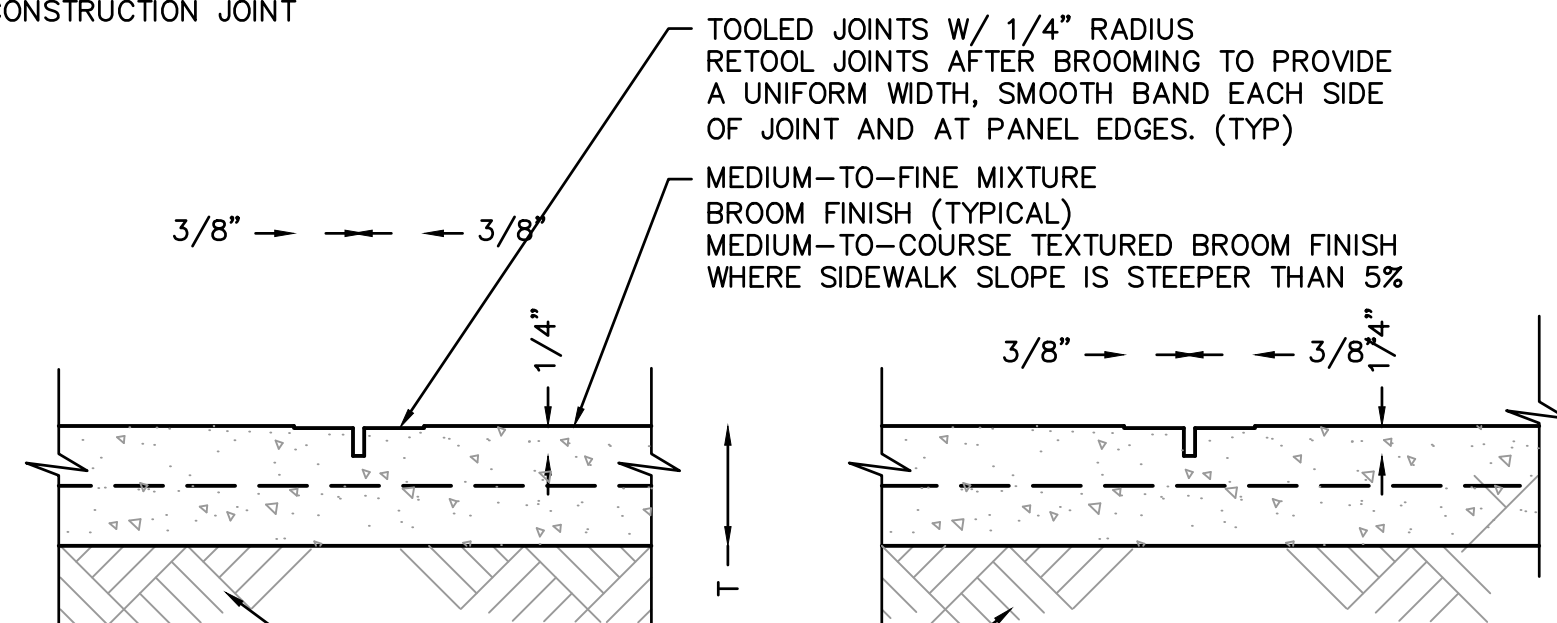
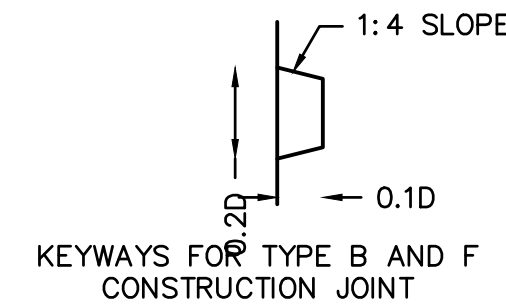


EXPANSION JOINT AT CONNECTION TO EXISTING PAVEMENT

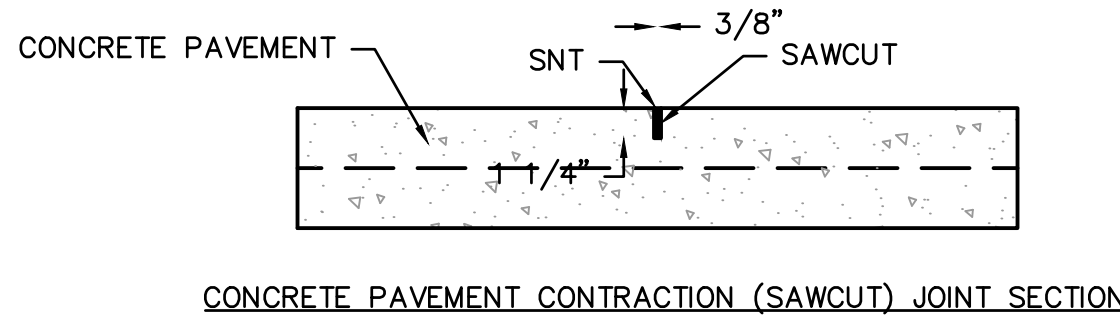
- NOTE:
1. EXPANSION JOINTS TO BE USED IN ALL AREAS THAT CONCRETE PAVEMENT ABUTS BUILDING
 2. 6X6X6 WELDED WIRE MESH IS TO BE USED IN ALL CONCRETE WALKS AROUND BUILDINGS.



EMERGENCY TIED TRANSVERSE CONSTRUCTION JOINT
(USED AT MIDDLE THIRD NORMAL JOINT SPACING)

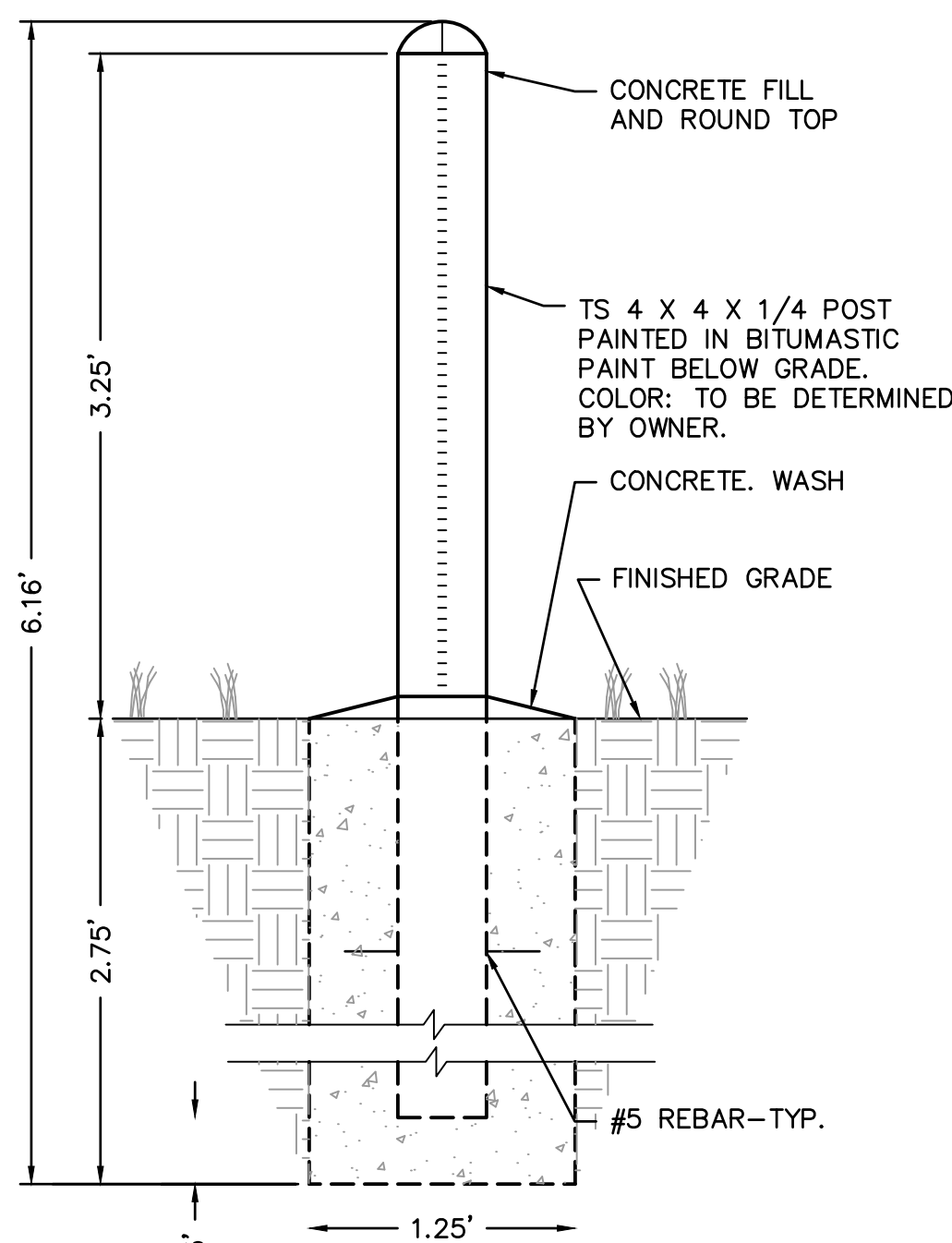


TOOLED JOINT



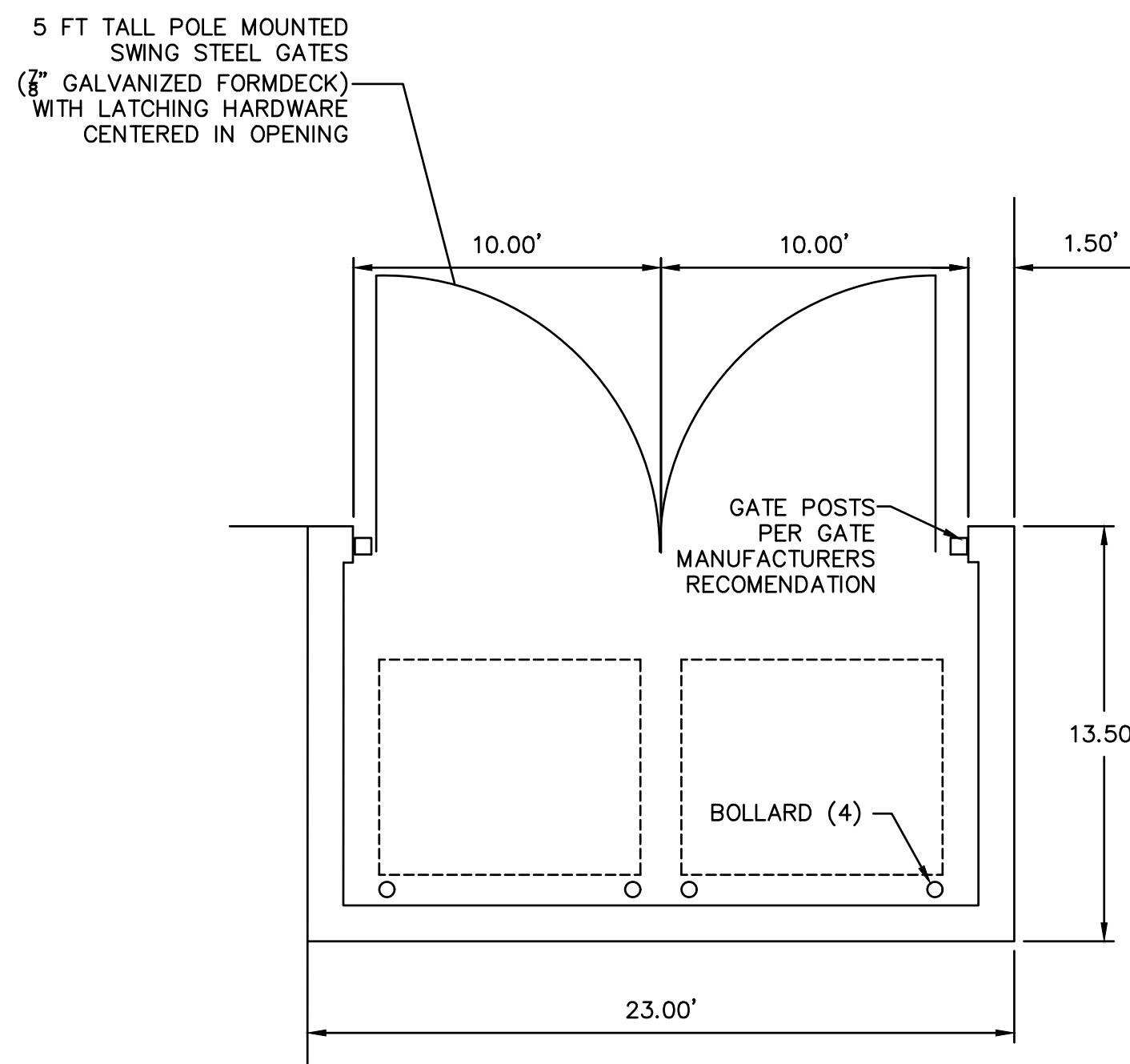
SAWCUT JOINT

CONCRETE PAVING JOINT DETAILS
NOT TO SCALE



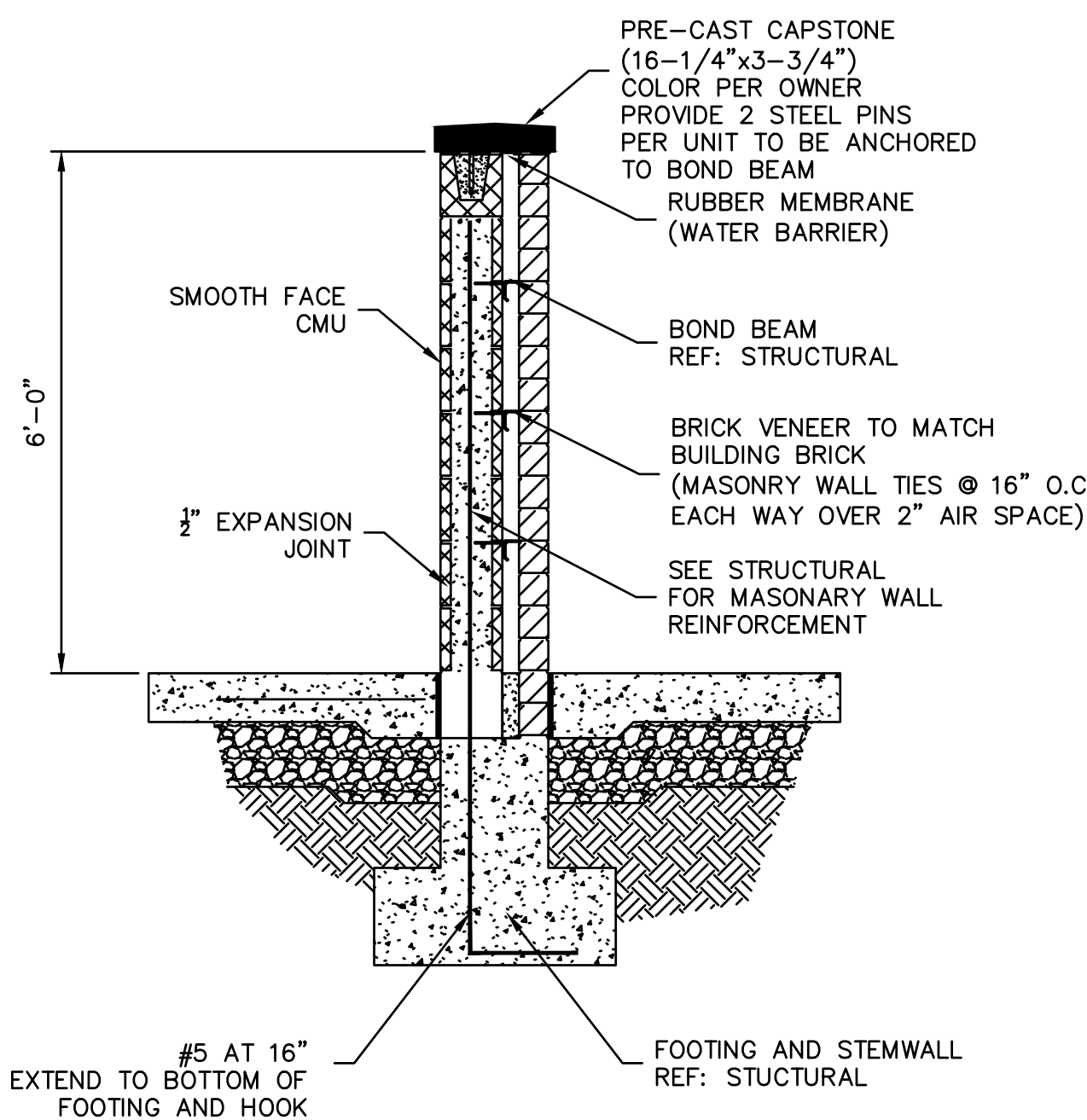
NOTE: WHEN PLACED IN PAVEMENT, TOP OF CONCRETE FOUNDATION SHALL BE PLACED BELOW NEW PAVEMENT WITH 1/2 ISOLATION JOINT & SEAL.

BOLLARD DETAIL
NOT TO SCALE



NOTE: ALL EXPOSED STEEL SHALL BE GALVANIZED AND EPOXY PAINTED. COLOR TO BE DETERMINED BY THE OWNER.

PLAN



TYPICAL WALL
SECTION

TRASH ENCLOSURE DETAIL
NOT TO SCALE

SPECIAL NOTICES

In the event the client consents to, allows, authorizes or approves changes to any plans, specifications or other construction documents, and these changes are not approved in writing by the design professional, the client recognizes that such changes and the results thereof are not the responsibility of the design professional. Therefore, the client agrees to release the design professional from any liability arising from the construction, use or result of such changes. In addition, the client agrees to the fullest extent permitted by law, to indemnify and hold the design professional harmless from any damage, liability or cost (including reasonable attorney's fees and costs of defense) arising from such changes.

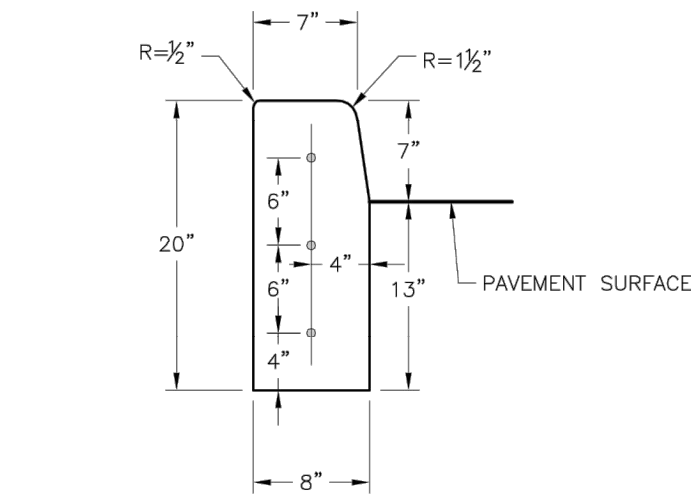
The personal seal of the registered Architect or Engineer shall be the legal equivalent of his signature whenever & wherever used, and the owner of the seal shall authenticate this sheet and the specification sections pertaining to this sheet. Responsibility shall be disclaimed for all other plans, specifications, estimates, reports or other documents or instruments relating to or intended to be used for any part or parts of the architectural project.

DWG: F:\2018\0001-0500\018-0330-B\40-Design\AutoCAD\Final Plans\Sheets\GNC\WORK PACKAGE_15\PDF Plans\C_DTL_PDP_80330.dwg
DATE: Feb 23, 2021 1:23pm XREFS: C:\BTL_80330 USER: tporsons

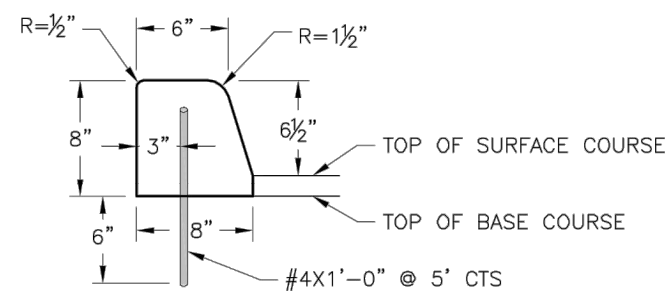
USER: tparsons

30-B\40-Design\AutoCAD\Final Plans\Sheets\GNCV\WORK PACKAGE 15\PD P Plans\C_DTL_PDP_80330.dwg
XREFS: C_TBLK_80330

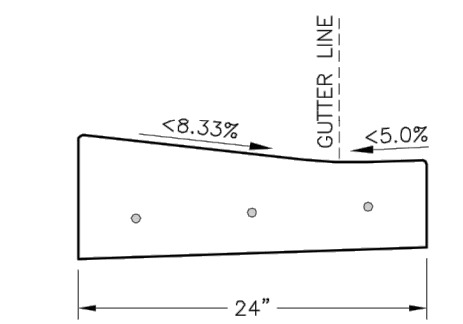
DWG: F:\2018\0001-0500\018
DATE: Feb 23, 2021 1:23pm



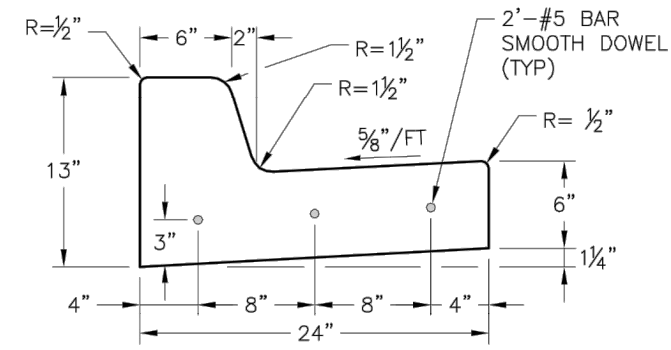
STRAIGHT CURB
(TYPE C-1)



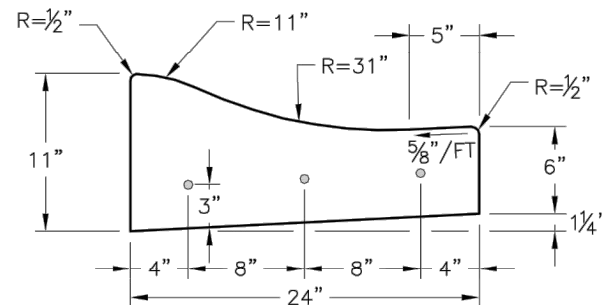
DOWELLED CURB
(TYPE DC)



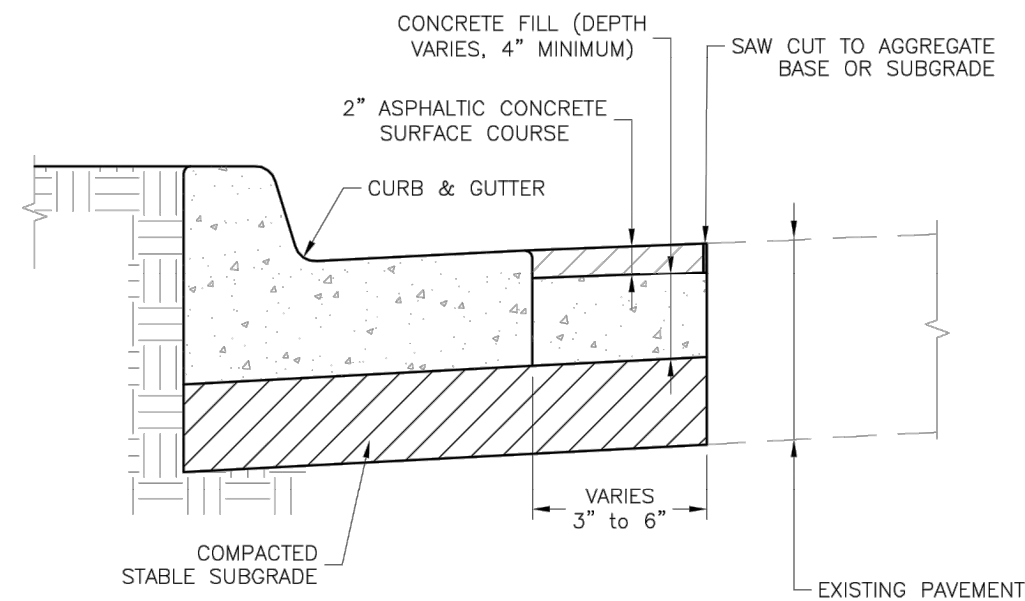
CURB & GUTTER DETAIL AT RAMP
(ADA SLOPE REQUIREMENTS)



STRAIGHT BACK CURB &
GUTTER
(TYPE CG-1)



ROLL BACK CURB &
GUTTER
(TYPE CG-2)



CURB REPLACEMENT DETAIL

GENERAL NOTES

1. 3/4" ISOLATION JOINTS WITH 3 (2'-#5 BAR) SMOOTH DOWELS SHALL BE PLACED AT RADIUS POINTS AND AT 150' INTERVALS. THESE DOWEL BARS SHALL BE GREASED AND WRAPPED ON ONE END AND PLACED IN CONCRETE TUBES.
2. 3" DEEP CONTRACTION JOINTS SHALL BE INSTALLED AT APPROXIMATELY 10' INTERVALS. THESE JOINTS SHALL PASS ACROSS THE ENTIRE CURB SECTION.
3. CONCRETE FILL SHALL HAVE UNIFORM AND SMOOTH FINISH
4. KCMWB 4K CONCRETE SHALL BE USED FOR ALL CURBS.
5. ASPHALTIC CONCRETE SURFACE COURSE SHALL CONFORM TO STANDARD SPECIFICATION SECTION 202.02.
6. CURBS FOR NEW STREETS SHALL BE BUILT ON ASPHALT OR AGGREGATE BASE AS SHOWN IN TYPICAL SECTION DETAIL.
7. WHITE CURING COMPOUND MUST BE APPLIED UNIFORMLY TO THE CONCRETE SURFACE IMMEDIATELY AFTER FINAL FINISHING.

LEE'S SUMMIT
MISSOURI

STANDARD DETAILS
CITY OF LEE'S SUMMIT, MO
SUMMIT, JACKSON COUNTY, MO
CURB & GUTTER DETAIL

GEN-4

**SAPP
DESIGN
ARCHITECTS**

3750 S. Fremont Ave.
Springfield, MO 65804 417.877.9600

Sapp Design Associates Architects, P.C.
Missouri State Certificate of Authority #000607

helix.

1629 Walnut Kansas City, MO 64108	816.300.0300
--------------------------------------	--------------

Helix Architecture + Design
Missouri State Certificate of Authority #000720

SPECIAL NOTICES

In the event the client consents to, allows, authorizes or approves of changes to any plans, specifications or other construction documents, and these changes are not approved in writing by the design professional, the client recognizes that such changes and the results thereof are not the responsibility of the design professional. Therefore, the client agrees to release the design professional from any liability arising from the construction, use or result of such changes. In addition, the client agrees to the fullest extent permitted by law, to indemnify and hold the design professional harmless from any damage, liability or cost (including reasonable attorney's fees and costs of defense) arising from such changes.

The personal seal of the registered Architect or Engineer shall be the legal equivalent of his signature whenever & wherever used, and the owner of the seal shall authenticate this sheet and the specification sections pertaining to this sheet. Responsibility shall be disclaimed for all other plans, specifications, estimates, reports or other documents or instruments relating to or intended to be used for any part or parts of the architectural project.

Mid-Continent Public Library
PRELIMINARY DEVELOPMENT PLAN
LEE'S SUMMIT LIBRARY
150 NW Oldham Parkway
LEE'S SUMMIT, MO 64081
JACKSON COUNTY

15
PACKAGE

Engineer of Record

Terry M Parsons, Engineer MO PE-2018010505

olsson

7301 West 133rd Street, Suite 200
Overland Park, KS 66213
TEL 913.381.1170
FAX 913.381.1174
www.olsson.com

Olsson
Missouri State Certificate of Authority #001592

Revision No.	Description	Date
--------------	-------------	------

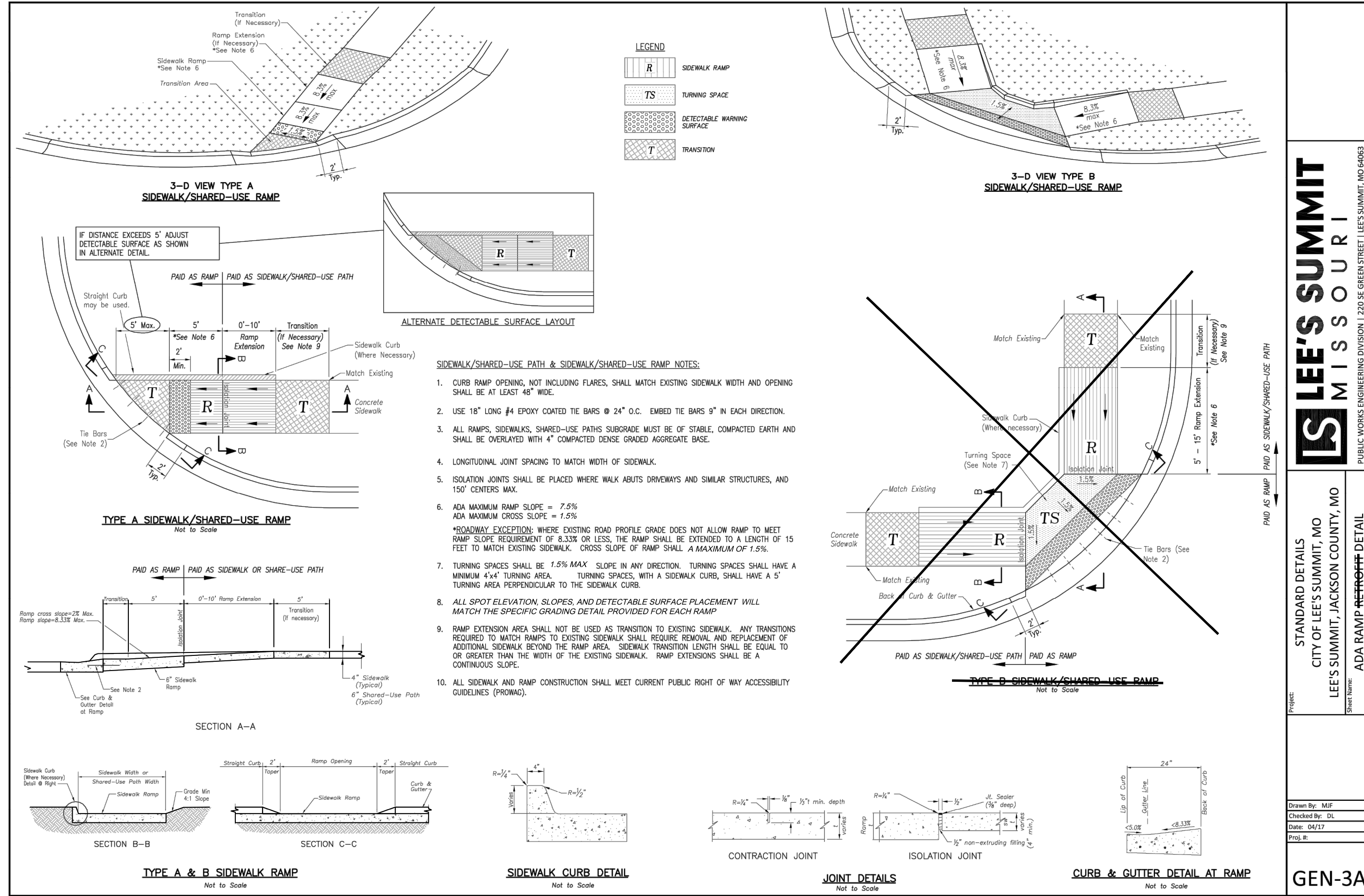
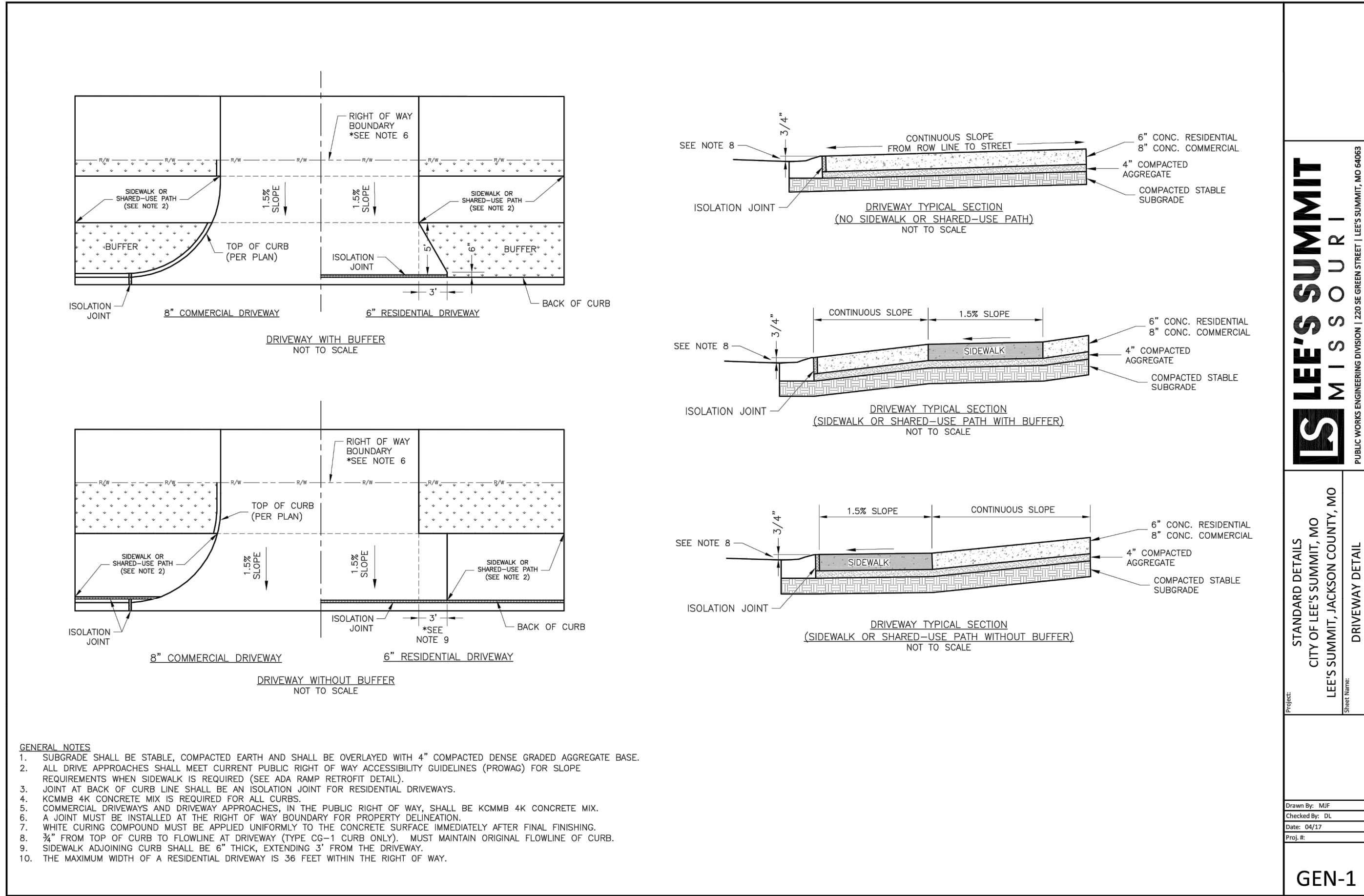
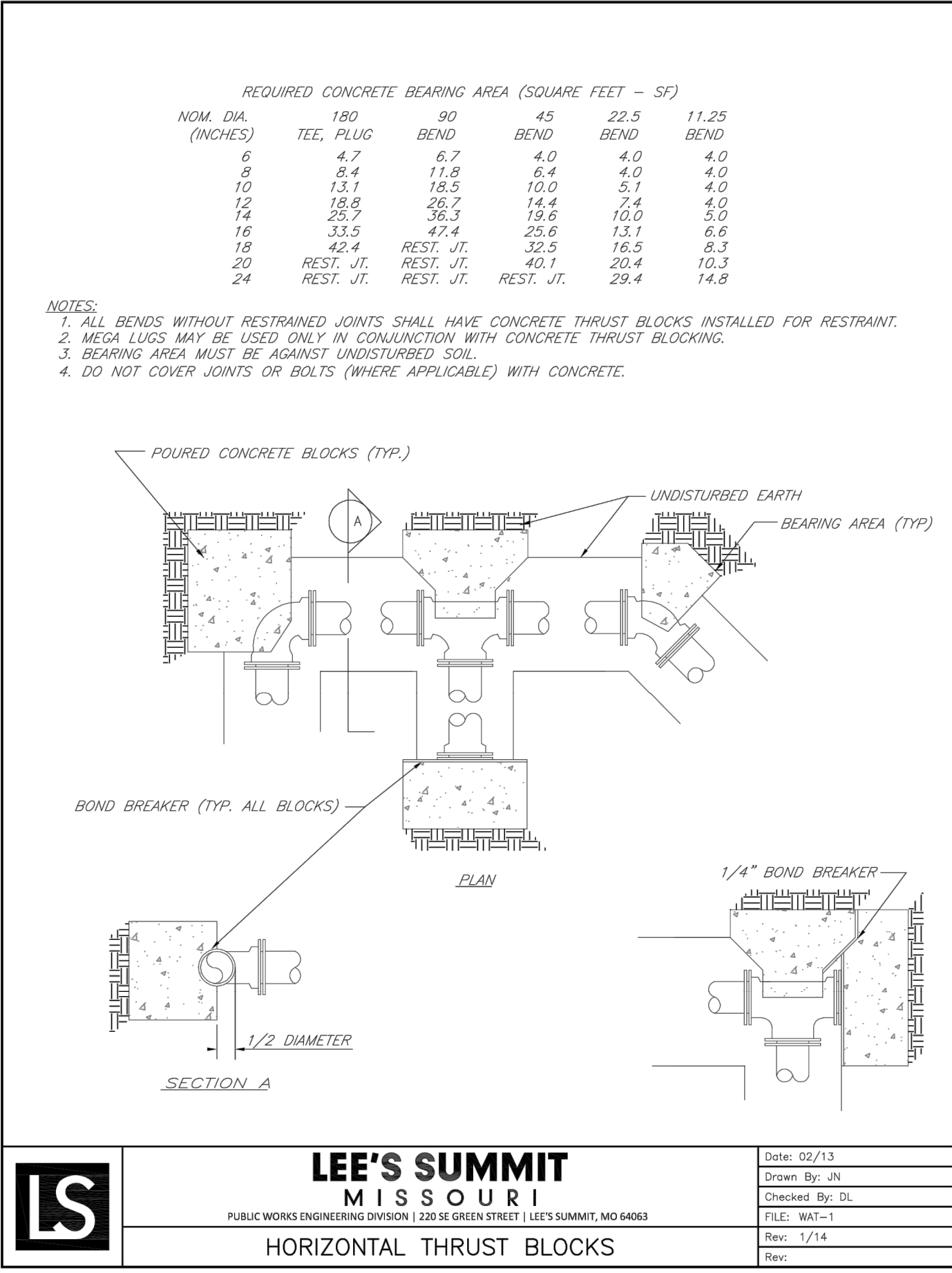
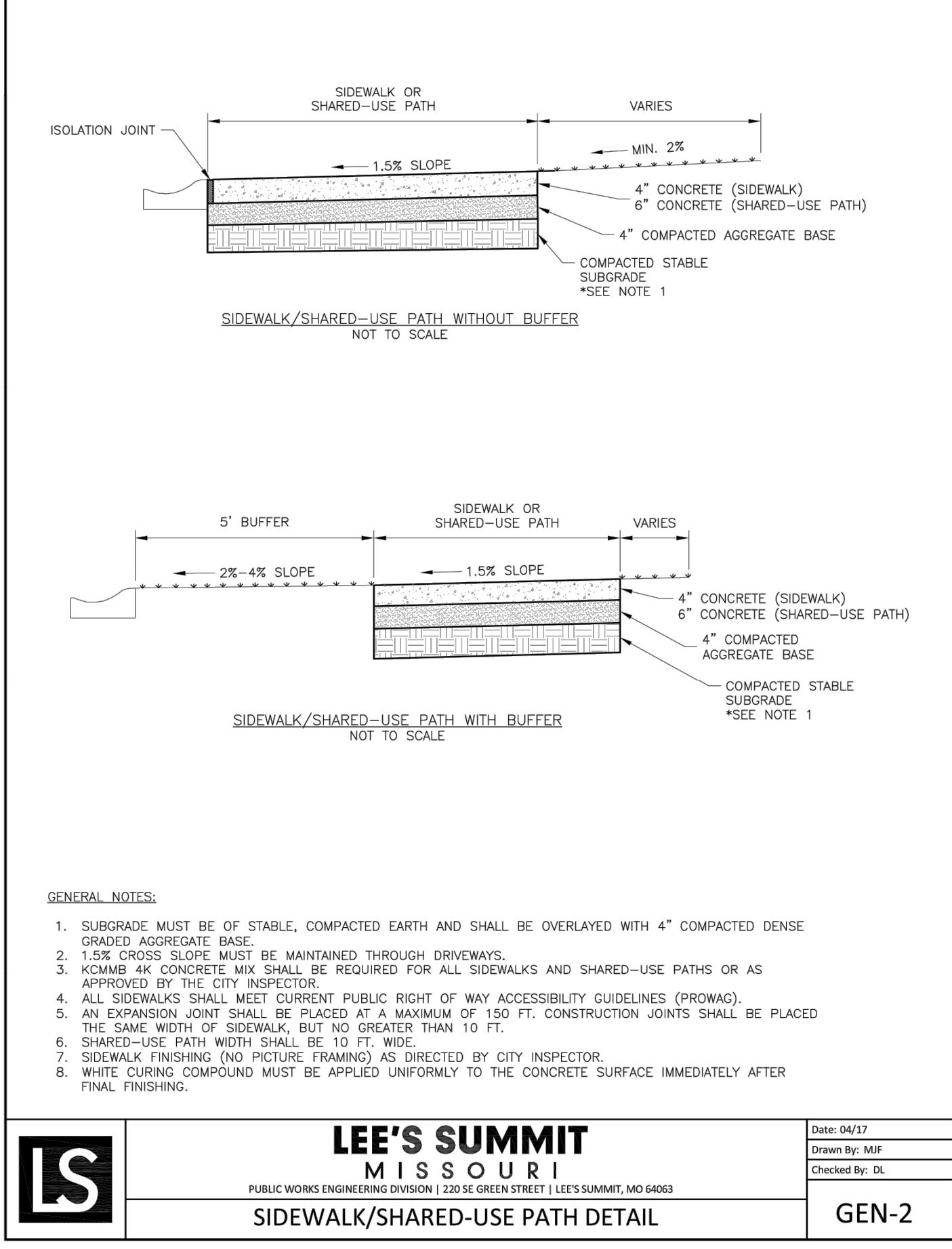
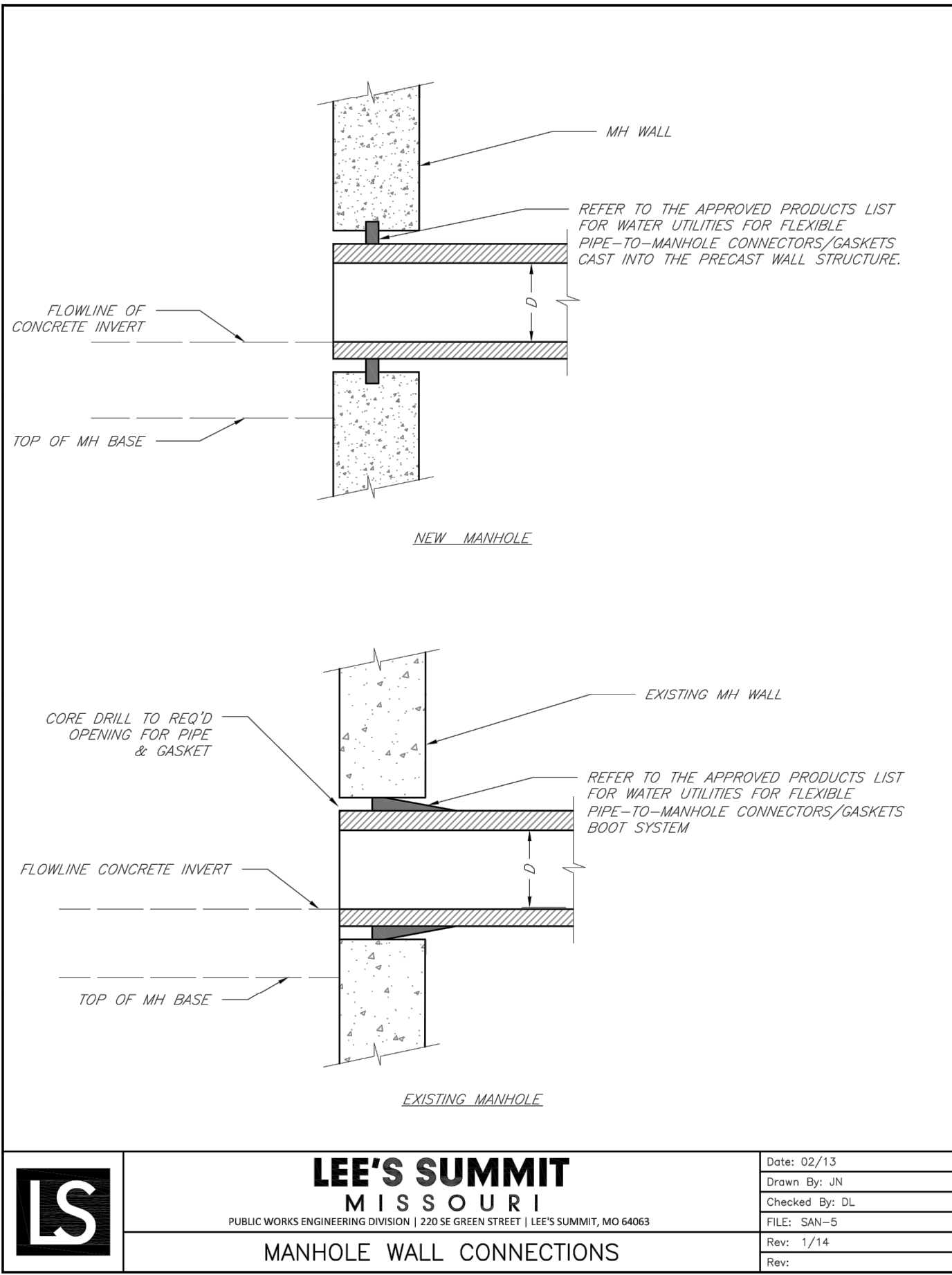
Project No. B18-0330	Date 10.12.2020	Drawn HMC
-------------------------	--------------------	--------------

Drawing No.

C8.2

STANDARD DETAILS

© Copyright 2019 - Sapp Design Associates, Architects, P.C.



SAPP DESIGN ARCHITECTS
 3750 S. Fremont Ave.
 Springfield, MO 65804
 417.877.9600

Sapp Design Associates Architects, P.C.
 Missouri State Certificate of Authority #000607

helix

1629 Walnut
 Kansas City, MO 64108
 816.300.0300

Helix Architecture + Design
 Missouri State Certificate of Authority #000720

SPECIAL NOTICES

In the event the client consents to, allows, authorizes or approves of changes to any plans, specifications or other construction documents, and these changes are not approved in writing by the design professional, the client recognizes that such changes and the results thereof are not the responsibility of the design professional. Therefore, the client agrees to the fullest extent permitted by law, to indemnify and hold the design professional harmless from any damage, liability or cost (including reasonable attorney's fees and costs of defense) arising from such changes.

The personal seal of the registered Architect or Engineer shall be the legal equivalent of his signature whenever & wherever used, and the owner of the seal shall authenticate this sheet and the specification sections pertaining to this sheet. Responsibility shall be declined for all other plans, specifications, estimates, reports or other documents or instruments relating to or intended to be used for any part or parts of the architectural project.

Mid-Continent Public Library
 PRELIMINARY DEVELOPMENT PLAN
LEE'S SUMMIT LIBRARY
 150 NW Oldham Parkway
 LEE'S SUMMIT, MO 64081
 JACKSON COUNTY

PACKAGE **15**

Engineer of Record

Terry M Parsons, Engineer MO PE-2018010605

olsson

7301 West 133rd Street, Suite 200
 Overland Park, KS 66213
 TEL 913.381.1170
 FAX 913.381.1174
 www.olsson.com

Olsson
 Missouri State Certificate of Authority #001592

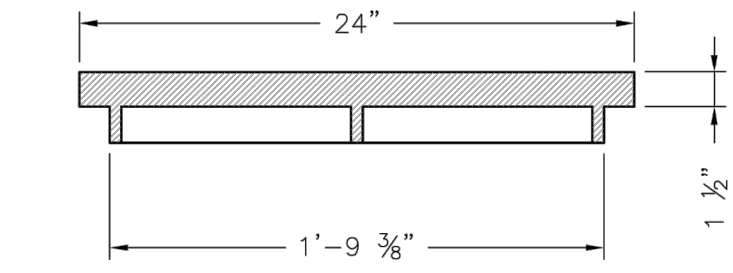
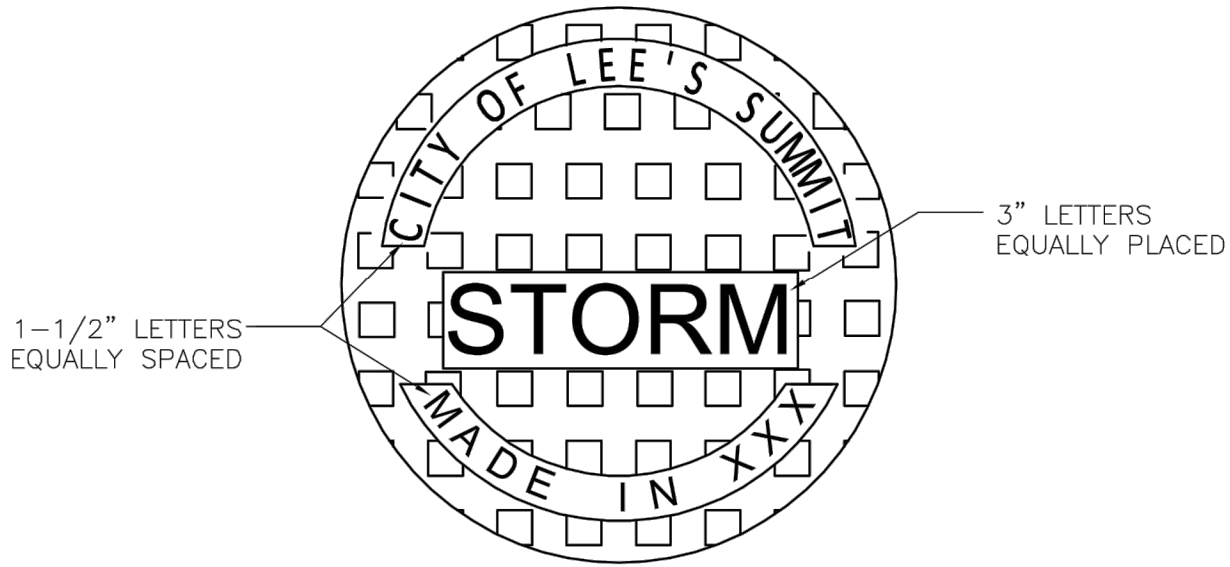
Revision No. Description Date

Project No. B18-0330 Date 10.12.2020 Drawn HMO

Drawing No. **C8.3**

STANDARD DETAILS

© Copyright 2019 - Sapp Design Associates, Architects, P.C.



STANDARD 24" MANHOLE COVER
MINIMUM WEIGHT = 160 LB
NOTE: PICK HOLES NOT SHOWN

*COVER AND FRAME MODEL INFORMATION REFER TO
THE STORMWATER APPROVED PRODUCT LIST.

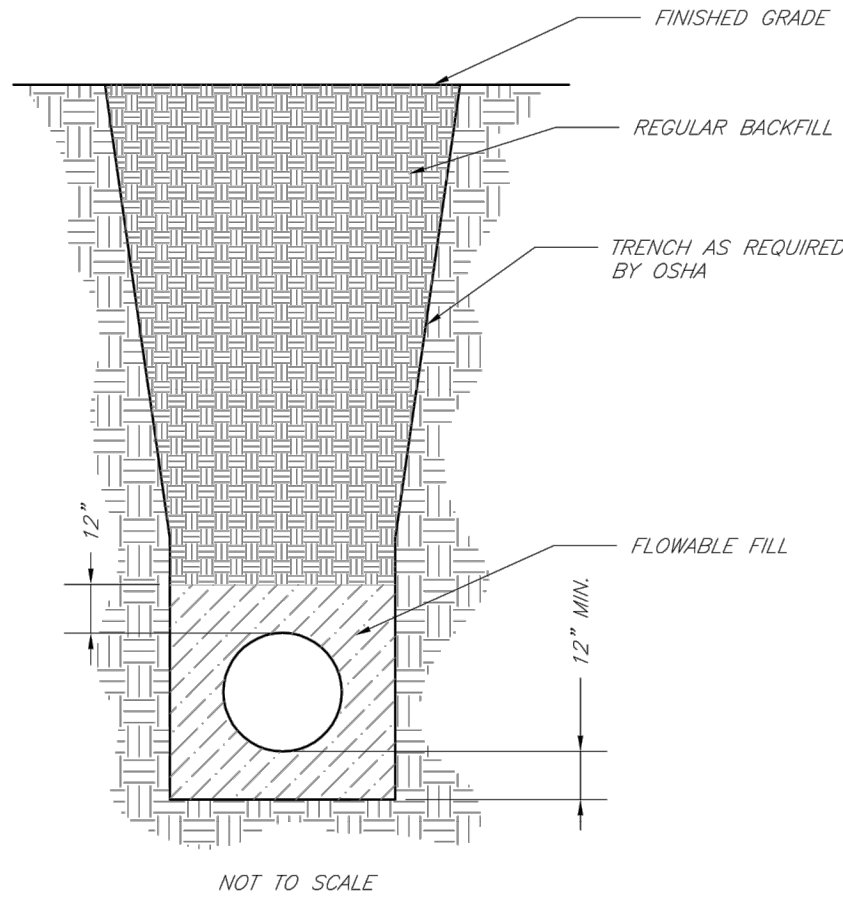


**LEE'S SUMMIT
MISSOURI**
PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64063

STORM MANHOLE COVER DETAIL

Date: 04/17
Drawn By: MIF
Checked By: DL
FILE: STM-6
Rev: 1/14

STM-6



- NOTES:
1. FLOWABLE FILL SHALL MEET THE REQUIREMENTS OF THE CITY OF LEE'S SUMMIT DESIGN AND CONSTRUCTION MANUAL.
 2. REGULAR BACKFILL ABOVE THE TRENCH CHECK SHALL BE FREE OF DEBRIS, ORGANIC MATTER, AND STONES > 6" IN ANY DIMENSION.
 3. TOP OF FLOWABLE BACKFILL SHALL EXTEND 12" ABOVE THE TOP OF THE PIPE.
 4. LENGTH OF TRENCH CHECK SHALL BE A MINIMUM OF 12'.



**LEE'S SUMMIT
MISSOURI**
PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64063

TRENCH CHECK

Date: 02/13
Drawn By: JN
Checked By: DL
FILE: WAT-5
Rev: 1/14

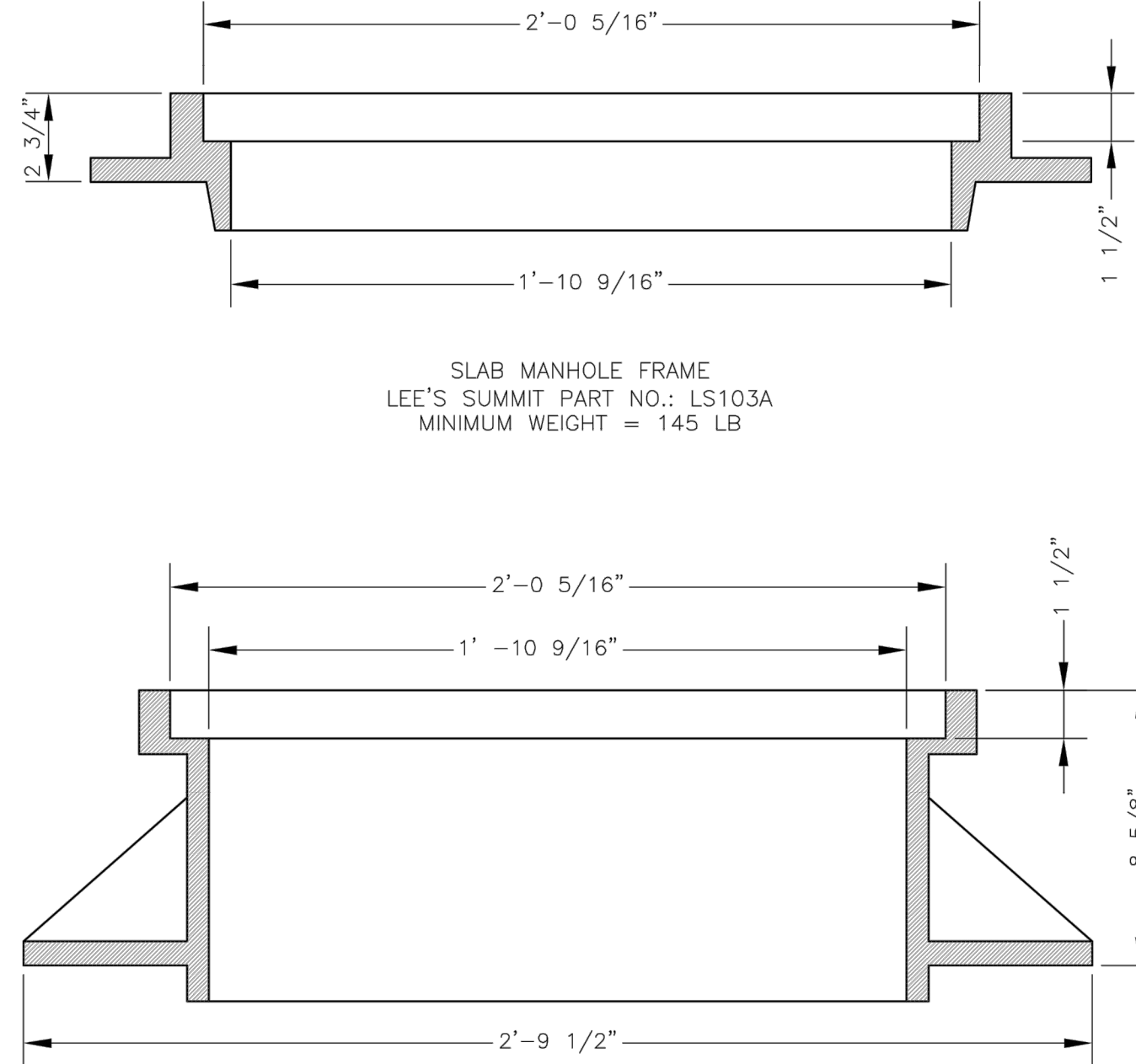


**LEE'S SUMMIT
MISSOURI**
PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64063

STORM MANHOLE FRAME DETAIL

Date: 04/17
Drawn By: MIF
Checked By: DL
FILE: STM-7
Rev: 1/14

STM-7



*COVER AND FRAME MODEL INFORMATION REFER TO
THE STORMWATER APPROVED PRODUCTS LIST.

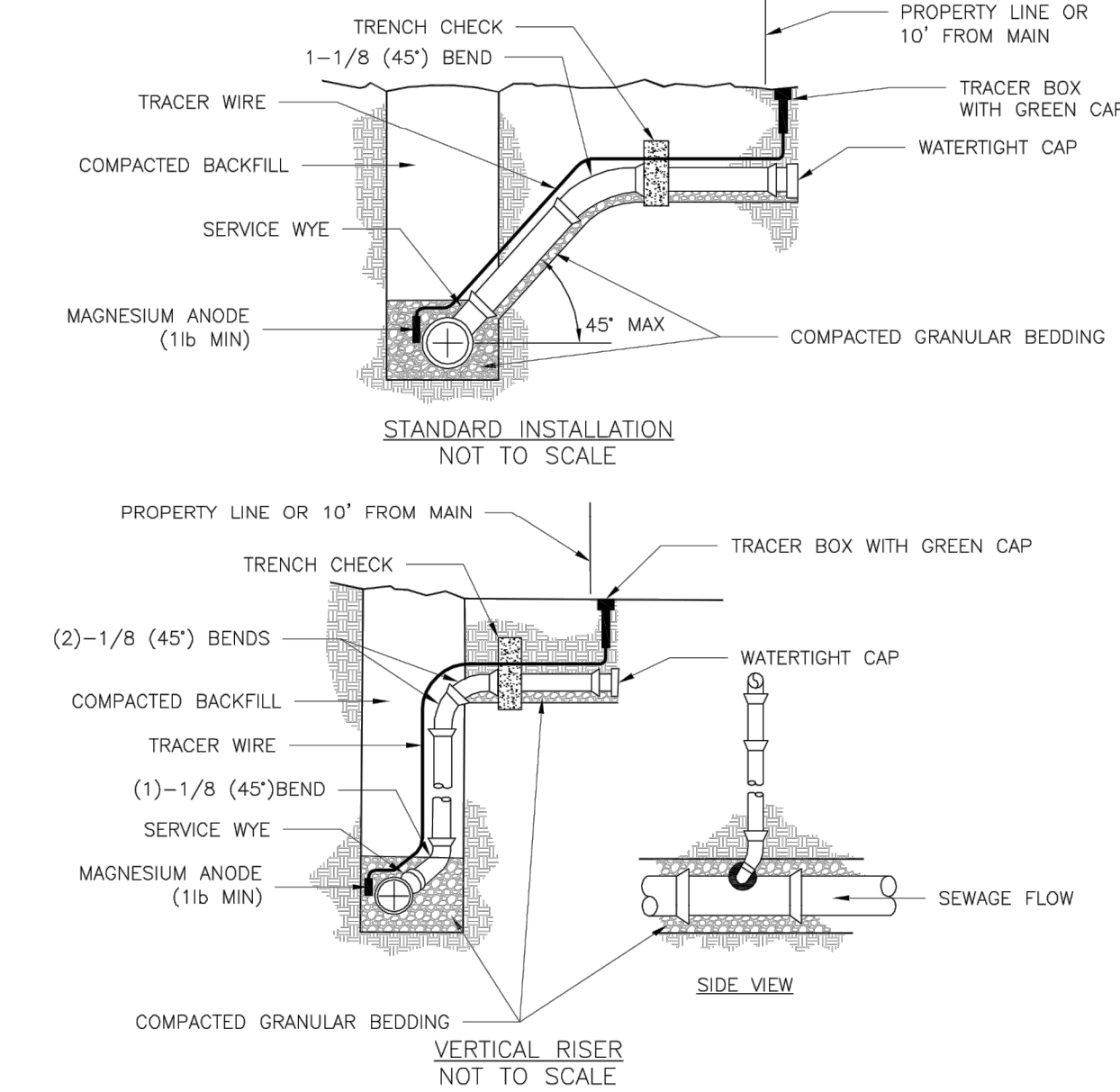


**LEE'S SUMMIT
MISSOURI**
PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64063

STORM MANHOLE FRAME DETAIL

Date: 04/17
Drawn By: MIF
Checked By: DL
FILE: STM-7
Rev: 1/14

STM-7



- NOTES:
1. ALL SEWER STUBS SHALL BE CONSTRUCTED TO PROPERTY LINE OR 10' MINIMUM FROM THE MAIN, WHERE SIDEWALKS ARE PRESENT, CONTRACTOR SHALL EXTEND SERVICE LINE UNDER EXISTING SIDEWALK TO TWO FEET BEYOND.
 2. ALL NEW CONSTRUCTION OFF SEWER STUBS SHALL BE TEMPORARILY MARKED WITH A MARKING STAKE, 36" ABOVE GROUND AND PAINTED GREEN.
 3. IMPERVIOUS TRENCH CHECKS SHALL BE PLACED ON BUILDING SEWER STUBS (AT LEAST 5' AWAY FROM THE SANITARY SEWER MAIN).
 4. TRENCH CHECKS ON THE BUILDING SEWER STUBS SHALL EXTEND 6" BELOW THE BOTTOM OF THE PIPE. LENGTH SHALL BE A MINIMUM OF 12'. THE HEIGHT OF THE TRENCH CHECK SHALL EXTEND 12" ABOVE THE TOP OF THE PIPE. THE WIDTH OF THE TRENCH CHECK SHALL BE THE WIDTH OF THE TRENCH.
 5. SEE SPECIFICATION SECTION 2100 FOR SEWER MAIN BEDDING AND BACKFILL.
 6. #12 GAUGE GREEN INSULATED COPPER TRACER WIRE SHALL BE INSTALLED. TRACER WIRE TERMINAL BOXES SHALL BE INSTALLED DIRECTLY ABOVE THE SEWER SERVICE OR AS DETERMINED BY THE ENGINEER.
 7. FOR SERVICES, TRACER WIRE SHALL RUN FROM THE WYE AND TERMINATE IN A FLUSH MOUNTED TRACER BOX WITH A GREEN CAST IRON LOOKALIKE TOP. WIRE SHALL BE TAPED OR TIED TO THE PIPE AT 5' INTERVALS.
 8. TRACER WIRE BOX SHALL BE INSTALLED WITHIN 1.0' OF PROPERTY LINE.
 9. THE TRACER WIRE SHALL REMAIN CONTINUOUS TO THE GREATEST EXTENT POSSIBLE. SPLICES IN THE TRACER WIRE SHOULD BE MADE WITH SPLIT BOLT CONNECTORS. WIRE NUTS SHALL NOT BE USED. A WATER-PROOF CONNECTION IS NECESSARY TO PREVENT CORROSION.

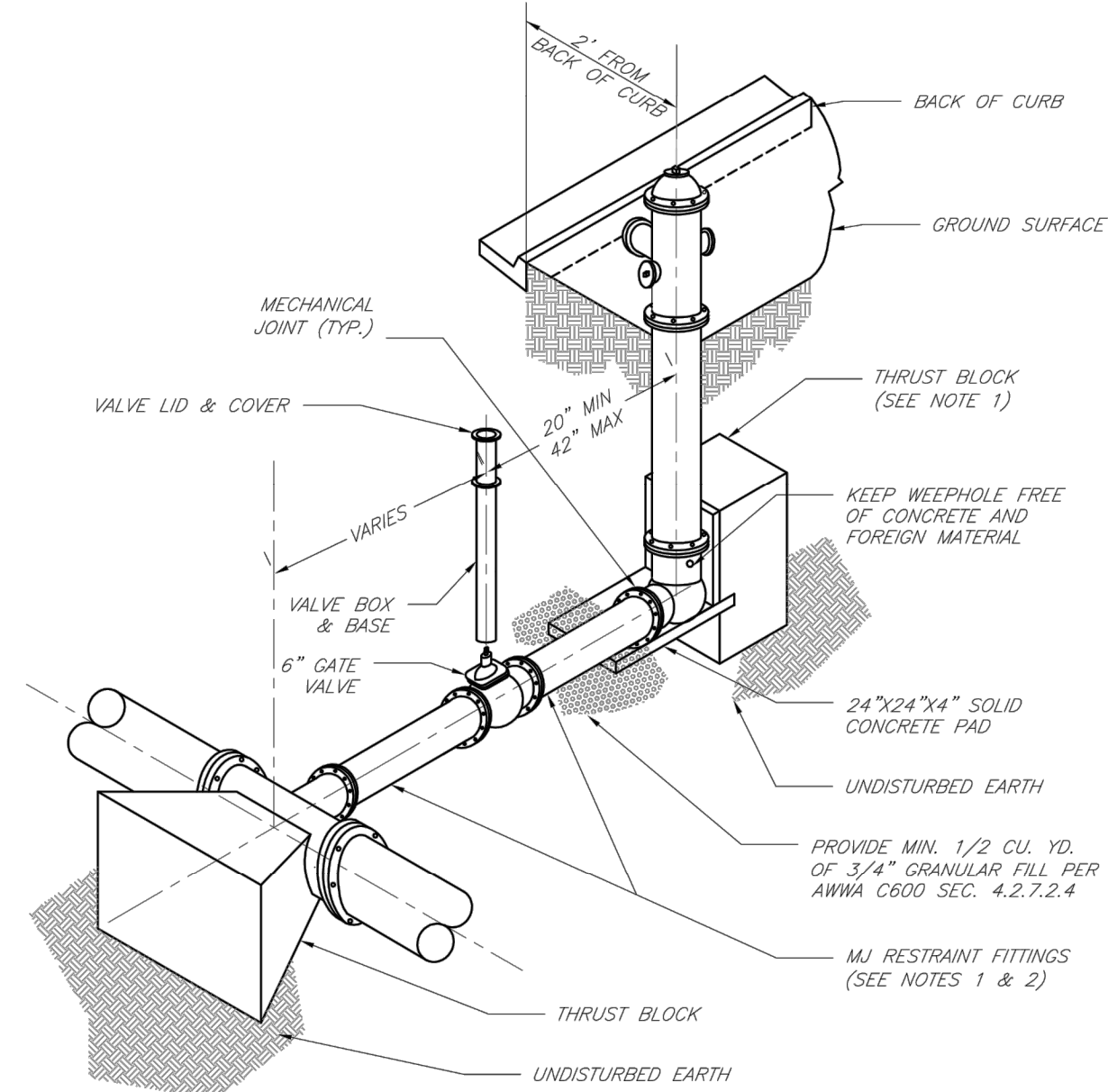


**LEE'S SUMMIT
MISSOURI**
PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64063

BUILDING SEWER STUB AND RISER

Date: 04/17
Drawn By: MIF
Checked By: DL
FILE: SAN-1
Rev: 1/14

SAN-1



- NOTES:
1. WHEN RETAINER GLANDS ARE USED IN LIEU OF MECHANICAL JOINT (MJ) RESTRAINT FITTINGS, HORIZONTAL THRUST BLOCKS ARE REQUIRED.
 2. GATE VALVE MAY BE BOLTED DIRECTLY TO MJ RESTRAINT TEE.
 3. SEE APPROVED PRODUCTS LIST FOR WATER UTILITIES FOR FIRE HYDRANT, VALVES, VALVE BOX LID, AND COVER.
 4. BOTTOM HYDRANT FLANGE SHALL BE 2" TO 6" ABOVE FINISHED GRADE.
 5. FOR STREETS WITHOUT CURBS FIRE HYDRANTS SHALL BE PLACED WITHIN 1 FOOT OF THE R/W LINE, BUT NOT MORE THAN 10' FROM EDGE OF PAVEMENT. FIRE HYDRANT SHALL NOT BE PLACED IN BOTTOM OF DITCH.
 6. HYDRANT SHALL BE ROTATED AS DIRECTED BY INSPECTOR.



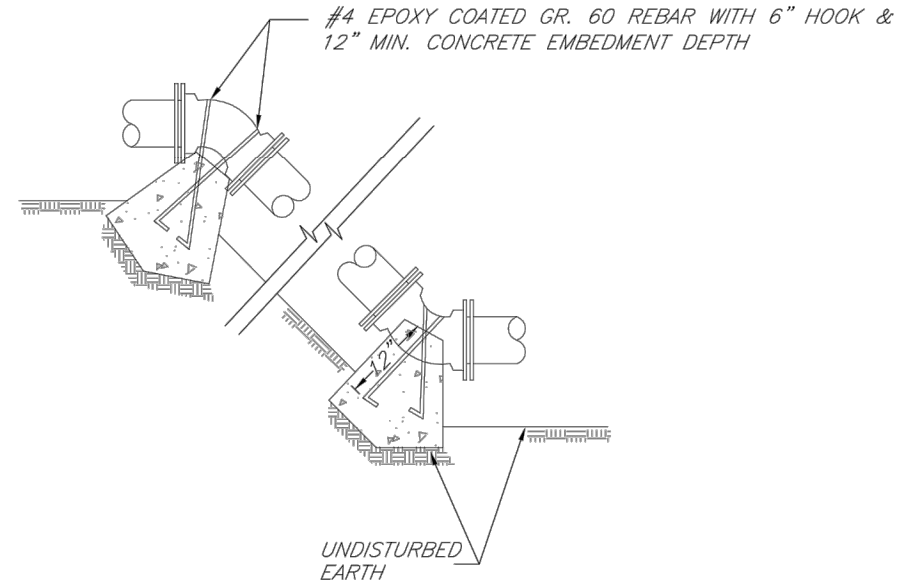
**LEE'S SUMMIT
MISSOURI**
PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64063

HYDRANT INSTALLATION - STRAIGHT SET

Date: 02/13
Drawn By: JN
Checked By: DL
FILE: WAT-7
Rev: 1/14

REQUIRED CONCRETE VOLUME (CUBIC FEET - CF)				
NOM. DIA. (INCHES)	TEE, PLUG	90 BEND	45 BEND	22.5 BEND
6	50.5	71.4	38.6	19.7
8	69.9	128.9	68.7	35.0
10	140.2	198.3	107.3	54.7
12	232.0	REST. JT.	154.6	78.8
14	REST. JT.	REST. JT.	210.4	107.3
16	REST. JT.	REST. JT.	REST. JT.	140.1
18	REST. JT.	REST. JT.	REST. JT.	172.3
20	REST. JT.	REST. JT.	REST. JT.	REST. JT.
24	REST. JT.	REST. JT.	REST. JT.	REST. JT.

- NOTES:
1. ALL BENDS WITHOUT RESTRAINED JOINTS SHALL HAVE CONCRETE THRUST BLOCKS INSTALLED FOR RESTRAINT.
 2. MEGA LUGS MAY BE USED ONLY IN CONJUNCTION WITH CONCRETE THRUST BLOCKING.
 3. BEARING MUST BE AGAINST UNDISTURBED SOIL.
 4. DO NOT COVER JOINTS OR BOLTS (WHERE APPLICABLE) WITH CONCRETE.



**LEE'S SUMMIT
MISSOURI**
PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64063

VERTICAL THRUST BLOCKS

Date: 02/13
Drawn By: JN
Checked By: DL
FILE: WAT-2
Rev: 1/14

**SAPP
DESIGN
ARCHITECTS**

3750 S. Fremont Ave.
Springfield, MO 65804 417.877.9600

Sapp Design Associates Architects, P.C.
Missouri State Certificate of Authority #000607

helix.

1629 Walnut
Kansas City, MO 64108 816.300.0300

Helix Architecture + Design
Missouri State Certificate of Authority #000720

SPECIAL NOTICES

In the event the client consents to, allows, authorizes or approves of changes to any plans, specifications or other construction documents, and these changes are not approved in writing by the design professional, the client recognizes that such changes and the results thereof are not the responsibility of the design professional. Therefore, the client agrees to release the design professional from any liability arising from the construction, use or result of such changes. In addition, the client agrees to the fullest extent permitted by law, to indemnify and hold the design professional harmless from any damage, liability or cost (including reasonable attorney's fees and costs of defense) arising from such changes.

The personal seal of the registered Architect or Engineer shall be the legal equivalent of his signature whenever & wherever used, and the owner of the seal shall authenticate this sheet and the specification sections pertaining to this sheet. Responsibility shall be disclaimed for all other plans, specifications, estimates, reports or other documents or instruments relating to or intended to be used for any part or parts of the architectural project.

Mid-Continent Public Library
PRELIMINARY DEVELOPMENT PLAN
LEE'S SUMMIT LIBRARY
150 NW Oldham Parkway
LEE'S SUMMIT, MO 64081
JACKSON COUNTY

PACKAGE
15

Engineer of Record

Terry M Parsons, Engineer MO PE-2018010605

olsson

7301 West 133rd Street, Suite 200
Overland Park, KS 66213
TEL 913.381.1170
FAX 913.381.1174
www.olsson.com

Olsson
Missouri State Certificate of Authority #001592

Revision No. Description Date

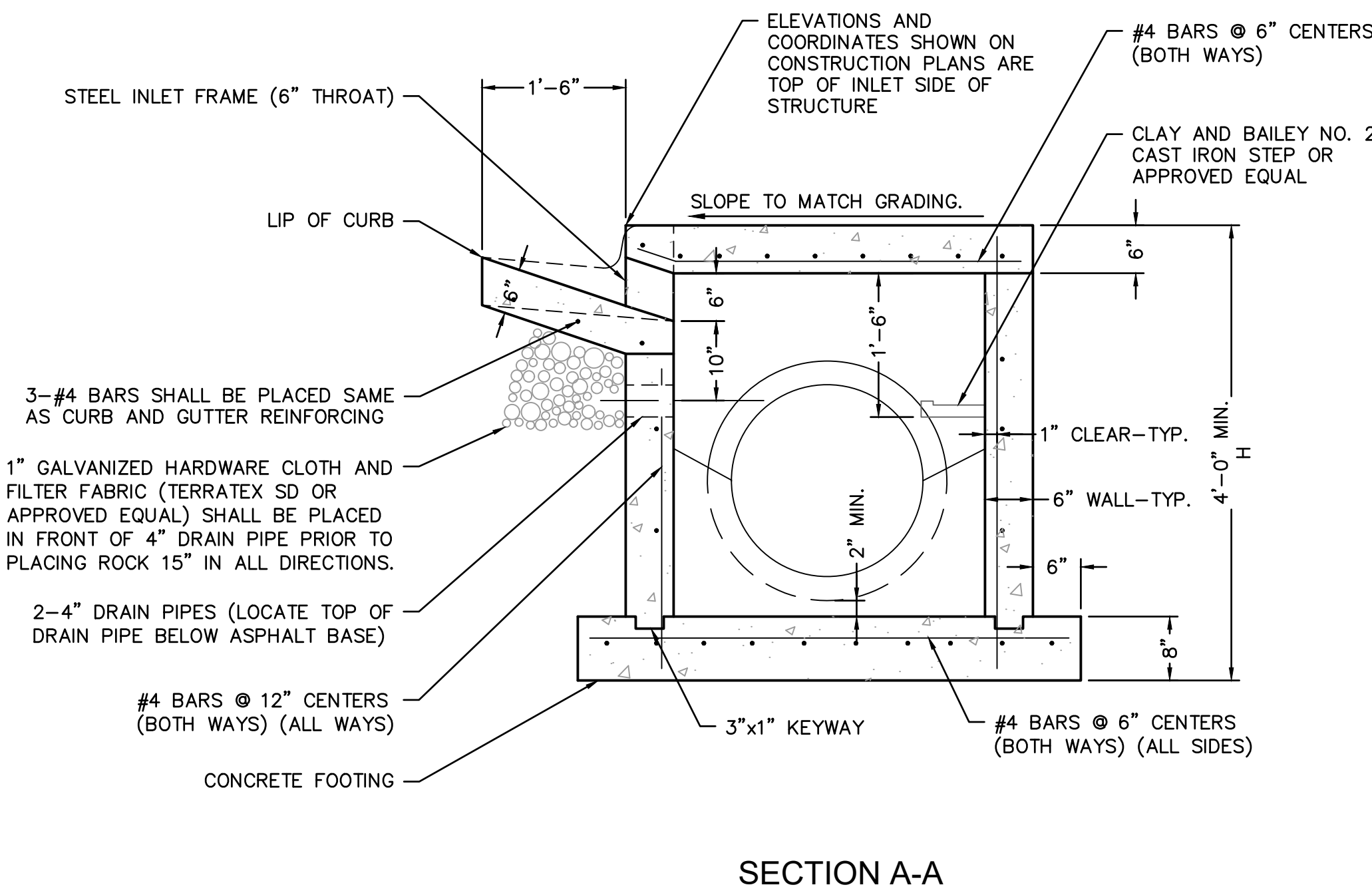
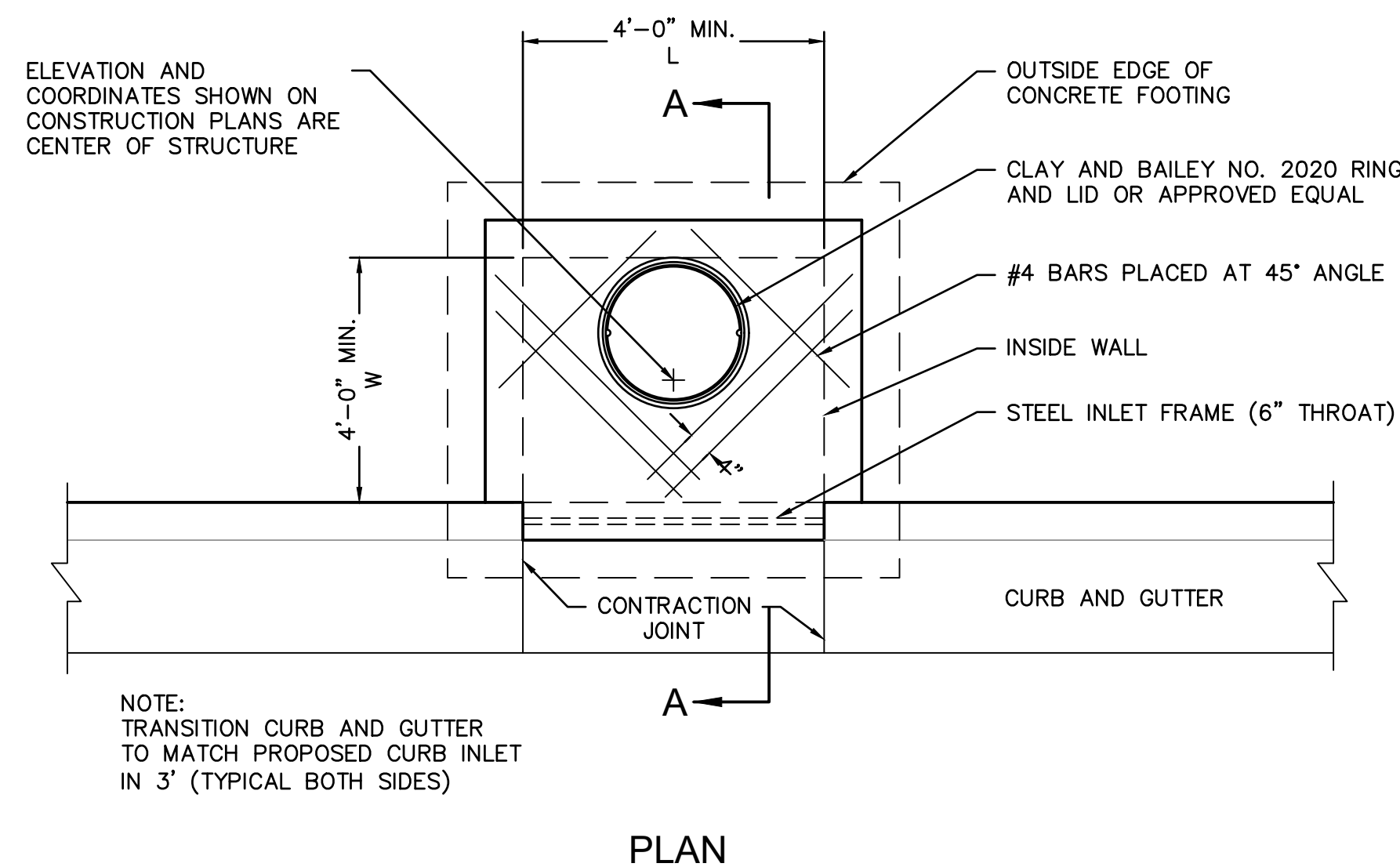
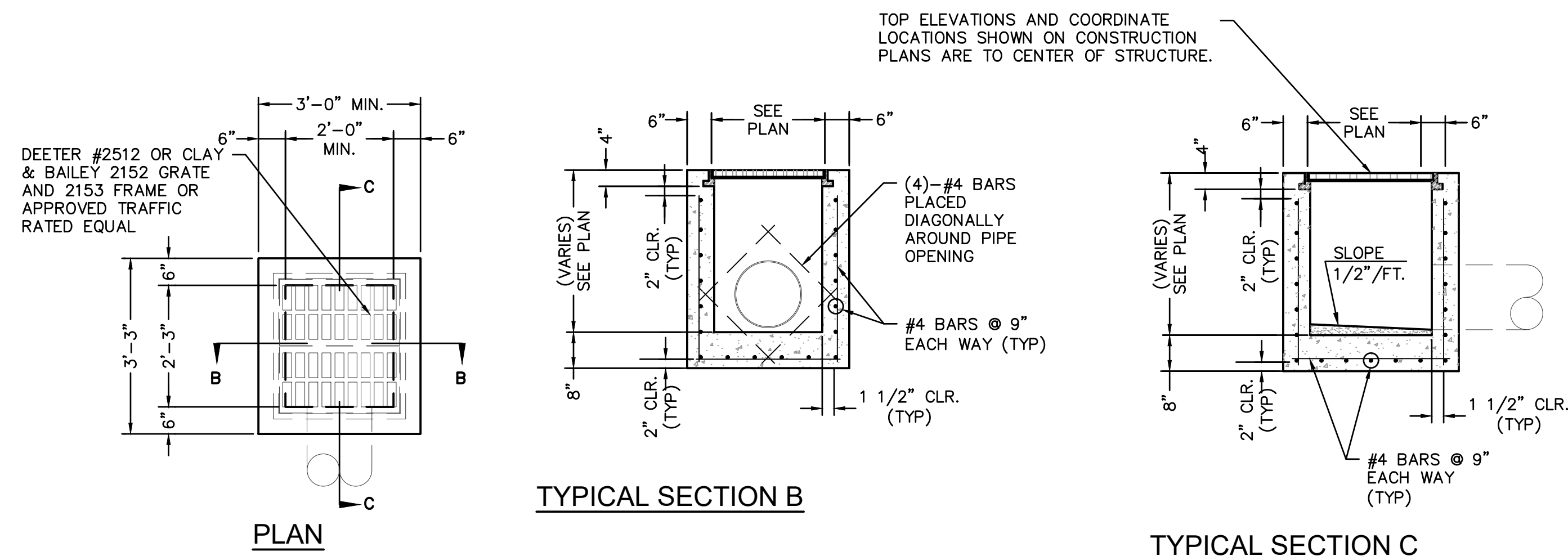
Project No. B18-0330 Date 10.12.2020 Drawn HMO

Drawing No.

C8.4

STANDARD DETAILS

© Copyright 2019 - Sapp Design Associates, Architects, P.C.



NON-SETBACK CURB INLET
NOT TO SCALE

NON-SETBACK CURB INLET NOTES

1. USE CITY APPROVED CONCRETE THROUGHOUT.
2. THE FIRST DIMENSION LISTED IN THE CONSTRUCTION NOTES IS THE "L" DIMENSION. THE SECOND DIMENSION IS THE "W" DIMENSION.
3. FLOOR OF INLET SHALL BE SHAPED TO PROVIDE SMOOTH FLOOR.
4. EXPANSION JOINTS SHALL BE EITHER HOT OR COLD POURED JOINT SEALING COMPOUND, OR PREMOLDED EXPANSION JOINT FILLER.
5. STEEL INLET FRAME SPACERS SHALL BE PLACED AT EQUAL SPACINGS NOT TO EXCEED 4'-0".
6. CAST IRON STEPS TO BE CLAY & BAILEY 2102 OR APPROVED EQUAL. STEEL CORE, PLASTIC COATED STEPS MAY BE USED (M.A. IND., INC. NO. PS1-PF, PS2-PF, OR APPROVED EQUAL). CAST IRON STEPS SHALL BE SPACED AT 1'-4" O.C. VERTICALLY.
7. BEVEL ALL EXPOSED EDGES WITH TRIANGULAR MOLDING.
8. ON-GRADE INLETS SHALL CONFORM TO THE STREET GRADE AND SUMP INLETS SHALL BE LEVEL.
9. ALL STORM SEWER STRUCTURES SHALL BE PRECAST. PRECAST SHOP DRAWINGS SHALL BE APPROVED BY THE DESIGN ENGINEER.
10. REINFORCING STEEL SHALL BE NEW BILLET, MINIMUM GRADE 40 AS PER ASTM A615, AND SHALL BE BENT COLD.
11. ALL DIMENSIONS RELATIVE TO REINFORCING STEEL ARE TO CENTERLINE OF BARS. 2" CLEARANCE SHALL BE PROVIDED THROUGHOUT UNLESS NOTED OTHERWISE. TOLERANCE OF $\pm 1/8"$ SHALL BE PERMITTED.
12. ALL LAP SPLICES NOT SHOWN SHALL BE A MINIMUM OF 40 BAR DIAMETERS IN LENGTH.
13. ALL DOWELS SHALL BE ACCURATELY PLACED AND SECURELY TIED IN PLACE PRIOR TO PLACEMENT OF BOTTOM SLAB CONCRETE. STICKING OF DOWELS INTO FRESH OR PARTIALLY HARDENED CONCRETE WILL NOT BE ACCEPTABLE.
14. ALL REINFORCING STEEL SHALL BE SUPPORTED ON FABRICATED STEEL BAR SUPPORTS @ 3'-0" MAXIMUM SPACING.
15. DO NOT SCALE THESE DRAWINGS FOR DIMENSIONS OR CLEARANCES. ANY QUESTIONS REGARDING DIMENSIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION.
16. THE BOTTOM SLAB SHALL BE AT LEAST 24 HOURS OLD BEFORE PLACING SIDEWALK CONCRETE. ALL SIDEWALK FORMS SHALL REMAIN IN PLACE A MINIMUM OF 24 HOURS AFTER SIDEWALKS ARE POURED BEFORE REMOVAL, AND AFTER REMOVAL SHALL BE IMMEDIATELY TREATED WITH MEMBRANE CURING COMPOUND.
17. ALL CURB INLET TOPS ARE TO BE CONSTRUCTED AFTER FINAL CURB STRING LINE HAS BEEN APPROVED BY THE ENGINEER AND PRIOR TO CURB CONSTRUCTION, OR AS DIRECTED BY THE CITY ENGINEER.
18. RCP CONNECTIONS TO PRECAST STRUCTURE SHALL MEET ALL CITY STANDARDS.
19. BACKFILL AROUND STRUCTURES SHALL BE COMPACTED AND SHALL BE OF THE MATERIAL SPECIFIED PER CITY STANDARDS.
20. NON-SETBACK CURB INLET TO BE USED ONLY WITH THE APPROVAL OF THE CITY ENGINEER.

NOTES

GENERAL

1. ALL STORM SEWER STRUCTURES SHALL BE PRECAST. PRECAST SHOP DRAWINGS SHALL BE APPROVED BY THE DESIGN ENGINEER.
2. PRE-CAST SHOP DRAWINGS ARE TO BE APPROVED BY THE CITY ENGINEER FOR PUBLICLY FINANCED OR ADMINISTERED PROJECTS. PRE-CAST SHOP DRAWINGS FOR PRIVATELY FINANCED PROJECTS ARE TO BE SUBMITTED TO THE ENGINEERING SERVICES DIVISION OF THE PLANNING AND DEVELOPMENT SERVICES DEPARTMENT.
3. DO NOT SCALE THESE DRAWINGS FOR DIMENSIONS OR CLEARANCES. ANY QUESTIONS REGARDING DIMENSIONS SHALL BE BROUGHT TO THE ATTENTION OF THE CITY ENGINEER PRIOR TO CONSTRUCTION.
4. THE FIRST DIMENSION LISTED IN THE CONSTRUCTION NOTES IS THE "L" DIMENSION. THE SECOND DIMENSION IS THE "W" DIMENSION. THE CONCRETE THICKNESS AND REINFORCEMENT SHOWN IS FOR BOXES WITH ("L"+"H") AND ("W"+"H") LESS THEN OR EQUAL TO 20. FOR BOXES WITH EITHER OF THESE CALCULATIONS GREATER THAN 20, A SPECIAL DESIGN IS REQUIRED.

CONCRETE

5. CONCRETE USED IN THIS WORK SHALL BE KOMMB4K, AS APPROVED BY THE KANSAS CITY METROPOLITAN MATERIALS BOARD, AND SHALL MEET THE REQUIREMENTS OF THE CITY MUNICIPAL CODE.
6. CONCRETE CONSTRUCTION SHALL MEET THE APPLICABLE REQUIREMENTS OF STANDARD SPECIFICATIONS FOR STATE ROAD AND BRIDGE CONSTRUCTION, KANSAS DEPARTMENT OF TRANSPORTATION, LATEST EDITION, EXCEPT AS MODIFIED IN THE CITY MUNICIPAL CODE.

7. INLET FLOORS SHALL BE SHAPED WITH NON-REINFORCED CONCRETE INVERTS TO PROVIDE SMOOTH FLOW.
8. BEVEL ALL EXPOSED EDGES WITH 3/4" TRIANGULAR MOLDING.

REINFORCING STEEL

9. REINFORCING STEEL SHALL BE NEW BILLET, MINIMUM GRADE 60 AS PER ASTM A615, AND SHALL BE BENT COLD.
10. ALL DIMENSIONS RELATIVE TO REINFORCING STEEL ARE TO CENTERLINE OF BARS. 2" CLEARANCE SHALL BE PROVIDED THROUGHOUT UNLESS NOTED OTHERWISE. TOLERANCE OF +/- 1/8" SHALL BE PERMITTED.
11. ALL LAP SPLICES NOT SHOWN SHALL BE A MINIMUM OF 40 BAR DIAMETERS IN LENGTH.
12. ALL REINFORCING STEEL SHALL BE SUPPORTED ON FABRICATED STEEL BAR SUPPORTS @ 3'-0" MAXIMUM SPACING.
13. ALL DOWELS SHALL BE ACCURATELY PLACED AND SECURELY TIED IN PLACE PRIOR TO PLACEMENT OF BOTTOM SLAB CONCRETE. STICKING OF DOWELS INTO FRESH OR PARTIALLY HARDENED CONCRETE WILL NOT BE ACCEPTABLE.

CONSTRUCTION

14. THE BOTTOM SLAB SHALL BE AT LEAST 24 HOURS OLD BEFORE PLACING SIDEWALL CONCRETE. ALL SIDEWALL FORMS SHALL REMAIN IN PLACE A MINIMUM OF 24 HOURS AFTER SIDEWALLS ARE POURED BEFORE REMOVAL, AND AFTER REMOVAL SHALL BE IMMEDIATELY TREATED WITH MEMBRANE CURING COMPOUND.
15. PIPE CONNECTIONS TO PRE-CAST STRUCTURES SHALL HAVE A MINIMUM OF 6" OF CONCRETE AROUND THE ENTIRE PIPE WITHIN 2' OF THE STRUCTURE.
16. MATERIAL SELECTION AND COMPACTION REQUIREMENTS FOR BACKFILL AROUND STRUCTURES SHALL BE AS SPECIFIED IN THE MANUAL OF INFRASTRUCTURE STANDARDS, AS PROMULGATED BY THE CITY ENGINEER.

