**DESIGN AND DEVELOPMENT CONTACTS:** 

OWNER / DEVELOPER:

JP MORGAN CHASE 1111 POLARIS PARKWAY COLUMBUS, OH 43240

CONTACT: MARGARET TROIA 10 S DEARBORN STREET, FLOOR 15

CHICAGO, IL 60603 312-732-7980

CIVIL ENGINEER:

6500 CHIPPEWA STREET, SUITE 200 ST. LOUIS, MO 63109 CONTACT: CHAD FAIRBANKS, P.E.

TEL: 314-270-5203

**CORE STATES GROUP** 

ARCHITECT: CORE STATES GROUP

6500 CHIPPEWA STREET, SUITE 200 ST. LOUIS, MO 63109 CONTACT: R. BRUCE LASURS, A.I.A. TEL: 314-730-0772

LANDSCAPE ARCHITECT: EVERGREEN DESIGN GROUP

1200 US HIGHWAY 22 E, SUITE 2000-2248 BRIDGEWATER, NJ 08807 CONTACT: LARRY LESSER

TEL: 800-680-6630 EXT 5

SURVEYOR: SWT DESIGN, INC.
772 BIG BEND BOULEVARD

ST. LOUIS, MO 63119 CONTACT: JAMES DEGENHARDT, P.L.S. TEL: 314-644-5700

# **GOVERNING AGENCIES CONTACTS:**

PLANNING AND ZONING: LEE'S SUMMIT DEVELOPMENT SERVICES

220 SE GREEN
LEE'S SUMMIT, MO 64063
CONTACT: HECTOR SOTO

BUILDING DEPARTMENT: LEE'S SUMMIT DEVELOPMENT SERVICES

220 SE GREEN LEE'S SUMMIT, MO 64063 CONTACT: JOE FROGGE

TEL: 816-969-1241

TEL: 816-969-1238

FIRE DEPARTMENT: LEE'S SUMMIT FIRE DEPARTMENT

9933 DIAMOND DRIVE ST. LOUIS, MO 63137

CONTACT: ASSISTANT CHIEF JIM EDEN TEL: 816-969-7407

TRANSPORTATION MISSOURI DEPARTMENT OF TRANSPORTATION DEPARTMENT: 600 NE COLBERN ROAD

600 NE COLBERN ROAD LEE'S SUMMIT, MO 64086 CONTACT: DEREK OLSON TEL: 816-607-2107

TRANSPORTATION LEE'S SUMMIT PUBLIC WORKS DEPARTMENT

220 SE GREEN STREET LEE'S SUMMIT, MO 64063 CONTACT: DENA MEZGER TEL: 816-969-1800

WATER/WASTEWATER: LEE'S SUMMIT WATER UTILITIES

1200 SE HAMBLEN ROAD LEE'S SUMMIT, MO 64081 CONTACT: MARK SCHAUFLER TEL: 816-969-1900

STORMWATER

DEPARTMENT:

LEE'S SUMMIT WATER UTILITIES 1200 SE HAMBLEN ROAD LEE'S SUMMIT, MO 64081 CONTACT: MARK SCHAUFLER TEL: 816-969-1900

# **UTILITY CONTACTS:**

ELECTRIC COMPANY:

P.O. BOX 219330 KANSAS CITY, MO 64121 TEL: 816-556-2200

GAS COMPANY: SPIRE ENERGY

3025 SE CLOVER DRIVE LEE'S SUMMIT, MO 64082 TEL: 816-969-2200

TELEPHONE / INTERNET CHARTER / SPECTRUM

188 NW OLDHAM PARKWAY LEE'S SUMMIT, MO 64081 TEL: 866-874-2389

SOLID WASTE:

WASTE MANAGEMENT 2404 S 88TH STREET KANSAS CITY, KS 66111 TEL: 866-570-4702

# SITE DATUM ELEVATION:

ELEVATIONS SHOWN ARE IN FEET ABOVE THE NORTH AMERICAN VERTICAL DATUM OF 1988 (N.A.V.D. 88) BASED ON MODOT VRS NETWORK. CONVERSION FROM NAVD 88 TO NGVD 29, NAVD 88 - 0.302' = NGVD 29.

# **FLOOD NOTE:**

THIS PROPERTY IS LOCATED IN AN AREA DETERMINED TO BE OUTSIDE THE 0.1% ANNUAL CHANCE FLOOD (100-YEAR) AS DETERMINED BY THE NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP FOR THE CITY OF LEE'S SUMMIT, MISSOURI, MAP NUMBER 29095C0436G EFFECTIVE DATE 01/20/2017.

# **ALERT TO CONTRACTOR:**

1. THE SITE WORK FOR THE PROPOSED DEVELOPMENT SHALL MEET OR EXCEED ALL CITY AND/OR COUNTY AND STATE STANDARDS FOR SITE WORK.

Plot Date/Time: Feb. 18, 21 - 16:10:36 Drawing: P:\J.P. Morgan Chase\Lee's Summit, MO (Hwy 291 and SE Langford Rd.)-JPM.27135.001\CIVIL\Drawings\Presentation\JPM-27135-001-P-DETL.dwg; C1 COVER SHEE

2. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO PROJECT COMPLETION.

# COMMERCIAL PRELIMINARY DEVELOPMENT PLAN

# FOR CHASE ()

CHASE BANK HIGHWAY 291 & NE LANGSFORD

> 890 NE LANGSFORD ROAD LEE'S SUMMIT, MO 64063 JACKSON COUNTY, MISSOURI



VICINITY MAP
SCALE: 1" = 2,000'

		SHEET INDEX			
	SHEET NUMBER	DESCRIPTION	REV 1	REV 2	REV:
	C1	COVER SHEET	Δ		
	C2	GENERAL NOTES			
	C3	EROSION AND SEDIMENTATION CONTROL PLAN PHASE I	Δ		
	C4	EROSION AND SEDIMENTATION CONTROL PLAN PHASE II	Δ		
	C5	EROSION AND SEDIMENTATION CONTROL DETAILS			
	C6	DEMOLITION PLAN	Δ		
	C7	SITE PLAN	Δ		
	C8	GRADING AND DRAINAGE PLAN	Δ		
	C9	DRAINAGE BASIN MAPS			
	C10	UTILITY PLAN	Δ		
	C11-C13	CONSTRUCTION DETAILS	Δ		
	C14	PHOTOMETRIC PLAN			
V	C15-C19	PHOTOMETRIC DETAILS	Δ		
	C20	CONSTRUCTION DETAILS	Δ	X	
	C21	ROADWAY PLAN	Δ		
		REFERENCE SHEETS			
	SHEET NUMBER	DESCRIPTION			
	1	ALTA/NSPS LAND TITLE SURVEY BY SWT DESIGN, INC.	1		
	LP-1	PLANTING PLAN	Δ		
	LP-2	PLANTING DETAILS, SPECS			

# LEGAL DESCRIPTION:

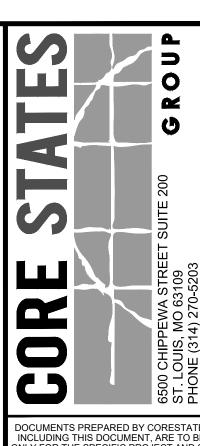
LOT 1, STAR FUEL CENTER OF LEE'S SUMMIT, LOT 1, A SUBDIVISION IN THE CITY OF LEE'S SUMMIT, JACKSON COUNTY, MISSOURI, ACCORDING TO THE RECORDED PLAT THEREOF FILED APRIL 3, 2000 IN PLAT BOOK I-67, PAGE 17 AS DOCUMENT NO. 200010020477.

# CITY OF LEE'S SUMMIT NOTE:

S ALL CONSTRUCTION SHALL FOLLOW THE CITY OF LEE'S SUMMIT'S DESIGN AND CONSTRUCTION MANUAL.

# OIL AND GAS WELLS NOTE:

THERE ARE TWO (2) GAS WELLS AND ONE (1) OIL WELL ON PARCELS IN THE VICINITY OF THE PROJECT AREA, HOWEVER THERE ARE NO OIL OR GAS WELLS WITHIN 150 FEET OF THE PROJECT AREA ACCORDING TO THE MDNR GEOSTRAT SURVEY MAP.



DOCUMENTS PREPARED BY CORESTATES, IN INCLUDING THIS DOCUMENT, ARE TO BE USE ONLY FOR THE SPECIFIC PROJECT AND SPECIUSE FOR WHICH THEY WERE INTENDED. AN EXTENSION OF USE TO ANY OTHER PROJECT BY OWNER OR BY ANY OTHER PARTY, WITHOUT HE EXPRESSED WRITTEN CONSENT OF CORESTATES, INC. IS DONE UNLAWFULLY AN AT THE USERS OWN RISK. IF USED IN A WAY OTHER THAN THAT SPECIFICALLY INTENDED USER WILL HOLD CORESTATES, INC. HARMLES FROM ALL CLAIMS AND LOSSES.

CLIEN

CHASE

Know what's below.

Call before you dig.

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR

ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLAYS IS BASED ON DESIGN
DRAWINGS, RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE,
MEASUREMENTS TAKEN IN THE FIELD, CORESTATES, INC. DOES NOT GURFANITEE

THAT LOCATIONS SHOWN ARE EXACT. THE CONTRACTOR MUST CONTACT THE
APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO
REQUEST EXACT FIELD LOCATIONS OF UTILITIES.

REVISIONS

REV DATE COMMENT BY

1 02/18/21 CITY COMMENTS RJD

DOCUMENT
CIVIL
CONSTRUCTION
PLANS FOR CHASE
BANK

SITE LOCATION 890 NE LANGSFORD ROAD LEE'S SUMMIT, MO 64063

ENGINEER SEAL

CHAD D.
FAIRBANKS
NUMBER
E-2001018726

SHEET TITLE COVER SHEET

JOB #:	JPM-27135.001
DATE:	12/21/2020
SCALE:	AS NOTED
DRAWN BY:	RJD
CHECKED BY:	CDF

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- INTERPRETED AS THE EXACT LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE, VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND CAP ALL LINES BEFORE PROCEEDING WITH THE WORK. UTILITIES DETERMINED TO BE ABANDONED AND LEFT IN PLACE SHALL BE GROUTED.
- ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC CABLE AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION. CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE. CONTRACTOR SHALL PAY CLOSE ATTENTION TO EXISTING UTILITIES WITHIN ANY ROAD RIGHT-OF-WAY DURING CONSTRUCTION.
- CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC., (AND OTHER APPROPRIATE BEST MANAGEMENT PRACTICES) AS APPROVED BY OWNER.
- CONTINUOUS ACCESS SHALL BE MAINTAINED FOR THE SURROUNDING PROPERTIES AT ALL TIMES DURING DEMOLITION OF THE EXISTING FACILITIES.
- PRIOR TO DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED.
- 10. SHOULD REMOVAL AND/OR RELOCATION ACTIVITIES DAMAGE FENCING, LIGHTING AND/OR ANY OTHER APPURTENANCES, THE CONTRACTOR SHALL PROVIDE NEW MATERIALS/ STRUCTURES IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. EXCEPT FOR MATERIALS DESIGNED TO BE RELOCATED ON THIS PLAN, ALL OTHER CONSTRUCTION MATERIALS SHALL BE NEW.
- 11. CONTRACTOR SHALL LIMIT SAW-CUT & PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS BUT CONTRACTOR SHALL BE RESPONSIBLE FOR IT'S REMOVAL AND REPAIR.
- 12. THE CONTRACTOR SHALL COORDINATE WATER MAIN WORK WITH THE FIRE DEPT AND THE CITY/COUNTY UTILITY DEPARTMENT TO PLAN PROPOSED IMPROVEMENTS AND TO ENSURE ADEQUATE FIRE PROTECTION IS CONSTANTLY AVAILABLE TO SITE THROUGHOUT THIS SPECIFIC WORK AND THROUGH ALL PHASES OF CONSTRUCTION. CONTRACTOR WILL BE RESPONSIBLE FOR ARRANGING/PROVIDING ANY REQUIRED WATER MAIN SHUT OFFS WITH THE CITY/COUNTY DURING CONSTRUCTION. ANY COSTS ASSOCIATED WITH WATER MAIN SHUT OFFS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR AND NO EXTRA COMPENSATION WILL BE PROVIDED.
- 13. DAMAGE TO ALL EXISTING CONDITIONS SHOWN TO REMAIN IN THESE PLANS WILL BE REPLACED AT CONTRACTOR'S EXPENSE.

# GENERAL SITE NOTES

- ALL CONSTRUCTION MATERIALS AND TECHNIQUES OF INSTALLATION SHALL MEET PERFORMANCE VALUES OF THE MATERIALS SPECIFIED AND COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT THIS PROJECT IS CONSTRUCTED IN ACCORDANCE WITH THESE DOCUMENTS AND IN COMPLIANCE WITH CODES INDICATED HEREIN. THE QUALITY OF WORKMANSHIP AND INSTALLATION OF MATERIALS SPECIFIED BY THE ARCHITECT/ENGINEER ARE THE RESPONSIBILITY OF THE CONTRACTOR. THE ARCHITECT/ENGINEER WILL NOT BE HELD RESPONSIBLE FOR ANY SUBSTANDARD OR INSUFFICIENT WORKMANSHIP MATERIALS, OR SERVICES PROVIDED IN THE EXECUTION OF ANY PHASE OF CONSTRUCTION OF THIS PROJECT.
- ALL MATERIALS ARE TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S REQUIREMENTS. THE GENERAL CONTRACTOR SHALL ENSURE THAT ALL MANUFACTURER'S WARRANTIES WILL BE HONORED
- ALL CONDITIONS SHOWN TO BE "EXISTING" SHALL BE VERIFIED IN THE FIELD BY THE GENERAL CONTRACTOR PRIOR TO START OF CONSTRUCTION. ANY DISCREPANCIES SHALL BE NOTED AND SUBMITTED TO THE OWNER AND THE ARCHITECT/ENGINEER FOR REVIEW. CHANGES TO THE ORIGINAL DESIGN OF THE PROJECT DUE TO EXISTING SITE CONDITIONS MUST BE APPROVED BY BOTH THE OWNER AND THE ARCHITECT/ENGINEER PRIOR TO MAKING ANY CHANGES.
- CONTRACTOR TO REVIEW AND FOLLOW CONSTRUCTION TECHNIQUES/SPECIFICATIONS OUTLINED IN THE SITE GEOTECHNICAL REPORT ANY CONFLICTS WHICH MAY ARISE SHALL BE NOTED AND SUBMITTED TO THE OWNER AND THE ARCHITECT/ENGINEER FOR REVIEW PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR HAVING A THOROUGH KNOWLEDGE OF EXISTING FIELD CONDITIONS AND OF ALL DRAWINGS AND SPECIFICATIONS RELATED TO THEIR FIELD. THE FAILURE TO ACQUAINT HIMSELF WITH THIS PROJECT AND HIS FIELD OF SERVICE SHALL NOT RELIEVE HIM OF ANY RESPONSIBILITY FOR PERFORMING HIS WORK PROPERLY. NO ADDITIONAL COMPENSATION SHALL BE ALLOWED DUE TO THE GENERAL CONTRACTOR'S FAILURE TO CONVEY THE NECESSARY KNOWLEDGE TO FAMILIARIZE WORKERS AND SUBCONTRACTORS WITH THIS PROJECT.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THE SAFETY OF ALL PERSONS ON THE JOB SITE AT ALL TIMES INCLUDING (BUT NOT LIMITED TO) SUBCONTRACTORS, FACILITY EMPLOYEES, VENDORS, DESIGN STAFF PROFESSIONALS AND INSPECTION PERSONNEL.
- THE GENERAL CONTRACTOR SHALL PROVIDE DUMPSTERS, PORTABLE TOILETS AND TEMPORARY POWER FOR UNRESTRICTED PROJECT RELATED USE BY OTHERS FOR THE DURATION OF THE PROJECT.
- THE GENERAL CONTRACTOR SHALL COORDINATE PROJECT PHASING AND STORAGE OF MATERIALS WITH THE OWNER.
- 10. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR RECEIVING, UNLOADING, STORING AND PROTECTING OF MATERIALS AND EQUIPMENT SUPPLIED BY THE OWNER UNTIL IT HAS BEEN INSTALLED AND ACCEPTED BY THE OWNER.
- 11. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE AREA CLEAN AND FREE OF DEBRIS AT ALL TIMES DURING CONSTRUCTION. THE GENERAL

Plot Date/Time: Feb. 18, 21 - 15:25:31 Drawing: P:\J.P. Morgan Chase\Lee's Summit, MO (Hwy 291 and SE Langford Rd.)-JPM.27135.001\CIVIL\Drawings\Presentation\JPM-27135-001-P-DETL.dwg; C2 GENERAL NOTES

- 18. CONTRACTOR SHALL MATCH PROPOSED CURB AND GUTTER, CONCRETE, AND PAVEMENT TO EXISTING IN GRADE AND ALIGNMENT.
- 19. CONTRACTOR SHALL PROVIDE PIPE BOLLARDS FOR PROTECTION OF ALL ABOVE GROUND UTILITIES AND APPURTENANCES IN DRIVE AREA.
- 20. CONSTRUCTION SHALL COMPLY WITH ALL GOVERNING CODES AND BE CONSTRUCTED TO SAME.
- 21. CONTRACTOR IS RESPONSIBLE FOR REPAIRING THE DAMAGE DONE TO ANY EXISTING ITEM TO REMAIN DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO, DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC. REPAIRS SHALL BE EQUAL TO, OR BETTER THAN, EXISTING CONDITIONS. CONTRACTOR IS RESPONSIBLE TO DOCUMENT ALL EXISTING DAMAGE AND NOTIFY OWNER PRIOR TO CONSTRUCTION START.
- 22. ALL DISTURBED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL, SEED OR SOD, MULCH AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.
- 23. EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE
- 24. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, (UNLESS OTHERWISE NOTED ON PLANS) INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES REQUIREMENTS AND PROJECT SITE WORK SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
- 25. THE SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED THE SPECIFICATIONS IN THE CONTRACT DOCUMENTS.
- IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT, ETC. THE 26. ANY DISCREPANCIES ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER OF RECORD BEFORE COMMENCING WORK. NO FIELD CHANGES OR DEVIATIONS FROM THE DESIGN ARE TO BE MADE WITHOUT PRIOR APPROVAL.
  - IN THE EVENT THE CONSTRUCTION IS ABANDONED PRIOR TO THE COMPLETION OF THE PROJECT, ALL CONSTRUCTION AND STOCKPILED VEGETATIVE DEBRIS AND FILL WILL BE REMOVED FROM THE SITE AND THE SITE WILL BE STABILIZED PER THE PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES (NPDES).
  - 28. THESE PLANS ARE INTENDED TO AND SHALL COMPLY WITH AMERICANS WITH DISABILITIES ACT.
  - 29. ALL VEGETATION FROM CLEARING AND GRUBBING WILL BE DISPOSED OF OFF-SITE
  - 30. ALL DESIGN AND CONSTRUCTION MUST CONFORM TO THE MINIMUM STANDARDS SET DOWN IN THE CITY/COUNTY DEVELOPMENT CODE, ZONING, AND/OR RELATED ORDINANCES, AND MINIMUM TESTING FREQUENCY REQUIREMENTS.
  - 31. CONTRACTOR IS RESPONSIBLE FOR PERMITTING, INSTALLATION AND MAINTENANCE OF ALL MAINTENANCE OF TRAFFIC OPERATIONS DURING CONSTRUCTION. MAINTENANCE OF TRAFFIC SHALL CONFORM TO GDOT/GOVERNING AGENCY STANDARDS.

# GENERAL PAVING AND GRADING NOTES:

- ALL PAVING AND GRADING CONSTRUCTION MATERIALS AND METHODS WITHIN THE STATE'S DEPARTMENT OF TRANSPORTATION RIGHT-OF-WAY SHALL CONFORM TO THE LATEST EDITIONS OF THE STATE'S DEPARTMENT OF TRANSPORTATION DESIGN STANDARDS, THE STATE'S DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AND THE STATE'S DEPARTMENT OF TRANSPORTATION UTILITY STANDARDS. ALL PAVING AND GRADING CONSTRUCTION MATERIALS AND METHODS OUTSIDE OF STATE'S DEPARTMENT OF TRANSPORTATION RIGHT-OF-WAY SHALL ALSO CONFORM TO THE ABOVE STATE'S DEPARTMENT OF TRANSPORTATION SPECIFICATIONS AND STANDARDS.
- CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF EXISTING STRUCTURES INCLUDING REMOVAL OF ANY EXISTING UTILITIES SERVING THE STRUCTURE. UTILITIES THAT ARE TO BE REMOVED TO THE RIGHT-OF-WAY, UNLESS OTHERWISE
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- 4. ALL CUT OR FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED.
- PRECAST STRUCTURES MAY BE USED AT CONTRACTORS OPTION AND SHALL MEET ALL STATE DEPARTMENT OF TRANSPORTATION REQUIREMENTS/SPECIFICATIONS AT A MINIMUM.
- IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
- THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE EPA OR APPLICABLE STATE GENERAL N.P.D.E.S. PERMIT FOR STORM WATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
- CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
- CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
- 10. ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL

- 17. CONTRACTOR IS SPECIFICALLY CAUTIONED, DEPENDING ON THE TIME OF YEAR AND PROJECT LOCATION, DEWATERING MAY BY REQUIRED.
- 18. IF DEWATERING IS REQUIRED, THE CONTRACTOR SHALL OBTAIN ANY APPLICABLE REQUIRED PERMITS. THE CONTRACTOR IS TO COORDINATE WITH THE OWNER PRIOR TO EXCAVATION. THE CONTRACTOR IS TO SUPPLY THE CITY/COUNTY A COPY OF THE PERMIT A MINIMUM OF TWO (2) BUSINESS DAYS PRIOR TO ANY CONSTRUCTION ACTIVITY.
- STRIP TOPSOIL AND ORGANIC MATTER AND PAVING MATERIAL FROM ALL AREAS TO BE IMPERVIOUS. TOPSOIL SHALL BE STOCKPILED ON SITE FOR REPLACEMENT ON SLOPES AND ALL OTHER GREEN AND LANDSCAPE AREAS.
- 20. FIELD DENSITY TESTS SHALL BE TAKEN AT FREQUENCY AS REQUIRED IN THE SPECIFICATIONS OR AS REQUIRED BY THE GOVERNING REGULATORY AGENCY, WHICH EVER IS MORE STRINGENT.
- 21. ALL STRUCTURES ARE TO CONFORM WITH THE STATE'S DEPARTMENT OF TRANSPORTATION ROADWAY AND TRAFFIC DESIGN STANDARDS. CURB INLETS SHALL CONFORM TO THE STATE'S DEPARTMENT OF TRANSPORTATION STANDARDS, CATCH BASINS SHALL HAVE TRAFFIC BEARING, GRATES. CONCRETE FLARED END SECTIONS SHALL CONFORM TO THE STATE'S DEPARTMENT OF TRANSPORTATION STANDARDS, MANHOLES SHALL CONFORM TO THE STATE'S DEPARTMENT OF TRANSPORTATION STANDARDS.
- CONTRACTOR SHALL ENSURE POSITIVE FLOW TO ALL INLETS WITHIN DRAINAGE BASINS TO PRECLUDE PONDED WATER.
- 23. ALL DRAINAGE CULVERT JOINTS SHALL CONFORM TO THE STATE'S DEPARTMENT OF TRANSPORTATION STANDARDS.
- 24. THE CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO CONTROL SEDIMENT LOSS, INCLUDING BUT NOT LIMITED TO THE INSTALLATION OF SILT FENCE AT ALL LOCATIONS WHERE THE POSSIBILITY OF TRANSFERRING SUSPENDED SOLIDS INTO THE RECEIVING WATER BODY EXISTS DUE TO THE PROPOSED WORK. SILT FENCE MUST BE MAINTAINED IN EFFECTIVE CONDITION AT ALL LOCATIONS UNTIL CONSTRUCTION IS COMPLETED AND DISTURBED SOIL AREAS ARE STABILIZED. THEREAFTER, THE CONTRACTOR MUST REMOVE THE SEDIMENT BARRIERS AT NO TIME SHALL THERE BE ANY OFF-SITE DISCHARGE WHICH VIOLATES THE WATER QUALITY STANDARDS OF THE STATE'S STORMWATER PERMIT.

# GENERAL UTILITY NOTES:

- CONTRACTOR SHALL COORDINATE ANY DISRUPTIONS TO EXISTING UTILITY SERVICES WITH ADJACENT PROPERTY OWNERS.
- ALL ELECTRIC, TELEPHONE, AND GAS EXTENSIONS (INCLUDING SERVICE LINES) SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE DESIGNATED UTILITY COMPANIES.
- CONSTRUCTION SHALL NOT START ON ANY PUBLIC UTILITY SYSTEM UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED BY THE ENGINEER FROM THE APPROPRIATE GOVERNING AUTHORITY AND CONTRACTOR HAS BEEN NOTIFIED BY THE ENGINEER.
- PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN. SANITARY SEWER, WATER MAIN OR ANY OF THE DRY UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM THE ENGINEER AND THE OWNER/DEVELOPER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION. THE ENGINEER AND ITS CLIENTS SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION.
- PRIOR TO CONSTRUCTION, THE GENERAL CONTRACTOR SHALL VERIFY THAT "STUB OUTS" FOR POWER, TELEPHONE, FIBER OPTICS, WATER AND SEWER (IF APPLICABLE) HAVE BEEN PROVIDED BY OTHERS AT THE AREA ADJACENT TO THE PROPOSED BUILDING. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR FINAL CONNECTIONS AT THE BUILDING.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE SCHEDULE FOR INSTALLATION WITH THE UTILITY COMPANIES AND THE OWNER. ALL EXISTING CONDITIONS THAT ARE REMOVED OR DISRUPTED DURING THE PLACEMENT OF NEW UTILITIES SHALL BE REPLACED OR REPAIRED TO MATCH ORIGINAL CONDITIONS. ANY EXISTING UTILITIES DISRUPTED DURING PLACEMENT OF NEW UTILITIES SHALL BE REPAIRED AND OPERATING NORMALLY THE SAME DAY OF DISRUPTION. ITEMS THAT MAY NEED TO BE REPLACED OR REPAIRED INCLUDE BUT ARE NOT LIMITED TO: EXISTING ASPHALT PAVING, EXISTING CONCRETE PAVING, WATER LINES, IRRIGATION LINES, GRASS AREAS, LANDSCAPING, AND SITE LIGHTING. THE GENERAL CONTRACTOR SHALL FIELD VERIFY THE EXACT LOCATION OF ALL EXISTING ITEMS THAT WILL BE DISRUPTED DURING THE PLACEMENT OF NEW UTILITIES AND PROVIDE THE OWNER A DETAILED PHASING SCHEDULE OUTLINING THE TIMELINE FOR INSTALLATION OF NEW UTILITIES INCLUDING THE PROPOSED TIMES THAT EXISTING ITEMS WILL BE DISRUPTED. THE NEW UTILITIES TRENCH WIDTH AND DEPTH SHALL MEET ALL LOCAL AND STATE REQUIREMENTS FOR THE DISPLACEMENT OF ALL UTILITIES. IF DIRECTIONAL BORING IS USED FOR INSTALLATION, THE ABOVE LISTED ITEMS ARE STILL REQUIRED TO BE SUBMITTED TO THE OWNER.
- IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
- ALL SANITARY SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RINGS & COVERS. SANITARY MANHOLES IN UNPAVED AREAS SHALL BE 6" ABOVE FINISH GRADE WITH WATER TIGHT LIDS.
- PROPOSED UTILITIES. 10. CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITIES INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINE.

ALL FILL MATERIAL IS TO BE IN PLACE, AND COMPACTED BEFORE INSTALLATION OF

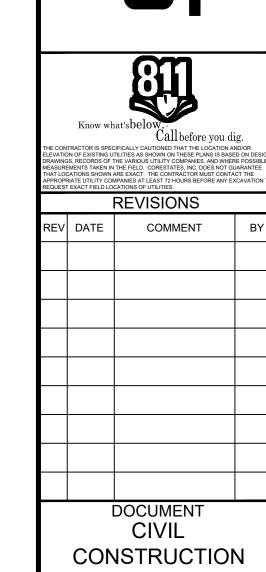
- THE CONTRACTOR SHALL RESTORE ALL DISTURBED VEGETATION IN KIND, UNLESS SHOWN OTHERWISE.
- DEFLECTION OF PIPE JOINTS AND CURVATURE OF PIPE SHALL NOT EXCEED THE MANUFACTURER'S SPECIFICATIONS. SECURELY CLOSE ALL OPEN ENDS OF PIPE AND FITTINGS WITH A WATERTIGHT PLUG WHEN WORK IS NOT IN PROGRESS. THE INTERIOR OF ALL PIPES SHALL BE CLEAN AND JOINT SURFACES WIPED CLEAN AND DRY AFTER THE PIPE HAS BEEN LOWERED INTO THE TRENCH. VALVES SHALL BE PLUMB AND LOCATED ACCORDING TO THE PLANS.
- ALL UTILITY AND STORM DRAIN TRENCHES LOCATED UNDER AREAS TO RECEIVE PAVING SHALL BE COMPLETELY BACKFILLED AND COMPACTED IN ACCORDANCE WITH SPECIFICATIONS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT. THE MOST STRINGENT SHALL GOVERN.
- 22. SHOP DRAWINGS FOR ALL MATERIALS AND APPURTENANCE SHALL BE SUBMITTED TO AND APPROVED BY THE GOVERNING UTILITY DEPARTMENT. CONTRACTOR TO COPY THE ENGINEER OF RECORD WITH APPROVED DRAWINGS AS REQUIRED. NO WORK IS TO BEGIN UNTIL SHOP DRAWINGS HAVE BEEN REVIEWED, APPROVED, AND RETURNED TO THE CONTRACTOR.
- 23. AT LEAST THREE (3) WEEKS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE CITY/COUNTY AND THE UTILITY COMPANY AND SUPPLY THEM WITH ALL REQUIRED SHOP DRAWINGS, THE CONTRACTOR'S NAME, STARTING DATE, PROJECTED SCHEDULE AND OTHER INFORMATION AS REQUIRED. THE CITY/COUNTY ENGINEERING INSPECTION OFFICE SHOULD ALSO BE CONTACTED FIVE DAYS PRIOR TO CONSTRUCTION TO ENSURE AVAILABILITY OF INSPECTION PERSONAL. ANY WORK PREFORMED PRIOR TO NOTIFYING THE CITY/COUNTY ENGINEERING INSPECTION OFFICE OR WITHOUT A DEPARTMENT INSPECTOR PRESENT MAY BE SUBJECT TO REMOVAL AND REPLACEMENT AT THE SOLE EXPENSE OF THE CONTRACTOR.
- THE CONTRACTOR SHALL PERFORM AN INFILTRATION/EXFILTRATION TEST ON ALL GRAVITY SEWERS AND A PRESSURE TEST ON ALL FORCE MAINS (AS APPLICABLE) IN ACCORDANCE WITH THE CITY/COUNTY UTILITY REGULATIONS. SAID TESTS ARE TO BE CERTIFIED BY THE ENGINEER OF RECORD AND SUBMITTED TO THE CITY/COUNTY FOR APPROVAL. THE SCHEDULING, COORDINATION AND NOTIFICATION TO ALL PARTIES IS THE CONTRACTOR'S RESPONSIBILITY
- 25. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING EXISTING WATER MAINS, FORCE MAINS, SANITARY SEWER, AND STORM MAINS AND MAINTAIN A MINIMUM CLEARANCE BETWEEN WATER MAINS AND OTHER UTILITIES AT ALL POINTS ALONG THEIR LENGTH AS REQUIRED IN THE PLANS, DETAILS, AND SPECIFICATIONS.
- 26. SANITARY SEWER, FORCE MAINS, SEWER LATERALS, AND STORM SEWERS SHOULD CROSS UNDER WATER MAINS AND/OR WATER SERVICES WHENEVER POSSIBLE. SANITARY SEWERS, FORCE MAINS, SEWER LATERALS, AND STORM SEWERS CROSSING WATER MAINS SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL DISTANCE OF 18 INCHES BETWEEN THE BOTTOM OF THE UPPER PIPE AND THE TOP OF THE LOWER PIPE.
- 27. A MINIMUM HORIZONTAL DISTANCE OF 10 FEET SHOULD BE MAINTAINED BETWEEN WATER LINES AND SEWER LINES OR OTHER SOURCES OF CONTAMINATION. WATER LINES AND SEWERS SHALL NOT BE LAID IN THE SAME TRENCH EXCEPT ON THE WRITTEN APPROVAL OF THE AUTHORITY HAVING JURISDICTION. WATER MAINS NECESSARILY IN CLOSE PROXIMITY TO SEWERS MUST BE PLACED SO THAT THE BOTTOM OF THE WATER LINE WILL BE AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER LINE AT ITS HIGHEST POINT. IF THIS DISTANCE MUST UNAVOIDABLY BE REDUCED, THE WATER LINE OR THE SEWER LINE MUST BE ENCASED IN WATERTIGHT PIPE WITH SEALED WATERTIGHT ENDS EXTENDING AT LEAST TEN FEET EITHER SIDE OF THE CROSSING. ANY JOINT IN THE ENCASEMENT PIPE IS TO BE MECHANICALLY RESTRAINED. THE ENCASEMENT PIPE MAY BE VENTED TO THE SURFACE IF CARRYING WATER OR SEWER UNDER PRESSURE. WHERE A WATER LINE MUST UNAVOIDABLY PASS BENEATH THE SEWER LINE, AT LEAST 18 INCHES OF SEPARATION MUST BE MAINTAINED BETWEEN THE OUTSIDE OF THE TWO PIPES IN ADDITION TO THE PRECEDING ENCASEMENT REQUIREMENT. EXCEPTIONS TO THIS MUST BE APPROVED IN WRITING BY THE AUTHORITY HAVING JURISDICTION.
- A MINIMUM HORIZONTAL DISTANCE OF THREE (3) FEET SHALL BE MAINTAINED BETWEEN WATER LINES AND OTHER UNDERGROUND UTILITIES OF A NONSANITARY NATURE (GAS, ELECTRIC, ETC.) EXCEPTIONS TO THIS MUST BE APPROVED IN WRITING BY THE AUTHORITY HAVING JURISDICTION.
- 29. A MINIMUM 10 FOOT HORIZONTAL SEPARATION SHALL BE MAINTAINED BETWEEN ANY TYPE OF SEWER AND WATER MAIN IN PARALLEL INSTALLATIONS.
- ALL DIP SHALL BE CLASS 50 OR HIGHER, DUCTILE IRON FITTINGS SHALL BE CLASS 350. ADEQUATE PROTECTIVE MEASURES AGAINST CORROSION SHALL BE USED.
- TREES SHALL BE PLACED SO AS TO AVOID BURIED UTILITIES.
- 32. ALL UTILITY MAIN LENGTHS SHOWN ARE APPROXIMATE. ALL MANHOLE TOP ELEVATIONS ARE APPROXIMATE. CONTRACTOR SHALL SET MANHOLE TOP LEVEL WITH FINISH PAVEMENT GRADES.
- AND/OR FIRE DEPARTMENT. CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES. THIS

PRESSURE PIPE TESTING SPECIFICATIONS SHALL REFERENCE THE CITY/COUNTY

- AND THE FINAL CONNECTIONS OF THE SERVICE SHALL BE COMPLETED 30 DAYS PRIOR TO POSSESSION.
- 35. CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS.
- 36. REFER TO BUILDING PLANS FOR SITE ELECTRICAL PLAN.

CPP CORRUGATED PLASTIC PIPE CY CUBIC YARDS DEC DECORATIVE DEP DEPRESSED DIP DUCTILE IRON PIPE DOM DOMESTIC ELEC ELECTRIC ELEV ELEVATION EDGE OF PAVEMENT ES EDGE OF SHOULDER EW END OF WALL EX EXISTING FES FLARED END SECTION FINISH FLOOR FLEVATION FH FIRE HYDRANT FG | FINISHED GRADE G GRADE GF GARAGE FLOOR GH GRADE HIGH SIDE OF WALL GL GRADE LOW SIDE OF WALL GRT GRATE GV GATE VALVE HDPE HIGH DENSITY POLYETHYLENE PIPE HP HIGH POINT HOR HORIZONTAL HW | HEADWALL INT INTERSECTION INV INVERT LF LINEAR FOOT LOC LIMITS OF CLEARING LOD | LIMITS OF DISTURBANCE LOS LINE OF SIGHT LP LOW POINT LS LANDSCAPE MAX MAXIMUM ME MATCH EXIST MIN MINIMUM MH MANHOLE MJ | MECHANICAL JOINT OC ON CENTER PC POINT OF CURVATURE PCCR POINT OF COMPOUND CURVATURE, CURB RETURN PI POINT OF INTERSECTION POG POINT OF GRADE POI POINT OF INTEREST PROP PROPOSED PT POINT OF TANGENCY PTCR POINT OF TANGENCY, CURB RETURN PVC POLYVINYL CHLORIDE PIPE PVI POINT OF VERTICAL INTERSECTION PVT POINT OF VERTICAL TANGENCY R RADIUS RCP REINFORCED CONCRETE PIPE RCPR REINFORCED CONCRETE WITH RUBBER GASKET RET-WALL | RETAINING WALL R/W RIGHT OF WAY S SLOPE SAN SANITARY SEWER SF SQUARE FEET SSE SANITARY SEWER EASEMENT STA STATION STM STORM TBR TO BE REMOVED TBRL TO BE RELOCATED TC TOP OF CURB TEL TELEPHONE TP TREE PROTECTION TW TOP OF WALL TYP TYPICAL UG UNDERGROUND UP UTILITY POLE W/L WATER LINE W/M WATER METER PLUS OR MINUS DEGREE Ø DIAMETER # NUMBER

OCUMENTS PREPARED BY CORESTATES IN NCLUDING THIS DOCUMENT, ARE TO BE USE INLY FOR THE SPECIFIC PROJECT AND SPEC USE FOR WHICH THEY WERE INTENDED. AN (TENSION OF USE TO ANY OTHER PROJEC Y OWNER OR BY ANY OTHER PARTY, WITHOU CORESTATES INC. IS DONE UNLAWFULLY AT AT THE USERS OWN RISK. IF USED IN A WAY OTHER THAN THAT SPECIFICALLY INTENDE FROM ALL CLAIMS AND LOSSES. CLIENT



PLANS FOR CHASE BANK

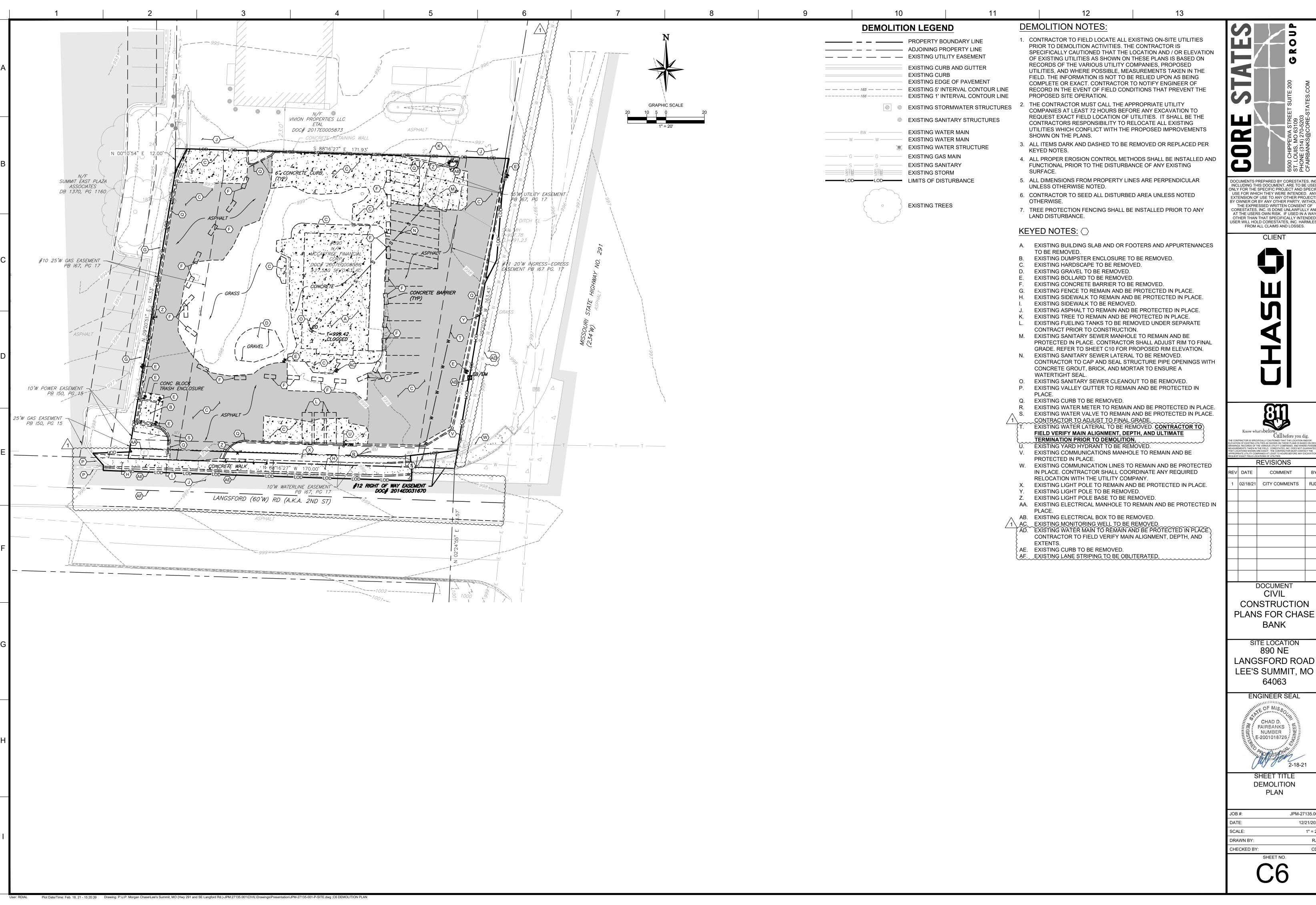
SITE LOCATION 890 NE LANGSFORD ROAD LEE'S SUMMIT, MO 64063

**ENGINEER SEAL** CHAD D. FAIRBANKS NUMBER E-2001018726 2-18-21

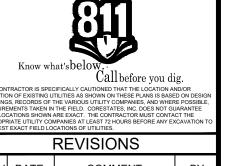
> SHEET TITLE **GENERAL NOTES**

JPM-27135.00 12/21/20 SCALE: AS NOTE DRAWN BY: CHECKED BY:

JOB #



DOCUMENTS PREPARED BY CORESTATES IN NCLUDING THIS DOCUMENT, ARE TO BE USE ONLY FOR THE SPECIFIC PROJECT AND SPECI USE FOR WHICH THEY WERE INTENDED. AN EXTENSION OF USE TO ANY OTHER PROJECTS Y OWNER OR BY ANY OTHER PARTY, WITHOL THE EXPRESSED WRITTEN CONSENT OF CORESTATES, INC. IS DONE UNLAWFULLY ANI AT THE USERS OWN RISK. IF USED IN A WAY OTHER THAN THAT SPECIFICALLY INTENDED

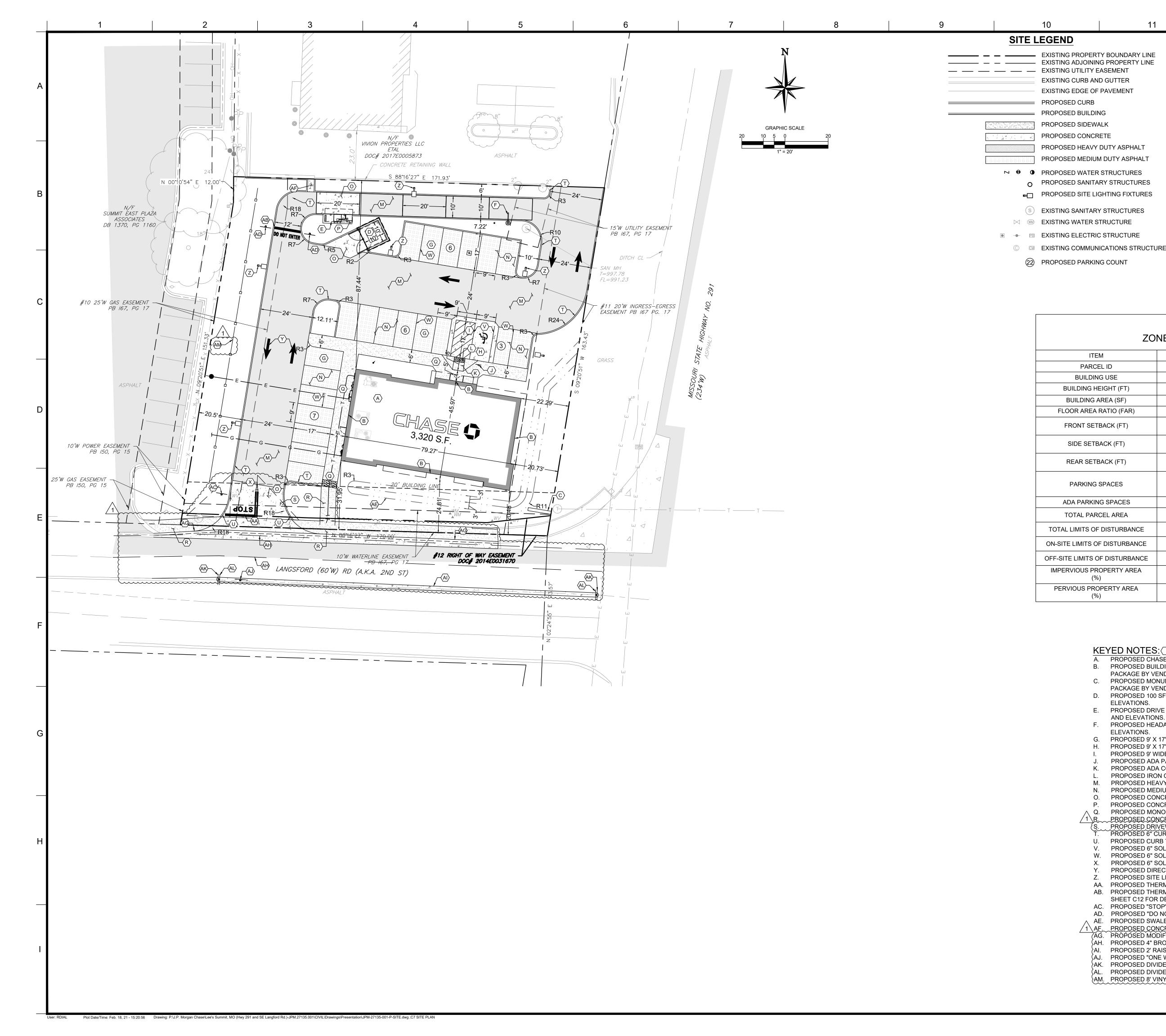


1 02/18/21 CITY COMMENTS RJD

CONSTRUCTION

LANGSFORD ROAD LEE'S SUMMIT, MO

JPM-27135.00 12/21/2020 1" = 20



# SITE NOTES:

ITEM

PARCEL ID

BUILDING USE

BUILDING HEIGHT (FT)

BUILDING AREA (SF)

FLOOR AREA RATIO (FAR)

FRONT SETBACK (FT)

SIDE SETBACK (FT)

REAR SETBACK (FT)

PARKING SPACES

ADA PARKING SPACES

TOTAL PARCEL AREA

TOTAL LIMITS OF DISTURBANCE

IMPERVIOUS PROPERTY AREA

PERVIOUS PROPERTY AREA

(%)

KEYED NOTES:⟨>

ELEVATIONS.

ELEVATIONS.

AND ELEVATIONS.

SHEET C12 FOR DETAIL.

AM. PROPOSED 8' VINYL FENCE.

PROPOSED 9' X 17' PARKING SPACE (TYPICAL).

- EXISTING PROPERTY BOUNDARY LINE
  - 1. REFER TO SHEET C2 FOR GENERAL NOTES. 2. REFER TO SHEET C3 FOR EXISTING CONDITIONS.
  - 3. REFER TO SHEET C8 FOR GRADING AND DRAINAGE PLAN.

  - 4. REFER TO SHEET C9 FOR UTILITY PLAN.

**ZONING DATA** 

**ZONED C-2 - GENERAL BUSINESS** 

EXISTING / REQUIRED

61-210-11-37-02-0-00-000

VACANT PAVED LOT (EXISTING)

MAX: 40'

0 SF (EXISTING)

0.55 (MAXIMUM)

20' (SOUTH) (MINIMUM)

15' (EAST) (MINIMUM)

10' (MINIMUM)

20' (MINIMUM)

4 SPACES / 1,000 SF = 14 SPACES MINIMUM

1 SPACES (MINIMUM)

0.632 AC (27,550 SF)

N/A

N/A

0.613 AC (21,369 SF)

77.56% (EXISTING)

0.142 AC (6,181 SF)

22.44% (EXISTING)

PROPOSED CHASE BANK. REFER TO ARCHITECTURAL PLANS FOR DETAILS AND ELEVATIONS. PROPOSED BUILDING SIGN TO BE PROVIDED AND INSTALLED BY OTHERS. REFER TO SIGNAGE

C. PROPOSED MONUMENT SIGN TO BE PROVIDED AND INSTALLED BY OTHERS. REFER TO SIGNAGE

D. PROPOSED 100 SF DUMPSTER ENCLOSURE. REFER TO ARCHITECTURAL PLANS FOR DETAILS AND

E. PROPOSED DRIVE THRU ATM WITH CANOPY. REFER TO ARCHITECTURAL DRAWINGS FOR DETAILS

PROPOSED 9' WIDE ADA COMPLIANT LOADING AREA. REFER TO SHEET C11 & C12 FOR DETAILS. PROPOSED ADA PARKING SIGN WITH BREAK AWAY POST. REFER TO SHEET C11 FOR DETAIL.

PROPOSED IRON CAST-IN-PLACE DETECTABLE WARNINGS. REFER TO SHEET C11 FOR DETAILS. PROPOSED HEAVY DUTY ASPHALT PAVEMENT (TYPICAL). REFER TO SHEET C11 FOR DETAIL.

PROPOSED MONOLITHIC TURNED DOWN CONCRETE SIDEWALK. REFER TO SHEET C11 FOR DETAIL.

PROPOSED HEADACHE BAR. REFER TO ARCHITECTURAL DRAWINGS FOR DETAILS AND

PROPOSED 9' X 17' ADA PARKING SPACE. REFER TO SHEET C12 FOR DETAIL.

PROPOSED CONCRETE PAVEMENT. REFER TO SHEET C11 FOR DETAIL.

PROPOSED CONCRETE SIDEWALK. REFER TO SHEET C12 FOR DETAIL.

PROPOSED CURB TRANSITION. REFER TO SHEET C12 FOR DETAIL.

PROPOSED DRIVEWAY. REFER TO SHEET C13 FOR DETAIL.)

PROPOSED 6" CURB. REFER TO SHEET C12 FOR DETAIL.

PROPOSED SITE LIGHT POLE. (TYPICAL) (SEE NOTE #6).

AC. PROPOSED "STOP" SIGN (R1-1). REFER TO SHEET C11 FOR DETAIL.

AH. PROPOSED 4" BROKEN LINE. REFER TO SHEET C20 FOR DETAIL.

PROPOSED CONCRETE FLUME. REFER TO SHEET C12 FOR DETAIL

AD. PROPOSED "DO NOT ENTER" SIGN (R5-1). REFER TO SHEET C11 FOR DETAILS. AE. PROPOSED SWALE. REFER TO GRADING AND DRAINAGE PLAN FOR ELEVATIONS.

PROPOSED MODIFIED TYPE CG-2 CURB. REFER TO SHEET C13 FOR DETAIL

PROPOSED 2' RAISED CONCRETE MEDIAN, REFER TO SHEET C## FOR DETAIL. PROPOSED "ONE WAY" SIGN (R6-1R). REFER TO SHEET C11 FOR DETAIL.

AK. PROPOSED DIVIDED HIGHWAY BEGINS SIGN (W6-1).REFER TO SHEET C20 FOR DETAIL ﴿ PROPOSED DIVIDED HIGHWAY ENDS SIGN (W6-2). REFER TO SHEET C20 FOR DETAIL.

PROPOSED ADA COMPLIANT FLARED RAMP. REFER TO SHEET C11 FOR DETAILS.

PROPOSED MEDIUM DUTY ASPHALT PAVEMENT. REFER TO SHEET C11 FOR DETAIL.

PROPOSED CONCRETE SLAB FOR ATM. REFER TO ARCHITECTURAL PLANS FOR DETAILS.

PROPOSED 6" SOLID BLUE PAINTED STRIPE (TYPICAL). REFER TO SHEET C11 FOR DETAIL. PROPOSED 6" SOLID WHITE PAINTED STRIPE (TYPICAL). REFER TO SHEET C11 FOR DETAIL.

PROPOSED DIRECTIONAL TRAFFIC MARKING (TYPICAL). REFER TO SHEET C12 FOR DETAIL.

AA. PROPOSED THERMOPLASTIC STOP BAR WITH "STOP" TEXT. REFER TO SHEET C12 FOR DETAIL.

PROPOSED THERMOPLASTIC STOP BAR WITH "STOP" AND "DO NOT ENTER" TEXT. REFER TO

PROPOSED 6" SOLID YELLOW PAINTED STRIPE. REFER TO SHEET C11 FOR DETAIL.

PACKAGE BY VENDOR. SIGNAGE PERMIT TO BE PROCURED BY SIGNAGE VENDOR.

PACKAGE BY VENDOR. SIGNAGE PERMIT TO BE PROCURED BY SIGNAGE VENDOR.

- 5. REFER TO LANDSCAPE PLAN.
- 6. REFER TO SHEETS C14 FOR PHOTOMETRIC PLAN AND SITE LIGHTING
- 7. ALL DIMENSIONS ARE TO GROUND LEVEL IMPROVEMENTS (FACE OF CURB, CONCRETE SLAB, ETC.) UNLESS NOTED OTHERWISE. REFER TO ARCHITECTURAL PLANS FOR BUILDING DETAILS.
- 8. ALL DIMENSIONS FROM PROPERTY LINES ARE PERPENDICULAR UNLESS OTHERWISE NOTED.
- 9. CONTRACTOR TO SEED ALL DISTURBED AREA UNLESS NOTED
- 10. CONTRACTOR TO INSTALL ASPHALT PAVEMENT IN ALL DRIVING AREAS REFER TO SHEET C10 FOR ASPHALT PAVING DETAILS.

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PROPOSED

61-210-11-37-02-0-00-000

BANKING FACILITY

21'-6"

3,320 SF

0.12 (PROPOSED)

20.48' (SOUTH)

20.73' (EAST)

N/A

87.44' (NORTH)

68.5' (WEST) 22 SPACES

(INCLUDING 1 ADA

SPACES)

0.632 AC (27,550 SF)

0.658 AC (28,642 SF)

0.627 AC (27,329 SF)

0.030 AC (1,313 SF)

0.413 AC (17,998 SF)

65.33%

0.219 AC (9,552 SF)

34.67%

JSER WILL HOLD CORESTATES, INC. HARMLE: FROM ALL CLAIMS AND LOSSES. CLIENT



**REVISIONS** 02/18/21 CITY COMMENTS

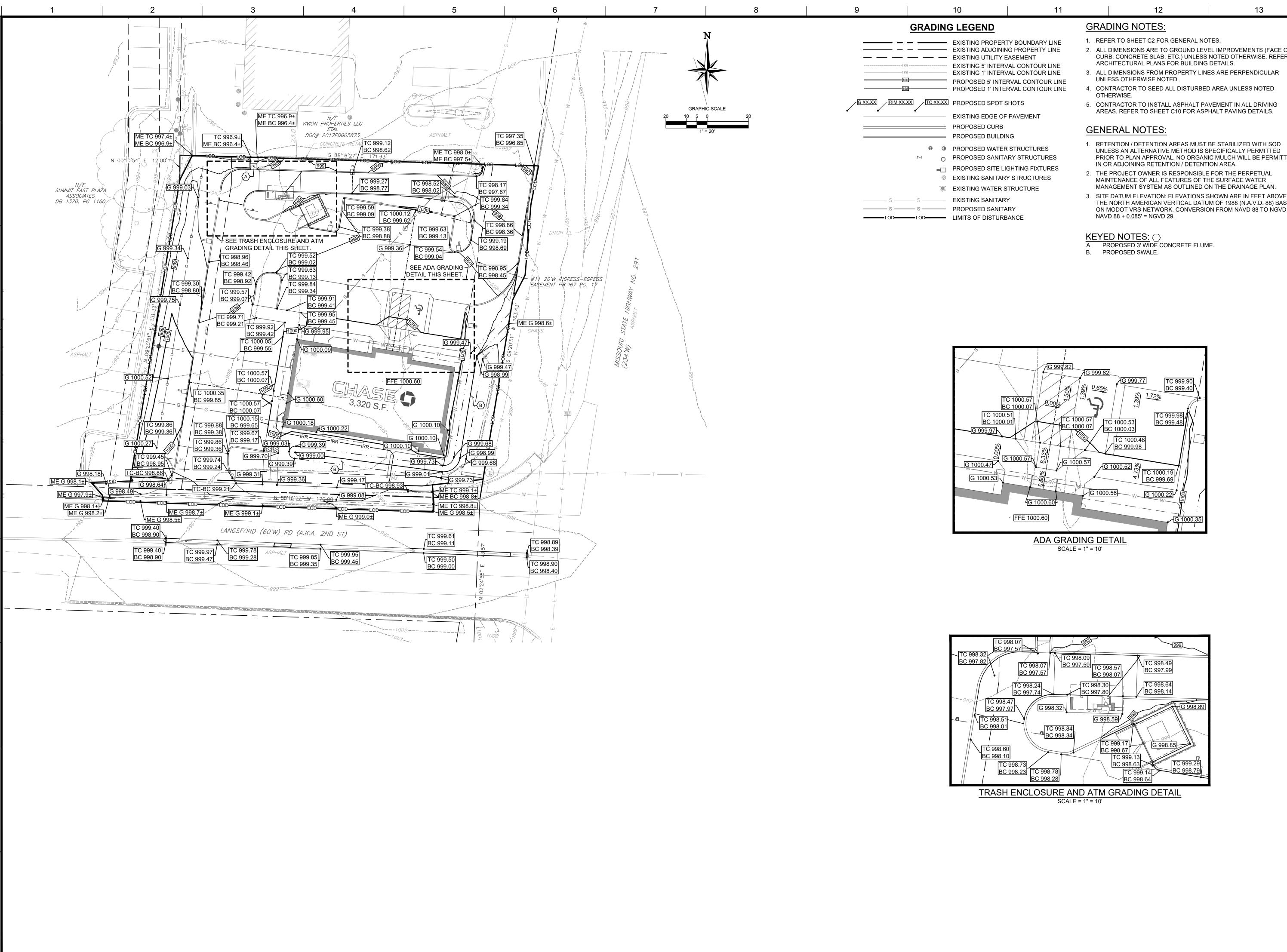
> DOCUMENT CIVIL CONSTRUCTION PLANS FOR CHASE BANK

SITE LOCATION 890 NE LANGSFORD ROAD LEE'S SUMMIT, MO 64063

ENGINEER SEAL CHAD D. FAIRBANKS NUMBER E-2001018726 2-18-21

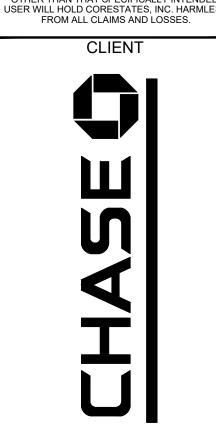
> SHEET TITLE SITE PLAN

JOB #:	JPM-27135.001
DATE:	12/21/2020
SCALE:	1" = 20'
DRAWN BY:	RJD
CHECKED BY:	CDF



Plot Date/Time: Feb. 18, 21 - 15:21:52 Drawing: P:\J.P. Morgan Chase\Lee's Summit, MO (Hwy 291 and SE Langford Rd.)-JPM.27135.001\CIVIL\Drawings\Presentation\JPM-27135-001-P-SITE.dwg; C8 GRADING AND DRAINAGE PLAN

- 2. ALL DIMENSIONS ARE TO GROUND LEVEL IMPROVEMENTS (FACE OF CURB, CONCRETE SLAB, ETC.) UNLESS NOTED OTHERWISE. REFER TO
- 1. RETENTION / DETENTION AREAS MUST BE STABILIZED WITH SOD UNLESS AN ALTERNATIVE METHOD IS SPECIFICALLY PERMITTED PRIOR TO PLAN APPROVAL. NO ORGANIC MULCH WILL BE PERMITTED
- 2. THE PROJECT OWNER IS RESPONSIBLE FOR THE PERPETUAL
- THE NORTH AMERICAN VERTICAL DATUM OF 1988 (N.A.V.D. 88) BASED ON MODOT VRS NETWORK. CONVERSION FROM NAVD 88 TO NGVD 29,



DOCUMENTS PREPARED BY CORESTATES. INC INCLUDING THIS DOCUMENT, ARE TO BE USEI ONLY FOR THE SPECIFIC PROJECT AND SPECIF

USE FOR WHICH THEY WERE INTENDED. ANY EXTENSION OF USE TO ANY OTHER PROJECTS Y OWNER OR BY ANY OTHER PARTY, WITHOL

THE EXPRESSED WRITTEN CONSENT OF CORESTATES, INC. IS DONE UNLAWFULLY ANI

AT THE USERS OWN RISK. IF USED IN A WAY OTHER THAN THAT SPECIFICALLY INTENDED

Call before you dig. REVISIONS 1 |02/18/21 | CITY COMMENTS | RJD

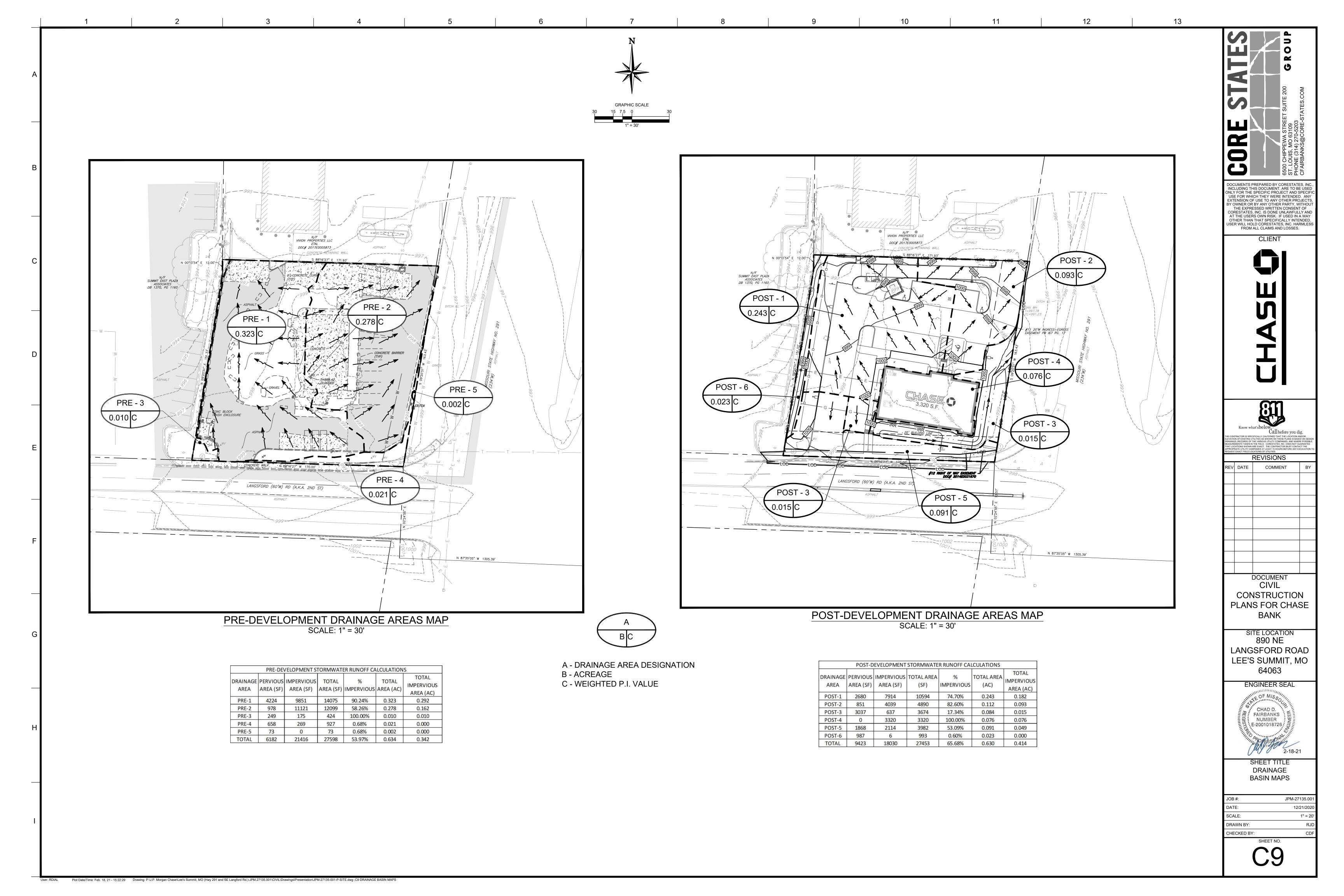
DOCUMENT CIVIL CONSTRUCTION PLANS FOR CHASE BANK

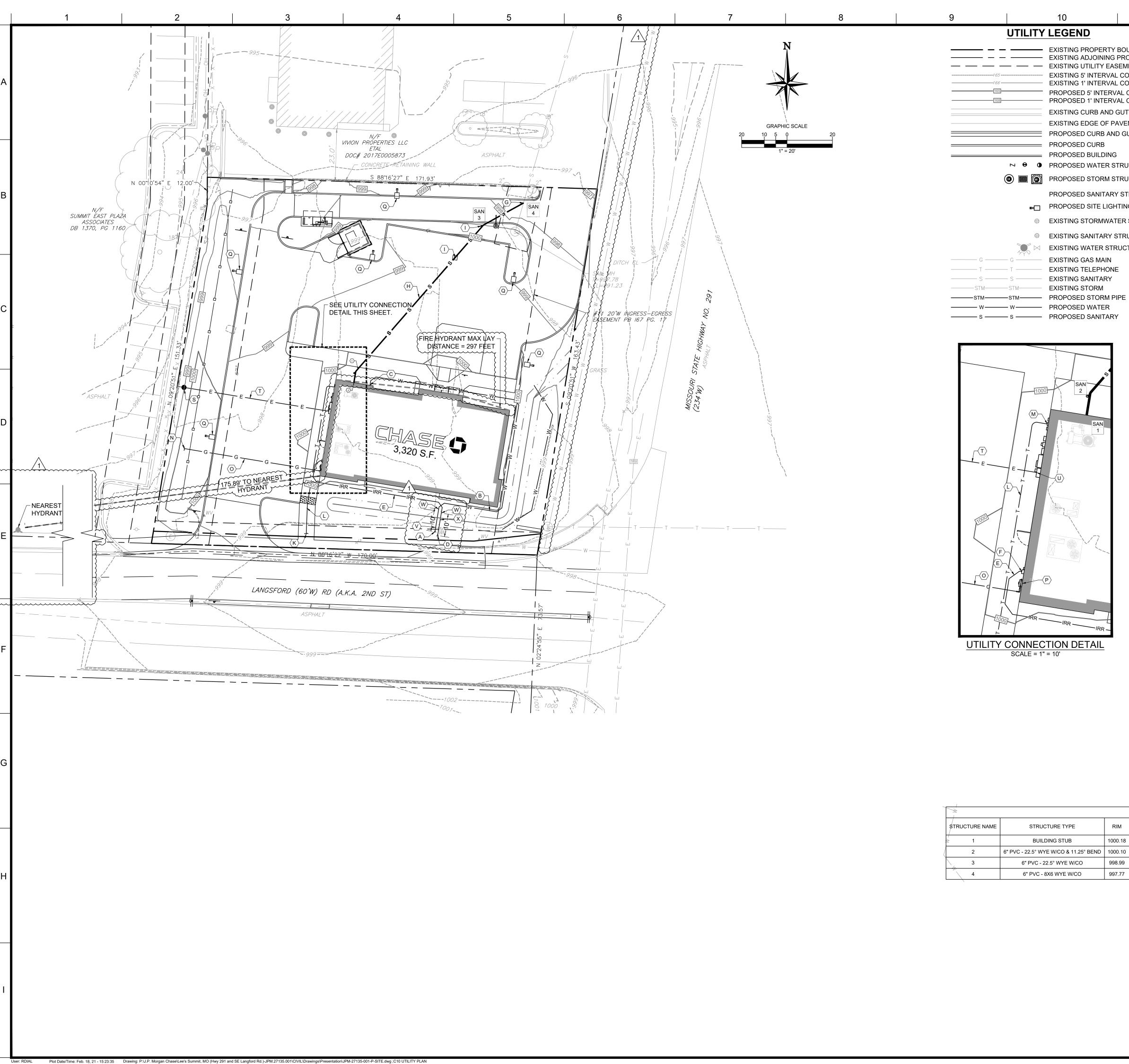
SITE LOCATION 890 NE LANGSFORD ROAD LEE'S SUMMIT, MO 64063

ENGINEER SEAL CHAD D. 用: FAIRBANKS NUMBER E-2001018726

> SHEET TITLE **GRADING AND** DRAINAGE PLAN

JPM-27135.00 12/21/2020 SCALE: 1" = 20 DRAWN BY: CHECKED BY:





# **UTILITY NOTES:**

**UTILITY LEGEND** 

— EXISTING ADJOINING PROPERTY LINE

**EXISTING 5' INTERVAL CONTOUR LINE** EXISTING 1' INTERVAL CONTOUR LINE

PROPOSED 1' INTERVAL CONTOUR LINE

PROPOSED SANITARY STRUCTURES

PROPOSED SITE LIGHTING FIXTURES

EXISTING SANITARY STRUCTURES

M EXISTING WATER STRUCTURE

EXISTING GAS MAIN

EXISTING SANITARY

EXISTING STORM

SCALE = 1" = 10'

**EXISTING TELEPHONE** 

EXISTING STORMWATER STRUCTURES

— — EXISTING UTILITY EASEMENT

PROPOSED CURB

PROPOSED BUILDING

→ ● PROPOSED WATER STRUCTURES

PROPOSED STORM STRUCTURES

PROPOSED 5' INTERVAL CONTOUR LINE

PROPOSED CURB AND GUTTER

EXISTING CURB AND GUTTER EXISTING EDGE OF PAVEMENT

- EXISTING PROPERTY BOUNDARY LINE 1. REFER TO SHEET C2 FOR GENERAL NOTES.
  - 2. REFER TO SHEET C6 FOR EXISTING CONDITIONS.

  - 3. REFER TO SHEET C7 FOR SITE PLAN.
  - 4. REFER TO SHEET C8 FOR GRADING AND DRAINAGE PLAN.
  - 5. REFER TO LANDSCAPE PLAN.
  - 6. REFER TO SHEETS C14 FOR PHOTOMETRIC PLAN AND SITE LIGHTING

  - 7. REFER TO ARCHITECTURAL PLANS FOR SITE ELECTRICAL PLANS.
  - 8. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND / OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING COMPLETE OR EXACT. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
  - 9. ELEVATIONS SHOWN ARE IN FEET ABOVE THE NORTH AMERICAN VERTICAL DATUM OF 1988 (N.A.V.D. 88) BASED ON MODOT VRS NETWORK. CONVERSION FROM NAVD 88 TO NGVD 29, NAVD 88 - 0.354' = NGVD 29.

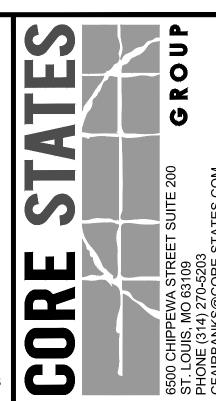
# KEYED NOTES:

- A. PROPOSED DOMESTIC WATER SERVICE POINT OF CONNECTION AT EXISTING WATER METER. CONTRACTOR SHALL COORDINATE WITH THE CITY OF LEE'S SUMMIT.
- PROPOSED 1-1/2" COPPER DOMESTIC WATER SERVICE.
- PROPOSED LOCATION FOR POTABLE WATER TIE IN TO THE BUILDING. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
- PROPOSED IRRIGATION WATER SERVICE POINT OF CONNECTION AT EXISTING WATER METER. CONTRACTOR SHALL COORDINATE WITH THE CITY OF LEE'S SUMMIT.
- PROPOSED 1-1/2" PVC IRRIGATION WATER SERVICE.
- PROPOSED LOCATION FOR IRRIGATION WATER TIE IN TO THE BUILDING. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
- PROPOSED 8" X 6" WYE AND POINT OF CONNECTION FOR SANITARY SEWER SERVICE AT 8" SANITARY SEWER LATERAL.
- PROPOSED 6" (SDR 35) PVC SANITARY SEWER SERVICE. SANITARY SEWER PIPE TO BE RUN AT MINIMUM SLOPE OF 2.00%.
- PROPOSED SANITARY SEWER CLEANOUT LOCATION. REFER TO SHEET C12 FOR DETAIL
- PROPOSED LOCATION FOR SANITARY SEWER TIE IN TO THE BUILDING. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
- PROPOSED POINT OF CONNECTION FOR UNDERGROUND TELEPHONE/CABLE SERVICE. CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANY.
- PROPOSED (2) 2" CONDUITS FOR TELEPHONE/CABLE SERVICE. CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANY FOR SERVICE SPECIFICATIONS.
- M. PROPOSED LOCATION FOR UNDERGROUND TELEPHONE/CABLE TIE IN TO THE BUILDING. REFER TO ELECTRICAL PLANS FOR DETAILS. PROPOSED GAS SERVICE CONNECTION AT EXISTING GAS LATERAL.
- CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANY O. PROPOSED GAS LINE. CONTRACTOR SHALL COORDINATE WITH
- UTILITY COMPANY (EVERGY). PROPOSED GAS METER. CONTRACTOR SHALL COORDINATE WITH
- UTILITY COMPANY (EVERGY).
- PROPOSED SITE LIGHTING FIXTURE (SEE PHOTOMETRIC PLAN). REFER TO SHEET C15, C16, C17, & C18 FOR DETAILS.
- MONUMENT SIGN. ALIGNMENT OF UNDERGROUND CONDUITS ARE FOR GENERAL LOCATION ONLY. CONTRACTOR TO INSTALL UNDERGROUND CONDUITS TO PREVENT CONFLICTS AND FACILITATED PROPOSED WIRING SCHEMATIC.

PROPOSED (2) 3/4" UNDERGROUND ELECTRICAL CONDUITS FOR

- S. PROPOSED UTILITY POLE WITH TRANSFORMERS AND POINT OF CONNECTION FOR UNDERGROUND ELECTRIC SERVICE. CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANY (EVERGY).
- CONTRACTOR SHALL PROVIDE 4" UNDERGROUND SECONDARY CONDUITS SIZED FOR 400A, 3-PHASE ELECTRICAL SERVICE. CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANY
- (EVERGY). PROPOSÉD WALL MOUNTED ELECTRIC METER AND MANUAL TRANSFER SWITCH. CONTRACTOR SHALL COORDINATE WITH ELECTRICAL COMPANY (EVERGY). REFER TO ELECTRICAL PLANS
- FOR DETAILS.
  PROPOSED 2" SOFT TYPE K COPPER SERVICE LATERAL TO EXTEND) A MINIMUM OF 10 FEET PAST THE METER.
- PROPOSED 2" X 1.5" REDUCER TO BE INSTALLED A MINIMUM OF 10 FEET PAST THE METER.
- PROPOSED 2" SOFT TYPE K COPPER IRRIGATION LATERAL TO EXTEND A MINIMUM OF 10 FEET PAST THE METER.

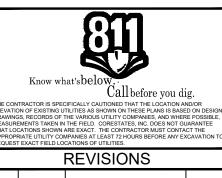
<u> </u>   <del> </del>			SANI	TARY STRUCT	URE TABLE				
TRUCTURE NAME	STRUCTURE TYPE	RIM	UPSTREAM PIPE NAME	UPSTREAM PIPE INV	DOWNSTREAM PIPE NAME	DOWNSTREAM PIPE INV	DOWNSTREAM PIPE LENGTH	DOWNSTREAM PIPE SIZE AND TYPE	DOWNSTREAM PIPE SLOPE
1	BUILDING STUB	1000.18			SAN 1-2	996.67'	5.00'	6" PVC	2.00%
2	6" PVC - 22.5° WYE W/CO & 11.25° BEND	1000.10	SAN 1-2	996.57'	SAN 2-3	996.57'	85.59'	6" PVC	1.39%
3	6" PVC - 22.5° WYE W/CO	998.99	SAN 2-3	995.38'	SAN 3-4	995.38'	20.12'	6" PVC	21.68%
4	6" PVC - 8X6 WYE W/CO	997.77	SAN 3-4	991.01'					



DOCUMENTS PREPARED BY CORESTATES IN NCLUDING THIS DOCUMENT, ARE TO BE USE ONLY FOR THE SPECIFIC PROJECT AND SPECI USE FOR WHICH THEY WERE INTENDED. AN EXTENSION OF USE TO ANY OTHER PROJECTS Y OWNER OR BY ANY OTHER PARTY, WITHOL ORESTATES, INC. IS DONE UNLAWFULLY AN AT THE USERS OWN RISK. IF USED IN A WAY OTHER THAN THAT SPECIFICALLY INTENDED JSER WILL HOLD CORESTATES, INC. HARMLES FROM ALL CLAIMS AND LOSSES.

CLIENT





02/18/21 CITY COMMENTS RJD

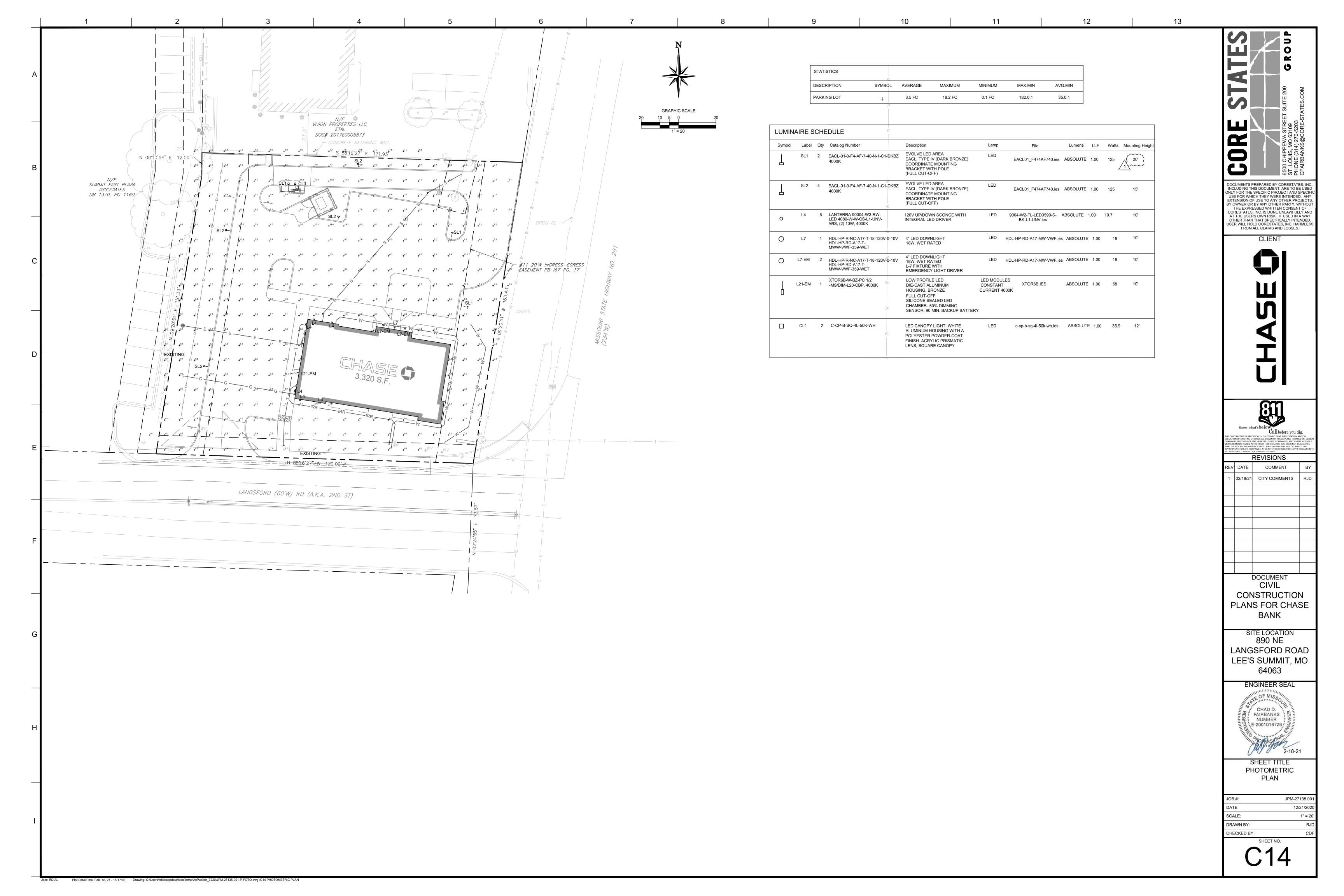
DOCUMENT CIVIL CONSTRUCTION PLANS FOR CHASE BANK

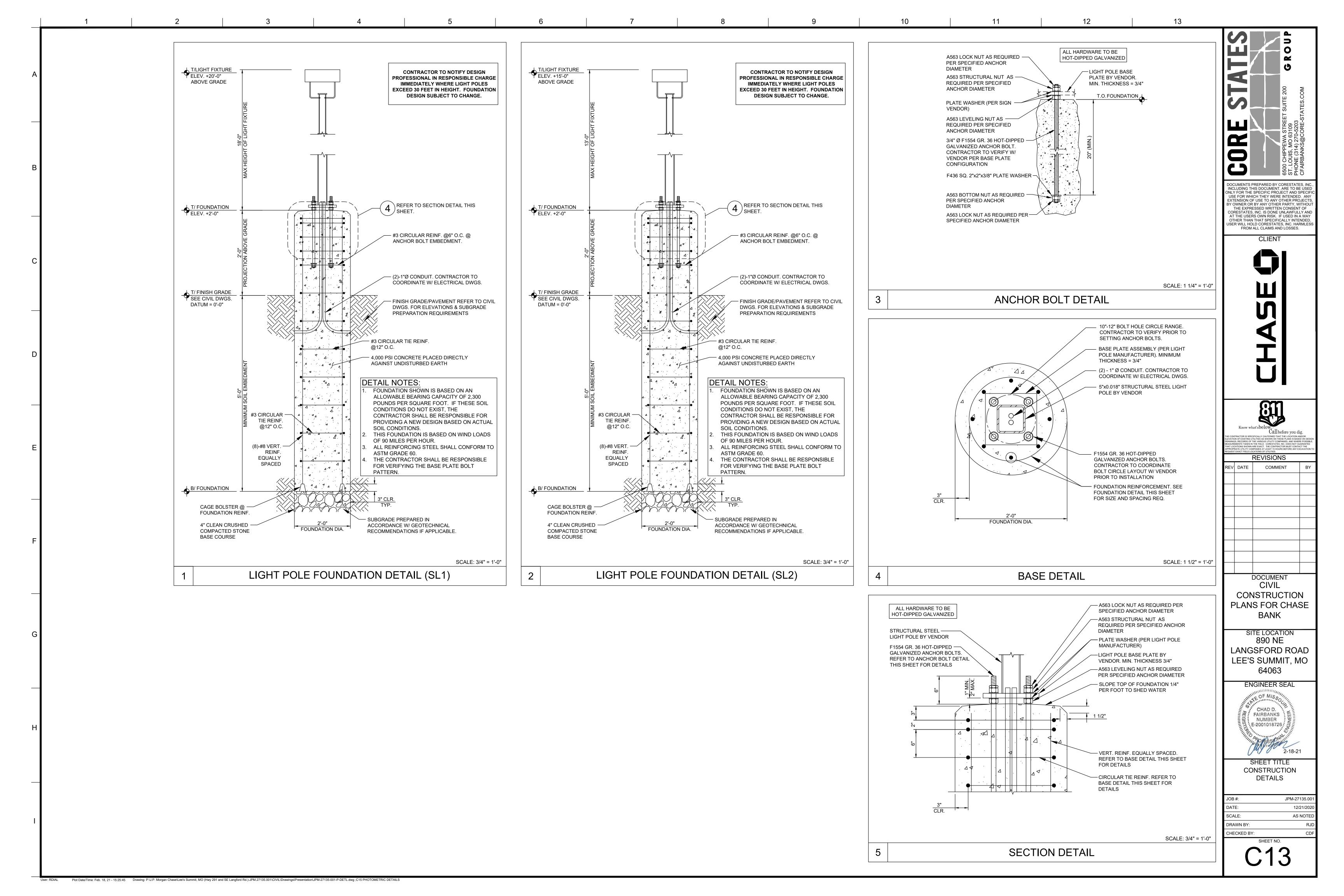
SITE LOCATION 890 NE LANGSFORD ROAD LEE'S SUMMIT, MO 64063

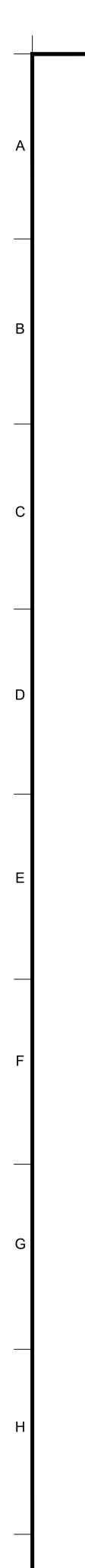


UTILITY PLAN

JOB #:	JPM-27135.001
DATE:	12/21/2020
SCALE:	1" = 20'
DRAWN BY:	RJD
CHECKED BY:	CDF







# Evolve™ LED Area Light

N Series (EANB)



# powered by GE

**Product Dimensions** 

10" Arm For Square Pole Mount (Option A)

10" Arm For Round Pole Mount (Option B)

10" Arm For Square Pole Mount or Round Role Mount (Option D)

SOUARE POLE ADAPTOR (A and D)

Option D includes all mounting hardware in Option A and Option B

# **Product Features**

The next generation of the GE Evolve™ LED Area Light is an exciting solution to efficiently illuminate site and area applications. The smaller-form design of the EANB fixture provides superior illuminance at impressive site ROIs. The exclusive optical ring design effectively directs the light and produces impressive vertical illuminance and glare control. Additionally, the Evolve LED Area Light provides significant operating cost benefits over the life of each fixture with reduced energy consumption and a long rated life that virtually eliminates ongoing maintenance expenses.

## **Applications**

- Site, area, roadway and general lighting applications utilizing advanced LED optical system providing high uniformity, excellent vertical light distribution, reduced offsite visibility, reduced on-site glare and
- Obtain a truly optimized and efficient parking space with dimming and occupancy sensing features. Housing

# Die-cast aluminum housing.

effective security light levels.

- Slim architectural design incorporates an integral heat sink and light engine, ensuring maximum heat transfer, long LED life, and a reduced Effective
- Projected Area (EPA). Meets 2G vibration level per ANSI C136.31-2010.

# **LED & Optical Assembly**

- Structured LED arrays for optimized area light photometric distribution.
- Evolve light engine with directional reflectors designed
- to optimize application efficiency and minimize glare. Utilizes high brightness LEDs, 70 CRI at 3000K, 4000K and 5000K typical.

# Lumen Maintenance

Projected L90>50,000 hours per IES TM-21

Projected Lxx per IES TM-21 at 25°C for reference:

# NOTES: 1) Projected Lxx based on LM-80 (10,000 hour testing). 2) DOE Lighting Facts Verification Testing Tolerances apply to initial luminous flux and lumen maintenance measurements.

# Lumen Ambient Temperature Factors:

	RATURE FACTORS:
	INITIAL FLUX FACTOR
10	1.02
20	1.01
25	1.00
30	0.99
40	0.98
50	0.97

Standard qualified models available. Please refer to

- **(N)**/• **(N)** listed, suitable for wet locations. IP66 rated optical enclosure per ANSI C136.25-2009. Temperature rated at -40° to 50°C.
- Title 24 compliant with "H" motion sensor option. Compliant with the material restriction requirements of RoHS.

Upward Light Output Ratio (ULOR) = 0.

# Mounting

 10-inch (254mm) mounting arm for square pole prewired with 24-inch (610mm) leads.

prewired with 24-inch (610mm) leads.

prewired with 24-inch (610mm) leads.

# • 10-inch (254mm) mounting arm for round pole

Slipfitter mounting for 2 3/8-inch (60mm) O.D. pipe

square pole prewired with 24-inch (610mm) leads.

# • 10-inch (254mm) mounting arm for round or

- Corrosion resistant polyester powder painted,
- minimum 2.0 mil. thickness. Standard colors: Black & Dark Bronze.

# RAL & custom colors available.

# Electrical

- 120-277 VAC and 347-480 VAC available.
- System power factor is >90% and THD <20%.</li> ANSI C136.41 7-pin dimming receptacle, standard.
- ANSI photo electric sensors (PE) available for all
- voltages. Light Grid compatible. Dimming/Occupancy:
- Wired 0-10V continuous dimming
- DALI digital dimming. Contact manufacturer
- for availability. - Standalone motion sensor based dimming
- using "H" option code.
- Surge Protection per ANSI C136.2-2015. - 6kV/3kA "Basic" surge protection, standard.

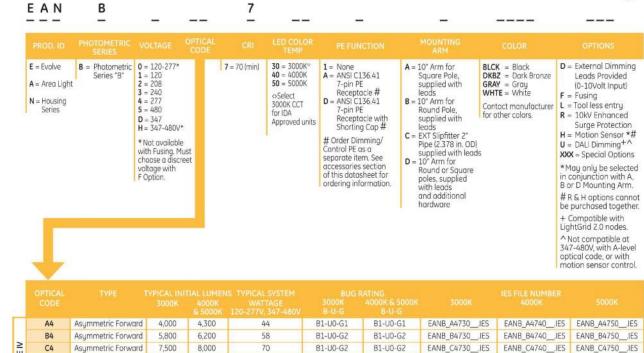
### 10kV/5kA "Enhanced" surge protection optional. www.designlights.org/QPL for complete information.

# Accessories

PE Accessories - See Page 3

# Ordering Number Logic

Evolve™ LED Area Light N Series (EANB)



ш		magnimetric i orward	1,500	0,000	7.0	01-00-05	01-00-05	LAND_C4750ILS	CHIND_CATAOILS	LAND_C4730IL3
TYPE	D4	Asymmetric Forward	9,200	9,800	89	B1-U0-G2	B2-U0-G2	EANB_D4730IES	EANB_D4740IES	EANB_D4750IES
	E4	Asymmetric Forward	10,800	11,500	98	B2-U0-G2	B2-U0-G2	EANB_E4730IES	EANB_E4740IES	EANB_E4750IES
	F4	Asymmetric Forward	12,900	13,700	125	B2-U0-G3	B2-U0-G3	EANB_F4730IES	EANB_F4740IES	EANB_F4750IES
	A3	Asymmetric Wide	4,300	4,600	44	B1-U0-G1	B1-U0-G1	EANB_A3730IES	EANB_A3740IES	EANB_A3750IES
=	B3	Asymmetric Wide	6,200	6,600	58	B1-U0-G1	B1-U0-G1	EANB_B3730,IES	EANB_B3740,IES	EANB_B3750IES
TYPE	C3	Asymmetric Wide	8,100	8,600	70	B1-U0-G2	B1-U0-G2	EANB_C3730IES	EANB_C3740IES	EANB_C3750IES
2	D3	Asymmetric Wide	9,900	10,500	89	B2-U0-G2	B2-U0-G2	EANB_D3730IES	EANB_D3740IES	EANB_D3750IES
	E3	Asymmetric Wide	11,600	12,400	98	B2-U0-G2	B2-U0-G2	EANB_E3730IES	EANB_E3740IES	EANB_E3750IES
	F3	Asymmetric Wide	13,900	14,700	125	B2-U0-G2	B2-U0-G2	EANB_F3730,IES	EANB_F3740IES	EANB_F3750IES
	A2	Asymmetric Narrow	4,200	4,500	44	B1-U0-G1	B1-U0-G1	EANB_A2730IES	EANB_A2740IES	EANB_A2750IES
	B2	Asymmetric Narrow	6,100	6,500	58	B1-U0-G1	B1-U0-G1	EANB_B2730IES	EANB_B2740IES	EANB_B2750IES
= 30	CS	Asymmetric Narrow	7,900	8,400	70	B2-U0-G2	B2-U0-G2	EANB_C2730IES	EANB_C2740IES	EANB_C2750IES
TYPE	D2	Asymmetric Narrow	9,700	10,300	89	B2-U0-G2	B2-U0-G2	EANB_D2730IES	EANB_D2740IES	EANB_D2750IES
	E2	Asymmetric Narrow	11,400	12,100	98	B2-U0-G2	B2-U0-G2	EANB_E2730IES	EANB_E2740IES	EANB_E2750IES
	F2	Asymmetric Narrow	13,600	14,400	125	B2-U0-G2	B2-U0-G2	EANB_F2730IES	EANB_F2740IES	EANB_F2750IES

STANDARD 120-277V

STANDARD 480V

STANDARD 347V

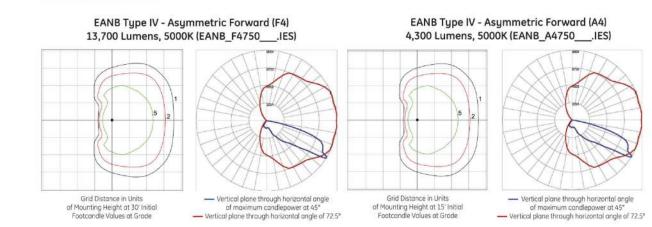
PECDTL

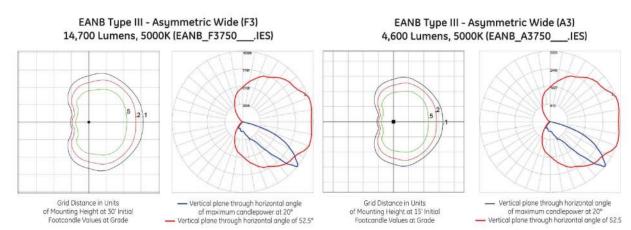
SCCL-PECTL

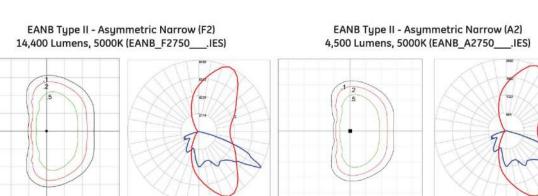
# PE Accessories (to be ordered separately)

SAP Number		Description	SAP Numb
93029237	PED-MV-LED-7	ANSI C136.41 Dimming PE, 120-277V	28299
93029238	PED-347-LED-7	ANSI C136.41 Dimming PE, 347V	28294
93029239	PED-480-LED-7	ANSI C136.41 Dimming PE, 480V	80436

# **Photometrics**



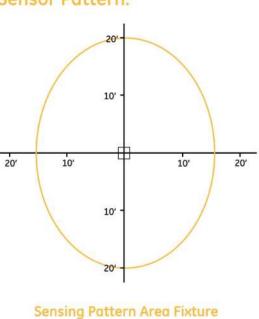




f Mounting Height at 15' Initial Footcandle Values at Grade

- H-Motion Sensing Option: Intended for high mounting applications, between 15-30ft (4.57-9.14m). For mounting heights exceeding 30ft, pole mounted
- sensors are recommended. Provides a coverage area radius for walking motion of 15-20ft
- (4.57-6.10m).
- Provides 270° of coverage (~90° is blocked by the pole).
- Comes standard with 50% dimmed light output with no occupancy, and full power at occupancy.
- Comes standard with photocell function. Note: It is not necessary to also purchase PE receptacle or control. • Comes standard with a 5 minute occupancy time delay and a 5 minute ramp-down to the 50% dimmed level.
- Must order with decorative mounting arm options "A" or "B".
- Fixture power increase of 1W expected with sensor use. Note: Standard options may be reprogrammed in the field. Reprogramming instructions included in product shipment.

# Sensor Pattern:

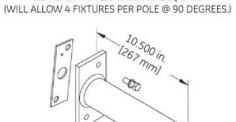


Up to 30 ft.

# **Mounting Information**

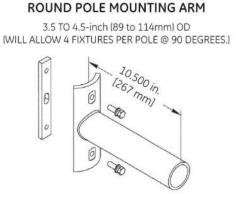
## Mounting Arms for Slipfitter Order separately with Mounting Option C (External Slipfitter)

# SQUARE POLE MOUNTING ARM 3.5 TO 4.5-inch (89 to 114mm) SQUARE



# SPA-EAMT10BLCK "Black" SPA-EAMT10DKBZ "Dark Bronze"

ORDER SEPARATELY FROM FIXTURE AS CATALOG NUMBER



ORDER SEPARATELY FROM FIXTURE AS CATALOG NUMBER RPA-EAMT10BLCK "Black" RPA-EAMT10DKBZ "Dark Bronze"

Other mounting patterns are available for retrofit installations.

.750 in. DIA. -

[8 mm DIA.]

Drilling Templates for

Slipfitter Arms & Arm Mount

SQUARE POLE MOUNTING

**ROUND POLE MOUNTING** 

3.5 TO 4.5-inch (89 to 114mm) OD

round pole mounting arm

[8 mm DIA.]

1.250 in. DIA. -

[32 mm DIA.]

[11 mm DIA.]

(2 Places)

.656 in. [17 mm]

1.312 in. [33 mm]

[11 mm DIA.]

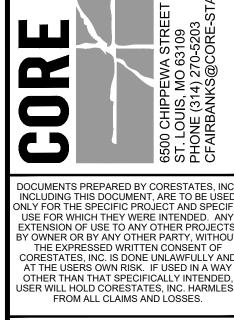
(2 Places)



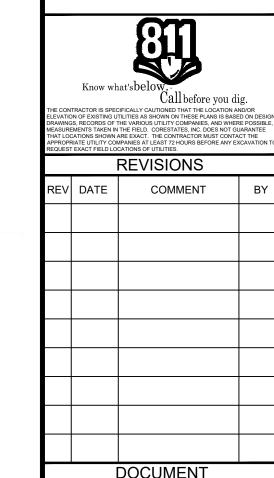
www.currentbyge.com All trademarks are the property of their respective owners. Information provided is subject to change without notice. All values are design or typical values when measured under laboratory conditions. Current, powered by GE is a business of the General Electric Company.

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Contact manufacturing for other available mounting patterns.







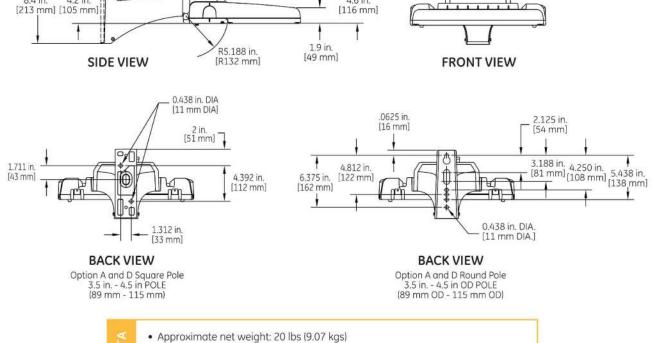
DOCUMENT CIVIL CONSTRUCTION PLANS FOR CHASE BANK

SITE LOCATION 890 NE LANGSFORD ROAD LEE'S SUMMIT, MO 64063



SHEET TITLE CONSTRUCTION DETAILS

JPM-27135.00 JOB #: 12/21/2020 SCALE: AS NOTE DRAWN BY: CHECKED BY:

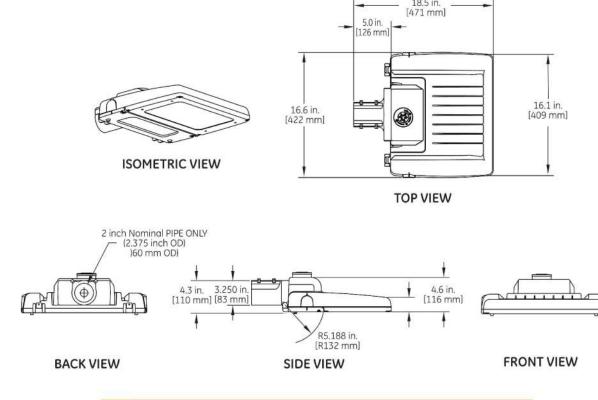


• Effective Projected Area (EPA) with 10" Mounting Arm: 0.67 sq ft max (0.06 sq m)

Plot Date/Time: Feb. 18, 21 - 15:26:25 Drawing: P:\J.P. Morgan Chase\Lee's Summit, MO (Hwy 291 and SE Langford Rd.)-JPM.27135.001\CIVIL\Drawings\Presentation\JPM-27135-001-P-DETL.dwg ;C16 PHOTOMETRIC DETAILS

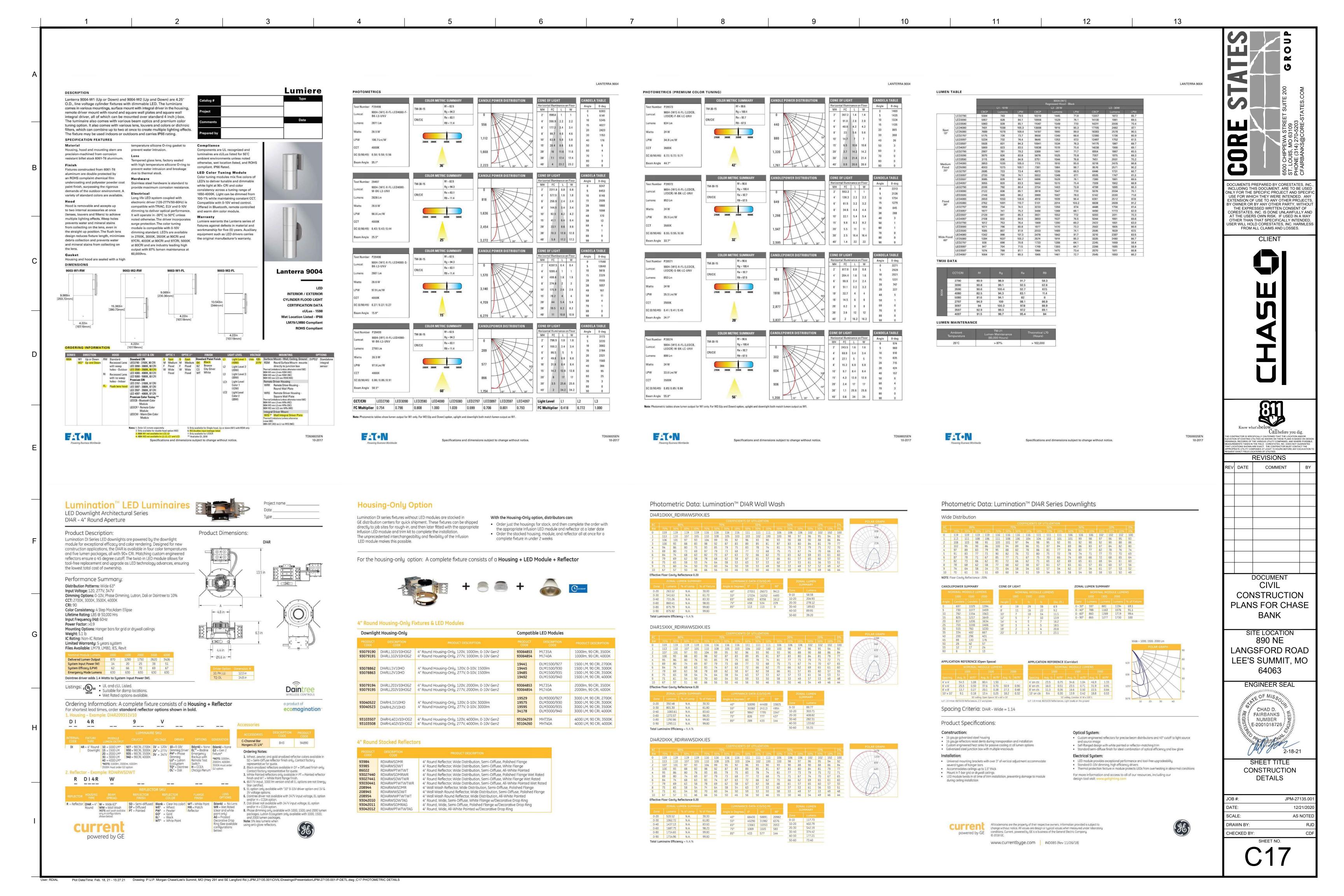
**TOP VIEW** 

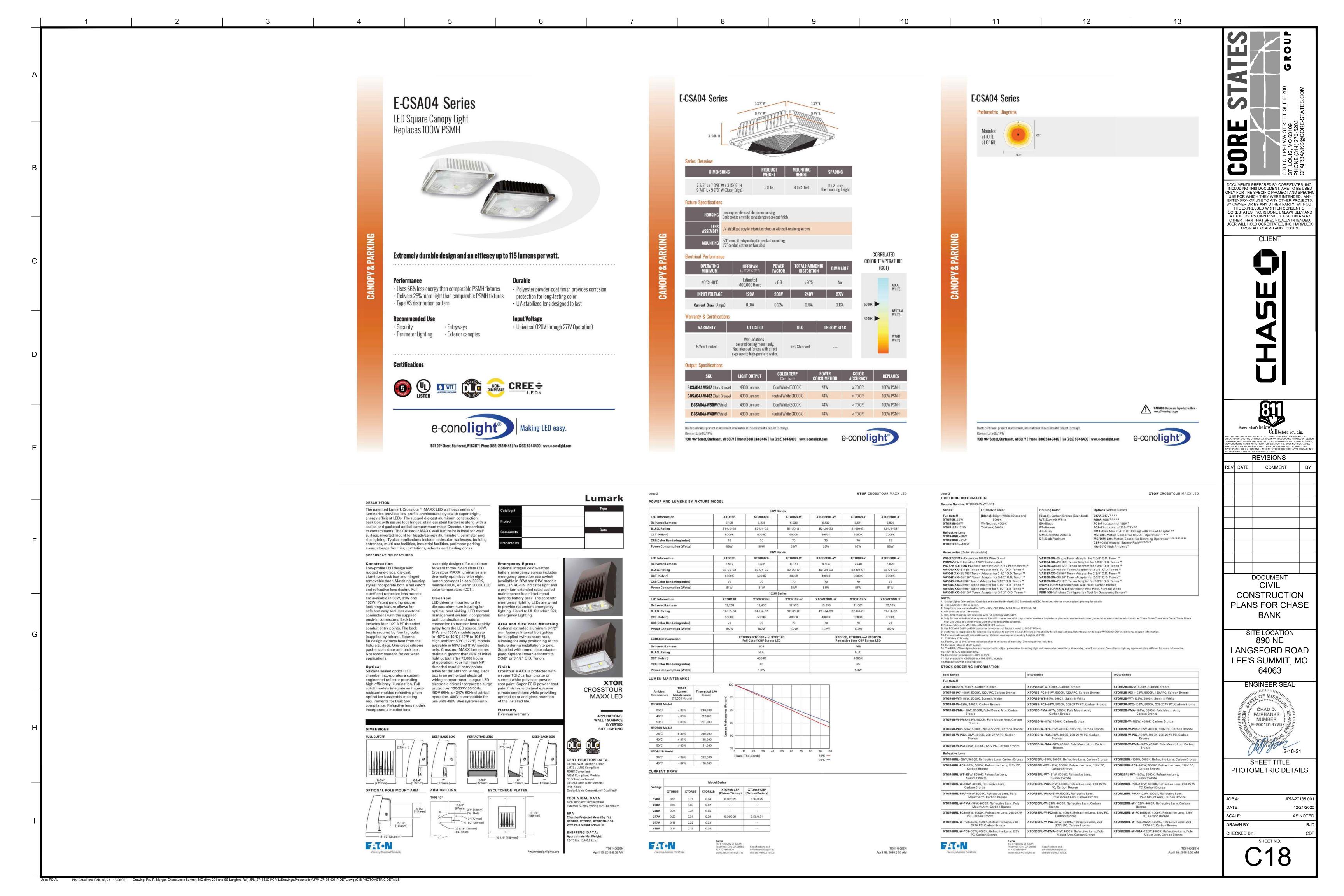
# **Product Dimensions** Slipfitter Arm Mount (Option C)

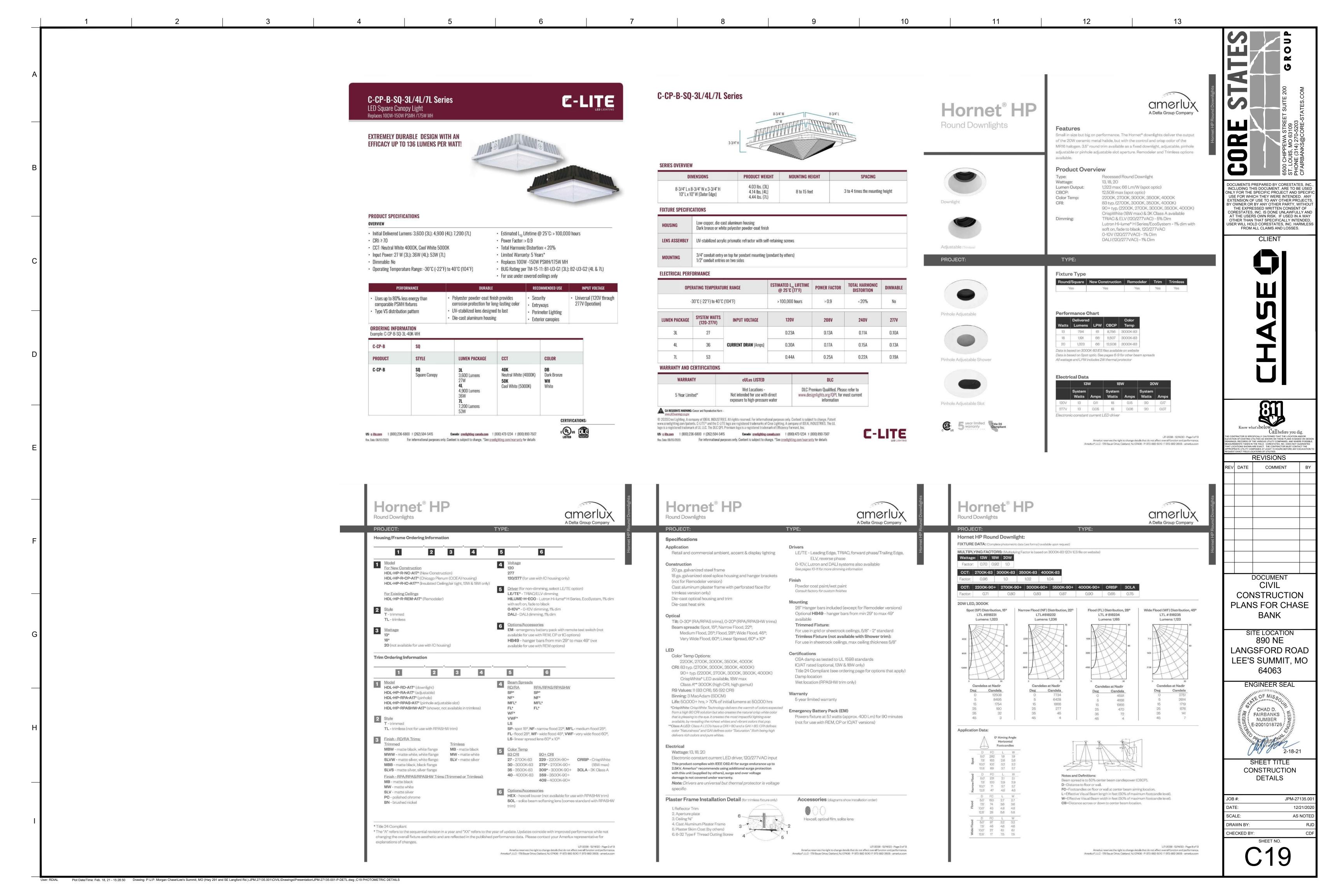


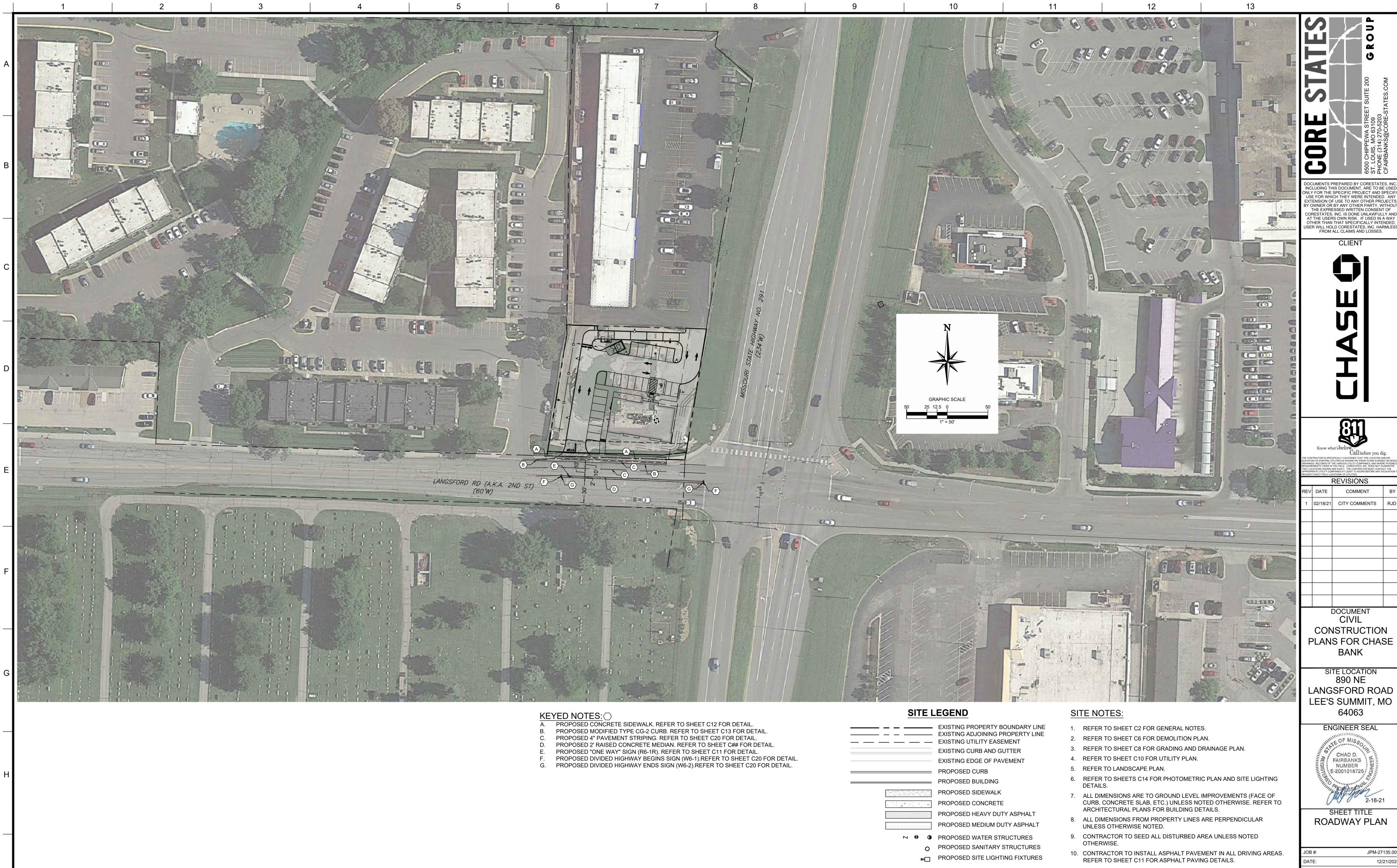
Effective Projected Area (EPA) with Slipfitter: 0.43 sq ft max (0.04 sq m)

Approximate net weight: 19 lbs (8.61 kgs)









Plot Date/Time: Feb. 18, 21 - 16:44:45 Drawing: P:\J.P. Morgan Chase\Lee's Summit, MO (Hwy 291 and SE Langford Rd.)-JPM.27135.001\CIVIL\Drawings\Presentation\JPM-27135-001-P-SITE-C21.dwg; C21 ROADWAY PLAN

JPM-27135.00 12/21/2020 DRAWN BY: CHECKED BY:

S EXISTING SANITARY STRUCTURES

© EXISTING COMMUNICATIONS STRUCTURE

M EXISTING WATER STRUCTURE

22 PROPOSED PARKING COUNT

■ ■ EXISTING ELECTRIC STRUCTURE

**REVISIONS** 

DOCUMENT CIVIL

BANK

SITE LOCATION 890 NE

64063

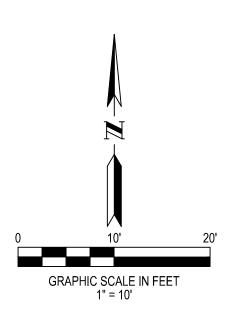
CHAD D.

NUMBER

E-2001018726

SHEET TITLE





# ALTA/NSPS LAND TITLE SURVEY

LOT 1 OF STAR FUEL CENTER OF LEE'S SUMMIT, LOT 1, PB 167, PG 17
JACKSON COUNTY, MISSOURI

# **LOCATION MAP**

### DEED DESCRIPTION:

LOT 1, STAR FUEL CENTER OF LEE'S SUMMIT, LOT 1, A SUBDIVISION IN THE CITY OF LEE'S SUMMIT, JACKSON COUNTY, MISSOURI, ACCORDING TO THE RECORDED PLAT THEREOF FILED APRIL 3, 2000 IN PLAT BOOK I-67, PAGE 17 AS DOCUMENT NO. 200010020477.

THE TITLE INSURANCE COMMITMENT HAS BEEN PROVIDED BY FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NUMBER NCS-967398-KCTY, DATED JUNE 15, 2019.

# SCHEDULE B SECTION II COMMENTS:

9. EASEMENT DEDICATION AND MAINTENANCE AGREEMENT DATED DECEMBER 27, 1999 BY AND BETWEEN A AND M FOODMARTS, INC., AND GRANDLAND DEVELOPMENT, L.C., A LIMITED LIABILITY COMPANY, AS DOCUMENT NO. 991101701.

(APPLIES, NOT PLOTTED. BLANKET IN NATURE.) 10. EASEMENT CONVEYED TO THE GAS SERVICE COMPANY AS SET FORTH BY INSTRUMENT RECORDED MARCH 19, 1975 AS DOCUMENT NO. 1205852 IN BOOK I 582, PAGE 854 AND BEING ASSIGNED TO LACLEDE GAS COMPANY, A MISSOURI CORPORATION BY INSTRUMENT ENTITLED ASSIGNMENT OF EASEMENTS AND RIGHTS-OF-WAY RECORDED SEPTEMBER 3, 2013 AS DOCUMENT NO. 2013E0093218. (APPLIES AND IS PLOTTED HEREON.)

11. EASEMENT FOR INGRESS/EGRESS PURPOSES AS SET FORTH BY INSTRUMENT ENTITLED DECLARATION OF EASEMENT RECORDED JULY 13, 1984 AS DOCUMENT NO. 1579596 IN BOOK I 1331, PAGE 849. (APPLIES AND IS PLOTTED HEREON.) 12. EASEMENT AS SET FORTH BY INSTRUMENT ENTITLED RIGHT OF WAY DEED RECORDED APRIL 23, 2014 AS DOCUMENT NO. 2014E0031670. (APPLIES AND IS PLOTTED HEREON.)

BASIS OF BEARING: THE BEARING SYSTEM HAS BEEN ADOPTED FROM GPS OBSERVATION, USING THE MISSOURI DEPARTMENT OF TRANSPORTATION'S NETWORK OF CONTINUOUSLY OPERATING REFERENCE SYSTEMS, ADJUSTED TO THE NAD83 STATE PLANE COORDINATE SYSTEM FOR THE STATE OF MISSOURI, WEST ZONE.

SITE DATUM ELEVATION: HORIZONTAL AND VERTICAL CONTROL HAS BEEN ESTABLISHED BY GPS OBSERVATION USING MODOT NETWORK, GEOID 12B ADJUSTMENTS AND NAVD88 IN FEET.

SITE BENCHMARK: CROSS IN SIDEWALK, ALSO BEING THE SW PROPERTY CORNER EL.=998.31

# ZONING: CP-2 - PLANNED COMMUNITY COMERCIAL

- MIN FRONT YARD SETBACK = 15FT MIN SIDE YARD SETBACK = 10FT
- MIN REAR YARD SETBACK = 20FT
- MAX STRUCTURE HEIGHT = 40FT (3 STORIES)

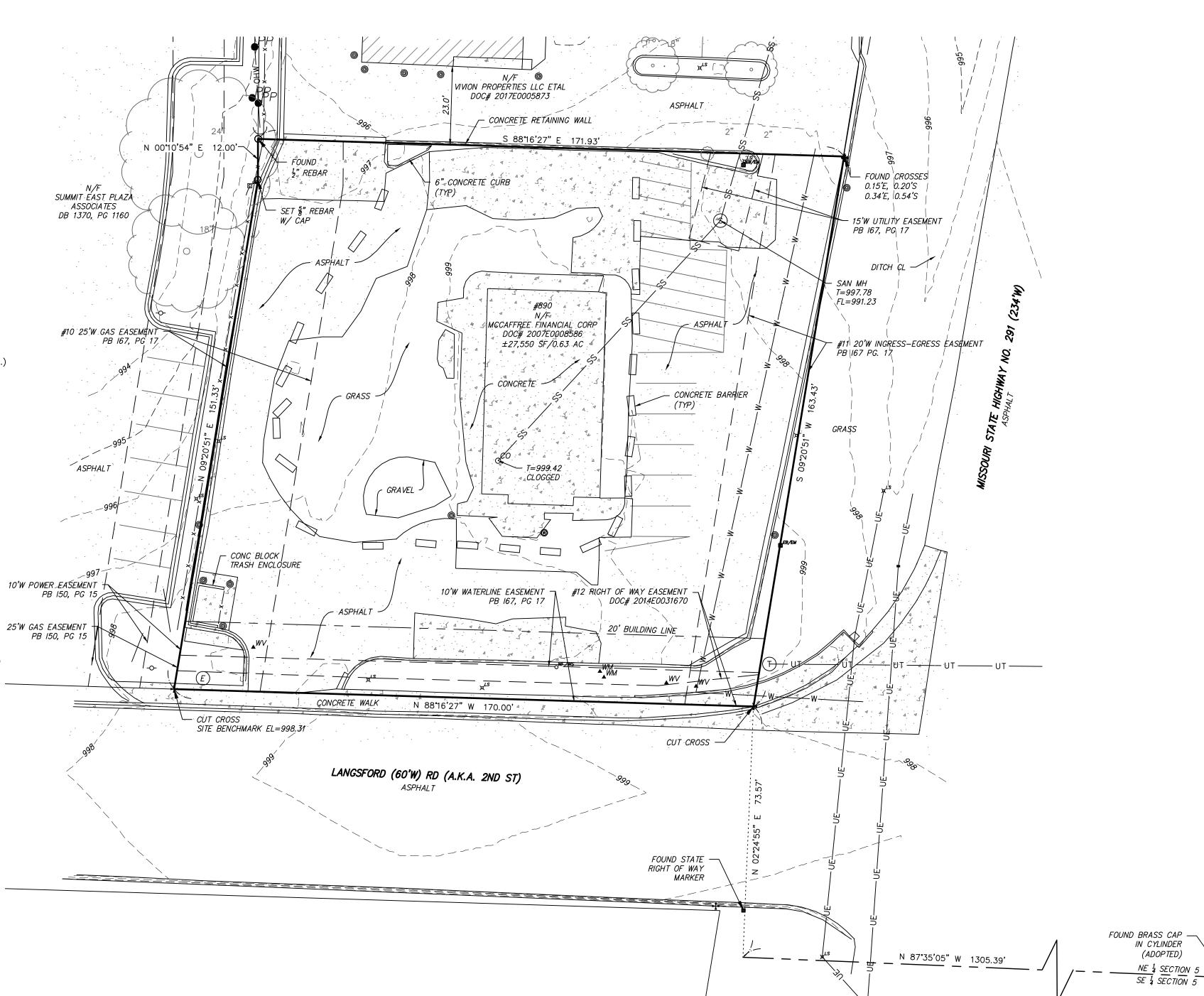
FLOOD PLAIN INFORMATION: SUBJECT TRACT IS WITHIN "ZONE X" AREAS DETERMINED TO BE OUTSIDE THE 0.2% CHANCE FLOODPLAIN, AS SHOWN OF THE FEMA FIRM (FLOOD INSURANCE RATE MAP) 29095C0436G, DATED JANUARY 20, 2017. THERE WAS NO EVIDENCE OF RECENT CONSTRUCTION OR EARTHWORK ON SITE.

UTILITIES HAVE BEEN FIELD LOCATED BASE ON MISSOURI ONE-CALL SYSTEM MARKINGS. TICKET # 191763215

# SURVEYORS CERTIFICATE

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1-11, 13-14, 16, 19, 20 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON JULY 3, 2019.

GATEWAY LAND SERVICES, INC. (AGENT)



# **MONUMENT LEGEND**

FOUND IRON PIPE FOUND REBAR SET REBAR BENCHMARK CONCRETE MONUMENT RIGHT OF WAY MARKER CROSS ANCHOR CROSS CUT CROSS COTTON PICKER SPINDLE RAILROAD SPIKE POST DISC NAIL WITH NOTE TYPE



St. Louis, MO 63132 Office: 314.881.9556 www.glsstl.com Land Surveying Services No LS-2009014482



# **ABBREVIATIONS**

ACRES ASPHALT James L. Degenhardt, P.L.S ASPH BLDG BUILDING License No.: PLS-2649 BENCH MARK CHAIN LINK FENCE PROJECT REVISION: CONCRETE DEED BOOK ELEVATION FINISHED FLOOR FLOW LINE LINEAR FEET MANHOLE NORTH NORTHEAST NOT TO SCALE PLAT BOOK POINT OF COMMENCEMENT POINT OF BEGINNING POINT OF TERMINUS PAVEMENT RADIUS RIGHT OF WAY SOUTH SQUARE FEET SURVEY SOUTHWEST WEST DENOTES WITH

LEGEND POWER POLE W/GUY WIRE POWER POLE STREET SIGN GAS VALVE GAS METER WATER VALVE WATER METER OWF/WS WATER FAUCET OR SPRINKLER CLEAN OUT ELECTRIC RISER

0 ER YARD DRAIN **☑** EB/EM ELECTRIC BOX OR METER MAIL BOX TELEPHONE OR CABLE BOX ▼ TB / CB LIGHT STANDARD FIRE HYDRANT D TS TRAFFIC SIGNAL  $\not \propto YL$ YARD LIGHT COIN METER **⊕**CM TEST HOLE FLAGPOLE BOLLARD OVERHEAD UTILITY LINE — G — GAS LINE —— ss ——— SANITARY SEWER — W—— W— WATER LINE —ST———ST—— STORM SEWER —× ——× — FENCE

PP

 $\triangle GV$ 

**▲** GM

**▲** WV

— UT — UNDERGROUND TELEPHONE ——FO——— FIBER OPTIC TREE LINE SEPTIC TANK TREE W/SIZE

STORM GRATE INLET STORM INLET ELECTRIC TRANSFORMER SANITARY MANHOLE UTILITY MANHOLE

BUSH W/ DIAMETER

ELEC. PULL BOX

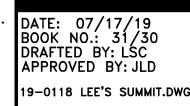
H



SW & SECTION 4

All the improvements & facilities and utilities, above ground and underground shown herein were plotted from available information and do not necessarily reflect the actual existence, nonexistence, elevation, size, type, number or location of these or other improvements, facilities, or utilities. The General Contractor and/or owner shall be responsible for verifying the actual location & elevation of all improvements, facilities, & utilities, shown or not shown, and said improvements, facilities, & utilities shall be located in the field prior to any grading, excavation or construction of any improvements. These provisions shall in no way absolve any part from complying with the Underground Facility Safety & Damage Prevention Act, Chapter 319, RSMo.

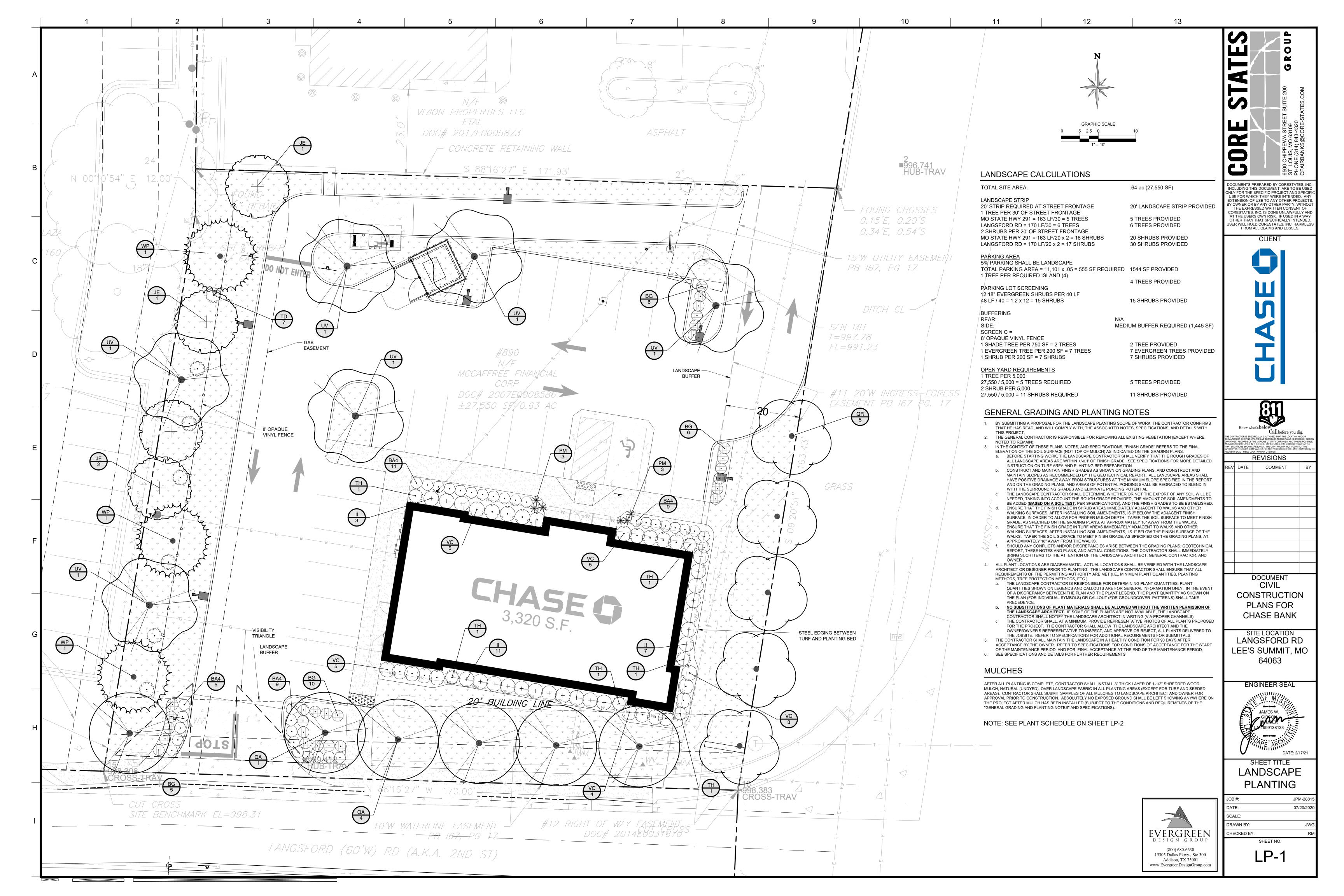
CALL MISSOURI ONE-CALL, 1-800-DIG-RITE,



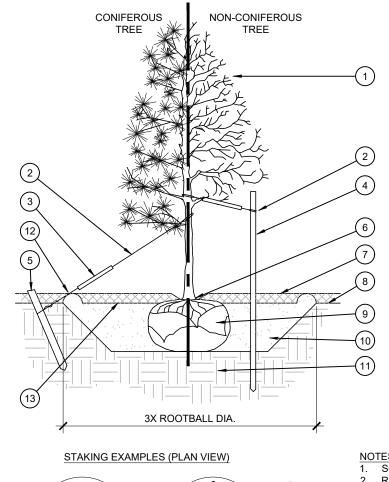
SHEET TITLE: ALTA

SHEET NUMBER

SHEET NO: 1 OF 1 PROJECT NO:19-011



NON-CONIFEROUS (1) TREE CANOPY. 3X ROOTBALL DIA. STAKING EXAMPLES (PLAN VIEW)



AND LARGER). SECURE TIES OR STRAPS TO TRUNK JUST ABOVE LOWEST MAJOR BRANCHES. (3) 24" X 3/4" P.V.C. MARKERS OVER WIRES. (4) GREEN STEEL T-POSTS. EXTEND POSTS 12" MIN. INTO UNDISTURBED SOIL.

(2) CINCH-TIES (24" BOX/2" CAL. TREES AND SMALLER) OR

12 GAUGE GALVANIZED WIRE WITH NYLON TREE

STRAPS AT TREE AND STAKE (36" BOX/2.5" CAL. TREES

(5) PRESSURE-TREATED WOOD DEADMAN, TWO PER TREE (MIN.). BURY OUTSIDE OF PLANTING PIT AND 18" MIN. INTO UNDISTURBED SOIL.

(6) TRUNK FLARE. (7) MULCH, TYPE AND DEPTH PER PLANS. DO NOT

PLACE MULCH WITHIN 6" OF TRUNK. (8) FINISH GRADE.

(9) ROOT BALL.

10) BACKFILL. AMEND AND FERTILIZE ONLY AS RECOMMENDED IN SOIL FERTILITY ANALYSIS.

(11) UNDISTURBED NATIVE SOIL.

(12) 4" HIGH EARTHEN WATERING BASIN

(13) FINISH GRADE.

SCARIFY SIDES OF PLANTING PIT PRIOR TO SETTING TREE. REMOVE EXCESS SOIL APPLIED ON TOP OF THE ROOTBALL THAT COVERS THE ROOT FLARE. THE PLANTING HOLE DEPTH SHALL BE SUCH THAT THE ROOTBALL RESTS ON UNDISTURBED SOIL, AND THE ROOT FLARE IS 2"-4" ABOVE FINISH GRADE. FOR B&B TREES, CUT OFF BOTTOM 1/3 OF WIRE BASKET BEFORE PLACING TREE IN HOLE, CUT OFF AND REMOVE REMAINDER OF BASKET AFTER TREE IS SET IN HOLE, REMOVE ALL NYLON TIES,

TWINE, ROPE, AND OTHER PACKING MATERIAL. REMOVE AS MUCH BURLAP FROM AROUND ROOTBALL AS IS PRACTICAL. REMOVE ALL NURSERY STAKES AFTER PLANTING. 5. FOR TREES 36" BOX/2.5" CAL. AND LARGER, USE THREE STAKES OR DEADMEN (AS APPROPRIATE), SPACED EVENLY AROUND TREE.

6. STAKING SHALL BE TIGHT ENOUGH TO PREVENT TRUNK FROM BENDING, BUT LOOSE ENOUGH TO ALLOW SOME TRUNK MOVEMENT

( 1 ) SHRUB, PERENNIAL, OR ORNAMENTAL GRASS. MULCH TYPE AND DEPTH PER PLANS PLACE NO MORE THAN 1" OF MULCH WITHIN 6" OF PLANT

3) FINISH GRADE

CENTER.

(4) ROOT BALL.

5) BACKFILL. AMEND AND FERTILIZE ONLY AS RECOMMENDED IN SOIL FERTILITY ANALYSIS

(6) UNDISTURBED NATIVE SOIL.

(7) 3" HIGH EARTHEN WATERING BASIN.

(8) WEED FABRIC UNDER MULCH.

SHRUB AND PERENNIAL PLANTING

1 17 (141 001							
TREES	CODE	BOTANICAL NAME	COMMON NAME	ROOT	CALIPER	HEIGHT	QTY
+	JE	Juniperus virginiana	Eastern Red Cedar	B & B		8` minimum	4
A CONTRACTOR OF THE PARTY OF TH	WP	Pinus strobus	White Pine	В&В	3" Cal	8` minimum	3
	QA	Quercus acutissima	Sawtooth Oak	В&В	3" Cal	8` minimum	6
	QR	Quercus rubra	Red Oak	В&В	3" Cal	8` minimum	5
	UV	Ulmus americana `Valley Forge`	American Elm	B & B	3" Cal	8` minimum	6
SHRUBS	CODE	BOTANICAL NAME	COMMON NAME	ROOT	CONTAINER		<u>QTY</u>
loop	BA4	Berberis thunbergii `Aurea Nana`	Japanese Barberry	2 gal.	CONT.		34
	BG	Buxus x `Green Gem`	Green Gem Boxwood	2 gal.	CONT.		27
+	II	llex glabra `Compacta`	Compact Inkberry	5 gal	CONT.		21
*	РМ	Pennisetum alopecuroides `Moudry`	Oriental Fountain Grass	1 gal	CONT.		6
600000 P	TD	Taxus x media `Densiformis`	Dense Yew	5 gal	CONT.		7
•	TH	Taxus x media `Hicksii`	Hicks Yew	5 gal	CONT.		6
	VC	Viburnum carlesii `Compactum`	Korean Spice Viburnum	5 gal	CONT.		22
GROUND COVERS	CODE	BOTANICAL NAME	COMMON NAME	<u>QTY</u>			
Ψ Ψ Ψ Ψ	FK	Festuca arundinacea `Kentuckv 31`	Kentucky Tall Fescue	8,063 sf			



DOCUMENTS PREPARED BY CORESTATES IN INCLUDING THIS DOCUMENT, ARE TO BE USE NLY FOR THE SPECIFIC PROJECT AND SPEC USE FOR WHICH THEY WERE INTENDED. AN EXTENSION OF USE TO ANY OTHER PROJECT BY OWNER OR BY ANY OTHER PARTY, WITHO THE EXPRESSED WRITTEN CONSENT OF CORESTATES, INC. IS DONE UNLAWFULLY AN OTHER THAN THAT SPECIFICALLY INTENDE USER WILL HOLD CORESTATES, INC. HARMLES FROM ALL CLAIMS AND LOSSES.

CLIENT

REVISIONS

DOCUMENT CIVIL CONSTRUCTION PLANS FOR

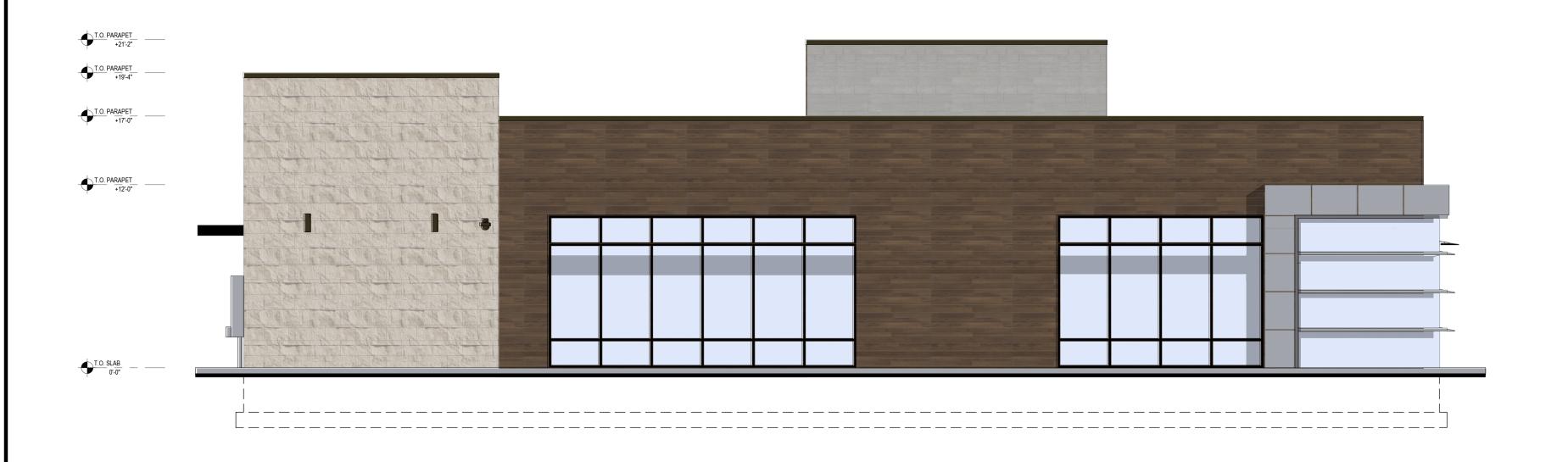
SITE LOCATION LANGSFORD RD LEE'S SUMMIT, MO

**CHASE BANK** 

**ENGINEER SEAL** 

LANDSCAPE DETAILS AND

SPECIFICATION 07/20/202 SCALE: DRAWN BY: CHECKED BY:



SOUTH ELEVATION (SE LANGSFORD)

EAST ELEVATION (NORTHEAST 291 HIGHWAY)





# NORTH ELEVATION (PARKING)



FIBER CEMENT PANEL FIBER CEMENT PANEL MANUF. - NICHIHA MANUF. - NICHIHA SERIES - WOOD SERIES - WOOD PRODUCT - VINTAGEWOOD PRODUCT - VINTAGEWOOD COLOR - ASH COLOR - BARK



STONE VENEER MANUF. - COLORADO STONE SERIES - CLASSIC PRODUCT - CHISELDED LIMESTONE COLOR - CREAM



ALUM. COMPOSITE PANEL MANUF. - ALCOA PRODUCT - REYNOBOND COLOR - CHASE SILVER



APPLICATION - CANOPY/STOREFRONT COLOR - ANODIZED BLACK

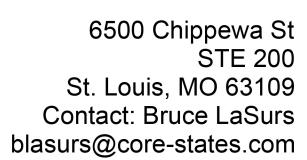
WEST ELEVATION (PARKING)

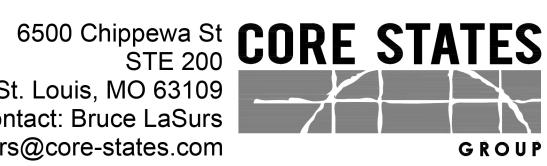


HWY 291 and SE LANGSFORD RD 890 E LANGSFORD RD LEE'S SUMMIT, MO 64063

# PROPOSED EXTERIOR ELEVATIONS

FEBRUARY 19, 2021 SCALE:  $\frac{3}{16}$ " = 1'-0"

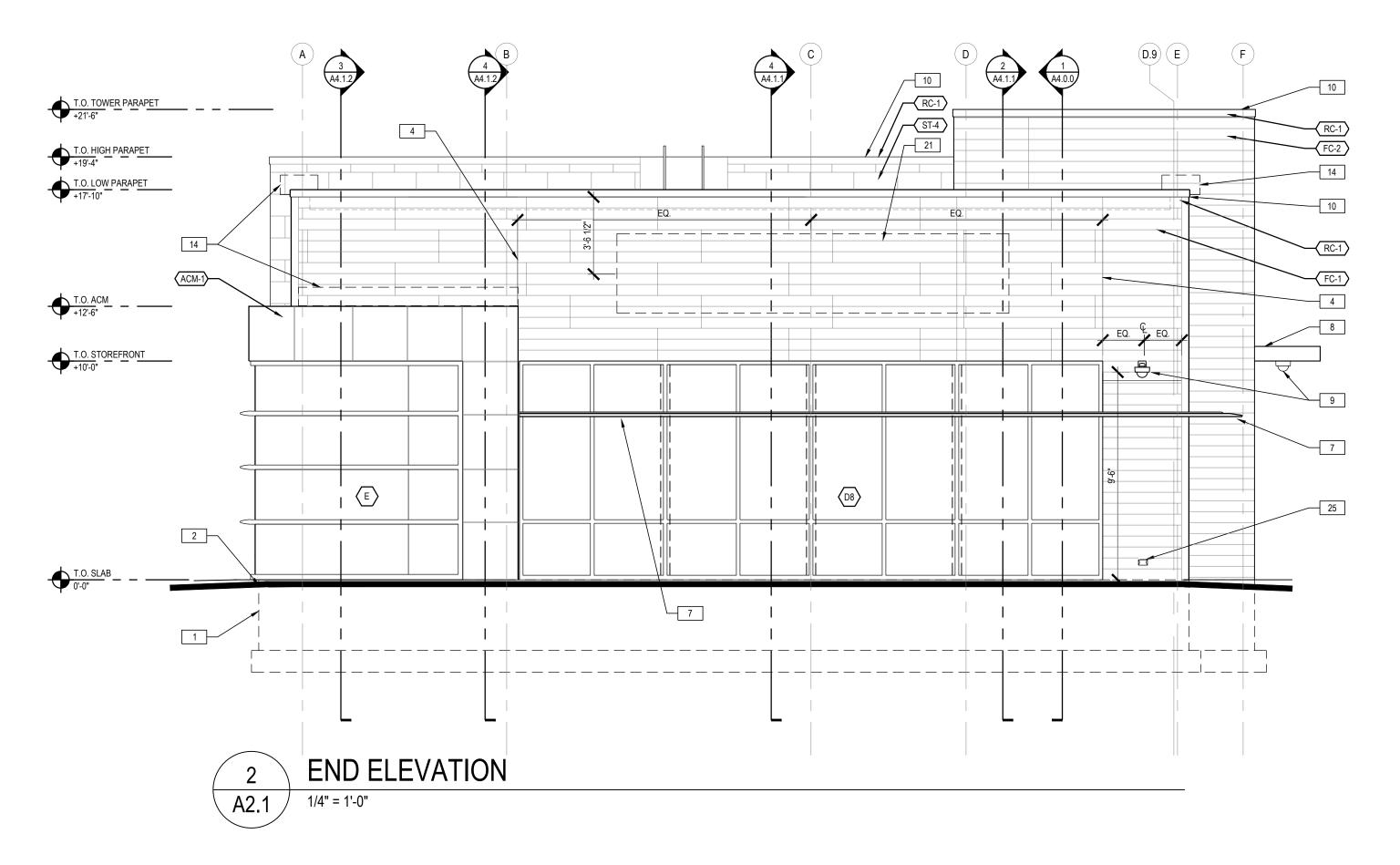


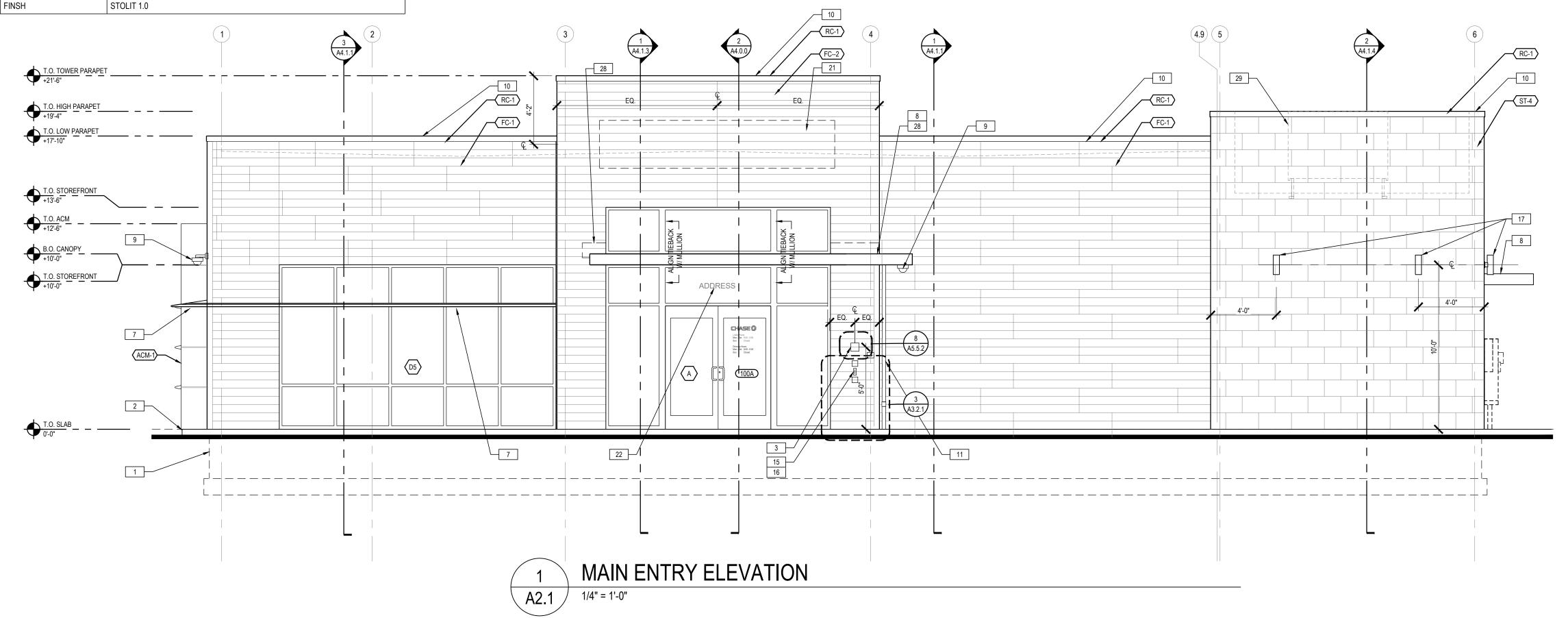


### **EXTERIOR FINISH MATERIALS** CAST STONE- ROCKFACE FIELD UNITS CORONADO STONE PRODUCTS MANUFACTURER MANUFACTURED STONE VENEER PRODUCT COLOR CREAM CHISELED LIMESTONE ST-4 24" WIDE x 12" HIGH x 1" THICK 1/4" NOMINAL JOINTS WITH FULL SMOOTH TOOLED NATURAL OFF-WHITE GROUT PORTLAND CEMENT GROUT RUNNING BOND MANUFACTURED THIN STONE FIELD-CUT TO MAX. LENGTHS POSSIBLE WITH BUTTED AND LAPPED INSIDE AND OUTSIDE CORNERS UTILIZING NOTES MANUFACTURER'S FABRICATED RETURN CORNER PIECES- MITERED CORNERS ARE NOT ACCEPTABLE- PLACE CONTROL JOINTS AS RECOMMENDED BY THE MANUFACTURER- REFER TO WALL SECTIONS AND DETAILS FIBER CEMENT PANEL- DARK MANUFACTURER NICHIHA FIBER CEMENT VINTAGEWOOD AWP 1818 (AVAILABLE AS AWP 3030 FOR NON-PROTOTYPICAL **PRODUCT** PROJECTS) FC-1 COLOR 18" NOMINAL x 72" NOMINAL AND 120" NOMINAL INCLUDE 3.5" MANUFACTURED CORNERS AND MANUFACTURER'S "ESSENTIAL" NOTES FLASHING SYSTEM. FIBER CEMENT PANEL- LIGHT MANUFACTURER NICHIHA FIBER CEMENT VINTAGEWOOD AWP 3030 (AVAILABLE AS AWP 1818 FOR NON-PROTOTYPICAL **PRODUCT** PROJECTS) FC-2 COLOR SIZE 18" NOMINAL x 72" NOMINAL AND 120" NOMINAL INCLUDE 3.5" MANUFACTURED CORNERS AND MANUFACTURER'S "ESSENTIAL" NOTES FLASHING SYSTEM. ROOF COPING MANUFACTURER PETERSEN ALUMINUM / PAC-CLAD RC-1 PRODUCT PAC-CONTINUOUS COLOR AGED BRONZE ALUMINUM COMPOSITE MATERIAL ALCOA ARCHITECTURAL PRODUCTS MANUFACTUREF ACM-1 **PRODUCT** REYNOBOND COLOR DURAGLOSS 5000 CHASE PROGRAM "CHASE SILVER" **EXTERIOR PAINT** MANUFACTURER SHERWIN-WILLIAMS EPT-1 PRODUCT METALATEX ACRYLIC SEMI-GLOSS COLOR SW 7045 INTELLECTUAL GRAY FINSH SEMI-GLOSS **EXTERIOR PAINT** MANUFACTURER SHERWIN-WILLIAMS EPT-2 PRODUCT METALATEX ACRYLIC SEMI-GLOSS COLOR SW 7036 ACCESSIBLE BEIGE FINSH SEMI-GLOSS **EXTERIOR PAINT** MANUFACTURER SHERWIN-WILLIAMS PRODUCT METALATEX ACRYLIC SEMI-GLOSS COLOR SW 6995 SUPERWHITE FINSH SEMI-GLOSS DIRECT-APPLY FINISH SYSTEM (ALT. TO PAINTED STEEL DECK) MANUFACTURER STO DFS-1 PRODUCT STOQUIK GOLD COLOR MATCH SHERWIN WILLIAMS SW 6995 SUPERWHITE

# **GENERAL EXTERIOR NOTES**

PURCHASE & INSTALLATION.





A G.C. TO VERIFY EXTERIOR COLOR & MATERIAL LOCATIONS AS SHOWN ON ELEVATION DRAWINGS WITH CHASE DESIGNER & APPROVED BRANDING PACKAGE PRIOR TO

# **ELEVATION NOTES** CONCRETE FOOTINGS / FOUNDATIONS: REFER TO STRUCTURAL DWGS. CONCRETE CURB AND ISLANDS: REFER TO ARCHITECTURAL SITE PLAN AND DRIVE-UP CANOPY PLAN - SEE CIVIL DWGS FOR ADD'T INFO. EMERGENCY ACCESS KEY BOX: WHERE REQUIRED BY LOCAL CODE ONLY-RECESS-MOUNT IN WALL CONSTRUCTION AS REQD. TO SET FACE FLUSH WITH ADJACENT WALL FINISH- VERIFY

FINAL LOCATION WITH AUTHORITIES HAVING JURISDICTION CONTROL / EXPANSION JOINT: VERTICAL ELASTOMERIC SEALANT JOINT CONTINUOUS THROUGH MASONRY VENEER - MATCH SEALANT COLOR

TO VENEER COLOR LANDSCAPE IRRIGATION SYSTEM: CONTROLLER, WIRELESS NETWORK CONNECTOR, J AND DEDICATED WP POWER OUTLET. REFER TO SITE PLAN

LIGHTING TIMER SYSTEM PHOTO SENSOR: REFER TO ELECTRICAL DRAWINGS

AND ELECTRICAL DRAWINGS

SUN SHADE: GLAZING SYSTEM MANUFACTUER'S STANDARD INTEGRAL SHADE ACCESSORY- REFER TO WALL SECTIONS; MATCH GLAZING SYSTEM FINISH. BASIS OF DESIGN IS KAWNEER VERSOLEIL 30" WEDGE WITH ANGULAR FASCIA AND CIRCULAR BLADES.

8 | ENTRANCE CANOPY: SHOP FABRICATED SITE-ASSEMBLED PRE-FINISHED BLACK CUSTOM ALUMINUM CANOPY UNIT WITH PREPPED ELECTRICAL OPENINGS AND INTEGRAL DRAINAGE SYSTEM FASTENDED TO BUILDING STRUCTURE- MAPES ARCHITECTURAL CANOPIES SUPER LUMIDECK WITH FLAT SOFFIT AND 12" FASCIA, OR APPROVED EQUAL- REFER TO ROOF PLAN AND WALL SECTIONS- INSTALLED BY G.C.

SECURITY CAMERA: PROVIDE CONCEALED JUNCTION BOX AND CONDUIT TO INTERIOR; REFER TO OWNER'S SECURITY CONSULTANT

10 COPING: REFER TO EXTERIOR FINISH ON THIS SHEET

11 | SMALL CANOPY DOWNSPOUT / OVERFLOW: 3" DIAM. ALUMINUM DOWNSPOUT PRE-FIN. TO MATCH THE CANOPY; CONNECT TO CAST IRON DRAIN HUB AT GRADE AND EXTEND SUBSURFACE TO SITE DRAINAGE SYSTEM-REFER TO PLUMBING DWGS AND SITE PLAN.

12 SCUPPER: PAINT TO MATCH ADJACENT EXTERIOR FINISHES. REFER TO ROOF PLAN.

13 ROOF OVERFLOW DOWNSPOUT NOZZLE: REFER TO PLUMBING DRAWINGS AND PLUMBING FIXTURE SCHEDULE

14 METAL FLASHING AND COUNTERFLASHING CONCEALED BEHIND WALL FINISH AND FINISH OF EXPOSED FLASHING

TO MATCH ADJACENT ROOFING/COPING 15 AUTOMATIC DOOR OPERATOR BUTTON RECESSED FLUSH

WITH WALL SURFACE- DO NOT SURFACE-MOUNT

16 KEYCARD READER RECESSED FLUSH WITH WALL SURFACE- DO NOT SURFACE-MOUNT. 17 | SURFACE-MOUNT DECORATIVE LIGHT FIXTURE:

REFER TO REFLECTED CEILING PLAN AND ELECTRICAL

DRAWINGS 18 | SURFACE-MOUNT EMERGENCY LIGHT FIXTURE: TO BE PROVIDED ONLY WHEN DOOR BELOW IS A REQUIRED OR MARKED EXIT - REFER TO REFLECTED CEILING PLAN AND LIGHT FIXTURE SCHEDULE

19 BOLLARD: CONCRETE-FILLED STEEL PIPE EMBEDDED IN CONCRETE CURB- WITH PLASTIC COVER- REFER TO SITE PLAN, DRIVE-UP CANOPY PLAN AND DETAILS- OMIT AT POSITIONS NOT ADJACENT TO VEHICULAR LANE

20 BANK EQUIPMENT: FURNISHED AND INSTALLED BY BANK EQUIPMENT VENDOR- COORD. WALL OPENINGS AND ELECTRICAL / DATA REQUIREMENTS WITH OWNER-FURNISHED EQUIPMENT SHOP DRAWINGS AND PRODUCT DATA

(LANDSCAPE, WALK, ETC.)

21 SIGNAGE LOCATION: SIGNAGE BY OWNER'S SIGN VENDOR- N.I.C.- PROVIDE ROUGH ELEC. WORK AND BLOCKING IN WALL AS REQD. FOR VENDOR INSTALLATION. CONFIRM FINAL LOCATION WITH SIGN VENDOR.

22 BUILDING ADDRESS NUMBER: WHITE VINYL NUMBERS WITH 1/2" WIDE STROKE APPLIED TO INTERIOR FACE OF GLASS TRANSOM- MIN. 6" HEIGHT OR AS REQD. BY LOCAL CODE

23 GAS METER: REFER TO SITE PLAN AND PLUMBING DRAWINGS

24 FIRE DEPARTMENT CONNECTION: FIRE SUPPRESSION SYSTEM EXTERIOR CONNECTION WHERE REQD. BY LOCAL CODE ONLY- VERIFY FINAL LOCATION WITH LOCAL AUTHORITIES HAVING JURISDICTION

25 | ELECTRICAL OUTLET: SET FLUSH WITH FACE OF MASONRY VENEER- PROVIDE

METAL COVER COMPLIANT WITH N.E.C. 26 UTILITY EQUIPMENT: PROVIDE AND INSTALL UTILITY TERMINATION CABINETS AND METERS AS REQUIRED- COORD. WITH OWNER'S SECURITY AND TELE-DATA SERVICES- COORD. CABINET AND METER LOCATIONS WITH LOCAL JURISDICTION-

REFER TO SITE PLAN 27 TELE / DATA / UTILITY CONNECTIONS: COORDINATE FINAL LOCATION WITH CIVIL ENGINEER

28 | FLASHING AT PREFAB CANOPY: PRE-FINISHED ALUMINUM FLASHING TO SPAN GAP BETWEEN PREFAB CANOPY AND BUILDING- REFER TO WALL SECTIONS AND DETAILS- VERIFY FINAL FLASHING LENGTH AND CONFIGURATION WITH APPROVED CANOPY SHOP DWGS

29 MECHANICAL EQUIPMENT: VENTILATION UNIT. REFER TO MECHANICAL DRAWINGS FOR MORE INFORMATION.

30 SIAMESE CONNECTION: FIRE SUPPRESSION SYSTEM EXTERIOR CONNECTION WHERE REQD. BY LOCAL CODE ONLY- VERIFY FINAL LOCATION WITH LOCAL AUTHORITIES HAVING

JURISDICTION 31 | FIRE ALARM SYSTEM BELL AND STROBE: WHERE REQUIRED BY LOCAL CODE ONLY- VERIFY FINAL LOCATION WITH LOCAL AUTHORITIES HAVING **JURISDICTION** 

III 🗠

GROUP CORESTATES, INC. 500 Chippewa Street Suite 200

14.843.4320

COA #: A-2014026908 ARCHITECT OF RECORD

ARCHITECT: R. BRUCE LASURS

LICENSE NUMBER: 007504

THESE DRAWINGS ARE NOT COMPLETE WITHOUT THE SEPARATE TYPE WRITTEN SPECIFICATIONS MANUAL WHICH ARE PART OF THE CONTRACT DOCUMENTS.

ISSUE DATE DESCRIPTION 2020.12.21 PERMIT SET

PROJECT INFORMATION PROJECT NO: JPM.27135.001

2020.12.21 PROTOTYPE: C.THEBEAU DRAWN BY: CHECKED BY: B.LaSURS VERSION: SE\_1.00 SHEET TITLE

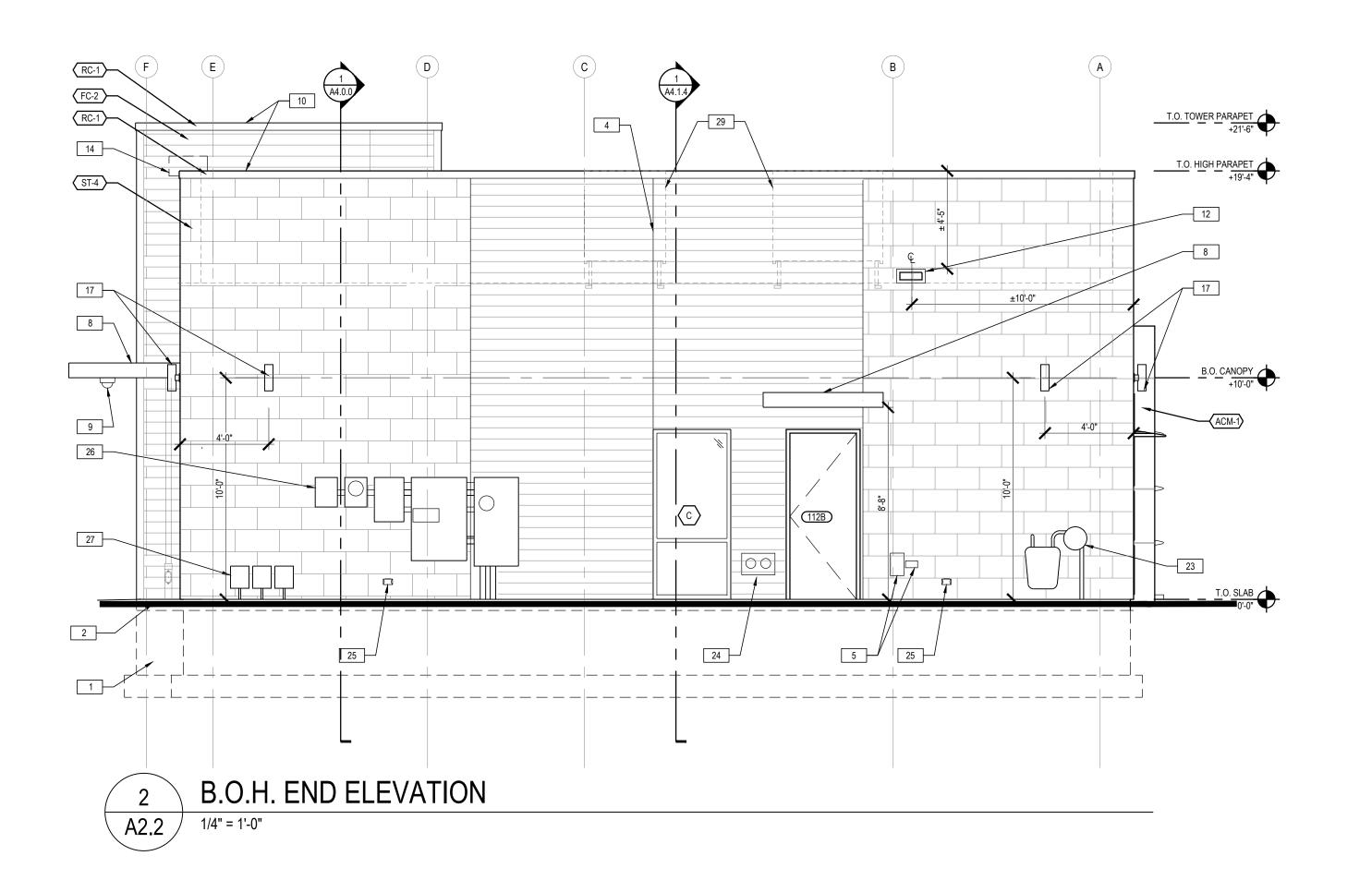
> **EXTERIOR ELEVATIONS**

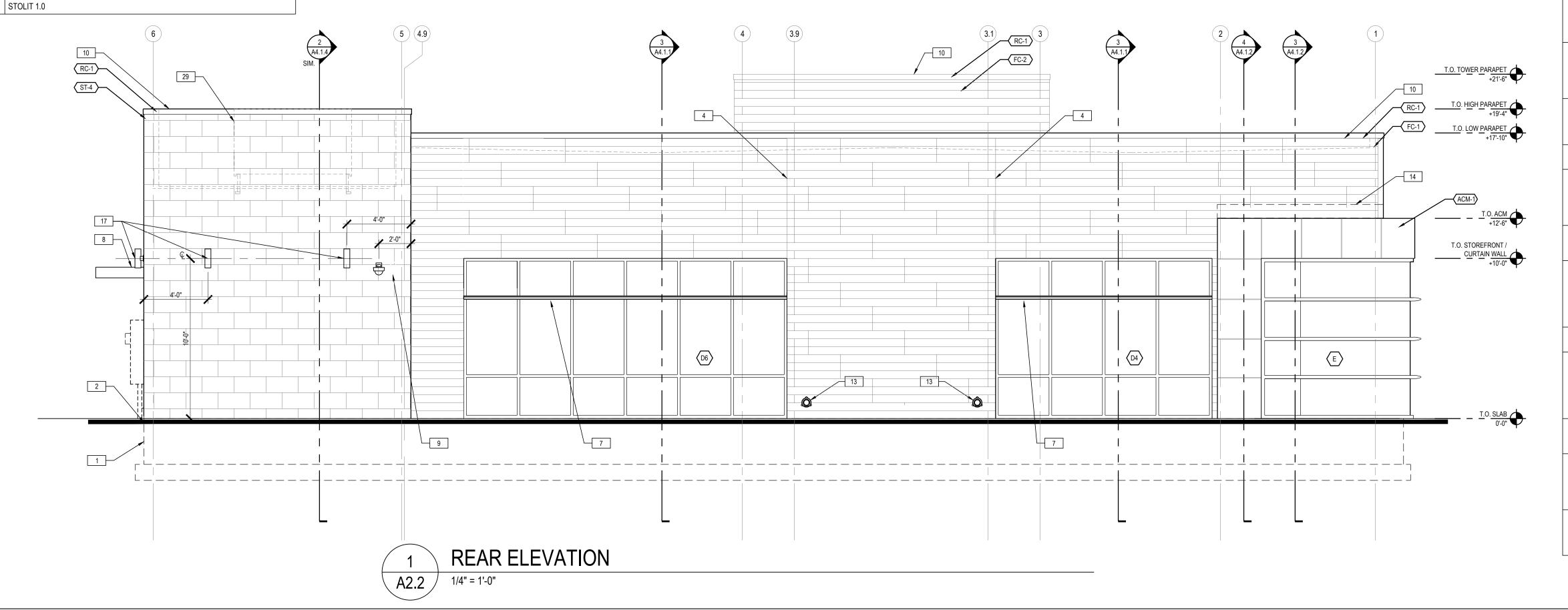
SHEET NUMBER

A2.1.0

	CAST STONE- ROCKFA	CE FIELD UNITS					
	MANUFACTURER	CORONADO STONE PRODUCTS					
	PRODUCT	MANUFACTURED STONE VENEER					
	COLOR	CREAM					
	FINISH	CHISELED LIMESTONE					
ST-4	SIZE	24" WIDE x 12" HIGH x 1" THICK					
	GROUT	1/4" NOMINAL JOINTS WITH FULL SMOOTH TOOLED NATURAL OFF-WHITE PORTLAND CEMENT GROUT					
	NOTES	RUNNING BOND MANUFACTURED THIN STONE FIELD-CUT TO MAX. LENGTHS POSSIBLE WITH BUTTED AND LAPPED INSIDE AND OUTSIDE CORNERS UTILIZING MANUFACTURER'S FABRICATED RETURN CORNER PIECES- MITERED CORNERS ARE NOT ACCEPTABLE- PLACE CONTROL JOINTS AS RECOMMENDED BY THE MANUFACTURER- REFER TO WALL SECTIONS AND DETAILS					
	FIBER CEMENT PANEL	DARK					
	MANUFACTURER	NICHIHA FIBER CEMENT					
<b>50.</b> 4	PRODUCT	VINTAGEWOOD AWP 1818 (AVAILABLE AS AWP 3030 FOR NON-PROTOTYPICAL PROJECTS)					
FC-1	COLOR	BARK					
	SIZE	18" NOMINAL x 72" NOMINAL AND 120" NOMINAL					
	NOTES	INCLUDE 3.5" MANUFACTURED CORNERS AND MANUFACTURER'S "ESSENTIAL" FLASHING SYSTEM.					
	FIBER CEMENT PANEL	LIGHT					
	MANUFACTURER	NICHIHA FIBER CEMENT					
FC-2	PRODUCT	VINTAGEWOOD AWP 3030 (AVAILABLE AS AWP 1818 FOR NON-PROTOTYPICAL PROJECTS)					
FU-2	COLOR	ASH					
	SIZE	18" NOMINAL x 72" NOMINAL AND 120" NOMINAL					
	NOTES	INCLUDE 3.5" MANUFACTURED CORNERS AND MANUFACTURER'S "ESSENTIAL" FLASHING SYSTEM.					
	ROOF COPING						
RC-1	MANUFACTURER	PETERSEN ALUMINUM / PAC-CLAD					
10-1	PRODUCT	PAC-CONTINUOUS					
	COLOR	AGED BRONZE					
	ALUMINUM COMPOSITI	E MATERIAL					
ACM-1	MANUFACTURER	ALCOA ARCHITECTURAL PRODUCTS					
AUNIT	PRODUCT	REYNOBOND					
	COLOR	DURAGLOSS 5000 CHASE PROGRAM "CHASE SILVER"					
	EXTERIOR PAINT						
	MANUFACTURER	SHERWIN-WILLIAMS					
EPT-1	PRODUCT	METALATEX ACRYLIC SEMI-GLOSS					
	COLOR	SW 7045 INTELLECTUAL GRAY					
	FINSH	SEMI-GLOSS					
	EXTERIOR PAINT						
	MANUFACTURER	SHERWIN-WILLIAMS					
EPT-2	PRODUCT	METALATEX ACRYLIC SEMI-GLOSS					
	COLOR	SW 7036 ACCESSIBLE BEIGE					
	FINSH	SEMI-GLOSS					
	EXTERIOR PAINT						
	MANUFACTURER	SHERWIN-WILLIAMS					
EPT-8	PRODUCT	METALATEX ACRYLIC SEMI-GLOSS					
	COLOR	SW 6995 SUPERWHITE					
	FINSH	SEMI-GLOSS					
	DIRECT-APPLY FINISH	SYSTEM (ALT. TO PAINTED STEEL DECK)					
	MANUFACTURER	STO					
DFS-1	PRODUCT	STOQUIK GOLD					
	COLOR	MATCH SHERWIN WILLIAMS SW 6995 SUPERWHITE					
	-						

FINSH





# **GENERAL EXTERIOR NOTES**

A G.C. TO VERIFY EXTERIOR COLOR & MATERIAL LOCATIONS AS SHOWN ON ELEVATION DRAWINGS WITH CHASE DESIGNER & APPROVED BRANDING PACKAGE PRIOR TO PURCHASE & INSTALLATION.

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DRAWINGS 18 SURFACE-MOUNT EMERGENCY LIGHT FIXTURE: TO BE PROVIDED ONLY WHEN DOOR BELOW IS A REQUIRED OR MARKED EXIT - REFER TO REFLECTED

REFER TO REFLECTED CEILING PLAN AND ELECTRICAL

CEILING PLAN AND LIGHT FIXTURE SCHEDULE 19 BOLLARD: CONCRETE-FILLED STEEL PIPE EMBEDDED IN CONCRETE CURB- WITH PLASTIC COVER- REFER TO SITE PLAN, DRIVE-UP CANOPY PLAN AND DETAILS- OMIT AT POSITIONS NOT ADJACENT TO VEHICULAR LANE

(LANDSCAPE, WALK, ETC.) 20 BANK EQUIPMENT: FURNISHED AND INSTALLED BY BANK EQUIPMENT VENDOR- COORD. WALL OPENINGS AND ELECTRICAL /

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SIGNAGE BY OWNER'S SIGN VENDOR- N.I.C.- PROVIDE ROUGH ELEC. WORK AND BLOCKING IN WALL AS REQD. FOR VENDOR INSTALLATION. CONFIRM FINAL LOCATION WITH SIGN VENDOR. 22 BUILDING ADDRESS NUMBER:

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REFER TO SITE PLAN

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JURISDICTION 31 | FIRE ALARM SYSTEM BELL AND STROBE: WHERE REQUIRED BY LOCAL CODE ONLY- VERIFY FINAL LOCATION WITH LOCAL AUTHORITIES HAVING JURISDICTION



GROUP CORESTATES, INC. 6500 Chippewa Street Suite 200

St. Louis, MO 63109 314.843.4320

COA #: A-2014026908 ARCHITECT OF RECORD

ARCHITECT: R. BRUCE LASURS

LICENSE NUMBER: 007504

THESE DRAWINGS ARE NOT COMPLETE WITHOUT THE SEPARATE TYPE WRITTEN SPECIFICATIONS MANUAL WHICH ARE PART OF THE CONTRACT DOCUMENTS.

ISSUE DATE DESCRIPTION 2020.12.21 PERMIT SET

PROJECT INFORMATION

PROJECT NO: JPM.27135.001 2020.12.21 PROTOTYPE: DRAWN BY: C.THEBEAU B.LaSURS CHECKED BY: VERSION: SE\_1.00

> **EXTERIOR ELEVATIONS**

SHEET NUMBER

SHEET TITLE

A2.2.0