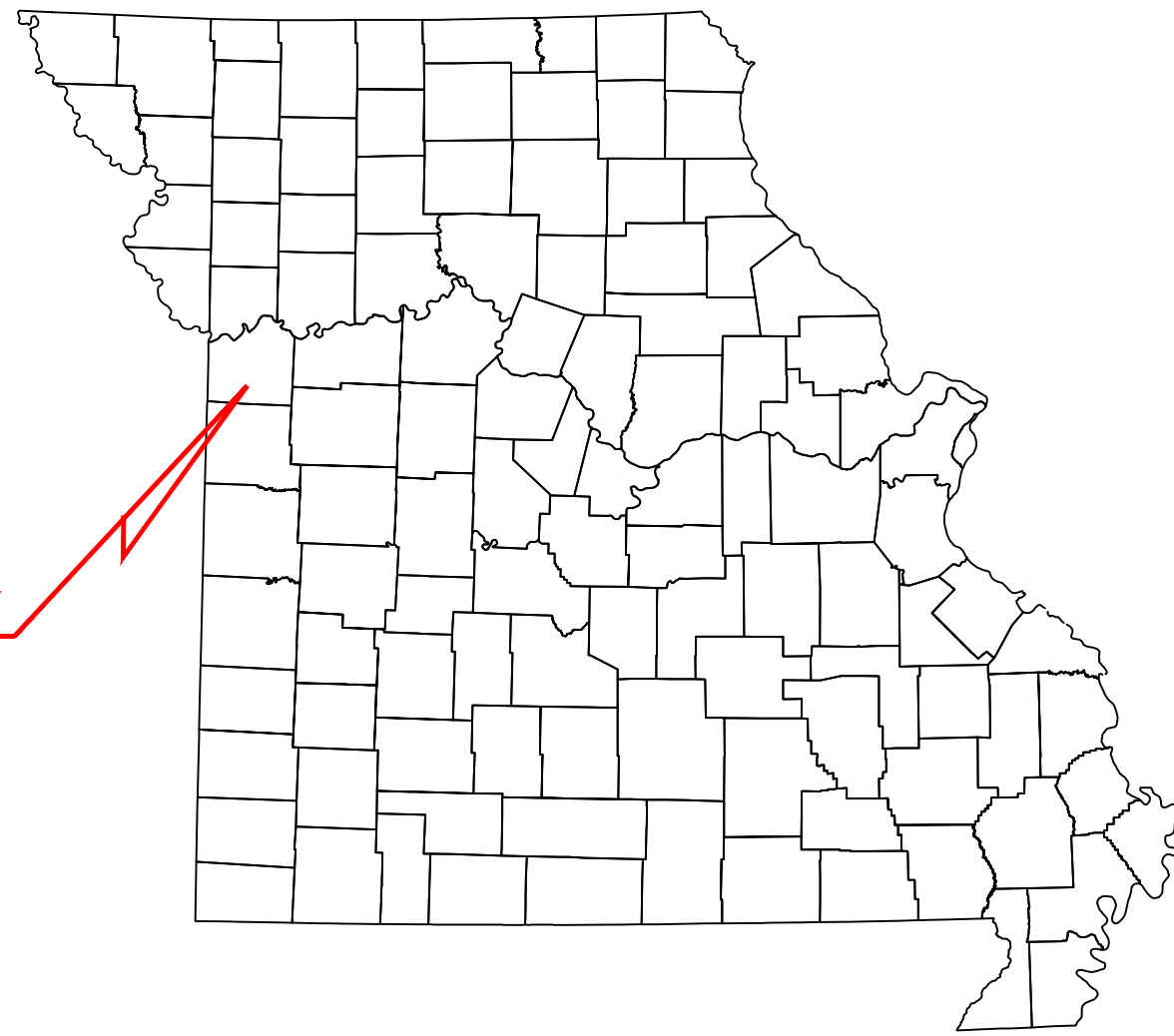


PROJECT VICINITY

CHASE BANK
HIGHWAY 291 & NE LANGSFORD
890 NE LANGSFORD ROAD
LEE'S SUMMIT, MO 64063
JACKSON COUNTY, MISSOURI



LOT 1, STAR FUEL CENTER OF LEE'S SUMMIT, LOT 1, A SUBDIVISION IN THE CITY OF LEE'S SUMMIT, JACKSON COUNTY, MISSOURI, ACCORDING TO THE RECORDED PLAT THEREOF FILED APRIL 3, 2000 IN PLAT BOOK I-67, PAGE 17 AS DOCUMENT NO. 200010020477.

ALL CONSTRUCTION SHALL FOLLOW THE CITY OF LEE'S SUMMIT'S DESIGN AND CONSTRUCTION MANUAL.

THERE ARE TWO (2) GAS WELLS AND ONE (1) OIL WELL ON PARCELS IN THE VICINITY OF THE PROJECT AREA, HOWEVER THERE ARE NO OIL OR GAS WELLS WITHIN 150 FEET OF THE PROJECT AREA ACCORDING TO THE MDNR GEOSTRAT SURVEY MAP.


CORE STATES



GROUP

6500 CHIPPEVA STREET SUITE 200
ST. LOUIS, MO 63109
PHONE (314) 270-9203
CFAIRBANKS@CORE-STATES.COM

DOCUMENTS PREPARED BY CORESTATES, INC., INCLUDING THIS DOCUMENT, ARE TO BE USED ONLY FOR THE SPECIFIC PROJECT AND SPECIFIC USE FOR WHICH THEY WERE INTENDED. ANY EXTENSION OF USE TO ANY OTHER PROJECTS, BY OWNER OR BY ANY OTHER PARTY, WITHOUT THE EXPRESSED WRITTEN CONSENT OF CORESTATES, INC. IS DONE UNLAWFULLY AND AT THE USER'S OWN RISK. IF USED IN A WAY OTHER THAN THAT SPECIFICALLY INTENDED, USER WILL HOLD CORESTATES, INC. HARMLESS FROM ALL CLAIMS AND LOSSES.

[illegible]

SITE LOCATION
890 NE
LANGSFORD ROAD
LEE'S SUMMIT, MO
64063



JOB #: JPM-27135.001

DATE: 12/21/2020

SCALE:	AS NOTED
--------	----------

SHEET NO.

C1

SHEET INDEX				
SHEET NUMBER	DESCRIPTION	REV 1	REV 2	REV 3
C1	COVER SHEET	Δ		
C2	GENERAL NOTES			
C3	EROSION AND SEDIMENTATION CONTROL PLAN PHASE I	Δ		
C4	EROSION AND SEDIMENTATION CONTROL PLAN PHASE II			
C5	EROSION AND SEDIMENTATION CONTROL DETAILS			
C6	DEMOLITION PLAN	Δ		
C7	SITE PLAN	Δ		
C8	GRADING AND DRAINAGE PLAN	Δ		
C9	DRAINAGE BASIN MAPS			
C10	UTILITY PLAN	Δ		
C11-C13	CONSTRUCTION DETAILS	Δ		
C14	PHOTOMETRIC PLAN			
C15-C19	PHOTOMETRIC DETAILS	Δ		
C20	CONSTRUCTION DETAILS	Δ		
C21	ROADWAY PLAN	Δ		
REFERENCE SHEETS				
SHEET NUMBER	DESCRIPTION			
1	ALTA/NSPS LAND TITLE SURVEY BY SWT DESIGN, INC.			
LP-1	PLANTING PLAN	Δ		
LP-2	PLANTING DETAILS, SPECS			

1. THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSAL (IN A LOCATION APPROVED BY ALL GOVERNING AUTHORITIES) OF ALL STRUCTURES, PADS, WALLS, FLUMES, FOUNDATIONS, PARKING, DRIVES, DRAINAGE, STRUCTURES, UTILITIES, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE REMAINING PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE SPECIFICATIONS.
2. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE AND DISPOSING THE DEBRIS IN A LAWFUL MANNER. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL.
3. THE CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES. THE CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY'S FORCES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.
4. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR ONSITE LOCATIONS OF EXISTING UTILITIES.
5. ALL EXISTING SEWERS, PIPING AND UTILITIES SHOWN ARE NOT TO BE INTERFERED WITH AT THE EXACT LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEETINGS. GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND CAP ALL LINES BEFORE PROCEEDING WITH THE WORK. UTILITIES DETERMINED TO BE ABANDONED AND LEFT IN PLACE SHALL BE GROUTED.
6. ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC CABLE AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION. CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE. CONTRACTOR SHALL PAY CLOSE ATTENTION TO EXISTING UTILITIES WITHIN ANY ROAD RIGHT-OF-WAY DURING CONSTRUCTION.
7. CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC., (AND OTHER APPROPRIATE BEST MANAGEMENT PRACTICES) AS APPROVED BY OWNER.
8. CONTINUOUS ACCESS SHALL BE MAINTAINED FOR THE SURROUNDING PROPERTIES AT ALL TIMES DURING DEMOLITION OF THE EXISTING FACILITIES.
9. PRIOR TO DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED.
10. SHOULD REMOVAL AND/OR RELOCATION ACTIVITIES DAMAGE FENCING, LIGHTING AND/OR ANY OTHER APPURTENANCES, THE CONTRACTOR SHALL PROVIDE NEW MATERIALS/ STRUCTURES IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. EXCEPT FOR MATERIALS DESIGNED TO BE RELOCATED ON THIS PLAN, ALL OTHER CONSTRUCTION MATERIALS SHALL BE NEW.
11. CONTRACTOR SHALL LIMIT SAW-CUT & PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS BUT IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR.
12. THE CONTRACTOR SHALL COORDINATE WATER MAIN WORK WITH THE FIRE DEPT. AND THE CITY/COUNTY UTILITY DEPARTMENT TO PLAN PROPOSED IMPROVEMENTS AND TO ENSURE ADEQUATE FIRE PROTECTION IS CONSTANTLY AVAILABLE TO SITE THROUGHOUT THIS SPECIFIC WORK AND THROUGH ALL PHASES OF CONSTRUCTION. CONTRACTOR WILL BE RESPONSIBLE FOR ARRANGING/PROVIDING ANY REQUIRED WATER MAIN SHUT OFFS WITH THE CITY/COUNTY DURING CONSTRUCTION, ANY COSTS ASSOCIATED WITH WATER MAIN SHUT OFFS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR AND NO EXTRA COMPENSATION WILL BE PROVIDED.
13. DAMAGE TO ALL EXISTING CONDITIONS SHOWN TO REMAIN IN THESE PLANS WILL BE REPLACED AT CONTRACTOR'S EXPENSE.

GENERAL SITE NOTES

1. ALL CONSTRUCTION MATERIALS AND TECHNIQUES OF INSTALLATION SHALL MEET PERFORMANCE VALUES OF THE MATERIALS SPECIFIED AND COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
2. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT THIS PROJECT IS CONSTRUCTED IN ACCORDANCE WITH THESE DOCUMENTS AND IN COMPLIANCE WITH CODES INDICATED HEREIN. THE QUALITY OF WORKMANSHIP AND INSTALLATION OF MATERIALS SPECIFIED BY THE ARCHITECT/ENGINEER ARE THE RESPONSIBILITY OF THE CONTRACTOR. THE ARCHITECT/ENGINEER WILL NOT BE HELD RESPONSIBLE FOR ANY SUBSTANDARD OR INSUFFICIENT WORKMANSHIP, MATERIALS, OR SERVICES PROVIDED IN THE EXECUTION OF ANY PHASE OF CONSTRUCTION OF THIS PROJECT.
3. ALL MATERIALS ARE TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S REQUIREMENTS. THE GENERAL CONTRACTOR SHALL ENSURE THAT ALL MANUFACTURER'S WARRANTIES WILL BE HONORED.
4. ALL CONDITIONS SHOWN TO BE "EXISTING" SHALL BE VERIFIED IN THE FIELD BY THE GENERAL CONTRACTOR PRIOR TO START OF CONSTRUCTION. ANY DISCREPANCIES SHALL BE NOTED AND SUBMITTED TO THE OWNER AND THE ARCHITECT/ENGINEER FOR REVIEW. CHANGES TO THE ORIGINAL DESIGN OF THE PROJECT DUE TO EXISTING SITE CONDITIONS MUST BE APPROVED BY BOTH THE OWNER AND THE ARCHITECT/ENGINEER PRIOR TO MAKING ANY CHANGES.
5. CONTRACTOR TO REVIEW AND FOLLOW CONSTRUCTION TECHNIQUES/SPECIFICATIONS OUTLINED IN THE SITE GEOTECHNICAL REPORT. ANY CONFLICTS WHICH MAY ARISE SHALL BE NOTED AND SUBMITTED TO THE OWNER AND THE ARCHITECT/ENGINEER FOR REVIEW PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES.
6. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR HAVING A THOROUGH KNOWLEDGE OF EXISTING FIELD CONDITIONS AND OF ALL DRAWINGS AND SPECIFICATIONS RELATED TO THEIR FIELD. THE FAILURE TO ACQUAINT HIMSELF WITH THIS PROJECT AND HIS FIELD OF SERVICE SHALL NOT RELIEVE HIM OF ANY RESPONSIBILITY FOR PERFORMING HIS WORK PROPERLY. NO ADDITIONAL COMPENSATION SHALL BE ALLOWED DUE TO THE GENERAL CONTRACTOR'S FAILURE TO CONVEY THE NECESSARY KNOWLEDGE TO FAMILIARIZE WORKERS AND SUBCONTRACTORS WITH THIS PROJECT.
7. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THE SAFETY OF ALL PERSONS ON THE JOB SITE AT ALL TIMES INCLUDING (BUT NOT LIMITED TO) SUBCONTRACTORS, FACILITY EMPLOYEES, VENDORS, DESIGN STAFF PROFESSIONALS AND INSPECTION PERSONNEL.
8. THE GENERAL CONTRACTOR SHALL PROVIDE DUMPSTERS, PORTABLE TOILETS AND TEMPORARY POWER FOR UNRESTRICTED PROJECT RELATED USE BY OTHERS FOR THE DURATION OF THE PROJECT.
9. THE GENERAL CONTRACTOR SHALL COORDINATE PROJECT PHASING AND STORAGE OF MATERIALS WITH THE OWNER.
10. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR RECEIVING, UNLOADING, STORING AND PROTECTING OF MATERIALS AND EQUIPMENT SUPPLIED BY THE OWNER UNTIL IT HAS BEEN INSTALLED AND ACCEPTED BY THE OWNER.
11. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE AREA CLEAN AND FREE OF DEBRIS AT ALL TIMES DURING CONSTRUCTION. THE GENERAL

SLOPES 3H:1V OR STEEPER. CONTRACTOR SHALL STABILIZE DISTURBED AREAS IN ACCORDANCE WITH GOVERNING SPECIFICATIONS UNTIL A HEALTHY STAND OF VEGETATION IS OBTAINED.

11. CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.

12. ALL PAVING, CONSTRUCTION MATERIALS, AND WORKMANSHIP WITHIN THE STATE'S DEPARTMENT OF TRANSPORTATION & DEVELOPMENT AND THE CITY/COUNTY RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH THE STATE'S DEPARTMENT OF TRANSPORTATION SPECIFICATIONS AND STANDARDS (LATEST EDITION) AND THE CITY/COUNTY STANDARDS (LATEST EDITION) RESPECTIVELY.

13. ALL REINFORCED CONCRETE PIPE SHALL BE CLASS III AND INSTALLED IN ACCORDANCE WITH THE APPROPRIATE APPROVING AUTHORITIES LATEST REQUIREMENTS AND SPECIFICATIONS, UNLESS OTHERWISE INDICATED ON THE PLANS OR SPECIFICATIONS.

14. ALL CONCRETE USED ON THE SITE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI IN 28 DAYS.

15. ALL AREAS INDICATED AS PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TYPICAL PAVEMENT SECTIONS AS INDICATED ON THE DRAWINGS.

16. THE CONTRACTOR SHALL ENSURE THAT ALL PLANTING AREAS (INTERIOR ISLANDS, FOUNDATION PLANTING AREAS, ETC.) ARE NOT COMPACTED AND DO NOT CONTAIN LIMEROCK OR OTHER MATERIAL (CLAY, SUBGRADE MATERIAL, MARL, ETC.) WHICH MAY ADVERSELY AFFECT DRAINAGE OF GREEN AREAS. THE CONTRACTOR SHALL ALSO EXCAVATE AND REMOVE ALL UNDESIRABLE MATERIAL FROM ALL AREAS ON THE SITE TO BE PLANTED AND BACKFILL WITH CLEAN, FREE DRAINING TOPSOIL.

17. CONTRACTOR IS SPECIFICALLY CAUTIONED, DEPENDING ON THE TIME OF YEAR AND PROJECT LOCATION, DEWATERING MAY BE REQUIRED.

18. IF DEWATERING IS REQUIRED, THE CONTRACTOR SHALL OBTAIN ANY APPLICABLE REQUIRED PERMITS. THE CONTRACTOR IS TO COORDINATE WITH THE OWNER PRIOR TO EXCAVATION. THE CONTRACTOR IS TO SUPPLY THE CITY/COUNTY A COPY OF THE PERMIT A MINIMUM OF TWO (2) BUSINESS DAYS PRIOR TO ANY CONSTRUCTION ACTIVITY.

19. STRIP TOPSOIL AND ORGANIC MATTER AND PAVING MATERIAL FROM ALL AREAS TO BE IMPERVIOUS. TOPSOIL SHALL BE STOCKPILED ON SITE FOR REPLACEMENT ON SLOPES AND ALL OTHER GREEN AND LANDSCAPE AREAS.

20. FIELD DENSITY TESTS SHALL BE TAKEN AT FREQUENCY AS REQUIRED IN THE SPECIFICATIONS OR AS REQUIRED BY THE GOVERNING REGULATORY AGENCY, WHICH EVER IS MORE STRINGENT.

21. ALL STRUCTURES ARE TO CONFORM WITH THE STATE'S DEPARTMENT OF TRANSPORTATION ROADWAY AND TRAFFIC DESIGN STANDARDS. CURB INLETS SHALL CONFORM TO THE STATE'S DEPARTMENT OF TRANSPORTATION STANDARDS. CATCH BASINS SHALL HAVE TRAFFIC BEARING, GRATES. CONCRETE FLEED END SECTION SHALL CONFORM TO THE STATE'S DEPARTMENT OF TRANSPORTATION STANDARDS. MANHOLES SHALL CONFORM TO THE STATE'S DEPARTMENT OF TRANSPORTATION STANDARDS.

22. CONTRACTOR SHALL ENSURE POSITIVE FLOW TO ALL INLETS WITHIN DRAINAGE BASINS TO PRECLUDE PONDED WATER.

23. ALL DRAINAGE CULVERT JOINTS SHALL CONFORM TO THE STATE'S DEPARTMENT OF TRANSPORTATION STANDARDS.

24. THE CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO CONTROL SEDIMENT LOSS, INCLUDING BUT NOT LIMITED TO THE INSTALLATION OF SILT FENCE AT ALL LOCATIONS WHERE THE POSSIBILITY OF TRANSFERRING SUSPENDED SOLIDS INTO THE RECEIVING WATER BODY EXISTS DUE TO THE PROPOSED WORK. SILT FENCE MUST BE MAINTAINED IN EFFECTIVE CONDITION AT ALL LOCATIONS UNTIL CONSTRUCTION IS COMPLETED AND DISTURBED SOIL AREAS ARE STABILIZED. THEREAFTER, THE CONTRACTOR MUST REMOVE THE SEDIMENT BARRIERS AT NO TIME SHALL THERE BE ANY OFF-SITE DISCHARGE WHICH VIOLATES THE WATER QUALITY STANDARDS OF THE STATE'S STORMWATER PERMIT.

GENERAL UTILITY NOTES:

1. CONTRACTOR SHALL COORDINATE ANY DISRUPTIONS TO EXISTING UTILITY SERVICES WITH ADJACENT PROPERTY OWNERS.

2. ALL ELECTRIC, TELEPHONE, AND GAS EXTENSIONS (INCLUDING SERVICE LINES) SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE DESIGNATED UTILITY COMPANIES.

3. CONSTRUCTION SHALL NOT START ON ANY PUBLIC UTILITY SYSTEM UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED BY THE ENGINEER FROM THE APPROPRIATE GOVERNING AUTHORITY AND CONTRACTOR HAS BEEN NOTIFIED BY THE ENGINEER.

4. PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OF THE DRY UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM THE ENGINEER AND THE OWNER/DEVELOPER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION. THE ENGINEER AND ITS CLIENTS SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION.

5. PRIOR TO CONSTRUCTION, THE GENERAL CONTRACTOR SHALL VERIFY THAT "STUB OUTS" FOR POWER, TELEPHONE, FIBER OPTICS, WATER AND SEWER (IF APPLICABLE) HAVE BEEN PROVIDED BY OTHERS AT THE AREA ADJACENT TO THE PROPOSED BUILDING. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR FINAL CONNECTIONS AT THE BUILDING.

6. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE SCHEDULE FOR INSTALLATION WITH THE UTILITY COMPANIES AND THE OWNER. ALL EXISTING CONDITIONS THAT ARE REMOVED OR DISRUPTED DURING THE PLACEMENT OF NEW UTILITIES SHALL BE REPLACED OR REPAIRED TO MATCH ORIGINAL CONDITIONS. ANY EXISTING UTILITIES DISRUPTED DURING PLACEMENT OF NEW UTILITIES SHALL BE REPAIRED AND OPERATING NORMALLY THE SAME DAY OF DISRUPTION. ITEMS THAT MAY NEED TO BE REPLACED OR REPAIRED INCLUDE BUT ARE NOT LIMITED TO: EXISTING ASPHALT PAVING, EXISTING CONCRETE PAVING, WATER LINES, IRRIGATION LINES, GRASS AREAS, LANDSCAPING, AND SITE LIGHTING. THE GENERAL CONTRACTOR SHALL FIELD VERIFY THE EXACT LOCATION OF ALL EXISTING ITEMS THAT WILL BE DISRUPTED DURING THE PLACEMENT OF NEW UTILITIES AND PROVIDE THE OWNER A DETAILED PHASING SCHEDULE OUTLINING THE TIMELINE FOR INSTALLATION OF NEW UTILITIES INCLUDING THE PROPOSED TIMES THAT EXISTING ITEMS WILL BE DISRUPTED. THE NEW UTILITIES TRENCH WIDTH AND DEPTH SHALL MEET ALL LOCAL AND STATE REQUIREMENTS FOR THE DISPLACEMENT OF ALL UTILITIES. IF DIRECTIONAL BORING IS USED FOR INSTALLATION, ABOVE LISTED ITEMS ARE STILL REQUIRED TO BE SUBMITTED TO THE OWNER.

7. IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.

8. ALL SANITARY SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RINGS & COVERS. SANITARY MANHOLES IN UNPAVED AREAS SHALL BE 6" ABOVE FINISH GRADE WITH WATER TIGHT LIDS.

9. ALL FILL MATERIAL IS TO BE IN PLACE, AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.

10. CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITIES INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINE.

STANDARD ABBREVIATIONS	
AC	ACRES
ADA	AMERICANS WITH DISABILITY ACT
ARCH	ARCHITECTURAL
BC	BOTTOM OF CURB
BF	BASEMENT FLOOR
BK	BLOCK
BL	BASELINE
BLD	BUILDING
BOL	BOLLARD
BM	BENCH MARK
BRL	BUILDING RESTRICTION LINE
BSL	BUILDING SETBACK LINE
CF	CUBIC FEET
CL	CENTERLINE
CMP	CORRUGATED METAL PIPE
CONN	CONNECTION
CONC	CONCRETE
CPP	CORRUGATED PLASTIC PIPE
CY	CUBIC YARDS
DEC	DECORATIVE
DEP	DEPRESSED
DIP	DUCTILE IRON PIPE
DOM	DOMESTIC
ELEC	ELECTRIC
ELEV	ELEVATION
EP	EDGE OF PAVEMENT
ES	EDGE OF SHOULDER
EW	END OF WALL
EX	EXISTING
FES	FLARED END SECTION
FF	FINISH FLOOR ELEVATION
FH	FIRE HYDRANT
FG	FINISHED GRADE
G	GRADE
GF	GARAGE FLOOR
GH	GRADE HIGH SIDE OF WALL
GL	GRADE LOW SIDE OF WALL
GRT	GRATE
GV	GATE VALVE
HDPE	HIGH DENSITY POLYETHYLENE PIPE
HP	HIGH POINT
HOR	HORIZONTAL
HW	HEADWALL
INT	INTERSECTION
INV	INVERT
LF	LINEAR FOOT
LOC	LIMITS OF CLEARING
LOD	LIMITS OF DISTURBANCE
LOS	LINE OF SIGHT
LP	LOW POINT
LS	LANDSCAPE
MAX	MAXIMUM
ME	MATCH EXIST
MIN	MINIMUM
MH	MANHOLE
MJ	MECHANICAL JOINT
OC	ON CENTER
PC	POINT OF CURVATURE
PCR	POINT OF COMPOUND CURVATURE, CURB RETURN
PI	POINT OF INTERSECTION
POG	POINT OF GRADE
POI	POINT OF INTEREST
PROP	PROPOSED
PT	POINT OF TANGENCY
PTCR	POINT OF TANGENCY, CURB RETURN
PVC	POLYVINYL CHLORIDE PIPE
PVI	POINT OF VERTICAL INTERSECTION
PVT	POINT OF VERTICAL TANGENCY
R	RADIUS
RCR	REINFORCED CONCRETE PIPE
RCRPR	REINFORCED CONCRETE WITH RUBBER GASKET
RET-WALL	RETAINING WALL
R/W	RIGHT OF WAY
S	SLOPE
SAN	SANITARY SEWER
SF	SQUARE FEET
SSE	SANITARY SEWER EASEMENT
STA	STATION
STM	STORM
TBR	TO BE REMOVED
TBRL	TO BE RELOCATED
TC	TOP OF CURB
TEL	TELEPHONE
TP	TREE PROTECTION
TW	TOP OF WALL
TYP	TYPICAL
UG	UNDERGROUND
UP	UTILITY POLE
WL	WATER LINE
WM	WATER METER
±	PLUS OR MINUS
°	DEGREE
Ø	DIAMETER
#	NUMBER

AC	ACRES
ADA	AMERICANS WITH DISABILITY ACT
ARCH	ARCHITECTURAL
BC	BOTTOM OF CURB
BF	BASEMENT FLOOR
BK	BLOCK
BL	BASELINE
BLD	BUILDING
BOL	BOLLARD
BM	BENCH MARK
BRL	BUILDING RESTRICTION LINE
BSL	BUILDING SETBACK LINE
CF	CUBIC FEET
CL	CENTERLINE
CMP	CORRUGATED METAL PIPE
CONN	CONNECTION
CONC	CONCRETE
CPP	CORRUGATED PLASTIC PIPE
CY	CUBIC YARDS
DEC	DECORATIVE
DEP	DEPRESSED
DIP	DUCTILE IRON PIPE
DOM	DOMESTIC
ELEC	ELECTRIC
ELEV	ELEVATION
EP	EDGE OF PAVEMENT
ES	EDGE OF SHOULDER
EW	END OF WALL
EX	EXISTING
FES	FLARED END SECTION
FF	FINISH FLOOR ELEVATION
FH	FIRE HYDRANT
FG	FINISHED GRADE
G	GRADE
GF	GARAGE FLOOR
GH	GRADE HIGH SIDE OF WALL
GL	GRADE LOW SIDE OF WALL
GRT	GRATE
GV	GATE VALVE
HDPE	HIGH DENSITY POLYETHYLENE PIPE
HP	HIGH POINT
HOR	HORIZONTAL
HW	HEADWALL
INT	INTERSECTION
INV	INVERT
LF	LINEAR FOOT
LOC	LIMITS OF CLEARING
LOD	LIMITS OF DISTURBANCE
LOS	LINE OF SIGHT
LP	LOW POINT
LS	LANDSCAPE
MAX	MAXIMUM
ME	MATCH EXIST
MIN	MINIMUM
MH	MANHOLE
MJ	MECHANICAL JOINT
OC	ON CENTER
PC	POINT OF CURVATURE
PCCR	POINT OF COMPOUND CURVATURE, CURB RETURN
PI	POINT OF INTERSECTION
POG	POINT OF GRADE
POI	POINT OF INTEREST
PROP	PROPOSED
PT	POINT OF TANGENCY
PTCR	POINT OF TANGENCY, CURB RETURN
PVC	POLYVINYL CHLORIDE PIPE
PVI	POINT OF VERTICAL INTERSECTION
PVT	POINT OF VERTICAL TANGENCY
R	RADIUS
RCP	REINFORCED CONCRETE PIPE
RCPR	REINFORCED CONCRETE WITH RUBBER GASKET
RET-WALL	RETAINING WALL
R/W	RIGHT OF WAY
S	SLOPE
SAN	SANITARY SEWER
SF	SQUARE FEET
SSE	SANITARY SEWER EASEMENT
STA	STATION
STM	STORM
TBR	TO BE REMOVED
TBRL	TO BE RELOCATED
TC	TOP OF CURB
TEL	TELEPHONE
TP	TREE PROTECTION
TW	TOP OF WALL
TYP	TYPICAL
UG	UNDERGROUND
UP	UTILITY POLE
WL	WATER LINE
WM	WATER METER
±	PLUS OR MINUS
°	DEGREE
Ø	DIAMETER
#	NUMBER

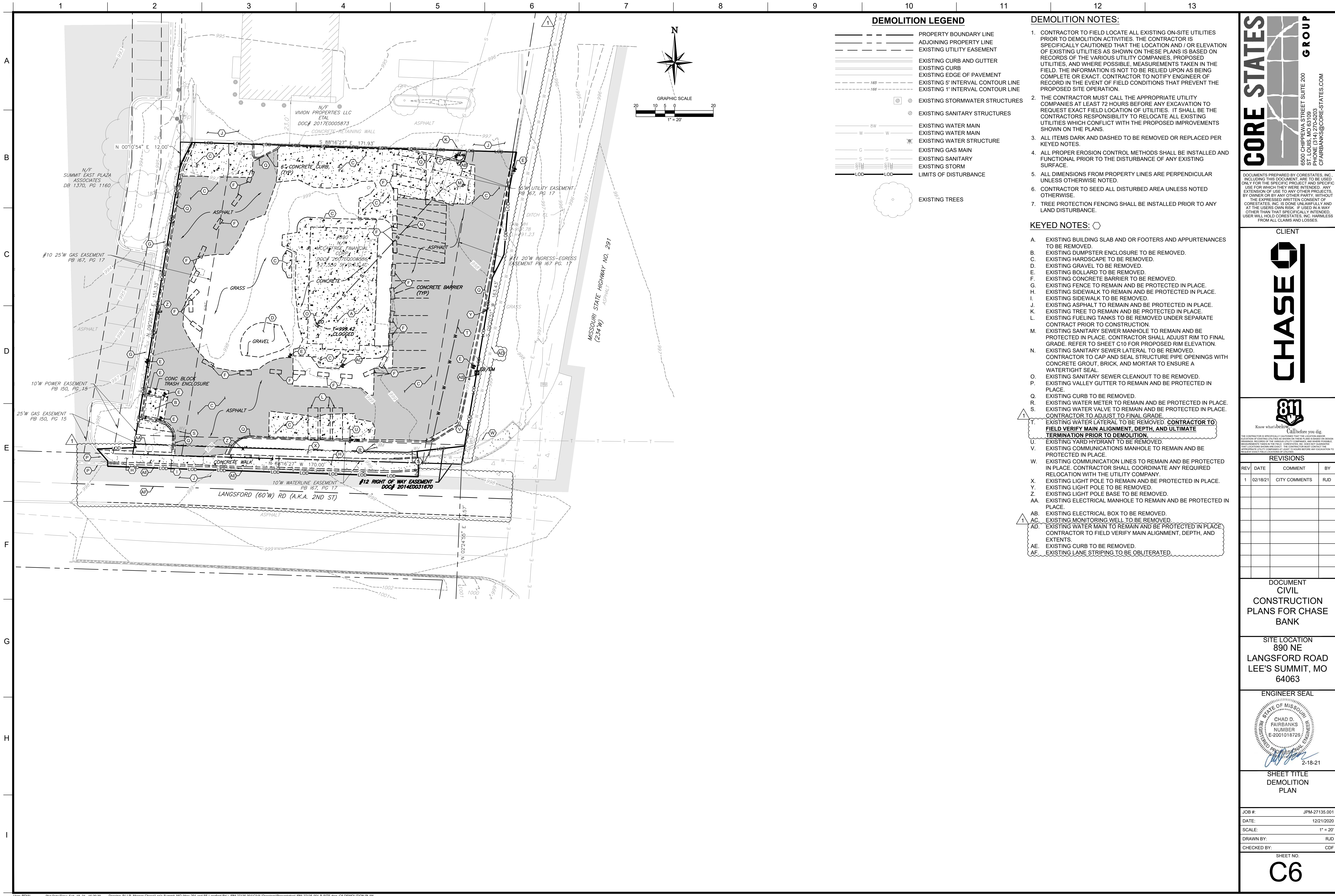
[illegible]

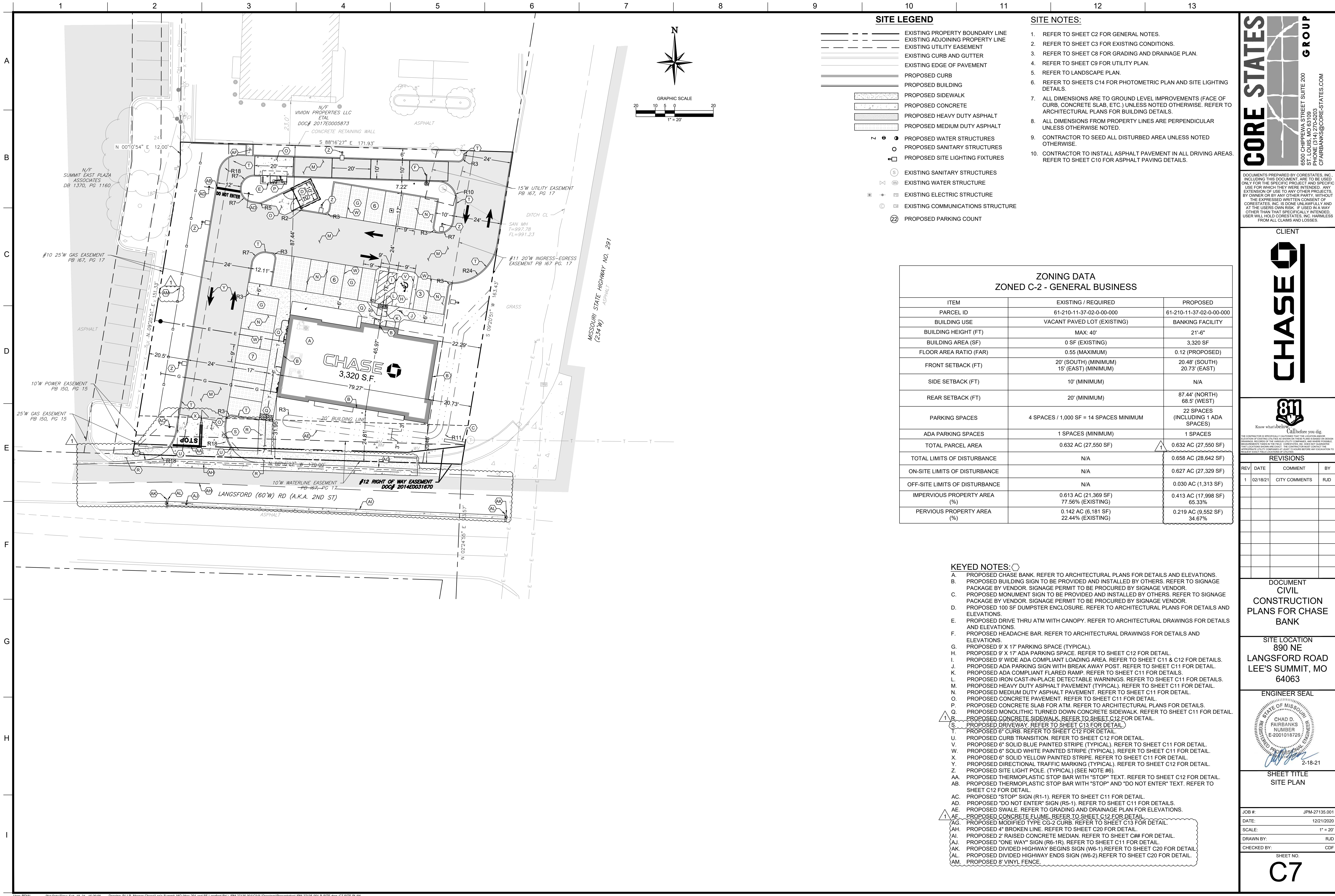
SITE LOCATION
890 NE
LANGSFORD ROAD
LEE'S SUMMIT, MO
64063

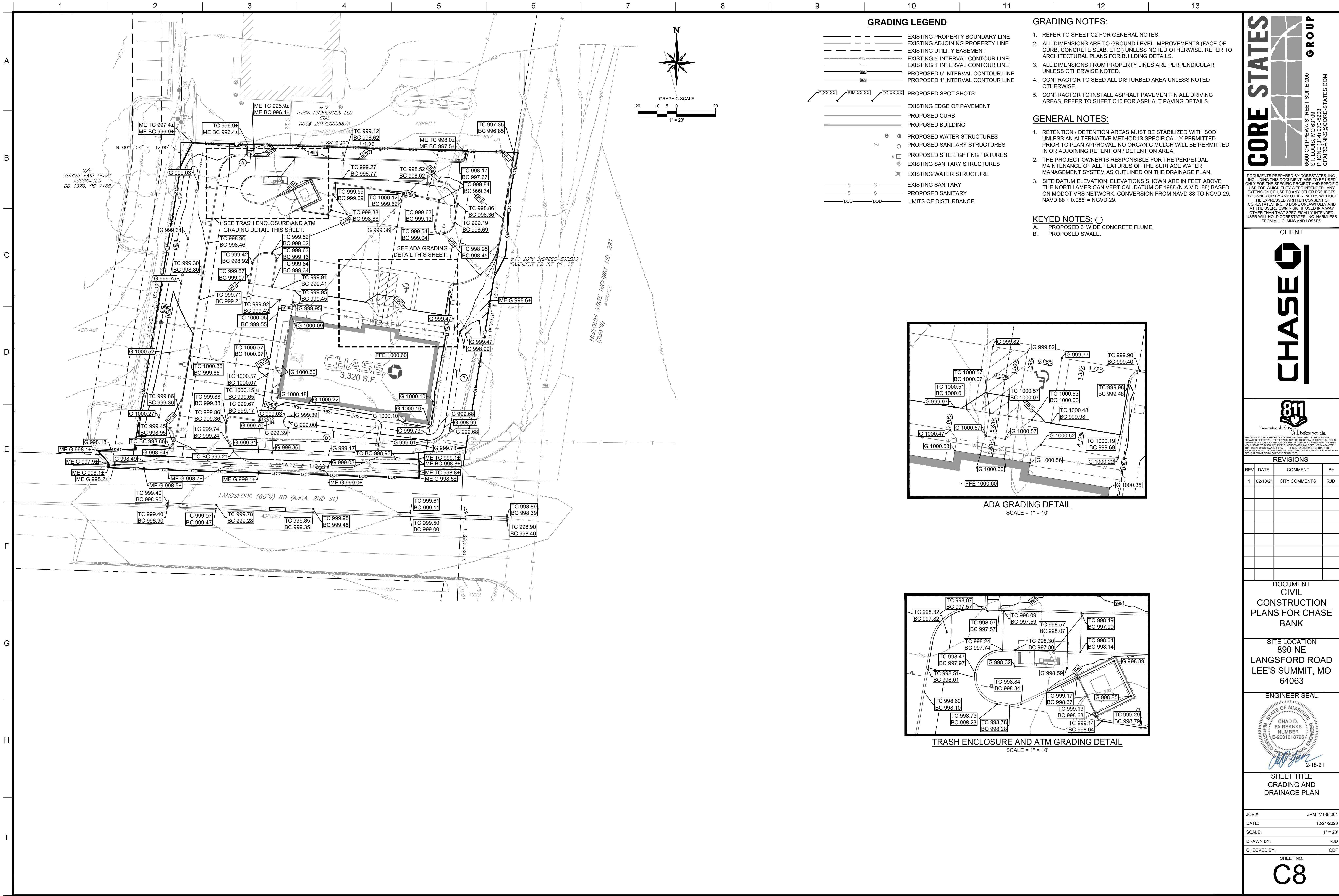
SHEET TITLE
GENERAL
NOTES

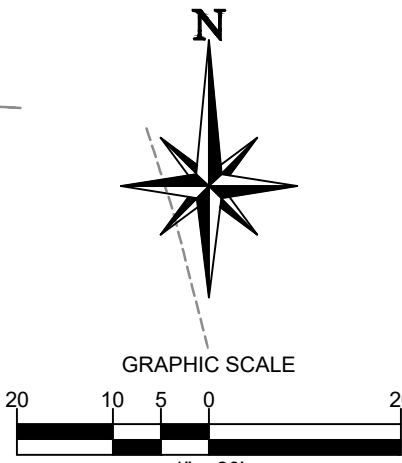
SHEET NO.

C2









	EXISTING PROPERTY BOUNDARY LINE
	EXISTING ADJOINING PROPERTY LINE
	EXISTING UTILITY EASEMENT
	EXISTING 1' INTERVAL CONTOUR LINE
	EXISTING 5' INTERVAL CONTOUR LINE
	PROPOSED 1' INTERVAL CONTOUR LINE
	PROPOSED 5' INTERVAL CONTOUR LINE
	EXISTING CURB AND GUTTER
	EXISTING EDGE OF PAVEMENT
	PROPOSED CURB AND GUTTER
	PROPOSED CURB
	PROPOSED BUILDING
	PROPOSED WATER STRUCTURES
	PROPOSED STORM STRUCTURES
	PROPOSED SANITARY STRUCTURES
	PROPOSED SITE LIGHTING FIXTURES
	EXISTING STORMWATER STRUCTURES
	EXISTING SANITARY STRUCTURES
	EXISTING WATER STRUCTURE
	EXISTING GAS MAIN
	EXISTING TELEPHONE
	EXISTING SANITARY
	EXISTING STORM
	PROPOSED STORM PIPE
	PROPOSED WATER
	PROPOSED SANITARY

1. REFER TO SHEET C2 FOR GENERAL NOTES.
2. REFER TO SHEET C6 FOR EXISTING CONDITIONS.
3. REFER TO SHEET C7 FOR SITE PLAN.
4. REFER TO SHEET C8 FOR GRADING AND DRAINAGE PLAN.
5. REFER TO LANDSCAPE PLAN.
6. REFER TO SHEETS C14 FOR PHOTOMETRIC PLAN AND SITE LIGHTING DETAILS.
7. REFER TO ARCHITECTURAL PLANS FOR SITE ELECTRICAL PLANS.
8. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND / OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING COMPLETE OR EXACT. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
9. ELEVATIONS SHOWN ARE IN FEET ABOVE THE NORTH AMERICAN VERTICAL DATUM OF 1988 (N.A.V.D. 88) BASED ON MODOT VRS NETWORK. CONVERSION FROM NAVD 88 TO NGVD 29, $NAVD\ 88 - 0.354' = NGVD\ 29$.

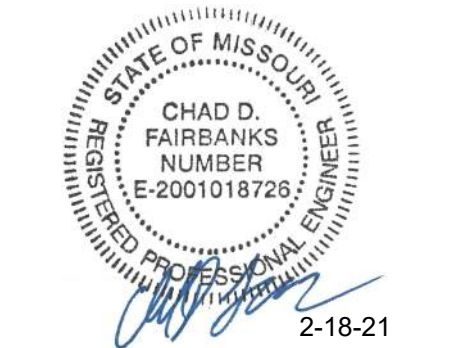
- A. PROPOSED DOMESTIC WATER SERVICE POINT OF CONNECTION AT EXISTING WATER METER. CONTRACTOR SHALL COORDINATE WITH THE CITY OF LEE'S SUMMIT.
- B. PROPOSED 1-1/2" COPPER DOMESTIC WATER SERVICE.
- C. PROPOSED LOCATION FOR POTABLE WATER TIE IN TO THE BUILDING. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
- D. PROPOSED IRRIGATION WATER SERVICE POINT OF CONNECTION AT EXISTING WATER METER. CONTRACTOR SHALL COORDINATE WITH THE CITY OF LEE'S SUMMIT.
- E. PROPOSED 1-1/2" PVC IRRIGATION WATER SERVICE.
- F. PROPOSED LOCATION FOR IRRIGATION WATER TIE IN TO THE BUILDING. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
- G. PROPOSED 8" X 6" WYE AND POINT OF CONNECTION FOR SANITARY SEWER SERVICE AT 8" SANITARY SEWER LATERAL.
- H. PROPOSED 6" (SDR 35) PVC SANITARY SEWER SERVICE. SANITARY SEWER PIPES TO BE INSTALLED AT MINIMUM SLOPE OF 2.00%.
- I. PROPOSED SANITARY SEWER CLEANOUT LOCATION. REFER TO SHEET C12 FOR DETAIL.
- J. PROPOSED LOCATION FOR SANITARY SEWER TIE IN TO THE BUILDING. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
- K. PROPOSED POINT OF CONNECTION FOR UNDERGROUND TELEPHONE/CABLE SERVICE. CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANY.
- L. PROPOSED (2) 2" CONDUITS FOR TELEPHONE/CABLE SERVICE. CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANY FOR SERVICE SPECIFICATIONS.
- M. PROPOSED LOCATION FOR UNDERGROUND TELEPHONE/CABLE TIE IN TO THE BUILDING. REFER TO ELECTRICAL PLANS FOR DETAILS.
- N. PROPOSED GAS SERVICE CONNECTION AT EXISTING GAS LATERAL. CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANY (EVERGY).
- O. PROPOSED GAS LINE. CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANY (EVERGY).
- P. PROPOSED GAS METER. CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANY (EVERGY).
- Q. PROPOSED SITE LIGHTING FIXTURE (SEE PHOTOMETRIC PLAN). REFER TO SHEET C15, C16, C17, & C18 FOR DETAILS.
- R. PROPOSED (2) 3/4" UNDERGROUND ELECTRICAL CONDUITS FOR MONUMENT SIGN. ALIGNMENT OF UNDERGROUND CONDUITS ARE FOR GENERAL LOCATION ONLY. CONTRACTOR TO INSTALL UNDERGROUND CONDUITS TO PREVENT CONFLICTS AND FACILITATED PROPOSED WIRING SCHEMATIC.
- S. PROPOSED UTILITY POLE WITH TRANSFORMERS AND POINT OF CONNECTION FOR UNDERGROUND ELECTRIC SERVICE. CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANY (EVERGY).
- T. CONTRACTOR SHALL PROVIDE 4" UNDERGROUND SECONDARY CONDUITS SIZED FOR 400A, 3-PHASE ELECTRICAL SERVICE. CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANY (EVERGY).
- U. PROPOSED WALL MOUNTED ELECTRIC METER AND MANUAL TRANSFER SWITCH. CONTRACTOR SHALL COORDINATE WITH ELECTRICAL COMPANY (EVERGY). REFER TO ELECTRICAL PLANS FOR DETAILS.
- V. PROPOSED 2" SOFT TYPE K COPPER SERVICE LATERAL TO EXTEND A MINIMUM OF 10 FEET PAST THE METER.
- W. PROPOSED 2" X 1/2" REDUCER TO BE INSTALLED A MINIMUM OF 10 FEET PAST THE METER.
- X. PROPOSED 2" SOFT TYPE K COPPER IRRIGATION LATERAL TO EXTEND A MINIMUM OF 10 FEET PAST THE METER.

[illegible]

DOCUMENT
CIVIL
CONSTRUCTION
PLANS FOR CHASE
BANK

SITE LOCATION
890 NE
LANGSFORD ROAD
LEE'S SUMMIT, MO
64063

ENGINEER SEAL



SHEET TITLE
UTILITY PLAN


JOB #:	JPM-27135.001
DATE:	12/21/2020
SCALE:	1" = 20'
DRAWN BY:	RJD
CHECKED BY:	CDF


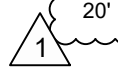






SHEET NO.

C10

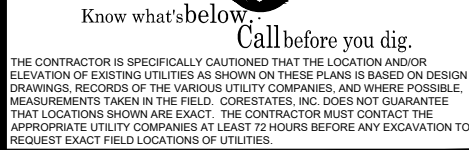
SANITARY STRUCTURE TABLE									
STRUCTURE NAME	STRUCTURE TYPE	RIM	UPSTREAM PIPE NAME	UPSTREAM PIPE INV	DOWNSTREAM PIPE INV	DOWNSTREAM PIPE LENGTH	DOWNSTREAM PIPE SIZE AND TYPE	DOWNSTREAM PIPE SLOPE	
1	BUILDING STUB	1000.18							
2	6" PVC - 22.5' WYE W/CO & 11.25' BEND	1000.10	SAN 1-2	996.57'	SAN 1-2	996.67'	5.00'	6" PVC	2.00%
3	6" PVC - 22.5' WYE W/CO	998.99	SAN 2-3	995.38'	SAN 3-4	995.38'	20.12'	6" PVC	21.68%
4	6" PVC - 8X6 WYE W/CO	997.77	SAN 3-4	991.01'					



	Qty	Catalog Number	Description	Lamp	File	Lumens	LLF	Watts	Mounting Height
	2	EACL-01-0-F4-AF-7-40-N-1-C1-DKBZ 4000K	EVOLVE LED AREA EACL TYPE IV (DARK BRONZE) COORDINATE MOUNTING BRACKET WITH POLE (FULL CUT-OFF)	LED	EACL01_F474AF740.ies	ABSOLUTE	1.00	125	
	4	EACL-01-0-F4-AF-7-40-N-1-C1-DKBZ 4000K	EVOLVE LED AREA EACL TYPE IV (DARK BRONZE) COORDINATE MOUNTING BRACKET WITH POLE (FULL CUT-OFF)	LED	EACL01_F474AF740.ies	ABSOLUTE	1.00	125	15'
	6	LANTERRA 00004-W2/RW-LED 400S-W-W-CS-L1-UNV-WIS, (2) 10W, 4000K	120V UP/DOWN SCONCE WITH INTEGRAL LED DRIVER	LED	9004-W2FL-LED3590-S-BK-L1-UNV.ies	ABSOLUTE	1.00	19.7	10'
	1	HDL-HP-RD-A17-T-18-120V-0-10V HDL-HP-RD-A17-T-MWW-VWF-359-WET	4" LED DOWNLIGHT 18W, WET RATED	LED	HDL-HP-RD-A17-MWW-VWF.ies	ABSOLUTE	1.00	18	10'
	2	HDL-HP-RD-A17-T-18-120V-0-10V HDL-HP-RD-A17-T-MWW-VWF-359-WET	4" LED DOWNLIGHT 18W, WET RATED L-7 FIXTURE WITH EMERGENCY LIGHT DRIVER	LED	HDL-HP-RD-A17-MW-VWF.ies	ABSOLUTE	1.00	18	10'
	1	XTOR6B-WB-BC-PZ 1/2 -MS/DIM-L20-CBP, 4000K	LOW PROFILE LED DIE-CAST ALUMINUM HOUSING, BRONZE FULL CUT-OFF SILICONE SEALED LED CHAMBER, 50% DIMMING SENSOR, 90 MIN. BACKUP BATTERY	LED MODULES CONSTANT CURRENT 4000K	XTOR6B.IES	ABSOLUTE	1.00	58	10'
	2	C-CP-B-SQ-4L-50K-WH	LED CANOPY LIGHT, WHITE ALUMINUM HOUSING WITH A POLYESTER POWDER-COAT FINISH, ACRYLIC PRISMATIC LENS, SQUARE CANOPY	LED	c-cp-b-sq-4l-50k-wh.ies	ABSOLUTE	1.00	35.9	12'

Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens	LLF	Watts	Mounting Height
	SL1	2	EACL-01-0-F4-AF-7-40-N-1-C1-DKBZ 4000K	EVOLVE LED AREA EACL, TYPE IV (DARK BRONZE) COORDINATE MOUNTING BRACKET WITH POLE (FULL CUT-OFF)	LED	EACL01_F474AF740.ies	ABSOLUTE	1.00	125	
	SL2	4	EACL-01-0-F4-AF-7-40-N-1-C1-DKBZ 4000K	EVOLVE LED AREA EACL, TYPE IV (DARK BRONZE) COORDINATE MOUNTING BRACKET WITH POLE (FULL CUT-OFF)	LED	EACL01_F474AF740.ies	ABSOLUTE	1.00	125	15'
	L4	6	LANTERRA 90004-W2-RW-LED 4686W/W-CSL-1-UNV-WIS, (2) 10W, 4000K	120V UP/DOWN SCONCE WITH INTEGRAL LED DRIVER	LED	9004-W2-FL-LED03590-S-BK-L1-UNV.ies	ABSOLUTE	1.00	19.7	10'
	L7	1	HDL-HP-R-NC-A17-T-18-120V-0-10V HDL-HP-RD-A17-T-MWW-VWF-359-WET	4" LED DOWNLIGHT 18W, WET RATED	LED	HDL-HP-RD-A17-MW-VWF.ies	ABSOLUTE	1.00	18	10'
	L7-EM	2	HDL-HP-R-NC-A17-T-18-120V-0-10V HDL-HP-RD-A17-T-MWW-VWF-359-WET	4" LED DOWNLIGHT 18W, WET RATED L-7 FIXTURE WITH EMERGENCY LIGHT DRIVER	LED	HDL-HP-RD-A17-MW-VWF.ies	ABSOLUTE	1.00	18	10'
	L21-EM	1	XTOR6B-WB-PC-P/2 -MS/DIM-L20-CBP, 4000K	LOW PROFILE LED DIE-CAST ALUMINUM HOUSING, BRONZE FULL CUT-OFF SILICONE SEALED LED CHAMBER, 50% DIMMING SENSOR, 90 MIN. BACKUP BATTERY	LED MODULES CONSTANT CURRENT 4000K	XTOR6B.IES	ABSOLUTE	1.00	58	10'
	CL1	2	C-CP-B-SQ-4L-50K-WH	LED CANOPY LIGHT, WHITE ALUMINUM HOUSING WITH A POLYESTER POWDER-COAT FINISH, ACRYLIC PRISMATIC LENS, SQUARE CANOPY	LED	c-cp-b-sq-4l-50k-wh.ies	ABSOLUTE	1.00	35.9	12'

DOCUMENTS PREPARED BY CORESTATES, INC., INCLUDING THIS DOCUMENT, ARE TO BE USED ONLY FOR THE SPECIFIC PROJECT AND SPECIFIC USE FOR WHICH THEY WERE INTENDED. ANY EXTENSION OF USE TO ANY OTHER PROJECTS, BY OWNER OR BY ANY OTHER PARTY, WITHOUT THE EXPRESSED WRITTEN CONSENT OF CORESTATES, INC. IS DONE UNLAWFULLY AND AT THE USERS OWN RISK. IF USED IN A WAY OTHER THAN THAT SPECIFICALLY INTENDED, USER WILL HOLD CORESTATES, INC. HARMLESS FROM ALL CLAIMS AND LOSSES.



DOCUMENT
CIVIL
CONSTRUCTION
PLANS FOR CHASE
BANK

SITE LOCATION
890 NE
LANGSFORD ROAD
LEE'S SUMMIT, MO
64063

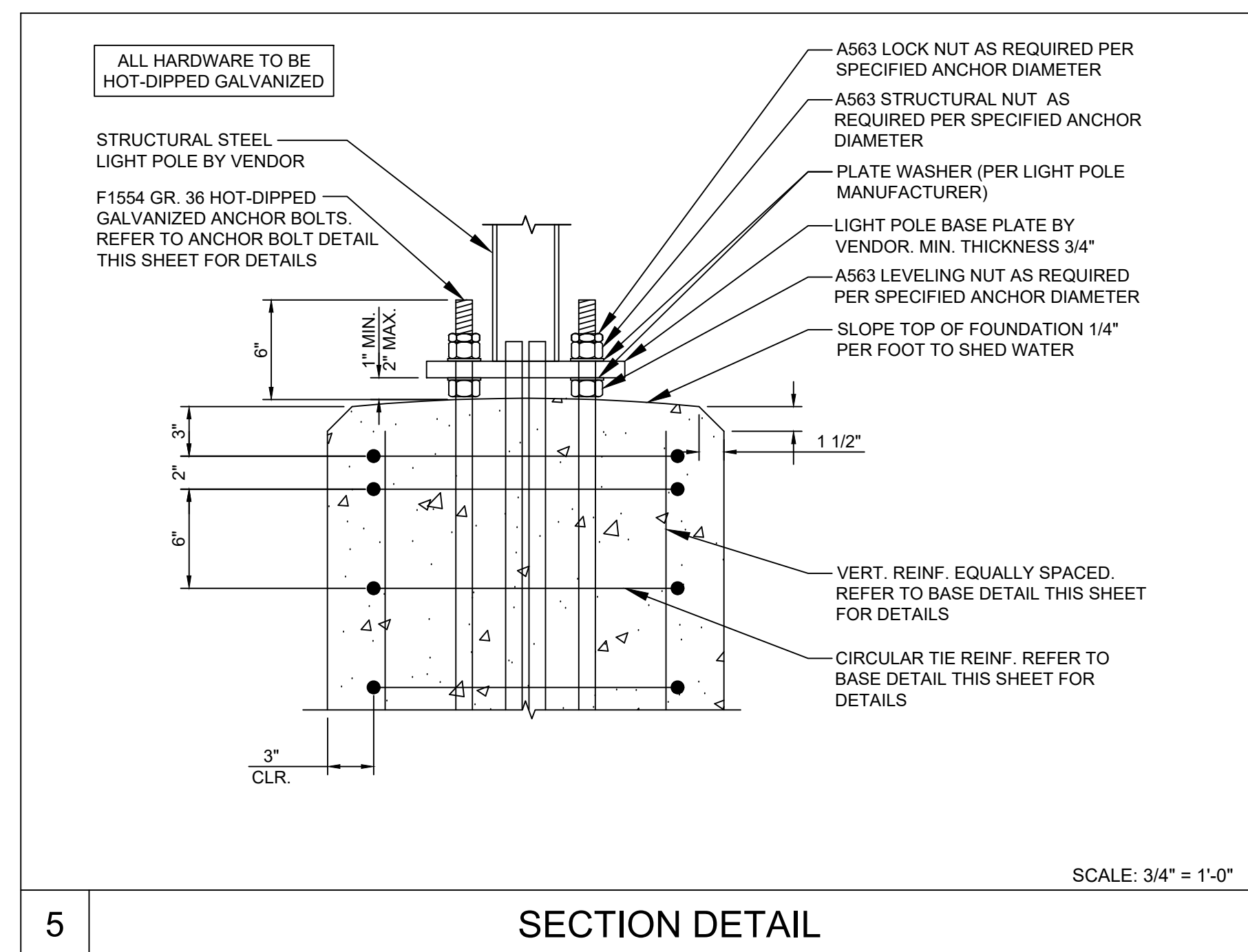
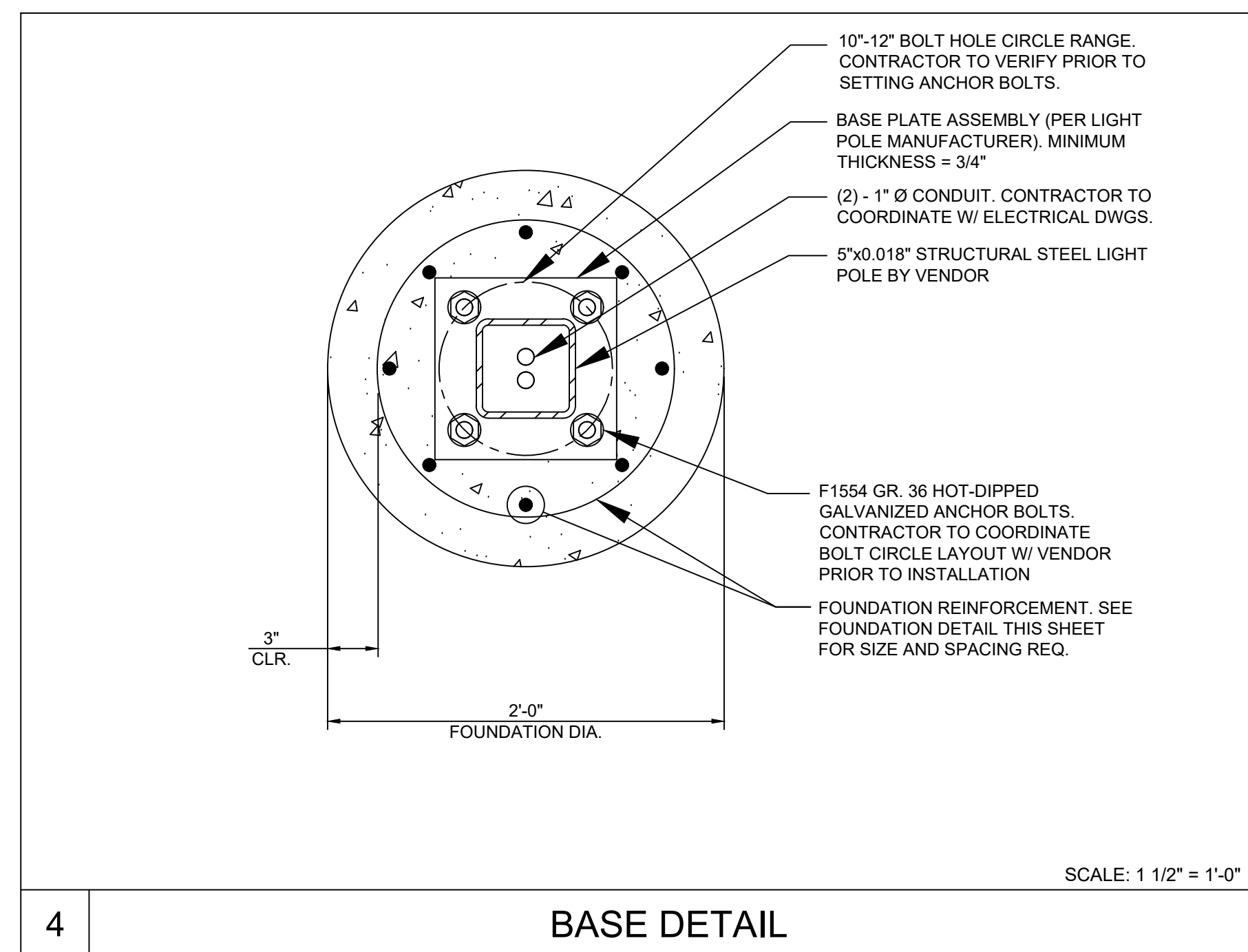
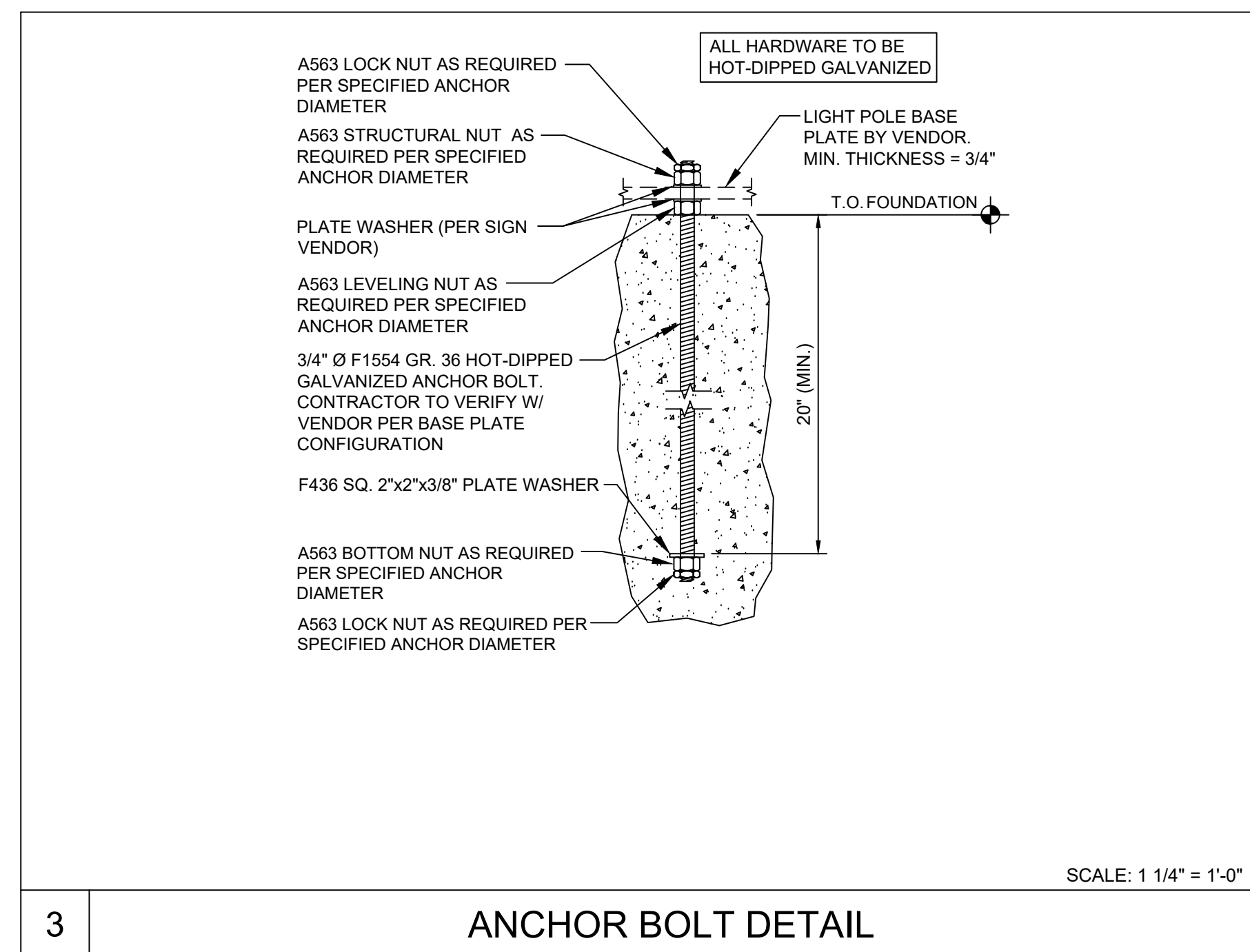
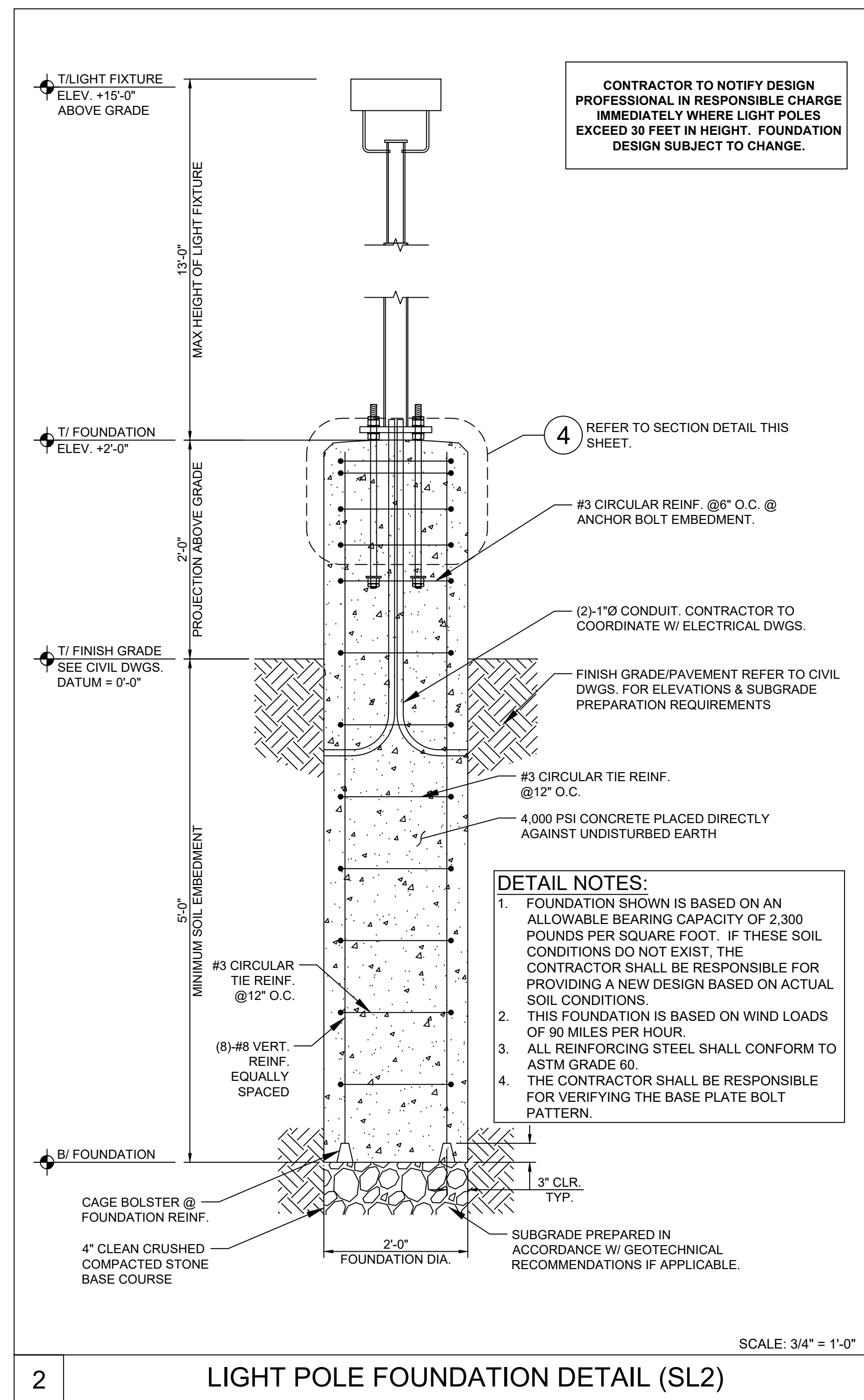
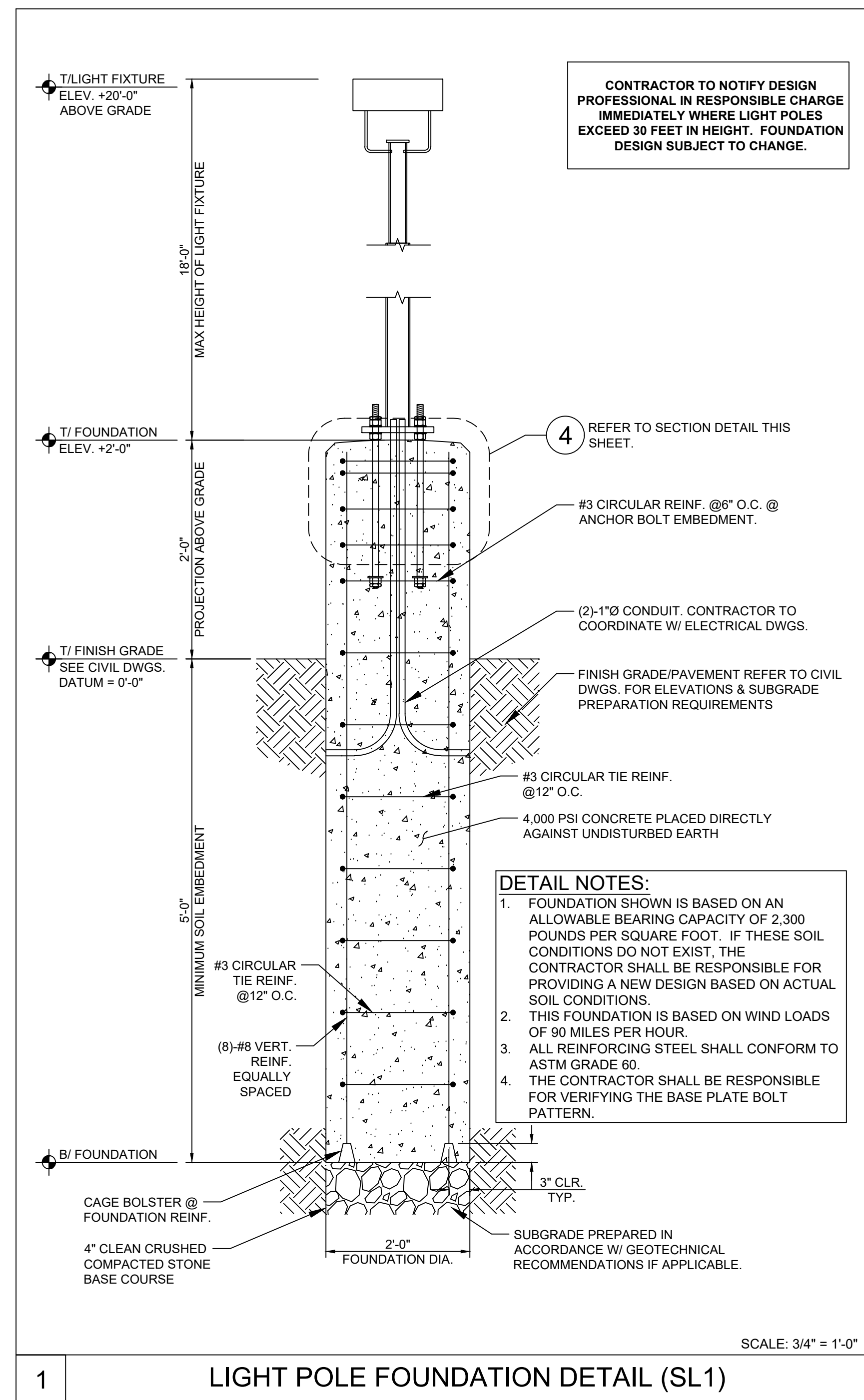


SHEET TITLE
PHOTOMETRIC
PLAN

JOB #:	JPM-27135.001
DATE:	12/21/2020
SCALE:	1" = 20'
DRAWN BY:	RJD
CHECKED BY:	CDF

SHEET NO.

C14

[illegible]

DESCRIPTION

Lumiere

Project

Comments

Prepared by

Lumiere

Type

Date

Material

Finish

Head

Gasket

Material

Finish

Head

Gasket

9003-W1-RW

9003-W2-RW

9003-W1-FL

9003-W2-FL

9003-W1-RW

9003-W2-RW

9003-W1-FL

9003-W2-FL

ORDERING INFORMATION

Notes

ORDERING INFORMATION

Notes

E-T-N

Fluorescent Business Solutions

E-T-N

Fluorescent Business Solutions

E

E

Lumination™ LED Luminaires

LED Downlight Architectural Series

DI4R - 4" Round Aperture

Lumination™ LED Luminaires

LED Downlight Architectural Series

DI4R - 4" Round Aperture

Product Description:

Product Dimensions:

Product Description:

Product Dimensions:

Performance Summary:

Mounting Options:

Performance Summary:

Mounting Options:

Ordering Information:

Accessories:

Ordering Information:

Accessories:

Ordering Information:

Accessories:

Ordering Information:

Accessories:

Ordering Information:

Accessories:

Ordering Information:

Accessories:

Ordering Information:

Accessories:

Ordering Information:

Accessories:

PHOTOMETRICS

Color Metric Summary

Candle Power Distribution

Cone of Light

Candela Table

PHOTOMETRICS

Color Metric Summary

Candle Power Distribution

Cone of Light

Candela Table

PHOTOMETRICS

Color Metric Summary

Candle Power Distribution

Cone of Light

Candela Table

PHOTOMETRICS

Color Metric Summary

Candle Power Distribution

Cone of Light

Candela Table

PHOTOMETRICS

Color Metric Summary

Candle Power Distribution

Cone of Light

Candela Table

PHOTOMETRICS

Color Metric Summary

Candle Power Distribution

Cone of Light

Candela Table

PHOTOMETRICS

Color Metric Summary

Candle Power Distribution

Cone of Light

Candela Table

PHOTOMETRICS

Color Metric Summary

Candle Power Distribution

Cone of Light

Candela Table

PHOTOMETRICS

Color Metric Summary

Candle Power Distribution

Cone of Light

Candela Table

PHOTOMETRICS

Color Metric Summary

Candle Power Distribution

Cone of Light

Candela Table

PHOTOMETRICS

Color Metric Summary

Candle Power Distribution

Cone of Light

Candela Table

PHOTOMETRICS

Color Metric Summary

Candle Power Distribution

Cone of Light

Candela Table

PHOTOMETRICS

Color Metric Summary

Candle Power Distribution

Cone of Light

Candela Table

PHOTOMETRICS

Color Metric Summary

Candle Power Distribution

Cone of Light

Candela Table

PHOTOMETRICS

Color Metric Summary

Candle Power Distribution

Cone of Light

Candela Table

PHOTOMETRICS

Color Metric Summary

Candle Power Distribution

Cone of Light

Candela Table

PHOTOMETRICS

Color Metric Summary

Candle Power Distribution

Cone of Light

Candela Table

PHOTOMETRICS

Color Metric Summary

Candle Power Distribution

Cone of Light

Candela Table

PHOTOMETRICS

Color Metric Summary

Candle Power Distribution

Cone of Light

Candela Table

PHOTOMETRICS

Color Metric Summary

Candle Power Distribution

Cone of Light

Candela Table

PHOTOMETRICS (PREMIUM COLOR TUNING)

Color Metric Summary

Candle Power Distribution

Cone of Light

Candela Table

PHOTOMETRICS (PREMIUM COLOR TUNING)

Color Metric Summary

Candle Power Distribution

Cone of Light

Candela Table

PHOTOMETRICS (PREMIUM COLOR TUNING)

Color Metric Summary

Candle Power Distribution

Cone of Light

Candela Table

PHOTOMETRICS (PREMIUM COLOR TUNING)

Color Metric Summary

Candle Power Distribution

Cone of Light

Candela Table

PHOTOMETRICS (PREMIUM COLOR TUNING)

Color Metric Summary

Candle Power Distribution

Cone of Light

Candela Table

PHOTOMETRICS (PREMIUM COLOR TUNING)

Color Metric Summary

Candle Power Distribution

Cone of Light

Candela Table

PHOTOMETRICS (PREMIUM COLOR TUNING)

Color Metric Summary

Candle Power Distribution

Cone of Light

Candela Table

PHOTOMETRICS (PREMIUM COLOR TUNING)

Color Metric Summary

Candle Power Distribution

Cone of Light

Candela Table

PHOTOMETRICS (PREMIUM COLOR TUNING)

Color Metric Summary

Candle Power Distribution

Cone of Light

Candela Table

PHOTOMETRICS (PREMIUM COLOR TUNING)

Color Metric Summary

Candle Power Distribution

Cone of Light

Candela Table

PHOTOMETRICS (PREMIUM COLOR TUNING)

Color Metric Summary

Candle Power Distribution

Cone of Light

Candela Table

PHOTOMETRICS (PREMIUM COLOR TUNING)

Color Metric Summary

Candle Power Distribution

Cone of Light

Candela Table

PHOTOMETRICS (PREMIUM COLOR TUNING)

Color Metric Summary

Candle Power Distribution

Cone of Light

Candela Table

PHOTOMETRICS (PREMIUM COLOR TUNING)

Color Metric Summary

Candle Power Distribution

Cone of Light

Candela Table

PHOTOMETRICS (PREMIUM COLOR TUNING)

Color Metric Summary

Candle Power Distribution

Cone of Light

Candela Table

PHOTOMETRICS (PREMIUM COLOR TUNING)

Color Metric Summary

Candle Power Distribution

Cone of Light

Candela Table

PHOTOMETRICS (PREMIUM COLOR TUNING)

Color Metric Summary

Candle Power Distribution

Cone of Light

Candela Table

PHOTOMETRICS (PREMIUM COLOR TUNING)

Color Metric Summary

Candle Power Distribution

Cone of Light

Candela Table

PHOTOMETRICS (PREMIUM COLOR TUNING)

Color Metric Summary

Candle Power Distribution

Cone of Light

Candela Table

PHOTOMETRICS (PREMIUM COLOR TUNING)

Color Metric Summary

Candle Power Distribution

Cone of Light

Candela Table

LUMEN TABLE

TM30 DATA

LUMEN TABLE

TM30 DATA

LUMEN TABLE

TM30 DATA

LUMEN TABLE

TM30 DATA

LUMEN TABLE

TM30 DATA

LUMEN TABLE

TM30 DATA

LUMEN TABLE

TM30 DATA

LUMEN TABLE

TM30 DATA

LUMEN TABLE

TM30 DATA

LUMEN TABLE

TM30 DATA

LUMEN TABLE

TM30 DATA

LUMEN TABLE

TM30 DATA

LUMEN TABLE

TM30 DATA

LUMEN TABLE

TM30 DATA

LUMEN TABLE

TM30 DATA

LUMEN TABLE

TM30 DATA

LUMEN TABLE

TM30 DATA

LUMEN TABLE

TM30 DATA

LUMEN TABLE

TM30 DATA

LUMEN TABLE

TM30 DATA

CORE STATES GROUP

6500 CHIPPEWA STREET SUITE 200

ST. LOUIS, MO 63109

PHONE (314) 770-5203

CHAS@CORE-STATES.COM

CORE STATES GROUP

6500 CHIPPEWA STREET SUITE 200

ST. LOUIS, MO 63109

PHONE (314) 770-5203

CHAS@CORE-STATES.COM

DOCUMENTS PREPARED BY CORE STATES, INC.

INCLUDE THIS DOCUMENT ARE TO BE USED

ONLY FOR THE SPECIFIC PROJECT AND SPECIFIC

USER WILL HOLD CORE STATES, INC. HARMLESS

FROM ALL CLAIMS AND LOSSES.

DOCUMENTS PREPARED BY CORE STATES, INC.

INCLUDE THIS DOCUMENT ARE TO BE USED

ONLY FOR THE SPECIFIC PROJECT AND SPECIFIC

USER WILL HOLD CORE STATES, INC. HARMLESS

FROM ALL CLAIMS AND LOSSES.

CLIENT

CHASE

CLIENT

CHASE

CHASE

81

CHASE

81

Know what's before. Call before you dig.

THE CONTRACTOR SPECIFICALLY WARRANTS THAT THE LOCATION AND

DEPT. OF REVENUE OF MISSOURI HAS REVIEWED THIS DOCUMENT AND

RECOMMENDATIONS THEREIN IN WRITING. CORE STATES, INC. DOES NOT GUARANTEE

THE ACCURACY OF ANY INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR

PROTECTING EXISTING UTILITIES AND STRUCTURES.

Know what's before. Call before you dig.

THE CONTRACTOR SPECIFICALLY WARRANTS THAT THE LOCATION AND

DEPT. OF REVENUE OF MISSOURI HAS REVIEWED THIS DOCUMENT AND

RECOMMENDATIONS THEREIN IN WRITING. CORE STATES, INC. DOES NOT GUARANTEE

THE ACCURACY OF ANY INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR

PROTECTING EXISTING UTILITIES AND STRUCTURES.

REVISIONS

REV DATE COMMENT BY

REVISIONS

REV DATE COMMENT BY

DOCUMENT

CIVIL

CONSTRUCTION

PLANS FOR CHASE

BANK

DOCUMENT

CIVIL

CONSTRUCTION

PLANS FOR CHASE

BANK

SITE LOCATION

890 NE

LANGSFORD ROAD

LEE'S SUMMIT, MO

64063

SITE LOCATION

890 NE

LANGSFORD ROAD

LEE'S SUMMIT, MO

64063

ENGINEER SEAL

CHAD D. FAIRBANKS

NUMBER E-2001018726

ENGINEER SEAL

CHAD D. FAIRBANKS

NUMBER E-2001018726

SHEET TITLE

CONSTRUCTION

DETAILS

SHEET TITLE

CONSTRUCTION

DETAILS

JOB #:

JPM-27135.001

DATE:

12/21/2020

SCALE:

AS NOTED

DRAWN BY:

RJD

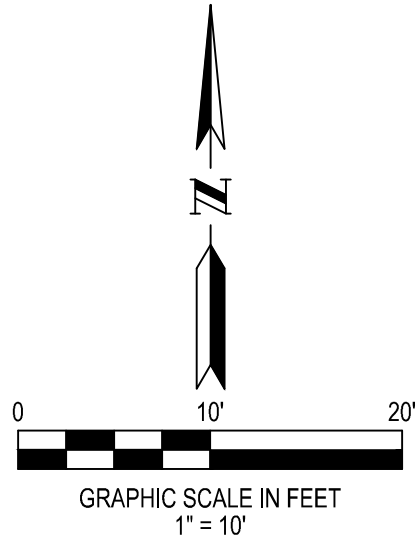
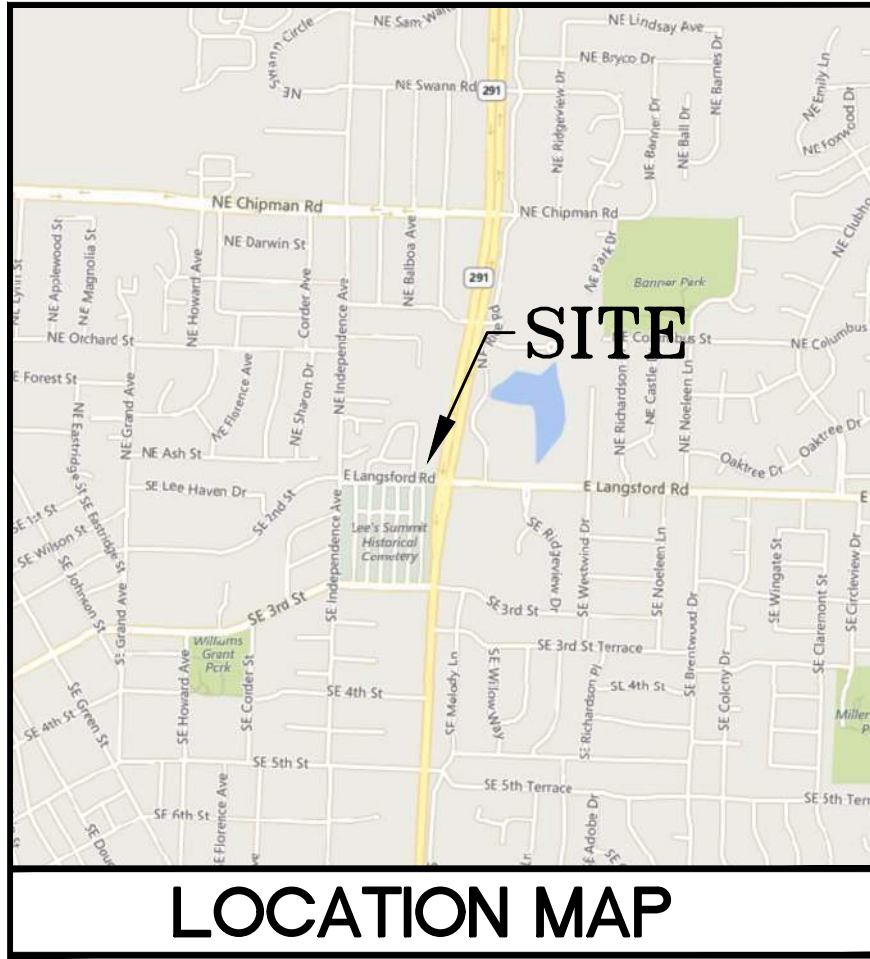
CHECKED BY:

CDF

SHEET NO.

C17

TD514005E
April 18, 2018 8:58 A



ALTA/NSPS LAND TITLE SURVEY

LOT 1 OF STAR FUEL CENTER OF LEE'S SUMMIT, LOT 1, PB 167, PG 17
JACKSON COUNTY, MISSOURI

DEED DESCRIPTION:

LOT 1, STAR FUEL CENTER OF LEE'S SUMMIT, LOT 1, A SUBDIVISION IN THE CITY OF LEE'S SUMMIT, JACKSON COUNTY, MISSOURI, ACCORDING TO THE RECORDED PLAT THEREOF FILED APRIL 3, 2000 IN PLAT BOOK 1-67, PAGE 17 AS DOCUMENT NO. 2000020477.

THE TITLE INSURANCE COMMITMENT HAS BEEN PROVIDED BY FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NUMBER NCS-967398-KCTY, DATED JUNE 15, 2019.

SCHEDULE B SECTION II COMMENTS:

- EASEMENT DEDICATION AND MAINTENANCE AGREEMENT DATED DECEMBER 27, 1999 BY AND BETWEEN A AND M FOODMARTS, INC., AND GRANDLAND DEVELOPMENT, L.C., A LIMITED LIABILITY COMPANY, AS DOCUMENT NO. 99101701. (APPLIES, NOT PLOTTED. BLANKET IN NATURE.)
- EASEMENT CONVEYED TO THE GAS SERVICE COMPANY AS SET FORTH BY INSTRUMENT RECORDED MARCH 19, 1975 AS DOCUMENT NO. 1205852 IN BOOK 1 582, PAGE 854 AND BEING ASSIGNED TO LACLEDE GAS COMPANY, A MISSOURI CORPORATION BY INSTRUMENT ENTITLED ASSIGNMENT OF EASEMENTS AND RIGHTS-OF-WAY RECORDED SEPTEMBER 3, 2013 AS DOCUMENT NO. 2013E0093218. (APPLIES AND IS PLOTTED HEREON.)
- EASEMENT FOR INGRESS/EGRESS PURPOSES AS SET FORTH BY INSTRUMENT ENTITLED DECLARATION OF EASEMENT RECORDED JULY 13, 1984 AS DOCUMENT NO. 1579596 IN BOOK 1 1331, PAGE 849. (APPLIES AND IS PLOTTED HEREON.)
- EASEMENT AS SET FORTH BY INSTRUMENT ENTITLED RIGHT OF WAY DEED RECORDED APRIL 23, 2014 AS DOCUMENT NO. 2014E0031670. (APPLIES AND IS PLOTTED HEREON.)

BASIS OF BEARING: THE BEARING SYSTEM HAS BEEN ADOPTED FROM GPS OBSERVATION, USING THE MISSOURI DEPARTMENT OF TRANSPORTATION'S NETWORK OF CONTINUOUSLY OPERATING REFERENCE SYSTEMS, ADJUSTED TO THE NAD83 STATE PLANE COORDINATE SYSTEM FOR THE STATE OF MISSOURI, WEST ZONE.

SITE DATUM ELEVATION: HORIZONTAL AND VERTICAL CONTROL HAS BEEN ESTABLISHED BY GPS OBSERVATION USING MODOT NETWORK, GEOID 12B ADJUSTMENTS AND NAVD88 IN FEET.

SITE BENCHMARK: CROSS IN SIDEWALK, ALSO BEING THE SW PROPERTY CORNER EL.=998.31

ZONING: CP-2 - PLANNED COMMUNITY COMMERCIAL

MIN FRONT YARD SETBACK = 15FT

MIN SIDE YARD SETBACK = 10FT

MIN REAR YARD SETBACK = 20FT

MAX STRUCTURE HEIGHT = 40FT (3 STORIES)

FLOOD PLAIN INFORMATION: SUBJECT TRACT IS WITHIN 'ZONE X' AREAS DETERMINED TO BE OUTSIDE THE 0.2% CHANCE FLOODPLAIN, AS SHOWN OF THE FEMA FIRM (FLOOD INSURANCE RATE MAP) 29095C0436G, DATED JANUARY 20, 2017.

THERE WAS NO EVIDENCE OF RECENT CONSTRUCTION OR EARTHWORK ON SITE.

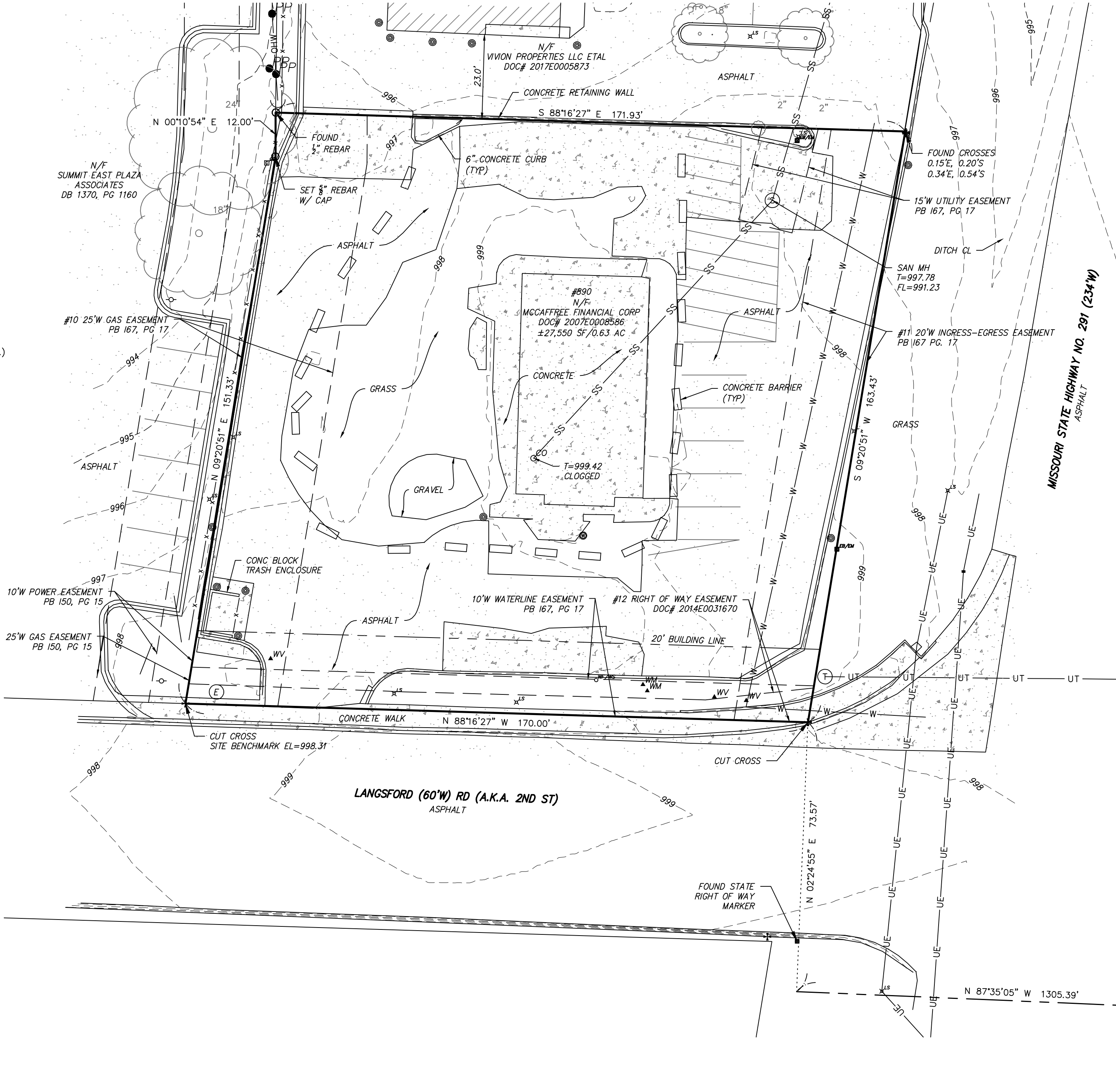
UTILITIES HAVE BEEN FIELD LOCATED BASE ON MISSOURI ONE-CALL SYSTEM MARKINGS. TICKET # 191763215

SURVEYORS CERTIFICATE

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1-11, 13-14, 16, 19, 20 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON JULY 3, 2019.

GATEWAY LAND SERVICES, INC. (AGENT)

BY *James L. Degenhardt*
(AGENT) JAMES L. DEGENHARDT



MONUMENT LEGEND

- FOUND IRON PIPE
- FOUND REBAR
- SET REBAR
- BENCHMARK
- STONE
- CONCRETE MONUMENT
- RIGHT OF WAY MARKER
- CROSS
- ANCHOR CROSS
- CUT CROSS
- COTTON PICKER SPINDLE
- RAILROAD SPIKE
- POST
- DISC
- HUB
- NAIL WITH NOTE TYPE
- AXLE

ABBREVIATIONS

- | | |
|--------|-----------------------|
| AC | ACRES |
| ASPH | ASPHALT |
| BLDC | BUILDING |
| BM | BENCH MARK |
| CLF | CHAIN LINK FENCE |
| CONC | CONCRETE |
| DB | DEED BOOK |
| E | EAST |
| EL | ELEVATION |
| FF | FINISHED FLOOR |
| FL | FLOW LINE |
| LF | LINEAR FEET |
| MH | MANHOLE |
| N | NORTH |
| NE | NORTHEAST |
| NTS | NOT TO SCALE |
| PB | PLAT BOOK |
| PG | PAGE |
| P.O.C. | POINT OF COMMENCEMENT |
| P.O.B. | POINT OF BEGINNING |
| P.O.T. | POINT OF TERMINUS |
| PVMT | PAVEMENT |
| R | RADIUS |
| R | RECORD |
| R/W | RIGHT OF WAY |
| S | SOUTH |
| SF | SQUARE FEET |
| ST | STORM |
| SUR | SURVEY |
| SW | SOUTHWEST |
| W | WEST |
| W/ | DENOTES WITH |

LEGEND

- | | |
|--------|---------------------------|
| —●— PP | POWER POLE W/GUY WIRE |
| —●— PP | POWER POLE |
| —○— | STREET SIGN |
| ▲GV | GAS VALVE |
| ▲GM | GAS METER |
| ▲WV | WATER VALVE |
| ▲WM | WATER METER |
| OWF/WS | WATER FAUCET OR SPRINKLER |
| ○CO | CLEAN OUT |
| ○ER | ELECTRIC RISER |
| ○YD | YARD DRAIN |
| EB/EM | ELECTRIC BOX OR METER |
| MB | MAIL BOX |
| TB/CB | TELEPHONE OR CABLE BOX |
| XL | LIGHT STANDARD |
| ▲FH | FIRE HYDRANT |
| ○TS | TRAFFIC SIGNAL |
| XL | YARD LIGHT |
| ○CM | COIN METER |
| ● | TEST HOLE |
| ● | FLAGPOLE |
| ● | BOLLARD |
| —OHW— | OVERHEAD UTILITY LINE |
| —G— | GAS LINE |
| —UE— | UNDERGROUND ELECTRIC |
| —SS— | SANITARY SEWER |
| —W— | WATER LINE |
| —ST— | STORM SEWER |
| —X— | FENCE |
| —UT— | UNDERGROUND TELEPHONE |
| —FO— | FIBER OPTIC |
| — | TREE LINE |
| — | SEPTIC TANK |
| — | TREE W/SIZE |
| — | STORM GRATE INLET |
| — | STORM INLET |
| — | ELECTRIC TRANSFORMER |
| — | SANITARY MANHOLE |
| — | UTILITY MANHOLE |
| — | BUSH W/ DIAMETER |
| — | ELEC. PULL BOX |



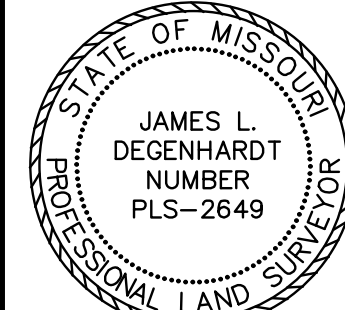
Missouri One Call System, Inc.
Call Before You Dig!
1-800-DIG-RITE
(1-800-344-7483)

All the improvements & facilities and utilities, above ground and underground shown herein were plotted from available information and do not necessarily reflect the actual existence, nonexistence, elevation, size, type, number or location of these or other improvements, facilities, or utilities.
The General Contractor and/or owner shall be responsible for verifying the actual location & elevation of all improvements, facilities, & utilities shown or not shown, and said improvements, facilities, & utilities shall be located in the field prior to any grading, excavation or construction of any improvements. These provisions shall in no way absolve any part from complying with the Underground Facility Safety & Damage Prevention Act, Chapter 319, RSMo.

CALL MISSOURI ONE-CALL, 1-800-DIG-RITE.



Gateway Land Services, Inc.
9378 Olive Blvd.
St. Louis, MO 63132
Office: 314.881.9556
www.glsllc.com
Land Surveying Services No.
LS-200904482



James L. Degenhardt, P.L.S.
License No.: PLS-2649

PROJECT REVISION:

NO.	DATE	DESCRIPTION

880 LANGSFORD RD
LEE'S SUMMIT, MO
64063

ALTA/NSPS LAND TITLE SURVEY

LOT 1 OF STAR FUEL CENTER OF LEE'S SUMMIT, LOT 1
PB 167, PG 17

DATE: 07/17/19
BOOK NO.: 31/30
DRAFTED BY: LSC
APPROVED BY: JLD

19-0118 LEE'S SUMMIT.DWG

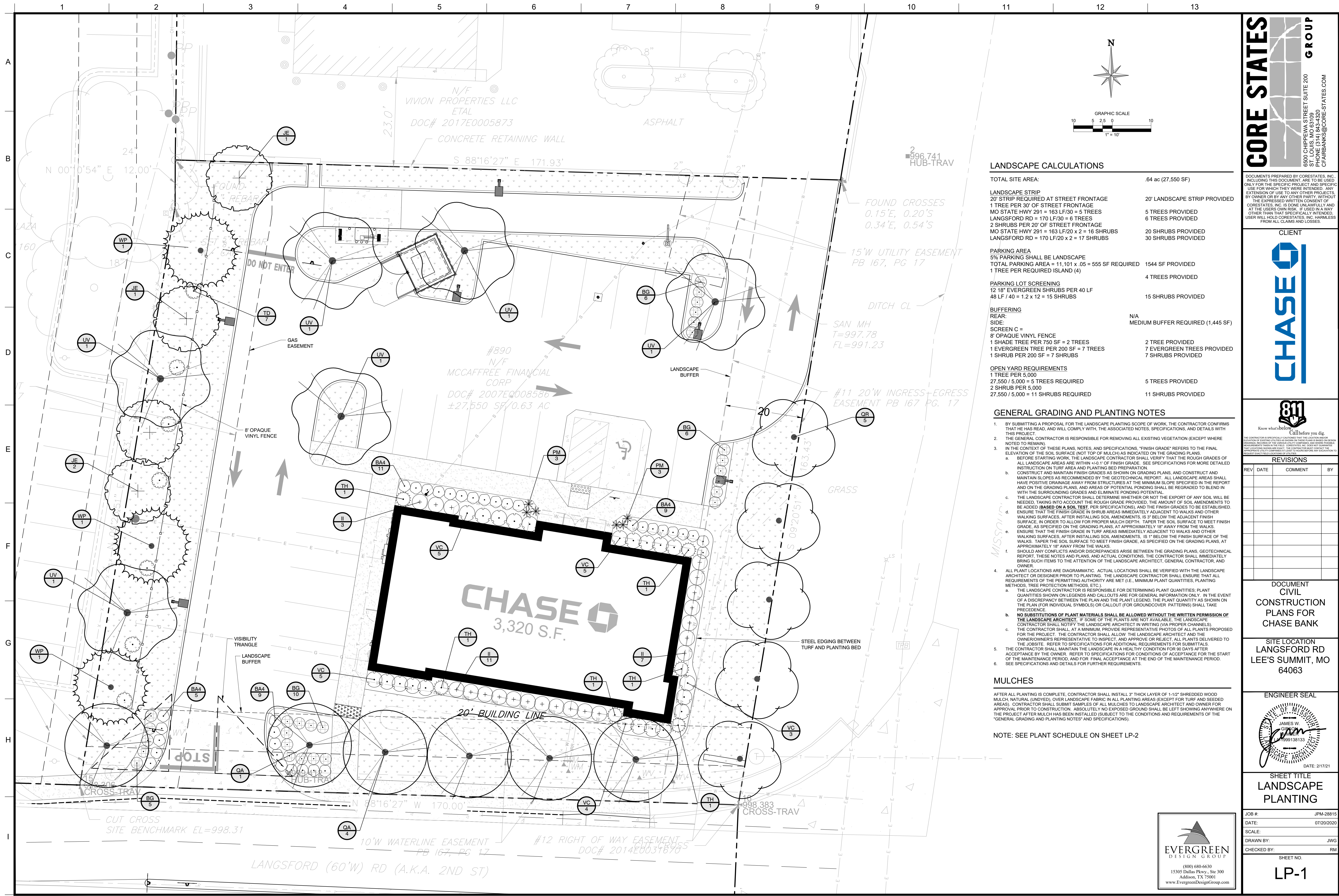
SHEET TITLE:

ALTA

SHEET NUMBER

SUV-1

SHEET NO: 1 OF 1
PROJECT NO: 19-0118



LANDSCAPE CALCULATIONS

TOTAL SITE AREA:	.64 ac (27,550 SF)
LANDSCAPE STRIP	
20' STRIP REQUIRED AT STREET FRONTAGE	20' LANDSCAPE STRIP PROVIDED
1 TREE PER 30' OF STREET FRONTAGE	5 TREES PROVIDED
MO STATE HWY 291 = 163 LF/30 = 5 TREES	6 TREES PROVIDED
LANGSFORD RD = 170 LF/30 = 6 TREES	
2 SHRUBS PER 20' OF STREET FRONTAGE	20 SHRUBS PROVIDED
MO STATE HWY 291 = 163 LF/20 x 2 = 16 SHRUBS	30 SHRUBS PROVIDED
LANGSFORD RD = 170 LF/20 x 2 = 17 SHRUBS	
PARKING AREA	
5% PARKING SHALL BE LANDSCAPE	
TOTAL PARKING AREA = 11,101 x .05 = 555 SF REQUIRED	1544 SF PROVIDED
1 TREE PER REQUIRED ISLAND (4)	4 TREES PROVIDED
PARKING LOT SCREENING	
12' 18" EVERGREEN SHRUBS PER 40 LF	15 SHRUBS PROVIDED
48 LF / 40 = 1.2 x 12 = 15 SHRUBS	
BUFFERING	
REAR:	N/A
SIDE:	MEDIUM BUFFER REQUIRED (1,445 SF)
SCREEN C =	
8' OPAQUE VINYL FENCE	
1 SHADE TREE PER 750 SF = 2 TREES	2 TREE PROVIDED
1 EVERGREEN TREE PER 200 SF = 7 TREES	7 EVERGREEN TREES PROVIDED
1 SHRUB PER 200 SF = 7 SHRUBS	7 SHRUBS PROVIDED
OPEN YARD REQUIREMENTS	
1 TREE PER 5,000	
27,550 / 5,000 = 5 TREES REQUIRED	5 TREES PROVIDED
2 SHRUB PER 5,000	
27,550 / 5,000 = 11 SHRUBS REQUIRED	11 SHRUBS PROVIDED

GENERAL GRADING AND PLANTING NOTES

- BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANTING SCOPE OF WORK, THE CONTRACTOR CONFIRMS THAT HE HAS READ, AND WILL COMPLY WITH, THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN).
- IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
 - BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
 - CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
 - THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED. ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
 - ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
 - SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
- ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (I.E., MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.).
 - THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES; PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUNDCOVER PATTERNS) SHALL TAKE PRECEDENCE.
 - NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT. IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING VIA PROPER CHANNEL(S).
 - THE CONTRACTOR SHALL, AT A MINIMUM, PROVIDE REPRESENTATIVE PHOTOS OF ALL PLANTS PROPOSED FOR THE PROJECT. THE CONTRACTOR SHALL ALLOW THE LANDSCAPE ARCHITECT AND THE OWNER/OWNERS REPRESENTATIVE TO INSPECT, AND APPROVE OR REJECT, ALL PLANTS DELIVERED TO THE JOBSITE. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS FOR SUBMITTALS.
- THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A HEALTHY CONDITION FOR 90 DAYS AFTER ACCEPTANCE BY THE OWNER. REFER TO SPECIFICATIONS FOR CONDITIONS OF ACCEPTANCE FOR THE START OF THE MAINTENANCE PERIOD, AND FOR FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD. SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.

MULCHES

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH, NATURAL (UNDYED), OVER LANDSCAPE FABRIC IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDED AREAS). CONTRACTOR SHALL SUBMIT PHOTOS OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).

NOTE: SEE PLANT SCHEDULE ON SHEET LP-2

CORE STATES GROUP

6500 CHIPPEWA STREET SUITE 200
ST. LOUIS, MO 63109
PHONE (314) 843 4320
CHAIRBANKS@CORE-STATES.COM

DOCUMENTS PREPARED BY CORE STATES, INC. INCLUDING THIS DOCUMENT ARE TO BE USED ONLY FOR THE SPECIFIC PROJECT AND SPECIFIC USE FOR WHICH THEY WERE INTENDED. ANY EXTENSION OF USE TO ANY OTHER PROJECTS, BY OWNER OR BY ANY OTHER PARTY, WITHOUT THE EXPRESSED WRITTEN CONSENT OF CORE STATES, INC. IS DONE UNLAWFULLY AND AT THE USER'S OWN RISK. IT IS USED IN A WAY OTHER THAN THAT SPECIFICALLY INTENDED. USER WILL HOLD CORE STATES, INC. HARMLESS FROM ALL CLAIMS AND LOSSES.

CLIENT



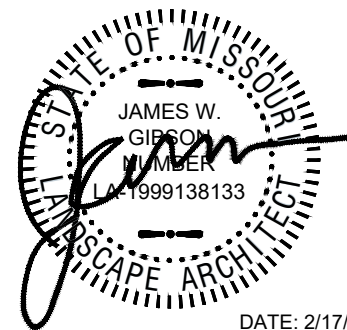
REVISIONS

REV	DATE	COMMENT	BY

DOCUMENT
CIVIL
CONSTRUCTION
PLANS FOR
CHASE BANK

SITE LOCATION
LANGSFORD RD
LEE'S SUMMIT, MO
64063

ENGINEER SEAL



DATE: 2/17/21

SHEET TITLE
LANDSCAPE
PLANTING

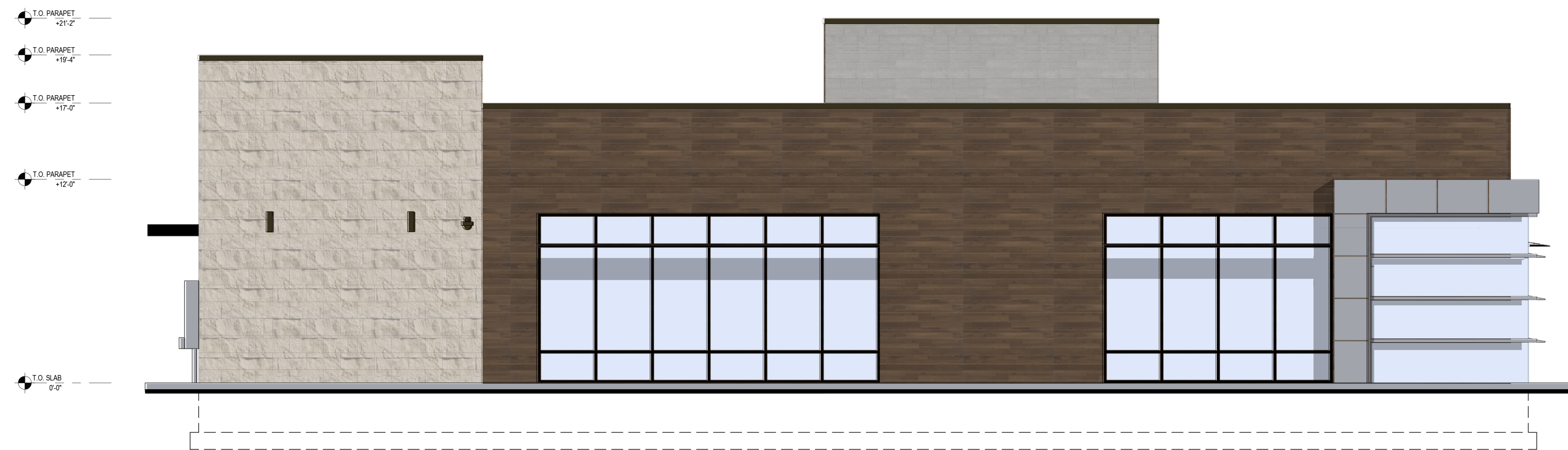
JOB #:	JPM-28815
DATE:	07/20/2020
SCALE:	
DRAWN BY:	JWG
CHECKED BY:	RM

SHEET NO.

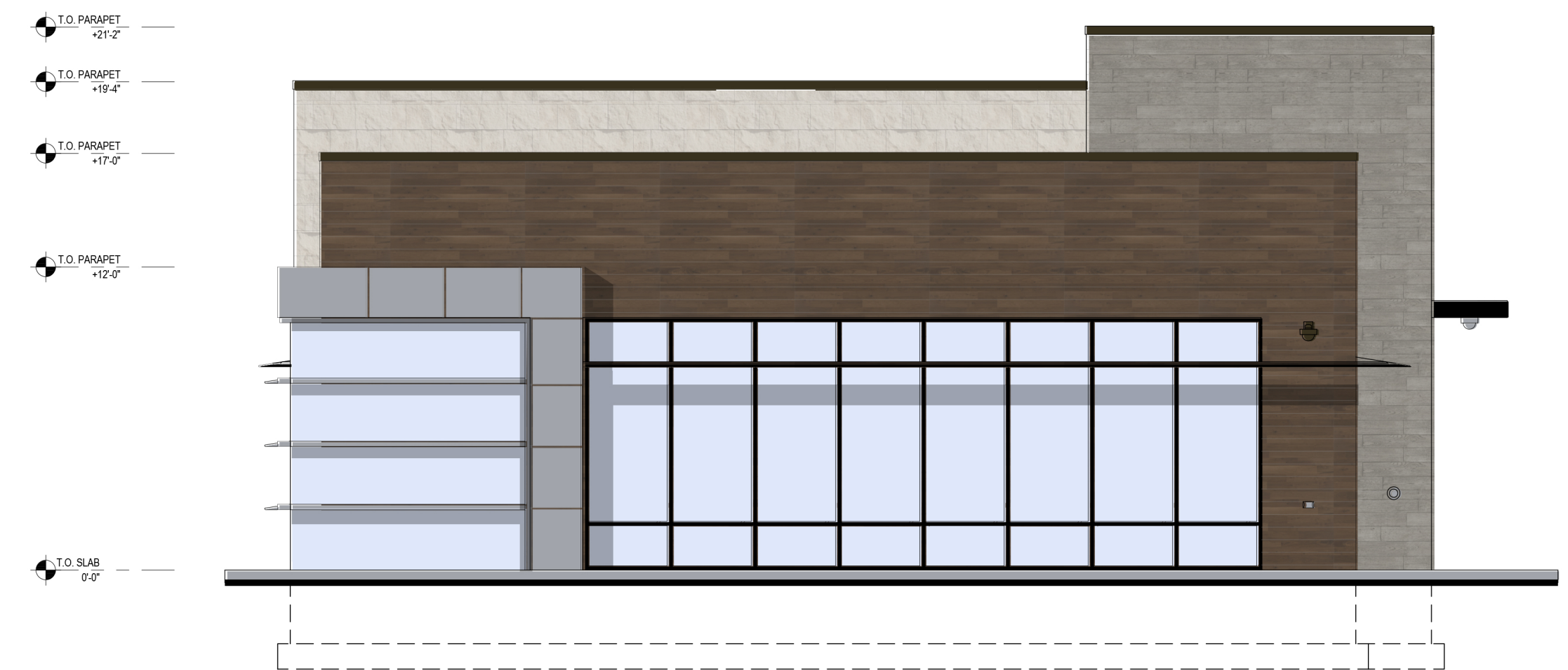
LP-1

EVERGREEN DESIGN GROUP

(800) 680-6630
15305 Dallas Pkwy., Ste 300
Addicks, TX 75001
www.EvergreenDesignGroup.com



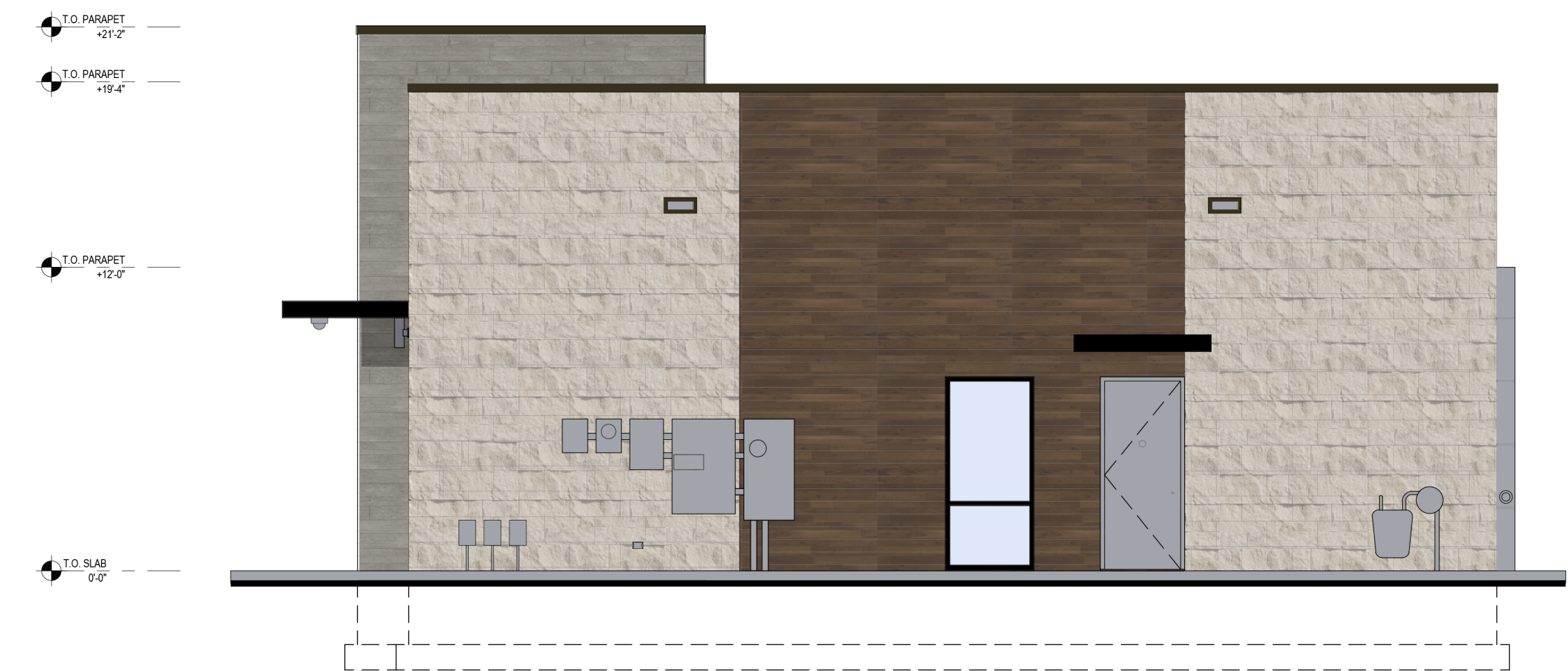
SOUTH ELEVATION (SE LANGSFORD)



EAST ELEVATION (NORTHEAST 291 HIGHWAY)



NORTH ELEVATION (PARKING)



WEST ELEVATION (PARKING)



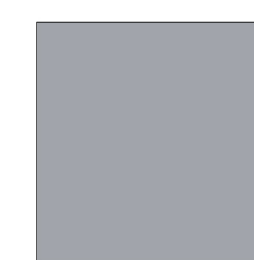
FIBER CEMENT PANEL
MANUF. - NICHHA
SERIES - WOOD
PRODUCT - VINTAGE WOOD
COLOR - ASH



FIBER CEMENT PANEL
MANUF. - NICHHA
SERIES - WOOD
PRODUCT - VINTAGE WOOD
COLOR - BARK



STONE VENEER
MANUF. - COLORADO STONE
SERIES - CLASSIC
PRODUCT - CHISELED LIMESTONE
COLOR - CREAM

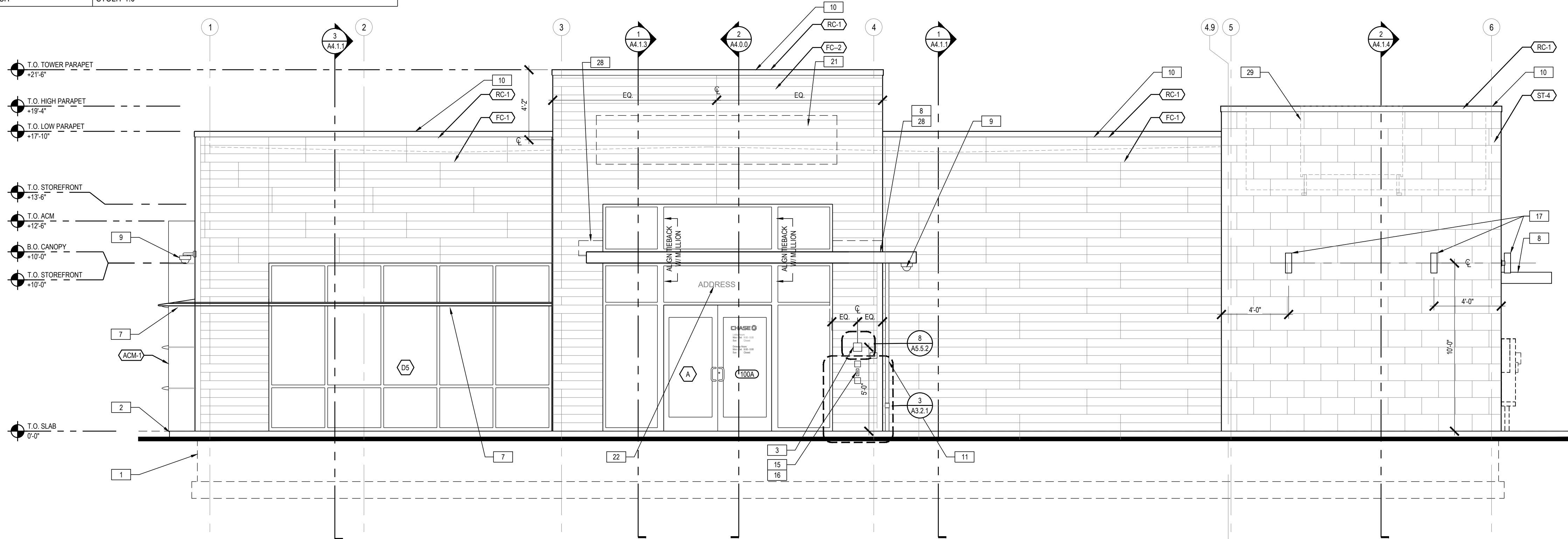
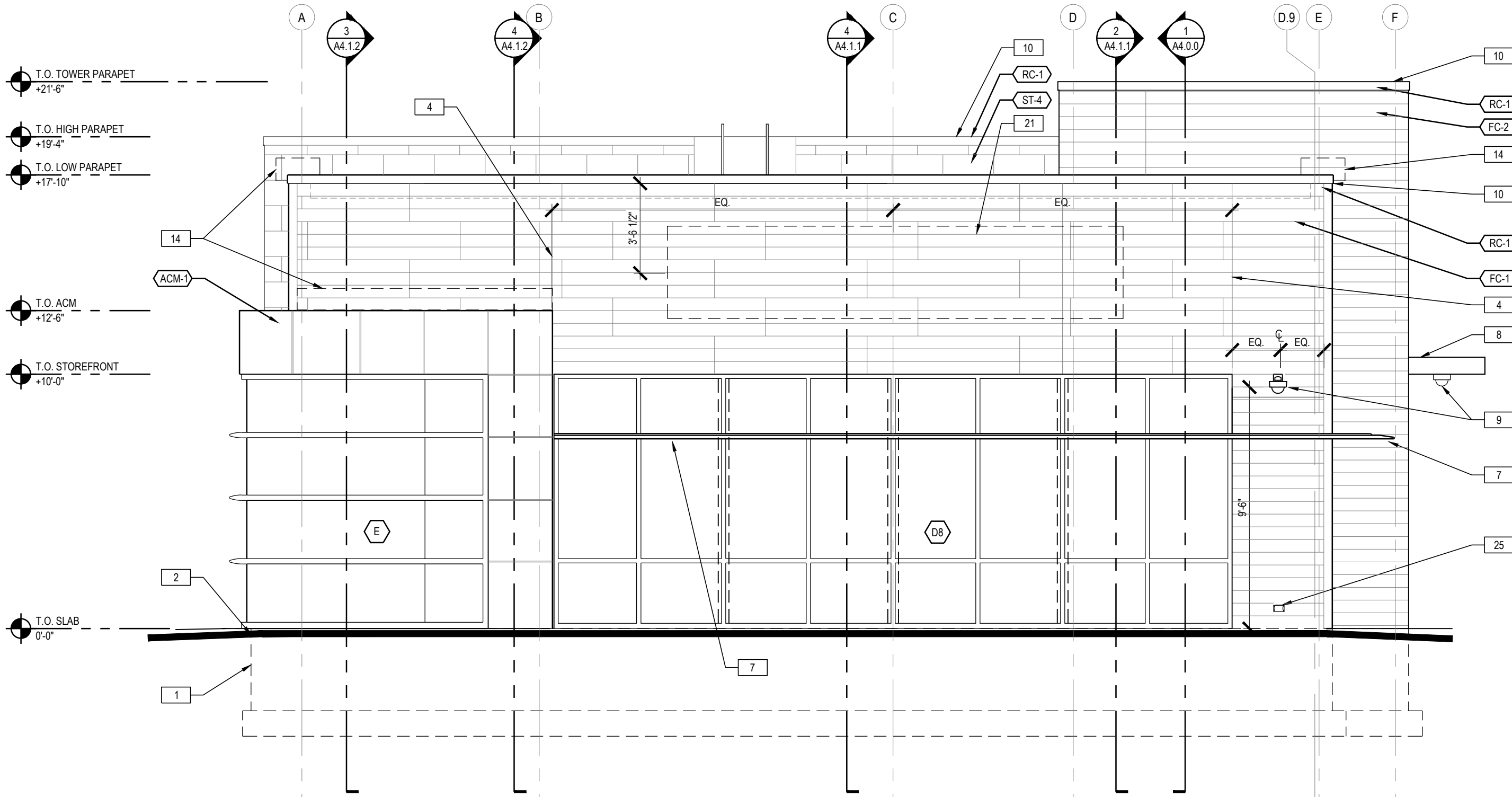


ALUM. COMPOSITE PANEL
MANUF. - ALCOA
PRODUCT - REYNOBOND
COLOR - CHASE SILVER



METAL
APPLICATION - CANOPY/STOREFRONT
COLOR - ANODIZED BLACK

EXTERIOR FINISH MATERIALS	
ST-4	CAST STONE- ROCKFACE FIELD UNITS
	MANUFACTURER CORONADO STONE PRODUCTS
	PRODUCT MANUFACTURED STONE VENEER
	COLOR CREAM
	FINISH CHISELED LIMESTONE
	SIZE 24" WIDE x 12" HIGH x 1" THICK
ST-4	GROUT 1/4" NOMINAL JOINTS WITH FULL SMOOTH TOOLED NATURAL OFF-WHITE PORTLAND CEMENT GROUT
	NOTES RUNNING BOND MANUFACTURED THIN STONE FIELD-CUT TO MAX. LENGTHS POSSIBLE WITH BUTTED AND LAPPED INSIDE AND OUTSIDE CORNERS UTILIZING MANUFACTURER'S FABRICATED RETURN CORNER PIECES- MITERED CORNERS ARE NOT ACCEPTABLE- PLACE CONTROL JOINTS AS RECOMMENDED BY THE MANUFACTURER- REFER TO WALL SECTIONS AND DETAILS
FC-1	FIBER CEMENT PANEL- DARK
	MANUFACTURER NICHIIHA FIBER CEMENT
	PRODUCT VINTAGEWOOD AWP 1818 (AVAILABLE AS AWP 3030 FOR NON-PROTOTYPICAL PROJECTS)
	COLOR BARK
	SIZE 18" NOMINAL x 72" NOMINAL AND 120" NOMINAL
FC-2	FIBER CEMENT PANEL- LIGHT
	MANUFACTURER NICHIIHA FIBER CEMENT
	PRODUCT VINTAGEWOOD AWP 3030 (AVAILABLE AS AWP 1818 FOR NON-PROTOTYPICAL PROJECTS)
	COLOR ASH
	SIZE 18" NOMINAL x 72" NOMINAL AND 120" NOMINAL
RC-1	ROOF COPING
	MANUFACTURER PETERSEN ALUMINUM / PAC-CLAD
	PRODUCT PAC-CONTINUOUS
ACM-1	ALUMINUM COMPOSITE MATERIAL
	MANUFACTURER ALCOA ARCHITECTURAL PRODUCTS
	PRODUCT REYNOBOND
EPT-1	EXTERIOR PAINT
	MANUFACTURER SHERWIN-WILLIAMS
	PRODUCT METALATEX ACRYLIC SEMI-GLOSS
EPT-2	EXTERIOR PAINT
	MANUFACTURER SHERWIN-WILLIAMS
	PRODUCT METALATEX ACRYLIC SEMI-GLOSS
EPT-8	EXTERIOR PAINT
	MANUFACTURER SHERWIN-WILLIAMS
	PRODUCT METALATEX ACRYLIC SEMI-GLOSS
DFS-1	DIRECT-APPLY FINISH SYSTEM (ALT. TO PAINTED STEEL DECK)
	MANUFACTURER STO
	PRODUCT STOQUIK GOLD
DFS-1	COLOR MATCH SHERWIN WILLIAMS SW 6995 SUPERWHITE
	FINISH STOLIT 1.0



GENERAL EXTERIOR NOTES	
A	G.C. TO VERIFY EXTERIOR COLOR & MATERIAL LOCATIONS AS SHOWN ON ELEVATION DRAWINGS WITH CHASE DESIGNER & APPROVED BRANDING PACKAGE PRIOR TO PURCHASE & INSTALLATION.

ELEVATION NOTES	
1	CONCRETE FOOTINGS / FOUNDATIONS: REFER TO STRUCTURAL DWGS.
2	CONCRETE CURB AND ISLANDS: REFER TO ARCHITECTURAL SITE PLAN AND DRIVE-UP CANOPY PLAN - SEE CIVIL DWGS FOR ADD'L INFO.
3	EMERGENCY ACCESS KEY BOX: WHERE REQUIRED BY LOCAL CODE ONLY- RECESS-MOUNT IN WALL CONSTRUCTION AS REQD. TO SET FACE FLUSH WITH ADJACENT WALL FINISH- VERIFY FINAL LOCATION WITH AUTHORITIES HAVING JURISDICTION
4	CONTROL / EXPANSION JOINT: VERTICAL ELASTOMERIC SEALANT JOINT CONTINUOUS THROUGH MASONRY VENEER - MATCH SEALANT COLOR TO VENEER COLOR
5	LANDSCAPE IRRIGATION SYSTEM: CONTROLLER, WIRELESS NETWORK CONNECTOR, J AND DEDICATED WP POWER OUTLET. REFER TO SITE PLAN AND ELECTRICAL DRAWINGS
6	LIGHTING TIMER SYSTEM PHOTO SENSOR: REFER TO ELECTRICAL DRAWINGS
7	SUN SHADE: GLAZING SYSTEM MANUFACTURER'S STANDARD INTEGRAL SHADE ACCESSORY- REFER TO WALL SECTIONS. MATCH GLAZING SYSTEM FINISH. BASIS OF DESIGN IS KAWNEER VERSOLEIL 30" WEDGE WITH ANGULAR FASCIA AND CIRCULAR BLADES.
8	ENTRANCE CANOPY: SHOP FABRICATED SITE-ASSEMBLED PRE-FINISHED BLACK CUSTOM ALUMINUM CANOPY UNIT WITH PREPPED ELECTRICAL OPENINGS AND INTEGRAL DRAINAGE SYSTEM FASTENED TO BUILDING STRUCTURE. MAPES ARCHITECTURAL CANOPIES SUPER LUMIDECK WITH FLAT SOFFIT AND 12" FASCIA, OR APPROVED EQUAL- REFER TO ROOF PLAN AND WALL SECTIONS- INSTALLED BY G.C.
9	SECURITY CAMERA: PROVIDE CONCEALED JUNCTION BOX AND CONDUIT TO INTERIOR. REFER TO OWNER'S SECURITY CONSULTANT DRAWINGS.
10	COPING: REFER TO EXTERIOR FINISH ON THIS SHEET
11	SMALL CANOPY DOWNSPOUT / OVERFLOW: 3" DIAM. ALUMINUM DOWNSPOUT PRE-FIN. TO MATCH THE CANOPY. CONNECT TO CAST IRON DRAIN HUB AT GRADE AND EXTEND SUBSURFACE TO SITE DRAINAGE SYSTEM- REFER TO PLUMBING DWGS AND SITE PLAN.
12	SCUPPER: PAINT TO MATCH ADJACENT EXTERIOR FINISHES. REFER TO ROOF PLAN.
13	ROOF OVERFLOW DOWNSPOUT NOZZLE: REFER TO PLUMBING DRAWINGS AND PLUMBING FIXTURE SCHEDULE
14	METAL FLASHING AND COUNTERFLASHING CONCEALED BEHIND WALL FINISH AND FINISH OF EXPOSED FLASHING TO MATCH ADJACENT ROOFING/COPING
15	AUTOMATIC DOOR OPERATOR BUTTON RECESSED FLUSH WITH WALL SURFACE- DO NOT SURFACE-MOUNT.
16	KEYCARD READER RECESSED FLUSH WITH WALL SURFACE- DO NOT SURFACE-MOUNT.
17	SURFACE-MOUNT DECORATIVE LIGHT FIXTURE: REFER TO REFLECTED CEILING PLAN AND ELECTRICAL DRAWINGS
18	SURFACE-MOUNT EMERGENCY LIGHT FIXTURE: TO BE PROVIDED ONLY WHEN DOOR BELOW IS A REQUIRED OR MARKED EXIT- REFER TO REFLECTED CEILING PLAN AND LIGHT FIXTURE SCHEDULE
19	BOLLARD: CONCRETE-FILLED STEEL PIPE EMBEDDED IN CONCRETE CURB- WITH PLASTIC COVER-REFER TO SITE PLAN, DRIVE-UP CANOPY PLAN AND DETAILS- OMIT AT POSITIONS NOT ADJACENT TO VEHICULAR LANE (LANDSCAPE, WALK, ETC.)
20	BANK EQUIPMENT: FURNISHED AND INSTALLED BY BANK EQUIPMENT VENDOR- COORD. WALL OPENINGS AND ELECTRICAL / DATA REQUIREMENTS WITH OWNER-FURNISHED EQUIPMENT SHOP DRAWINGS AND PRODUCT DATA
21	SIGNAGE LOCATION: SIGNAGE BY OWNER'S SIGN VENDOR- N.I.C. - PROVIDE ROUGH ELEC. WORK AND BLOCKING IN WALL AS REQD. FOR VENDOR INSTALLATION. CONFIRM FINAL LOCATION WITH SIGN VENDOR.
22	BUILDING ADDRESS NUMBER: WHITE VINYL NUMBERS WITH 1/2" WIDE STROKE APPLIED TO INTERIOR FACE OF GLASS TRANSOM- MIN. 6" HEIGHT OR AS REQD. BY LOCAL CODE
23	GAS METER: REFER TO SITE PLAN AND PLUMBING DRAWINGS
24	FIRE DEPARTMENT CONNECTION: FIRE SUPPRESSION SYSTEM EXTERIOR CONNECTION WHERE REQD. BY LOCAL CODE ONLY- VERIFY FINAL LOCATION WITH LOCAL AUTHORITIES HAVING JURISDICTION
25	ELECTRICAL OUTLET: SET FLUSH WITH FACE OF MASONRY VENEER- PROVIDE METAL COVER COMPLIANT WITH N.E.C.
26	UTILITY EQUIPMENT: PROVIDE AND INSTALL UTILITY TERMINATION CABINETS AND METERS AS REQUIRED- COORD. WITH OWNER'S SECURITY AND TELE-DATA SERVICES- COORD. CABINET AND METER LOCATIONS WITH LOCAL JURISDICTION- REFER TO SITE PLAN
27	TELE / DATA / UTILITY CONNECTIONS: COORDINATE FINAL LOCATION WITH CIVIL ENGINEER
28	FLASHING AT PREFAB CANOPY: PRE-FINISHED ALUMINUM FLASHING TO SPAN GAP BETWEEN PREFAB CANOPY AND BUILDING- REFER TO WALL SECTIONS AND DETAILS- VERIFY FINAL FLASHING LENGTH AND CONFIGURATION WITH APPROVED CANOPY SHOP DWGS
29	MECHANICAL EQUIPMENT: VENTILATION UNIT. REFER TO MECHANICAL DRAWINGS FOR MORE INFORMATION.
30	SIAMESE CONNECTION: FIRE SUPPRESSION SYSTEM EXTERIOR CONNECTION WHERE REQD. BY LOCAL CODE ONLY- VERIFY FINAL LOCATION WITH LOCAL AUTHORITIES HAVING JURISDICTION
31	FIRE ALARM SYSTEM BELL AND STROBE: WHERE REQUIRED BY LOCAL CODE ONLY- VERIFY FINAL LOCATION WITH LOCAL AUTHORITIES HAVING JURISDICTION

CHASE

JP MORGAN CHASE, N.A.

HWY 291 & NE LANGSFORD RD

890 NE LANGSFORD RD
LEE'S SUMMIT, MO 64063
CHASE OVP #38200P368999

CORE STATES

GROUP

4000 Chippewa Street Suite 200
St. Louis, MO 63109
314.943.4320
www.core-states.com

COA #: A-2014026908

ARCHITECT OF RECORD

ARCHITECT: R. BRUCE LASURS
LICENSE NUMBER: 007504

THESE DRAWINGS ARE NOT COMPLETE WITHOUT THE SEPARATE TYPE WRITTEN SPECIFICATIONS MANUAL WHICH ARE PART OF THE CONTRACT DOCUMENTS.

ISSUE	DATE	DESCRIPTION
-	2020.12.21	PERMIT SET

PROJECT INFORMATION	
PROJECT NO:	JPM.27135.001
DATE:	2020.12.21
PROTOTYPE:	20.2
DRAWN BY:	C.THEBEAU
CHECKED BY:	B.LASURS
VERSION:	SE_1.00

SHEET TITLE	
EXTERIOR ELEVATIONS	
SHEET NUMBER	
A2.1.0	

EXTERIOR FINISH MATERIALS		
ST-4	CAST STONE- ROCKFACE FIELD UNITS	
	MANUFACTURER	CORONADO STONE PRODUCTS
	PRODUCT	MANUFACTURED STONE VENEER
	COLOR	CREAM
	FINISH	CHISELED LIMESTONE
	SIZE	24" WIDE x 12" HIGH x 1" THICK
	NOTES	1/4" NOMINAL JOINTS WITH FULL SMOOTH TOOLED NATURAL OFF-WHITE PORTLAND CEMENT GROUT RUNNING BOND MANUFACTURED THIN STONE FIELD-CUT TO MAX. LENGTHS POSSIBLE WITH BUTTED AND LAPPED INSIDE AND OUTSIDE CORNERS UTILIZING MANUFACTURER'S FABRICATED RETURN CORNER PIECES- MITERED CORNERS ARE NOT ACCEPTABLE- PLACE CONTROL JOINTS AS RECOMMENDED BY THE MANUFACTURER- REFER TO WALL SECTIONS AND DETAILS
FC-1	FIBER CEMENT PANEL- DARK	
	MANUFACTURER	NICHIIHA FIBER CEMENT
	PRODUCT	VINTAGEWOOD AWP 1818 (AVAILABLE AS AWP 3030 FOR NON-PROTOTYPICAL PROJECTS)
	COLOR	BARK
	SIZE	18" NOMINAL x 72" NOMINAL AND 120" NOMINAL
	NOTES	INCLUDE 3.5" MANUFACTURED CORNERS AND MANUFACTURER'S "ESSENTIAL" FLASHING SYSTEM.
FC-2	FIBER CEMENT PANEL- LIGHT	
	MANUFACTURER	NICHIIHA FIBER CEMENT
	PRODUCT	VINTAGEWOOD AWP 3030 (AVAILABLE AS AWP 1818 FOR NON-PROTOTYPICAL PROJECTS)
	COLOR	ASH
	SIZE	18" NOMINAL x 72" NOMINAL AND 120" NOMINAL
	NOTES	INCLUDE 3.5" MANUFACTURED CORNERS AND MANUFACTURER'S "ESSENTIAL" FLASHING SYSTEM.
RC-1	ROOF COPING	
	MANUFACTURER	PETERSEN ALUMINUM / PAC-CLAD
	PRODUCT	PAC-CONTINUOUS
	COLOR	AGED BRONZE
ACM-1	ALUMINUM COMPOSITE MATERIAL	
	MANUFACTURER	ALCOA ARCHITECTURAL PRODUCTS
	PRODUCT	REYNOBOND
	COLOR	DURAGLOSS 5000 CHASE PROGRAM "CHASE SILVER"
EPT-1	EXTERIOR PAINT	
	MANUFACTURER	SHERWIN-WILLIAMS
	PRODUCT	METALATEX ACRYLIC SEMI-GLOSS
	COLOR	SW 7045 INTELLECTUAL GRAY
	FINISH	SEMI-GLOSS
EPT-2	EXTERIOR PAINT	
	MANUFACTURER	SHERWIN-WILLIAMS
	PRODUCT	METALATEX ACRYLIC SEMI-GLOSS
	COLOR	SW 7036 ACCESSIBLE BEIGE
	FINISH	SEMI-GLOSS
EPT-8	EXTERIOR PAINT	
	MANUFACTURER	SHERWIN-WILLIAMS
	PRODUCT	METALATEX ACRYLIC SEMI-GLOSS
	COLOR	SW 6995 SUPERWHITE
	FINISH	SEMI-GLOSS
DFS-1	DIRECT-APPLY FINISH SYSTEM (ALT. TO PAINTED STEEL DECK)	
	MANUFACTURER	STO
	PRODUCT	STOQUIK GOLD
	COLOR	MATCH SHERWIN WILLIAMS SW 6995 SUPERWHITE
	FINISH	STOLIT 1.0

GENERAL EXTERIOR NOTES	
A	G.C. TO VERIFY EXTERIOR COLOR & MATERIAL LOCATIONS AS SHOWN ON ELEVATION DRAWINGS WITH CHASE DESIGNER & APPROVED BRANDING PACKAGE PRIOR TO PURCHASE & INSTALLATION.

ELEVATION NOTES	
1	CONCRETE FOOTINGS / FOUNDATIONS: REFERENCE TO STRUCTURAL DWGS.
2	CONCRETE CURB AND ISLANDS: REFERENCE TO ARCHITECTURAL SITE PLAN AND DRIVE-UP CANOPY PLAN. - SEE CIVIL DWGS FOR ADD'T INFO.
3	EMERGENCY ACCESS KEY BOX: WHERE REQUIRED BY LOCAL CODE ONLY. RECESS-MOUNT IN WALL CONSTRUCTION AS REQ'D. TO SET FACE FLUSH WITH ADJACENT WALL FINISH. VERIFY FINAL LOCATION WITH AUTHORITIES HAVING JURISDICTION
4	CONTROL / EXPANSION JOINT: VERTICAL ELASTOMERIC SEALANT JOINT CONTINUOUS THROUGH MASONRY VENEER - MATCH SEALANT COLOR TO VENEER COLOR
5	LANDSCAPE IRRIGATION SYSTEM: CONTROLLER, WIRELESS NETWORK CONNECTOR, AND DEDICATED WP POWER OUTLET. REFERENCE TO SITE PLAN AND ELECTRICAL DRAWINGS
6	LIGHTING TIMER SYSTEM PHOTO SENSOR: REFERENCE TO ELECTRICAL DRAWINGS
7	SUN SHADE: GLAZING SYSTEM MANUFACTURER'S STANDARD INTEGRAL SHADE ACCESSORY. REFERENCE TO WALL SECTIONS. MATCH GLAZING SYSTEM FINISH. BASIS OF DESIGN IS KAWNEER VEROSEIL 30" WEDGE WITH ANGULAR FASCIA AND CIRCULAR BLADES.
8	ENTRANCE CANOPY: SHOP FABRICATED SITE-ASSEMBLED PRE-FINISHED BLACK CUSTOM ALUMINUM CANOPY UNIT WITH PREPARED ELECTRICAL OPENINGS AND INTEGRAL DRAINAGE SYSTEM FASTENED TO BUILDING STRUCTURE. MAPES ARCHITECTURAL CANOPIES SUPER LUMIDECK WITH FLAT SOFFIT AND 12" FASCIA, OR APPROVED ALTERN. REFERENCE TO ROOF PLAN AND WALL SECTIONS- INSTALLED BY G.C.
9	SECURITY CAMERA: PROVIDE CONCEALED JUNCTION BOX AND CONDUIT TO INTERIOR. REFERENCE TO OWNER'S SECURITY CONSULTANT DRAWINGS.
10	COPING: REFERENCE TO EXTERIOR FINISH ON THIS SHEET
11	SMALL CANOPY DOWNSPOUT / OVERFLOW: 3" DIAM. ALUMINUM DOWNSPOUT PRE-FIN. TO MATCH THE CANOPY. CONNECT TO CAST IRON DRAIN HUB AT GRADE AND EXTEND SUBSURFACE TO SITE DRAINAGE SYSTEM. REFERENCE TO PLUMBING DWGS AND SITE PLAN.
12	SCUPPER: PAINT TO MATCH ADJACENT EXTERIOR FINISHES. REFERENCE TO ROOF PLAN.
13	ROOF OVERFLOW DOWNSPOUT NOZZLE: REFERENCE TO PLUMBING DRAWINGS AND PLUMBING FIXTURE SCHEDULE
14	METAL FLASHING AND COUNTERFLASHING CONCEALED BEHIND WALL FINISH AND FINISH OF EXPOSED FLASHING TO MATCH ADJACENT ROOFING/COPING
15	AUTOMATIC DOOR OPERATOR BUTTON RECESSED FLUSH WITH WALL SURFACE. DO NOT SURFACE-MOUNT.
16	KEYCARD READER RECESSED FLUSH WITH WALL SURFACE. DO NOT SURFACE-MOUNT.
17	SURFACE-MOUNT DECORATIVE LIGHT FIXTURE: REFERENCE TO REFLECTED CEILING PLAN AND ELECTRICAL DRAWINGS
18	SURFACE-MOUNT EMERGENCY LIGHT FIXTURE: TO BE PROVIDED ONLY WHEN DOOR BELOW IS A REQUIRED OR MARKED EXIT - REFERENCE TO REFLECTED CEILING PLAN AND LIGHT FIXTURE SCHEDULE
19	BOLLARD: CONCRETE-FILLED STEEL PIPE EMBEDDED IN CONCRETE CURB- WITH PLASTIC COVER. REFERENCE TO SITE PLAN, DRIVE-UP CANOPY PLAN AND DETAILS- OMIT AT POSITIONS NOT ADJACENT TO VEHICULAR LANE (LANDSCAPE, WALK, ETC.)
20	BANK EQUIPMENT: FURNISHED AND INSTALLED BY BANK EQUIPMENT VENDOR- COORD. WALL OPENINGS AND ELECTRICAL / DATA REQUIREMENTS WITH OWNER-FURNISHED EQUIPMENT SHOP DRAWINGS AND PRODUCT DATA
21	SIGNAGE LOCATION: SIGNAGE BY OWNER'S SIGN VENDOR- N.I.C. - PROVIDE ROUGH ELEC. WORK AND BLOCKING IN WALL AS REQ'D. FOR SIGN INSTALLATION. CONFIRM FINAL LOCATION WITH SIGN VENDOR.
22	BUILDING ADDRESS NUMBER: WHEN NECESSARY, NUMBERS WITH 1/2" WIDE STROKE APPLIED TO INTERIOR FACE OF GLASS TRANSOM- MIN. 6" HEIGHT OR AS REQ'D. BY LOCAL CODE
23	GAS METER: REFERENCE TO SITE PLAN AND PLUMBING DRAWINGS
24	FIRE DEPARTMENT CONNECTION: FIRE SUPPRESSION SYSTEM EXTERIOR CONNECTION WHERE REQ'D. BY LOCAL CODE ONLY- VERIFY FINAL LOCATION WITH LOCAL AUTHORITIES HAVING JURISDICTION
25	ELECTRICAL OUTLET: SET FLUSH WITH FACE OF MASONRY VENEER. PROVIDE METAL COVER COMPLIANT WITH N.E.C.
26	UTILITY EQUIPMENT: PROVIDE AND INSTALL UTILITY TERMINATION CABINETS AND METERS AS REQUIRED- COORD. WITH OWNER'S SECURITY AND TELE-DATA SERVICES- COORD. CABINET AND METER LOCATIONS WITH LOCAL JURISDICTION- REFERENCE TO SITE PLAN
27	TELE / DATA / UTILITY CONNECTIONS: COORDINATE FINAL LOCATION WITH CIVIL ENGINEER
28	FLASHING AT PREFAB CANOPY: PRE-FINISHED ALUMINUM FLASHING TO SPAN GAP BETWEEN PREFAB CANOPY AND BUILDING- REFERENCE TO WALL SECTIONS AND DETAILS- VERIFY FINAL FLASHING LENGTH AND CONFIGURATION WITH APPROVED CANOPY SHOP DWGS.
29	MECHANICAL EQUIPMENT: VENTILATION UNIT. REFERENCE TO MECHANICAL DRAWINGS FOR MORE INFORMATION.
30	SEAMESE CONNECTION: FIRE SUPPRESSION SYSTEM EXTERIOR CONNECTION WHERE REQ'D. BY LOCAL CODE ONLY- VERIFY FINAL LOCATION WITH LOCAL AUTHORITIES HAVING JURISDICTION
31	FIRE ALARM SYSTEM BELL AND STROBE: WHERE REQUIRED BY LOCAL CODE ONLY- VERIFY FINAL LOCATION WITH LOCAL AUTHORITIES HAVING JURISDICTION

