

**SPECIAL NOTICES**

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Mid-Continent Public Library  
RENOVATIONS TO  
**LEE'S SUMMIT BRANCH**  
150 NW OLDHAM PARKWAY  
Lee's Summit, Missouri 64081  
Jackson County

PDP SUBMITTAL  
PACKAGE  
**15**

**ochsner hare + hare**  
the **olsson studio**

Ochsner Hare & Hare  
Missouri State Certificate of Authority #2005000285  
Revision No. Description Date

Project No. 016-1023 Date 01/22/2021 Drawn LS/ITG

Drawing No.

**L100**  
LANDSCAPE  
DEMOLITION PLAN

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**LANDSCAPE DEMOLITION  
GENERAL NOTES:**

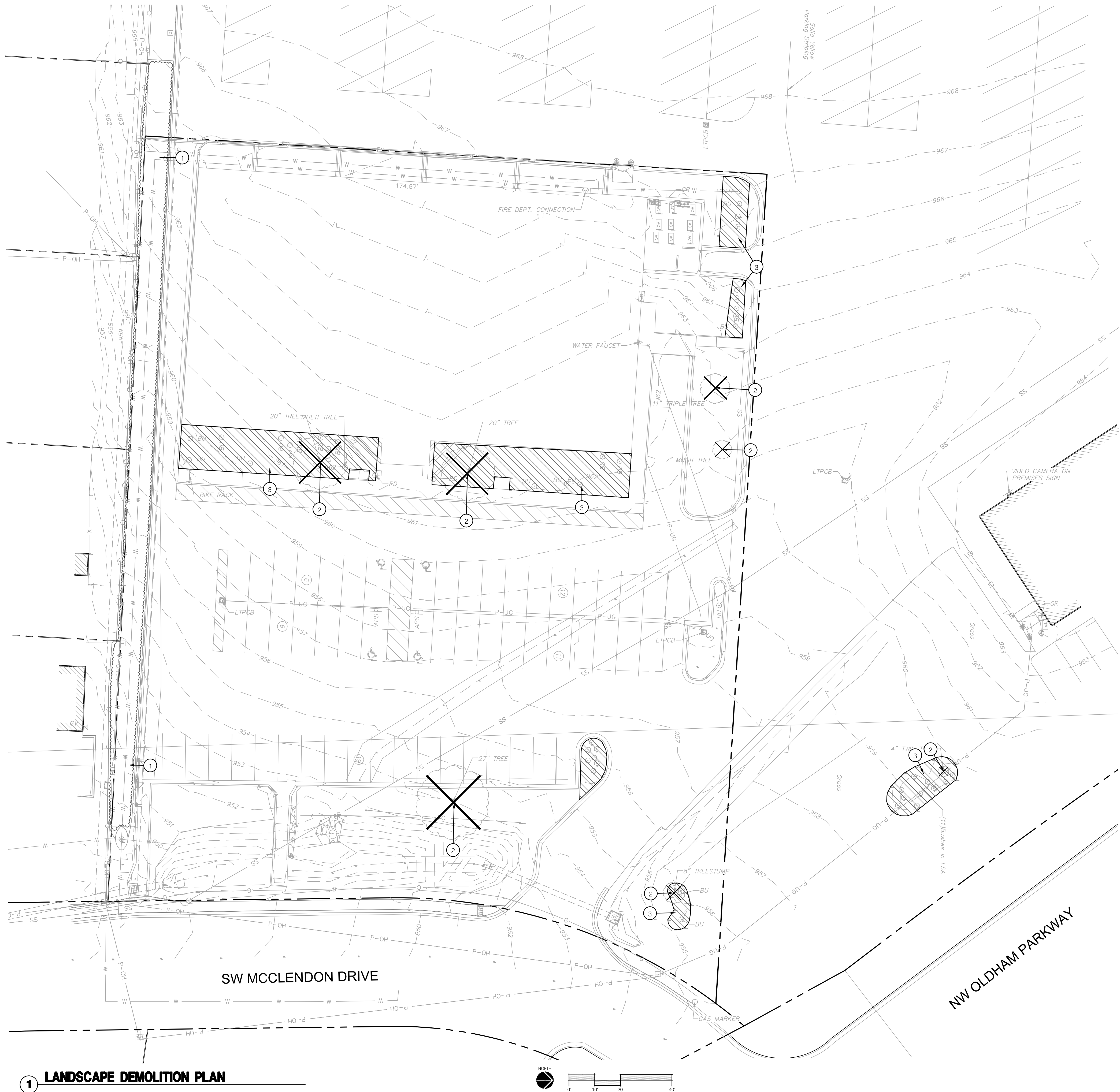
1. CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION OF EXISTING FEATURES WITHIN THE LIMITS OUTLINE, INCLUDING BUT NOT LIMITED TO TREES, UNDERSTORY BRUSH, TURF LAWN, TRASH, ETC., UNLESS OTHERWISE NOTED.
2. ALL MATERIAL NOTED FOR DEMOLITION AND REMOVAL SHALL BE REMOVED, LEGALLY, OFF SITE BY THE CONTRACTOR AND DISPOSED OF AT LOCATIONS ACCEPTABLE TO THE OWNER AND GOVERNING AGENCIES.
3. PRIOR TO COMMENCING DEMOLITION WORK, THE CONTRACTOR SHALL VERIFY WITH UTILITY COMPANIES, THE LOCATION OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL PROTECT ALL UTILITIES TO REMAIN IN SERVICE DURING DEMOLITION AND CONSTRUCTION. THE CONTRACTOR SHALL COORDINATE THE RELOCATION OF ANY AND ALL UTILITIES AS REQUIRED BY THIS CONSTRUCTION.
4. CONTRACTOR SHALL PROTECT EXISTING STORM DRAINAGE STRUCTURES FROM SILTATION DURING CONSTRUCTION. CONTRACTOR SHALL PROVIDE FOR CONTROL OF SURFACE EROSION DURING CONSTRUCTION AND UNTIL THE OWNER ACCEPTS THE WORK AS COMPLETE. THE CONTRACTOR SHALL PROVIDE BERMS, SILT FENCE, STRAW BALES OR OTHER MEANS TO PREVENT SEDIMENT FROM REACHING THE PUBLIC RIGHT-OF-WAY, OR ADJACENT PROPERTY, IN THE EVENT THE RETENTION MEASURES ARE NOT EFFECTIVE, THE CONTRACTOR SHALL REMOVE ANY DEBRIS AND SEDIMENT AND RESTORE THE RIGHT-OF-WAY AND ADJACENT PROPERTY TO ORIGINAL OR BETTER CONDITION.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ALL REQUIRED PERMITS TO COMPLETE SCOPE OF WORK.
6. TREES TO BE REMOVED SHALL BE CUT DOWN, DEMOLISHED AND REMOVED FROM THE SITE. ALL BRUSH AND TREES SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LEGAL MANNER APPROVED BY OWNER.
7. CONTRACTOR SHALL REMOVE STUMPS BY GRINDING STUMPS AND REMOVING ROOTS, OBSTRUCTIONS AND DEBRIS EXTENDING TO A DEPTH OF 18" BELOW EXPOSED SUBGRADE.
8. DEBRIS SHALL NOT BE ALLOWED TO ACCUMULATE AND SHALL BE REMOVED AT FREQUENT INTERVALS. AT COMPLETION OF WORK IN EACH AREA, THE CONTRACTOR SHALL GATHER AND REMOVE ALL DEBRIS, EQUIPMENT, AND EXCESS MATERIAL FROM THAT AREA. AT FINAL COMPLETION OF ALL WORK HE SHALL REMOVE ALL SUCH ITEMS FROM THE PREMISES.

**LANDSCAPE DEMOLITION LEGEND:**

- RIGHT OF WAY / PROPERTY LINE
- ⊗ EXISTING TREE TO BE REMOVED
- ▨ LIMITS OF GROUND VEGETATION REMOVAL

**LANDSCAPE DEMOLITION PLAN NOTES:**

- ① EXISTING SHRUBS TO REMAIN
- ② EXISTING TREE TO BE CLEAR, GRUBBED, AND REMOVED
- ③ CLEAR, GRUB AND REMOVE GROUND VEGETATION TO LIMITS INDICATED AS THUS ON PLAN.



**1 LANDSCAPE DEMOLITION PLAN**

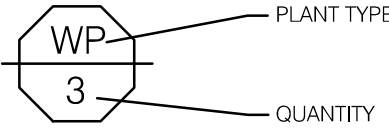
2021024  
PDP RESUBMITTAL FEB 23, 2021  
(NO REVISIONS TO THESE SHEETS)





LANDSCAPE GENERAL NOTES:

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5. LOCATION AND PLACEMENT OF ALL PLANT MATERIAL SHALL BE COORDINATED WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
6. THE LANDSCAPE PLANTING PLAN GRAPHICALLY ILLUSTRATES OVERALL PLANT MASSINGS. EACH PLANT SPECIES SHALL BE PLACED IN THE FIELD TO UTILIZE THE GREATEST COVERAGE OF THE GROUND PLANE. THE FOLLOWING APPLIES FOR INDIVIDUAL PLANTINGS:
  - ALL EVERGREEN SHRUBS AND CREEPING GROUNDCOVERS SHALL BE MINIMUM OF 2' FROM ANY PAVING EDGE.
  - ALL PLANTS OF THE SAME SPECIES SHALL BE EQUALLY SPACED AND SITED FOR THE BEST AESTHETIC VIEWING.
  - ALL TREES, EVERGREEN OR DECIDUOUS, SHALL BE A MINIMUM OF 4' FROM ANY PAVING EDGE.
7. ANY SUBSTITUTION OF SPECIFIED PLANT MATERIAL WILL NOT BE ALLOWED WITHOUT WRITTEN AUTHORIZATION FROM LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
8. MULCH ALL PLANTING AREAS TO A DEPTH OF 3" DEPTH ACCORDING TO PLANS AND SPECIFICATIONS. SAMPLES SHALL BE APPROVED BY LANDSCAPE ARCHITECT.
9. ALL PLANT MATERIAL WILL BE HEALTHY, VIGOROUS AND FREE OF DISEASE AND INSECTS PER AAN STANDARDS. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY INFERIOR OR OTHERWISE UNSUITABLE PLANT MATERIAL PROPOSED FOR USE ON THE PROJECT.
10. ALL PLANTING BEDS NOT FULLY CONTAINED BY CONCRETE CURBS OR WALKS SHALL BE EDGED ACCORDING TO PLANS AND SPECIFICATIONS.
11. PLANTS AND LANDSCAPE MATERIALS SHALL BE INSTALLED AS DETAILED ON PLANS.
12. PLANT BACKFILL FOR TREES AND SHRUBS SHALL BE PER SPECIFICATIONS.
13. ALL PLANTING BEDS SHALL BE TREATED WITH DACTHAL PRE-EMERGENT HERBICIDE AT MANUFACTURER RECOMMENDED RATES AND SHALL BE COVERED WITH SPECIFIED MULCH APPLICATION. APPLY LIGHTER APPLICATION OF DACTHAL HERBICIDE TO TOP OF MULCH LAYER.
14. ALL AREAS DISTURBED DURING CONSTRUCTION THAT ARE NOT DESIGNATED AS PLANTING BEDS OR PAVEMENT AREAS SHALL BE SEEDED WITH A TURF TYPE TALL FESCUE PER SPECIFICATIONS.
15. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR AFTER OWNER'S FINAL ACCEPTANCE OF FINISHED JOB. ALL DEAD AND DAMAGED PLANT MATERIAL SHALL BE REPLACED BY LANDSCAPE CONTRACTOR AT THEIR EXPENSE. LANDSCAPE CONTRACTOR SHALL MAINTAIN PLANT MATERIAL UNTIL FINAL ACCEPTANCE.
16. ALL LANDSCAPE BEDS SHALL BE MOUNDED AS SHOWN ON PLANS AND DETAILS.
17. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ACTUAL PLANT QUANTITIES REQUIRED TO COMPLETE THE PROJECT AS SHOWN ON THE PLANS, AND BASE THEIR BID ACCORDINGLY.
18. PLANT KEY DESCRIPTION.



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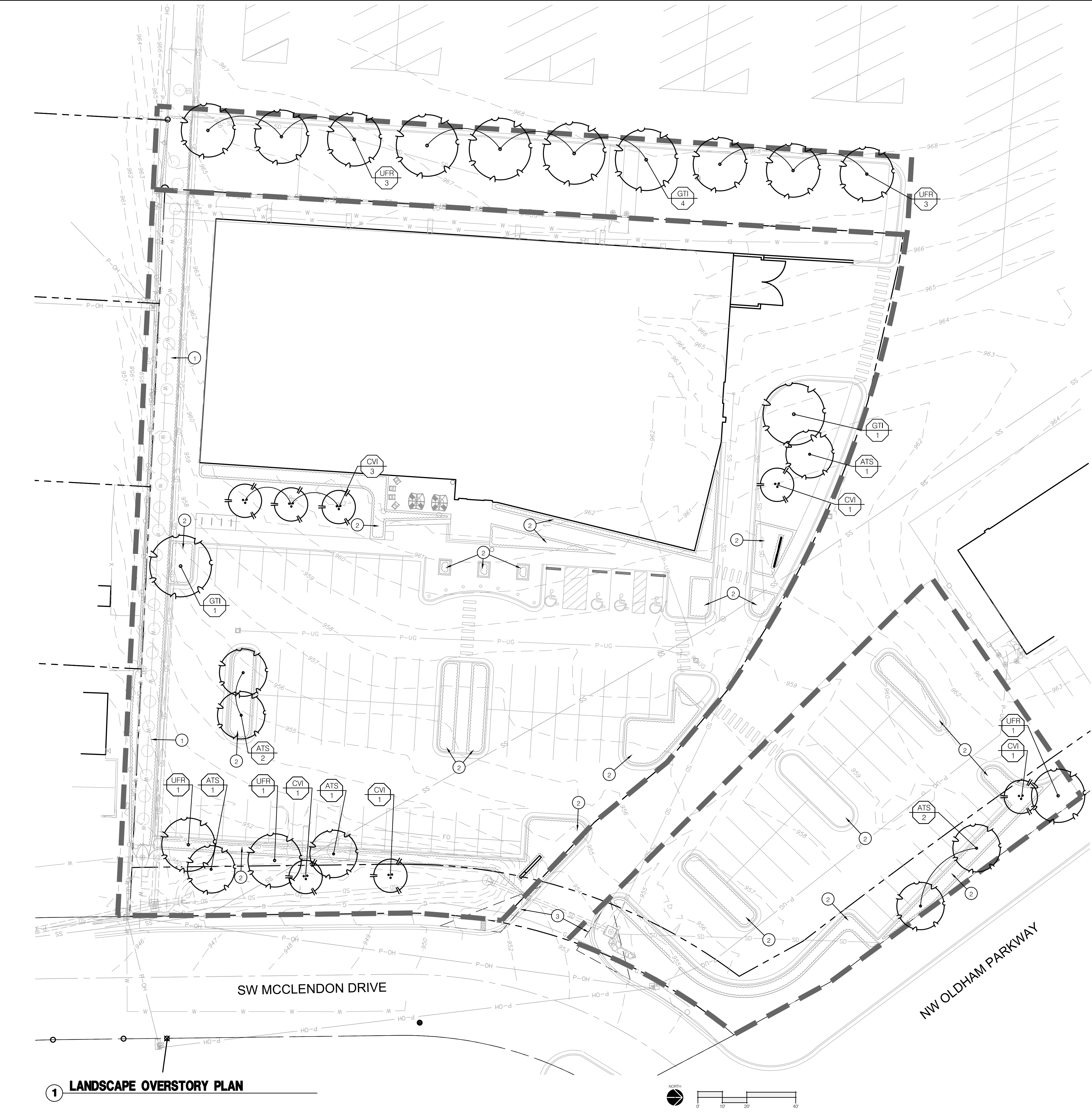
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Drawing No.

L500  
LANDSCAPE  
OVERALL PLAN

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**LANDSCAPE LEGEND:**

- RIGHT OF WAY / PROPERTY LINE
- OVERSTORY TREES
- ORNAMENTAL TREES

**LANDSCAPE PLAN NOTES:**

- ① EXISTING BUFFER PLANTING BED TO REMAIN
- ② PLANTING BED & HARDWOOD MULCH; REF: LANDSCAPE GENERAL NOTES, LANDSCAPE DETAILS & SPECIFICATIONS
- ③ SIGHT DISTANCE TRIANGLES

**PLANT SCHEDULE**

DECIDUOUS TREES	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
ATS	ACER TRIUNCATUM	SHANTUNG MAPLE	3" CAL	B&B
GTI	GLEDITSIA TRIACANTHOS F. INERMIS 'SKYCOLE'	SKYLINE HONEY LOCUST	3" CAL	B&B
UFR	ULMUS X FRONTIER	FRONTIER ELM	3" CAL	B&B
ORNAMENTAL TREES	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
CVI	CHIONANTHUS VIRGINICUS	WHITE FRINGETREE	3" CAL	B&B

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**L501**  
LANDSCAPE  
OVERSTORY PLAN

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**1 LANDSCAPE OVERSTORY PLAN**



MCPL PROPERTY OVERSTORY LANDSCAPE REQUIREMENTS

MCPL PROPERTY LANDSCAPING AND SCREENING REQUIREMENTS		REQUIRED PLANTS	SHOWN PLANTS
	LEE'S SUMMIT, MISSOURI		
	CODE OF ORDINANCES: DIVISION III - LANDSCAPING, BUFFERS AND TREE PROTECTION		
	SITE ZONED: CP-2 & 2300 - PUBLIC USE-MISC.		
	BUILDING SF: 22,865 SQ FT		
	TOTAL # OF OLD PARKING SPACES: 54 SPACES		
	TOTAL # OF NEW PARKING SPACES (MCPL): 6 SPACES		
	STREET FRONTAGE (SW MCCLENDON DR): 155 LF		
	TOTAL PROPERTY (MCPL): 1.72 ACRES (74,899 SQ FT)		
	STREET TREES MUST COMPLY WITH THE MINIMUM SIZE REQUIREMENTS		
PARKING LOT LANDSCAPE			
Sec. 8.810.	LANDSCAPE ISLANDS, STRIPS AND PLANTING AREA SHALL CONSTITUTE AT LEAST FIVE PERCENT (5%) OF THE ENTIRE AREA DEVOTED TO PARKING		
	TREE PLANTING AREAS SHALL BE NO LESS THAN TEN FEET IN WIDTH		
	NO TREE SHALL BE LOCATED LESS THAN FOUR FEET FROM THE BACK OF CURB		
	TOTAL PARKING LOT AREA = 22,328.89 SQ FT		
	22,328.89 x .05 = 1,116.44 SQ FT	1,116.44 SQ FT	2,844.57 SQ FT
STREET FRONTAGE TREES			
Sec. 8.790. & Sec. 8.800.	1 TREE PER 30 FEET OF STREET FRONTAGE		
	TOTAL STREET FRONTAGE = 155 FT		
	155 / 30 = 5.16 TREES	6 TREES	6 TREES
OPEN YARD TREES			
Sec. 8.790.	1 TREE PER 5,000 SF OF TOTAL LOT AREA EXCLUDING BUILDING FOOTPRINT (IN ADDITION TO STREET TREES)		
	TOTAL LOT AREA (74,899) MINUS SF OF BUILDING FOOTPRINT (22,865)= 52,034 SQ FT		
	52,034 / 5,000 = 10.41 TREES	11 TREES	11 TREES
SCREENING ON TRASH STORAGE CONTAINERS			
Sec. 8.790.	A DETAILED DRAWING OF ENCLOSURE AND SCREENING METHODS TO BE USED IN CONNECTION WITH TRASH STORAGE CONTAINERS ON THE PROPERTY SHALL BE INCLUDED WITH THE LANDSCAPING PLAN.	SEE SHEET C8.1	
LANDSCAPE TOTALS		17 TREES	17 TREES
		1,116.44 SQ FT	2,844.57 SQ FT

SUMMIT SHOPPING CENTER PROPERTY OVERSTORY LANDSCAPE REQUIREMENTS

SUMMIT SHOPPING CENTER PROPERTY LANDSCAPING AND SCREENING REQUIREMENTS		REQUIRED PLANTS	SHOWN PLANTS
	LEE'S SUMMIT, MISSOURI		
	CODE OF ORDINANCES: DIVISION III - LANDSCAPING, BUFFERS AND TREE PROTECTION		
	SITE ZONED: CP-2 & 2300 - PUBLIC USE-MISC.		
	TOTAL # OF NEW PARKING SPACES (SSCP): 28 SPACES		
	STREET FRONTAGE (NW OLDHAM PKWY) 237 LF		
	TOTAL PROPERTY (SSCP): .63 ACRES (27,652 SQ FT)		
	STREET TREES MUST COMPLY WITH THE MINIMUM SIZE REQUIREMENTS		
PARKING LOT LANDSCAPE			
Sec. 8.810.	LANDSCAPE ISLANDS, STRIPS AND PLANTING AREA SHALL CONSTITUTE AT LEAST FIVE PERCENT (5%) OF THE ENTIRE AREA DEVOTED TO PARKING		
	TREE PLANTING AREAS SHALL BE NO LESS THAN TEN FEET IN WIDTH		
	NO TREE SHALL BE LOCATED LESS THAN FOUR FEET FROM THE BACK OF CURB		
	TOTAL PARKING LOT AREA = 14,102.76 SQ FT		
	14,102.76 x .05 = 705.138 SQ FT	705.138 SQ FT	2,009.15 SQ FT
STREET FRONTAGE TREES			
Sec. 8.790. & Sec. 8.800.	1 TREE PER 30 FEET OF STREET FRONTAGE		
	TOTAL STREET FRONTAGE = 237 FT		
	237 / 30 = 7.9 TREES	8 TREES	8 TREES
OPEN YARD TREES			
Sec. 8.790.	1 TREE PER 5,000 SF OF TOTAL LOT AREA EXCLUDING BUILDING FOOTPRINT (IN ADDITION TO STREET TREES)		
	TOTAL LOT AREA (27,652) MINUS SF OF BUILDING FOOTPRINT (0)= 27,652 SQ FT		
	27,652 / 5,000 = 5.5 TREES	6 TREES	6 TREES
SCREENING ON TRASH STORAGE CONTAINERS			
Sec. 8.790.	A DETAILED DRAWING OF ENCLOSRE AND SCREENING METHODS TO BE USED IN CONNECTION WITH TRASH STORAGE CONTAINERS ON THE PROPERTY SHALL BE INCLUDED WITH THE LANDSCAPING PLAN.	SEE SHEET C8.1	
LANDSCAPE TOTALS		14 TREES	14 TREES
		705.138 SQ FT	2,009.15 SQ FT

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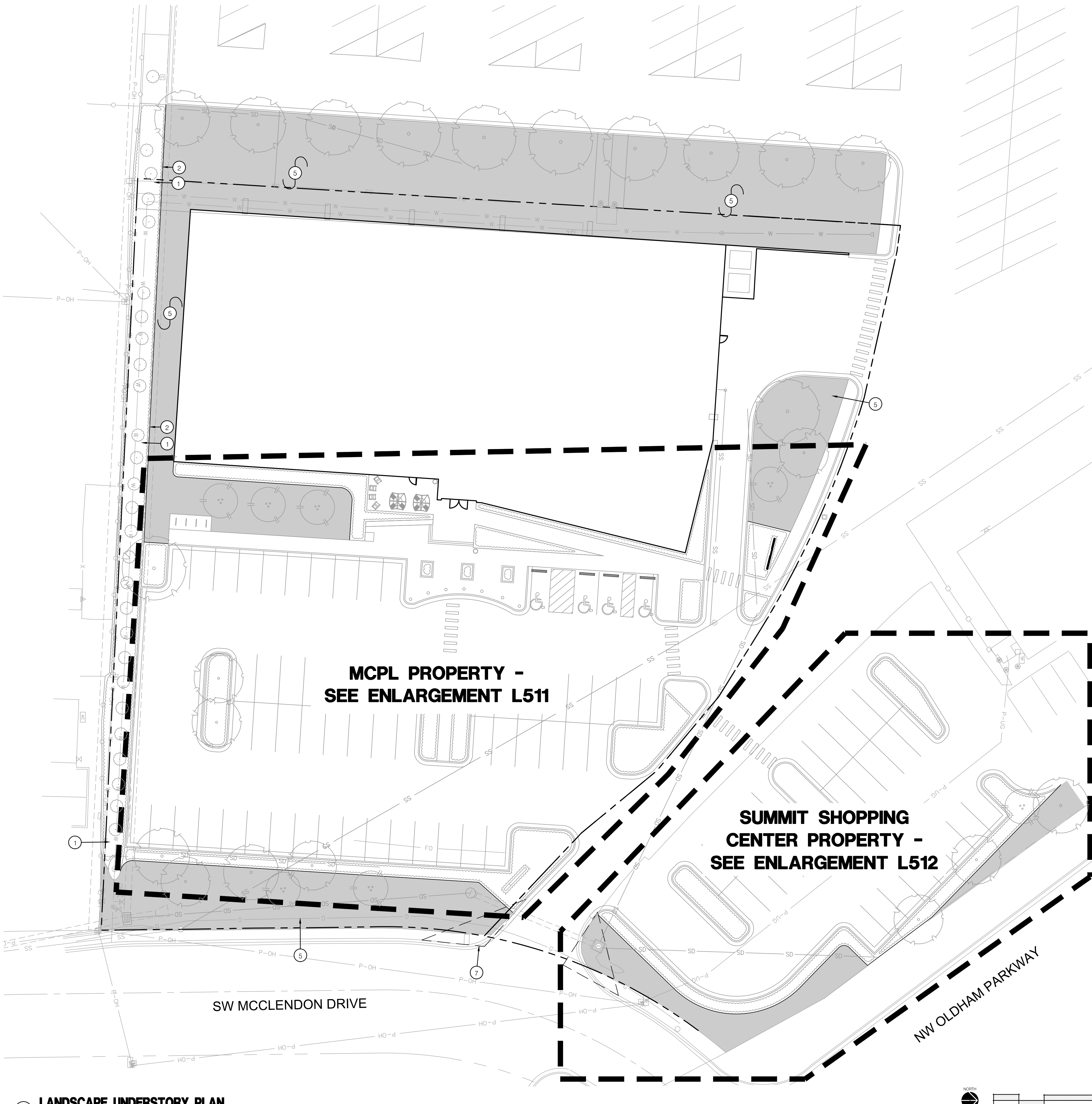
Drawing No.

L502

OVERSTORY LANDSCAPE  
REQUIREMENTS

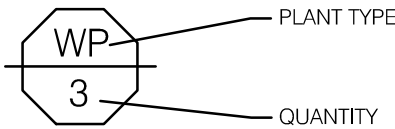
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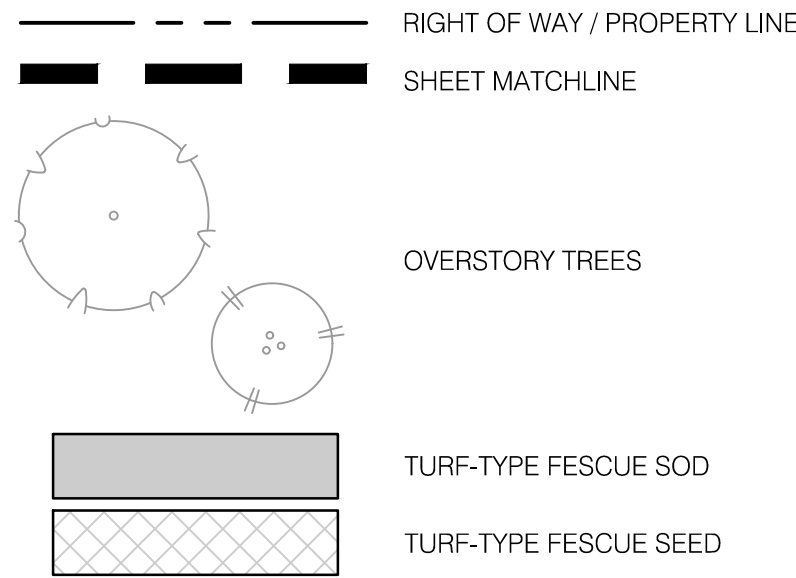


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18. PLANT KEY DESCRIPTION.



LANDSCAPE UNDERSTORY LEGEND:



LANDSCAPE PLAN NOTES:

- 1 EXISTING BUFFER PLANTING BED TO REMAIN
- 2 INSTALL STEEL BED EDGE; REF: 4/L590
- 3 INSTALL CURB BED EDGE; REF: 5/L590
- 4 AREA TO BE SEEDED WITH TURF-TYPE FESCUE SEED; REF: SPECIFICATIONS
- 5 AREA TO BE SODDED WITH TURF-TYPE FESCUE SOD; REF: SPECIFICATIONS
- 6 PLANTING BED & HARDWOOD MULCH; REF: LANDSCAPE GENERAL NOTES, LANDSCAPE DETAILS & SPECIFICATIONS
- 7 SIGHT DISTANCE TRIANGLES

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Lee's Summit, Missouri 64081  
Jackson County

PDP SUBMITTAL  
PACKAGE  
15

ochsner hare + hare  
the olsson studio

Ochsner Hare & Hare  
Missouri State Certificate of Authority #2005000285  
Revision No. Description Date

Project No. 016-1023 Date 01/22/2021 Drawn LS/ITG

Drawing No.

L510  
LANDSCAPE UNDERSTORY  
PLAN

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1 LANDSCAPE UNDERSTORY PLAN



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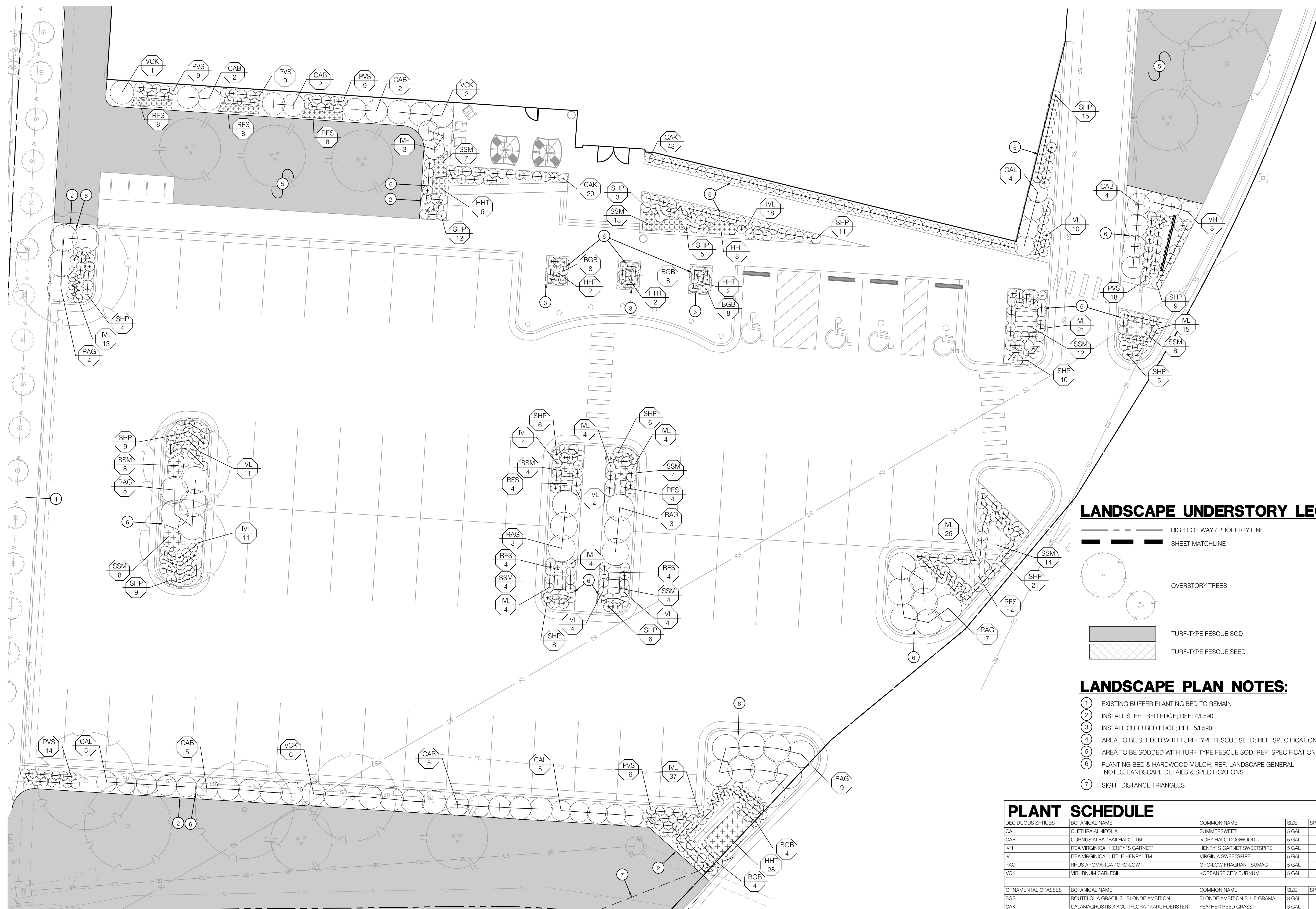
Ochsner Hare & Hare		
Missouri State Certificate of Authority #2005000285		
Revision No.	Description	Date

Project No.	Date	Drawn
016-1023	01/22/2021	LS/TG

DATE	PROJECT	SCALE
Drawing No.		

**L511**  
LANDSCAPE UNDERSTORY  
PLAN

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## PLANT SCHEDULE

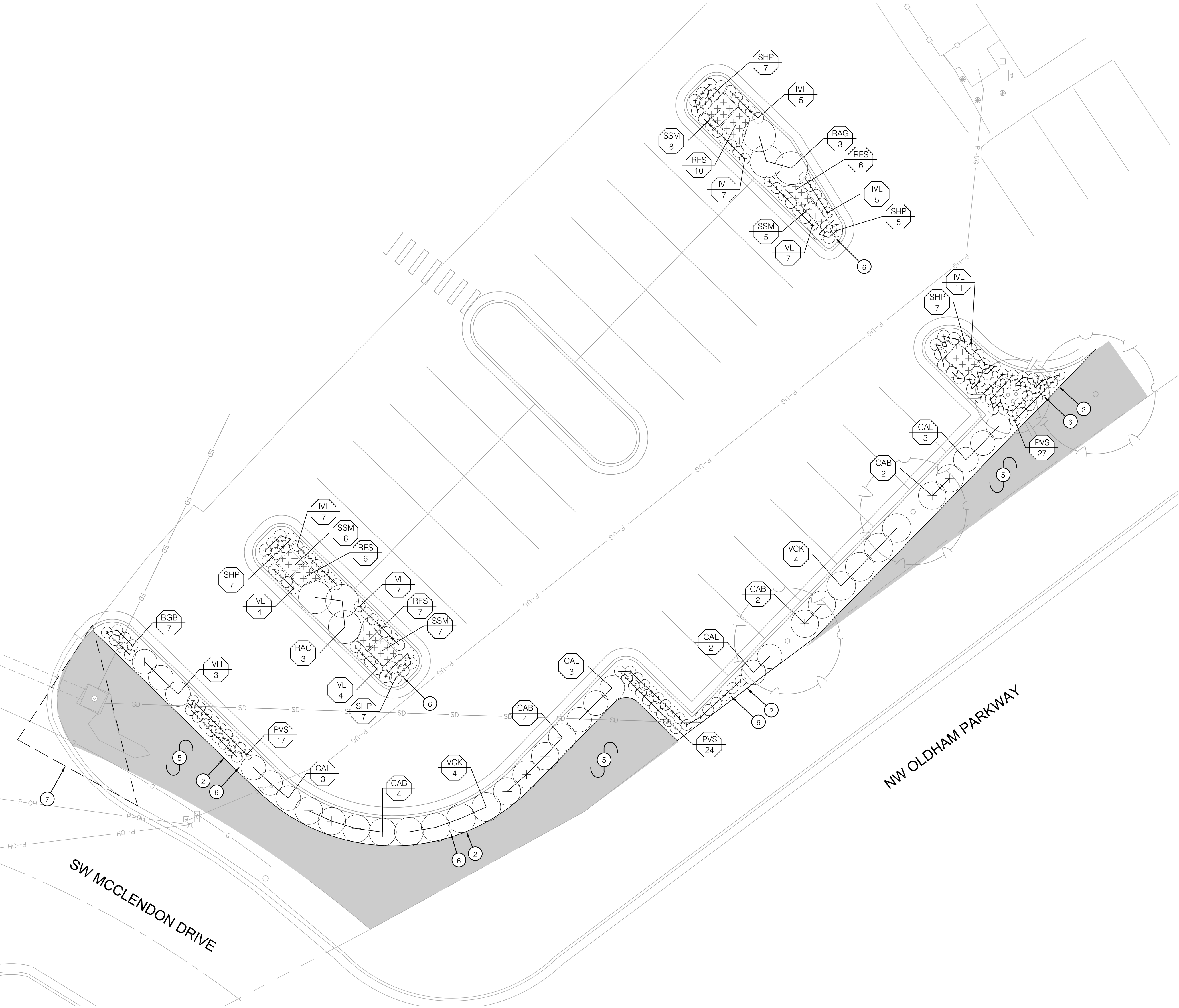
PLANT CONSOLE				
DECIDUOUS SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
CAL	CLETHRA ALNIFOLIA	SUMMERSWEET	5 GAL	
CAB	CORNUS ALBA 'BAIHALO' TM	IVORY HALO DOGWOOD	5 GAL	
IVH	ITEA VIRGINICA 'HENRY'S GARNET'	HENRY'S GARNET SWEETSPIRE	5 GAL	
IVL	ITEA VIRGINICA 'LITTLE HENRY' TM	VIRGINIA SWEETSPIRE	5 GAL	
RAG	RHUS AROMATICA 'GRO-LOW'	GRO-LOW FRAGRANT SUMAC	5 GAL	
VCK	VIBURNUM CARLESII	KOREANSPICE VIBURNUM	5 GAL	

ORNAMENTAL GRASSES	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
BGB	BOUTELLOUA GRACILIS 'BLONDE AMBITION'	BLONDE AMBITION BLUE GRAMA	3 GAL	
CAK	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS	3 GAL	
PVS	PANICUM VIRGATUM 'SHENANDOAH'	SHENANDOAH SWITCH GRASS	3 GAL	
SHP	SPOROBOLUS HETEROLEPIS	PRAIRIE DROPSIDE	3 GAL	

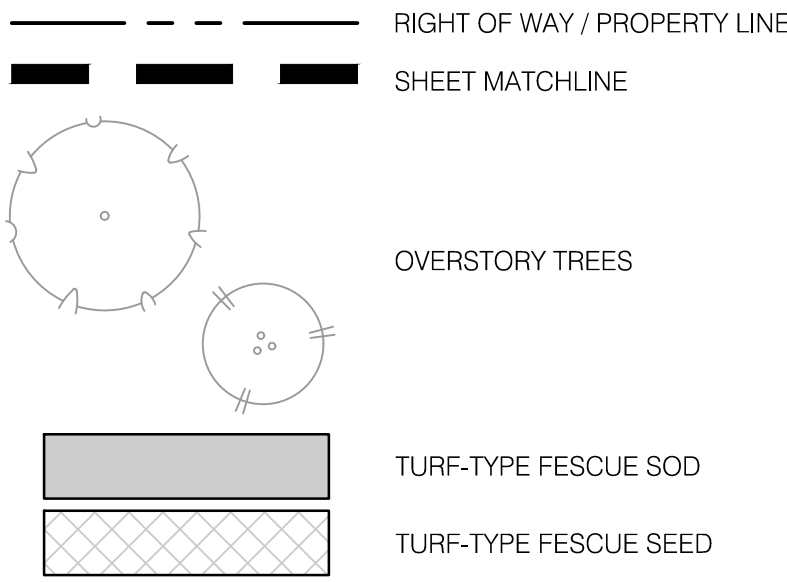
PERENNIALS	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
HHT	HELIOPSIS HELIANTHOIDES "TUSCAN SUN"	TUSCAN SUN FALSE SUNFLOWER	1 GAL	18" o.c.
RFS	RUDBECKIA FULGIDA SPECIOSA "GOLDSTRUM"	GOLDSTRUM BLACK-EYED SUSAN	1 GAL	18" o.c.
SSM	SALVIA X SYLVESTRIS "MAINACHT"	MAY NIGHT SAGE	1 GAL	18" o.c.

2021024  
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LANDSCAPE UNDERSTORY LEGEND:



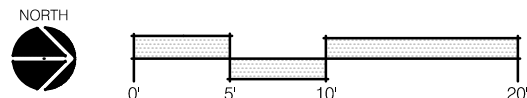
LANDSCAPE PLAN NOTES:

- EXISTING BUFFER PLANTING BED TO REMAIN
- INSTALL STEEL BED EDGE; REF: 4/L590
- INSTALL CURB BED EDGE; REF: 5/L590
- AREA TO BE SEEDED WITH TURF-TYPE FESCUE SEED; REF: SPECIFICATIONS
- AREA TO BE SODDED WITH TURF-TYPE FESCUE SOD; REF: SPECIFICATIONS
- PLANTING BED & HARDWOOD MULCH; REF: LANDSCAPE GENERAL NOTES, LANDSCAPE DETAILS & SPECIFICATIONS
- SIGHT DISTANCE TRIANGLES

PLANT SCHEDULE

DECIDUOUS SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
CAL	CLETHRA ALNIFOLIA	SUMMERSWEET	5 GAL	
CAB	CORNUS ALBA 'BAULHALO'™	IVORY HALO DOGWOOD	5 GAL	
IVH	ITEA VIRGINICA 'HENRY'S GARNET'™	HENRY'S GARNET SWEETSPIRE	5 GAL	
IVL	ITEA VIRGINICA 'LITTLE HENRY'™	VIRGINIA SWEETSPIRE	5 GAL	
RAG	RHUS AROMATICA 'GRO-LOW'	GRO-LOW FRAGRANT SUMAC	5 GAL	
VCK	VIBURNUM CARLESI	KOREANSPICE VIBURNUM	5 GAL	
ORNAMENTAL GRASSES	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
BGB	BOUTELOUA GRACILIS 'BLONDE AMBITION'	BLONDE AMBITION BLUE GRAMA	3 GAL	
CAK	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS	3 GAL	
PVS	PANICUM VIRGATUM 'SHENANDOAH'	SHENANDOAH SWITCH GRASS	3 GAL	
SHP	SPOROBOLUS HETEROLEPIS	PRAIRIE DROPSEED	3 GAL	
PERENNIALS	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
HHT	HELIOPSIS HELIANTHOIDES 'TUSCAN SUN'	TUSCAN SUN FALSE SUNFLOWER	1 GAL	18" o.c.
RFS	RUDEBECKIA FULGIDA SPECIOSA 'GOLDSTRUM'	GOLDSTRUM BLACK-EYED SUSAN	1 GAL	18" o.c.
SSM	SALVIA X SYLVESTRIS 'MAINACHT'	MAY NIGHT SAGE	1 GAL	18" o.c.

1 LANDSCAPE UNDERSTORY PLAN



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SAPP  
DESIGN  
ARCHITECTS

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1629 Walnut  
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Drawing No.

L512  
LANDSCAPE UNDERSTORY  
PLAN

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MCPL PROPERTY UNDERSTORY LANDSCAPE REQUIREMENTS

MCPL PROPERTY LANDSCAPING AND SCREENING REQUIREMENTS		REQUIRED PLANTS	SHOWN PLANTS
	LEE'S SUMMIT, MISSOURI		
	CODE OF ORDINANCES: DIVISION III - LANDSCAPING, BUFFERS AND TREE PROTECTION		
	SITE ZONED: CP-2 & 2300 - PUBLIC USE-MISC.		
	BUILDING SF: 22,865 SQ FT		
	TOTAL # OF OLD PARKING SPACES: 54 SPACES		
	TOTAL # OF NEW PARKING SPACES (MCPL): 6 SPACES		
	STREET FRONTAGE (SW MCCLENDON DR): 155 LF		
	TOTAL PROPERTY (MCPL): 1.72 ACRES (74,899 SQ FT)		
PARKING LOT SCREENING			
Sec. 8.820.	A HEDGE CONSISTING OF AT LEAST 12 SHRUBS PER 40 LINEAR FEET THAT WILL SPREAD INTO A CONTINUOUS VISUAL SCREEN		
	TOTAL STREET FRONTAGE = 155 FT		
	155 / 40 = 3.9 FT		
	3.9 x 12 = 46.5 SHRUBS	47 SHRUBS	73 SHRUBS
STREET FRONTAGE SHRUB			
Sec. 8.790. & Sec. 8.800.	1 SHRUB PER 20 FEET OF STREET FRONTAGE		
	TOTAL STREET FRONTAGE = 155 FT		
	155 / 20 = 7.75 SHRUBS	8 SHRUBS	37 SHRUBS
	A MINIMUM 20-FOOT-WIDE LANDSCAPE STRIP SHALL BE PROVIDED ALONG THE FULL LENGTH OF ANY STREET FRONTAGE, EXCEPT WHERE THE BUILDING SETBACK IS LESS THAN 20 FEET.		
OPEN YARD SHRUB			
Sec. 8.790.	2 SHRUBS PER 5,000 SF OF TOTAL LOT AREA EXCLUDING BUILDING FOOTPRINT		
	TOTAL LOT AREA (74,899) MINUS SF OF BUILDING FOOTPRINT (22,865)= 52,034 SQ FT		
	52,034 / 5,000 = 10.41 x 2 = 20.81 SHRUBS	21 SHRUBS	472 SHRUBS
	OPEN AREAS NOT COVERED WITH OTHER MATERIALS SHALL BE COVERED WITH SOD.		
SCREENING ON TRASH STORAGE CONTAINERS			
Sec. 8.790.	A DETAILED DRAWING OF ENCLOSRE AND SCREENING METHODS TO BE USED IN CONNECTION WITH TRASH STORAGE CONTAINERS ON THE PROPERTY SHALL BE INCLUDED WITH THE LANDSCAPING PLAN.	SEE SHEET C8.1	
LANDSCAPE TOTALS		76 SHRUBS	582 SHRUBS

SUMMIT SHOPPING CENTER PROPERTY UNDERSTORY LANDSCAPE REQUIREMENTS

SUMMIT SHOPPING CENTER PROPERTY LANDSCAPING AND SCREENING REQUIREMENTS		REQUIRED PLANTS	SHOWN PLANTS
	LEE'S SUMMIT, MISSOURI		
	CODE OF ORDINANCES: DIVISION III - LANDSCAPING, BUFFERS AND TREE PROTECTION		
	SITE ZONED: CP-2 & 2300 - PUBLIC USE-MISC.		
	TOTAL # OF NEW PARKING SPACES (SSCP): 28 SPACES		
	STREET FRONTAGE (NW OLDHAM PKWY) 237 LF		
	TOTAL PROPERTY (SSCP): .63 ACRES (27,652 SQ FT)		
PARKING LOT SCREENING			
Sec. 8.820.	A HEDGE CONSISTING OF AT LEAST 12 SHRUBS PER 40 LINEAR FEET THAT WILL SPREAD INTO A CONTINUOUS VISUAL SCREEN		
	TOTAL STREET FRONTAGE = 237 FT		
	237 / 40 = 5.93 FT		
	5.93 x 12 = 71.1 SHRUBS	72 SHRUBS	102 SHRUBS
STREET FRONTAGE SHRUB			
Sec. 8.790. & Sec. 8.800.	1 SHRUB PER 20 FEET OF STREET FRONTAGE		
	TOTAL STREET FRONTAGE = 237 FT		
	237 / 20 = 11.85 SHRUBS	12 SHRUBS	25 SHRUBS
	A MINIMUM 20-FOOT-WIDE LANDSCAPE STRIP SHALL BE PROVIDED ALONG THE FULL LENGTH OF ANY STREET FRONTAGE, EXCEPT WHERE THE BUILDING SETBACK IS LESS THAN 20 FEET.		
SCREENING ON TRASH STORAGE CONTAINERS			
Sec. 8.790.	A DETAILED DRAWING OF ENCLOSRE AND SCREENING METHODS TO BE USED IN CONNECTION WITH TRASH STORAGE CONTAINERS ON THE PROPERTY SHALL BE INCLUDED WITH THE LANDSCAPING PLAN.	SEE SHEET C8.1	
LANDSCAPE TOTALS		84 SHRUBS	127 SHRUBS

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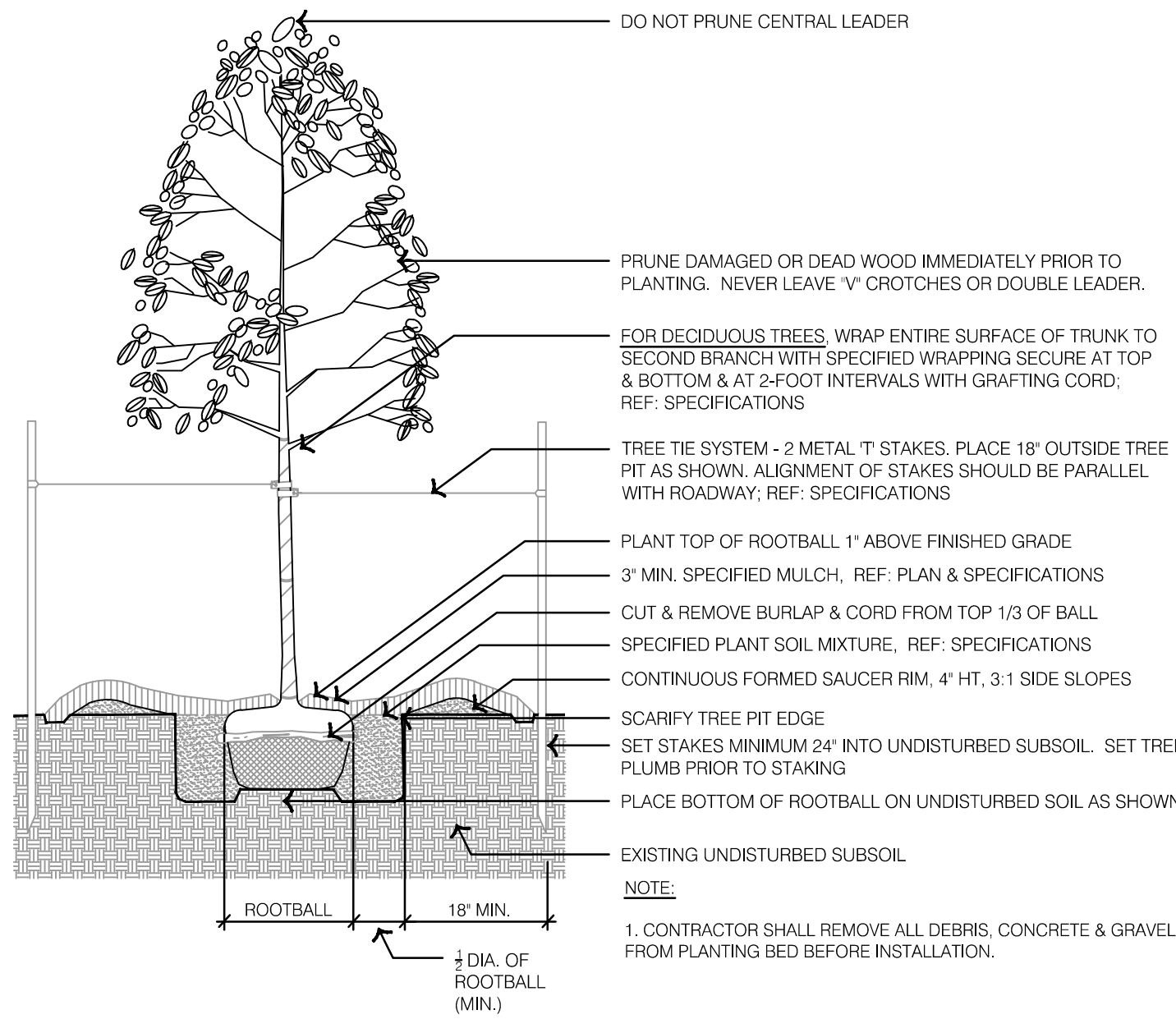
Drawing No.

L513  
UNDERSTORY LANDSCAPE  
REQUIREMENTS

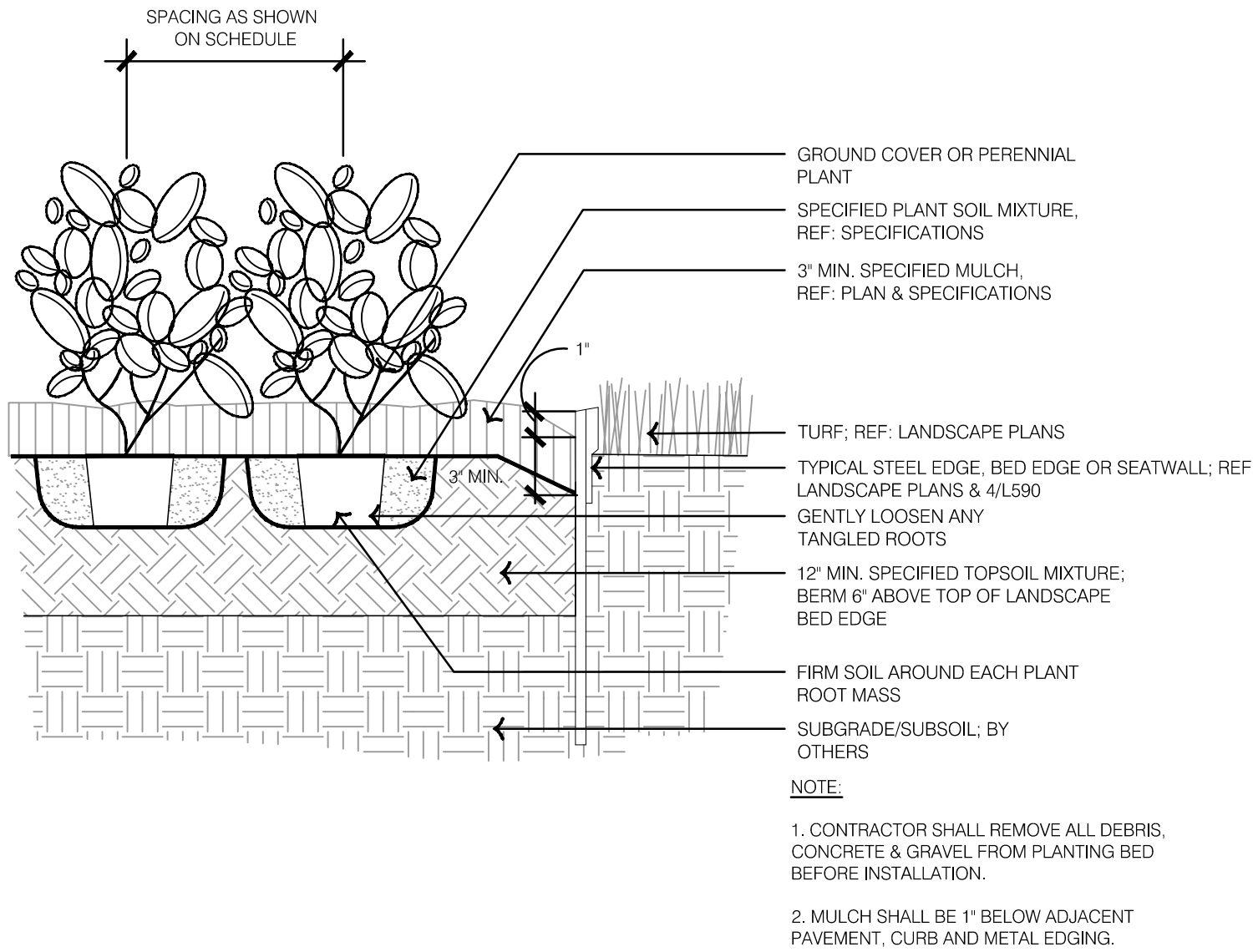
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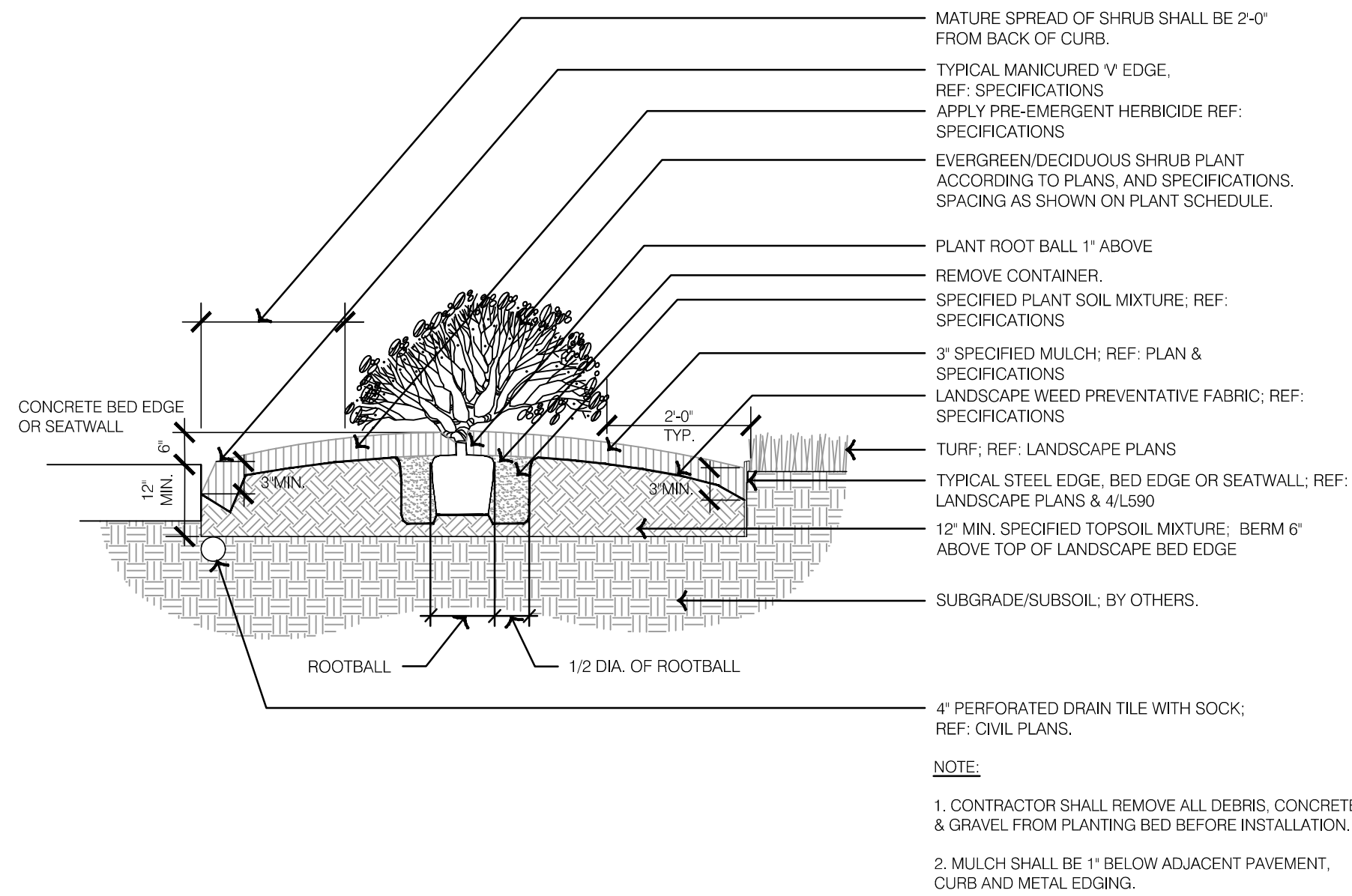




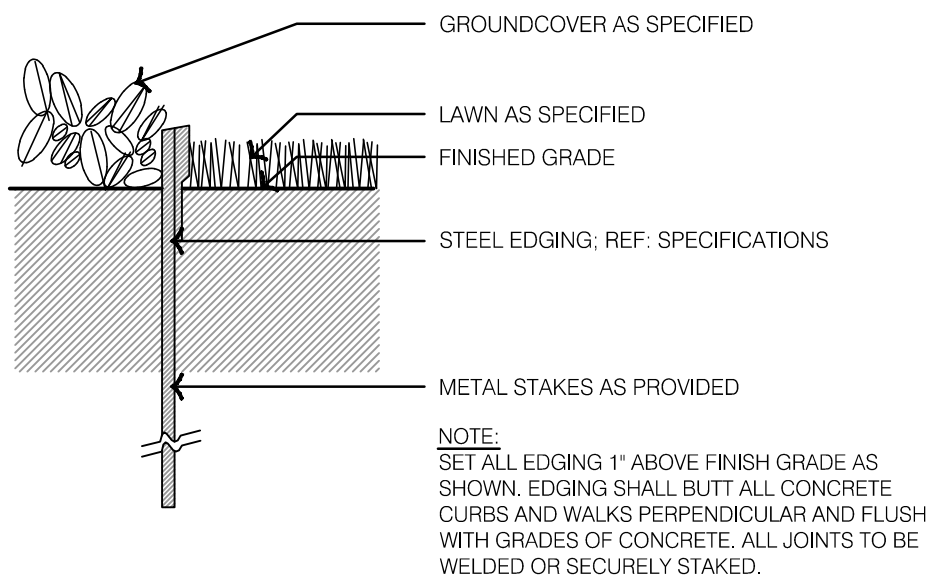
1 TYPICAL DECIDUOUS TREE PLANTING



2 TYPICAL GROUNDCOVER AND PERENNIAL PLANTING



3 TYPICAL SHRUB PLANTING



4 TYPICAL STEEL BED EDE

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Drawing No.

**L590**  
LANDSCAPE  
DETAILS