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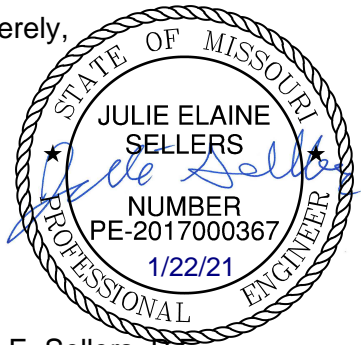
TO:	To Whom It May Concern Development Services Department Lee's Summit, MO
FROM:	Julie E. Sellers, P.E.
RE:	Woodside Ridge 1 st Plat – Minimum Building Opening Elevations
DATE:	January 21, 2021
PROJECT #:	A18-1140

To Whom It May Concern

This memo is regarding Woodside Ridge 1st Plat minimum building opening elevations (MBOE), and specifically lots designated as uphill. An uphill lot is one where the rear lot corner elevations are higher than the front lot corners and water drains to the roadway. Resulting from discussions with the city on how the MBOE is applied to window wells on standard lots, the rear MBOE for these lots have been removed. The intent when the MBOE is determined for uphill lots is to promote positive drainage from the rear patio door, around the house, to the public right of way at the front of the house. However, since the MBOE is being applied to the grade at the window well, the finish floor elevation of houses are required to be set higher than originally intended on uphill lots, causing steep driveway slopes. At the time of design for the overall subdivision, the specific house types and location of window wells are unknown to the Engineer of Record, thus making it hard to set a MBOE which can be applied to the adjacent grade of the window well. A front MBOE has still been provided which should apply to the front opening elevation only and will guide the plot plan engineer to set the house high enough above the curb for drainage. The remainder of the house shall be set in accordance with current city standards to maintain positive drainage through the lot and away from the house. For uphill lots backing a swale with a tributary area less than 2-acres, MBOE elevations and berms have also been removed. While these auxiliary swales are not required by city design standards, they are still being provided to intercept stormwater upstream of the uphill lots. There is also public storm sewer running within these swales, which has been sized to capture and convey the 100-year storm event. These lots have still been marked to require an "as-built" plot plan to verify the home builders do not impact the adjacent lots by modifying the auxiliary swales.

Please accept this memo as record to supersede all previous plans for the lot in question.

Sincerely,



Julie E. Sellers, P.E.