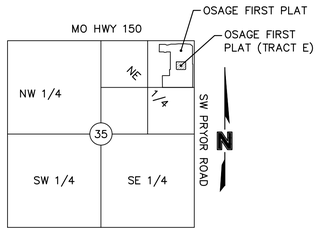
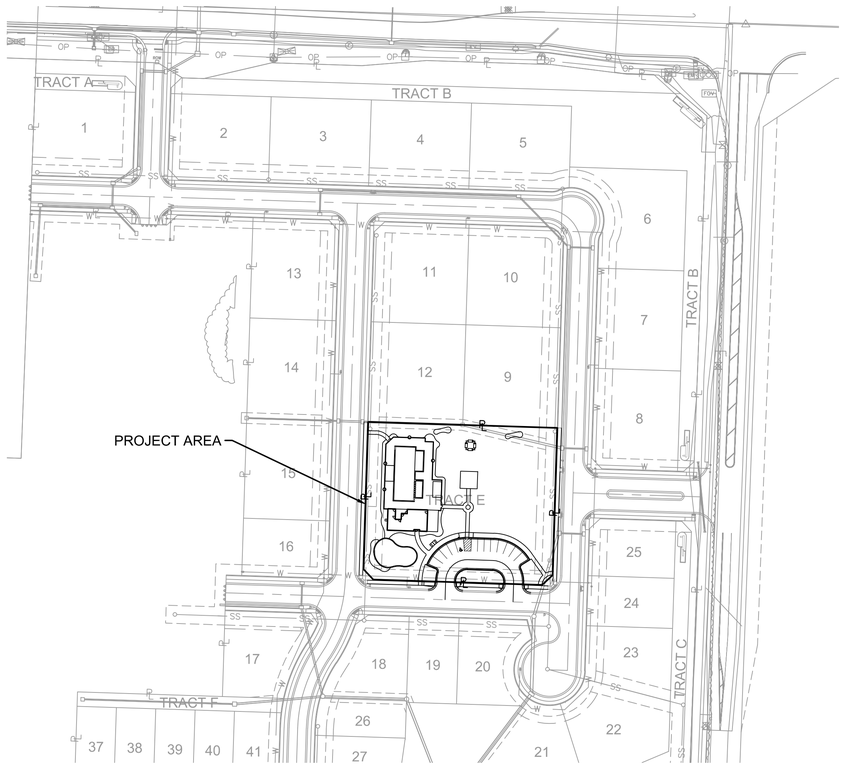
OSAGE CLUBHOUSE
FINAL DEVELOPMENT PLAN

NE 1/4 SECTION 35, TOWNSHIP 47 N, RANGE 32 W.
IN LEE'S SUMMIT, JACKSON COUNTY, MISSOURI



LOCATION MAP
SEC. 35, TWP. 47N., RGE. 32W.
(N.T.S.)



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PROJECT TEAM & UTILITY CONTACT LIST

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NORTH KANSAS CITY, MO 64116
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UTILITY SERVICE NUMBERS
NAME: LEE'S SUMMIT PUBLIC WORKS
PHONE: 816-969-1800

NAME: LEE'S SUMMIT WATER & SERVICES DEPARTMENT
PHONE: 816-969-1940

NAME: SPIRE (MGE)
PHONE: 314-342-0500

NAME: AT&T
PHONE: 800-286-8313

NAME: EVERGY
PHONE: 816-471-5275

NAME: SPECTRUM (TWC)
PHONE: 877-772-2253

NAME: GOOGLE FIBER
PHONE: 877-454-6959

☒ NOT FOR CONSTRUCTION

☐ REVIEWED FOR CONSTRUCTION

CALL BEFORE YOU DIG 1-800-DIG-RITE MISSOURI ONE CALL SYSTEM

PROPERTY DESCRIPTION:

ALL OF TRACT E, OSAGE FIRST PLAT, A SUBDIVISION IN LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

BENCHMARK

BENCHMARK NO. 1
CHISELED PLUS ON THE EAST FLANGED BOLT OF THE FIRE HYDRANT ON THE WEST SIDE OF SW PRYOR ROAD ON ADJOINING PROPERTY SOUTH OF THE SOUTHWEST CORNER OF SUBJECT PROPERTY.
ELEVATION = 1014.830

BENCHMARK NO. 2
RAILROAD SPIKE IN THE NORTH FACE OF POWER POLE LOCATED ON THE SOUTH SIDE MISSOURI STATE HIGHWAY 150 AT THE WEST SIDE OF THE DRIVEWAY TO 2025 MISSOURI STATE HIGHWAY 150, LEE'S SUMMIT, MO.
ELEVATION = 1031.313

NOTES:

ANY QUANTITIES SHOWN WITHIN THESE PLANS HAVE BEEN PROVIDED FOR PERMITTING PURPOSES ONLY AND ARE NOT INTENDED FOR USE IN PREPARATION OF CONTRACT DOCUMENTS. QUANTITIES INTENDED FOR, BUT NOT LIMITED TO, THE PREPARATION OF PROPOSALS AND BID DOCUMENTS SHALL BE INDEPENDENTLY EVALUATED BY THE ESTIMATING PARTY BASED UPON THE CONTENTS OF THESE PLANS.

REVIEWED BY:

CITY OF LEE'S SUMMIT — DATE

OLSSON HAS BEEN RETAINED TO PROVIDE AS-BUILT DRAWINGS FOR THIS PROJECT.

BROCK M. WORTHLEY, P.E. — DATE
CIVIL ENGINEER
MO# PE-2019000237

olsson
Olsson - Civil Engineering
Missouri Certificate of Authority #001592
1301 Burlington Street
North Kansas City, MO 64116
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STATE OF MISSOURI
JULIE ELAINE SELLERS
NUMBER PE-2017000367
2/12/21
PROFESSIONAL ENGINEER

REVISIONS

REV. NO.	DATE	REVISIONS DESCRIPTION	BY
1	06/19/2020	REVISED PER CITY COMMENTS	

TITLE SHEET
FINAL DEVELOPMENT PLAN

OSAGE CLUBHOUSE

LEE'S SUMMIT, MISSOURI

2020

drawn by: GS
designed by: BMW
approved by: BMW
QA/QC by: JES
project no.: B19-2339
drawing no.: C_TTL01_B192339
date: 5/12/2020

SHEET
C01

DWG: F:\2019\2001-2500\019-2339-B\40-Design\AutoCAD\Final Plans\Sheets\GNCV\C_TTL01_B192339.dwg USER: bworthley
DATE: Feb 10, 2021 3:46pm XREFS: C_PTBLK_B192339 C_XBASE_B192339 C_PBASE_B192339

GENERAL NOTES:

1. ALL PAVING DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.

2. REFER TO DETAIL SHEET FOR INSTALLATION OF SIGNS.

3. CONTRACTOR SHALL MATCH EXISTING PAVEMENT IN GRADE AND ALIGNMENT TO PROVIDE SMOOTH SURFACE TRANSITIONS BETWEEN NEW ENTRANCE DRIVES AND EXISTING STREETS.

4. CONTRACTOR SHALL MATCH EXISTING CURB & GUTTER IN GRADE, SIZE, TYPE, AND ALIGNMENT AT CONNECTIONS TO EXISTING STREETS.

5. ALL WORK ON THIS PLAN SHALL BE DONE IN STRICT ACCORDANCE WITH THE OWNER'S SITE WORK SPECIFICATIONS.

6. ALL TRAFFIC CONTROL SIGNS SHALL BE FABRICATED AS SHOWN IN THE NATIONAL MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREET AND HIGHWAYS.

7. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULE, SLOPED PAVING, EXIT PORCHES, RAMPS, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS, SIDEWALK AND SPECIFIC BUILDING AREA TREATMENTS AND IMPROVEMENTS. FOR EXACT BUILDING DIMENSIONS, SEE ARCHITECTURAL PLANS. CONTRACTOR TO STAKE AND CONSTRUCT FOUNDATIONS AND FOOTINGS FROM STRUCTURAL PLAN. BUILDING DIMENSIONS ON THIS PLAN ARE FOR REFERENCE ONLY.

8. ALL DIMENSIONS SHOWN ON BUILDING ARE TO OUTSIDE FACE OF BUILDING.

9. CONTRACTOR SHALL COORDINATE PROTECTION OF BUILDING CORNERS, TRANSFORMERS, AND ALL OTHER APPLICABLE STRUCTURES WITH GUARD POST BOLLARDS WITHIN 5' OF THE BUILDINGS TO BE INSTALLED BY GENERAL CONTRACTOR.

10. PARKING LOT STRIPING SHALL BE INCLUDED IN PAVING CONTRACTOR'S SCOPE OF WORK. ALL STRIPING IS TO BE TWO LAYERS, 4" STROKE, REFLECTIVE PAINT, INCLUDING ADA SYMBOL AND HATCHING. PAINT COLOR TO BE WHITE ON ASPHALT AND YELLOW ON CONCRETE.

11. ALL ACCESSIBLE PARKING SIGNAGE AND STRIPING SHALL BE IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT (ADA) REQUIREMENTS.

12. THE CONTRACTOR SHALL SUPPLY THE OWNER WITH A LIST OF ALL SUBCONTRACTORS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION.

13. ALL ASPHALT PAVING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF LEES SUMMIT DESIGN AND CONSTRUCTION MANUAL SECTION 2200.

14. THE GENERAL CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR, AND SHALL TAKE ALL PRECAUTIONS NECESSARY TO, AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT. CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING IMPROVEMENTS DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO: DRAINAGE UTILITIES, PAVEMENT, STRIPING, CURB, ETC. ANY WORK IN CITY R.O.W. REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS. CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL PROPERTY CORNERS AND SURVEY MONUMENTS AND IS RESPONSIBLE FOR RE-ESTABLISHMENT OF ANY PROPERTY CORNERS OR SURVEY MONUMENTS IF DISTURBED BY CONSTRUCTION ACTIVITIES.

15. SAFETY NOTICE TO CONTRACTOR: IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. ANY CONSTRUCTION OBSERVATION BY THE ENGINEER OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES, IN, ON OR NEAR THE CONSTRUCTION SITE.

16. ALL CONSTRUCTION IN STATE HIGHWAY DEPARTMENT RIGHT-OF-WAY SHALL BE COORDINATED WITH THE HIGHWAY DEPARTMENT RESIDENT MAINTENANCE ENGINEER PRIOR TO START OF CONSTRUCTION. LATEST SPECIFICATIONS ADOPTED BY US DEPARTMENT OF TRANSPORTATION AND STATE HIGHWAY DEPARTMENT SHALL GOVERN ON THIS PROJECT.

17. ALL SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED THE SPECIFICATIONS OF THE RELEVANT UTILITY COMPANY OR REGULATORY AUTHORITY, AND THE SPECIFICATIONS FOR THE CONSTRUCTION OF THE EXISTING IMPROVEMENTS WHICH ARE BEING ALTERED OR REPLACED. CONTRACTOR SHALL CONTACT THE ENGINEER FOR SPECIFICATION SECTIONS FOR ITEMS SUCH AS LANDSCAPING AND IRRIGATION THAT ARE AFFECTED BY THE WORK BUT NOT COMPLETELY DETAILED OR SPECIFIED ON THESE PLANS.

18. ALL CONSTRUCTION WITHIN THE RIGHT-OF-WAY SHALL CONFORM TO THE CITY OF LEE'S SUMMIT, MISSOURI STANDARDS AND SPECIFICATIONS.

19. ALL CURB RETURN RADII ARE 4.0' UNLESS OTHERWISE NOTED.

WETLANDS NOTICE:

1. ANY DEVELOPMENT, EXCAVATION, CONSTRUCTION, OR FILLING IN A U.S. CORPS OF ENGINEERS DESIGNATED WETLAND IS SUBJECT TO LOCAL, STATE AND FEDERAL APPROVALS. THE CONTRACTOR SHALL COMPLY WITH ALL PERMIT REQUIREMENTS AND/OR RESTRICTIONS AND ANY VIOLATION WILL BE SUBJECT TO FEDERAL PENALTY. THE CONTRACTOR SHALL HOLD THE OWNER/DEVELOPER, THE ENGINEER AND THE CITY OF LEE'S SUMMIT HARMLESS AGAINST SUCH VIOLATION.

WARRANTY/DISCLAIMER:

1. THE DESIGNS REPRESENTED IN THESE PLANS ARE IN ACCORDANCE WITH ESTABLISHED PRACTICES OF CIVIL ENGINEERING FOR THE DESIGN FUNCTIONS AND USES INTENDED BY THE OWNER AT THIS TIME. HOWEVER, NEITHER THE ENGINEER NOR ITS PERSONNEL CAN OR DO WARRANT THESE DESIGNS OR PLANS AS CONSTRUCTED EXCEPT IN THE SPECIFIC CASES WHERE THE ENGINEER INSPECTS AND CONTROLS THE PHYSICAL CONSTRUCTION ON A TEMPORARY BASIS AT THE SITE.

FLOOD CERTIFICATION:

1. THE ENTIRE SITE IS LOCATED WITHIN ZONE X, "AREAS OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN" AS DEPICTED ON THE FEMA FLOOD INSURANCE RATE MAP (FIRM) MAP NUMBER 29095C0531G, REVISION DATE JANUARY 20, 2017

OIL/GAS WELLS & UNDERMINED AREAS:

NO OIL OR GAS WELLS & UNDERMINED AREAS LOCATED WITHIN THE PROJECT LIMITS.

INFORMATION OBTAINED FROM THE MISSOURI DEPARTMENT OF NATURAL RESOURCES, GEOLOGICAL SURVEY GEOSCIENCES TECHNICAL RESOURCE ASSESSMENT TOOL (GEOSTRAT).

DEMOLITION NOTES:

1. CONTRACTOR SHALL BE RESPONSIBLE FOR RAISING AND REMOVAL OF THE EXISTING STRUCTURES, RELATED UTILITIES, PAVING, AND ANY OTHER EXISTING IMPROVEMENTS AS NOTED.

2. CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS. DISPOSAL WILL BE IN ACCORDANCE WITH ALL LOCAL, STATE AND/OR FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.

3. ALL DEMOLITION WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE OWNER'S SITE WORK SPECIFICATIONS.

4. CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE AND ADJUSTMENTS DUE TO CONFLICTS OR GRADING TO ANY EXISTING STRUCTURES OR UNDERGROUND UTILITIES THAT ARE TO REMAIN IN PLACE.

5. ALL ITEMS DESIGNATED TO BE DEMOLISHED AND REMOVED FROM THE SITE SHALL BE DISPOSED OF IN AN APPROPRIATE LOCATION IN ACCORDANCE WITH STATE OR LOCAL GUIDELINES.

6. PUBLIC STREETS AND SIDEWALKS SHALL BE KEPT CLEAN AND CLEAR OF TRASH AND DEBRIS FROM DEMOLITION OPERATIONS AT ALL TIMES.

7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST AND EROSION CONTROL DURING DEMOLITION OPERATIONS.

8. THE CONTRACTOR SHALL COORDINATE WITH ALL APPLICABLE UTILITY COMPANIES PRIOR TO REMOVAL OR RELOCATION OF ANY UTILITIES AND TO SAFELY STOP SERVICES AND DISMANTLE SERVICE LINES PRIOR TO BEGINNING DEMOLITION OPERATIONS.

9. CONTRACTOR IS TO REMOVE AND RE-USE SEWER PIPES, POWER POLES AND GUY WIRES, WATER LINES AND METERS, VEGETATION, ASPHALT, AND OTHER UNSUITABLE DEBRIS OR MATERIAL. SHOWN OR NOT SHOWN WITHIN CONSTRUCTION LIMITS AND WHERE NECESSARY TO ALLOW FOR CONSTRUCTION ACTIVITY. ALL MATERIAL TO BE REMOVED AS UNCLASSIFIED EXCAVATION.

10. ALL CAVITIES CREATED BY REMOVAL OF EXISTING FACILITIES IN THE AREA OF PROPOSED CONSTRUCTION SHALL BE FILLED AND COMPACTED IN ACCORDANCE WITH THE SITE WORK SPECIFICATIONS TO SUBGRADE ELEVATION.

11. THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHEN WORKING IN THE VICINITY OF EXISTING OVERHEAD ELECTRICAL POWER LINES.

12. EXISTING UTILITIES ARE SHOWN AS LOCATED AND IDENTIFIED IN THE FIELD BY UTILITY COMPANY REPRESENTATIVE. THE OWNER AND THE ENGINEER MAKE NO ASSURANCE OF THE ACTUAL LOCATION, DEPTH, SIZE OR TYPE OF UTILITY LINES SHOWN. THE OWNER AND THE ENGINEER MAKES NO ASSURANCE THAT ALL OF THE EXISTING UTILITY LINES ON THE SITE ARE SHOWN.

GRADING AND CLEARING NOTES:

1. EXISTING UTILITIES AS SHOWN ARE APPROXIMATE LOCATIONS ONLY. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO THE START OF ANY CONSTRUCTION WORK. ANY DAMAGE TO EXISTING STRUCTURES, UTILITIES, FENCES AND/OR INCIDENTALS NOT DESIGNATED FOR REMOVAL SHALL BE REPAIRED AT THE CONTRACTORS EXPENSE.

2. CONTRACTOR SHALL ADHERE TO THE "DESIGN AND CONSTRUCTION MANUAL" SECTION 2100 AS ADOPTED BY THE CITY OF LEES SUMMIT, MISSOURI (LATEST EDITION), FOR EXCAVATION AND EMBANKMENT WORK WITHIN THE PROPOSED DRIVE LANES.

3. CONTRACTOR SHALL PROVIDE A LEVEL BUILDING PAD BASED UPON PROPOSED FINISHED FLOOR ELEVATION TO ± 0.10' OR AS ESTABLISHED THROUGH ALTERNATIVE BID DOCUMENTS.

4. PRIOR TO FINAL ACCEPTANCE OF THE PROJECT, ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH A MINIMUM OF FOUR INCHES OF TOPSOIL APPLIED. IF ADEQUATE TOPSOIL IS NOT AVAILABLE ON SITE THE CONTRACTOR SHALL PROVIDE TOPSOIL, APPROVED BY THE OWNER, AS NEEDED. THE AREA SHALL THEN BE SEEDED, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE PROJECT SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.

5. AREAS OF CONSTRUCTION SHALL BE STRIPPED OF ALL VEGETATION, ORGANIC MATTER AND TOPSOIL TO A DEPTH AS RECOMMENDED BY GEOTECHNICAL ENGINEER AND/ OR TESTING AGENCY. SOILS REMOVED DURING SITE STRIPPING SHOULD BE EVALUATED TO DETERMINE IF PORTIONS OF THE TOPSOIL STRATUM MAY BE UTILIZED AS STRUCTURAL FILL WITHIN PAVEMENT AREAS. ANY MATERIAL NOT DEEMED AS SUITABLE FILL MATERIAL BY THE GEOTECHNICAL ENGINEER AND/ OR TESTING AGENCY SHALL BE REMOVED FROM THE JOB SITE BY THE CONTRACTOR AT HIS EXPENSE.

6. ALL EMBANKMENT SHOULD BE PLACED IN CONTROLLED LIFTS HAVING A MAXIMUM LOOSE LIFT THICKNESS OF 9". EMBANKMENT PLACED WITHIN THE PAVEMENT AREAS SHOULD BE COMPACTED TO A MINIMUM OF 95% OF THE MATERIALS MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D-698 (STANDARD PROCTOR COMPACTION). EMBANKMENT PLACED WITHIN THE BUILDING AREAS SHOULD BE COMPACTED TO A MINIMUM OF 95% OF THE MATERIALS MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D-698 (STANDARD PROCTOR COMPACTION). MOISTURE CONTENT OF THE FILL AT THE TIME OF COMPACTION SHALL BE WITHIN A RANGE OF 0 TO 4 PERCENT ABOVE OPTIMUM MOISTURE CONTENT AS DEFINED BY THE STANDARD PROCTOR COMPACTION PROCEDURE. ALL EMBANKMENT PLACED WITHIN 18" OF THE BUILDING SUBGRADE SHOULD HAVE A LIQUID LIMIT LESS THAN 60. THE GEOTECHNICAL REPORT SHALL SUPERSEDE RECOMMENDATIONS AS STATED IN THIS PLAN SET.

UTILITY CONSTRUCTION NOTES:

1. PRIOR TO INSTALLATION OF ANY PROPOSED UTILITY THE CONTRACTOR SHALL EXCAVATE, VERIFY, AND CALCULATE ALL CROSSINGS WITH EXISTING UTILITIES AND INFORM THE OWNER AND THE ENGINEER OF ANY CONFLICTS. THE ENGINEER WILL BE HELD HARMLESS IN THE EVENT THE ENGINEER IS NOT NOTIFIED OF CONFLICTS WITH EXISTING UTILITIES.

2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT IS THE CONTRACTORS RESPONSIBILITY TO RELOCATE AND/OR ADJUST ALL EXISTING UTILITIES THAT CONFLICT WITH PROPOSED SITE IMPROVEMENTS.

3. UNLESS OTHERWISE SHOWN, CALLED OUT OR SPECIFIED HEREON OR WITHIN THE SPECIFICATIONS:
   ALL STORM DRAIN PIPE BEDDING SHALL BE INSTALLED PER CITY STANDARD DETAILS.
   ALL STORM DRAIN PIPES ARE MEASURED FROM CENTER OF STRUCTURES AND ENDS OF FLARED END SECTIONS.

4. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CONTROL DOWNSTREAM EROSION AND SILTATION DURING ALL PHASES OF CONSTRUCTION. EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO CONSTRUCTION.

5. TELEPHONE CONDUIT SHALL HAVE A MINIMUM COVER OF 30". CONDUIT SHALL BE DUAL 4" SCHEDULE 40 PVC. CONTRACTOR SHALL COORDINATE LOCATION WITH THE UTILITY REPRESENTATIVE AND LOCATE PVC CROSSINGS AS NECESSARY. SEE ELEC. PLANS FOR ENTRANCE LOCATIONS.

6. FOR ALL SERVICE LINE ENTRANCE LOCATIONS WITHIN THE BUILDING, INCLUDING ROOF DRAIN CONNECTIONS, SEE ARCHITECTURAL PLANS AND DETAILS.

7. ALL WATER SERVICE LINES SHALL BE A MINIMUM OF 48" BELOW FINISHED GRADE.

8. ALL SANITARY SEWER LINES SHALL BE SDR-26 WITH 42" MIN. COVER.

9. CONTRACTOR SHALL COORDINATE ANY DISRUPTIONS TO EXISTING UTILITY SERVICES WITH ADJACENT PROPERTY OWNERS A MINIMUM OF 48 HOURS PRIOR TO DISRUPTION.

10. ALL ELECTRIC AND TELEPHONE, INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTION'S SHALL BE COORDINATED WITH THE DESIGNATED UTILITY COMPANIES.

11. PRIOR TO ORDERING PRECAST STRUCTURES, SHOP DRAWINGS SHALL BE SUBMITTED TO THE DESIGN ENGINEER FOR APPROVAL.

12. ALL PRIVATE INSTALLATIONS SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS AS ADOPTED BY THE CITY OF LEE'S SUMMMIT, MISSOURI.

13. EXTENSION OF BOTH DOMESTIC WATER SERVICE AND FIRE PROTECTION LINE MAY NOT BE PROVIDED UNTIL PUBLIC MAIN HAS BEEN TESTED AND ACCEPTED BY WRITTEN AUTHORIZATION FROM LEE'S SUMMIT WATER DEPARTMENT.

14. CONTRACTOR TO CONTACT LEE'S SUMMIT WATER SERVICES DEPARTMENT FOR MAIN LINE TAP AND METER SET A MINIMUM OF 48 HOURS PRIOR TO CONNECTION.

17. CONSTRUCTION SHALL NOT START ON ANY PUBLIC UTILITY SYSTEM UNTIL THE APPROPRIATE PERMITS HAVE BEEN PULLED FROM THE CITY OF LEE'S SUMMIT AND/OR JACKSON COUNTY AND CONTRACTOR HAS BEEN NOTIFIED BY THE ENGINEER.

18. ALL ELECTRICAL CONDUIT SHALL BE SCHEDULE 40 ELECTRICAL PVC, AS CALLED OUT AND HAVE AN AVERAGE OF 36" TO 42" COVER WITH A MINIMUM OF 30" CONFORMING TO THE CURRENT REGULATIONS SET FORTH BY MISSOURI PUBLIC SERVICE. SEE MECH. PLANS FOR ENTRANCE LOCATIONS.

19. CONTRACTOR SHALL MAKE APPLICATION WITH SPIRE ENERGY FOR PROPOSED METER.

SITE DISTURBANCE NOTES:

1. THE INTENT OF THIS EROSION CONTROL PLAN IS TO ASSIST THE CONTRACTOR IN THEIR RESPONSIBILITY TO PROVIDE ALL MATERIALS, TOOLS, EQUIPMENT AND LABOR NECESSARY TO CONTROL EROSION, SILTATION AND DISCHARGES OF SOIL MATERIAL (SEDIMENT) INTO DOWNSTREAM SYSTEMS OR RECEIVING CHANNELS. THIS SHALL BE REQUIRED DURING ALL PHASES OF CONSTRUCTION AND UNTIL SUITABLE GROUND COVER IS ESTABLISHED FOR ALL DISTURBED AREAS. IF ANY METHOD OF CONTROL FAILS, THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY, SO THAT THE OWNER OR THEIR AGENT CAN REVIEW THE CONTRACTOR'S PROPOSED METHOD OF REPAIR.

   THIS PLAN INDICATES THE CRITICAL AREA(S) OF CONCERN TO BE CONTROLLED AS A MINIMUM. THE CONTROL MAY CONSIST OF TEMPORARY CONTROL MEASURES AS SHOWN ON THE PLANS OR ORDERED BY THE OWNER DURING THE LIFE OF THE CONTRACT TO CONTROL EROSION OR WATER POLLUTION, THROUGH THE USE OF BERMS, DIKES, DAMS, SEDIMENT BASINS, FIBER MATS, NETTING, GRAVEL, MULCHES, GRASSES, SLOPE DRAINS, DIVERSION SWALES OR OTHER EROSION CONTROL DEVICES OR METHODS. THE OWNER HAS THE AUTHORITY TO LIMIT THE SURFACE AREA OF ERODIBLE EARTH MATERIAL EXPOSED BY THE CONSTRUCTION OPERATIONS AND TO DIRECT THE CONTRACTOR TO PROVIDE IMMEDIATE PERMANENT OR TEMPORARY POLLUTION CONTROL MEASURES TO PREVENT CONTAMINATION OF ADJACENT STREAMS OR OTHER WATER COURSES, LAKES, PONDS, OR OTHER AREAS OF WATER IMPOUNDMENT OR CONVEYANCES.

   THE TEMPORARY POLLUTION CONTROL PROVISIONS CONTAINED HEREIN SHALL BE COORDINATED WITH ANY PERMANENT EROSION CONTROL FEATURES SPECIFIED ELSEWHERE IN THE CONTRACT TO THE EXTENT PRACTICAL TO ASSURE ECONOMICAL, EFFECTIVE AND CONTINUOUS EROSION CONTROL THROUGHOUT THE CONSTRUCTION AND POST CONSTRUCTION PERIOD.

2. THIS SEDIMENTATION CONTROL PLAN MAKES USE OF THE FOLLOWING APPLICATIONS:
   ☐ PRESERVATION OF EXISTING VEGETATION
   ☒ SEDIMENT BARRIERS
   ☐ SEDIMENT TRAPS
   ☒ INLET PROTECTION
   ☐ OUTLET PROTECTION
   ☐ SOIL RETAINING SYSTEMS
   ☐ SLOPE DRAINS
   ☐ SUBSURFACE DRAINS

   PHYSICAL DESCRIPTION OF EACH SPECIFIC SEDIMENT CONTROL DEVICE TO BE UTILIZED IS CALLED OUT ON THE PLANS WITH INSTALLATION PROCEDURES, CONSTRUCTION SPECIFICATIONS AND MAINTENANCE ARRANGEMENT AS CALLED FOR ON THE DETAIL SHEET. IN ADDITION TO THE MEASURES SPECIFIED, THE FOLLOWING GENERAL PRACTICES SHALL BE ADHERED TO WHEN APPLICABLE.

A) CLEARING AND GRUBBING WITHIN 50' OF A DEFINED DRAINAGE COURSE SHOULD BE AVOIDED WHEN POSSIBLE. WHERE CHANGES TO A DEFINED DRAINAGE COURSE OCCUR, WORK SHOULD BE DELAYED UNTIL ALL MATERIALS AND EQUIPMENT NECESSARY TO PROTECT AND COMPLETE THE DRAINAGE CHANGE ARE ON SITE. CHANGES SHALL BE COMPLETED AS QUICKLY AS POSSIBLE ONCE THE WORK HAS BEEN INITIATED. THE AREA IMPACTED BY THE CONSTRUCTION ACTIVITIES SHALL BE REVEGETATED OR PROTECTED FROM EROSION AS SOON AS POSSIBLE, AREAS WITHIN 50' OF A DEFINED DRAINAGE WAY SHOULD BE RECONTOURED AS NEEDED OR OTHERWISE PROTECTED WITHIN FIVE (5) WORKING DAYS AFTER GRADING HAS CEASED.

B) WHERE SOIL DISTURBING ACTIVITIES CEASE IN AN AREA FOR MORE THAN 14 DAYS, THE DISTURBED AREAS SHALL BE PROTECTED FROM EROSION BY STABILIZING THE AREA WITH MULCH OR OTHER SIMILARLY EFFECTIVE EROSION CONTROL MEASURES. IF THE SLOPE OF THE AREA IS GREATER THAN 3:1 OR IF THE SLOPE IS GREATER THAN 3% AND GREATER THAN 150 FEET IN LENGTH, THEN THE DISTURBED AREAS SHALL BE PROTECTED FROM EROSION BY STABILIZING THE AREA WITH MULCH OR OTHER SIMILARLY EFFECTIVE EROSION CONTROL MEASURES IF ACTIVITIES CEASE FOR MORE THAN SEVEN (7) DAYS.

C) EXISTING VEGETATION SHALL BE PRESERVED TO THE EXTENT AND WHERE PRACTICAL. IN NO CASE SHALL DISTURBED AREAS REMAIN WITHOUT VEGETATIVE GROUND COVER FOR A PERIOD IN EXCESS OF 60 DAYS.

D) ADDITIONAL SITE MANAGEMENT PRACTICES WHICH SHALL BE ADHERED TO DURING THE CONSTRUCTION PROCESS SHALL INCLUDE:

   SOLID AND HAZARDOUS WASTE MANAGEMENT INCLUDING PROVIDING TRASH CONTAINERS AND REGULAR SITE CLEAN UP FOR PROPER DISPOSAL OF SOLID WASTE SUCH AS BUILDING MATERIAL, PRODUCT/MATERIAL SHIPPING WASTE, FOOD CONTAINERS AND CUPS, AND PROVIDING CONTAINERS FOR THE PROPER DISPOSAL OF WASTE PAINTS SOLVENTS, AND CLEANING COMPOUNDS.

   PROVISIONS OF PORTABLE TOILETS FOR PROPER DISPOSAL OF SANITARY SEWAGE.

   STORAGE OF CONSTRUCTION MATERIALS AWAY FROM DRAINAGE COURSES AND LOW AREAS.

   INSTALLATION OF CONTAINMENT BERMS AND USE OF DRIP PANS AT PETROLEUM PRODUCT AND LIQUID STORAGE TANKS AND CONTAINERS.

3. ALL DISTURBED AREAS SHALL BE SEEDED, FERTILIZED AND MULCHED, OR SODDED, IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS ADOPTED BY THE CITY OF LEE'S SUMMIT AND GOOD ENGINEERING PRACTICES. THIS SHALL BE COMPLETED WITHIN FOURTEEN (14) DAYS AFTER COMPLETING THE WORK, IN ANY AREA. IF THIS IS OUTSIDE OF THE SEEDING PERIOD, SILT BARRIERS OR OTHER SIMILARLY EFFECTIVE MEASURES SHALL BE PROVIDED UNTIL SUCH TIME THAT THE AREAS CAN BE SEEDED.

4. THE CONSTRUCTION COVERED BY THESE PLANS SHALL CONFORM TO ALL CURRENT STANDARDS AND SPECIFICATIONS ADOPTED BY THE CITY OF LEE'S SUMMIT. THE CONTRACTOR WILL BE RESPONSIBLE FOR DETERMINING ALL ADDITIONAL STANDARDS, SPECIFICATIONS OR REQUIREMENTS WHICH ARE REQUIRED BY GOVERNING AGENCIES (INCLUDING THE CITY OF LEE'S SUMMIT, STATE OF MISSOURI AND FEDERAL AUTHORITIES) HAVING JURISDICTION OVER THE WORK PROPOSED BY THESE CONSTRUCTION DRAWINGS.

5. ALL EROSION CONTROL MEASURES, TEMPORARY OR PERMANENT, REQUIRE MAINTENANCE TO PRESERVE THEIR EFFECTIVENESS. ALL EROSION CONTROL DEVICES SHALL BE INSPECTED ONCE EVERY SEVEN (7) CALENDAR DAYS AND WITHIN 24 HOURS OF THE OCCURRENCE OF A 2-YR, 24-HR STORM EVENT, OR ONCE EVERY FOURTEEN (14) CALENDAR DAYS AND WITHIN 24 HOURS OF THE OCCURRENCE OF A STORM EVENT OF 0.25-INCHES OF PRECIPITATION OR GREATER. ANY REQUIRED REPAIRS SHOULD BE MADE IMMEDIATELY. ALL COSTS ASSOCIATED WITH THE REPAIR WORK, INCLUDING RELATED INCIDENTALS ASSOCIATED WITH THE REPAIR WORK, WILL BE THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE INCLUDED IN THE CONTRACTOR'S BID FOR THE PROPOSED WORK.

6. THE CONTRACTOR SHALL CONTACT THE CITY'S DEVELOPMENT SERVICES ENGINEERING INSPECTORS 48 HOURS PRIOR TO ANY LAND DISTURBANCE WORK AT 816.969.1200.

LEGEND

GENERAL

ACU	AIR CONDITIONING UNIT
AST	ARROW STRAIGHT
ATL	ARROW TURN LEFT
ATR	ARROW TURN RIGHT
BLB	BILLBOARD
BOV	BLOW OFF VALVE
BSH	BUSH
COL	COLUMN
CTR	CONIFEROUS TREE
DRN	DRAIN GRATE
DTR	DECIDUOUS TREE
FLP	FLAG POLE
GDP	GUARD POST
GPL	GUY POLE
GTP	GREASE TRAP
GUY	GUY WIRE
HCP	ACCESSABLE PARKING MARKER
LST	LIFT STATION
MLB	MAILBOX
MP	MILE POST MARKER
MWL	MONITORING WELL
PIV	POST INDICATOR VALVE
PPT	PROPANE TANK
RAT	RADIO TOWER
SAD	SATELLITE
SCV	SPRINKLER CONTROL VALVE
SGN	SIGN
SLB	STREET LIGHT BOX
SLC	STREET LIGHT CABINET
SPB	SPRINKLER BOX
SPH	SPRINKLER HEAD
STP	STUMP
SVL	SEWER VALVE
TCB	TRAFFIC CONTROL BOX
TSA	TRAFFIC SIGNAL WITH MAST ARM
TSC	TRAFFIC SIGNAL CABINET
TSMH	TRAFFIC SIGNAL MANHOLE
TSP	TRAFFIC SIGNAL POLE
	EXISTING TREELINE
	PROPOSED TREELINE
	EXISTING SIDEWALK
	PROPOSED SIDEWALK
	FUTURE SIDEWALK
	EXISTING BUILDINGS
	PROPOSED BUILDINGS
	FUTURE BUILDINGS
	EXISTING EDGE OF PAVEMENT
	PROPOSED EDGE OF PAVEMENT
	FUTURE EDGE OF PAVEMENT
	EXISTING ROADWAY CENTER LINE
	PROPOSED ROADWAY CENTER LINE
	FUTURE ROADWAY CENTER LINE
	EXISTING CURB & GUTTER
	PROPOSED CURB & GUTTER
	FUTURE CURB & GUTTER
R	RADIUS
L	ARC DISTANCE
D	DELTA / CENTRAL ANGLE

EASEMENTS & SETBACKS

A.E.	ACCESS EASEMENT
B.M.P.	BEST MANAGEMENT PRACTICE EASEMENT
B.L.	BUILDING SETBACK
C.T.V.E.	CABLE TV EASEEMNT
C.E.	CONSERVATION EASEMENT
C.G.E.	CONSTRUCTION GRADING EASEMENT
F.P.E.	FLOOD PLAIN EASEMENT
F.O.E.	FIBER OPTIC EASEMENT
F.P.S.E.	FIRE PROTECTION SYSTEM EASEMENT
F.L.E.	FUEL LINE EASEMENT
L.S.E.	LANDSCAPE EASEMENT
G.E.	NATURAL GAS EASEMENT
T.E.	TELEPHONE EASEMENT
E.E.	POWER\ELECTRIC EASEMENT
P.S.	PARKING SETBACK
S.B.	STREAM BUFFER
S.D.E.	SURFACE DRAINAGE EASEMENT
SIGHT DIST. ESMT.	SIGHT DISTANCE EASEMENT
S.E.	SANITARY SEWER EASEMENT
S.L.E.	STEAM LINE EASEMENT
D.E.	STORM DRAINAGE EASEMENT
S.W.M.E.	STORM WATER MANAGEMENT EASEMENT
T.C.D.S.E.	TEMPORARY CUL-DE-SAC EASEMENT
TEMP. ESMT.	TEMPORARY EASEMENT
TRAIL ESMT.	TRAIL\PATH EASEMENT
U.E.	UTILITY EASEMENT
W.E.	WATER EASEMENT
F.Y.S	FRONT YARD SETBACK
R.Y.S.	REAR YARD SETBACK
S.Y.S.	SIDE YARD SETBACK

CONTOURS

100	EXISTING INDEX CONTOURS
100	EXISTING INTERMEDIATE CONTOURS
100	PROPOSED INDEX CONTOURS
100	PROPOSED INTERMEDIATE CONTOURS

SURVEY MARKERS

BMK	BENCHMARK
CPT	CONTROL POINT
FND	FOUND MONUMENT
ROW	ROW MARKER
SCR	SECTION CORNER
SET	SET MONUMENT

BOUNDARIES

	SECTION LINE
EP	EXISTING PROPERTY BOUNDARY
P	PROPOSED PROPERTY BOUNDARY
	EXISTING LOT LINE
	PROPOSED LOT LINE
ER/W	EXISTING RIGHT-OF-WAY
R/W	PROPOSED RIGHT-OF-WAY

UTILITIES

CAB	CABLE BOX
CAV	CABLE VAULT
TVP	TELEVISION PEDESTAL
TVR	TELEVISION RISER
ECTVOH	EXISTING CABLE TV, OVERHEAD
ECTV	EXISTING CABLE TV, UNDERGROUND
CTVOH	PROPOSED CABLE TV, OVERHEAD
CTV	PROPOSED CABLE TV, UNDERGROUND
FOB	FIBER OPTIC BOX
FOM	FIBER OPTIC MANHOLE
FOP	FIBER OPTIC PEDESTAL
FOV	FIBER OPTIC VAULT
EFOOH	EXISTING FIBER OPTIC, OVERHEAD
EFO	EXISTING FIBER OPTIC, UNDERGROUND
FOOH	PROPOSED FIBER OPTIC, OVERHEAD
FO	PROPOSED FIBER OPTIC, UNDERGROUND
FDC	FIRE DEPT. CONNECTION
EFP	EXISTING FIRE PROTECTION SYSTEM LINE
FP	PROPOSED FIRE PROTECTION SYSTEM LINE
EFL	EXISTING FUEL LINE
FPL	PROPOSED FUEL LINE
GAR	GAS RISER
GMH	GAS MANHOLE
GMK	GAS MARKER
GMT	GAS METER
GRG	GAS REGULATOR
GVL	GAS VALVE
EG	EXISTING NATURAL GAS LINE
G	PROPOSED NATURAL GAS LINE
TEC	TELEPHONE CABINET
TEP	TELEPHONE PEDESTAL
TER	TELEPHONE RISER
TEV	TELEPHONE VAULT
TMH	TELEPHONE MANHOLE
ETELOH	EXISTING TELEPHONE LINE, OVERHEAD
ETEL	EXISTING TELEPHONE LINE, UNDERGROUND
TELOH	PROPOSED TELEPHONE LINE, OVERHEAD
TEL	PROPOSED TELEPHONE LINE, UNDERGROUND
GLT	GROUND LIGHT
LTP	LIGHT POLE
PWP	POWER POLE
TRF	ELECTRIC TRANSFORMER
EBX	ELECTRIC BOX
ELC	ELECTRIC CABINET
ELR	ELECTRIC RISER
EMH	ELECTRIC MANHOLE
EMT	ELECTRIC METER
ESC	ELECTRIC SECTIONALIZER
EVT	ELECTRIC VAULT
YDL	YARD LIGHT
EEOH	EXISTING POWER\ELECTRIC LINE, OVERHEAD
EE	EXISTING POWER\ELECTRIC LINE, UNDERGROUND
SCO	SEWER CLEANOUT
SSMH	SANITARY MANHOLE
ESS	EXISTING SANITARY SEWER
SS	PROPOSED SANITARY SEWER
FSS	FUTURE SANITARY SEWER
ESL	EXISTING STEAM LINE
SL	PROPOSED STEAM LINE
SDMH	STORM SEWER MANHOLE
FES	FLARED END SECTION
RDN	ROOF DRAIN
	EXISTING STORM SEWER
ST	PROPOSED STORM SEWER
FH	FIRE HYDRANT
WMH	WATER MANHOLE
WMK	WATER MARKER
WMT	WATER METER
WVL	WATER VALVE
EW	EXISTING WATER LINE
W	PROPOSED WATER LINE

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JULIE ELAINE SELLERS
NUMBER PE-2017000367
2/12/21

REV. NO.	DATE	REVISIONS DESCRIPTION	BY
1	06/19/2020	REVISED PER CITY COMMENTS	

REVISIONS

GENERAL NOTES
FINAL DEVELOPMENT PLAN

OSAGE
CLUBHOUSE

LEE'S SUMMIT, MISSOURI

2020

drawn by: GS
designed by: BMW
approved by: BMW
QA/QC by: JES
project no.: B19-2339
drawing no.: C_GEN01_B192339
date: 5/12/2020

SHEET
C02

DWG: F:\2019\2001-2500\019-2339-B\40-Design\AutoCAD\Final Plans\Sheets\GNCV\C_GEN01_B192339.dwg USER: bworthley
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EXISTING FIRE HYDRANT

SW MARYVILLE PLACE

EXISTING 5' X 3' CURB INLET. REFER TO OSAGE FIRST PLAT STREET & STORM SEWER PLANS FOR MORE DETAILS

EXISTING 4' X 4' FIELD INLET. REFER TO OSAGE FIRST PLAT STREET & STORM SEWER PLANS FOR MORE DETAILS

EXISTING 30" HDPE STORM PIPE. REFER TO OSAGE FIRST PLAT STREET & STORM SEWER PLANS FOR MORE DETAILS

SW WALSH DRIVE

EXISTING FIRE HYDRANT

EXISTING 4' DIA. MANHOLE. REFER TO OSAGE FIRST PLAT SANITARY SEWER PLANS FOR MORE DETAILS

EXISTING 8" PVC WATER MAIN. REFER TO OSAGE FIRST PLAT WATER MAIN EXTENSION PLANS FOR MORE DETAILS

EXISTING 8" PVC WATER MAIN. REFER TO OSAGE FIRST PLAT WATER MAIN EXTENSION PLANS FOR MORE DETAILS

EXISTING 4' DIA. MANHOLE. REFER TO OSAGE FIRST PLAT SANITARY SEWER PLANS FOR MORE DETAILS

EXISTING 24" HDPE STORM PIPE. REFER TO OSAGE FIRST PLAT STREET & STORM SEWER PLANS FOR MORE DETAILS

EXISTING 5' X 4' CURB INLET. REFER TO OSAGE FIRST PLAT STREET & STORM SEWER PLANS FOR MORE DETAILS

EXISTING 36" HDPE STORM PIPE. REFER TO OSAGE FIRST PLAT STREET & STORM SEWER PLANS FOR MORE DETAILS

SW OSAGE DRIVE

EXISTING 4" PVC SANITARY SEWER LATERAL FL AT END = 1019.10 REFER TO OSAGE FIRST PLAT SANITARY SEWER PLANS FOR MORE DETAILS

TRACT E

EXISTING 8" PVC SANITARY SEWER. REFER TO OSAGE FIRST PLAT SANITARY SEWER PLANS FOR MORE DETAILS

EXISTING 8" PVC SANITARY SEWER. REFER TO OSAGE FIRST PLAT SANITARY SEWER PLANS FOR MORE DETAILS

25' BUILDING SETBACK

EXISTING 5' X 5' CURB INLET. REFER TO OSAGE FIRST PLAT STREET & STORM SEWER PLANS FOR MORE DETAILS

20' PARKING SETBACK

EXISTING 36" HDPE STORM PIPE. REFER TO OSAGE FIRST PLAT STREET & STORM SEWER PLANS FOR MORE DETAILS

EXISTING 8" PVC WATER MAIN. REFER TO OSAGE FIRST PLAT WATER MAIN EXTENSION PLANS FOR MORE DETAILS

REMOVE EXISTING CURB & GUTTER FOR PROPOSED ENTRANCES

EXISTING FIRE HYDRANT

EXISTING 4' DIA. MANHOLE. REFER TO OSAGE FIRST PLAT SANITARY SEWER PLANS FOR MORE DETAILS

EXISTING 5' DIA. MANHOLE. REFER TO OSAGE FIRST PLAT STREET & STORM SEWER PLANS FOR MORE DETAILS

EXISTING 4' DIA. MANHOLE. REFER TO OSAGE FIRST PLAT SANITARY SEWER PLANS FOR MORE DETAILS

EXISTING 8" PVC SANITARY SEWER. REFER TO OSAGE FIRST PLAT SANITARY SEWER PLANS FOR MORE DETAILS

OIL/GAS WELLS & UNDERMINED AREAS:

NO OIL/GAS WELLS OR UNDERMINED AREAS ARE LOCATED WITHIN THE PROJECT LIMITS.

INFORMATION OBTAINED FROM THE MISSOURI DEPARTMENT OF NATURAL RESOURCES, GEOLOGICAL SURVEY GEOSCIENCES TECHNICAL RESOURCE ASSESSMENT TOOL (GEOSTRAT).

0' 10' 20' 40'
SCALE IN FEET

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STATE OF MISSOURI
JULIE ELAINE SELLERS
NUMBER PE-2017000367
PROFESSIONAL ENGINEER
2/12/21

REVISIONS

REV. NO.	DATE	REVISIONS DESCRIPTION	BY

EXISTING CONDITIONS
FINAL DEVELOPMENT PLAN

OSAGE
CLUBHOUSE

LEE'S SUMMIT, MISSOURI

2020

drawn by:	GS
designed by:	BMW
approved by:	BMW
QA/QC by:	JES
project no.:	B19-2339
drawing no.:	C_EXC01_B192339
date:	5/12/2020

SHEET
C03

LEGEND	
–100–	EXISTING INDEX CONTOURS
–100–	EXISTING INTERMEDIATE CONTOURS
100	PROPOSED INDEX CONTOURS
100	PROPOSED INTERMEDIATE CONTOURS

EARTHWORK QUANTITIES		
LOCATION	CUT (C.Y.)	FILL (C.Y.)
SITE	469	1070

EARTHWORK QUANTITIES NOTES:

1. EARTHWORK QUANTITIES BASED ON FINISHED GRADE SURFACE AND DO NOT INCLUDE ADJUSTMENTS FOR TOPSOIL AND SHRINKAGE.

2. EARTHWORK QUANTITIES DO NOT TAKE INTO CONSIDERATION EXCAVATION, REMOVAL AND DISPOSAL OF MATERIAL DEEMED UNSUITABLE BY A GEOTECHNICAL ENGINEER. THE EARTHWORK CONTRACTOR IS RESPONSIBLE FOR EXCAVATION, REMOVAL AND DISPOSAL OF UNSUITABLE MATERIAL AND FOR REPLACING IT WITH SUITABLE MATERIAL.

N

0' 10' 20' 40'
SCALE IN FEET

GENERAL NOTES:

1. CONTRACTOR SHALL ADHERE TO THE "DESIGN AND CONSTRUCTION MANUAL" SECTION 2100 AS ADOPTED BY THE CITY OF LEE'S SUMMIT (LATEST EDITION), FOR EXCAVATION AND EMBANKMENT WORK WITHIN THE PROPOSED RIGHT–OF–WAY.

2. AREAS OF CONSTRUCTION SHALL BE STRIPPED OF ALL VEGETATION, ORGANIC MATTER AND TOPSOIL TO A DEPTH AS RECOMMENDED BY GEOTECHNICAL ENGINEER AND/ OR TESTING AGENCY. SOILS REMOVED DURING SITE STRIPPING SHOULD BE EVALUATED TO DETERMINE IF PORTIONS OF THE TOPSOIL STRATUM MAY BE UTILIZED AS STRUCTURAL FILL WITHIN PAVEMENT AREAS. ANY MATERIAL NOT DEEMED AS SUITABLE FILL MATERIAL BY THE GEOTECHNICAL ENGINEER AND/ OR TESTING AGENCY SHALL BE REMOVED FROM THE JOB SITE BY THE CONTRACTOR AT THEIR EXPENSE.

3. CONTRACTOR SHALL ADHERE TO THE SITE PREPARATION AND STRUCTURAL FILL RECOMMENDATIONS AS CALLED OUT IN THE GEOTECHNICAL REPORT AND ENGINEERING EVALUATION AS PROVIDED BY THE GEOTECHNICAL ENGINEER.

4. ALL EMBANKMENT OUTSIDE OF RIGHT–OF–WAY SHOULD BE PLACED IN CONTROLLED LIFTS HAVING A MAXIMUM LOOSE LIFT THICKNESS OF 9". EMBANKMENT SHOULD BE COMPACTED TO A MINIMUM OF 95% OF THE MATERIALS MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D–698 (STANDARD PROCTOR COMPACTION). MOISTURE CONTENT OF THE FILL AT THE TIME OF COMPACTION SHALL BE WITHIN A RANGE OF –0 TO +3 PERCENT OF OPTIMUM MOISTURE CONTENT.

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STATE OF MISSOURI
JULIE ELAINE SELLERS
NUMBER PE-2017000367
2/12/21
PROFESSIONAL ENGINEER

REVISIONS

REV. NO.	DATE	REVISIONS DESCRIPTION	BY
1	06/18/2020	REVISED PER CITY COMMENTS	

GRADING PLAN
FINAL DEVELOPMENT PLAN

OSAGE CLUBHOUSE

LEE'S SUMMIT, MISSOURI

2020

drawn by: GS
designed by: BMW
approved by: BMW
QA/QC by: JES
project no.: B19-2339
drawing no.: C_GRD01_B192339
date: 5/12/2020

SHEET
C04

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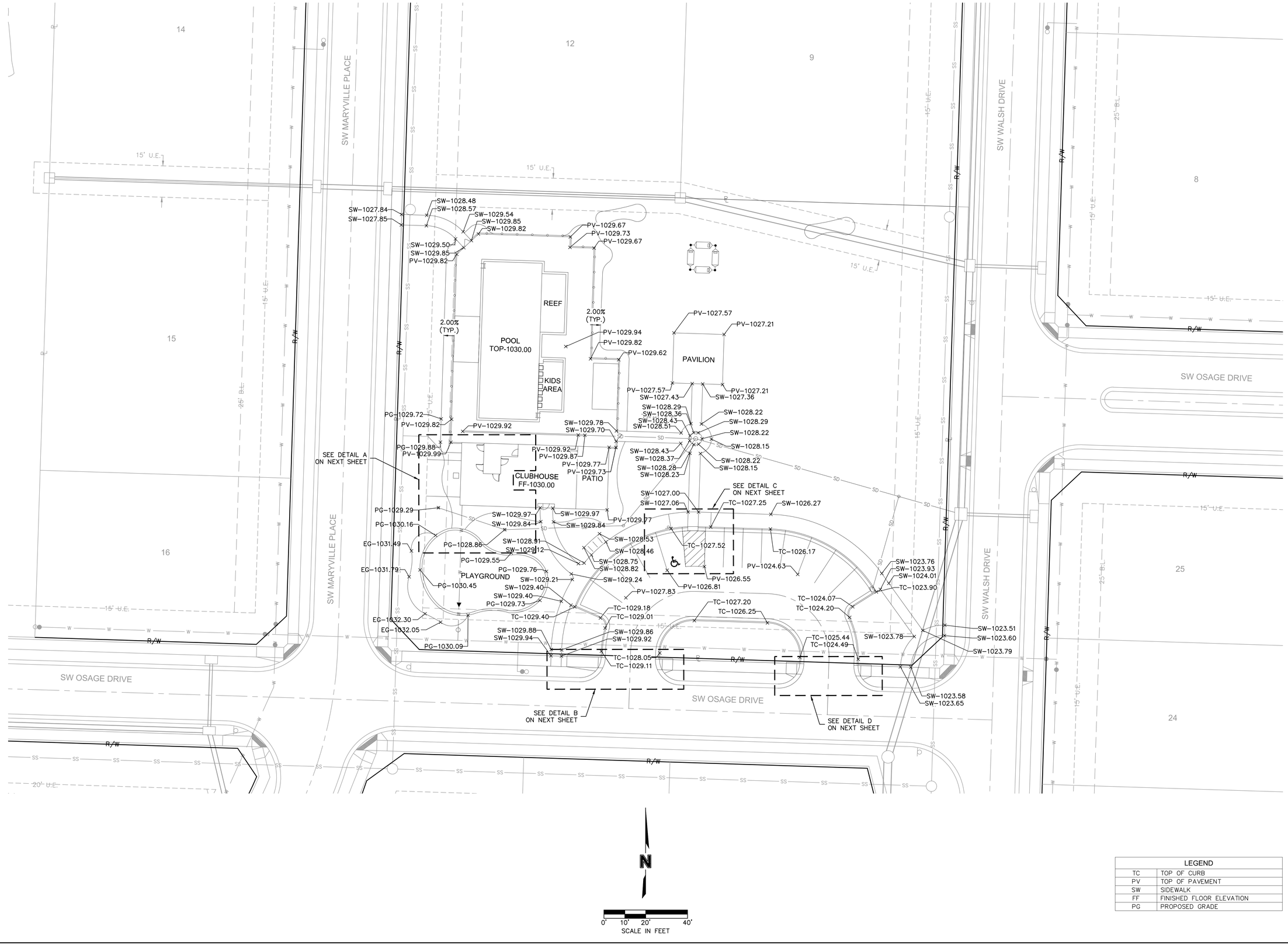

LEGEND	
TC	TOP OF CURB
PV	TOP OF PAVEMENT
SW	SIDEWALK
FF	FINISHED FLOOR ELEVATION
PG	PROPOSED GRADE

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STATE OF MISSOURI
JULIE ELAINE SELLERS
NUMBER PE-2017000367
2/12/21
PROFESSIONAL ENGINEER

REVISIONS

REV. NO.	DATE	REVISIONS DESCRIPTION	BY
1	06/19/2020	REVISED PER CITY COMMENTS	

SPOT ELEVATIONS
FINAL DEVELOPMENT PLAN

OSAGE
CLUBHOUSE

2020

LEE'S SUMMIT, MISSOURI

drawn by: GS
designed by: BMW
approved by: BMW
QA/QC by: JES
project no.: B19-2339
drawing no.: C_SPT01_B192339
date: 5/12/2020

SHEET
C05

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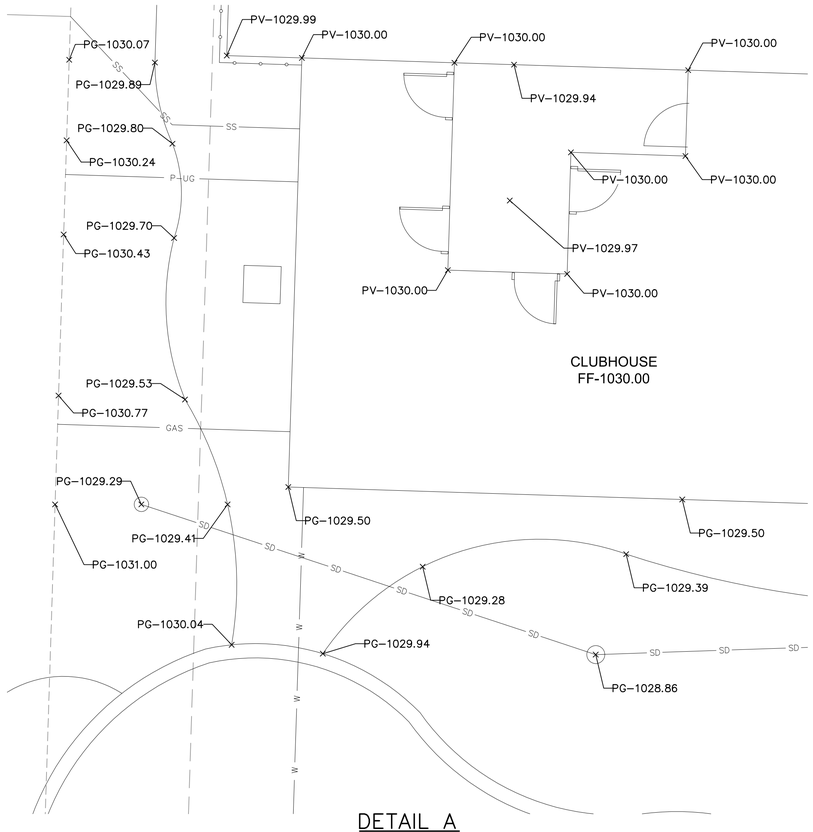
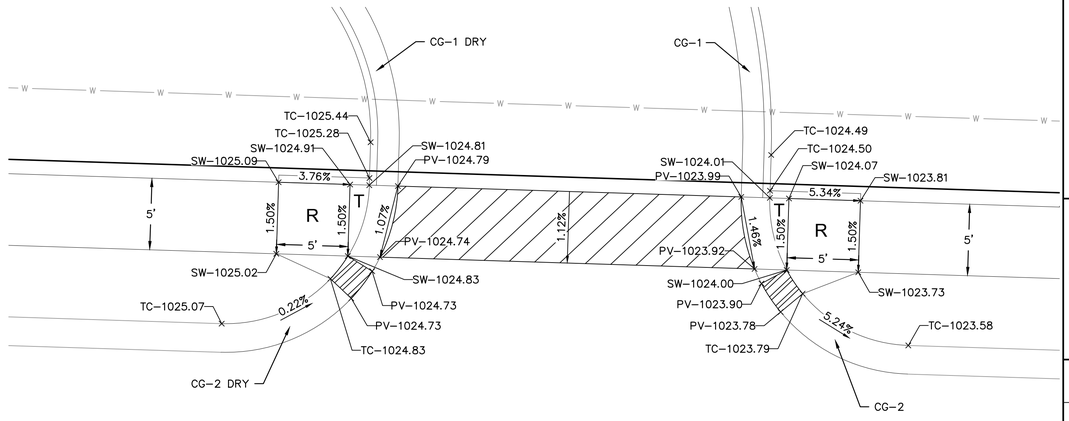
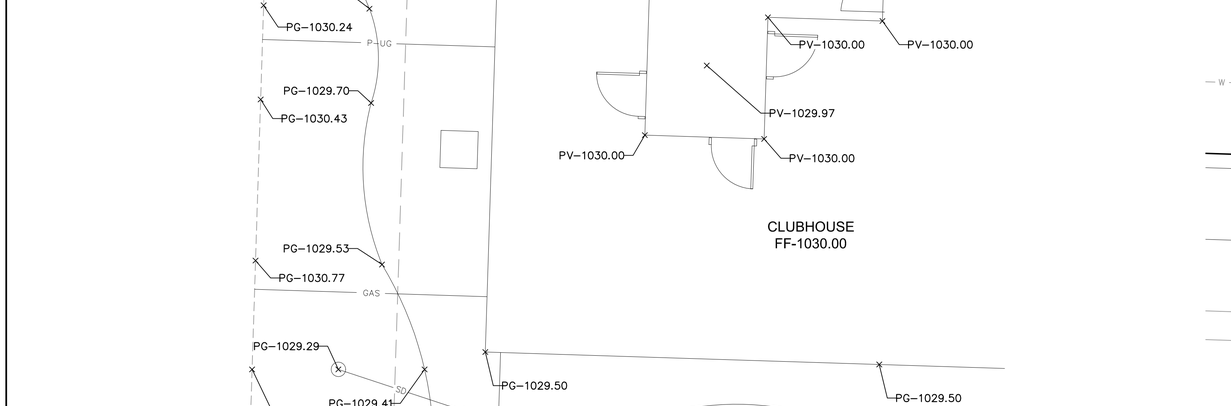


DETAIL A



DETAIL C



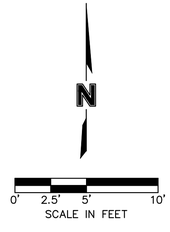
DETAIL B

DETAIL D

ADA LEGEND	
T	TRANSITION
L	LANDING
R	RAMP
	TRANSITION CURB LIMITS
	ADA PATHWAY

LEGEND	
TC	TOP OF CURB
PV	TOP OF PAVEMENT
SW	SIDEWALK
FF	FINISHED FLOOR ELEVATION
PG	PROPOSED GRADE

NOTES:
1. All ADA curb ramps shall be built per current municipality adopted ADA standards.
2. Curb ramp flares shall not be steeper than 1:10 max slope.
3. A turning space is required at all directional changes, which shall not have a slope greater than 2%.
4. Ramp runs shall have a maximum running slope of 7.5%.



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JULIE ELAINE SELLERS
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2/12/21
PROFESSIONAL ENGINEER

REVISIONS

REV. NO.	DATE	REVISIONS DESCRIPTION	BY

DETAILED SPOT ELEVATIONS
FINAL DEVELOPMENT PLAN

OSAGE
CLUBHOUSE

LEE'S SUMMIT, MISSOURI

2020

drawn by: GS
designed by: BMW
approved by: BMW
QA/QC by: JES
project no.: B19-2339
drawing no.: C_SPT01_B192339
date: 5/12/2020

SHEET
C06

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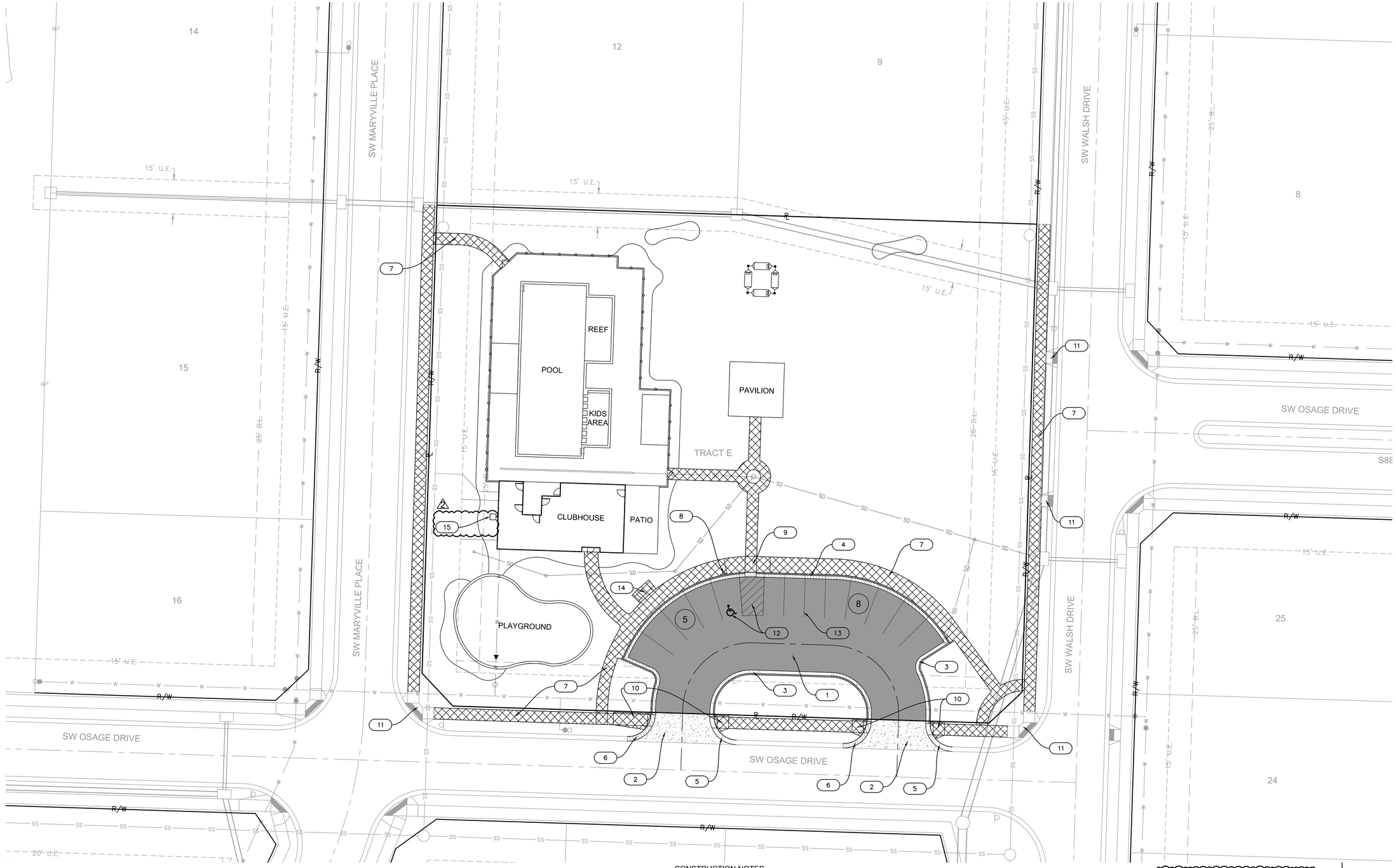

LEGEND			
	CONCRETE SIDEWALK (See Detail Sheet)		CG-1 CURB & GUTTER (See Detail Sheet)
	STANDARD DUTY ASPHALT PAVEMENT (See Detail Sheet)		CG-1 CURB & GUTTER (DRY) (See Detail Sheet)
	CONCRETE PAVEMENT (See Detail Sheet)		CG-2 CURB & GUTTER (See Detail Sheet)
(1)	# OF PARKING STALLS		CG-2 CURB & GUTTER (DRY) (See Detail Sheet)

SITE DATA TABLE	
TOTAL AREA	57,884 S.F. (1.33 AC.)
TOTAL BUILDING FLOOR AREA	1,480 S.F.
PROPOSED IMPERVIOUS AREA	19,174 S.F. (0.44 AC.)
REQUIRED PARKING (1 STALL/16 UNITS)	10 STALLS (INCLUDING 1 ADA STALL) (75 LOTS, 160 UNITS)
PROPOSED PARKING	13 STALLS (INCLUDING 1 ADA STALL)

CONSTRUCTION NOTES

1. CONSTRUCT STANDARD DUTY ASPHALT PAVEMENT (SEE LEGEND)
2. CONSTRUCT STANDARD CONCRETE PAVEMENT – KCMMB (SEE LEGEND)
3. TYPE CG-1 CONCRETE CURB AND GUTTER (SEE LEGEND)
4. TYPE CG-1 DRY CONCRETE CURB AND GUTTER (SEE LEGEND)
5. TYPE CG-2 CONCRETE CURB AND GUTTER (SEE LEGEND)
6. TYPE CG-2 DRY CONCRETE CURB AND GUTTER (SEE LEGEND)
7. CONSTRUCT PRIVATE SIDEWALK
8. PROPOSED ACCESSIBLE PARKING SIGN
9. CONSTRUCT ACCESSIBLE SIDEWALK LANDING (SEE SPOT ELEVATION PLAN)
10. ADA RAMP WITHOUT TRUNCATED DOMES
11. EXISTING ADA RAMP
12. PROPOSED ACCESSIBLE STRIPING (TYP.) (SEE DETAIL SHEET)
13. PROPOSED PAVEMENT STRIPING (TYP.) (SEE NOTE 10, SHEET C02)
14. PROPOSED BICYCLE RACKS
15. CONSTRUCT 3" THICK CONCRETE PAD FOR CONDENSER

SCALE IN FEET: 0' 10' 20' 40'

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STATE OF MISSOURI
JULIE ELAINE SELLERS
NUMBER PE-2017000367
2/12/21
PROFESSIONAL ENGINEER

REV. NO.	DATE	REVISIONS DESCRIPTION	BY
1	08/19/2020	REVISED PER CITY COMMENTS	
2	09/10/2021	REVISED PER CITY COMMENTS	

REVISIONS

SITE PLAN
FINAL DEVELOPMENT PLAN

OSAGE CLUBHOUSE

LEE'S SUMMIT, MISSOURI

2020

drawn by:	GS
designed by:	BMW
approved by:	BMW
QA/QC by:	JES
project no.:	B19-2339
drawing no.:	C_SIT01_B192339
date:	5/12/2020

SHEET
C07

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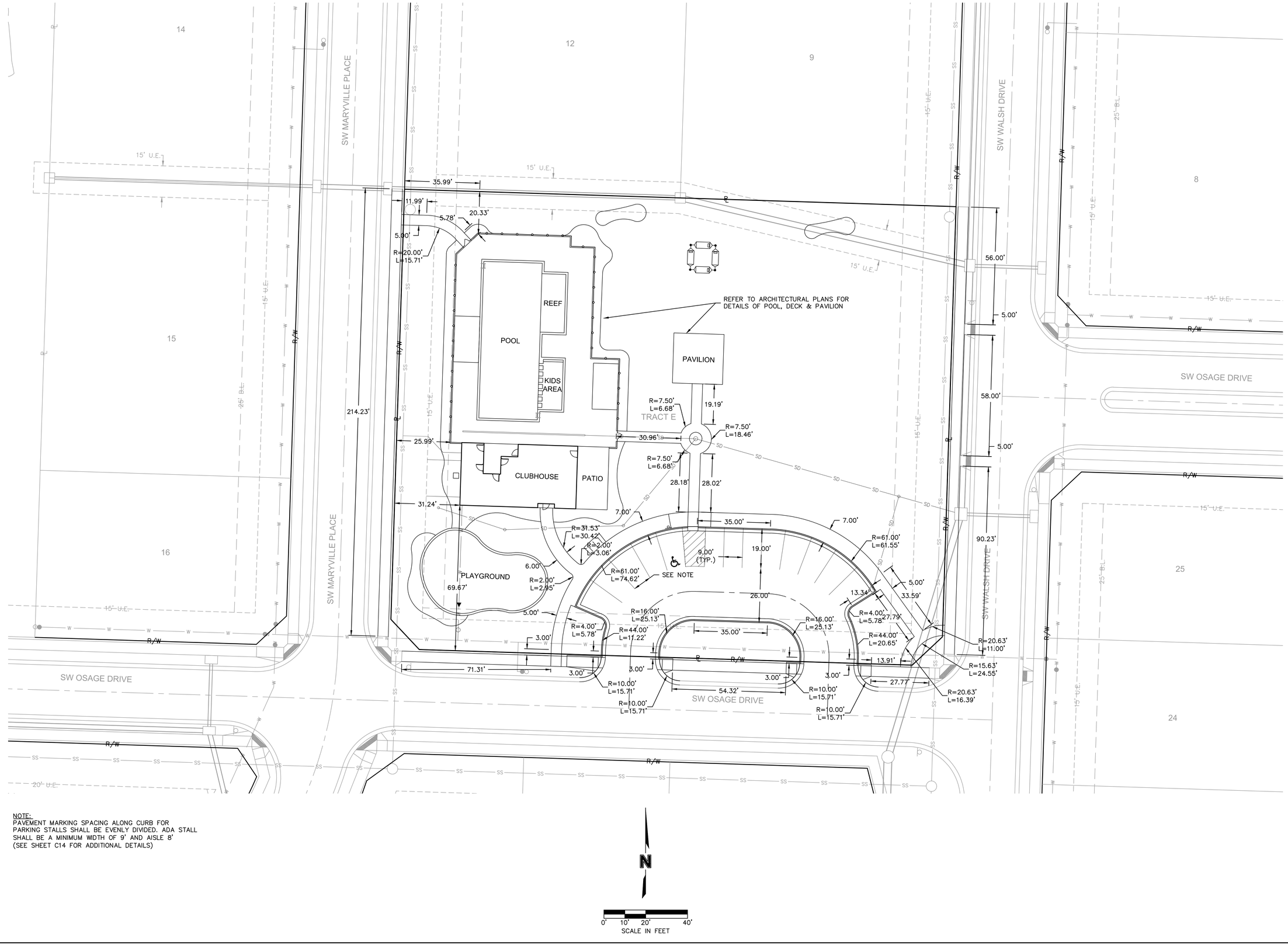
USER: bworthley



NOTE:
PAVEMENT MARKING SPACING ALONG CURB FOR PARKING STALLS SHALL BE EVENLY DIVIDED. ADA STALL SHALL BE A MINIMUM WIDTH OF 9' AND AISLE 8' (SEE SHEET C14 FOR ADDITIONAL DETAILS)

N

0' 10' 20' 40'
SCALE IN FEET

DWG: F:\2019\2001-2500\019-2339-BV\40-Design\AutoCAD\Final Plans\Sheets\GNCV\C_DIM01_B192339.dwg USER: bworthley
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TEL 816.361.1177
www.olsson.com

STATE OF MISSOURI
JULIE ELAINE SELLERS
NUMBER PE-2017000367
2/12/21
PROFESSIONAL ENGINEER

REV. NO.	DATE	REVISIONS DESCRIPTION	BY

REVISIONS

DIMENSION PLAN
FINAL DEVELOPMENT PLAN

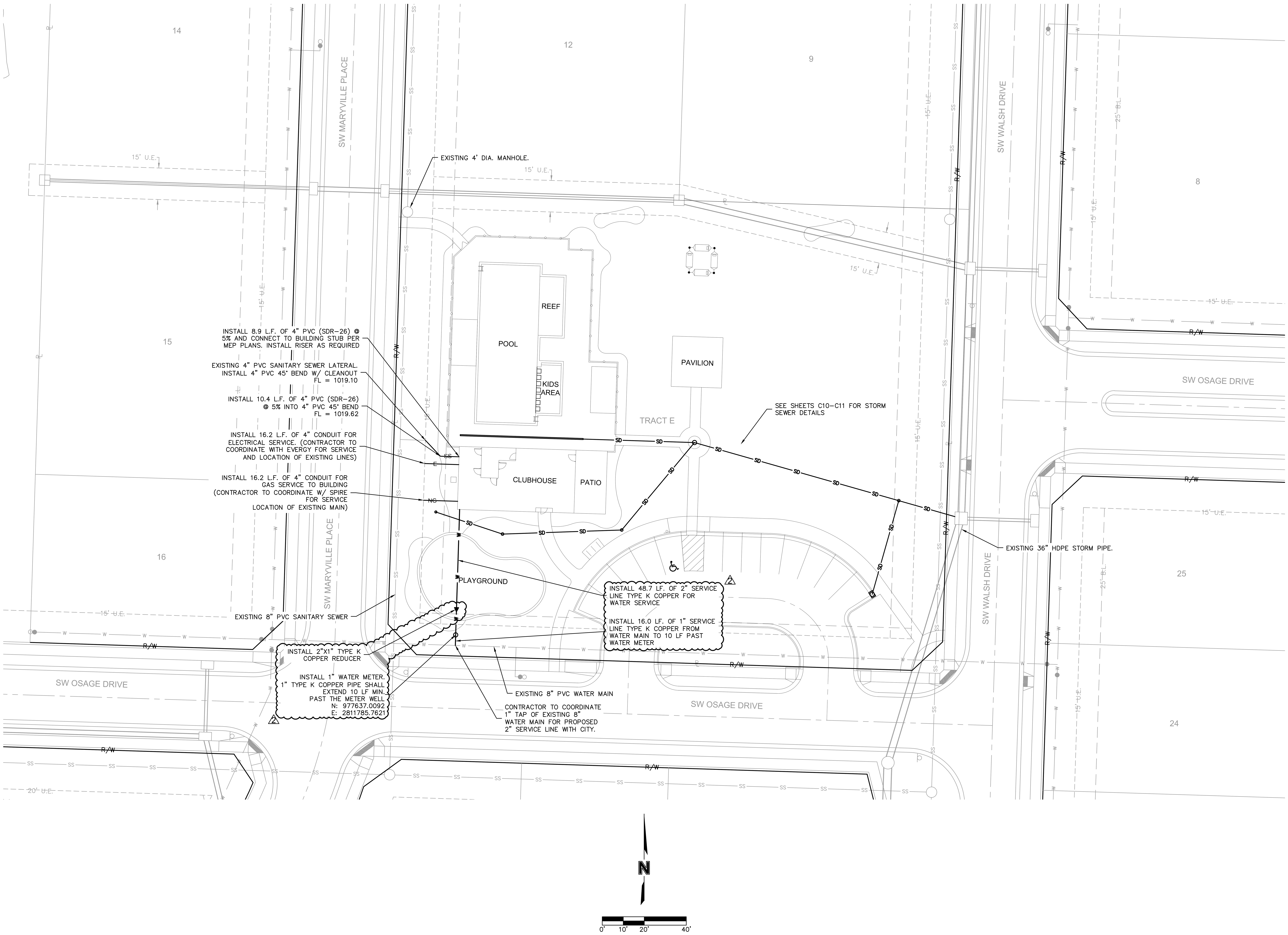
OSAGE
CLUBHOUSE

2020

LEE'S SUMMIT, MISSOURI

drawn by:	GS
designed by:	BMW
approved by:	BMW
QA/QC by:	JES
project no.:	B19-2339
drawing no.:	C_DIM01_B192339
date:	5/12/2020

SHEET
C08



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STATE OF MISSOURI
JULIE ELAINE SELLERS
NUMBER PE-2017000367
2/12/21
PROFESSIONAL ENGINEER

REVISIONS

REV. NO.	DATE	REVISIONS DESCRIPTION	BY
1	06/19/2020	REVISED PER CITY COMMENTS	
2	02/10/2021	REVISED PER CITY COMMENTS	

2020

UTILITY PLAN
FINAL DEVELOPMENT PLAN

OSAGE CLUBHOUSE

LEE'S SUMMIT, MISSOURI

drawn by: GS
designed by: BMW
approved by: BMW
QA/QC by: JES
project no.: B19-2339
drawing no.: C_UTL01_B192339
date: 5/12/2020

SHEET C09

DWG: F:\2019\2001-2500\019-2339-B\40-Design\AutoCAD\Final Plans\Sheets\GNCV\C_UTL01_B192339.dwg USER: bworthley
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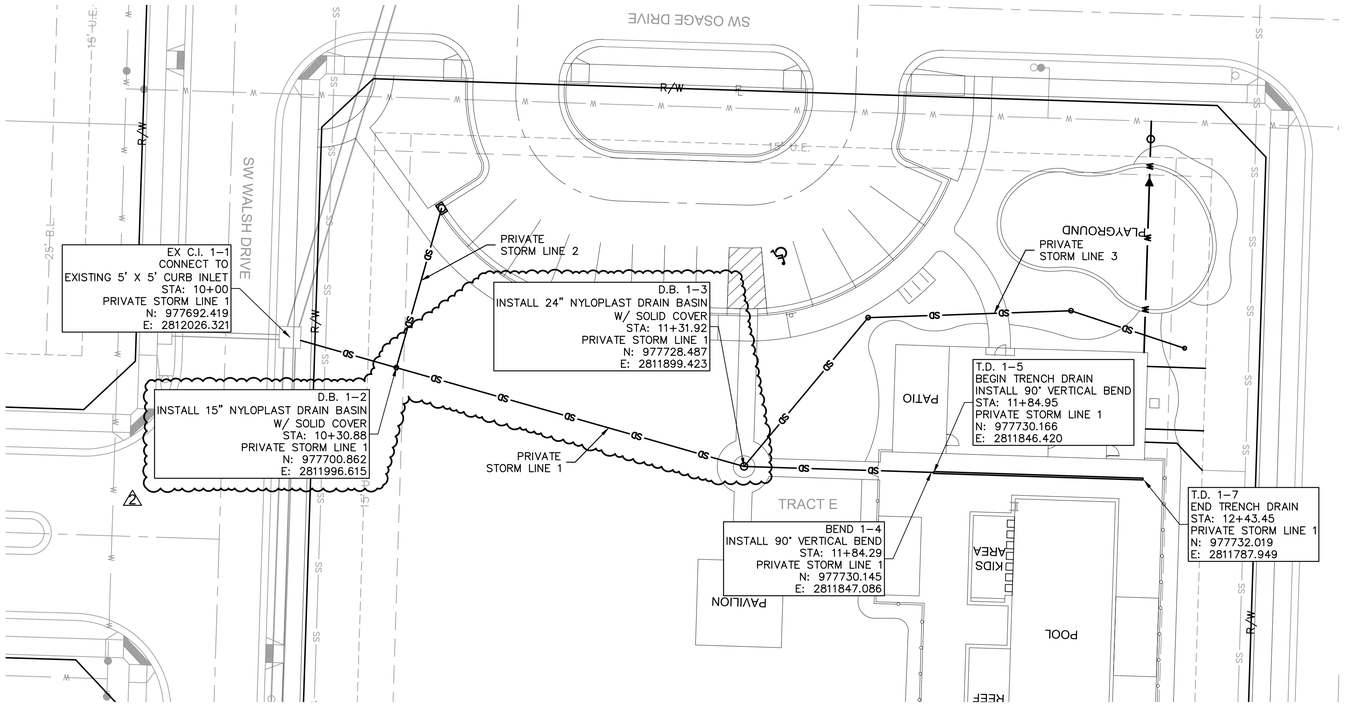

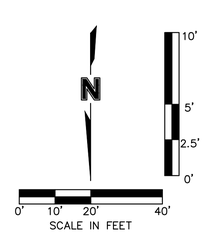

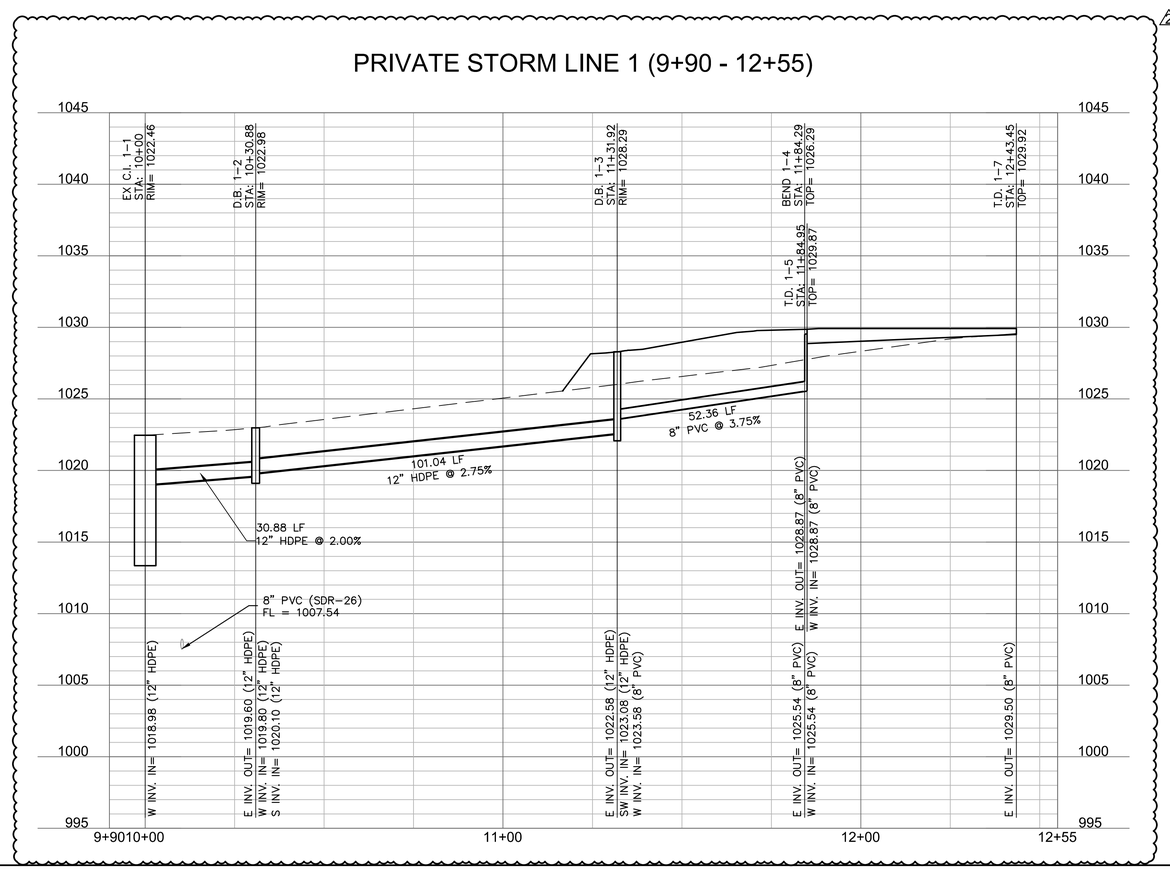

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STATE OF MISSOURI
JULIE ELAINE SELLERS
NUMBER PE-2017000367
2/12/21
PROFESSIONAL ENGINEER

REVISIONS

REV. NO.	DATE	REVISIONS DESCRIPTION	BY
1	06/19/2020	REVISED PER CITY COMMENTS	
2	02/10/2021	REVISED PER CITY COMMENTS	

STORM SEWER PLAN & PROFILE
FINAL DEVELOPMENT PLAN

OSAGE
CLUBHOUSE

LEE'S SUMMIT, MISSOURI

2020

drawn by: GS
designed by: BMW
approved by: BMW
QA/QC by: JES
project no.: B19-2339
drawing no.: C_STM01_B192339
date: 5/12/2020

SHEET
C10

DWG: F:\2019\2001-2500\019-2339-BY\40-Design\AutoCAD\Final Plans\Sheets\GNCV\C_STM01_B192339.dwg USER: bworthley
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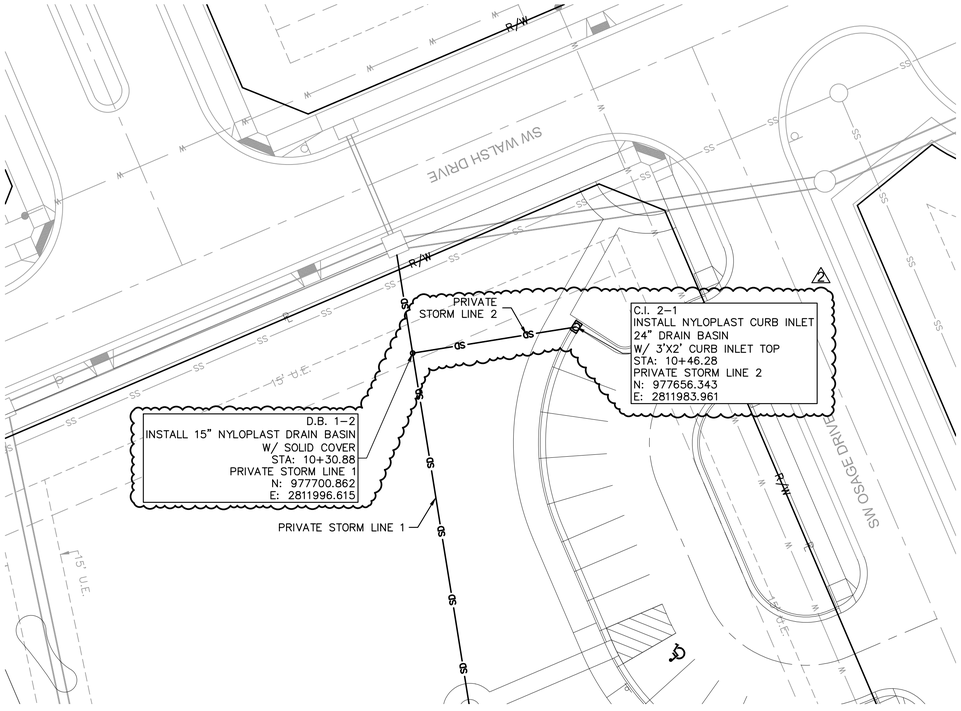

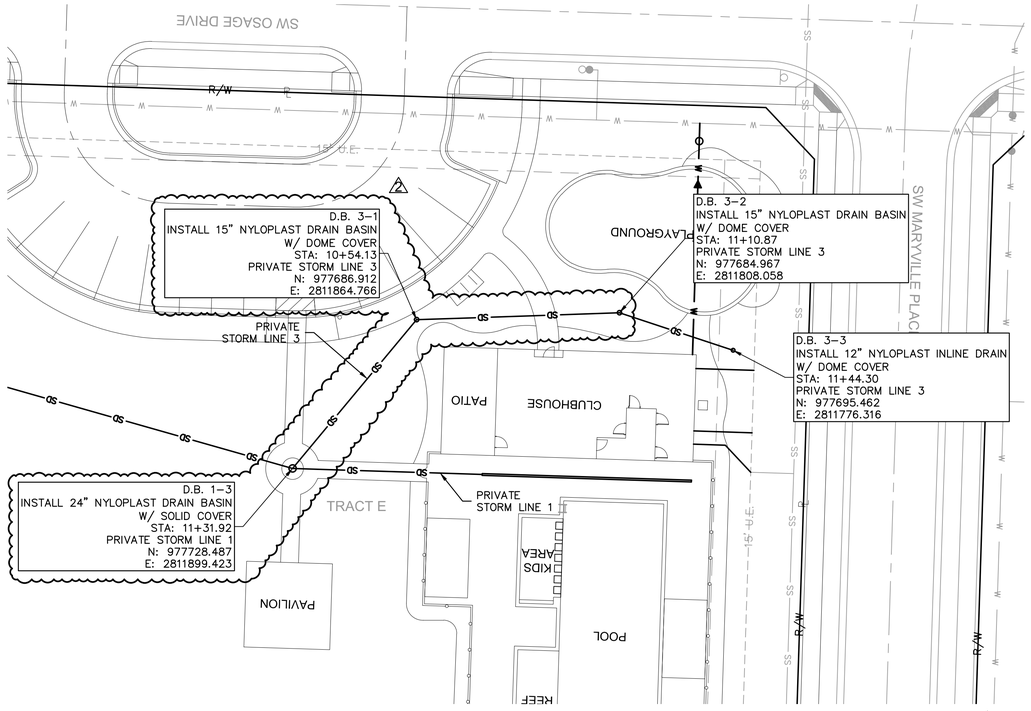

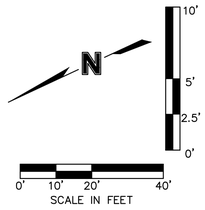

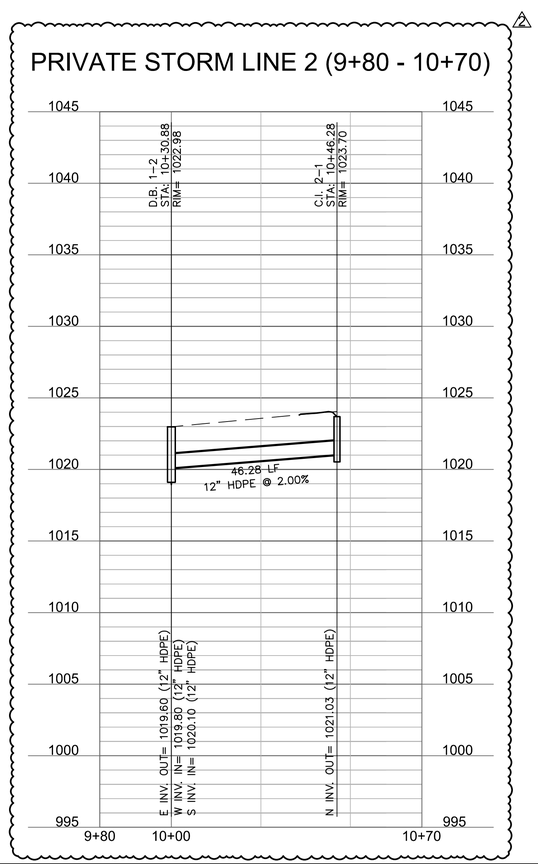

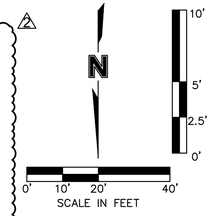

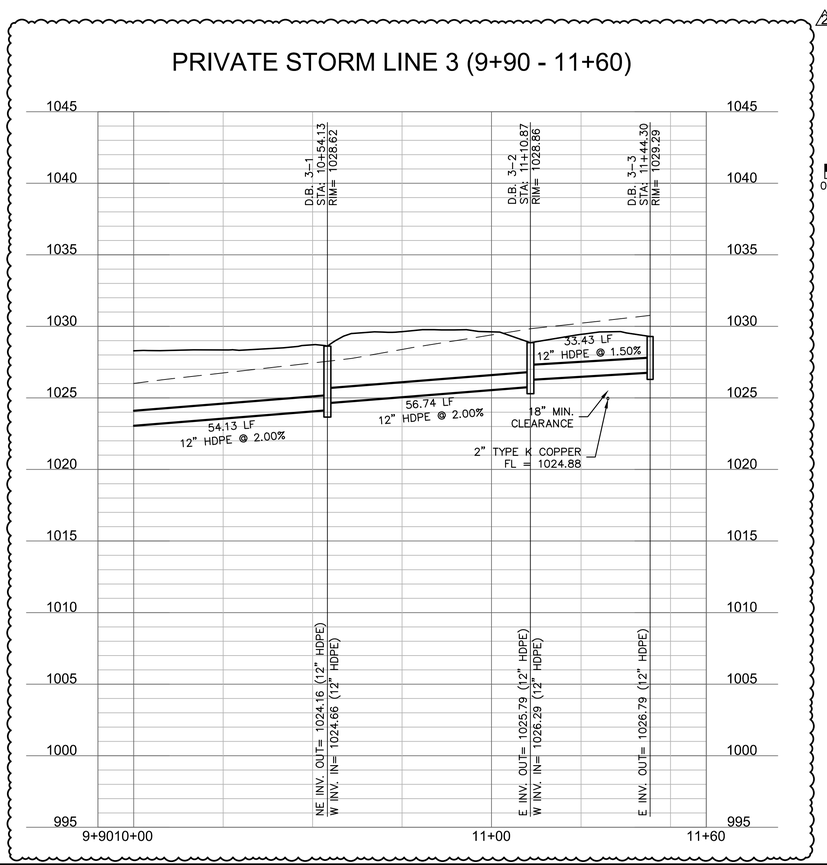

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2/12/21

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2	02/10/2021	REVISED PER CITY COMMENTS	

STORM SEWER PLAN & PROFILE
FINAL DEVELOPMENT PLAN

OSAGE
CLUBHOUSE

LEE'S SUMMIT, MISSOURI

2020

drawn by: GS
designed by: BMW
approved by: BMW
QA/QC by: JES
project no.: B19-2339
drawing no.: C_STM01_B192339
date: 5/12/2020

SHEET
C11

DWG: F:\2019\2001-2500\019-2339-BY\40-Design\AutoCAD\Final Plans\Sheets\GNCV\C_STM01_B192339.dwg USER: bworthley
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CONTRACTOR TO INSTALL CURB INLET PROTECTION PER APWA STANDARD DETAIL ESC-06. INLET PROTECTION TO REMAIN IN PLACE UNTIL SEEDING AND MULCHING OPERATIONS CAN TAKE PLACE AND ALL GROUND IS STABILIZED.

CONTRACTOR TO INSTALL AREA INLET PROTECTION PER APWA STANDARD DETAIL ESC-07. INLET PROTECTION TO REMAIN IN PLACE UNTIL SEEDING AND MULCHING OPERATIONS CAN TAKE PLACE AND ALL GROUND IS STABILIZED.

CONTRACTOR TO INSTALL SILT FENCE PER APWA STANDARD DETAIL ESC-03. SILT FENCE TO REMAIN IN PLACE UNTIL SEEDING AND MULCHING OPERATIONS CAN TAKE PLACE AND ALL GROUND IS STABILIZED.

CONTRACTOR TO INSTALL SILT FENCE PER APWA STANDARD DETAIL ESC-03. SILT FENCE TO REMAIN IN PLACE UNTIL SEEDING AND MULCHING OPERATIONS CAN TAKE PLACE AND ALL GROUND IS STABILIZED.

CONTRACTOR TO INSTALL CURB INLET PROTECTION PER APWA STANDARD DETAIL ESC-06. INLET PROTECTION TO REMAIN IN PLACE UNTIL SEEDING AND MULCHING OPERATIONS CAN TAKE PLACE AND ALL GROUND IS STABILIZED.

CONTRACTOR TO INSTALL AREA INLET PROTECTION PER APWA STANDARD DETAIL ESC-07. INLET PROTECTION TO REMAIN IN PLACE UNTIL SEEDING AND MULCHING OPERATIONS CAN TAKE PLACE AND ALL GROUND IS STABILIZED.

APPROXIMATE LOCATION OF CONSTRUCTION ENTRANCE AND CONCRETE WASHOUT. LOCATION MAY BE VARIED TO ACCOMMODATE CONSTRUCTION. CONSTRUCTION ENTRANCE AND CONCRETE WASHOUT TO BE INSTALLED PER APWA STANDARD DETAIL ESC-01

CONTRACTOR TO INSTALL CURB INLET PROTECTION PER APWA STANDARD DETAIL ESC-06. INLET PROTECTION TO REMAIN IN PLACE UNTIL SEEDING AND MULCHING OPERATIONS CAN TAKE PLACE AND ALL GROUND IS STABILIZED.

CONTRACTOR TO INSTALL SILT FENCE PER APWA STANDARD DETAIL ESC-03. SILT FENCE TO REMAIN IN PLACE UNTIL SEEDING AND MULCHING OPERATIONS CAN TAKE PLACE AND ALL GROUND IS STABILIZED.

SW MARYVILLE PLACE
SW WALSH DRIVE
SW OSAGE DRIVE
POOL TOP=1030
REEF
KIDS AREA
PAVILION
TRACT E
CLUBHOUSE FFE=1030
PATIO
LAYGROUND

DISTURBED AREA = 0.82 AC.

LEGEND	
DEVICES	
SF	SILT FENCE
	STORM DRAIN INLET PROTECTION
	TEMPORARY STONE CONSTRUCTION ENTRANCE

NOTES:
1. THE CONTRACTOR SHALL CONTACT THE CITY'S DEVELOPMENT SERVICES ENGINEERING INSPECTORS 48 HOURS PRIOR TO ANY LAND DISTURBANCE WORK AT (816) 969-1200

2. THE EROSION CONTROL PLAN INDICATES THE FINAL PLACEMENT OF EROSION CONTROL DEVICES. THE CONTRACTOR(S) MAY PROCEED WITH THE CONSTRUCTION PRIOR TO THE FINAL PLACEMENT OF THESE DEVICES BY PROVIDING ADDITIONAL DEVICES TO CONTROL EROSION ON THEIR ITEMS OF WORK. THESE DEVICES SHALL BE MAINTAINED UNTIL THE FINAL DEVICES ARE IN PLACE.

3. REFER TO LANDSCAPING PLAN FOR SEEDING + LANDSCAPING REQUIREMENTS.

4. SEE SHEET C15 FOR DETAILS.

N
0' 10' 20' 40'
SCALE IN FEET

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STATE OF MISSOURI
JULIE ELAINE SELLERS
NUMBER PE-2017000367
PROFESSIONAL ENGINEER
2/12/21

REV. NO.	DATE	REVISIONS DESCRIPTION	BY
1	06/19/2020	REVISED PER CITY COMMENTS	

REVISIONS

EROSION CONTROL PLAN
FINAL DEVELOPMENT PLAN

OSAGE CLUBHOUSE

LEE'S SUMMIT, MISSOURI

2020

drawn by: GS
designed by: BMW
approved by: BMW
QA/QC by: JES
project no.: B19-2339
drawing no.: C_ERC01_B192339
date: 5/12/2020

SHEET C12

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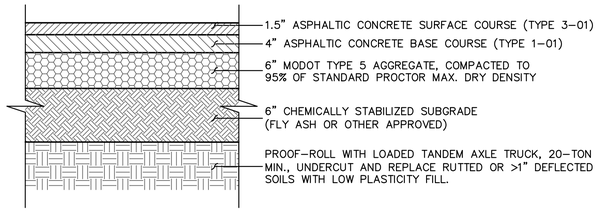
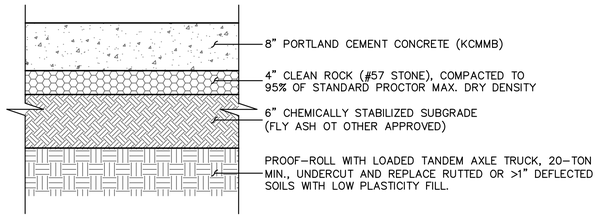
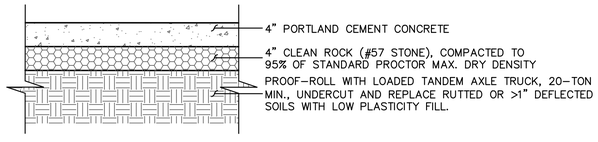


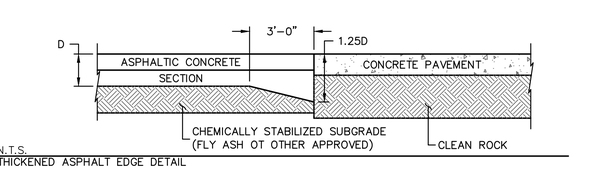
N.T.S.
01 STANDARD DUTY ASPHALT PAVEMENT SECTION



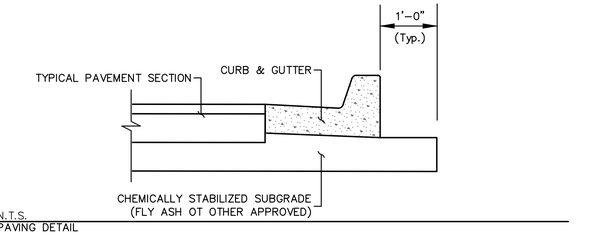
N.T.S.
02 STANDARD CONCRETE PAVEMENT SECTION



N.T.S.
03 STANDARD CONCRETE SIDEWALK SECTION

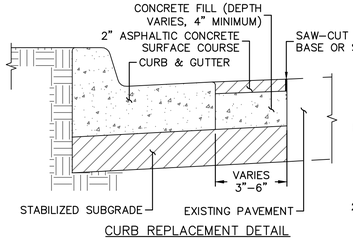


N.T.S.
04 THICKENED ASPHALT EDGE DETAIL

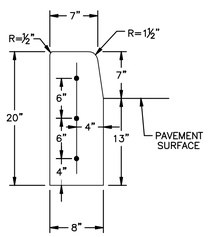


N.T.S.
05 PAVING DETAIL

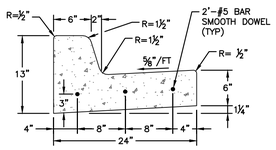
GENERAL NOTES:
1. ¾" ISOLATION JOINTS WITH 3 (2'-#5 BAR) SMOOTH DOWELS SHALL BE PLACED AT RADIUS POINTS AND AT 150' INTERVALS. THESE DOWEL BARS SHALL BE GREASED AND WRAPPED ON ONE END WITH EXPANSION TUBES.
2. 3" DEEP CONTRACTION JOINTS SHALL BE INSTALLED AT APPROXIMATELY 10' INTERVALS. THESE JOINTS SHALL PASS ACROSS THE ENTIRE CURB SECTION.
3. CONCRETE FILL SHALL HAVE UNIFORM AND SMOOTH FINISH.
4. KCMMB 4K CONCRETE SHALL BE USED FOR ALL CURBS.
5. ASPHALTIC CONCRETE SURFACE SHALL CONFORM TO STANDARD SPECIFICATIONS SECTION 2205.2.
6. CURBS FOR NEW STREETS SHALL BE BUILT ON ASPHALT OR AGGREGATE BASE AS SHOWN IN TYPICAL SECTION DETAIL.
7. WHITE CURING COMPOUND MUST BE APPLIED UNIFORMLY TO THE CONCRETE SURFACE IMMEDIATELY AFTER FINAL FINISHING.



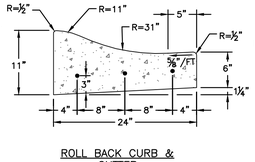
CURB REPLACEMENT DETAIL



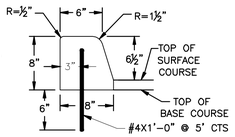
STRAIGHT CURB
(TYPE C-1)



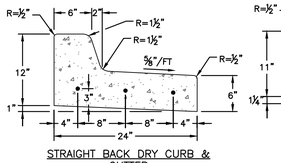
STRAIGHT BACK CURB & GUTTER
(TYPE CG-1)



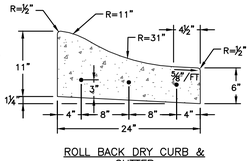
ROLL BACK CURB & GUTTER
(TYPE CG-2)



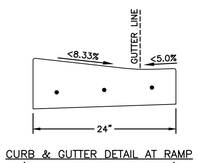
DOWELLED CURB
(TYPE DC)



STRAIGHT BACK DRY CURB & GUTTER
(TYPE CG-1 DRY)

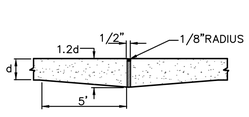


ROLL BACK DRY CURB & GUTTER
(TYPE CG-2 DRY)

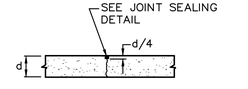


CURB & GUTTER DETAIL AT RAMP
(ADA SLOPE REQUIREMENTS)

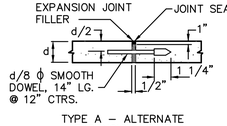
N.T.S.
06 CURB & GUTTER DETAIL



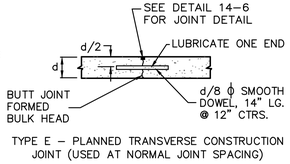
TYPE A – EXPANSION JOINT



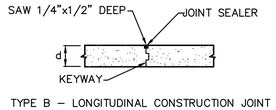
TYPE D – SAWED LONGITUDINAL OR TRANSVERSE



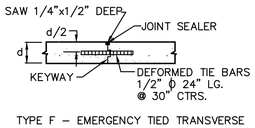
TYPE A – ALTERNATE EXPANSION JOINT



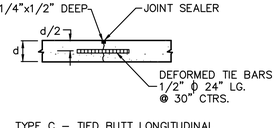
TYPE E – PLANNED TRANSVERSE CONSTRUCTION JOINT (USED AT NORMAL JOINT SPACING)



TYPE B – LONGITUDINAL CONSTRUCTION JOINT



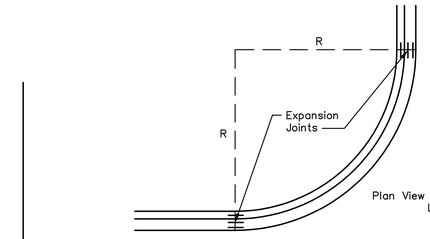
TYPE F – EMERGENCY TIED TRANSVERSE CONSTRUCTION JOINT
(USED AT MIDDLE THIRD NORMAL JOINT SPACING)



TYPE C – TIED BUTT LONGITUDINAL CONSTRUCTION JOINT

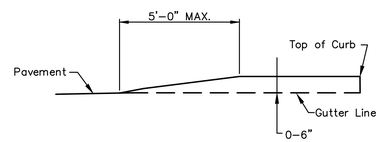
KEYWAYS FOR TYPE B AND F CONSTRUCTION JOINT

N.T.S.
07 CONCRETE PAVEMENT JOINTING DETAILS

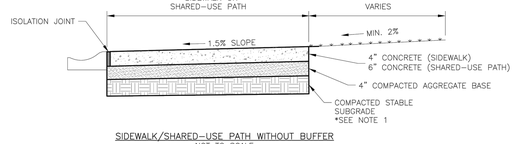


NOTES:
1. 3/4" EXPANSION JOINTS WITH 2' DOWELS TO BE PLACED AT RADIUS POINTS AND AT 150' INTERVALS. THESES DOWELS SHALL BE GREASED AND WRAPPED ON ONE END WITH EXPANSION TUBES.
2. 2" DEEP CONTRACTION JOINTS SHALL BE INSTALLED AT APPROXIMATELY 10' INTERVALS.
3. FIX DOWELS WITH BAR CHAIRS OR EQUAL.

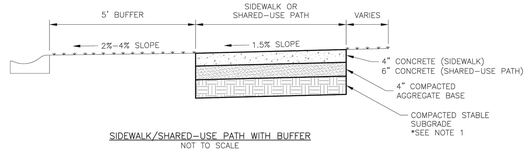
N.T.S.
08 EXPANSION JOINT PLACEMENT DETAIL



N.T.S.
09 CURB TERMINUS DETAIL



SIDEWALK/SHARED-USE PATH WITHOUT BUFFER
NOT TO SCALE



SIDEWALK/SHARED-USE PATH WITH BUFFER
NOT TO SCALE

GENERAL NOTES:
1. SUBGRADE MUST BE OF STABLE, COMPACTED EARTH AND SHALL BE OVERLAYED WITH 4" COMPACTED DENSE GRADED AGGREGATE BASE.
2. 1.5% CROSS SLOPE MUST BE MAINTAINED THROUGH DRIVEWAYS.
3. KCMMB 4K CONCRETE MIX SHALL BE REQUIRED FOR ALL SIDEWALKS/SHARED-USE PATHS OR AS APPROVED BY THE CITY INSPECTOR.
4. ALL SIDEWALK/SHARED-USE PATHS SHALL MEET CURRENT PUBLIC RIGHT OF WAY ACCESSIBILITY GUIDELINES (PROWAG).
5. AN ISOLATION JOINT SHALL BE PLACED AT A MAXIMUM OF 150 FT. CONSTRUCTION JOINTS SHALL BE PLACED THE SAME WIDTH OF SIDEWALK/SHARED-USE PATHS, BUT NO GREATER THAN 10 FT.
6. AN ISOLATION JOINT SHALL BE PLACED WHERE THE SIDEWALK/SHARED-USE PATHS MEETS A RESIDENTIAL DRIVEWAY.
7. SHARED-USE PATHS WIDTH SHALL BE 10 FT. WIDE.
8. SIDEWALK/SHARED-USE PATHS FINISHING SHALL BE FULL BROOM FINISH OR AS DIRECTED BY CITY INSPECTOR.
9. WHITE CURING COMPOUND MUST BE APPLIED UNIFORMLY TO THE CONCRETE SURFACE IMMEDIATELY AFTER FINAL FINISHING.

LEE'S SUMMIT
MISSOURI
PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64063

SIDEWALK/SHARED-USE PATH DETAIL

Date: 04/17
Drawn By: MIF
Checked By: DL

GEN-2

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STATE OF MISSOURI
JULIE ELAINE SELLERS
NUMBER PE-2017000367
2/12/21
PROFESSIONAL ENGINEER

REVISIONS

REV. NO.	DATE	REVISIONS DESCRIPTION	BY
1	06/19/2020	REVISED PER CITY COMMENTS	

DETAIL SHEET
FINAL DEVELOPMENT PLAN

OSAGE CLUBHOUSE

LEE'S SUMMIT, MISSOURI

2020

drawn by: GS
designed by: BMW
approved by: BMW
QA/QC by: JES
project no.: B19-2339
drawing no.: C_DTL01_B192339
date: 5/12/2020

SHEET
C13

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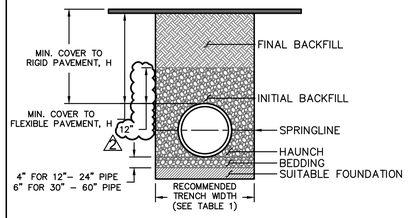
USER: bworthley



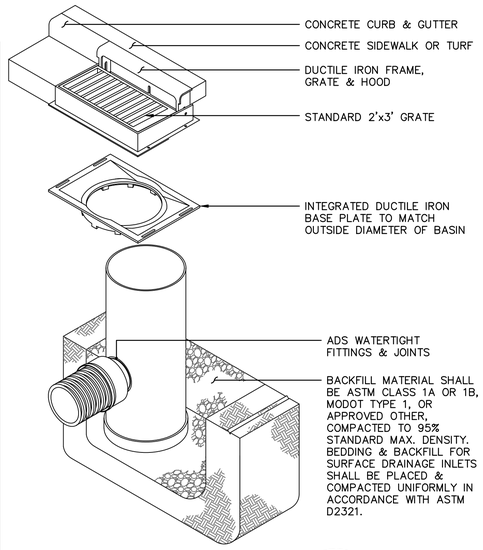
PIPE DIA.	MIN. TRENCH WIDTH*
<4"	O.D.+15"
4"	21"
6"	23"
8"	26"
10"	28"
12"	30"
15"	34"
18"	39"
24"	48"
30"	56"
36"	64"
42"	72"
48"	80"
54"	88"
60"	96"

*TRENCH CENTERED ON PIPE

NOTES:

1. ALL HDPE AND PVC PIPE SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321, "STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS", LATEST EDITION.
2. IF TRENCH IS EXCAVATED IN ROCK OR HIGH–BEARING STRENGTH SOILS, TRENCH WIDTHS FOR 24" – 60" DIA. MAY BE REDUCED, FROM VALUES IN TABLE 1, TO THE PIPE OD PLUS 12".
3. MEASURES SHOULD BE TAKEN TO PREVENT MIGRATION OF NATIVE FINES INTO BACKFILL MATERIAL, WHEN REQUIRED.
4. FOUNDATION: WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE GEOTECHNICAL ENGINEER AND REPLACE WITH SUITABLE MATERIAL AS SPECIFIED BY THE GEOTECHNICAL ENGINEER. AS AN ALTERNATIVE AND AT THE DISCRETION OF THE DESIGN ENGINEER, THE TRENCH BOTTOM MAY BE STABILIZED USING A GEOTEXTILE MATERIAL.
5. BEDDING: SUITABLE MATERIAL SHALL BE ASTM CLASS 1A OR 1B, MODOT TYPE 1, OR APPROVED OTHER, COMPACTED TO 95% STANDARD MAX. DENSITY.. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER. UNLESS OTHERWISE NOTED BY THE ENGINEER, MINIMUM BEDDING THICKNESS SHALL BE 4" (100mm) FOR PIPE 24" DIAMETER AND LESS; 6" FOR 30"–60" DIAMETER PIPE.
6. INITIAL BACKFILL: SUITABLE MATERIAL SHALL BE ASTM CLASS 1A OR 1B, MODOT TYPE 1, OR APPROVED OTHER, COMPACTED TO 95% STANDARD MAX. DENSITY IN THE PIPE ZONE EXTENDING NOT LESS THAN 6" ABOVE CROWN OF PIPE. MATERIAL SHALL BE INSTALLED AS REQUIRED IN ASTM D2321, LATEST EDITION. INSTALL AND COMPACT IN 6" MAXIMUM LIFTS.
7. FINAL BACKFILL: EXCEPT WHERE SUPERCEDED BY CITY REQUIREMENTS FOR RIGHT–OF–WAY CONSTRUCTION, GEOTECHNICAL REQUIREMENTS FOR UTILITY TRENCH BACKFILL, AND OTHER CONSIDERATIONS, SUITABLE MATERIAL MAY BE SITE SOILS COMPACTED TO 95% STANDARD MAX. DENSITY TO WITHIN 12" OF THE PAVEMENT SUBGRADE, AND TO SUBGRADE ELEVATION FOR NON–PAVED AREAS.
8. MINIMUM COVER: MINIMUM COVER, H, IN NON–TRAFFIC RATED APPLICATIONS (GRASS OR LANDSCAPE AREAS) IS 12" FROM THE TOP OF PIPE TO GROUND SURFACE. ADDITIONAL COVER MAY BE REQUIRED PER CITY AND/OR UTILITY STANDARDS AND/OR TO PREVENT FLOTATION. FOR TRAFFIC APPLICATIONS, MINIMUM COVER, H, IS 12" FOR UP TO 48" DIAMETER PIPE AND 24" OF COVER FOR UP TO 60" DIAMETER PIPE, MEASURED FROM TOP OF PIPE TO BOTTOM OF FLEXIBLE OR TO TOP OF RIGID PAVEMENT.

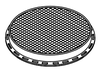
N.T.S.
01 PIPE TRENCHING & BEDDING



DRAIN BASIN NOTES:

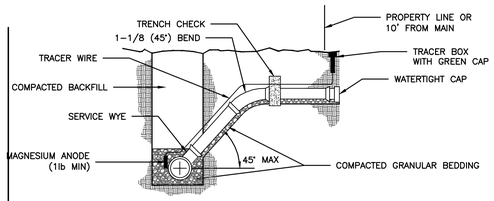
1. BOTH DRAIN BASINS AND CURB INLETS USE STANDARD BASIN ASSEMBLY.
2. UNLESS OTHERWISE COORDINATED WITH ENGINEER, NO SUBSTITUTION FOR ADS NYLOPLAST STRUCTURES, INCLUDING ALL PARTS. ALL CONSTRUCTION SHALL BE PER MANUFACTURER'S STANDARDS AND RECOMMENDATIONS.

DOME COVER

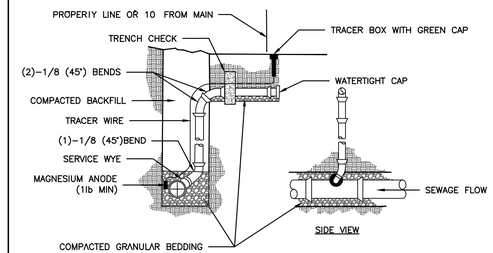


SOLID COVER

N.T.S.
02 ADS NYLOPLAST STRUCTURES



STANDARD INSTALLATION
NOT TO SCALE

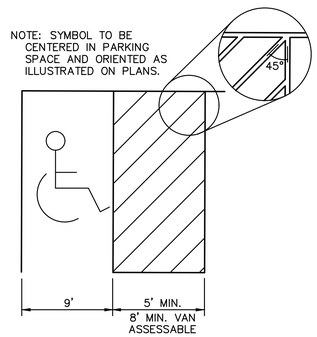


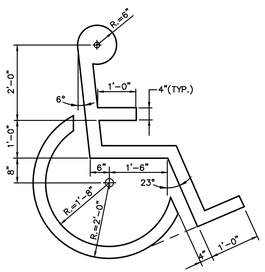
VERTICAL RISER
NOT TO SCALE

NOTES:

1. ALL SEWER STUBS SHALL BE CONSTRUCTED TO PROPERTY LINE OR 10' MINIMUM FROM THE MAIN. WHERE SIDEWALKS ARE PRESENT, CONTRACTOR SHALL EXTEND SERVICE LINE UNDER EXISTING SIDEWALK TO TWO FEET BEYOND.
2. ALL NEW CONSTRUCTION OFF SEWER STUBS SHALL BE TEMPORARILY MARKED WITH A MARKING STAKE, 36" ABOVE GROUND AND PAINTED GREEN.
3. IMPERVIOUS TRENCH CHECKS SHALL BE PLACED ON BUILDING SEWER STUBS (AT LEAST 5' AWAY FROM THE SANITARY SEWER MAIN).
4. TRENCH CHECKS ON THE BUILDING SEWER STUBS SHALL EXTEND 6" BELOW THE BOTTOM OF THE PIPE. LENGTH SHALL BE A MINIMUM OF 12". THE HEIGHT OF THE TRENCH CHECK SHALL EXTEND 12" ABOVE THE TOP OF THE PIPE. THE WIDTH OF THE TRENCH CHECK SHALL BE THE WIDTH OF THE TRENCH.
5. SEE SPECIFICATION SECTION 2100 FOR SEWER MAIN BEDDING AND BACKFILL.
6. #12 GAUGE GREEN INSULATED COPPER TRACER WIRE SHALL BE INSTALLED. TRACER WIRE TERMINAL BOXES SHALL BE INSTALLED DIRECTLY ABOVE THE SEWER SERVICE OR AS DETERMINED BY THE ENGINEER.
7. FOR SERVICES, TRACER WIRE SHALL RUN FROM THE WYE AND TERMINATE IN A FLUSH MOUNTED TRACER BOX WITH A GREEN CAST IRON LOCKABLE TOP. WIRE SHALL BE TAPED OR TIED TO THE PIPE AT 5' INTERVALS.
8. TRACER WIRE BOX SHALL BE INSTALLED WITHIN 1.0' OF PROPERTY LINE.
9. THE TRACER WIRE SHALL REMAIN CONTINUOUS TO THE GREATEST EXTENT POSSIBLE. SPLICES IN THE TRACER WIRE SHOULD BE MADE WITH SPLIT BOLT CONNECTORS. WIRE NUTS SHALL NOT BE USED. A WATER–PROOF CONNECTION IS NECESSARY TO PREVENT CORROSION.

N.T.S.
03 BUILDING SEWER STUB AND RISER



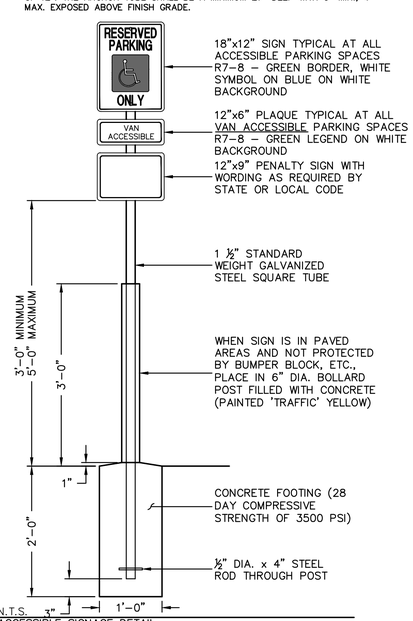


N.T.S.
04 ACCESSIBLE STRIPING DETAIL

NOTES:

1. ALL SIGNS SHALL COMPLY WITH THE U.S. DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATION'S "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES", LOCAL CODES AND AS SPECIFIED. MOUNT SIGNS TO POST IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS
2. GALVANIZED SQUARE TUBE:
   POST TUBES – 2"X2"X¼" 12GA.
   POST TUBE SHALL MEET ASTM A1011 GRADE 50.
   POST TUBE GALVANIZED AS PER ASTM A653 GRADE 90.
   ANCHOR TUBE – 2–¼"x2–¼"x¼" 12GA.
   HEAVY DUTY ANCHOR TUBE SHALL MEET ASTM A500 GRADE B.
   STRUCTURAL TUBE AND STEEL SHALL BE HOT DIP GALVANIZED PER ASTM A123

   THE UPPER SIGN POST SHALL TELESCOPE INSIDE THE ANCHOR TUBE A MINIMUM OF 12". THE ANCHOR TUBE SHALL BE A MINIMUM 27" DEEP WITH 3" MIN., 4" MAX. EXPOSED ABOVE FINISH GRADE.



N.T.S.
05 ACCESSIBLE SIGNAGE DETAIL

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STATE OF MISSOURI
JULIE ELAINE SELLERS
NUMBER PE-2017000367
2/12/21
PROFESSIONAL ENGINEER

REVISIONS

REV. NO.	DATE	REVISIONS DESCRIPTION	BY
2	02/10/2021	REVISED PER CITY COMMENTS	

DETAIL SHEET
FINAL DEVELOPMENT PLAN

OSAGE CLUBHOUSE

LEE'S SUMMIT, MISSOURI

2020

drawn by: GS
designed by: BMW
approved by: BMW
QA/QC by: JES
project no.: B19-2339
drawing no.: C_DTL01_B192339
date: 5/12/2020

SHEET
C14

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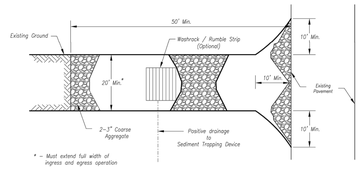
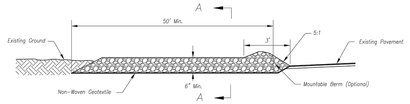
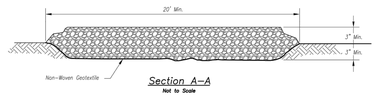


Plan View
Not to Scale



Side Elevation
Not to Scale



Section A-A
Not to Scale

Notes for Construction Entrance:

1. Avoid locating on steep slopes, at curves on public roads, or downhill of disturbed area.
2. Remove all vegetation and other unsuitable material from the foundation area, grade, and crown for positive drainage.
3. If slope towards the public road exceeds 2%, construct a 6- to 8-inch high ridge with 3H:1V side slopes across the foundation approximately 15 feet from the edge of the public road to divert runoff from it.
4. Install pipe under the entrance if needed to maintain drainage ditches along public roads.
5. Place stone to dimensions and grade as shown on plans. Leave surface sloped for drainage.
6. Divert all surface runoff and drainage from the entrance to a sediment control device.
7. If conditions warrant, place geotextile fabric on the graded foundation to improve stability.

Maintenance for Construction Entrance:

1. Reshape entrance as needed to maintain function and integrity of installation. Top dress with clean aggregate as needed.

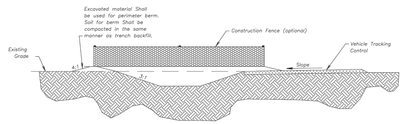
CONSTRUCTION ENTRANCE

Notes for Concrete Washout:

1. Concrete washout areas shall be installed prior to any concrete placement on site.
2. Concrete washout area shall include a flat subsurface pit sized relative to the amount of concrete to be placed on site. The slopes leading out of the subsurface pit shall be 3:1. The vehicle tracking pad shall be sloped towards the concrete washout area.
3. Vehicle tracking control is required at the access point to all concrete washout areas.
4. Signs shall be placed at the construction site entrance, washout area and elsewhere as necessary to clearly indicate the location(s) of the concrete washout area(s) to operators of concrete truck and pump rigs.
5. A one-piece impervious liner may be required along the bottom and sides of the subsurface pit in sandy or gravelly soils.

Maintenance for Concrete Washout:

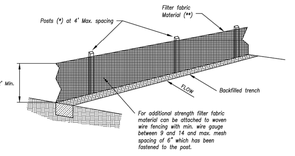
1. Concrete washout materials shall be removed once the materials have filled the washout to approximately 75% full.
2. Concrete washout areas shall be enlarged as necessary to maintain capacity for wasted concrete.
3. Concrete washout water, wasted pieces of concrete and all other debris in the subsurface pit shall be transported from the job site in a water-tight container and disposed of properly.
4. Concrete washout areas shall remain in place until all concrete for the project is placed.
5. When concrete washout areas are removed, excavations shall be filled with suitable compacted backfill and topsoil, any disturbed areas associated with the installation, maintenance, and/or removal of the concrete washout areas shall be stabilized.



CONCRETE WASHOUT

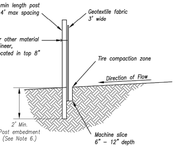
Construction Entrance modified from 2015 Overland Park Standard Details for Erosion and Sediment Control, Concrete Washout modified from 2009 City of Great Bend Standard Drawings.

AMERICAN PUBLIC WORKS ASSOCIATION	KANSAS CITY METRO CHAPTER
CONSTRUCTION ENTRANCE AND CONCRETE WASHOUT	STANDARD DRAWING NUMBER ESC-01 ADOPTED: 10/24/2016



(*) POSTS
- MIN. LENGTH 4'
- HARDWOOD 1 ½" x 1 ½"
- NO.2 SOUTHERN PINE 2 ⅜" x 2 ⅜"
- STEEL 1.33 LB/FT

(**) – Geotextile Fabric shall meet the requirements of AASHTO M288



SILT FENCE DETAILS
Not to Scale

Notes:

1. In order to contain water, the ends of the silt fence must be turned uphill (Figure A).
2. Long perimeter runs of silt fence must be limited to 100'. Runs should be broken up into several smaller segments to minimize water concentrations (Figure A).
3. Long slopes should be broken up with intermediate rows of silt fence to slow runoff velocities.
4. Attach fabric to upstream side of post.
5. Install posts a minimum of 2' into the ground.
6. Trenching will only be allowed for small or difficult installation, where slicing machine cannot be reasonably used.

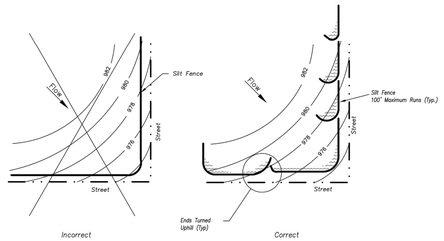
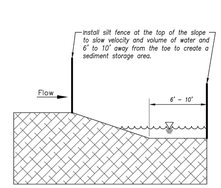
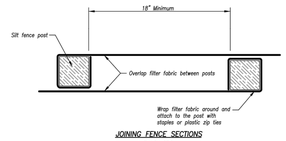


Figure A



SILT FENCE LAYOUT
Not to Scale



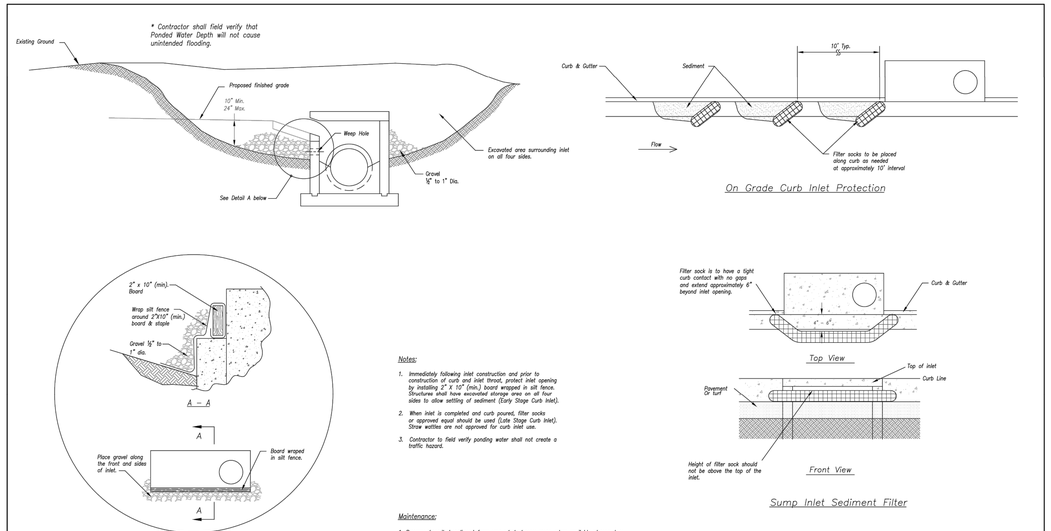
Maintenance:

1. Remove and dispose of sediment deposits when the deposit approaches ½ the height of silt fence.
2. Repair as necessary to maintain function and structure.

JOINING FENCE SECTIONS
Not to Scale

Modified from 2015 Overland Park Standard Details for Erosion and Sediment Control.

AMERICAN PUBLIC WORKS ASSOCIATION	KANSAS CITY METRO CHAPTER
SILT FENCE	STANDARD DRAWING NUMBER ESC-03 ADOPTED: 10/24/2016



On Grade Curb Inlet Protection

Sump Inlet Sediment Filter

Notes:

1. Immediately following inlet construction and prior to construction of curb and inlet throat, protect inlet opening by installing 2" X 10" (min.) board wrapped in silt fence. Structures shall have excavated storage area on all four sides to allow settling of sediment (Early Stage Curb Inlet).
2. When inlet is completed and curb poured, filter socks or approved equal should be used (Late Stage Curb Inlet). Straw wattles are not approved for curb inlet use.
3. Contractor to field verify ponding water shall not create a traffic hazard.

Maintenance:

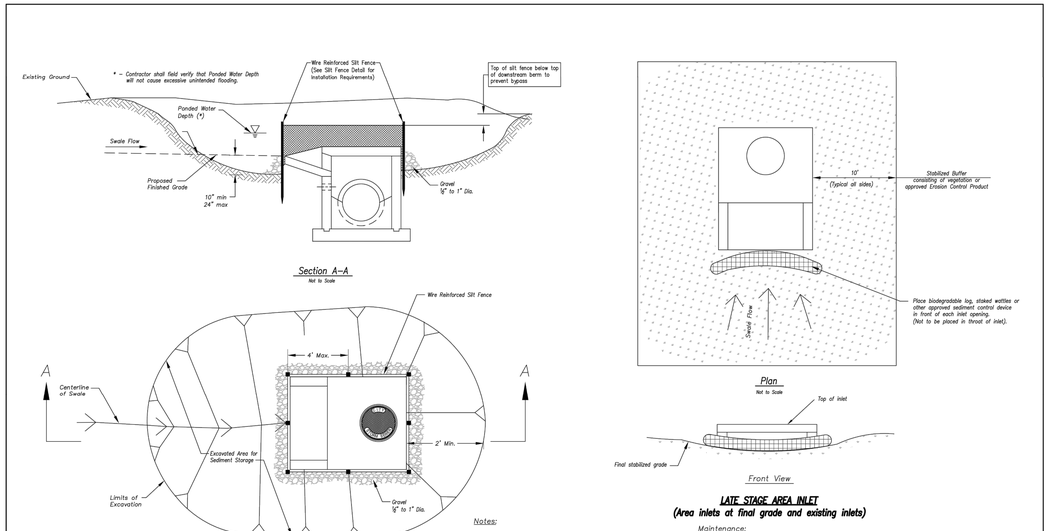
1. Remove deposited sediment from excavated storage areas when available storage has been reduced by 20%.
2. Remove deposited sediment from filter socks or similar when any accumulation of sediment is visible.
3. Repair or replace as necessary to maintain function and integrity of installation.

EARLY STAGE CURB INLET
(Open Box and Prior to Pouring Curb and Inlet Throat)

LATE STAGE CURB INLET
(After Pouring Curb and Inlet Throat)

Modified from 2015 Overland Park Standard Details for Erosion and Sediment Control.

AMERICAN PUBLIC WORKS ASSOCIATION	KANSAS CITY METRO CHAPTER
CURB INLET PROTECTION	STANDARD DRAWING NUMBER ESC-06 ADOPTED: 10/24/2016



EARLY STAGE AREA INLET
(All open boxes and inlets not at final grade)

Notes:

1. Early Stage Area Inlet Sediment Barrier to be installed immediately after inlet or junction box is constructed.
2. Silt fence shall remain in place until excavated area is removed and Late Stage Area Inlet is being installed.
3. Backfill excavated area ONLY after final grading of the site. Stabilization of the site is to immediately follow.
4. Wire reinforced silt fence may be used in place of silt fence attached to wood frame.

LATE STAGE AREA INLET
(Area inlets at final grade and existing inlets)

Maintenance:

1. Remove deposited sediment from excavated storage areas when available storage has been reduced by 20%.
2. Remove deposited sediment from filter socks or similar when any accumulation of sediment is visible.
3. Repair or replace as necessary to maintain function and integrity of installation.

Modified from 2015 Overland Park Standard Details for Erosion and Sediment Control.

AMERICAN PUBLIC WORKS ASSOCIATION	KANSAS CITY METRO CHAPTER
AREA INLET AND JUNCTION BOX PROTECTION	STANDARD DRAWING NUMBER ESC-07 ADOPTED: 10/24/2016

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STATE OF MISSOURI
JULIE ELAINE SELLERS
NUMBER PE-2017000367
2/12/21
PROFESSIONAL ENGINEER

REV. NO.	DATE	REVISIONS DESCRIPTION	BY

REVISIONS

DETAIL SHEET
FINAL DEVELOPMENT PLAN

OSAGE CLUBHOUSE

LEE'S SUMMIT, MISSOURI

2020

drawn by:	GS
designed by:	BMW
approved by:	BMW
QA/QC by:	JES
project no.:	B19-2339
drawing no.:	C_DTL01_B192339
date:	5/12/2020

SHEET
C15

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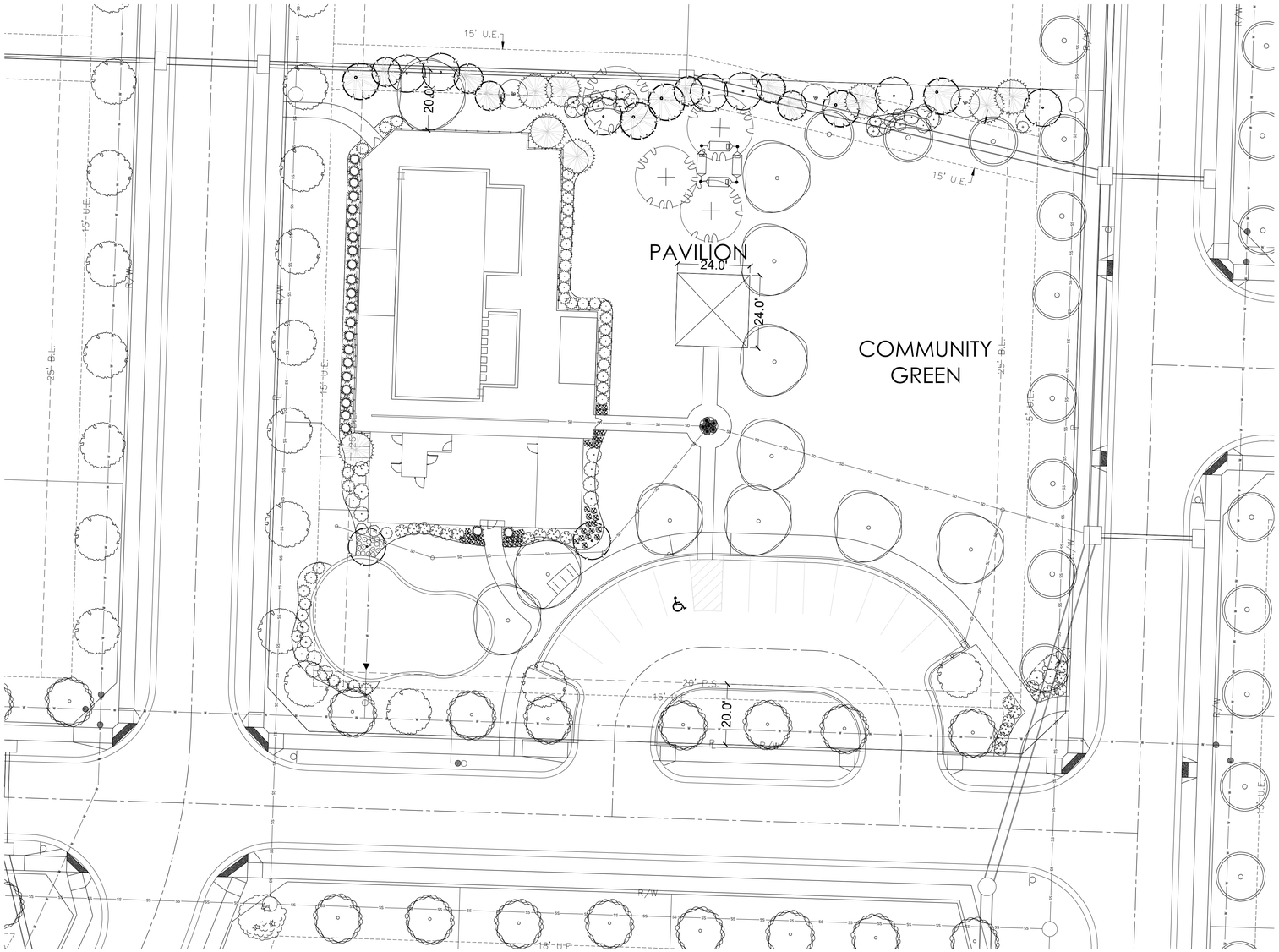


1 AMENITY AREA LANDSCAPE PLAN

SCALE: 1"=20'

Landscape Schedule (Amenity area only)

Symbol	Qty.	Botanical Name	Common Name	Min.Root	Min.Size	Caliper	Remarks
		OVERSTORY TREES					
	4	Platanus x acerifolia	London Plane Tree			3"	6' min. clear., ground to canopy
	11	Acer x truncatum 'Warrenred'	Pacific Sunset Maple			3"	6' min. clear., ground to canopy
	0	Quercus bicolor	Swamp White Oak			3"	6' min. clear., ground to canopy
		EVERGREEN TREES					
	9	Juniperus chinensis 'Keteleeri'	Keteleeri Juniper		8' ht.		symmetrical pyramidal form
	5	Picea abies	Norway Spruce		8' ht.		symmetrical pyramidal form
	6	Picea pungens	Colorado Blue Spruce		6' ht.		symmetrical pyramidal form
		ORNAMENTAL TREES					
	9	Cercis canadensis	Eastern Redbud			3"	
	2	Cornus florida 'Cloud Nine'	Cloud 9 Dogwood			3"	
		ORNAMENTAL STREET TREES					
	10	Acer truncatum	Shantung Maple			2"	
	7	Zelkova serrata 'Schmidtlow'	Wireless Zelkova			2"	
	11	Acer buergerianum	Trident Maple			2"	
	0	Syringa reticulata 'Ivory Silk'	Japanese Tree Lilac			2"	
		DECIDUOUS SHRUBS/GRASSES					
	17	Liriope spicata 'Silver Dragon'	Silver Dragon Liriope	1 gal.			Plant @ 18" O.C.
	45	Festuca ovina glauca	Dwarf Blue Fescue	1 gal.			Plant @ 18" O.C.
	22	Hydrangea paniculata 'Quick Fire'	Little Quick Fire Hydrangea	3 gal.	18" ht. min.		Plant @ 4' O.C.
	6	Equisetum hyemale	Horsetail Reed	1 gal.			Plant @ 18" O.C.
	24	Syringa X 'Penda'	Bloomerang Purple Lilac	5 gal.			Plant @ 5' O.C.
		EVERGREEN SHRUBS					
	23	Juniperus chinensis 'Spartan'	Spartan Juniper		5' ht.		Symmetrical pyramidal form
	37	Juniperus chinensis 'Sea Green'	Sea Green Juniper	3 gal.			Plant @ 4' O.C.
	20	Juniperus chinensis 'Gold Coast'	Gold Coast Juniper	3 gal.			Plant @ 4' O.C.

Landscape Calculations/Requirements

Street Frontage: (For all Districts) One (1) tree shall be planted for each thirty *(30)* feet of street frontage, within 20' setback. (Totals shown below combine both sides of the road, minus intersecting streets/driveways)

SW Walsh Drive.= 205 LF.	7 Trees required.	7 Trees provided.
SW Osage Drive= 235 LF.	8 Trees required.	8 Trees provided.
SW Maryville Place= 205 LF.	7 Trees required.	7 Trees provided.

(For all Districts) One (1) shrub shall be planted for each twenty *(20)* feet of street frontage, within the landscaped setback abutting such frontage. (Totals shown below combine both sides of the road, minus intersecting streets/driveways)

SW Walsh Drive.= 205 LF.	10 Shrubs required.	10 Shrubs provided.
SW Osage Drive= 235 LF.	12 Shrubs required.	12 Shrubs provided.
SW Maryville Place= 205 LF	10 Shrubs required.	38 Shrubs provided.

REQUIREMENTS MET

Amentiy Parking: (For all Districts) One parking stall per every 16 units.
160 total units. 10 Stalls required. 13 stalls provided.
REQUIREMENTS MET

Open Yard Tree Requirement: In addition to the trees required based upon street frontage, additional trees shall be required at a ratio of 1 tree for every 5,000 square feet of total landscaped open space.
36,612 sf total landscaped open space. 7 trees required. 7 Trees Provided Min.
Requirement Met.

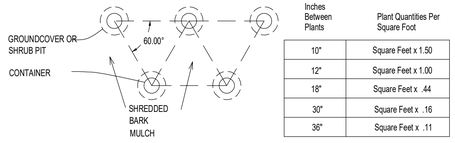
Buffer Landscape: Medium Density Buffer (type B) provided on North of amenity area.
REQUIREMENT MET

Planting Notes

1. Location of all existing utilities needs to done before commencing work.
2. The planting plan graphically illustrates overall plant massings. Each plant species massing shall be placed in the field to utilize the greatest coverage of ground plane. The following applies for individual plantings:
a. Creeping groundcover shall be a minimum of 6" from paving edge.
b. All trees shall be a minimum of 3' from paving edge.
c. All plants of the same species shall be equally spaced apart and placed for best aesthetic viewing.
d. All shrubs shall be a minimum of 2' from paved edge.
3. Mulch all planting bed areas to a minimum depth of 3". Mulch individual trees to a minimum depth of 4".
4. Note: If plants are not labeled - they are existing and shall remain.
5. All landscaped areas in ROW shall be sodded and irrigated unless otherwise specified.

Materials:
1. Plant material shall be healthy, vigorous, and free of disease and insects as per AAN standards.
2. Shredded bark mulch installed at trees shall be finely chipped and shredded hardwood chips, consisting of pure wood products and free of all other foreign substances. Pine bark compost mulch installed at planting bed areas shall be free of all other foreign substances.

Installation:
1. All planting beds shall be amended with 1 cubic yard of peat moss per 1,000 square feet. Till peat moss into soil to a 6" depth. A 10-10-10 fertilizer shall be spread over all planting areas prior to planting, at a rate of 50 pounds per 2,000 square feet.
2. After plants have been installed, all planting beds shall be treated with Dacthal pre-emergent herbicide prior to mulch application.
3. Plant pit backfill for trees and shrubs shall be 50% peat or well composted manure and 50% topsoil.
4. Plant material shall be maintained and guaranteed for a period of one year after Owner's acceptance of finished job. All dead or damaged plant material shall be replaced at Landscape Contractor's expense.
6. Landscape contractor shall maintain all plant material until final acceptance, at which point the one year guarantee begins.

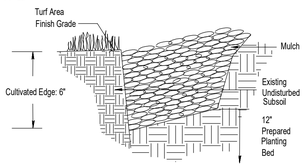


Inches Between Plants	Plant Quantities Per Square Foot
10"	Square Feet x 1.50
12"	Square Feet x 1.00
18"	Square Feet x .44
30"	Square Feet x .16
36"	Square Feet x .11

NOTES: 1. SPACING FOR GROUNDCOVERS, SHRUBS, AND PERENNIALS NOTED ON PLANS.
2. TILL SOIL IN BED TO A 12" MINIMUM DEPTH AND THOROUGHLY MIX IN SOIL AMENITIES AS NOTED ON PLANS.

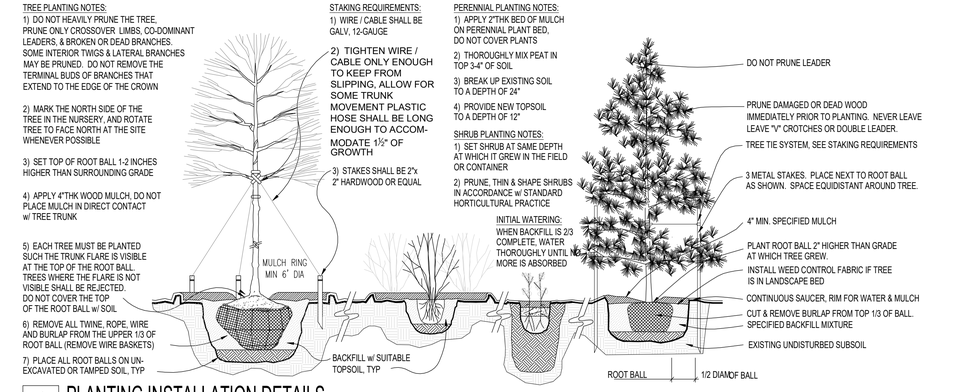
2 GROUNDCOVER/SHRUB DETAIL

SCALE: NTS



3 CULTIVATED EDGE DETAIL

SCALE: NTS



4 PLANTING INSTALLATION DETAILS

SCALE: NTS

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LANDSCAPE ARCHITECTURE
15245 Metcalf Ave.
Overland Park, KS 66223
913.787.2817

STATE OF MISSOURI
JASON A. MEIER
NUMBER LA-2009014761
LANDSCAPE ARCHITECT

CLIENT

Summit Homes
120 SE 30th St
Lee's Summit, MO 64082

PROJECT

Osage
Highway 150 and
Pryor Road
Lee's Summit, MO

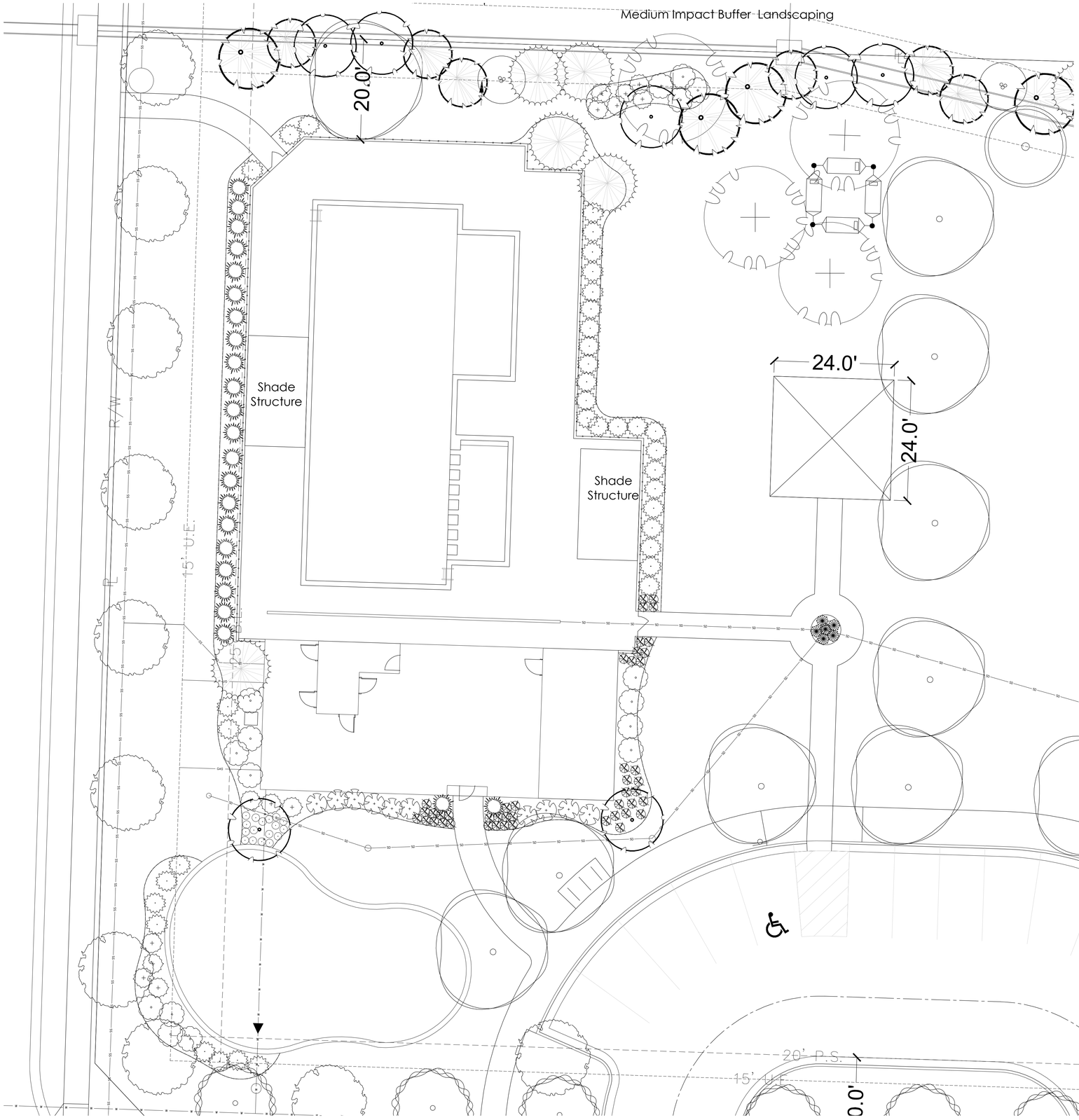
SCALE: 1"=20'

NORTH

0 20 40 60

Date: 2.11.2021
Project #: 482
Amenity Area
Landscape Plan

L5



1 POOL AREA ENLARGEMENT PLAN
SCALE: 1"=10'

Landscape Schedule (Amenity area only)

Symbol	Qty.	Botanical Name	Common Name	Min.Root	Min.Size	Caliper	Remarks
OVERSTORY TREES							
	4	Platanus x acerifolia	London Plane Tree			3"	6' min. clear., ground to canopy
	11	Acer x truncatum 'Warrenred'	Pacific Sunset Maple			3"	6' min. clear., ground to canopy
	0	Quercus bicolor	Swamp White Oak			3"	6' min. clear., ground to canopy
EVERGREEN TREES							
	9	Juniperus chinensis 'Keteleeri'	Keteleeri Juniper		8' ht.		symmetrical pyramidal form
	5	Picea abies	Norway Spruce		8' ht.		symmetrical pyramidal form
	6	Picea pungens	Colorado Blue Spruce		6' ht.		symmetrical pyramidal form
ORNAMENTAL TREES							
	9	Cercis canadensis	Eastern Redbud			3"	
	2	Cornus florida 'Cloud Nine'	Cloud 9 Dogwood			3"	
ORNAMENTAL STREET TREES							
	10	Acer truncatum	Shantung Maple			2"	
	7	Zelkova serrata 'Schmidtlow'	Wireless Zelkova			2"	
	11	Acer buergerianum	Trident Maple			2"	
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DECIDUOUS SHRUBS/GRASSES							
	17	Liriope spicata 'Silver Dragon'	Silver Dragon Liriope	1 gal.			Plant @ 18" O.C.
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STATE OF MISSOURI
JASON A. MEIER
NUMBER LA-2009014761
LANDSCAPE ARCHITECT

CLIENT
Summit Homes
120 SE 30th St
Lee's Summit, MO 64082

PROJECT
Osage
Highway 150 and
Pryor Road
Lee's Summit, MO

SCALE: 1"=10' NORTH
0 10 20 30

Date: 2.11.2021
Project #: 482
Amenity Area
Landscape Plan

L6

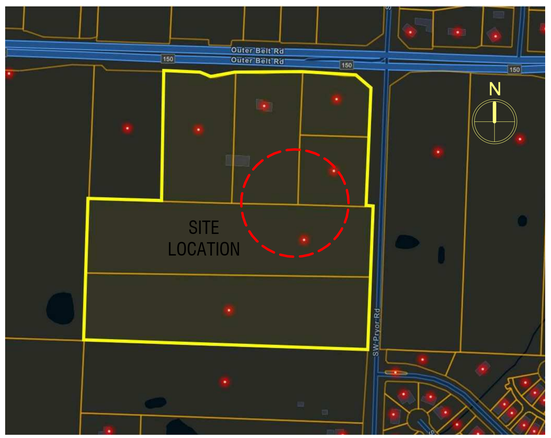
OSAGE CLUBHOUSE

2025 SW M 150 HWY
LEE'S SUMMIT, MISSOURI

FINAL DEVELOPMENT PLAN: MAY 5, 2020
REVISION #1- CITY COMMENTS: JULY 27, 2020
REVISION #2- CITY COMMENTS: FEBRUARY 11, 2021

SUMMIT HOMES

AERIAL VIEW



SITE MAP

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DEVELOPER
SUMMIT HOMES
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LEE'S SUMMIT, MO 64082
PH: 816-246-6700

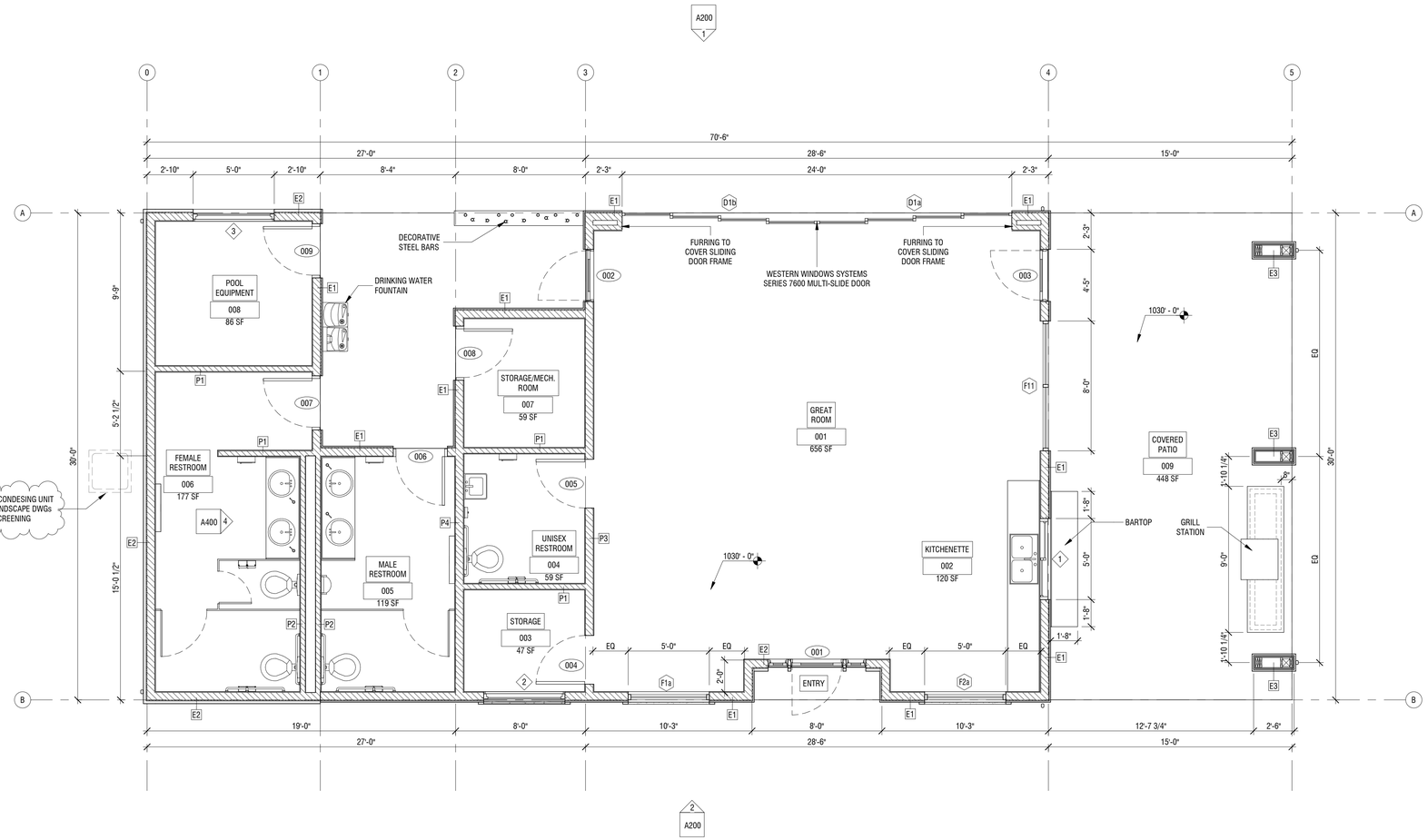
INDEX

GENERAL NOTES

1. ALL PLAN DIMENSIONS GIVEN ARE TO FACE OF STUD OR MASONRY, U.N.O.
2. REFER TO STRUCTURAL DRAWINGS FOR FRAMING INFORMATION
3. ALL DOOR OPENINGS TO BE LOCATED 4" FROM NEAREST WALL CORNER, U.N.O.
4. SEE FINISH SCHEDULE ON SHEET A800 FOR MATERIAL INFORMATION
5. SEE DOOR/WINDOW SCHEDULE ON SHEET A600
6. SEE SHEET A400 FOR ENLARGED FLOOR PLANS

WALL TYPES

- E1 — EXTERIOR WALL, 2X6 WOOD STUD, STUCCO FINISHING, INSULATED RE: DETAIL 1 / A002
- E2 — EXTERIOR WALL, 2X6 WOOD STUD, STONE VENEER FINISHING, INSULATED RE: DETAIL 2 / A002
- E3 — EXTERIOR COLUMN WRAP, WOOD COLUMN, STUCCO FINISHING / STONE VENEER BASE RE: DETAILS 3 & 4 / A002
- P1 — TYPICAL INTERIOR WALL, 2X4 WOOD STUD, GYP. BOARD FINISHING RE: DETAIL 5 / A002
- P2 — TYPICAL INTERIOR WALL, 2X4 WOOD STUD, 1 SIDE GYP. BOARD FINISHING RE: DETAIL 6 / A002
- P3 — TYPICAL INTERIOR WALL, 2X6 WOOD STUD, GYP. BOARD FINISHING RE: DETAIL 7 / A002
- P4 — TYPICAL INTERIOR WALL, 2X6 WOOD STUD, GYP. BOARD FINISHING - PLUMBING RE: DETAIL 8 / A002



1 FLOOR PLAN
1/4" = 1'-0"

N

- SECTION: 1 / A101 — SECTION IDENTIFICATION / SHEET DESIGNATION
- DETAIL: 1 / A101 — DETAIL IDENTIFICATION / SHEET DESIGNATION
- ELEVATION: 1 / A101 / 1 — ELEVATION IDENTIFICATION / SHEET DESIGNATION
- 101 — DOOR DESIGNATION
- 1i — WALL TYPE DESIGNATION
- 1i — WINDOW/STOREFRONT DESIGNATION
- SPOT ELEVATION
- ELEVATION

B+A ARCHITECTURE

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OSAGE CLUBHOUSE
2025 SW M 150 HWY
LEE'S SUMMIT, MISSOURI

SEAL

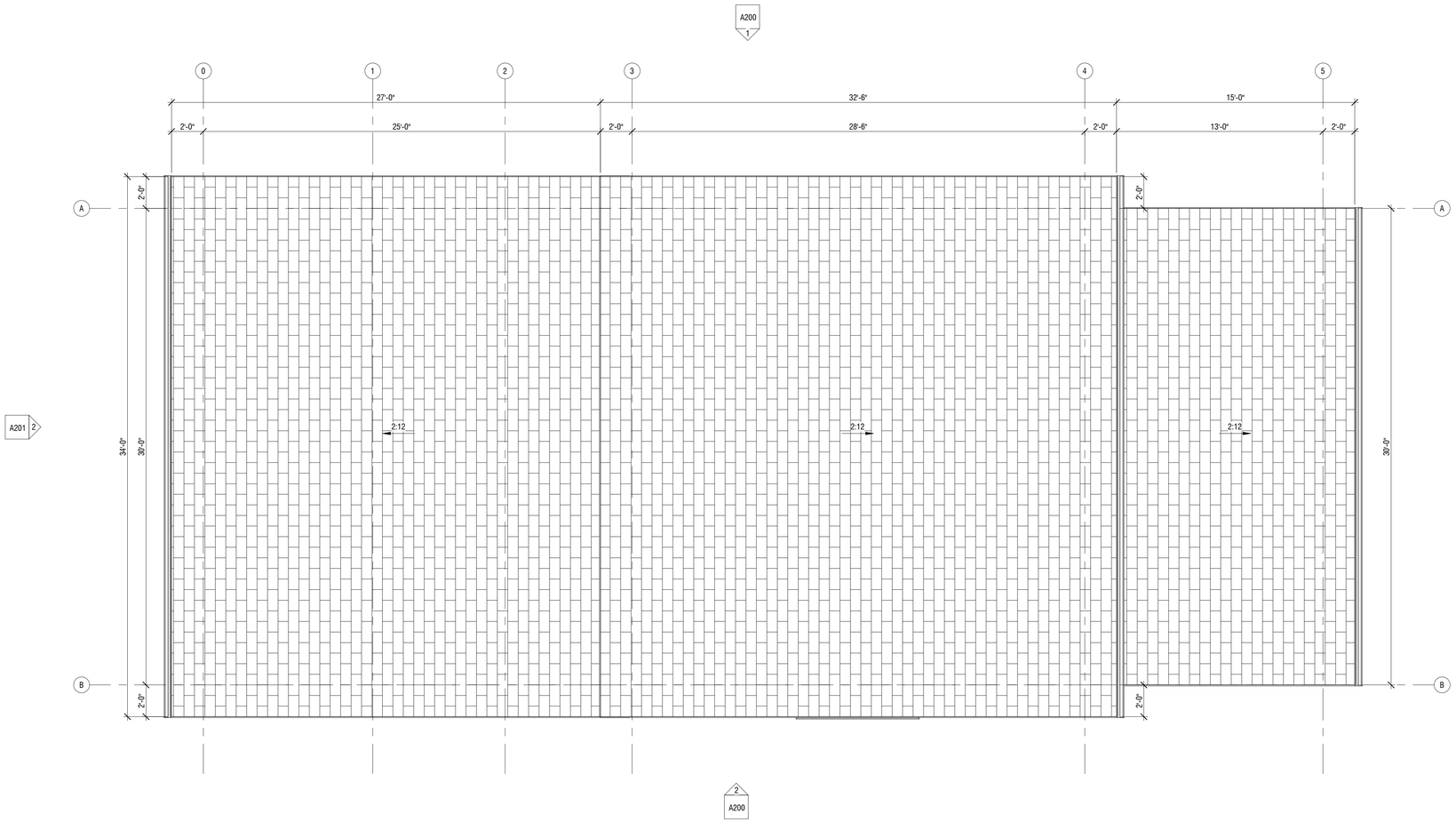
DATE ISSUED: MAY 5, 2020		
NO.	REVISION	DATE
2	City Comments - FDP	02/11/2021

DESIGNED BY: TT/FCR
DRAWN BY: FCR
CHECKED BY: TT/DMB

FLOOR PLAN
A100

GENERAL NOTES

1. REFER TO STRUCTURAL DRAWINGS FOR FRAMING INFORMATION
2. INSTALL ALL ROOF PENETRATIONS AND EQUIPMENT (IE, VENT PIPES, ROOF VENTILATORS) ON THE REAR SIDE OF THE ROOF, TO THE GREATEST EXTENT POSSIBLE
3. REFER TO PLUMBING DRAWINGS FOR ROOF DRAINS AND OVERFLOW DRAINS



1 ROOF PLAN
1/4" = 1'-0"

N

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OSAGE CLUBHOUSE
2025 SW M 150 HWY
LEE'S SUMMIT, MISSOURI

SEAL

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DRAWN BY: FCR
CHECKED BY: TT/DMB

ROOF PLAN
A101

GENERAL NOTES

1. EXTERIOR COLORS ARE INDICATED BY MATERIAL MANUFACTURERS
2. ALL EXTERIOR MATERIAL TRANSITION, SILLS AND HEADERS WHICH ARE NOT CALLED OUT, MATCH TO WALL TRIM COLOR.
3. SPLIT SYSTEM W/ GROUND MOUNTED CONDENSORS TO BE SCREENED FROM VIEWS BY LANDSCAPING
4. INSTALL ALL ROOF PENETRATIONS AND EQUIPMENT (IE: VENT PIPES; ROOF VENTILATORS) ON THE REAR SIDE OF THE ROOF, TO THE GREATEST EXTENT POSSIBLE

1

COMPOSITION SHINGLES

STONE VENEER

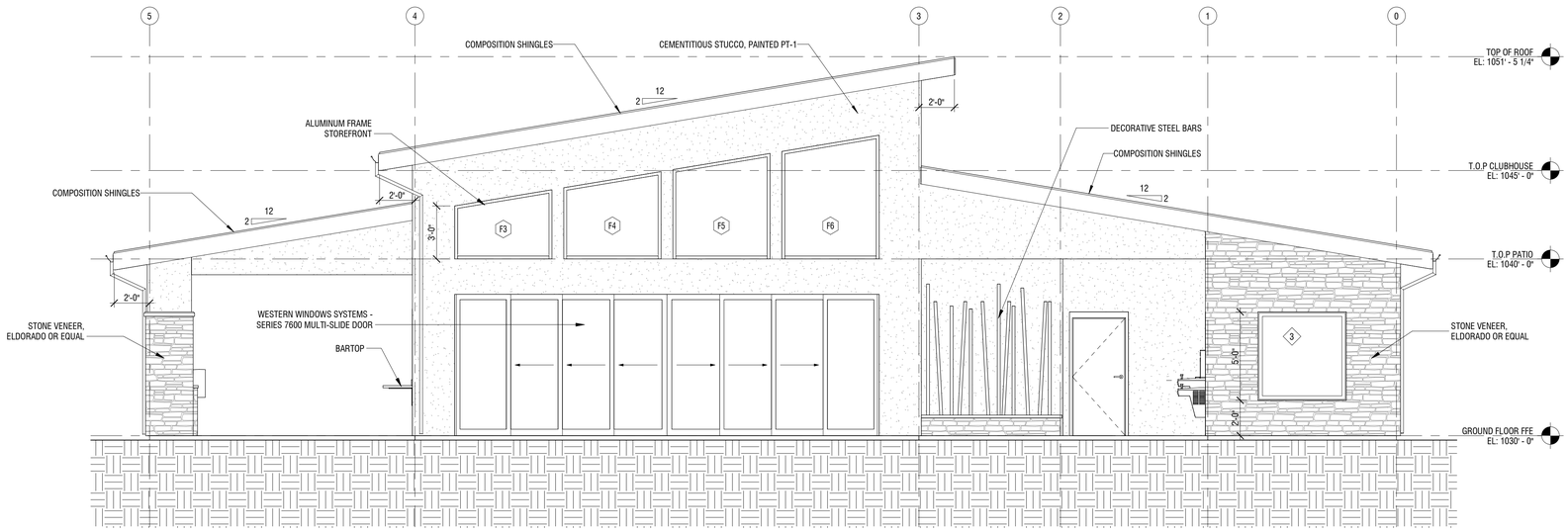
PT-1: SW9170

PT-2: SW7020

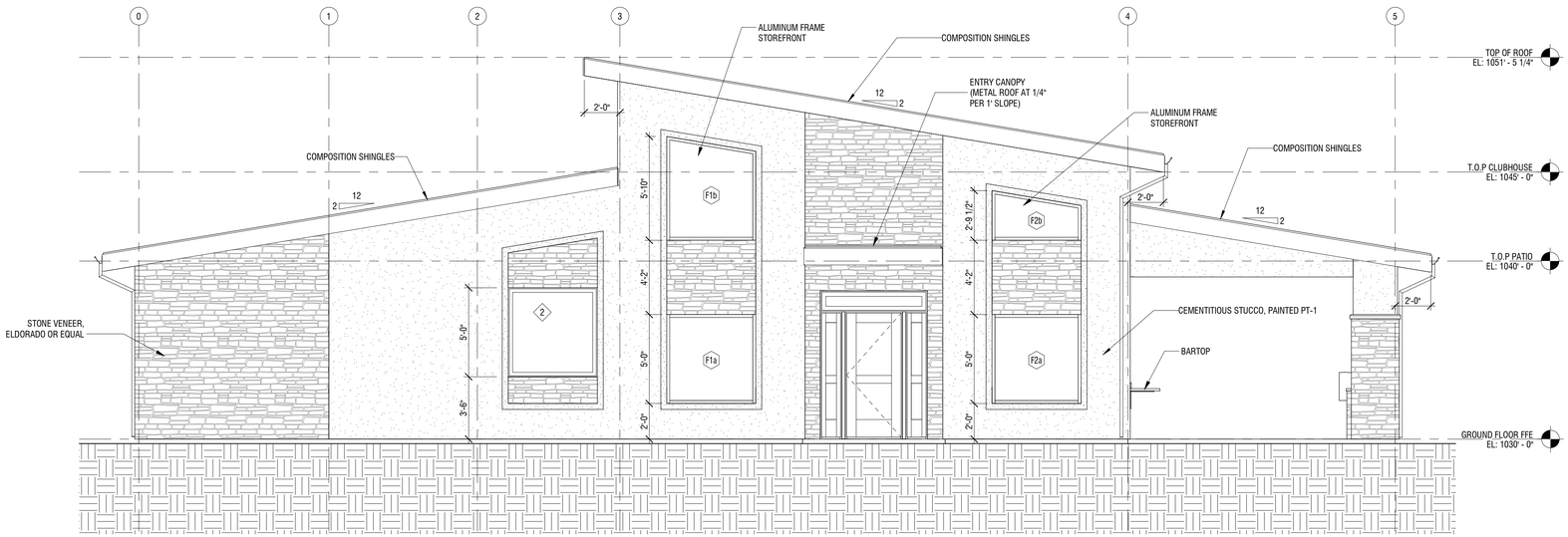
PT-3: SW7068

EXTERIOR FINISHING SCHEDULE

NO.	MATERIAL/ITEMS	DESCRIPTION	COLOR/FINISH
1	COMPOSITION SHINGLES	TAMKO, HERITAGE PREMIUM OR EQUAL	WEATHERED WOOD
2	STONE VENEER	CANYON STONE OR EQUAL	CANYON LEDGE/ COLOR: MOUNTAIN
3	CEMENTITIOUS STUCCO	DRYVIT, "OUTSULATION PLUS" OR EQUAL	PT-1: ACIER SW9170
4	FASCIA	SMART TRIM, LP OR EQUAL	PT-2: BLACK FOX SW7020
5	SOFFIT	SMART TRIM, LP OR EQUAL	COLOR: PT-2
6	TRIM	STUCCO FOAM TRIM	PT-3: GRIZZLE GRAY SW7068
7	GUTTER	24 GA. STEEL	MATCH TO WINDOW COLOR
8	WINDOWS	ANDERSEN ARCH. COLLECTION OR EQUAL	METAL - MATTE BLACK
9	EXTERIOR DOORS	METAL PANEL, PAINTED	MATCH TO WINDOW COLOR



1 NORTH ELEVATION
1/4" = 1'-0"



2 SOUTH ELEVATION
1/4" = 1'-0"

ARCHITECTURE

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OSAGE CLUBHOUSE
2025 SW M 150 HWY
LEE'S SUMMIT, MISSOURI

SEAL

DATE ISSUED: MAY 5, 2020		
NO.	REVISION	DATE
1	City Comments - FDP	06/16/2020

DESIGNED BY: TT/FCR
DRAWN BY: FCR
CHECKED BY: TT/DMB

ELEVATIONS
A200

GENERAL NOTES

1. EXTERIOR COLORS ARE INDICATED BY MATERIAL MANUFACTURERS
2. ALL EXTERIOR MATERIAL TRANISITION, SILLS AND HEADERS WHICH ARE NOT CALLED OUT, MATCH TO WALL TRIM COLOR.
3. SPLIT SYSTEM W/ GROUND MOUNTED CONDENSORS TO BE SCREENED FROM VIEWS BY LANDSCAPING
4. INSTALL ALL ROOF PENETRATIONS AND EQUIPMENT (IE: VENT PIPES; ROOF VENTILATORS) ON THE REAR SIDE OF THE ROOF, TO THE GREATEST EXTENT POSSIBLE

1

COMPOSITION SHINGLES

STONE VENEER

PT-1: SW9170

PT-2: SW7020

PT-3: SW7068

EXTERIOR FINISHING SCHEDULE

NO.	MATERIAL/ITEMS	DESCRIPTION	COLOR/FINISH
1	COMPOSITION SHINGLES	TAMKO, HERITAGE PREMIUM OR EQUAL	WEATHERED WOOD
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3	CEMENTITIOUS STUCCO	DRYVIT, "OUTSULATION PLUS" OR EQUAL	PT-1: ACIER SW9170
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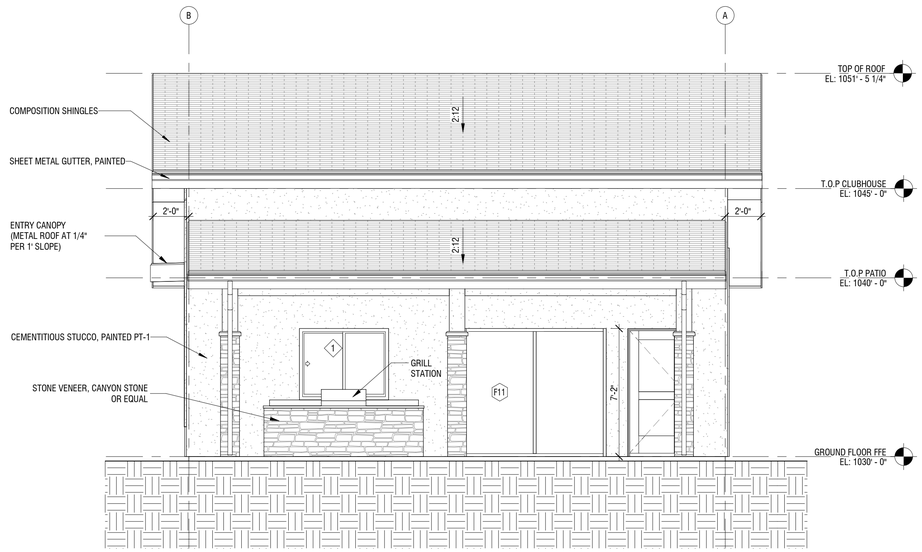
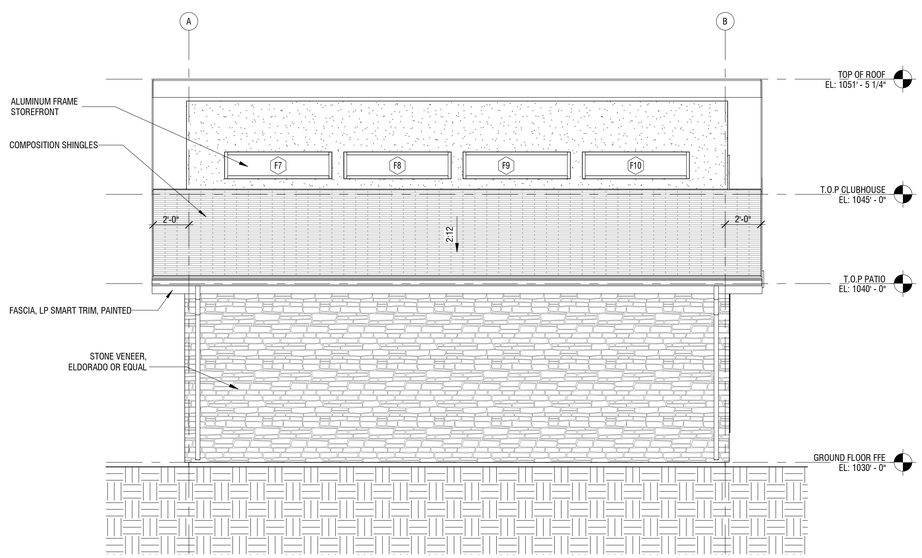


1 EAST ELEVATION
1/4" = 1'-0"



2 WEST ELEVATION
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OSAGE CLUBHOUSE
2025 SW M 150 HWY
LEE'S SUMMIT, MISSOURI

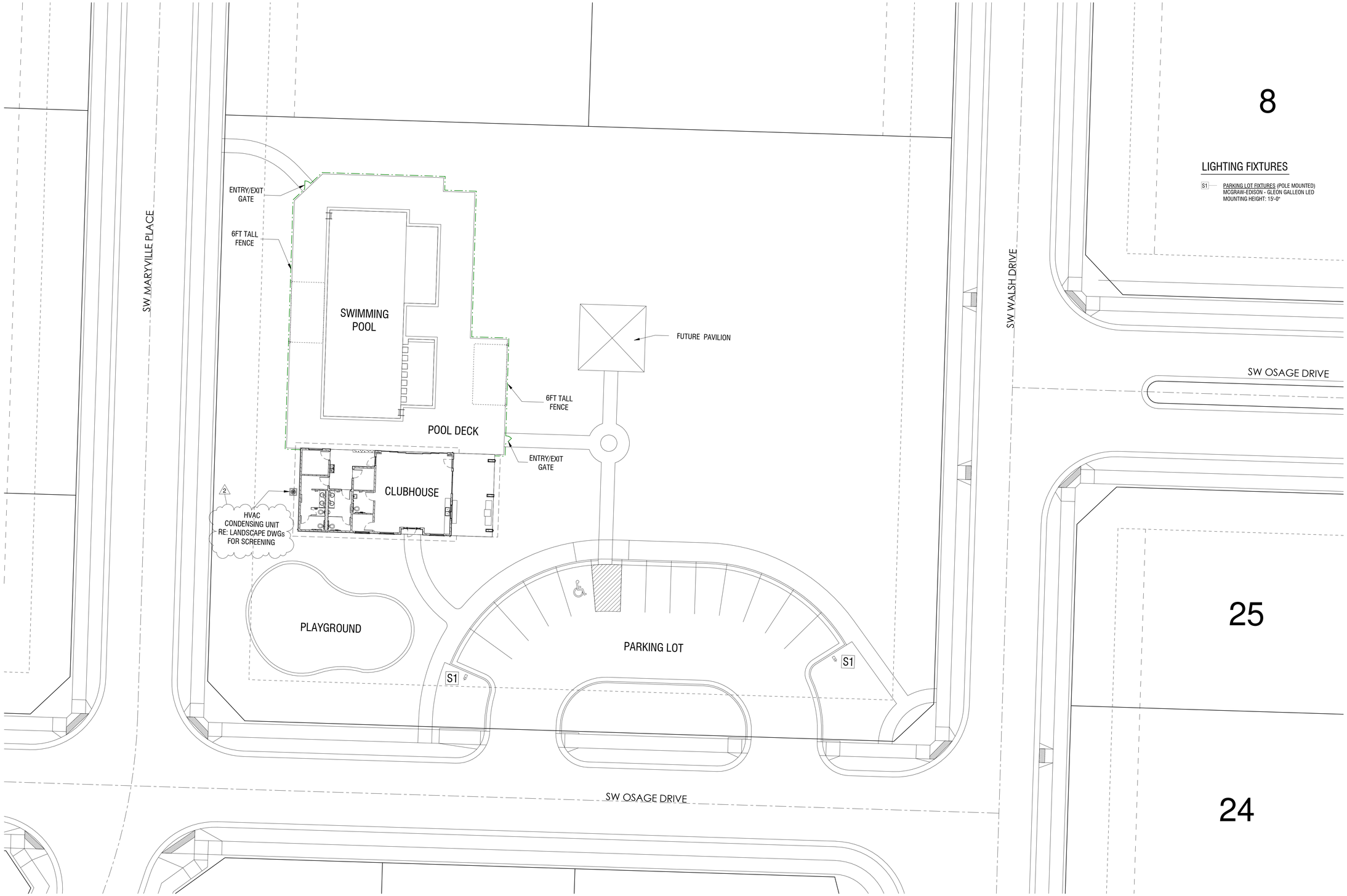
SEAL

DATE ISSUED: MAY 5, 2020

NO.	REVISION	DATE
1	City Comments - FDP	06/16/2020

DESIGNED BY: TT/FCR
DRAWN BY: FCR
CHECKED BY: TT/DMB

ELEVATIONS
A201



1 EXTERIOR LIGHTING PLAN
1/16" = 1'-0"

N

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OSAGE CLUBHOUSE
2025 SW M 150 HWY
LEE'S SUMMIT, MISSOURI

SEAL

DATE ISSUED: MAY 5, 2020

NO.	REVISION	DATE
2	City Comments - FDP	02/11/2021

Designer
Author
Checker

EXTERIOR LIGHTING PLAN

EL-1