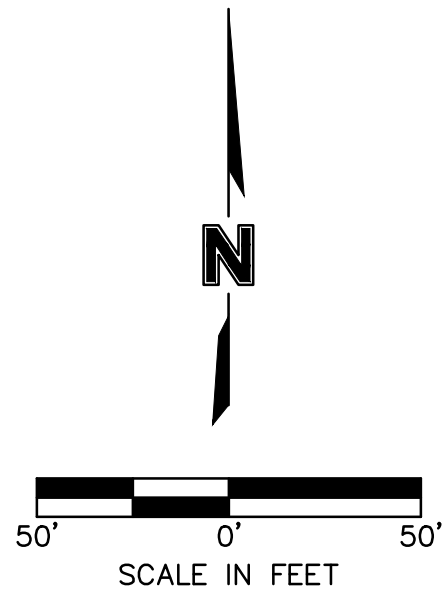


LOCATION MAP
Sec. 25, Twp. 47 N., Rge. 32 W.
(N.T.S.)

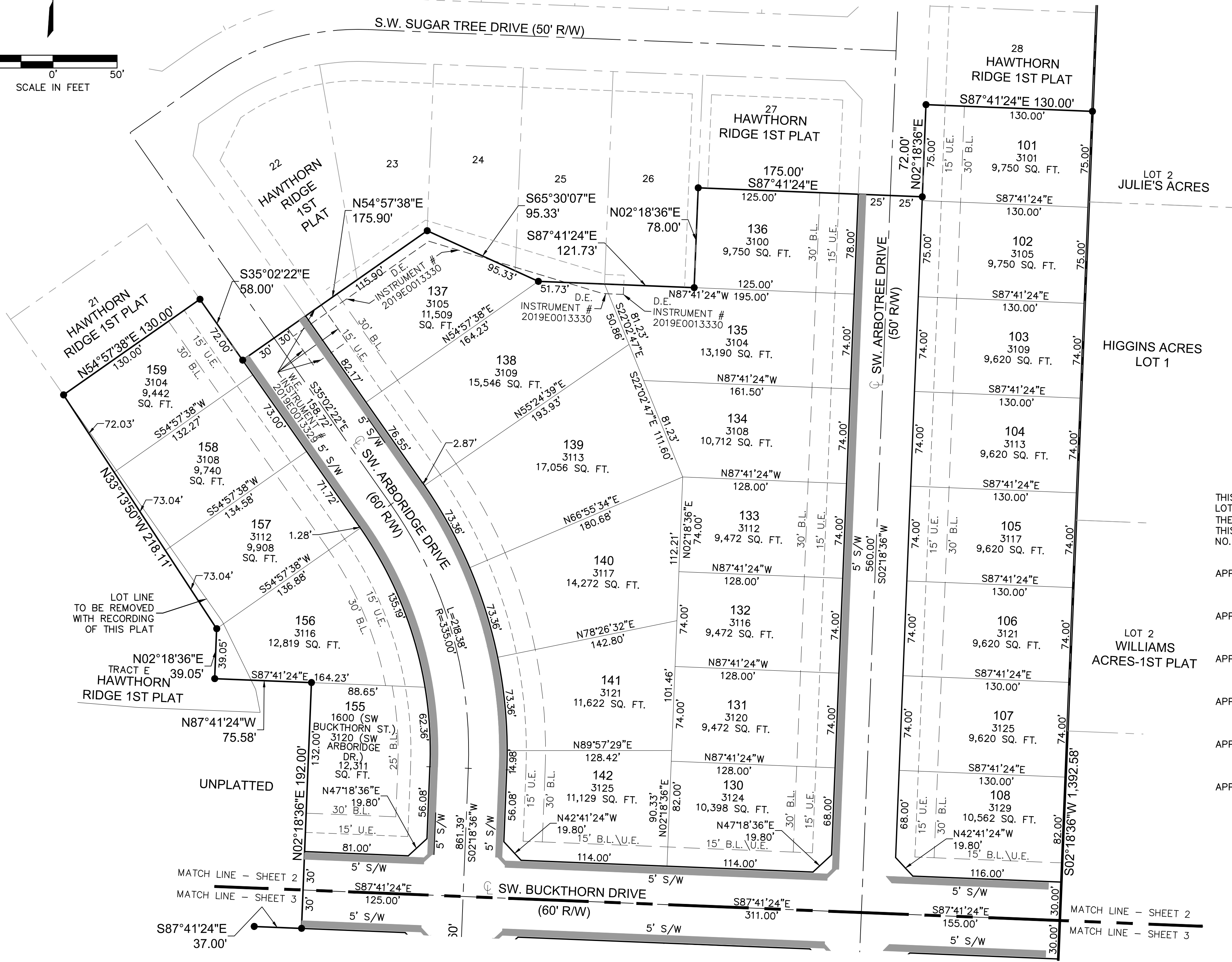


FINAL PLAT OF
HAWTHORN RIDGE 2ND PLAT
(LOTS 101 THRU 159 INCLUSIVE)
NW 1/4, SEC. 25 - Twp. 47N. - Rge. 32W.
LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

RESTRICTED ACCESS:
LOTS 121 AND 122 SHALL NOT HAVE DIRECT VEHICULAR ACCESS TO SW ARBORIDGE DRIVE.

INDIVIDUAL LOT OWNER(S) SHALL NOT CHANGE OR OBSTRUCT THE DRAINAGE FLOW LINES OR PATHS ON THE LOTS AS SHOWN ON THE MASTER DRAINAGE PLAN, UNLESS SPECIFIC APPLICATION IS MADE AND APPROVED BY THE CITY ENGINEER.

ALL STORM WATER CONVEYANCE, RETENTION OR DETENTION FACILITIES TO BE LOCATED ON COMMON PROPERTY SHALL BE OWNED AND MAINTAINED BY THE PROPERTY OWNERS' ASSOCIATION IN ACCORDANCE WITH THE STANDARDS SET FORTH IN THE COVENANTS, CONDITIONS AND RESTRICTIONS.



THIS IS TO CERTIFY THAT THE WITHIN PLAT OF HAWTHORN RIDGE 2ND PLAT, LOTS 101 THRU 159, INCLUSIVE, WAS SUBMITTED TO AND DULY APPROVED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF LEE'S SUMMIT, MISSOURI THIS _____ DAY OF _____, 20____, BY ORDINANCE NO. _____.

APPROVED:	GEORGE M. BINGER III, P.E. CITY ENGINEER	DATE
APPROVED:	RYAN A. ELAM, P.E. DIRECTOR OF DEVELOPMENT SERVICES	DATE
APPROVED:	WILLIAM A. BAIRD MAYOR	DATE
APPROVED:	JOHN LOVELL PLANNING COMMISSION SECRETARY	DATE
APPROVED:	TRISHA FOWLER ARCURI CITY CLERK	DATE
APPROVED:	VINCENT E. BRICE JACKSON COUNTY GIS	DATE

SURVEYORS NOTES:

1. PROPERTY INFORMATION REFERENCING THIS SURVEY WAS TAKEN FROM THE COMMITMENT FOR TITLE INSURANCE REPORT, ISSUED BY KANSAS CITY TITLE, COMMITMENT NO. KCT-222093, EFFECTIVE JUNE 7, 2019 AT 8:00 A.M.

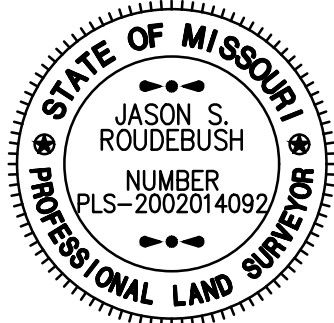
2. BEARINGS USED HEREON ARE BASED ON THE MISSOURI STATE PLANE COORDINATE SYSTEM, NAD 1983, WEST ZONE USING MISSOURI DEPARTMENT OF NATURAL RESOURCES MONUMENT "JA-46" WITH A GRID FACTOR OF 0.9998993. ALL COORDINATES SHOWN ARE IN METERS.

DEVELOPER:
CLAYTON PROPERTIES GROUP, INC.
A TENNESSEE CORPORATION
F.K.A. CMH PARKS, INC.
A TENNESSEE CORPORATION
D.B.A. SUMMIT HOMES
120 SE 30TH STREET
LEE'S SUMMIT, MO 64082
816.246.6700

LEGEND	
SURVEY MARKERS	
● SCR	FOUND SECTION CORNER
● SET	SET MONUMENT
○ FND	FOUND MONUMENT
BOUNDARIES	
---	SECTION LINE
EASEMENTS	
B.L.	BUILDING LINE SETBACK
U.E.	UTILITY EASEMENT
D.E.	STORM DRAINAGE EASEMENT
W.E.	WATER EASEMENT
GENERAL	
R	RADIUS
L	ARC DISTANCE
Ⓢ	CENTERLINE
R/W	RIGHT OF WAY

THIS PLAT AND SURVEY OF HAWTHORN RIDGE 2ND PLAT WERE EXECUTED BY OLSSON, 1301 BURLINGTON STREET #100, NORTH KANSAS CITY, MISSOURI 64116.

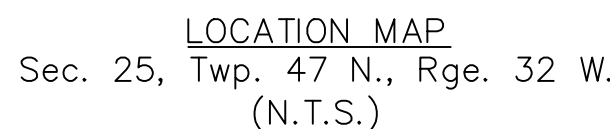
I HEREBY CERTIFY: THAT THE PLAT OF HAWTHORN RIDGE 2ND PLAT SUBDIVISION IS BASED ON AN ACTUAL SURVEY MADE BY ME OR UNDER MY DIRECT SUPERVISION AND THAT SAID SURVEY MEETS OR EXCEEDS THE CURRENT MISSOURI STANDARDS FOR PROPERTY BOUNDARY SURVEYS AS ESTABLISHED BY THE MISSOURI BOARD FOR ARCHITECTS, PROFESSIONAL ENGINEERS, PROFESSIONAL SURVEYORS AND LANDSCAPE ARCHITECTS AND THE MISSOURI DEPARTMENT OF AGRICULTURE. I FURTHER CERTIFY THAT I HAVE COMPLIED WITH ALL STATUTES, ORDINANCES, AND REGULATIONS GOVERNING THE PRACTICE OF SURVEYING AND PLATTING OF SUBDIVISIONS TO THE BEST OF MY PROFESSIONAL KNOWLEDGE AND BELIEF.



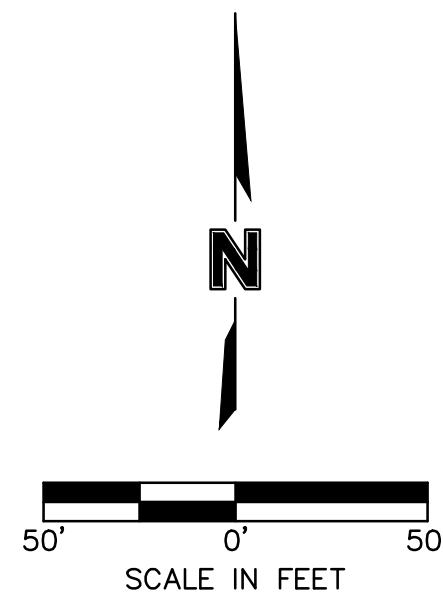
OLSSON, MO CLS 366
JASON S. ROUDEBUSH, MO PLS 2002014092
JANUARY 21, 2021
JROUDEBUSH@OLSSON.COM

DATE OF SURVEY	
07-12-2019 - 1st Submittal	
08-19-2019 - 2nd Submittal	
01-21-2021 - 3rd Submittal	
drawn by: NRW	
surveyed by: NZ/AH	
checked by: JPM	
approved by: JBR	
project no.: 019-1605	
file name: V_PLAT_0191605.DWG	

olsson
Olsson, Land Surveying - MO 366, KS 114, MO Certificate of Authority-001592
1301 Burlington Street, Suite 110
North Kansas City, MO 64116
TEL 816.361.1177 FAX 816.361.1888
www.olsson.com



LOCATION MAP
Sec. 25, Twp. 47 N., Rge. 32 W.
(N.T.S.)

[illegible]

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LOTS 101 THRU 159, INCLUSIVE, WAS SUBMITTED TO AND DULY APPROVED BY
THE MAYOR AND CITY COUNCIL OF THE CITY OF LEE'S SUMMIT, MISSOURI
THIS _____ DAY OF _____, 20____, BY ORDINANCE
NO. _____.

APPROVED: _____ DATE _____
VINCENT E. BRICE
JACKSON COUNTY GIS

DATE OF SURVEY
07-12-2019 - 1st Submittal
08-19-2019 - 2nd Submittal
01-21-2021 - 3rd Submittal

drawn by: _____ NRW
surveyed by: _____ NZ/AH
checked by: _____ JPM
approved by: _____ JSR
project no.: _____ 019-1605
file name: V_PPLAT_0191605.DWG

1. PROPERTY INFORMATION REFERENCING THIS SURVEY WAS TAKEN FROM THE COMMITMENT FOR TITLE INSURANCE REPORT, ISSUED BY KANSAS CITY TITLE, COMMITMENT NO. KCT-222093, EFFECTIVE JUNE 7, 2019 AT 8:00 A.M.

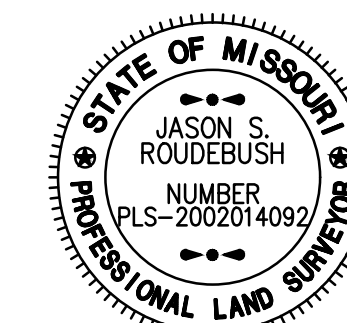
2. BEARINGS USED HEREON ARE BASED ON THE MISSOURI STATE PLANE COORDINATE SYSTEM, NAD 1983, WEST ZONE USING MISSOURI DEPARTMENT OF NATURAL RESOURCES MONUMENT "JA-46" WITH A GRID FACTOR OF 0.9998993. ALL COORDINATES SHOWN ARE IN METERS.

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LEGEND	
SURVEY MARKERS	
⊕	SCR FOUND SECTION CORNER
●	SET SET MONUMENT
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BOUNDARIES	
— — —	SECTION LINE
EASEMENTS	
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OLSSON, MO CLS 366
JASON S. ROUDEBUSH, MO PLS 2002014092
JANUARY 21, 2021
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olson

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