

FINAL DEVELOPMENT PLANS

FOR

LOT 2

STREETS OF WEST PRYOR

LEE'S SUMMIT, MO

UTILITIES
Electric Service
Evergy
Nathan Michael
913-347-4310
Nathan.michael@evergy.com

Gas Service
Spire
Katie Darnell
816-969-2247
Katie.darnell@spireenergy.com

Water/Sanitary Sewer
Water Utilities Department
1200 SE Hamblen Road
Lee's Summit, Mo 64081
Jeff Thorn
816-969-1900
jeff.thorn@cityofls.net

Communication Service
AT&T Carrie Cilke
816-703-4386
cc3527@att.com

Time Warner Cable
Steve Baxter
913-643-1928
steve.baxter@charter.com

Comcast
Ryan Alkire
816-795-2218
ryan.alkire@cable.comcast.com

Google Fiber
Becky Davis
913-725-8745
rebeccadavis@google.com



UTILITY STATEMENT:

THE UNDERGROUND UTILITIES SHOWN HEREON ARE FROM FIELD SURVEY INFORMATION OF ONE-CALL LOCATED UTILITIES, FIELD SURVEY INFORMATION OF ABOVE GROUND OBSERVABLE EVIDENCE, AND/OR THE SCALING AND PLOTTING OF EXISTING UTILITY MAPS AND DRAWINGS AVAILABLE TO THE SURVEYOR AT THE TIME OF SURVEY. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. FURTHERMORE, THE SURVEYOR DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES BY EXCAVATION UNLESS OTHERWISE NOTED ON THIS SURVEY.

SAFETY NOTICE TO CONTRACTOR

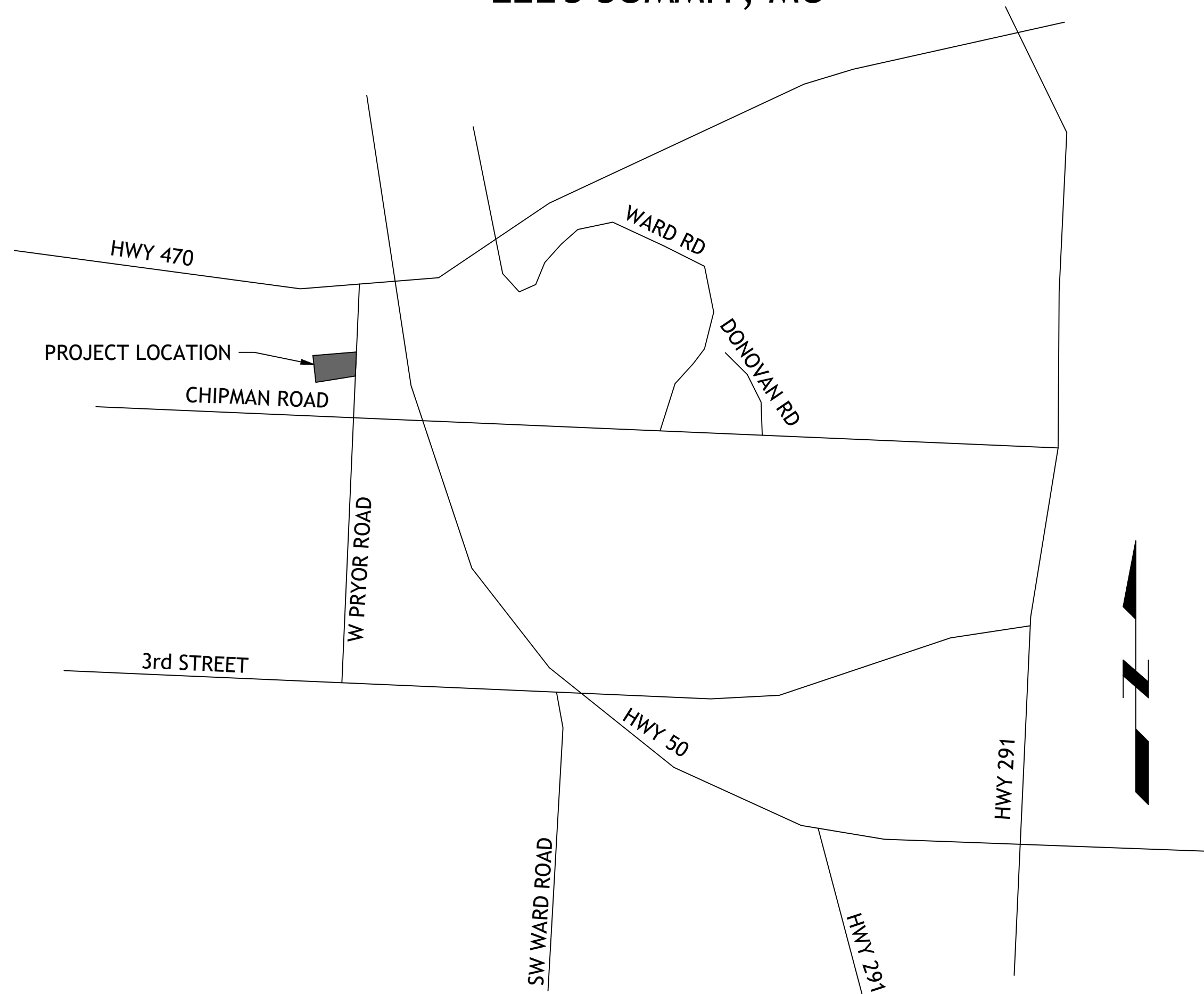
IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICE, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.

WARRANTY/DISCLAIMER

THE DESIGNS REPRESENTED IN THESE PLANS ARE IN ACCORDANCE WITH ESTABLISHED PRACTICES OF CIVIL ENGINEERING FOR THE DESIGN FUNCTIONS AND USES INTENDED BY THE OWNER AT THIS TIME. HOWEVER, NEITHER SM ENGINEERING NOR ITS PERSONNEL CAN OR DO WARRANTY THESE DESIGNS OR PLANS AS CONSTRUCTED, EXCEPT IN THE SPECIFIC CASES WHERE SM ENGINEERING PERSONNEL INSPECT AND CONTROL THE PHYSICAL CONSTRUCTION ON A CONTEMPORARY BASIS AT THE SITE.

CAUTION- NOTICE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH PROPOSED IMPROVEMENTS SHOWN ON THE PLANS. THE CONTRACTOR SHALL EXPOSE EXISTING UTILITIES AT LOCATIONS OF POSSIBLE CONFLICTS PRIOR TO ANY CONSTRUCTION.



LOCATION MAP

LEGAL DESCRIPTION:

LOT 2 STREET OF WEST PRYOR
LEE'S SUMMIT, MO, JACKSON COUNTY MISSOURI

ALL EXISTING TOPOGRAPHIC DATA AND INFRASTRUCTURE IMPROVEMENTS SHOWN BASED ON INFORMATION BY KAW VALLEY ENGINEERING

BENCHMARKS:

#1 CHISELED "SQUARE" ON TOP OF CURB POINT OF INTERSECTION OF WEST PARK PARKING LOT AT EAST DRIVE ENTRANCE
ELEVATION 985.05

#2 CHISELED "SQUARE" ON NORTHWEST CORNER AREA INLET, 25' EAST OF CURB LINE AND ON-LINE WITH SOUTH CURB OF LOWENSTEIN DRIVE AT 90° BEND IN ROAD
ELEVATION 971.06

FLOODPLAIN NOTE:

SUBJECT PROPERTY IS SHOWN TO BE LOCATED IN "OTHER AREAS ZONE X" ON THE FLOOD INSURANCE RATE MAP FOR JACKSON COUNTY, MISSOURI AND INCORPORATED AREAS. COMMUNITY PANEL NO. 29095C0416G, REVISED JANUARY 20, 2017. "OTHER AREAS ZONE X" IS DEFINED AS "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUL CHANCE FLOODPLAIN". LOCATION DETERMINED BY A SCALED GRAPHICAL PLOT OF THE FLOOD INSURANCE RATE MAP.

NOTE:

THERE ARE NO GAS/OIL WELLS ON SITE
PER ALTA SURVEY

INDEX OF SHEETS

C-1 COVER SHEET
C-1.1 PLAT
C-1.2 PLAT
C-2 EXISTING CONDITIONS
C-3 OVERALL SITE PLAN
C-4 SITE PLAN
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C-6 GRADING PLAN
C-7 ADA RAMPS
C-8 EROSION CONTROL
C-9 EROSION CONTROL DETAILS
C-10 DETAILS
C-11 DETAILS
C-12 DETAILS
C-13 DETAILS
C-14 LANDSCAPE PLAN
SL101 PHOTOMETRIC
SL200 LIGHTING SCHEDULE

DEVELOPER

SWP III, LLC
C/O DRAKE DEVELOPMENT, LLC
7200 W 132nd ST, SUITE 150
OVERLAND PARK, KS 66213
913-662-2630

ENGINEER

SM ENGINEERING
SAM MALINOWSKY
5507 HIGH MEADOW CIRCLE
MANHATTAN KANSAS, 66503
SMCIVILENGR@GMAIL.COM
785.341.9747



SAMUEL D. MALINOWSKY
PROFESSIONAL ENGINEER

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5507 High Meadow Circle
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Revisions
2-18-21 CITY COMMENTS

STREETS OF W. PRYOR
LOT 2
LEE'S SUMMIT, MO.

s h e e t
C1.0
Civil
Site Improvement Plan
permit
11 JANUARY 2021

POINT OF COMMENCEMENT
NW COR. SE 1/4, SEC 35,
T-48, R-32
5/8" BAR W/ALUM. DISC
STAMPED AFFINIS CORP MO
CLS

UNPLATTED LAND
OWNER: THE FAMILY
RANCH, LLC
ZONE: R-1
USE: AGRICULTURE
IMPROVED

INTERSTATE 470 R/W (PUBLIC R/W VARIES)

E 1/4 COR. SEC 35, T-48, R-32
1/2" BAR W/ILLEGIBLE YELLOW
CAP

PROPERTY ADDRESS:

- LOT 1: 2061 NW LOWENSTEIN DR
LOT 2: 2051 NW LOWENSTEIN DR
LOT 3: 2050 NW LOWENSTEIN DR
LOT 4: 2060 NW LOWENSTEIN DR
LOT 5: 2070 NW LOWENSTEIN DR
LOT 6: 840 NW PRYOR RD
LOT 7: 2100 NW LOWENSTEIN DR
LOT 8: 940 NW PRYOR RD
LOT 9: 900 NW PRYOR RD
LOT 10: 920 NW PRYOR RD
LOT 11: 1000 NW PRYOR RD
LOT 12: 1010 NW PRYOR RD
LOT 13: 1020 NW PRYOR RD
LOT 14: 1030 NW PRYOR RD
- TRACT A: 2200 NW LOWENSTEIN DR
TRACT B: 1077 NW BLACK TWIG LN
TRACT C: 900 NW BLACK TWIG LN
TRACT D: 740 NW PRYOR RD

NOTE:

1. ALL LOT PINS ARE TO BE SET UPON COMPLETION OF CONSTRUCTION, ANTICIPATED COMPLETION OCTOBER, 2019. (LOT PINS NOT SHOWN FOR CLARITY)
2. NO OIL OR GAS WELLS ARE KNOWN TO EXIST ON THIS PROPERTY PER MISSOURI GEOLOGICAL SURVEY.
3. PREVIOUSLY PLATTED NW LOWENSTEIN DRIVE RIGHT-OF-WAY LYING IN THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 35, TOWNSHIP 48, RANGE 32 IS VACATED PER INSTRUMENT NO. 2019E0025512.

FLOOD STATEMENT:

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LEGEND

- 5/8"x24" REBAR W/KVE LS 214F CAP SET SEE NOTE 1, THIS SHEET
- MONUMENT FOUND, ORIGIN UNKNOWN UNLESS OTHERWISE NOTED
- ⊠ SECTION CORNER FOUND
- ⊞ RIGHT-OF-WAY MARKER FOUND
- (M) MEASURED
- (C) CALCULATED
- CB CHORD BEARING
- CD CHORD DISTANCE
- U.E. UTILITY EASEMENT
- S.E. SANITARY EASEMENT
- S.W.E. SIDEWALK EASEMENT
- P.C.A.E. PUBLIC COMMON AREA EASEMENT
- PRIVATE WATER LINE EASEMENT
- LACK OF ABUTTERS RIGHTS
- BOUNDARY COORDINATE

SEE SHEETS 3 & 4 FOR
EASEMENT DETAILS

SEE SHEETS 5 & 6 FOR
EASEMENT VACATIONS

CITY OF LEE'S SUMMIT

MAYOR AND CITY COUNCIL CERTIFICATION:

THIS IS TO CERTIFY THAT THE ACCOMPANYING PLAT OF STREETS OF WEST PRYOR, LOTS 1 THRU 14, TRACTS "A", "B", "C", & "D" WAS SUBMITTED TO AND DULY APPROVED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF LEE'S SUMMIT, MISSOURI THIS DAY OF _____, 20____ BY ORDINANCE NO. _____

WILLIAM A. BAIRD, MAYOR DATE

TRISHA FOWLER ARCURI, CITY CLERK DATE

APPROVED
PUBLIC WORKS / ENGINEERING:

GEORGE M. BINGER, III, P.E., CITY ENGINEER DATE

DEVELOPMENT SERVICES

RYAN A. ELAM, PE, DIRECTOR OF DEVELOPMENT SERVICES DATE

PLANNING COMMISSION:

DANA ARTH, SECRETARY DATE

JACKSON COUNTY:
APPROVED: ASSESSOR'S OFFICE

JACKSON COUNTY ASSESSOR DATE

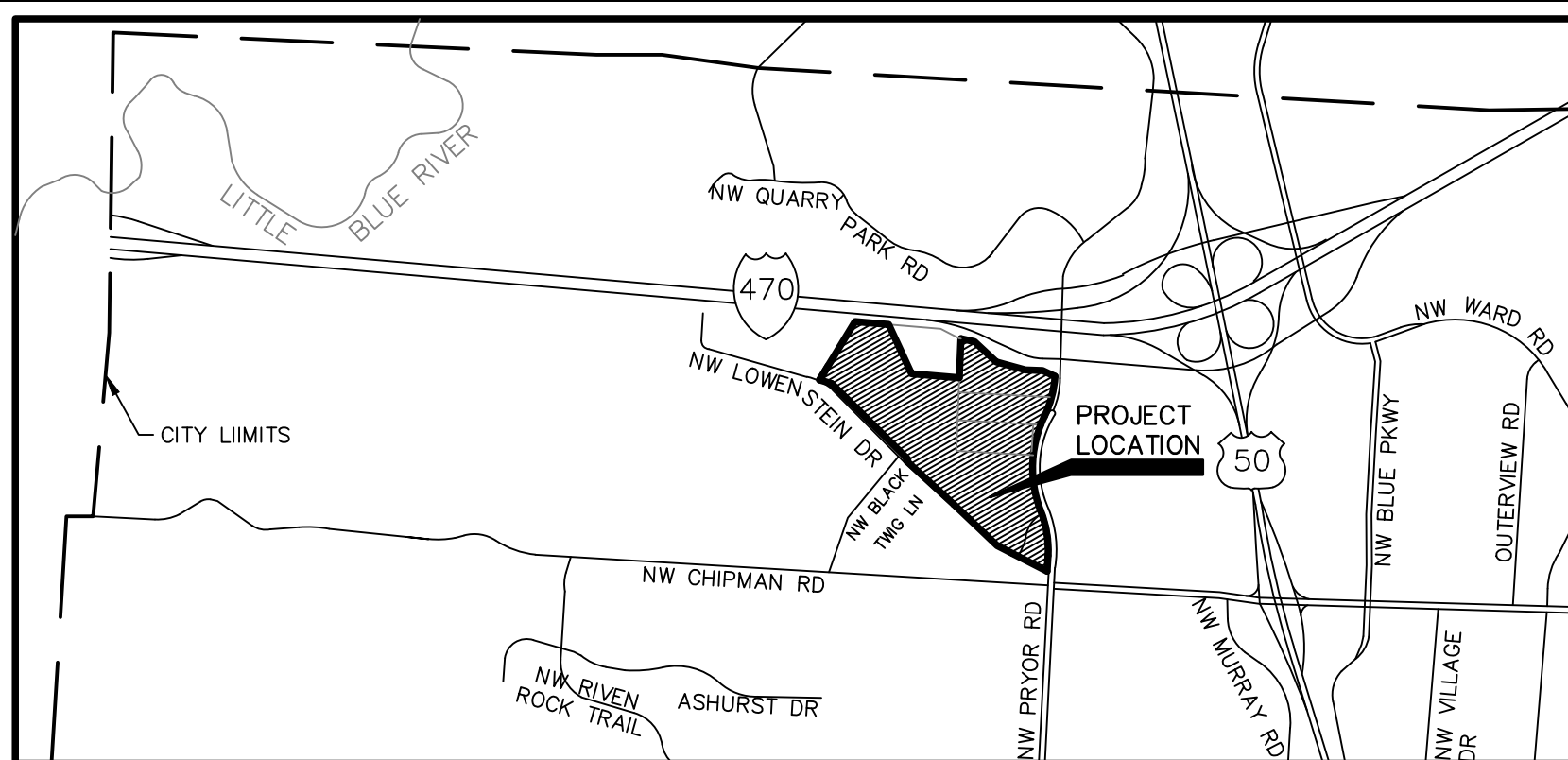
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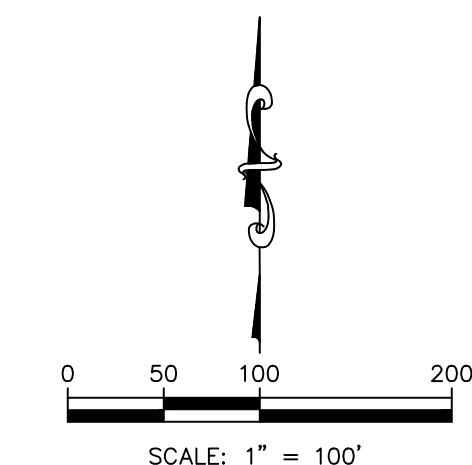
2319 NORTH JACKSON | P.O. BOX 1304
JUNCTION CITY, KANSAS 66441
PH. (785) 762-5040 | FAX (785) 762-7744
jc@kveng.com | www.kveng.com

DATE OF PREPARATION: APRIL 17, 2019 PROJECT NO. A14_7067-1 SHEET 1 OF 7





KAW VALLEY ENGINEERING, INC., IS AUTHORIZED TO OFFER SURVEYING SERVICES BY MISSOURI STATE CERTIFICATE OF AUTHORIZATION NO. 000214. EXPIRES 12/31/19



LOCATION MAP
CITY OF LEE'S SUMMIT, MISSOURI



LEGEND

- 5/8"x24" REBAR W/KVE LS 214F CAP SET
SEE NOTE 1, THIS SHEET
- MONUMENT FOUND, ORIGIN UNKNOWN UNLESS
OTHERWISE NOTED
- △ SECTION CORNER FOUND
- (X) RIGHT-OF-WAY MARKER FOUND
- (M) MEASURED
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-  PRIVATE WATER LINE EASEMENT
-  LACK OF ABUTTERS RIGHTS
-  BOUNDARY CORNDATE

SEE SHEETS 3 & 4 FOR
EASEMENT DETAILS

SEE SHEETS 5 & 6 FOR
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OF WEST PRYOR, LOTS 1 THRU 14, TRACTS "A," "B," "C," & "D"
WAS SUBMITTED TO AND DULY APPROVED BY THE MAYOR AND
CITY COUNCIL OF THE CITY OF LEE'S SUMMIT, MISSOURI THIS ____
DAY OF _____, 20____ BY ORDINANCE NO. _____

WILLIAM A. BAIRD, MAYOR DATE

TRISHA FOWLER ARCURI, CITY CLERK

APPROVED
PUBLIC WORKS / ENGINEERING:

GEORGE M BINGER, III, P.E., CITY ENGINEER DATE

DEVELOPMENT SERVICES

RYAN A. ELAM, PE, DATE
DIRECTOR OF DEVELOPMENT SERVICES

PLANNING COMMISSION:

DANA ARTH, SECRETARY

JACKSON COUNTY:
APPROVED: ASSESSOR'S OFFICE

JACKSON COUNTY ASSESSOR DATE _____

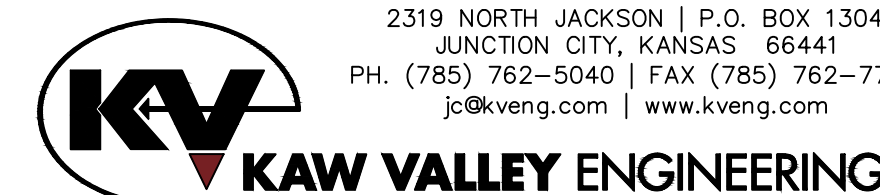
LINE TABLE		
LINE	BEARING	LENGTH
L1	N 58°36'52" W	16.45'
L2	S 16°00'59" E	28.89'
L3	N 4°45'09" E	17.00'
L4	S 85°14'51" E	71.09'
L5	S 50°52'40" W	130.00'
L6	N 41°49'12" E	130.00'
L7	S 43°03'52" W	49.28'
L8	N 73°47'49" E	28.02'
L9	N 73°47'49" E	42.44'
L10	S 16°21'11" E	97.91'
L11	N 87°32'44" W	21.89'
L12	S 22°27'16" W	40.00'
L13	N 87°32'44" W	185.86'
L14	N 22°27'16" E	60.96'
L15	N 25°47'35" W	19.08'
L16	N 25°47'35" E	9.00'
L17	N 64°12'25" E	52.31'
L18	N 46°56'08" W	41.35'
L19	S 43°03'52" W	62.00'
L20	N 46°56'08" E	102.98'
L21	N 64°12'25" E	43.00'
L22	N 25°47'35" E	19.08'
L23	N 22°27'16" E	86.95'
L24	N 15°22'47" E	37.29'
L25	N 71°41'12" W	61.48'
L26	S 43°03'52" W	107.89'

BOUNDARY COORDINATE TABLE		
POINT #	NORTHING	EASTING
100	1007391.33	281593.79
101	1007700.59	281782.46
102	1007670.80	2812140.78
103	1007144.64	2812384.22
104	1007101.16	2812893.73
105	1007518.07	2812911.60
106	1007486.79	2813056.82
107	1007270.33	2813288.69
108	1007185.45	2813600.27
109	1007178.16	2813782.18
110	1007116.28	2813912.93
111	1006689.02	2813800.90
112	1005678.45	2813762.03
113	1005202.89	2813839.54
114	1005049.05	2813831.63
115	1005324.60	2813282.52
116	1006216.05	2812328.71
117	1006233.96	2812346.16
118	1006254.45	2812324.24
119	1007040.27	2811533.06
120	1007078.58	2811402.99

THE ABOVE COORDINATES ARE GROUND COORDINATES SCALED FROM THE MISSOURI STATE PLANE COORDINATE SYSTEM, WEST ZONE 2403, NAD83(2011). STATE PLANE GRID COORDINATES WERE DERIVED FROM CONNECTIONS TO NATIONAL CORS NETWORK VIA GPS STATIC SESSIONS ON PROJECT CONTROL AND PROCESSED WITH THE NATIONAL GEODETIC SURVEY'S OPUS PROJECTS UTILITY. COORDINATES WERE SCALED TO THE GROUND USING A COMBINED ADJUSTMENT FACTOR OF 0.99990084. TABLE COORDINATE MULTIPLIED BY 0.99990084 EQUALS THE MISSOURI STATE PLANE GRID COORDINATE.

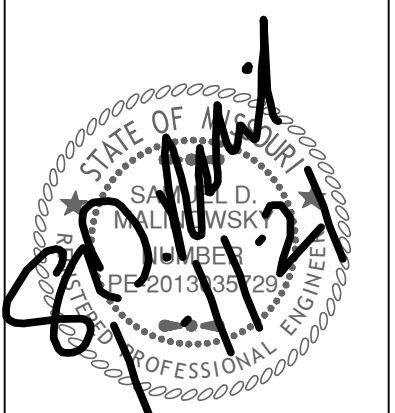
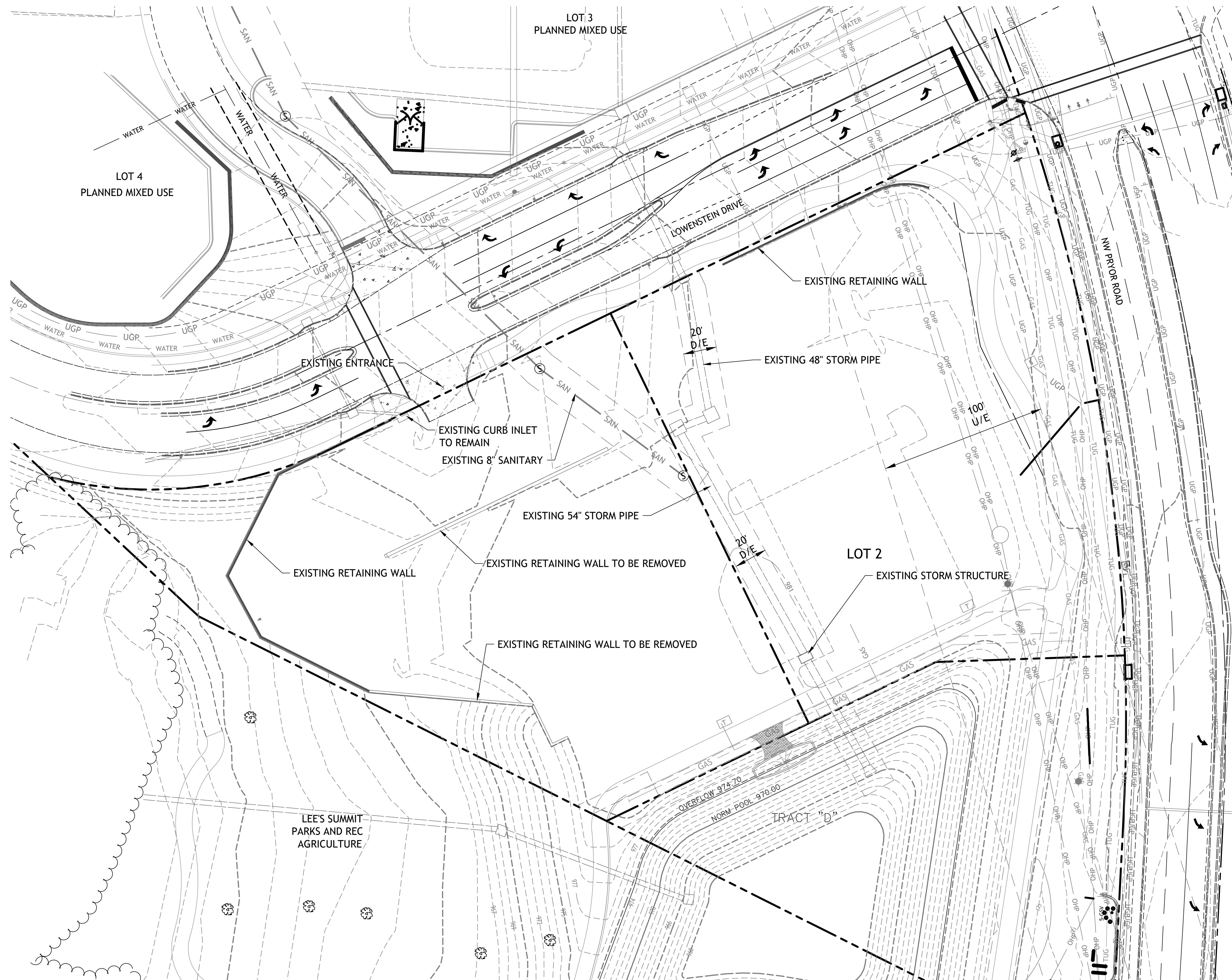
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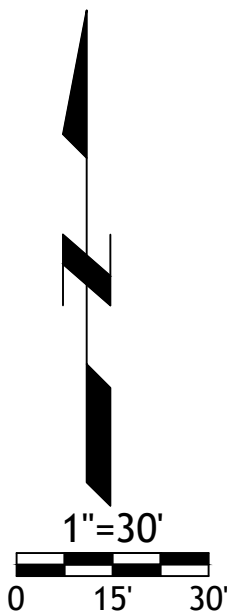
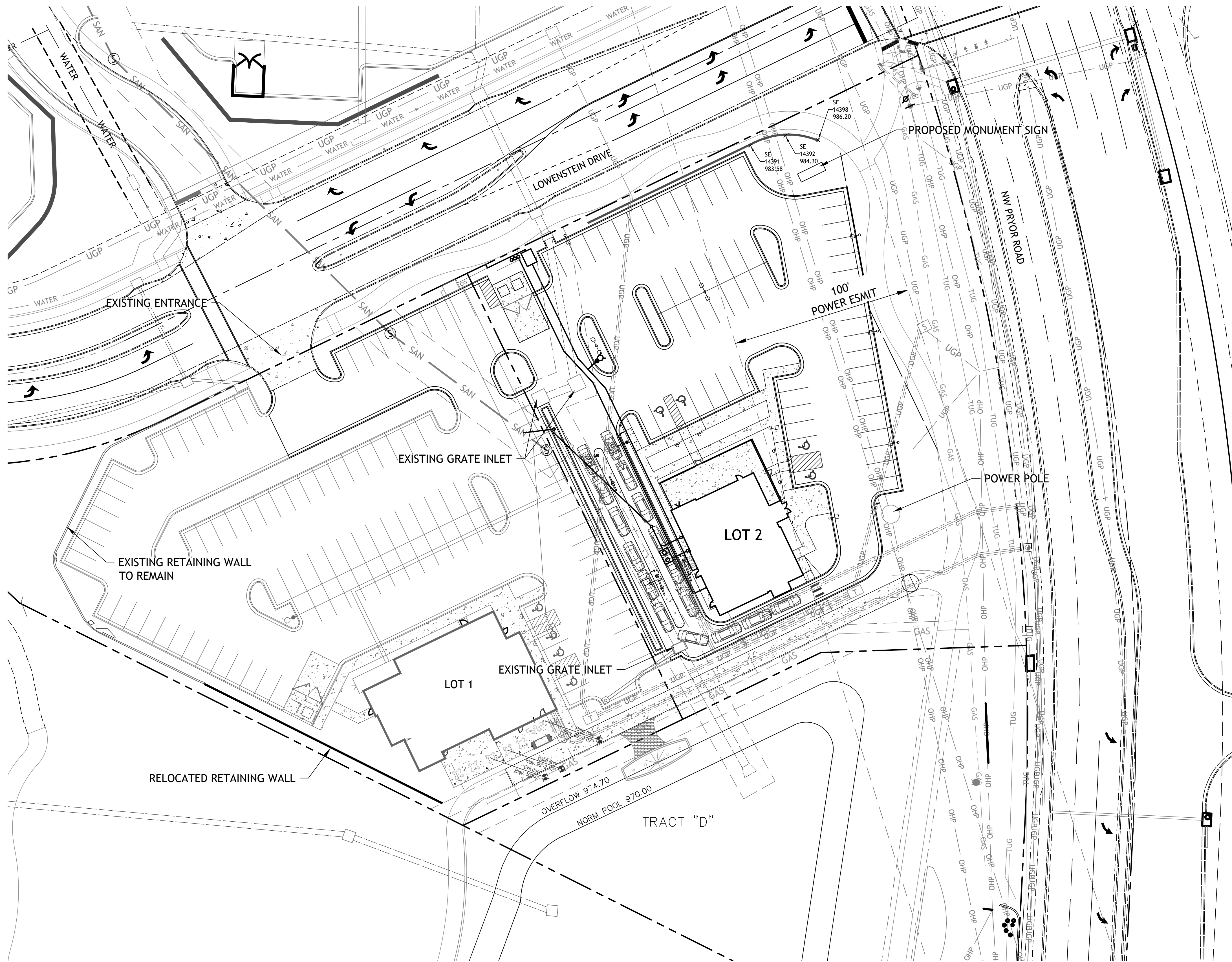
DATE OF PREPARATION: APRIL 17, 2019 PROJECT NO. A14_7067-1 SHEET 2 OF 7

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Revisions

STREETS OF W. PRYOR
LOT 2
 LEE'S SUMMIT, MO.



SM Engineering

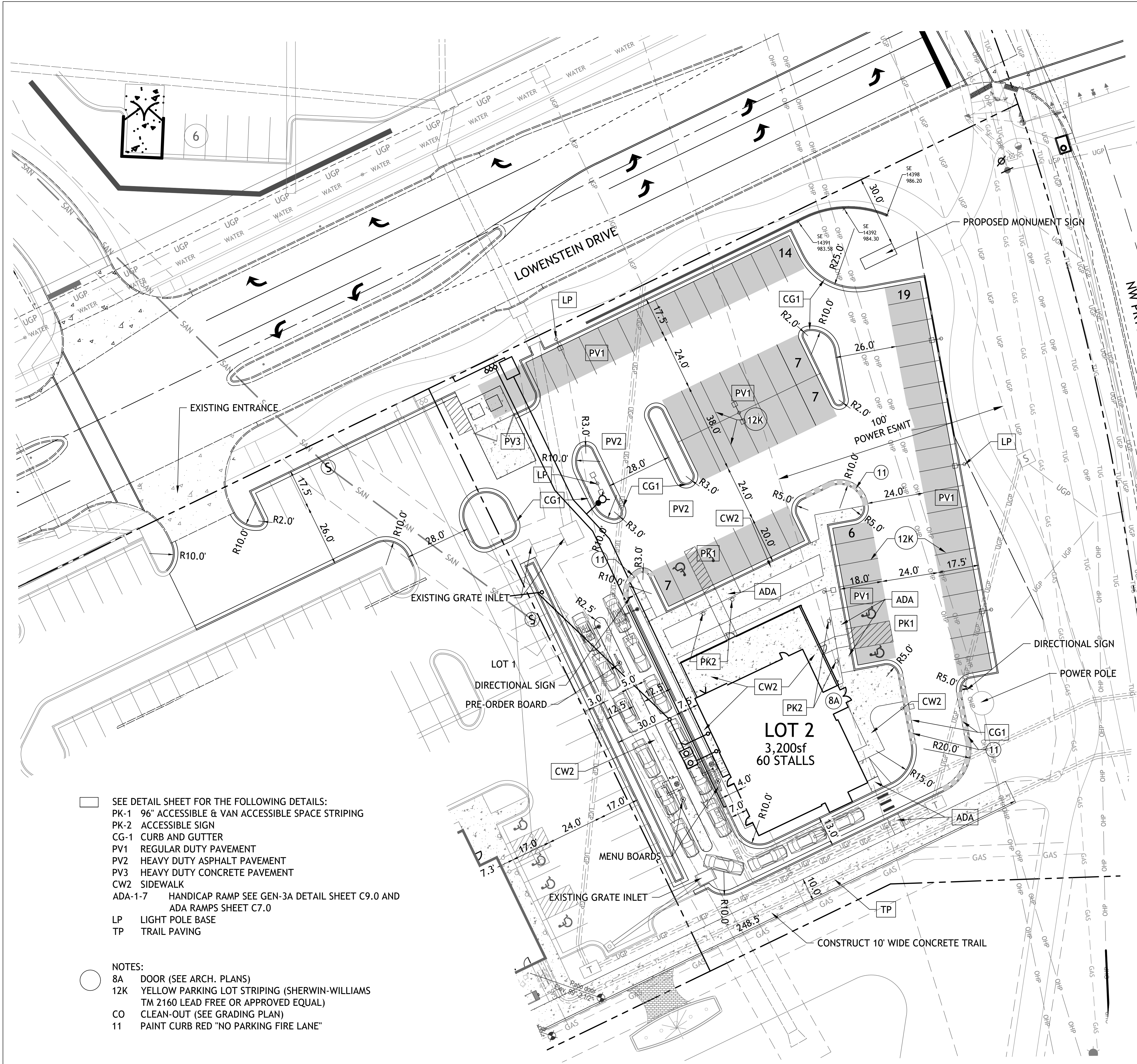
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Revisions
2-18-21 CITY COMMENTS

STREETS OF W. PRYOR
LOT 2
LEES SUMMITT, MO.

sheet
C3.0
Civil
OVERALL LAYOUT
permit
11 JANUARY 2021



- SEE DETAIL SHEET FOR THE FOLLOWING DETAILS:
- PK-1 96" ACCESSIBLE & VAN ACCESSIBLE SPACE STRIPING
 - PK-2 ACCESSIBLE SIGN
 - CG-1 CURB AND GUTTER
 - PV1 REGULAR DUTY PAVEMENT
 - PV2 HEAVY DUTY ASPHALT PAVEMENT
 - PV3 HEAVY DUTY CONCRETE PAVEMENT
 - CW2 SIDEWALK
 - ADA-1-7 HANDICAP RAMP SEE GEN-3A DETAIL SHEET C9.0 AND ADA RAMPS SHEET C7.0
 - LP LIGHT POLE BASE
 - TP TRAIL PAVING

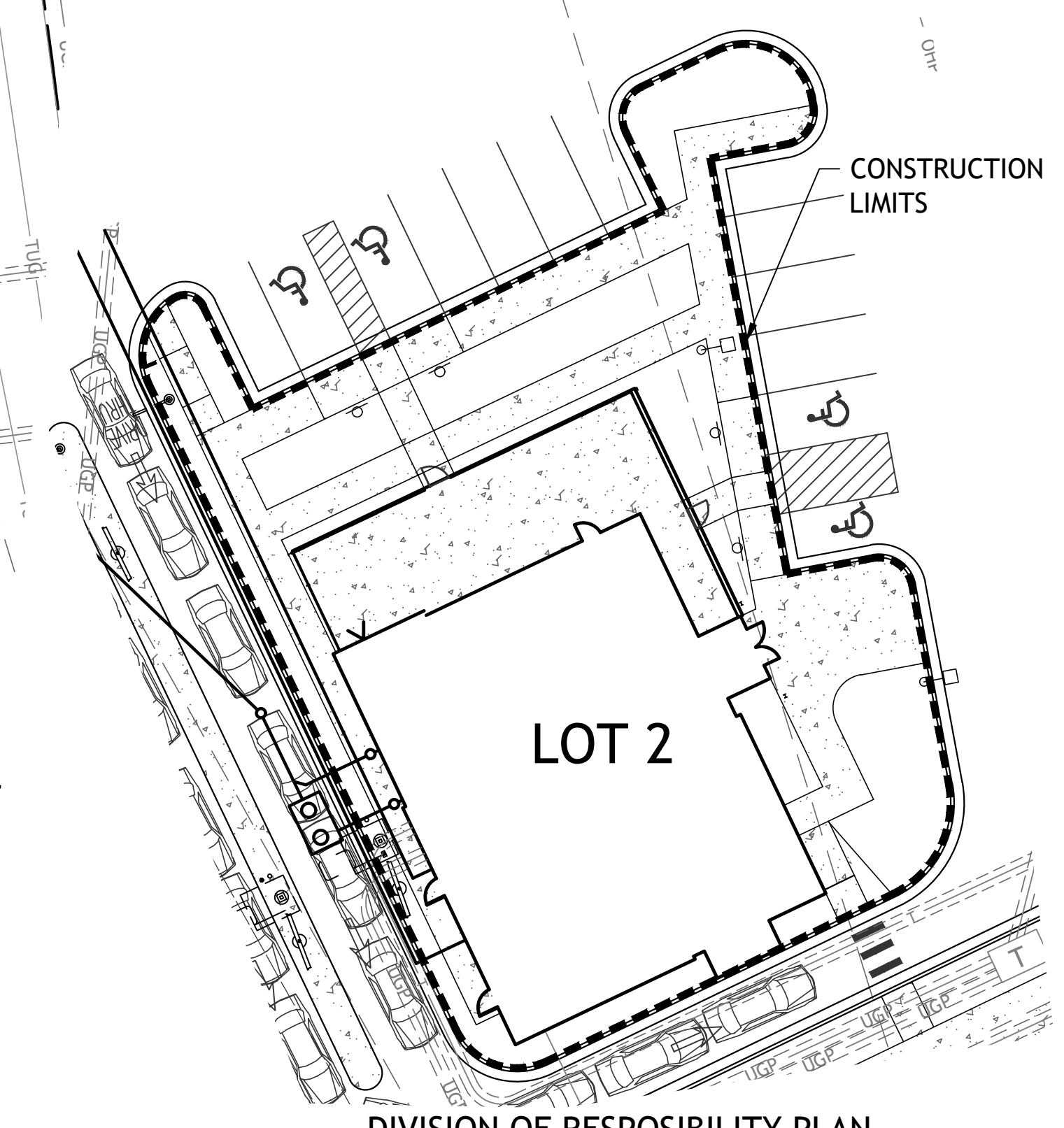
- NOTES:
- 8A DOOR (SEE ARCH. PLANS)
 - 12K YELLOW PARKING LOT STRIPING (SHERWIN-WILLIAMS TM 2160 LEAD FREE OR APPROVED EQUAL)
 - CO CLEAN-OUT (SEE GRADING PLAN)
 - 11 PAINT CURB RED "NO PARKING FIRE LANE"

SITE DATA

TOTAL SITE	1.63ac (71,216sf)
TOTAL IMPERVIOUS AREA	34,469sf
OPEN SPACE	36,747sf (51.5%)
TOTAL BUILDING	3,200sf
FAR	0.044
TOTAL REQUIRED	3,200 @ 14/1000
PARKING PROVIDED	45
* THE REQUIRED PARKING IS SUPPLEMENTED BY OVERALL SHARED PARKING PROVISIONS.	

- CONSTRUCTION NOTES:**
- COORDINATE START-UP AND ALL CONSTRUCTION ACTIVITIES WITH OWNER.
 - CONSTRUCTION METHODS AND MATERIALS NOT SPECIFIED IN THESE PLANS ARE TO MEET OR EXCEED THE STANDARD SPECIFICATIONS.
 - ALL CONSTRUCTION WORK AND UTILITY WORK OUTSIDE OF PROPERTY BOUNDARIES SHALL BE PERFORMED IN COOPERATION WITH AND IN ACCORDANCE WITH REGULATIONS OF THE AUTHORITIES CONCERNED.
 - PUBLIC CONVENIENCE AND SAFETY: THE CONTRACTOR SHALL CONDUCT THE WORK IN A MANNER THAT WILL INSURE, AS FAR AS PRACTICABLE, THE LEAST OBSTRUCTION TO TRAFFIC, AND SHALL PROVIDE FOR THE CONVENIENCE AND SAFETY OF THE GENERAL PUBLIC AND RESIDENTS ALONG AND ADJACENT TO STREETS IN THE CONSTRUCTION AREA.
 - ALL DIMENSIONS SHOWN ARE TO THE BACK OF CURB UNLESS OTHERWISE NOTED.
 - ACCESSIBLE STALLS SHOWN WITH A "VAN" SHALL BE 16'-0" MIN. AND SHALL HAVE A SIGN DESIGNATING "VAN-ACCESSIBLE". SEE DETAIL102.

- NOTE:**
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRANCE. SLOPED PAVING, EXIT PORCHES AND RAMPS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
 - THESE PLANS HAVE NOT BEEN VERIFIED WITH FINAL ARCHITECTURAL CONTRACT DRAWINGS. CONTRACTOR SHALL VERIFY AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES. CONTRACTOR IS FULLY RESPONSIBLE FOR REVIEW AND COORDINATION OF ALL DRAWINGS AND CONTRACTOR DOCUMENTS.
 - ALL DIMENSIONS ARE PERPENDICULAR TO PROPERTY LINE.
 - ACTUAL SIGN LOCATIONS TO BE COORDINATED WITH CONSTRUCTION MANAGER.



DIVISION OF RESPONSIBILITY PLAN

DEVELOPER IS RESPONSIBLE FOR CONSTRUCTING CURB & GUTTER AS SHOWN AND ALL ITEMS OUTSIDE SAID CURB & GUTTER. SHAKE SHACK IS RESPONSIBLE FOR CONSTRUCTING ALL ITEMS INSIDE NOTED CURB & GUTTER.

SM Engineering

SM

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STREETS OF W. PRYOR

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LEES SUMMITT, MO.

sheet

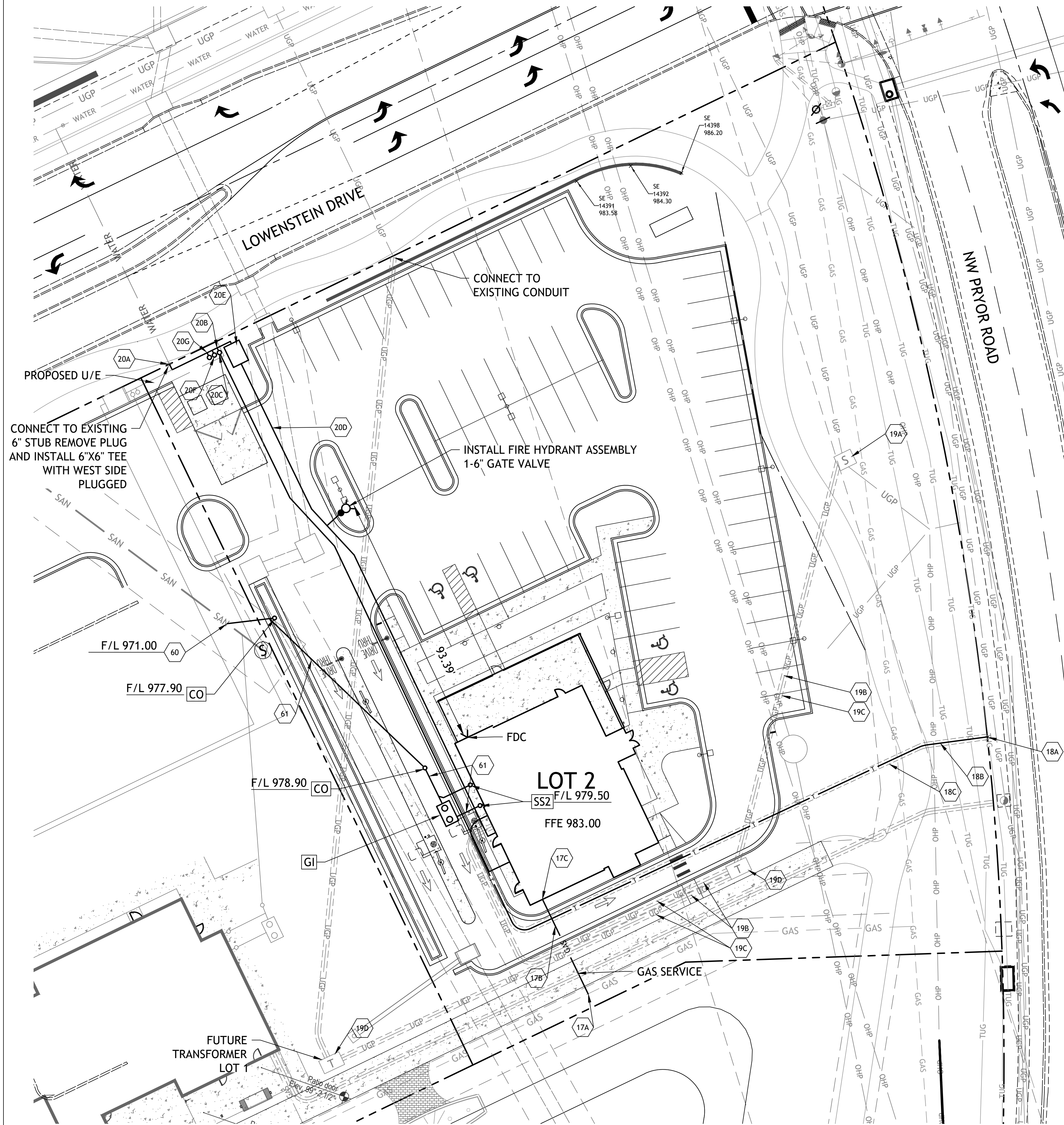
C4.0

Civil

SITE PLAN

permit

11 JANUARY 2021

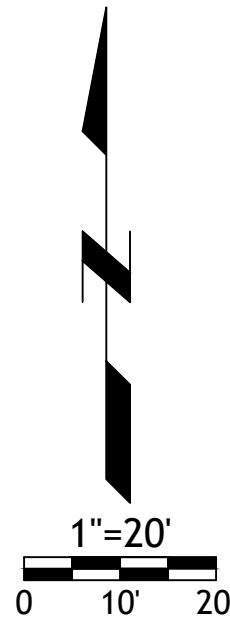


- UTILITY NOTES:**
1. ALL UTILITY AND STORM SEWER TRENCHES CONSTRUCTED UNDER AREAS THAT RECEIVE PAVING SHALL BE BACKFILLED TO 18 INCHES ABOVE THE TOP OF THE PIPE WITH SELECT GRANULAR MATERIAL PLACED ON EIGHT-INCH LIFTS, AND COMPACTED TO 95% MODIFIED PROCTOR DENSITY.
 2. CONTRACTOR SHALL NOT OPEN, TURN OFF, INTERFERE WITH, OR ATTACH ANY PIPE OR HOSE TO OR TAP ANY WATER MAIN BELONGING TO THE CITY UNLESS DULY AUTHORIZED TO DO SO BY THE CITY. ANY ADVERSE CONSEQUENCE OF ANY SCHEDULED OR UNSCHEDULED DISRUPTIONS OF SERVICE TO THE PUBLIC ARE TO BE THE LIABILITY OF THE CONTRACTOR. SM ENGINEERING AND OWNER ARE TO BE HELD HARMLESS.
 3. ALL WATER AND SANITARY SEWER SYSTEMS THAT ARE TO BE PUBLIC LINES SHALL BE CONSTRUCTED IN ACCORDANCE WITH SPECIFICATIONS PREVIOUSLY APPROVED BY THE CITY OF LEE'S SUMMIT AND THE STATE OF MISSOURI AND SHALL BE INSPECTED BY THE CITY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ASSURE THAT THIS INSPECTION OCCURS.
 4. LOCATIONS SHOWN FOR PROPOSED WATER LINES ARE APPROXIMATE. VARIATIONS MAY BE MADE, WITH APPROVAL OF THE ENGINEER, TO AVOID CONFLICTS.
 5. CONTRACTOR TO INSTALL TRACING TAPE ALONG ALL NON-METALLIC WATER MAINS AND SERVICE LINES PER SPECIFICATIONS.
 6. CONTRACTOR SHALL EXPOSE EXISTING UTILITIES AT LOCATIONS OF POSSIBLE CONFLICT AND POINTS OF CONNECTION PRIOR TO ANY CONSTRUCTION OF NEW UTILITIES.
 7. WATER LINES SHALL HAVE A MINIMUM COVER OF 42 INCHES. ALL VALVES ON MAINS AND FIRE HYDRANT LEADS SHALL BE WITH VALVE BOX ASSEMBLIES. THE SIZE OF VALVE BOX ASSEMBLY TO BE INSTALLED IS DETERMINED BY THE TYPE AND SIZE OF VALVE. VALVE BOX CAPS SHALL HAVE THE WORD "WATER".
 8. A MINIMUM HORIZONTAL DISTANCE OF 10 FEET SHALL BE MAINTAINED BETWEEN PARALLEL WATER AND SANITARY SEWER LINES. WHEN IT IS NECESSARY FOR ANY WATER LINE TO CROSS A SANITARY SEWER LINE, THE SEWER LINE SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE AT LEAST 10 FEET EITHER SIDE OF THE WATER LINE UNLESS THE WATER LINE IS AT LEAST 2 FEET CLEAR DISTANCE ABOVE THE SANITARY SEWER LINE.
 9. INSTALL 2" TYPE "K" COPPER FROM THE MAIN TO THE METER AND EITHER TYPE "K" OR POLYETHYLENE PLASTIC TUBING (PE 3608) FROM METER TO STOP AND WASTE VALVE INSIDE BUILDING.
 10. CONTRACTOR RESPONSIBLE FOR PROVIDING CASEMENT FOR ELECTRICAL SERVICE PER EVERGY

- DETAILS**
- MS1 TRENCH AND BEDDING DETAILS
 - SS2 2-WAY CLEAN-OUT
 - WAT-12 DCD4 VAULT
 - WAT-11 WATER SERVICE CONNECTION
 - WAT-7 FIRE HYDRANT
 - CO CLEANOUT
 - GI GREASE INTERCEPTOR
 - WAT-12 FIRE SERVICE VAULT

- NOTES**
- 17A POINT OF CONNECTION - GAS SERVICE
 - 17B GAS SERVICE (BY GAS COMPANY)
 - 17C GAS METER
 - 18A POINT OF CONNECTION - TELEPHONE SERVICE - COORDINATE WITH TELEPHONE COMPANY
 - 18B UNDERGROUND TELEPHONE SERVICE PER LOCAL TELEPHONE COMPANY
 - 18C 2-2" CONDUIT INSTALLED BY CONTRACTOR - TELEPHONE SERVICE
 - 19A POINT OF CONNECTION - ELECTRICAL SERVICE
 - 19B ELECTRICAL SERVICE (SEE NOTE 10)
 - 19C 4" CONDUIT INSTALLED BY CONTRACTOR - ELECTRIC SERVICE
 - 19D TRANSFORMER - PER EVERGY DETAIL 700-103
 - 20A POINT OF CONNECTION - WATER SERVICE
 - 20B 2" TAP WITH 2" SERVICE LINE
 - 20C 2" METER
 - 20D 6" FIRE LINE
 - 60 4" SANITARY SEWER SERVICE LINE SDR-26 PVC CONNECTION SHALL BE A CUT-IN WYE
 - 61 4" SANITARY SEWER SERVICE LINE SDR 26 PVC
 - 20E INSTALL 6" BACKFLOW PREVENTION ASSEMBLY IN 8'X6' VAULT OR AS REQUIRED PER CLEARANCE SEE DETAIL WAT-12
 - 20F 1" IRRIGATION METER & BFP
 - 20G 5/8" FOUNTAIN METER & BFP

UTILITY STATEMENT:
THE UNDERGROUND UTILITIES SHOWN HEREON ARE FROM FIELD SURVEY INFORMATION OF ONE-CALL LOCATED UTILITIES, FIELD SURVEY INFORMATION OF ABOVE GROUND OBSERVABLE EVIDENCE, AND/OR THE SCALING AND PLOTTING OF EXISTING UTILITY MAPS AND DRAWINGS AVAILABLE TO THE SURVEYOR AT THE TIME OF SURVEY. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. FURTHERMORE, THE SURVEYOR DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES BY EXCAVATION UNLESS OTHERWISE NOTED ON THIS SURVEY.



SM Engineering
SM E
5507 High Meadow Circle
Manhattan Kansas, 66503
smcivilengr@gmail.com
785.341.9747

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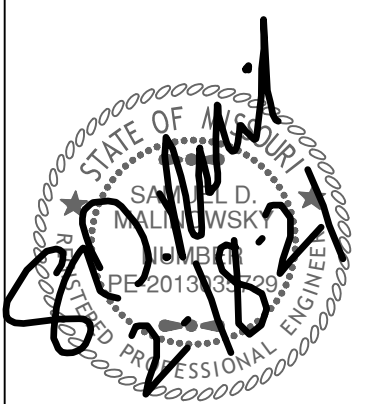
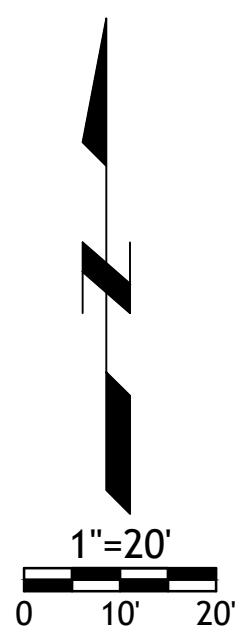
Revisions
2-18-21 CITY COMMENTS

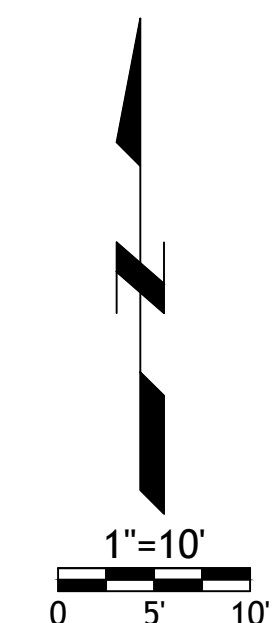
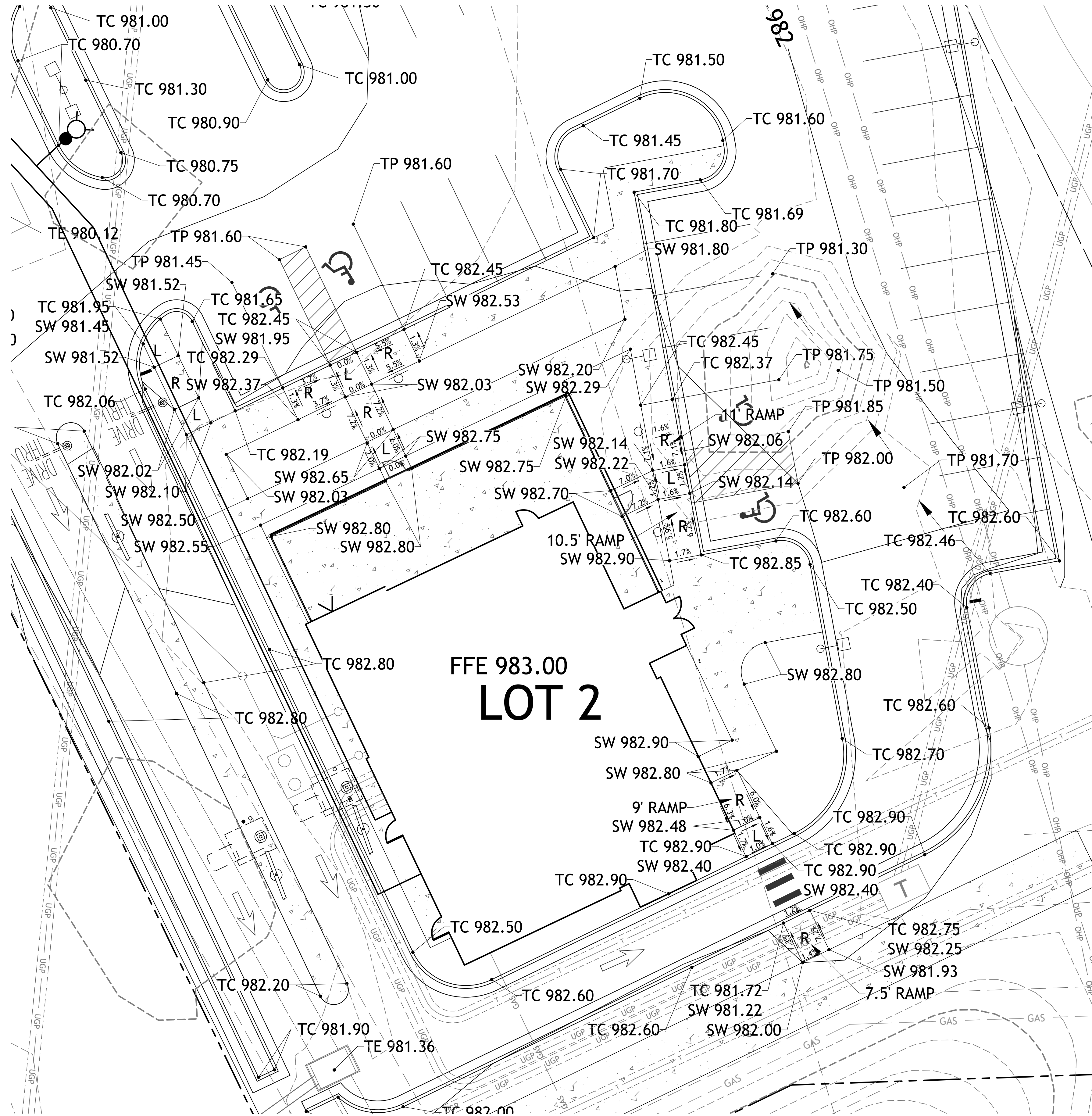
STREETS OF W. PRYOR
LOT 2
LEE'S SUMMIT, MO.

sheet
C5.0
Civil
UTILITY
permit
11 JANUARY 2021



- GRADING NOTES:**
1. EARTHWORK UNDER THE BUILDING SHALL COMPLY WITH THE PROJECT ARCHITECTURAL PLANS. OTHER FILL MATERIAL SHALL BE MADE IN LIFTS NOT TO EXCEED EIGHT INCHES DEPTH COMPACTED TO 95% STANDARD PROCTOR DENSITY. FILL MATERIAL MAY INCLUDE ROCK FROM ON-SITE EXCAVATION IF CAREFULLY PLACED SO THAT LARGE STONES ARE WELL DISTRIBUTED AND VOIDS ARE COMPLETELY FILLED WITH SMALLER STONES, EARTH, SAND OR GRAVEL TO FURNISH A SOLID EMBANKMENT. NO ROCK LARGER THAN THREE INCHES IN ANY DIMENSION NOR ANY SHALE SHALL BE PLACED IN THE TOP 12 INCHES OF EMBANKMENT.
 2. AREAS THAT ARE TO BE CUT TO SUBGRADE LEVELS SHALL BE PROOF ROLLED WITH A MODERATELY HEAVY LOADED DUMP TRUCK OR SIMILAR APPROVED CONSTRUCTION EQUIPMENT TO DETECT UNSUITABLE SOIL CONDITIONS.
 3. IN ALL AREAS OF EXCAVATION, IF UNSUITABLE SOIL CONDITIONS ARE ENCOUNTERED. A QUALIFIED GEOTECHNICAL ENGINEER SHALL RECOMMEND TO THE OWNER THE METHODS OF UNDERCUTTING AND REPLACEMENT OF PROPERLY COMPACTED, APPROVED FILL MATERIAL. ALL PROOF ROLLING AND UNDERCUTTING SHOULD BE PERFORMED DURING A PERIOD OF DRY WEATHER.
 4. CONTRACTOR SHALL USE SILT FENCE OR OTHER MEANS OF CONTROLLING EROSION ALONG THE EDGE OF THE PROPERTY OR OTHER BOTTOM OF SLOPE LOCATIONS.
 5. CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS.
 6. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT. THE CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGES TO THE ADJACENT PROPERTIES OCCURRING DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
 7. IT IS NOT THE DUTY OF THE ENGINEER OR THE OWNER TO REVIEW THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES, IN, ON OR NEAR THE CONSTRUCTION SITE AT ANY TIME DURING CONSTRUCTION.
 8. PIPE LENGTHS ARE CENTER TO CENTER OF STRUCTURE OR TO END OF END SECTIONS.
 9. HANDICAP STALLS SHALL MEET ADA REQUIREMENTS AND SHALL NOT EXCEED 2% SLOPE IN ANY DIRECTION AT THE BUILDING ENTRY AND ACCESSIBLE PARKING STALLS. SLOPES EXCEEDING 2.0% WILL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
 10. CONTRACTOR TO ADJUST DEPTHS OF EXISTING SERVICE LINES AS NECESSARY
 11. ALL CONSTRUCTION TRAFFIC, TEMPORARY TRAFFIC CONTROL DEVICES AND PAVEMENT MARKINGS SHALL CONFORM TO REQUIREMENTS OF THE LATEST MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
 12. SITE BEING ROUGH GRADED TO 12.5" BELOW FINISHED GRADE
 13. CONTRACTOR TO PLACE 8" LOW PERMEABILITY LVC FOR BUILDING PAD





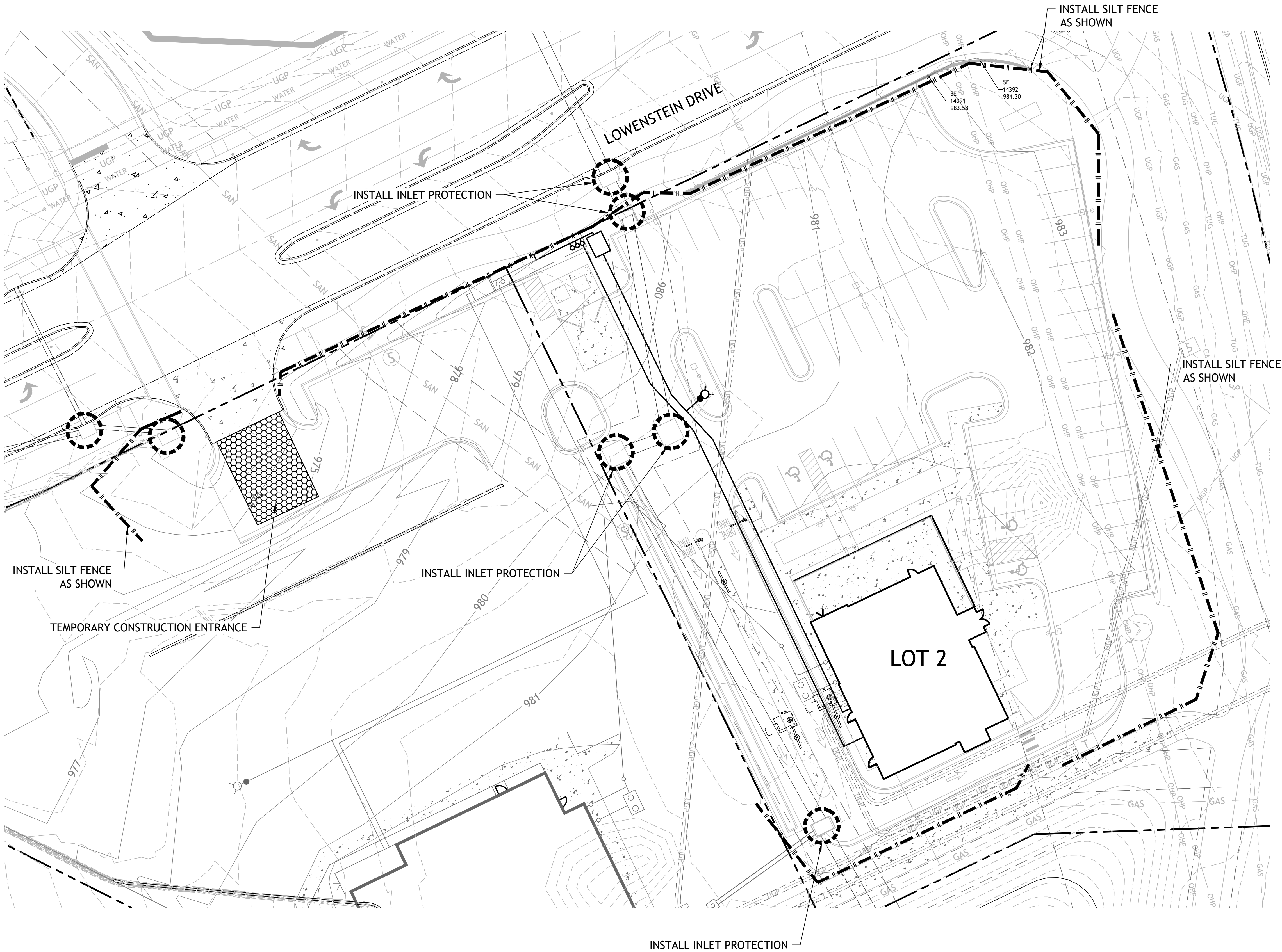
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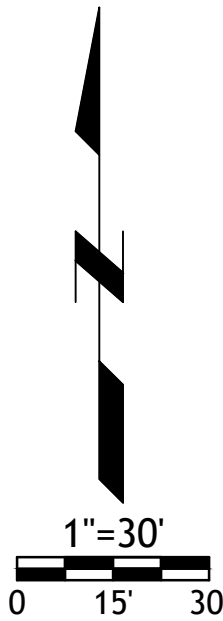
sheet
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ADA RAMPS
permit
11 JANUARY 2021

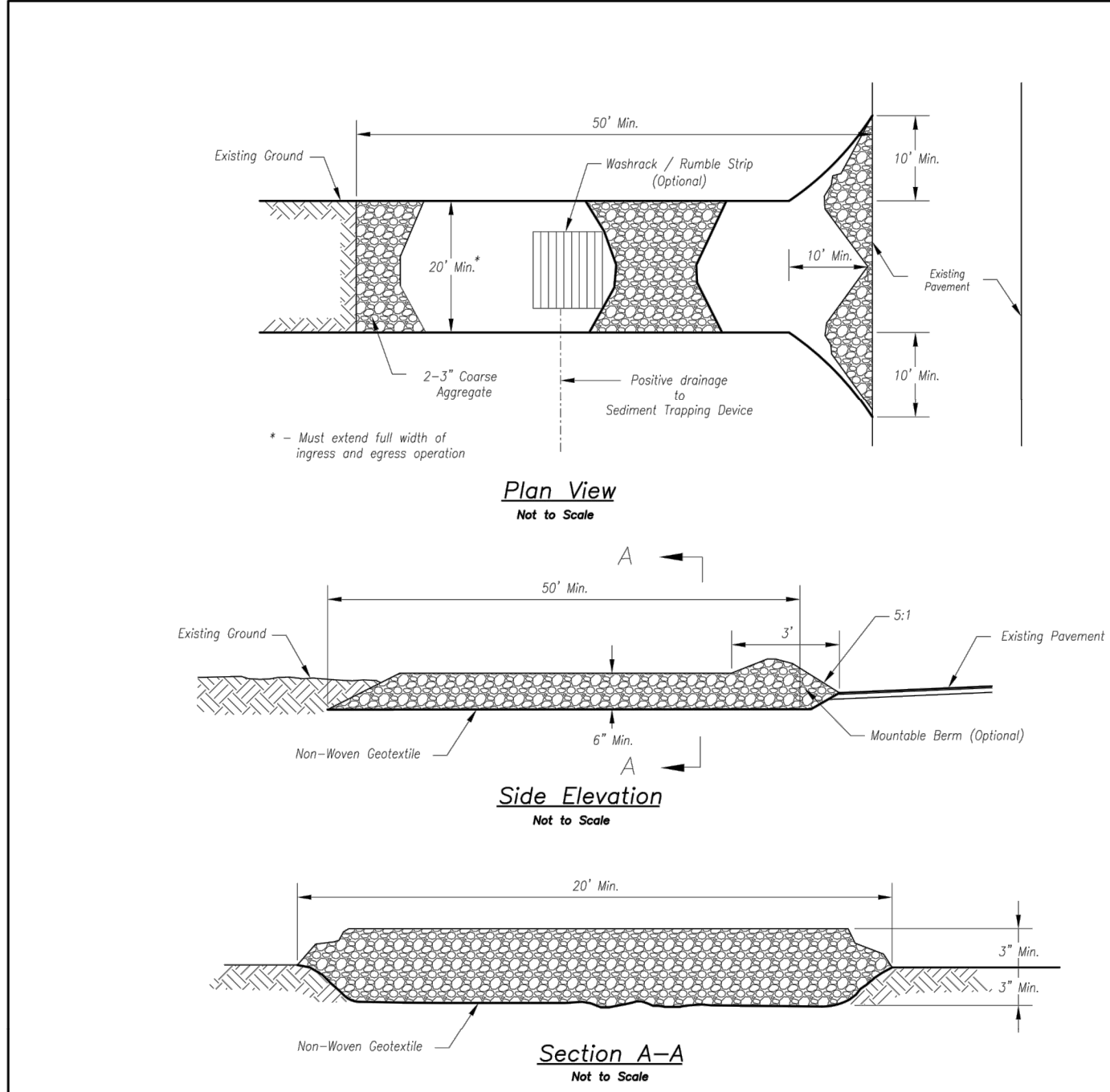


- NOTES:
1. Prior to Land Disturbance activities, the following shall occur:
 - a) Identify the limits of construction on the ground with easily recognizable indications such as construction staking, construction fencing and placement of physical barriers or other means acceptable to the City inspector and in conformance with the erosion and pollution control plan;
 - b) Construct a stabilized entrance/parking/staging area;
 - c) Install perimeter controls and protect any existing stormwater inlets;
 - d) Request an initial inspection of the installed Phase I pollution control measures designated on the approved erosion and pollution control plan. Land disturbance work shall not proceed until there is a passed inspection
 2. The site shall comply with all requirements of the MoDNR general requirements
 - a) Immediate initiation of temporary stabilization BMPs on disturbed areas where construction activities have temporarily ceased on that portion of the project site if construction activities will not resume for a period exceeding 14 calendar days. Temporary stabilization may include establishment of vegetation, geotextiles, mulches or other techniques to reduce or eliminate erosion until either final stabilization can be achieved or until further construction activities take place to re-disturb the area. This stabilization must be completed within 14 calendar days;
 - b) Inspection of erosion and sediment control measures shall be performed to meet or exceed the minimum inspection frequency in the MoDNR General Permit. At a minimum, inspections shall be performed during all phases of construction at least once every 14 days and within 24 hours of each precipitation event.
 - c) An inspection log shall be maintained and shall be available for review by the regulatory authority;
 - d) The erosion and pollution control plan shall be routinely updated to show all modifications and amendments to the original plan. A copy of the erosion and pollution control plan shall be kept on site and made available for review by the regulatory authority.
 3. Temporary seeding shall only be used for periods not to exceed 12 months. For final stabilization, temporary seeding shall only be used to establish vegetation outside the permanent seeding or sodding dates as specified in the Standard Specifications. Final stabilization requires a uniform perennial vegetative cover with a density of 70% over 100% of disturbed area.
 4. Erosion and pollution control shall be provided for the duration of a project. All installed erosion and pollution control BMPs shall be maintained in a manner that preserves their effectiveness. If the City determines that the BMPs in place do not provide adequate erosion and pollution control at any time during the project, additional or alternate measures that provide effective control shall be required.
 5. Concrete wash or rinse water from concrete mixing equipment. Tools and/or ready-mix trucks, etc. may not be discharged into or be allowed to run to any existing water body or portion of the storm water system. One or more locations for concrete washout will be designated on site, such that discharges during concrete washout will be contained in a small area where waste concrete can solidify in place. Proper signage will be installed to direct users to the concrete washout. Concrete washouts must be handled prior to pouring any concrete.
 6. Silt fences and sediment control BMPs which are shown along the back of curb must be installed within two weeks of curb backfill and prior to placement of base asphalt. Exact locations of these erosion control methods may be field adjusted to minimize conflicts with utility construction. However, anticipated disturbance by utility construction shall not delay installation.
 7. Required sediment basins and traps shall be installed as early as possible during mass grading. Sediment basins and traps shall be cleaned out when the sediment capacity has been reduced by 20% of its original design volume.
 8. All manufactured BMPs such as erosion control blankets, TRMs, biodegradable logs, filter socks, synthetic sediment barriers and hydraulic erosion control shall be installed as directed by the manufacturer.
 9. The above requirements are the responsibility of the permittee for the site. Responsibility may be transferred to another party by the permittee, but the permittee shall remain liable by the City of Lee's Summit if any of the above conditions are not met.

LEGEND

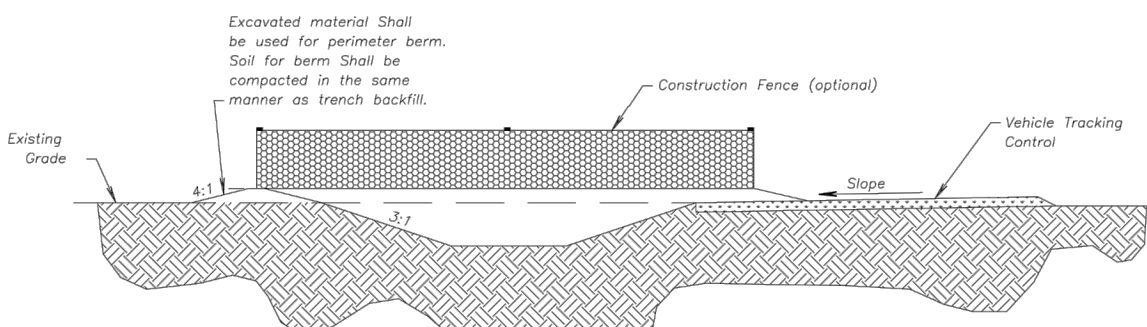
- ||— SILT FENCE
- INLET PROTECTION
- TEMPORARY CONSTRUCTION ENTRANCE






- Notes for Concrete Washout:**
1. Concrete washout areas shall be installed prior to any concrete placement on site.
 2. Concrete washout area shall include a flat subsurface pit sized relative to the amount of concrete to be placed on site. The slopes leading out of the subsurface pit shall be 3:1. The vehicle tracking pad shall be sloped towards the concrete washout area.
 3. Vehicle tracking control is required of the access point to all concrete washout areas.
 4. Signs shall be placed at the construction site entrance, washout area and elsewhere as necessary to clearly indicate the location(s) of the concrete washout area(s) to operators of concrete truck and pump rigs.
 5. A one-piece impervious liner may be required along the bottom and sides of the subsurface pit in sandy or gravelly soils.

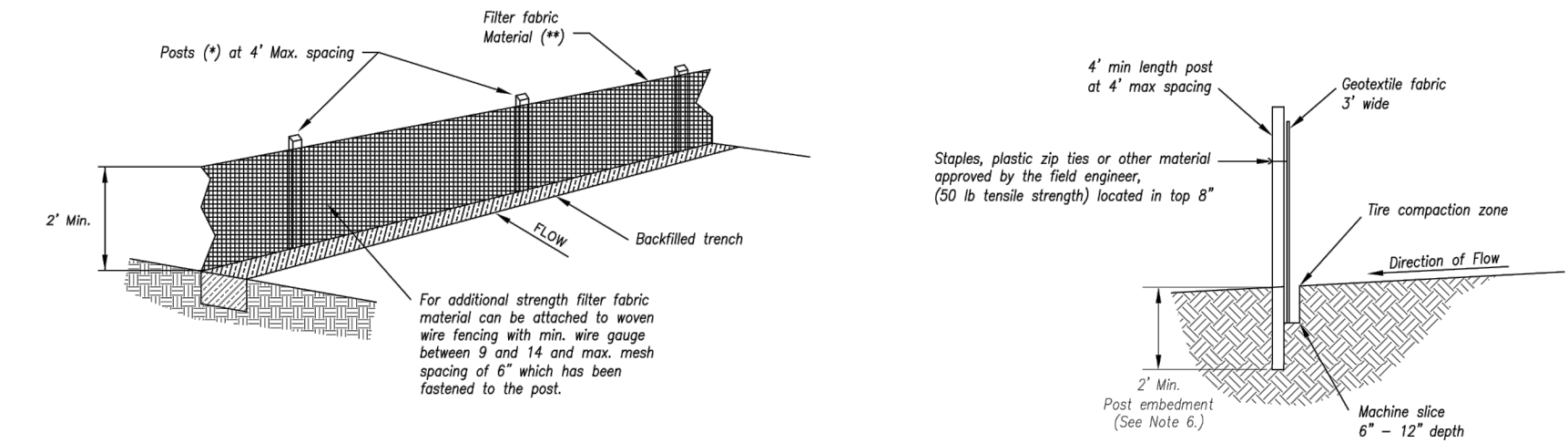
- Maintenance for Concrete Washout:**
1. Concrete washout materials shall be removed once the materials have filled the washout to approximately 75% full.
 2. Concrete washout areas shall be enlarged as necessary to maintain capacity for washed concrete.
 3. Concrete washout water, washed pieces of concrete and all other debris in the subsurface pit shall be transported from the job site in a water-tight container and disposed of properly.
 4. Concrete washout areas shall remain in place until all concrete for the project is placed.
 5. When concrete washout areas are removed, excavations shall be filled with suitable compacted backfill and topped, any disturbed areas associated with the installation, maintenance, and/or removal of the concrete washout areas shall be stabilized.



CONCRETE WASHOUT

AMERICAN PUBLIC WORKS ASSOCIATION	
	KANSAS CITY METRO CHAPTER
CONSTRUCTION ENTRANCE AND CONCRETE WASHOUT	STANDARD DRAWING NUMBER ESC-01 ADOPTED: 10/24/2016

Construction Entrance modified from 2015 Overland Park Standard Details for Erosion and Sediment Control, Concrete Washout modified from 2009 City of Great Bend Standard Drawings.



- (*) POSTS**
- MIN. LENGTH 4'
 - HARDWOOD 1 3/4" x 1 3/4"
 - NO.2 SOUTHERN PINE 2 1/2" x 2 1/2"
 - STEEL 1.33 LB/FT

- (**) - Geotextile Fabric shall meet the requirements of AASHTO M288**

SILT FENCE DETAILS

Not to Scale

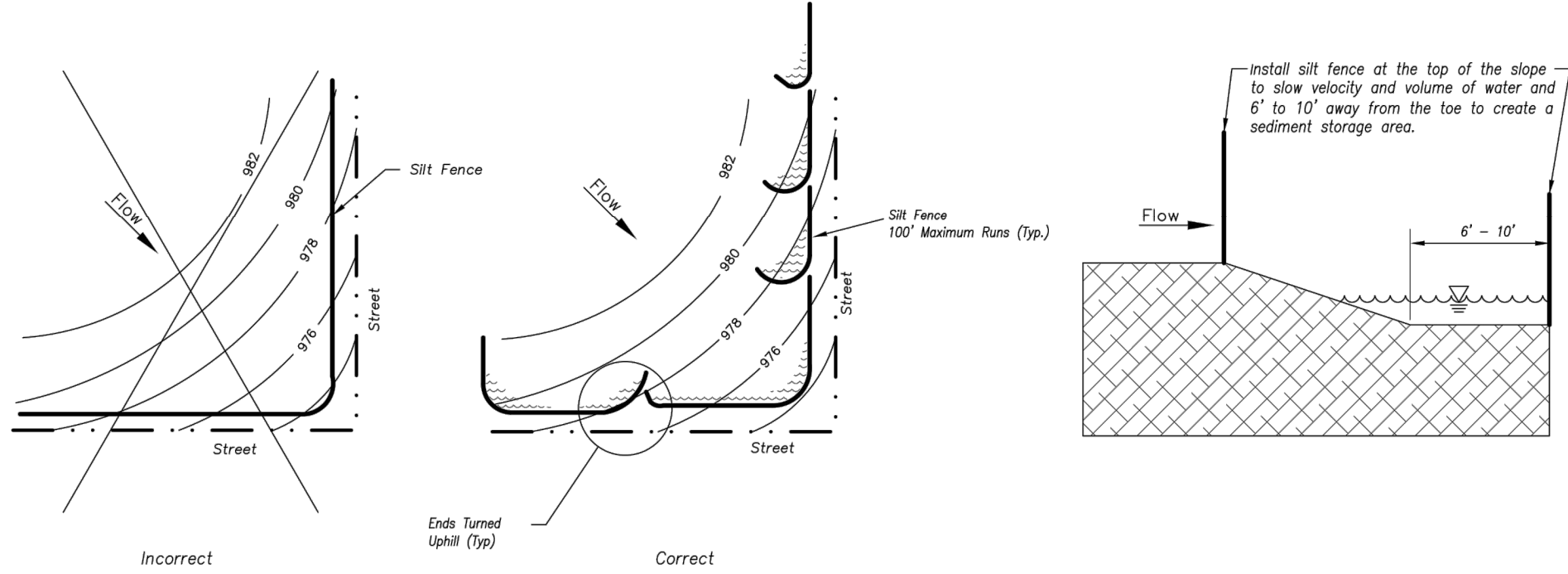
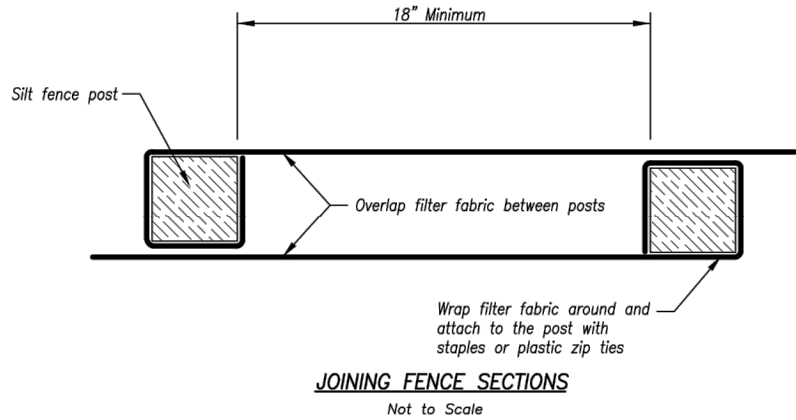
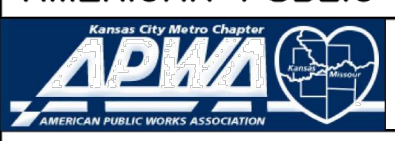


Figure A

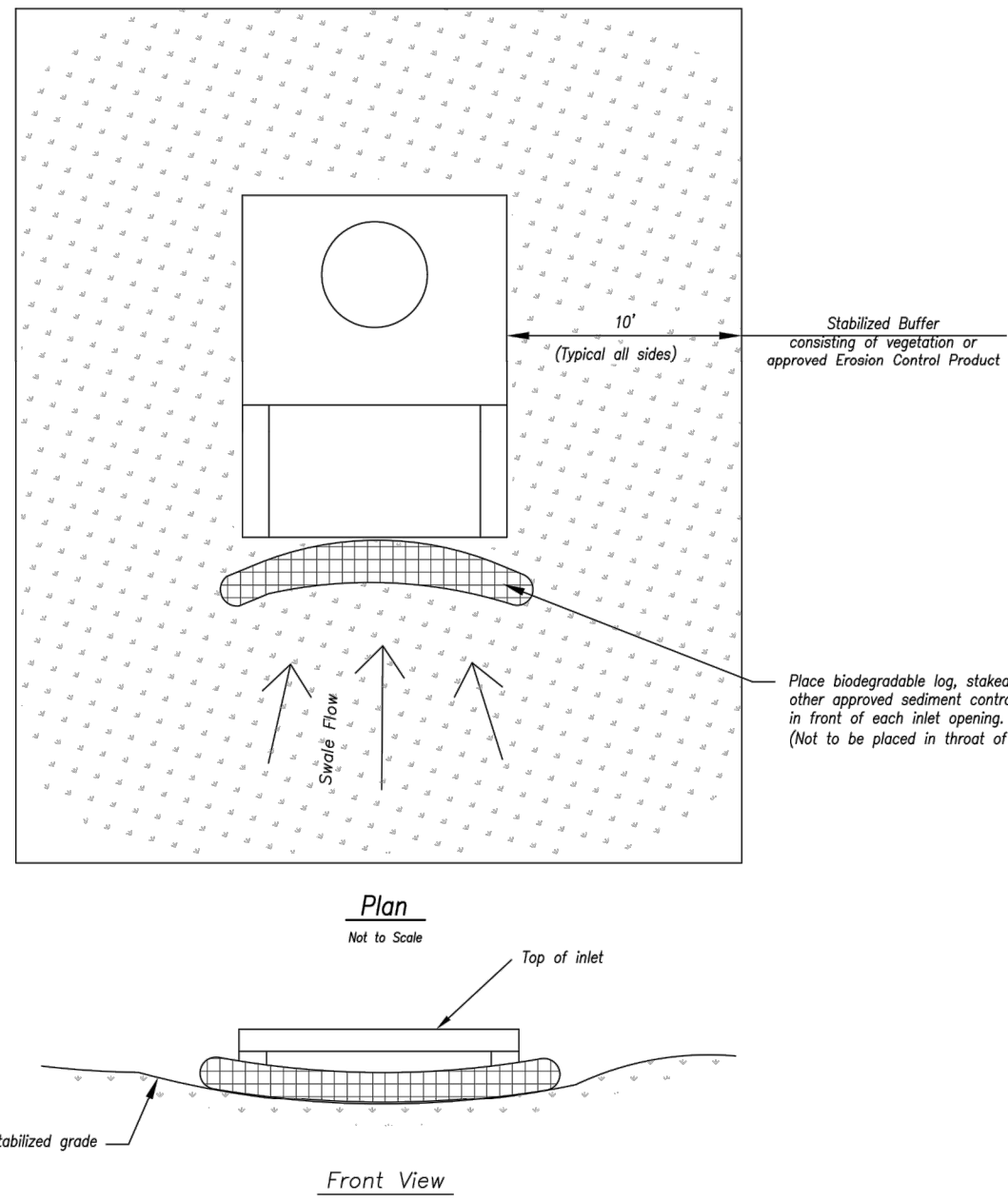
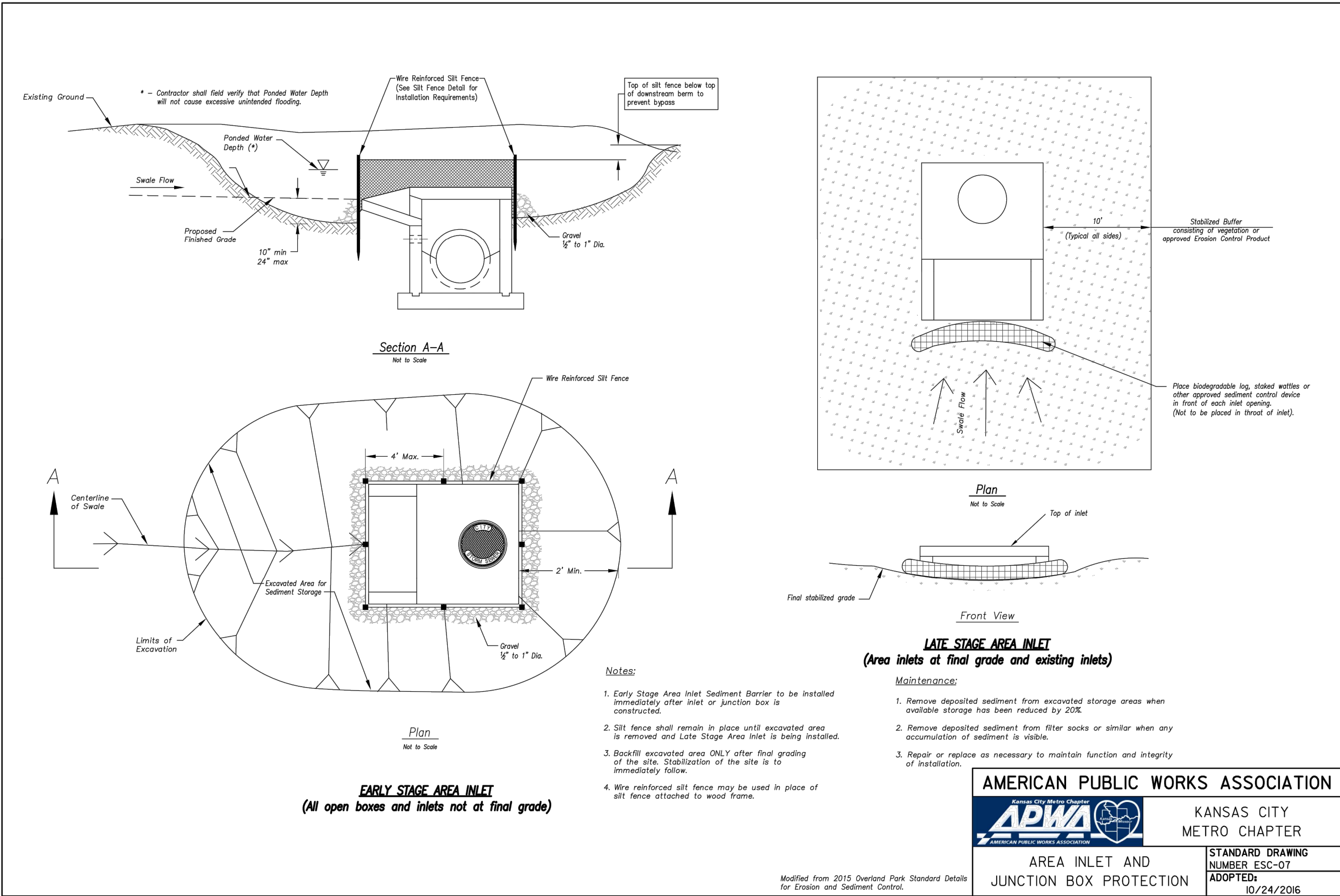
SILT FENCE LAYOUT

Not to Scale



AMERICAN PUBLIC WORKS ASSOCIATION	
	KANSAS CITY METRO CHAPTER
SILT FENCE	STANDARD DRAWING NUMBER ESC-03 ADOPTED: 10/24/2016


Modified from 2015 Overland Park Standard Details for Erosion and Sediment Control.



LATE STAGE AREA INLET
(Area inlets at final grade and existing inlets)

Maintenance:

1. Early Stage Area Inlet Sediment Barrier to be installed immediately after inlet or junction box is constructed.
2. Silt fence shall remain in place until excavated area is removed and Late Stage Area Inlet is being installed.
3. Backfill excavated area ONLY after final grading of the site. Stabilization of the site is to immediately follow.
4. Wire reinforced silt fence may be used in place of silt fence attached to wood frame.

AMERICAN PUBLIC WORKS ASSOCIATION	
	KANSAS CITY METRO CHAPTER
AREA INLET AND JUNCTION BOX PROTECTION	STANDARD DRAWING NUMBER ESC-07 ADOPTED: 10/24/2016

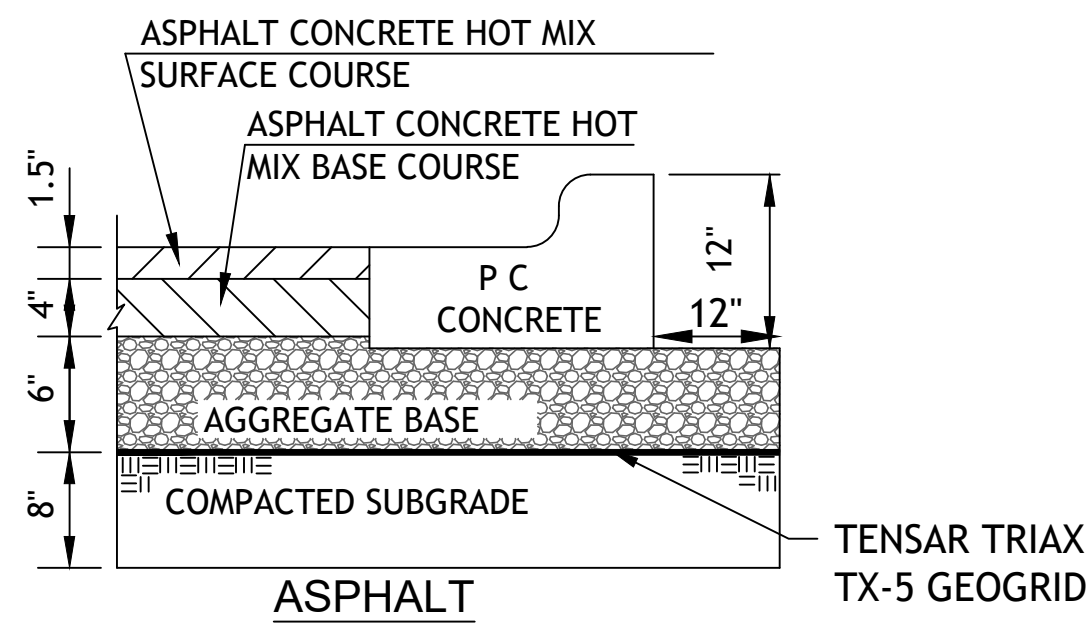
Modified from 2015 Overland Park Standard Details for Erosion and Sediment Control.

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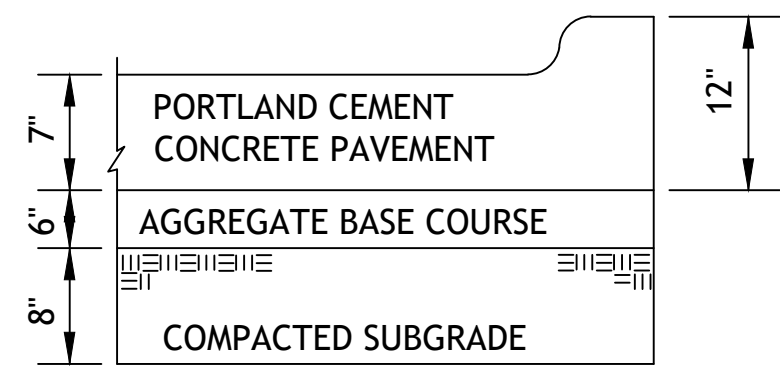


Revisions
2-18-21 CITY COMMENTS

STREETS OF W. PRYOR
LOT 2
LEES SUMMITT, MO.



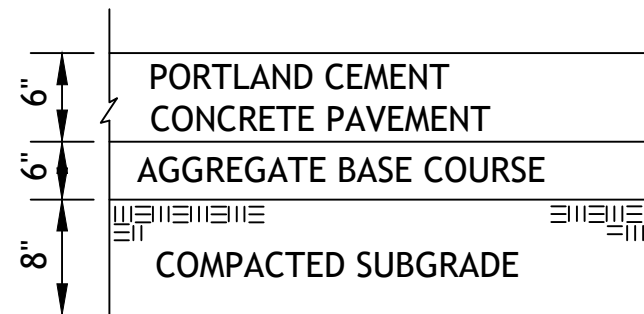
REGULAR DUTY PAVING PV1



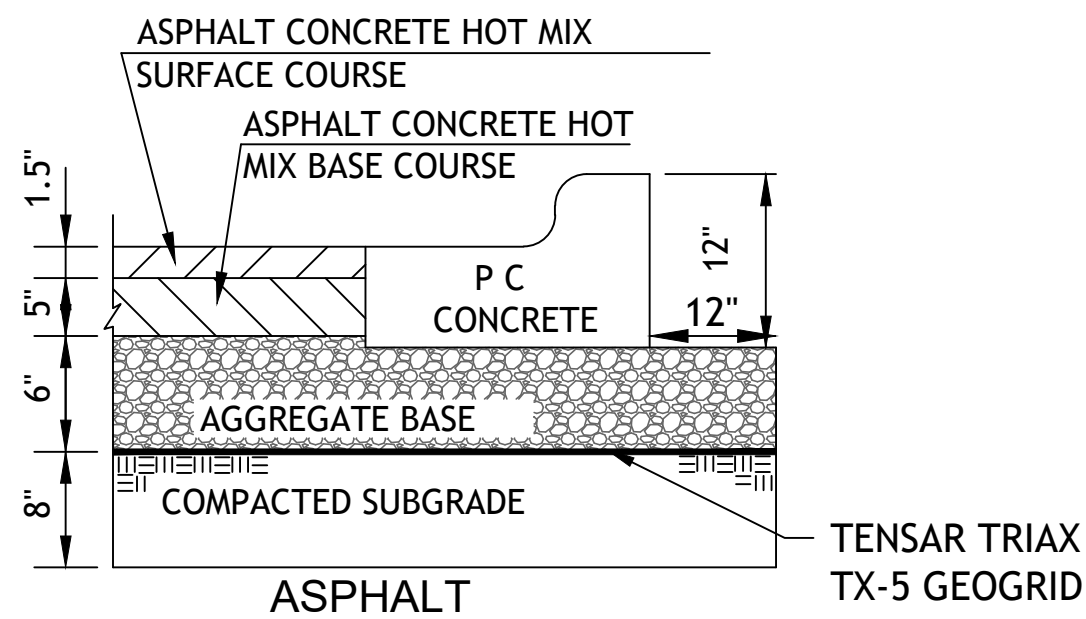
HEAVY DUTY CONCRETE PV3

1. FLEXIBLE PAVEMENT SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MISSOURI DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS.

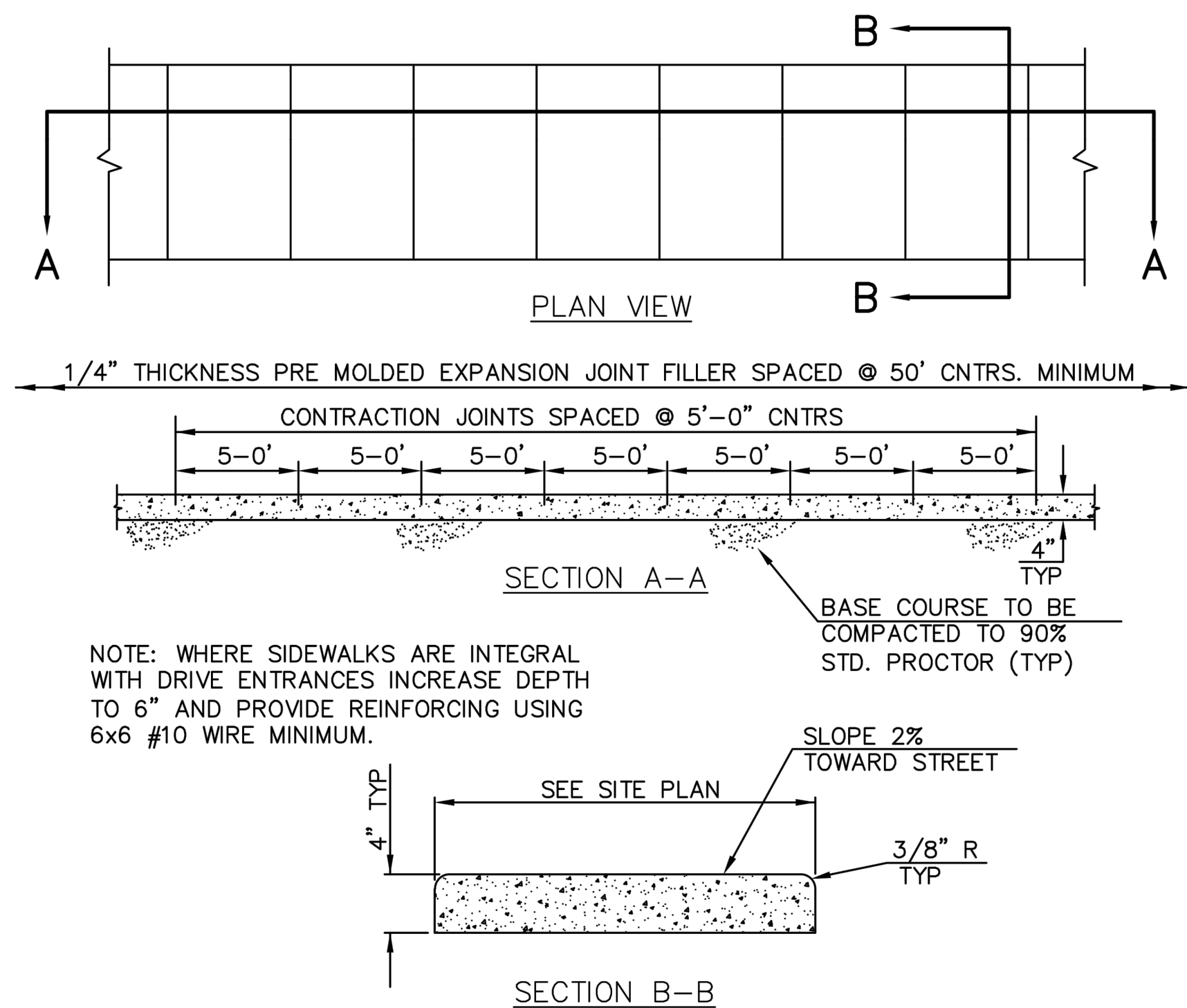
ASPHALT SURFACE COURSE - APWA TYPE 3-01
ASPHALT BASE COURSE - APWA TYPE 2-01
AGGREGATE BASE MoDOT TYPE 5 OR EQUIVALENT
2. PORTLAND CEMENT CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI AT 28 DAYS WITH 6% ENTRAINED AIR $\pm 2\%$ AND SHALL MEET OR EXCEED THE SPECIFICATIONS SET FORTH IN THE LATEST EDITION OF THE MISSOURI DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS.



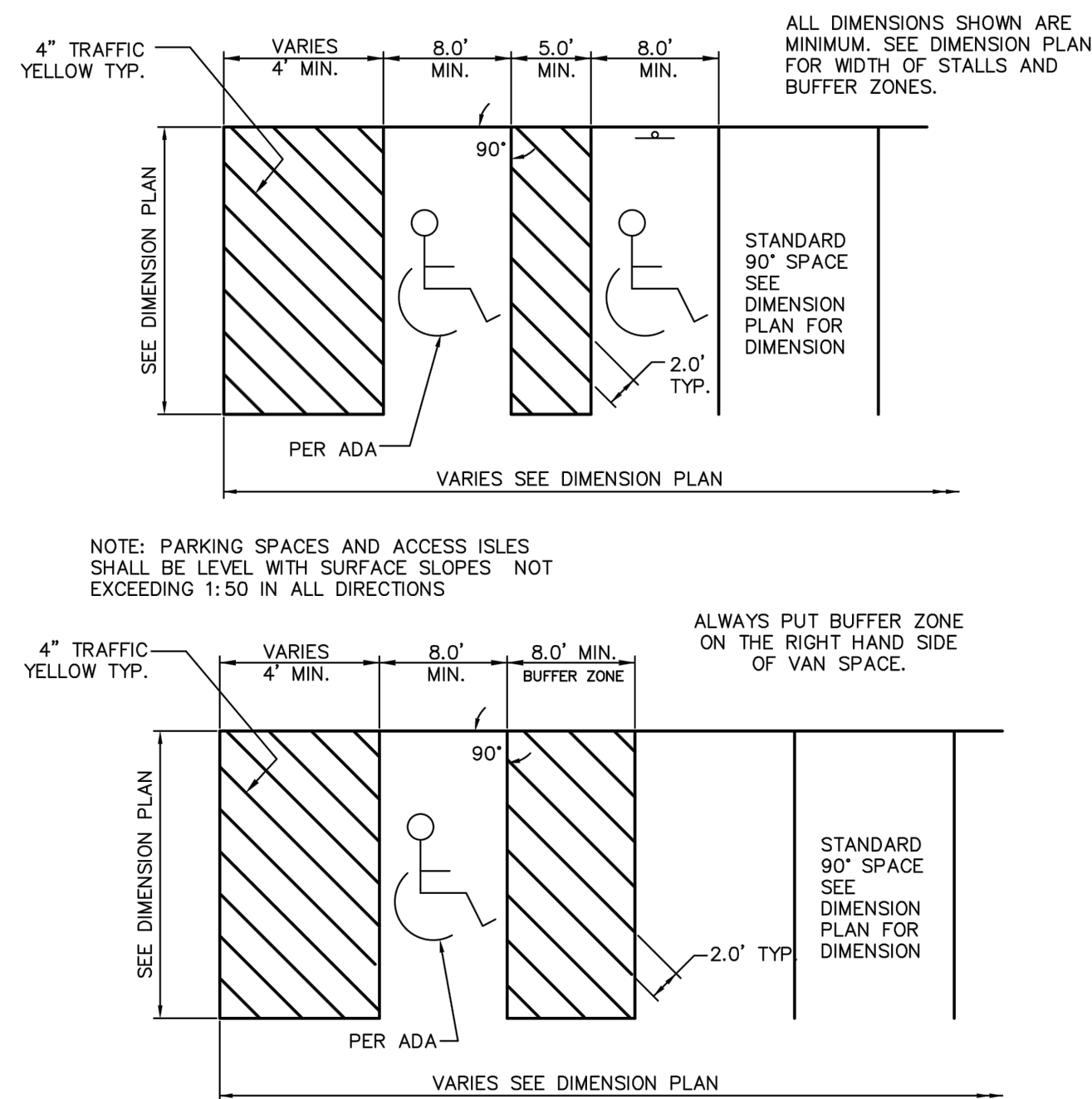
TRAIL PAVING TP



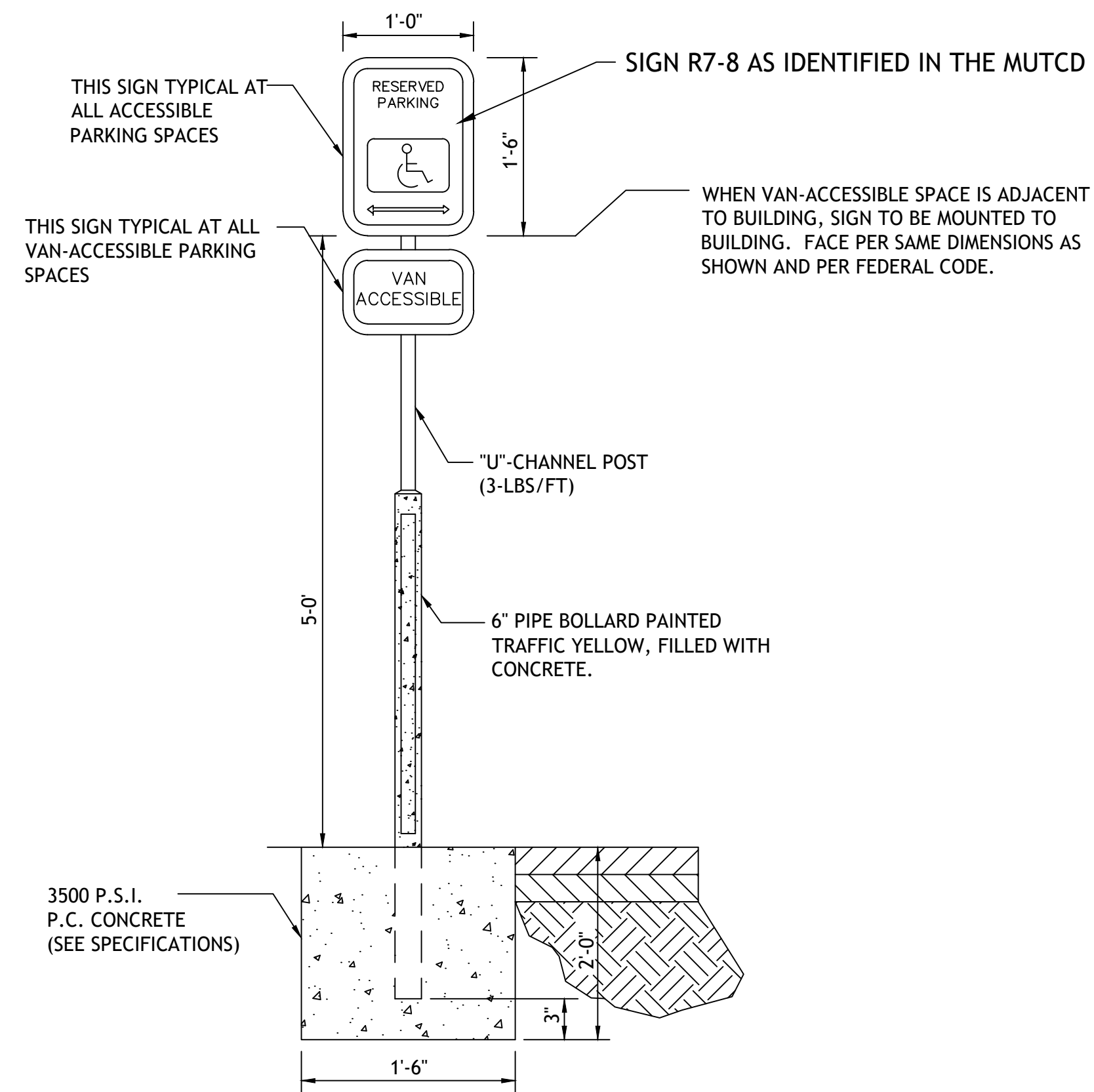
HEAVY DUTY ASPHALT PAVING PV2



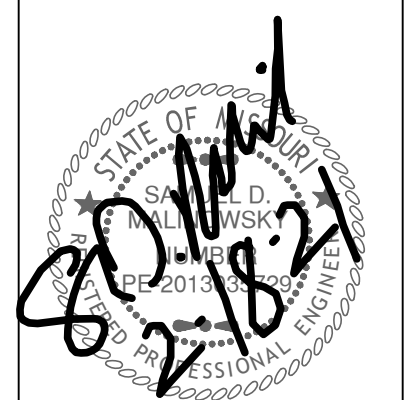
CONCRETE SIDEWALK CW2

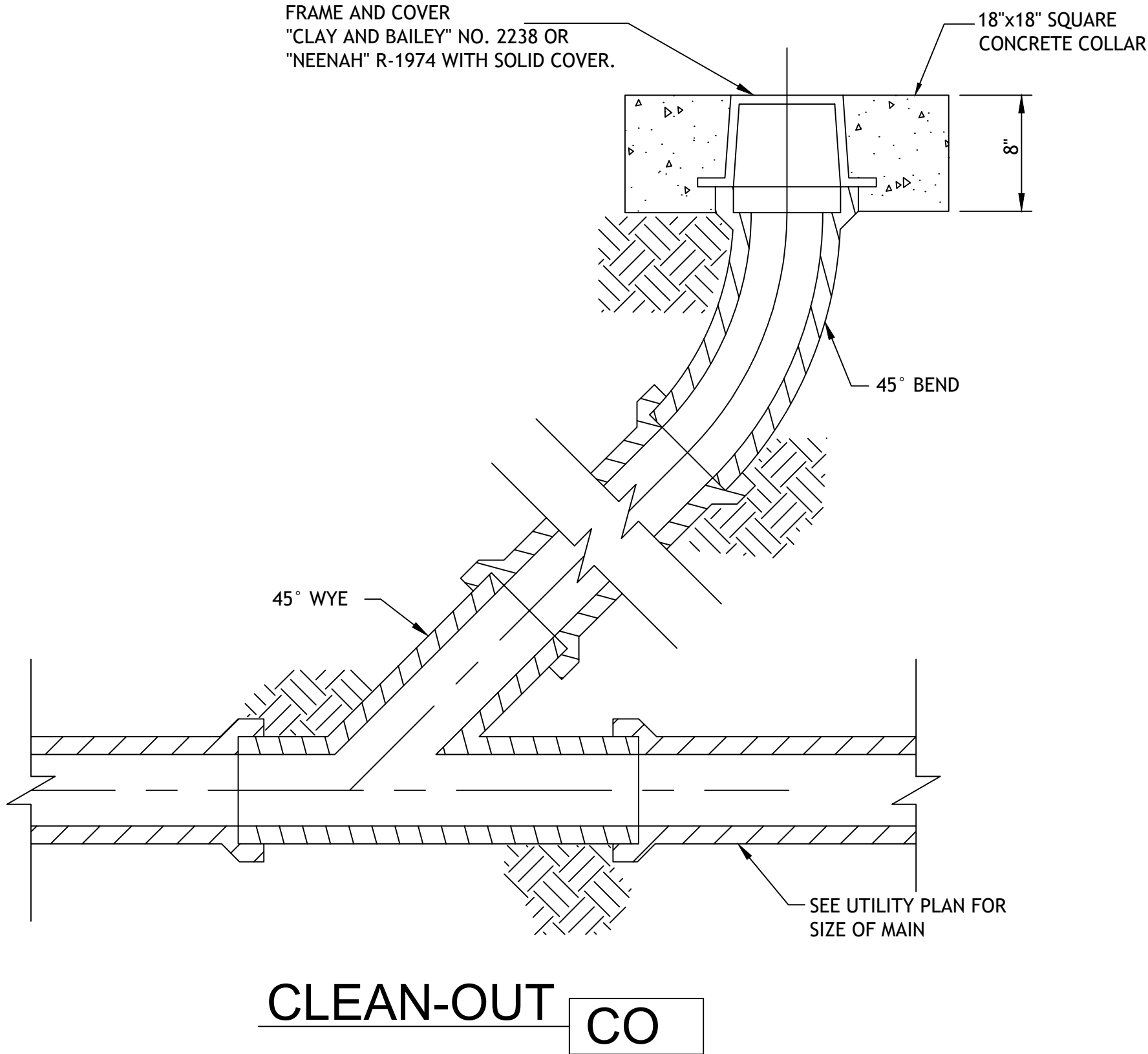
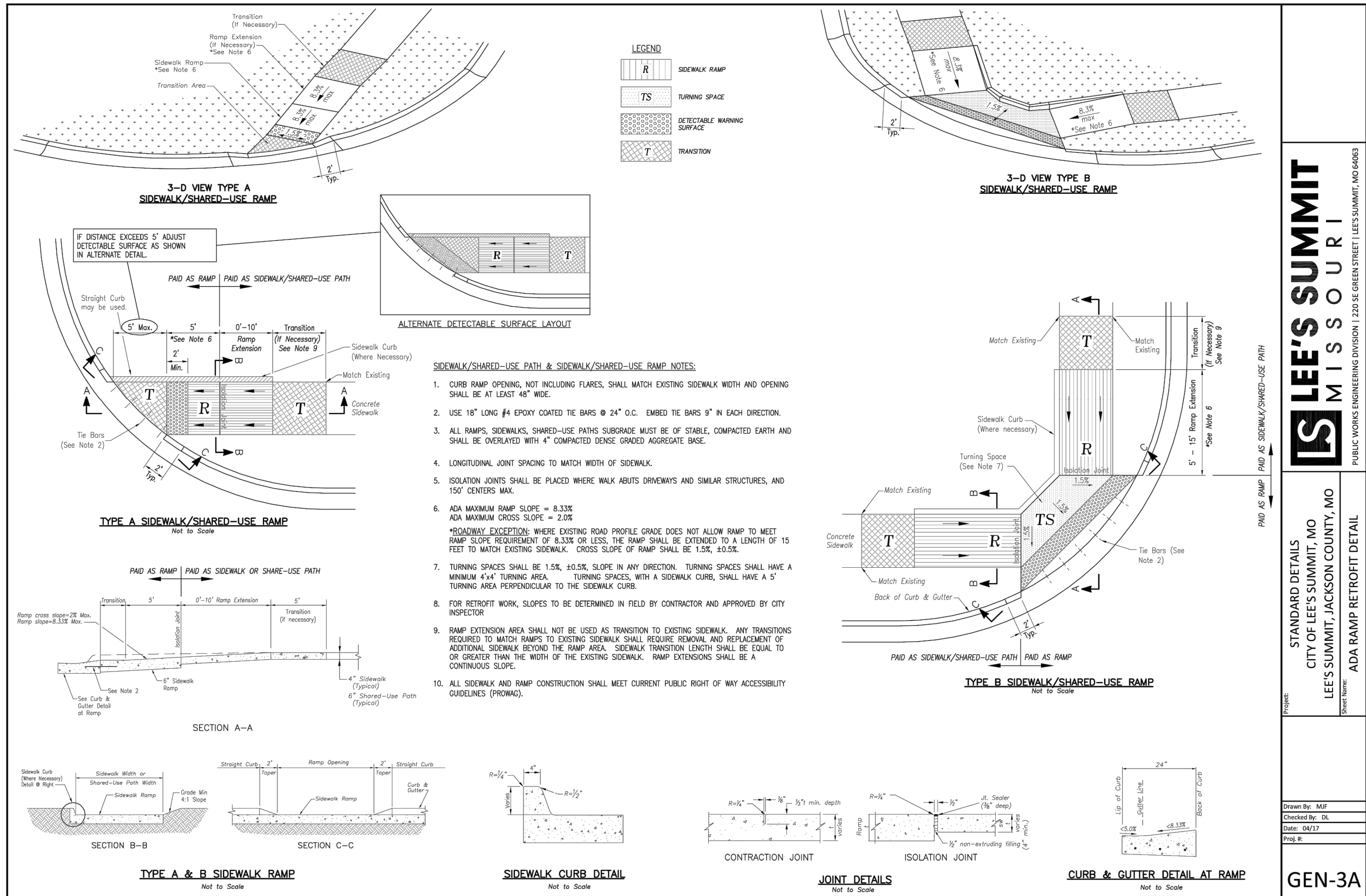
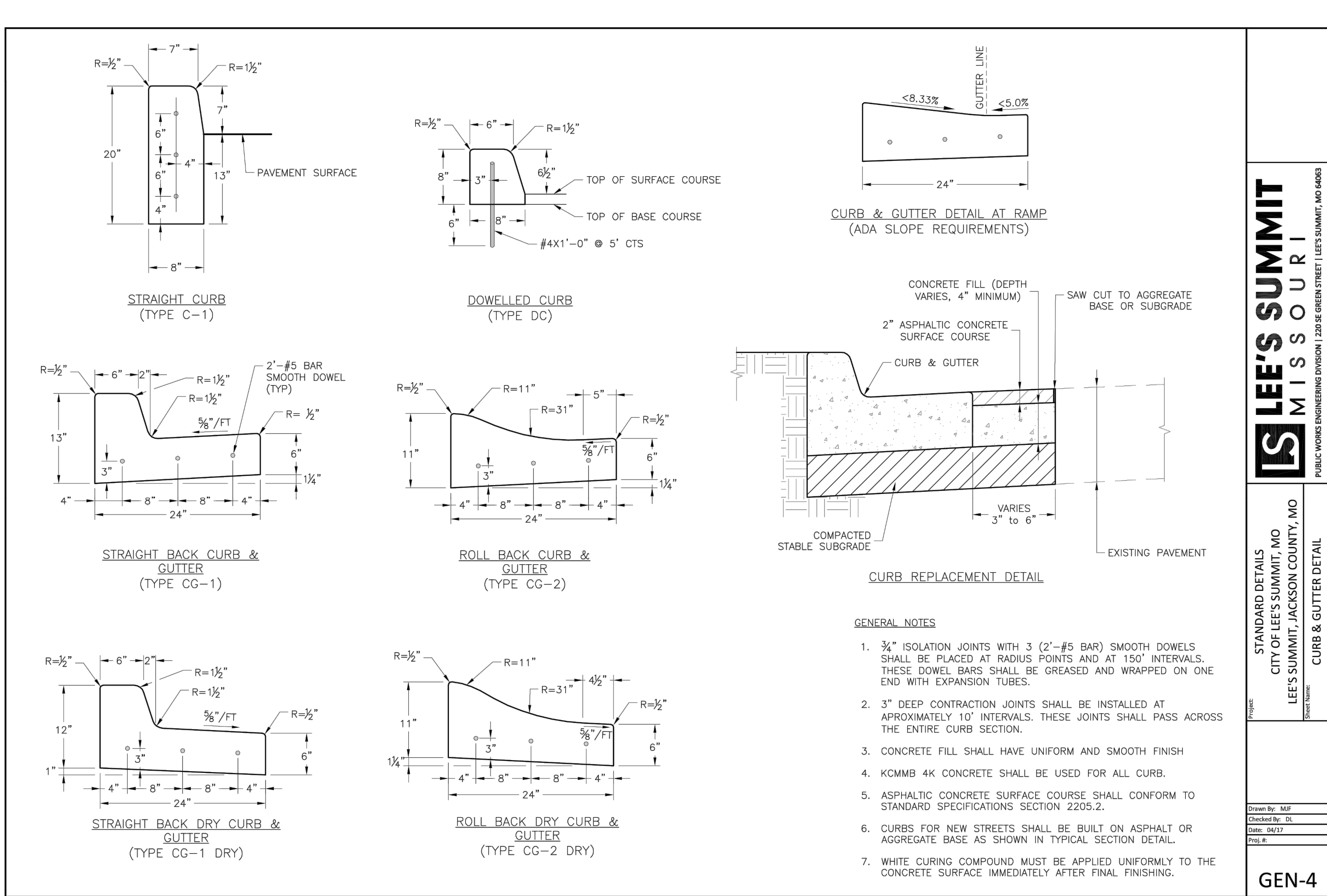
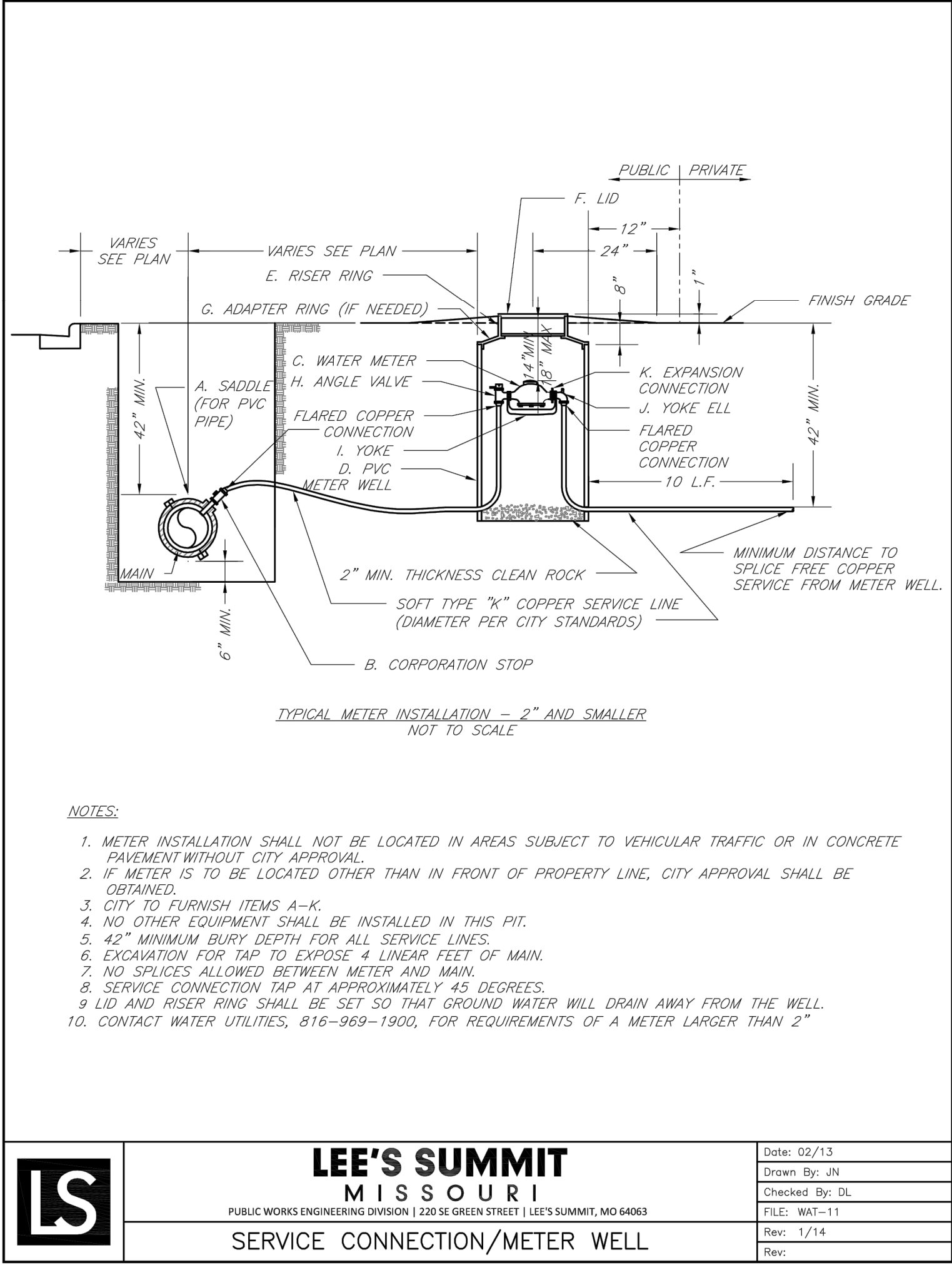
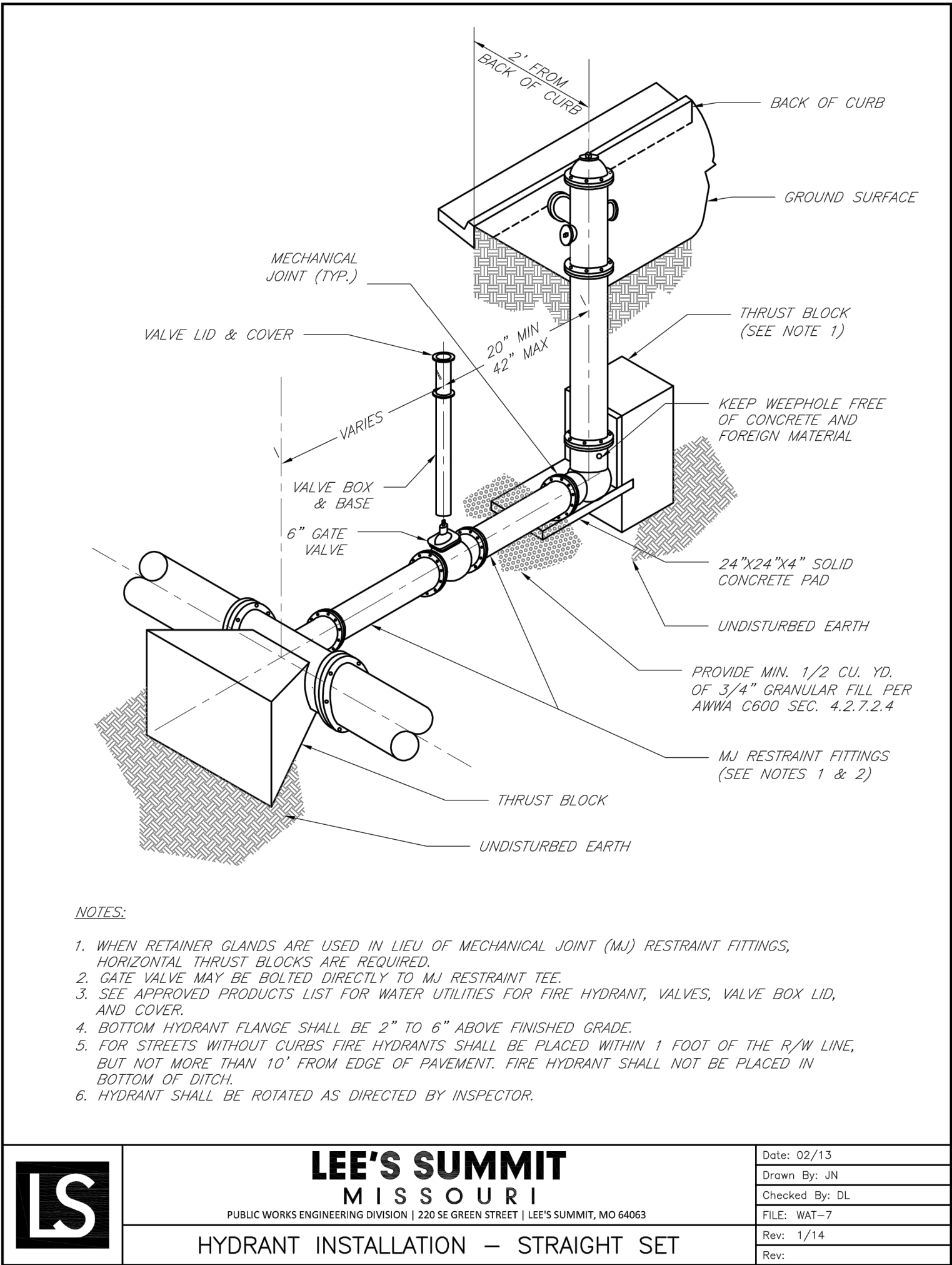


90° ACCESSIBLE & VAN ACCESSIBLE SPACE STRIPING PK1



ACCESSIBLE PARKING SIGN PK2





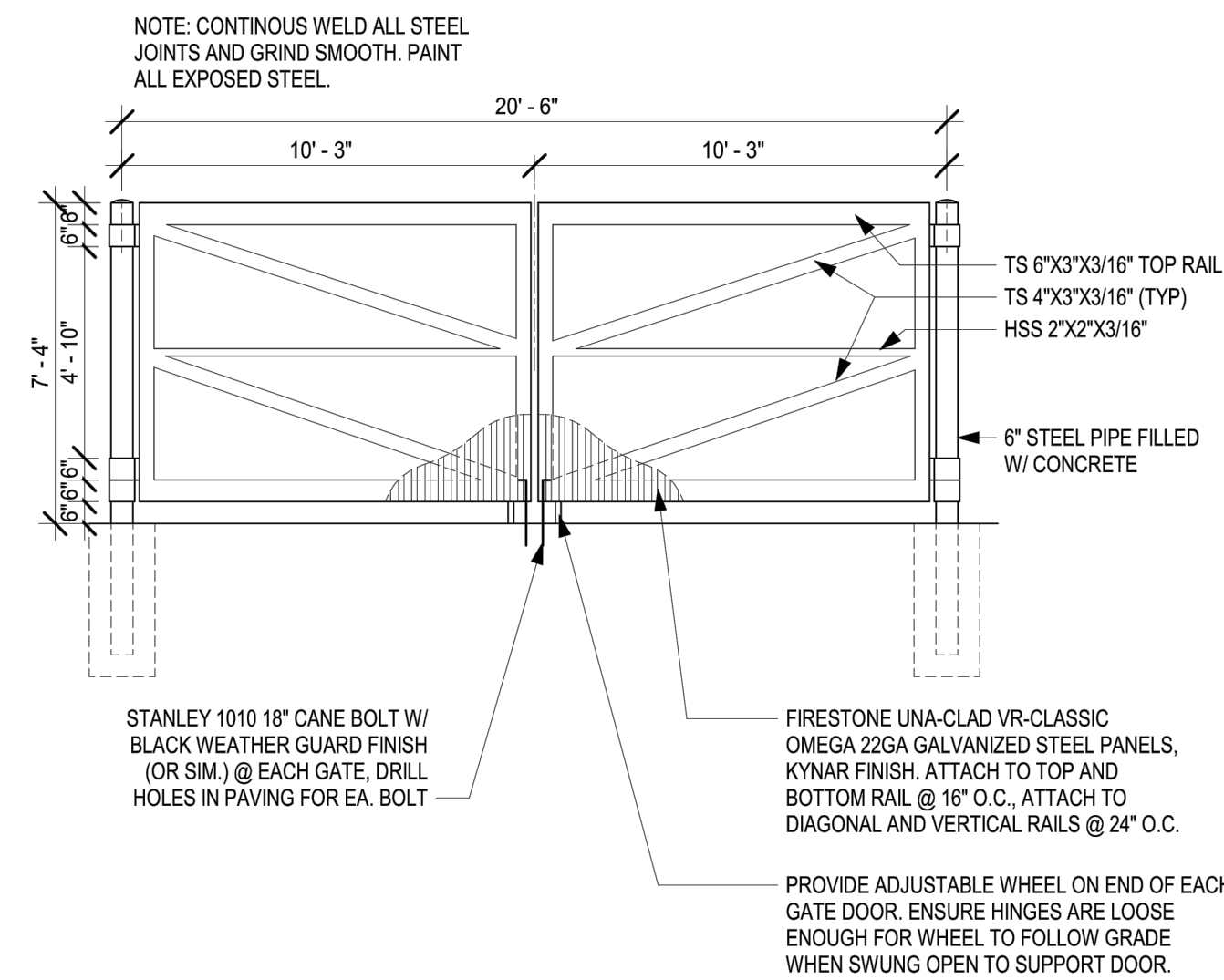
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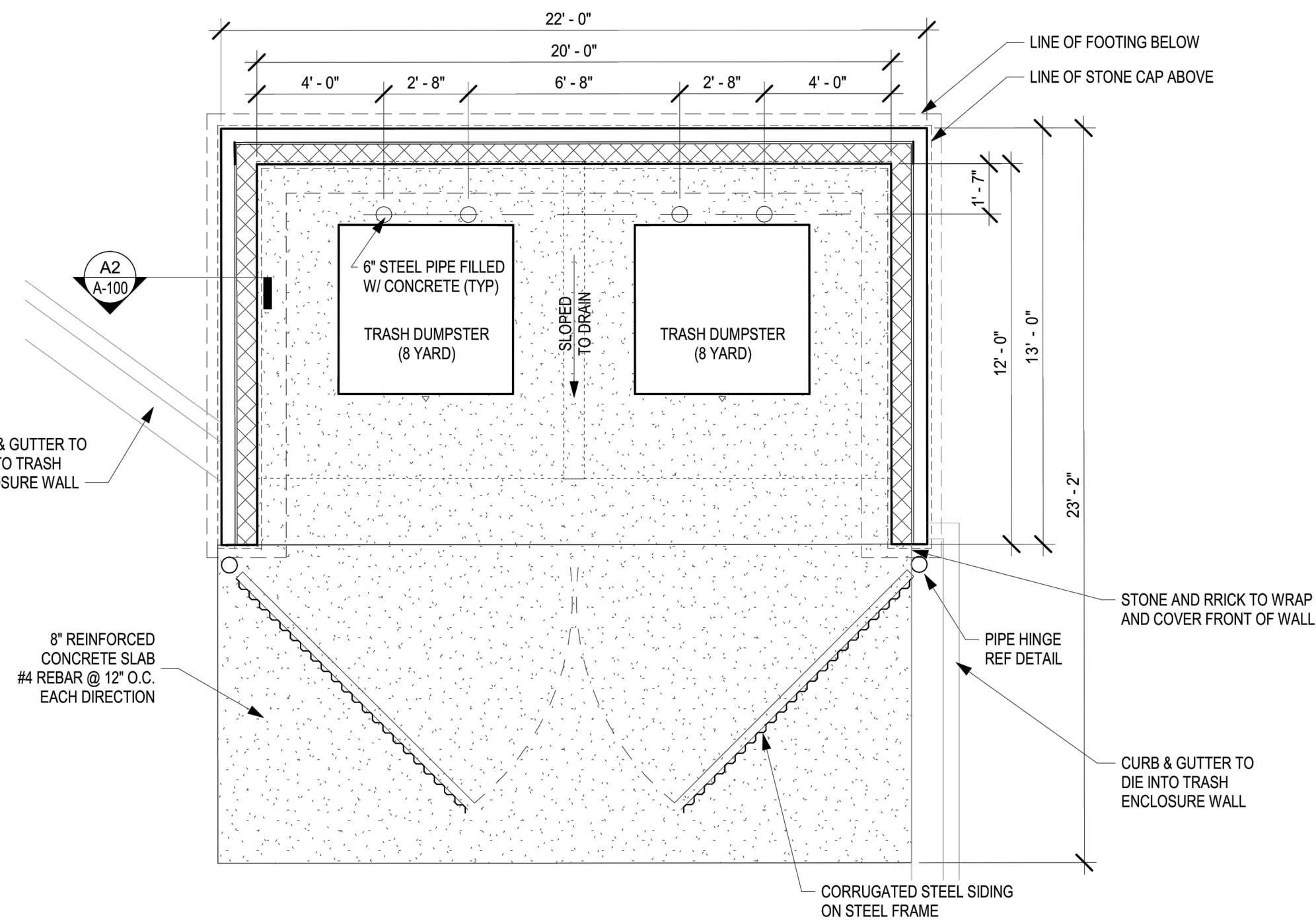
Revisions
2-18-21 CITY COMMENTS

STREETS OF W. PRYOR
LOT 2
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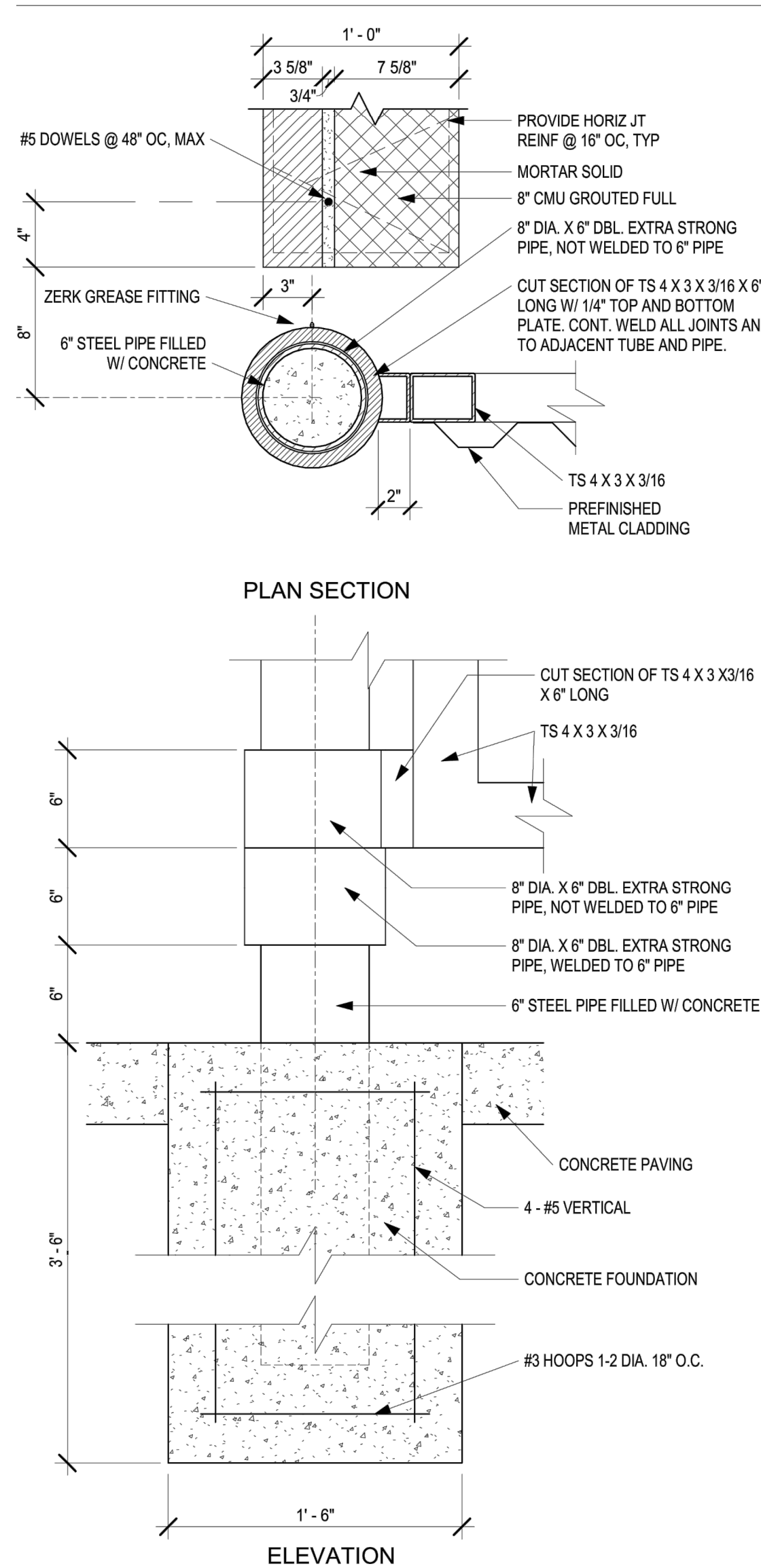
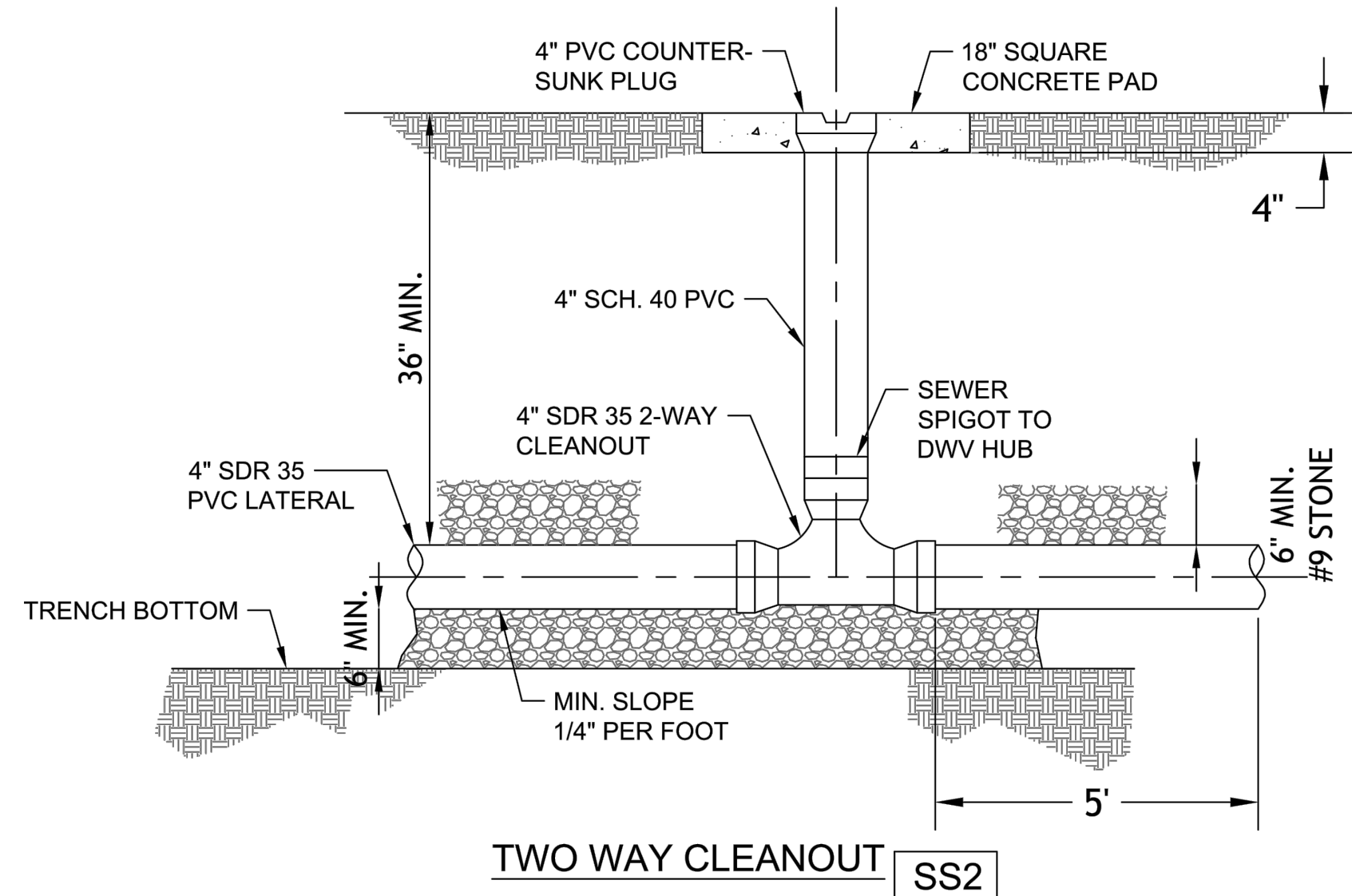
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permit
11 JANUARY 2021



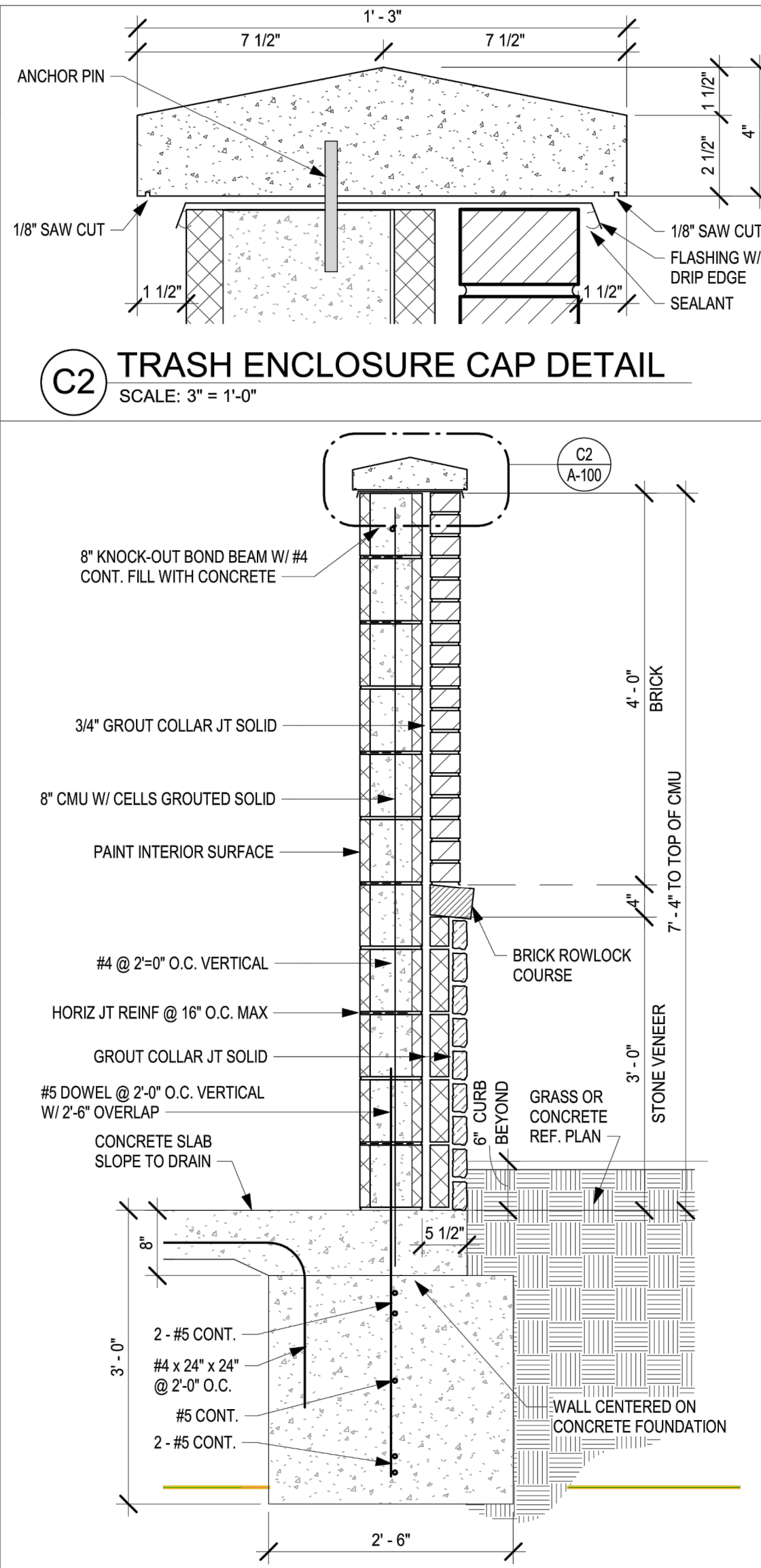
C1 TRASH ENCLOSURE GATE ELEVATION
SCALE: 1/4" = 1'-0"



TRASH ENCLOSURE

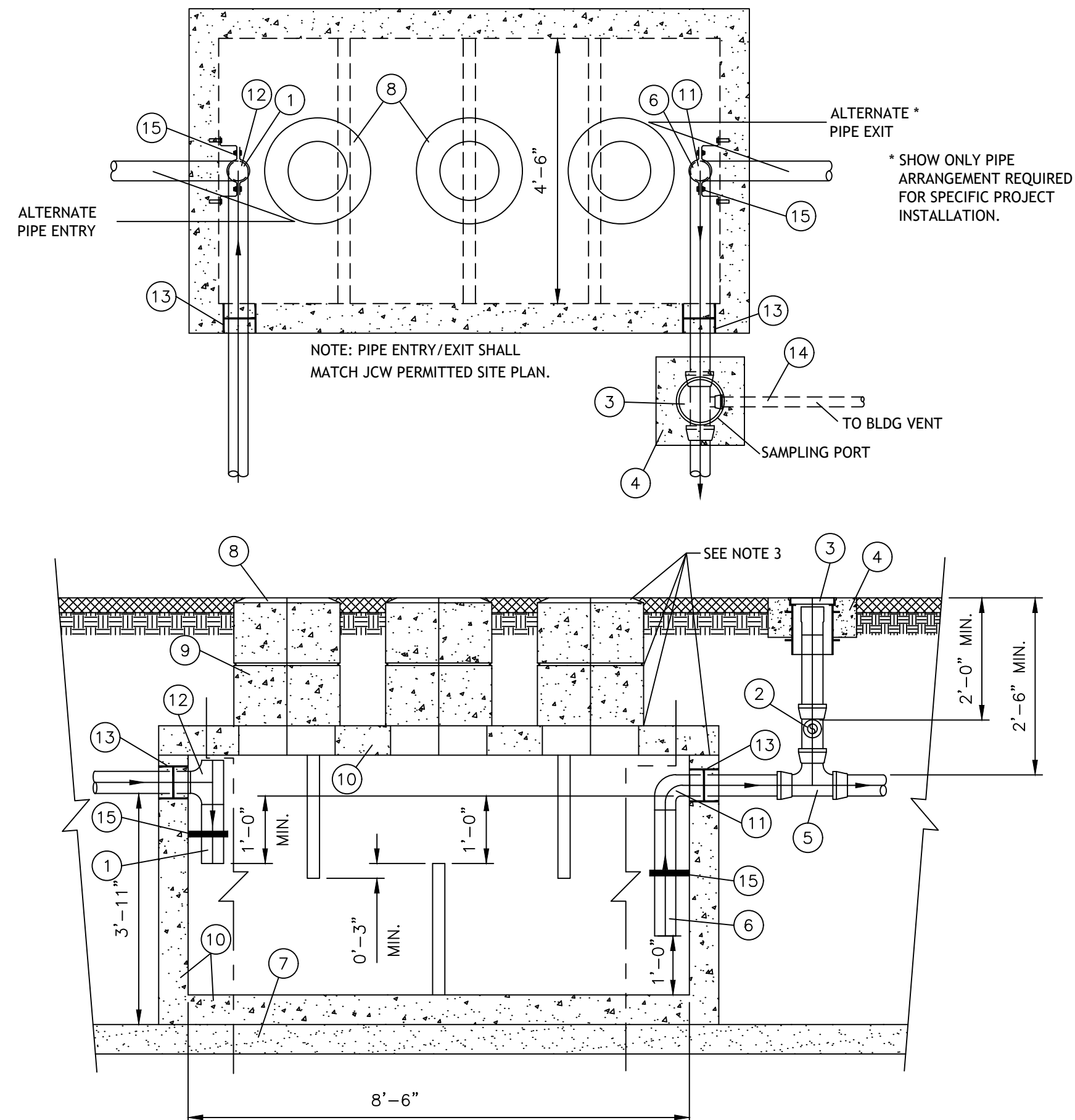


A1 ENCLOSURE GATE HINGE DETAIL
SCALE: 1 1/2" = 1'-0"



A2 TRASH ENCLOSURE WALL SECTION
SCALE: 3/4" = 1'-0"

NOTES:
BRICK: YANKEE HILL DARK IRON SPOT
MORTAR: SPEC MIX SM770 (SUBMIT TO OWNER FOR APPROVAL)
STONE: GLEN GEARY GLENN RIDGE BLACK/GRANITE



GREASE INTERCEPTOR

GI

2/18/2021

Grease Interceptor Schedule.png

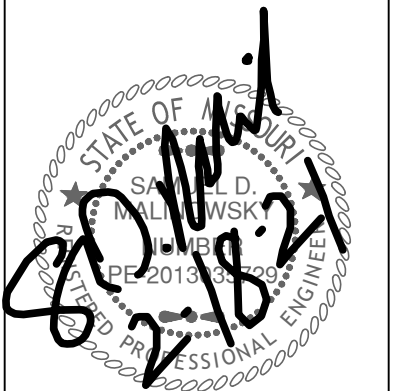
GREASE INTERCEPTOR SCHEDULE										
MANUFACTURER	MODEL NO.	CAPACITY US gal	FULL WT. (LBS)	LENGTH L	WIDTH W	HEIGHT H	INLET FL1	OUTLET FL2	NOTES	
OLD CASTLE	G-1500	1500	20255	60	80"	84"	26"	26"	1	

NOTES:
1. REINFORCED TANK WITH MESH THROUGHOUT. REINFORCED LID FOR DRIVE AREA. 4000 LB CONCRETE.

ITEM	DESCRIPTION
1	4" ABS INLET PIPE*
2	4"x4"x2" TEE WITH 2" PIPE TO BUILDING VENT*
3	THREADED C/O CAP JOSAM 58860 OR APP EQUAL**
4	CONCRETE PAD
5	4"x4"x4" TWO-WAY CLEANOUT TEE*
6	4" ABS OUTLET*
7	4" - 6" GRAVEL BEDDING
8	HEAVY-DUTY CAST IRON FRAME AND COVER ***
9	CONCRETE ADJUSTMENT RINGS
10	REINFORCE AS REQUIRED FOR SERVICE CONDITIONS
11	4" ABS 90° ELBOW*
12	4" ABS TEE*
13	A-LOK OR PRESS SEAL PSX PIPE/WALL CONNECTOR
14	2" VENT PIPE (IDENTIFY PIPE TYPE, CLASS & JOINT AS REQUIRED FOR PROJECT)
15	STAINLESS STEEL PIPE SUPPORT CLAMP ****

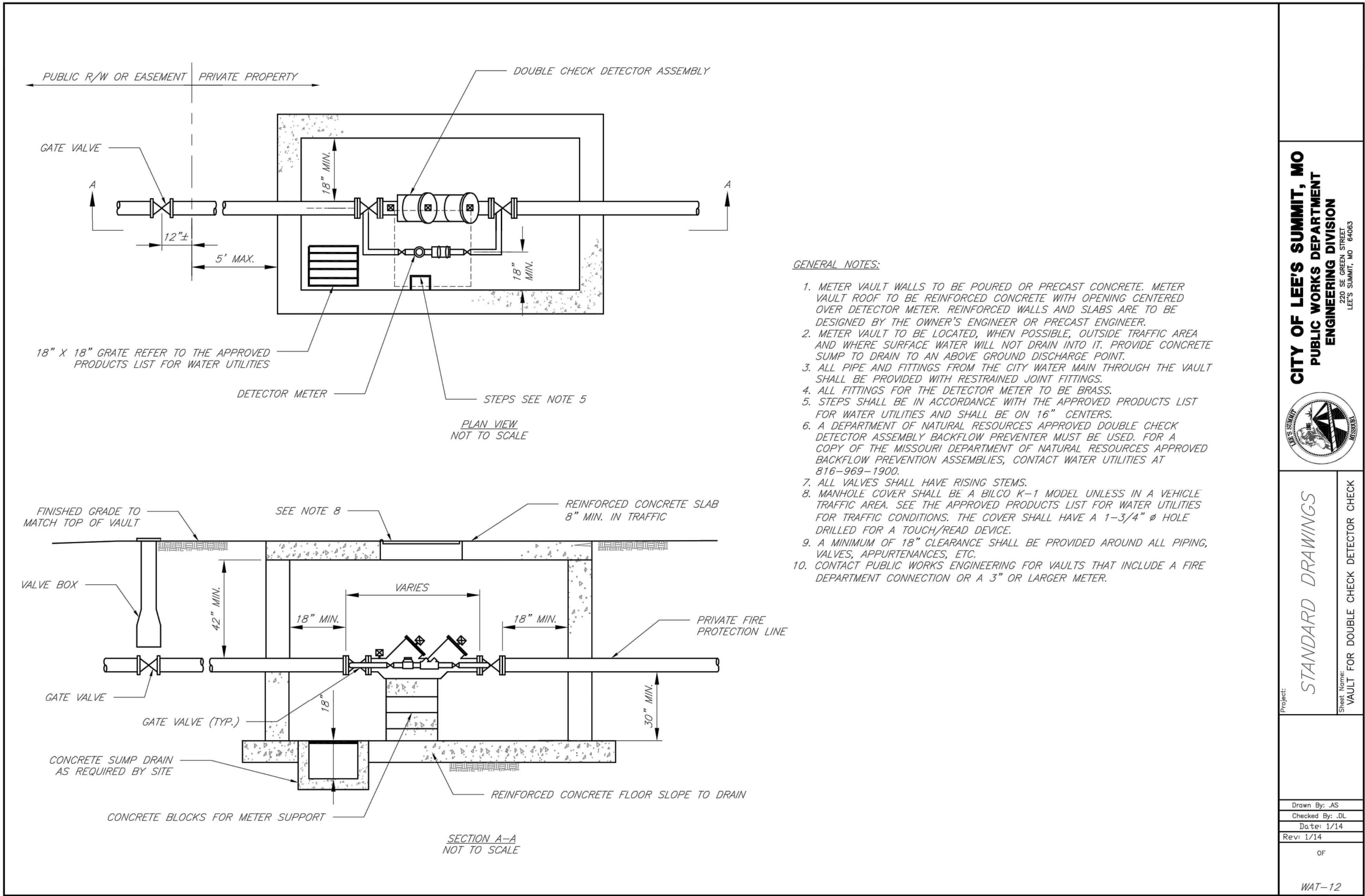
* 6" PIPE MAY BE SUBSTITUTED TO MATCH UPSTREAM PIPE DIAMETER.
** REFER TO CLEAN OUT DETAIL(S) ON STANDARD DETAIL SHEET.
*** CLAY & BAILEY 2008 BV OR EQUAL FROST PROOF COVERS OPTIONAL)
****FM STAINLESS FASTENERS #63 OR EQUAL. 1/2"x2-1/2" SS BRACKET W/ 1/2"x1-1/2" FULLY THREADED SS HEX BOLT WITH 1/2" SS WASHER AND 1/2"x1-3/4" SS ANCHORS. CLAMP TO BE FACTORY INSTALLED.

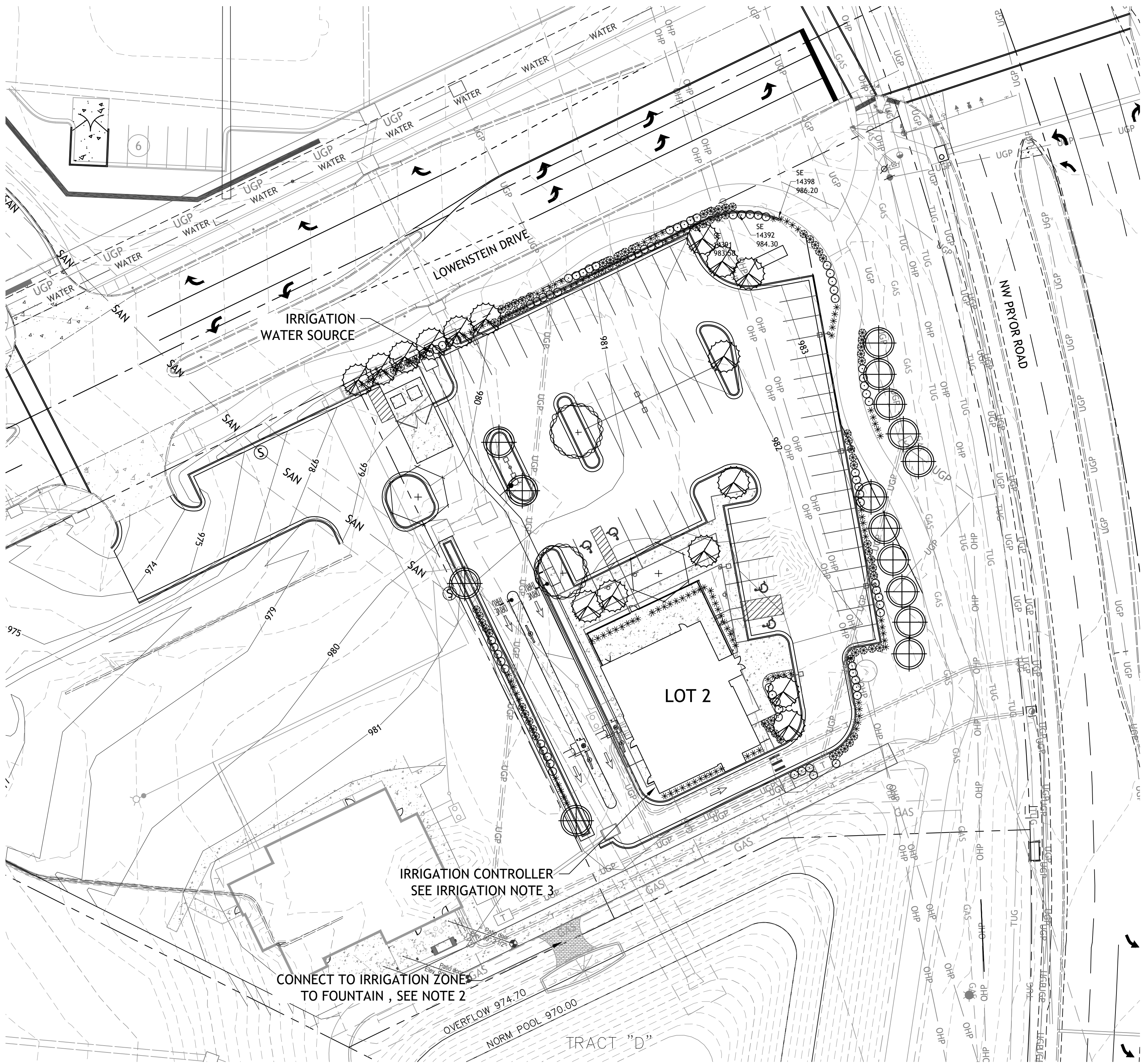
NOTES:
1. THREE COVERS AND RISERS SHOWN. TWO COVERS AND RISERS CENTERED OVER UPPER TWO BAFFLES ARE OPTIONAL.
2. INTERCEPTOR SIZE - 1000 GAL MINIMUM (REVISE THE SIZE DIMENSIONS, AS NEEDED, FOR LARGER CAPACITY INTERCEPTORS)
3. ALL JOINTS AT THE FRAME & COVER*, CONCRETE ADJUSTMENT RINGS AND THE LID OF THE INTERCEPTOR SHALL BE SEALED WITH A MINIMUM OF TWO (2) ROWS OF 3/4 TO 1 INCH PREFORMED BUTYL JOINT SEALER AND A 6" BUTYL JOINT WRAP AROUND SLEEVE (EZ WRAP). THE ENDS OF THE 6" EZ WRAP SHALL OVERLAP BY 12". PIPING ON THE INTERIOR OF THE INTERCEPTOR SHALL BE ABS WITH SOLVENT-CEMENTED JOINTS.
4. GREASE INTERCEPTOR INCLUDING ADJUSTMENT RINGS AND CASTINGS SHALL BE VACUUM TESTED FOR WATER TIGHTNESS AFTER THE BACKFILL OPERATIONS HAVE BEEN COMPLETED IN ACCORDANCE WITH JCW TECHNICAL SPECIFICATIONS. A VACUUM OF 10 INCHES OF MERCURY SHALL BE DRAWN AND WITH THE VACUUM PUMP SHUT OFF THE MERCURY SHALL NOT DROP BELOW 9 INCHES WITHIN 1 MINUTE OR BELOW 5 INCHES WITHIN 5 MINUTES.



Revisions
2-18-21 CITY COMMENTS

STREETS OF W. PRYOR
LOT 2
LEES SUMMITT, MO.





LOT 2 SITE DATA:

LOWENSTEIN	277'
REQUIRED:	
STREET TREES 1/30'	= 9
PARKING LOT SHRUBS 12/40'	= 83

PROVIDED:	
SHADE TREES	= 0
ORNAMENTALS	= 9
SHRUBS	= 83

PRYOR ROAD	333'
REQUIRED:	
STREET TREES 1/30'	= 11
PARKING LOT SHRUBS 12/40'	= 100

PROVIDED:	
SHADE TREES	= 0 (OVERHEAD POWER LINES)
ORNAMENTALS	= 11
SHRUBS	= 100

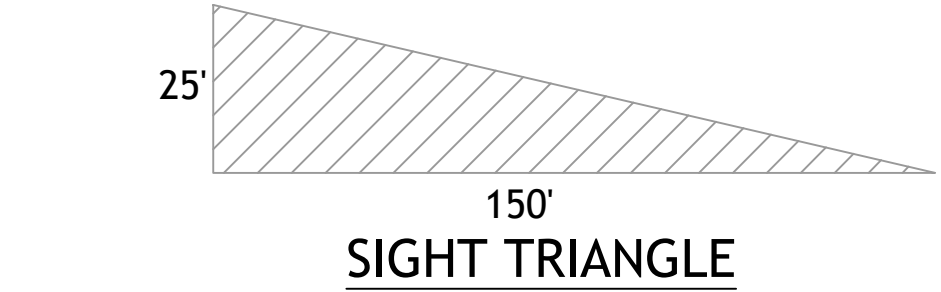
INTERIOR PARKING	
TOTAL PARKING SURFACE =	31,269 sf
REQUIRED	
5% LANDSCAPE AREA	= 1,563 sf
PROVIDED	= 1,585 sf

OPEN SPACE TREES	
TOTAL SITE	1.63ac (71,216sf)
BUILDING AREA	3,200sf
OPEN SPACE	68,016sf

REQUIRED	
1 / 5,000sf	= 14

PROVIDED	
SHADE TREES	= 4
ORNAMENTALS	= 11

OPEN SPACE SHRUBS	
REQUIRED	
2 / 5,000sf	= 27
PROVIDED	= 88



LANDSCAPE NOTES
CONTRACTOR REQUIRED TO LOCATE ALL UTILITIES BEFORE INSTALLATION TO BEGIN.

Contractor shall verify all landscape material quantities and shall report any discrepancies to the Landscape Architect prior to installation.

No plant material substitutions are allowed without Landscape Architect or Owners approval.

Contractor shall guarantee all landscape work and plant material for a period of one year from date of acceptance of the work by the Owner. Any plant material which dies during the one year guarantee period shall be replaced by the contractor during normal planting seasons.

Contractor shall be responsible for maintenance of the plants until completion of the job and acceptance by the Owner.

All plant material shall be specimen quality stock as determined in the "American Standards For Nursery Stock" published by The American Association of Nurseryman, free of plant diseases and pest, of typical growth of the species and having a healthy, normal root system.

Sizes indicated on the plant list are the minimum, acceptable size. In no case will sizes less than specified be accepted.

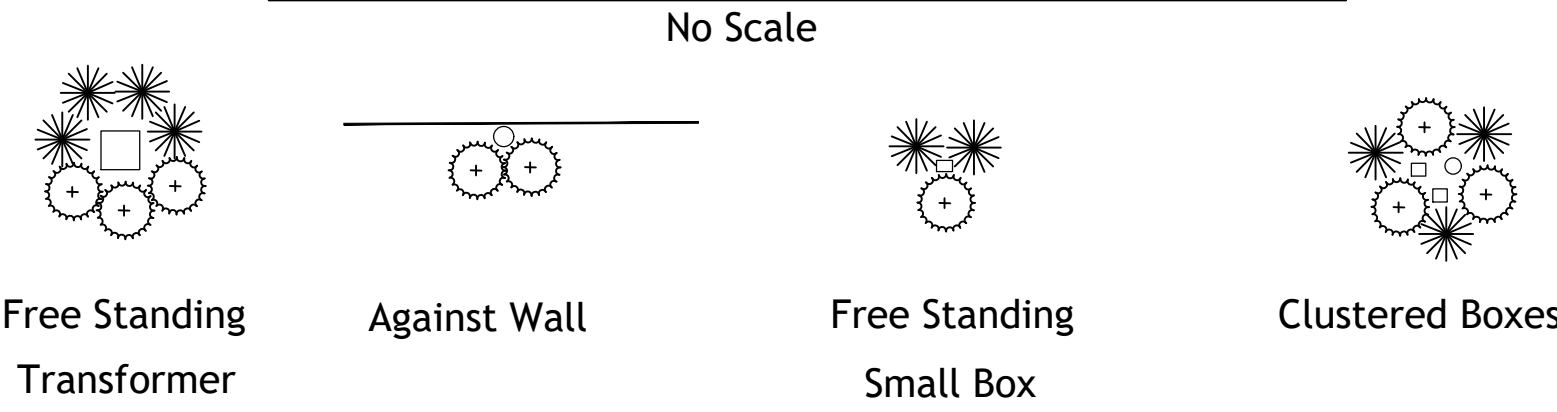
All shrub beds within lawn areas to receive a manicured edge.

All shrub beds shall be mulched with 3" of shredded cedar mulch.

All areas to be fertilized & sodded with a Turf-Type-Tall Fescue seed blend.

- IRRIGATION NOTE
- Successful landscape contractor shall be responsible for design that complies with minimum irrigation requirements, and installation of an irrigation system. Irrigation system to be approved by the owner before starting any installation.
 - Irrigation system shall provide a constant on on zone for fountain
 - Irrigation controller to be mounted on outside wall of building. Provide temporary support prior to building construction.

Typical Utility Box Screening Details



UTILITY BOXES SHALL BE CLUSTERED AS MUCH AS POSSIBLE

Shrub List						
Symbol	Quantity	Common Name	Botanical Name	Size	Condition	Spacing
	75	Seagreen Juniper	Juniperus Chinensis 'Seagreen'	18"-24"sp.	Cont.	4'o.c.
	80	Dwarf Winged Euonymus	Euonymus Alatus 'Compactus'	18"-24"sp.	Cont.	4'o.c.
	118	Morning Light Maiden Grass	Miscanthos Sinensis 'Morning Light'	18"-24"sp.	Cont.	4'o.c.

Tree List						
Symbol	Quantity	Common Name	Botanical Name	Size	Condition	Spacing
	2	October Glory Maple	Acer Rubrum 'October Glory'	3" cal	BB	As Shown
	2	Skyline Honeylocust	Gleditsia Triacanthos 'Skyline'	3" cal	BB	As Shown
	16	Golden Raintree	Koelreuteria Paniculata	3"cal	BB	As Shown
	15	Golden Raintree	Koelreuteria Paniculata	3"cal	BB	As Shown

