DESIGN AND DEVELOPMENT CONTACTS:

OWNER / DEVELOPER:

CIVIL ENGINEER:

JP MORGAN CHASE 1111 POLARIS PARKWAY COLUMBUS, OH 43240

CONTACT: MARGARET TROIA

10 S DEARBORN STREET, FLOOR 15

CHICAGO, IL 60603 312-732-7980

312-132-

6500 CHIPPEWA STREET, SUITE 200 ST. LOUIS, MO 63109 CONTACT: CHAD FAIRBANKS, P.E.

CONTACT: CHAD FAI TEL: 314-270-5203

CORE STATES GROUP

ARCHITECT: CORE STATES GROUP

6500 CHIPPEWA STREET, SUITE 200 ST. LOUIS, MO 63109

CONTACT: R. BRUCE LASURS, A.I.A TEL: 314-730-0772

LANDSCAPE ARCHITECT: EVERGREEN DESIGN GROUP

1200 US HIGHWAY 22 E, SUITE 2000-2248 BRIDGEWATER. NJ 08807

BRIDGEWATER, NJ 08807 CONTACT: LARRY LESSER TEL: 800-680-6630 EXT 5

SURVEYOR: SWT DESIGN, INC.
772 BIG BEND BOULEVARD

ST. LOUIS, MO 63119

CONTACT: JAMES DEGENHARDT, P.L.S. TEL: 314-644-5700

#### **GOVERNING AGENCIES CONTACTS:**

PLANNING AND ZONING: LEE'S SUMMIT DEVELOPMENT SERVICES

220 SE GREEN LEE'S SUMMIT, MO 64063 CONTACT: HECTOR SOTO TEL: 816-969-1238

BUILDING DEPARTMENT: LEE'S SUMMIT DEVELOPMENT SERVICES

220 SE GREEN LEE'S SUMMIT, MO 64063

CONTACT: JOE FROGGE TEL: 816-969-1241

FIRE DEPARTMENT: LEE'S SUMMIT FIRE DEPARTMENT

9933 DIAMOND DRIVE ST. LOUIS, MO 63137 CONTACT: ASSISTANT CHIEF JIM EDEN

TEL: 816-969-7407

TRANSPORTATION MISSOURI DEPARTMENT OF TRANSPORTATION DEPARTMENT: 600 NE COLBERN ROAD

600 NE COLBERN ROAD LEE'S SUMMIT, MO 64086 CONTACT: DEREK OLSON

TRANSPORTATION LEE'S SUMMIT PUBLIC WORKS DEPARTMENT

TEL: 816-607-2107

220 SE GREEN STREET LEE'S SUMMIT, MO 64063 CONTACT: DENA MEZGER TEL: 816-969-1800

WATER/WASTEWATER: LEE'S SUMMIT WATER UTILITIES

1200 SE HAMBLEN ROAD LEE'S SUMMIT, MO 64081 CONTACT: MARK SCHAUFLER

TEL: 816-969-1900

STORMWATER LEE

LEE'S SUMMIT WATER UTILITIES 1200 SE HAMBLEN ROAD LEE'S SUMMIT, MO 64081 CONTACT: MARK SCHAUFLER TEL: 816-969-1900

#### **UTILITY CONTACTS:**

ELECTRIC COMPANY:

DEPARTMENT:

P.O. BOX 219330 KANSAS CITY, MO 64121

TEL: 816-556-2200

GAS COMPANY: SPIRE ENERGY

3025 SE CLOVER DRIVE LEE'S SUMMIT, MO 64082 TEL: 816-969-2200

TELEPHONE / INTERNET CHARTER / SPECTRUM

188 NW OLDHAM PARKWAY LEE'S SUMMIT, MO 64081 TEL: 866-874-2389

SOLID WASTE:

WASTE MANAGEMENT 2404 S 88TH STREET KANSAS CITY, KS 66111 TEL: 866-570-4702

### SITE DATUM ELEVATION:

ELEVATIONS SHOWN ARE IN FEET ABOVE THE NORTH AMERICAN VERTICAL DATUM OF 1988 (N.A.V.D. 88) BASED ON MODOT VRS NETWORK. CONVERSION FROM NAVD 88 TO NGVD 29, NAVD 88 - 0.302' = NGVD 29.

#### FLOOD NOTE:

THIS PROPERTY IS LOCATED IN AN AREA DETERMINED TO BE OUTSIDE THE 0.1% ANNUAL CHANCE FLOOD (100-YEAR) AS DETERMINED BY THE NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP FOR THE CITY OF LEE'S SUMMIT, MISSOURI, MAP NUMBER 29095C0436G EFFECTIVE DATE 01/20/2017.

#### **ALERT TO CONTRACTOR:**

- 1. THE SITE WORK FOR THE PROPOSED DEVELOPMENT SHALL MEET OR EXCEED ALL CITY AND/OR COUNTY AND STATE STANDARDS FOR SITE WORK.
- 2. ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR

UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO PROJECT COMPLETION.

Plot Date/Time: Dec. 18, 20 - 12:14:11 Drawing: P:\J.P. Morgan Chase\Lee's Summit, MO (Hwy 291 and SE Langford Rd.)-JPM.27135.001\CIVIL\Drawings\Presentation\JPM-27135-001-P-DETL.dwg; C1 COVER SHEE

# FINAL DEVELOPMENT PLAN

# FOR CHASE ()

# CHASE BANK HIGHWAY 291 & NE LANGSFORD

890 NE LANGSFORD ROAD LEE'S SUMMIT, MO 64063 JACKSON COUNTY, MISSOURI

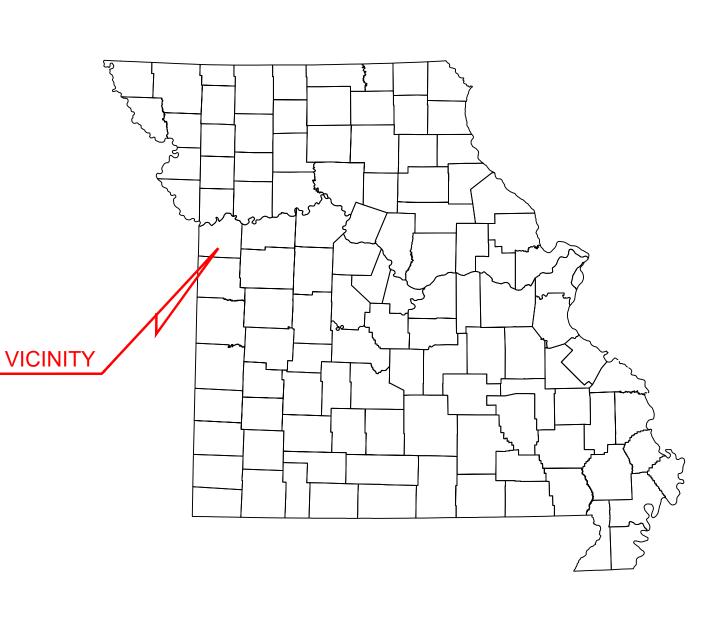


VICINITY MAP
SCALE: 1" = 2,000'

	SHEET INDEX							
SHEET NUMBER DESCRIPTION REV 1 REV 2								
C1	COVER SHEET							
C2	GENERAL NOTES							
СЗ	EROSION AND SEDIMENTATION CONTROL PLAN PHASE I							
C4	EROSION AND SEDIMENTATION CONTROL PLAN PHASE II							
C5	EROSION AND SEDIMENTATION CONTROL DETAILS							
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C11-C13	CONSTRUCTION DETAILS							
C14	PHOTOMETRIC PLAN							
C15-C19	PHOTOMETRIC DETAILS							
	REFERENCE SHEETS							
SHEET NUMBER	DESCRIPTION							
1	ALTA/NSPS LAND TITLE SURVEY BY SWT DESIGN, INC.							
LP-1	PLANTING PLAN							
LP-2	PLANTING DETAILS, SPECS							
TD-1	TREE DISPOSITION PLAN							

### LEGAL DESCRIPTION:

LOT 1, STAR FUEL CENTER OF LEE'S SUMMIT, LOT 1, A SUBDIVISION IN THE CITY OF LEE'S SUMMIT, JACKSON COUNTY, MISSOURI, ACCORDING TO THE RECORDED PLAT THEREOF FILED APRIL 3, 2000 IN PLAT BOOK I-67, PAGE 17 AS DOCUMENT NO. 200010020477.



GEOUS, MO 63109
BHONE (314) 270-5203

DOCUMENTS PREPARED BY CORESTATES, IN INCLUDING THIS DOCUMENT, ARE TO BE USE ONLY FOR THE SPECIFIC PROJECT AND SPECI USE FOR WHICH THEY WERE INTENDED. AN EXTENSION OF USE TO ANY OTHER PROJECT BY OWNER OR BY ANY OTHER PARTY, WITHOUT THE EXPRESSED WRITTEN CONSENT OF CORESTATES, INC. IS DONE UNLAWFULLY AN AT THE USERS OWN RISK. IF USED IN A WAY OTHER THAN THAT SPECIFICALLY INTENDED USER WILL HOLD CORESTATES, INC. HARMLE FROM ALL CLAIMS AND LOSSES.

CHASE

Know what's below.

Call before you dig.

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON DESID PRAWINGS, RECORDS OF THE VAR/IOUS UTILITY COMPANIES, AND WHERE POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. CORESTATES, INC. DOES NOT GUARANTEE THAT LOCATIONS SHOWN ARE EXACT. THE CONTRACTOR MUST CONTRACT THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION REQUEST EXACT FIELD LOCATIONS OF UTILITIES.

REVISIONS

REV DATE COMMENT BY

BY

DOCUMENT CIVIL CONSTRUCTION PLANS FOR CHASE BANK

SITE LOCATION 890 NE LANGSFORD ROAD LEE'S SUMMIT, MO 64063

CHAD D.
FAIRBANKS
NUMBER
E-2001018726

COVER SHEET

 JOB #:
 JPM-27135.001

 DATE:
 12/21/2020

 SCALE:
 AS NOTED

 DRAWN BY:
 RJD

 CHECKED BY:
 CDF

C

- ALL EXISTING SEWERS. PIPING AND UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND CAP ALL LINES BEFORE PROCEEDING WITH THE WORK. UTILITIES DETERMINED TO BE ABANDONED AND LEFT IN PLACE SHALL BE GROUTED.
- ELECTRICAL, TELEPHONE, CABLE, WATER, FIBER OPTIC CABLE AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION. CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE. CONTRACTOR SHALL PAY CLOSE ATTENTION TO EXISTING UTILITIES WITHIN ANY ROAD RIGHT-OF-WAY DURING CONSTRUCTION.
- CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC., (AND OTHER APPROPRIATE BEST MANAGEMENT PRACTICES) AS APPROVED BY OWNER.
- CONTINUOUS ACCESS SHALL BE MAINTAINED FOR THE SURROUNDING PROPERTIES AT ALL TIMES DURING DEMOLITION OF THE EXISTING FACILITIES.
- PRIOR TO DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED.
- 10. SHOULD REMOVAL AND/OR RELOCATION ACTIVITIES DAMAGE FENCING, LIGHTING AND/OR ANY OTHER APPURTENANCES, THE CONTRACTOR SHALL PROVIDE NEW MATERIALS/ STRUCTURES IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. EXCEPT FOR MATERIALS DESIGNED TO BE RELOCATED ON THIS PLAN, ALL OTHER CONSTRUCTION MATERIALS SHALL BE NEW.
- 11. CONTRACTOR SHALL LIMIT SAW-CUT & PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE CONSTRUCTION PLANS BUT IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT, ETC. THE 26. ANY DISCREPANCIES ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO CONTRACTOR SHALL BE RESPONSIBLE FOR IT'S REMOVAL AND REPAIR.
- 12. THE CONTRACTOR SHALL COORDINATE WATER MAIN WORK WITH THE FIRE DEPT AND THE CITY/COUNTY UTILITY DEPARTMENT TO PLAN PROPOSED IMPROVEMENTS AND TO ENSURE ADEQUATE FIRE PROTECTION IS CONSTANTLY AVAILABLE TO SITE THROUGHOUT THIS SPECIFIC WORK AND THROUGH ALL PHASES OF CONSTRUCTION. CONTRACTOR WILL BE RESPONSIBLE FOR ARRANGING/PROVIDING ANY REQUIRED WATER MAIN SHUT OFFS WITH THE CITY/COUNTY DURING CONSTRUCTION. ANY COSTS ASSOCIATED WITH WATER MAIN SHUT OFFS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR AND NO EXTRA COMPENSATION WILL BE PROVIDED.
- 13. DAMAGE TO ALL EXISTING CONDITIONS SHOWN TO REMAIN IN THESE PLANS WILL BE REPLACED AT CONTRACTOR'S EXPENSE.

#### GENERAL SITE NOTES

- ALL CONSTRUCTION MATERIALS AND TECHNIQUES OF INSTALLATION SHALL MEET PERFORMANCE VALUES OF THE MATERIALS SPECIFIED AND COMPLY WITH ALL CITY/COUNTY REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT THIS PROJECT IS CONSTRUCTED IN ACCORDANCE WITH THESE DOCUMENTS AND IN COMPLIANCE WITH CODES INDICATED HEREIN. THE QUALITY OF WORKMANSHIP AND INSTALLATION OF MATERIALS SPECIFIED BY THE ARCHITECT/ENGINEER ARE THE RESPONSIBILITY OF THE CONTRACTOR. THE ARCHITECT/ENGINEER WILL NOT BE HELD RESPONSIBLE FOR ANY SUBSTANDARD OR INSUFFICIENT WORKMANSHIP. MATERIALS, OR SERVICES PROVIDED IN THE EXECUTION OF ANY PHASE OF CONSTRUCTION OF THIS PROJECT.
- ALL MATERIALS ARE TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S REQUIREMENTS. THE GENERAL CONTRACTOR SHALL ENSURE THAT ALL MANUFACTURER'S WARRANTIES WILL BE HONORED
- ALL CONDITIONS SHOWN TO BE "EXISTING" SHALL BE VERIFIED IN THE FIELD BY THE GENERAL CONTRACTOR PRIOR TO START OF CONSTRUCTION. ANY DISCREPANCIES SHALL BE NOTED AND SUBMITTED TO THE OWNER AND THE ARCHITECT/ENGINEER FOR REVIEW. CHANGES TO THE ORIGINAL DESIGN OF THE PROJECT DUE TO EXISTING SITE CONDITIONS MUST BE APPROVED BY BOTH THE OWNER AND THE ARCHITECT/ENGINEER PRIOR TO MAKING ANY CHANGES.
- CONTRACTOR TO REVIEW AND FOLLOW CONSTRUCTION TECHNIQUES/SPECIFICATIONS OUTLINED IN THE SITE GEOTECHNICAL REPORT ANY CONFLICTS WHICH MAY ARISE SHALL BE NOTED AND SUBMITTED TO THE OWNER AND THE ARCHITECT/ENGINEER FOR REVIEW PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR HAVING A THOROUGH KNOWLEDGE OF EXISTING FIELD CONDITIONS AND OF ALL DRAWINGS AND SPECIFICATIONS RELATED TO THEIR FIELD. THE FAILURE TO ACQUAINT HIMSELF WITH THIS PROJECT AND HIS FIELD OF SERVICE SHALL NOT RELIEVE HIM OF ANY RESPONSIBILITY FOR PERFORMING HIS WORK PROPERLY. NO ADDITIONAL COMPENSATION SHALL BE ALLOWED DUE TO THE GENERAL CONTRACTOR'S FAILURE TO CONVEY THE NECESSARY KNOWLEDGE TO FAMILIARIZE WORKERS AND SUBCONTRACTORS WITH THIS PROJECT.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THE SAFETY OF ALL PERSONS ON THE JOB SITE AT ALL TIMES INCLUDING (BUT NOT LIMITED TO) SUBCONTRACTORS, FACILITY EMPLOYEES, VENDORS, DESIGN STAFF PROFESSIONALS AND INSPECTION PERSONNEL.
- THE GENERAL CONTRACTOR SHALL PROVIDE DUMPSTERS, PORTABLE TOILETS AND TEMPORARY POWER FOR UNRESTRICTED PROJECT RELATED USE BY OTHERS FOR THE DURATION OF THE PROJECT.
- THE GENERAL CONTRACTOR SHALL COORDINATE PROJECT PHASING AND STORAGE OF MATERIALS WITH THE OWNER.
- 10. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR RECEIVING, UNLOADING, STORING AND PROTECTING OF MATERIALS AND EQUIPMENT SUPPLIED BY THE OWNER UNTIL IT HAS BEEN INSTALLED AND ACCEPTED BY THE OWNER.
- 11. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE AREA CLEAN AND FREE OF DEBRIS AT ALL TIMES DURING CONSTRUCTION. THE GENERAL

Plot Date/Time: Dec. 18, 20 - 12:22:25 Drawing: P:\J.P. Morgan Chase\Lee's Summit, MO (Hwy 291 and SE Langford Rd.)-JPM.27135.001\CIVIL\Drawings\Presentation\JPM-27135-001-P-DETL.dwg ;C2 GENERAL NOTES

- 18. CONTRACTOR SHALL MATCH PROPOSED CURB AND GUTTER, CONCRETE, AND PAVEMENT TO EXISTING IN GRADE AND ALIGNMENT.
- 19. CONTRACTOR SHALL PROVIDE PIPE BOLLARDS FOR PROTECTION OF ALL ABOVE GROUND UTILITIES AND APPURTENANCES IN DRIVE AREA.
- 20. CONSTRUCTION SHALL COMPLY WITH ALL GOVERNING CODES AND BE CONSTRUCTED TO SAME.
- 21. CONTRACTOR IS RESPONSIBLE FOR REPAIRING THE DAMAGE DONE TO ANY EXISTING ITEM TO REMAIN DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO, DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC. REPAIRS SHALL BE EQUAL TO, OR BETTER THAN, EXISTING CONDITIONS. CONTRACTOR IS RESPONSIBLE TO DOCUMENT ALL EXISTING DAMAGE AND NOTIFY OWNER PRIOR TO CONSTRUCTION START.
- 22. ALL DISTURBED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL, SEED OR SOD, MULCH AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.
- 23. EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED OR RELOCATED AS NECESSARY. ALL COST SHALL BE INCLUDED IN BASE
- 24. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, (UNLESS OTHERWISE NOTED ON PLANS) INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES REQUIREMENTS AND PROJECT SITE WORK SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
- 25. THE SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED THE SPECIFICATIONS IN THE CONTRACT DOCUMENTS.
- THE ATTENTION OF THE OWNER AND ENGINEER OF RECORD BEFORE COMMENCING WORK, NO FIELD CHANGES OR DEVIATIONS FROM THE DESIGN ARE TO BE MADE WITHOUT PRIOR APPROVAL.
- IN THE EVENT THE CONSTRUCTION IS ABANDONED PRIOR TO THE COMPLETION OF THE PROJECT, ALL CONSTRUCTION AND STOCKPILED VEGETATIVE DEBRIS AND FILL WILL BE REMOVED FROM THE SITE AND THE SITE WILL BE STABILIZED PER THE PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES (NPDES).
- 28. THESE PLANS ARE INTENDED TO AND SHALL COMPLY WITH AMERICANS WITH DISABILITIES ACT.
- 29. ALL VEGETATION FROM CLEARING AND GRUBBING WILL BE DISPOSED OF OFF-SITE
- 30. ALL DESIGN AND CONSTRUCTION MUST CONFORM TO THE MINIMUM STANDARDS SET DOWN IN THE CITY/COUNTY DEVELOPMENT CODE, ZONING, AND/OR RELATED ORDINANCES, AND MINIMUM TESTING FREQUENCY REQUIREMENTS.
- 31. CONTRACTOR IS RESPONSIBLE FOR PERMITTING, INSTALLATION AND MAINTENANCE OF ALL MAINTENANCE OF TRAFFIC OPERATIONS DURING CONSTRUCTION. MAINTENANCE OF TRAFFIC SHALL CONFORM TO GDOT/GOVERNING AGENCY STANDARDS.

#### **GENERAL PAVING AND GRADING NOTES:**

- ALL PAVING AND GRADING CONSTRUCTION MATERIALS AND METHODS WITHIN THE STATE'S DEPARTMENT OF TRANSPORTATION RIGHT-OF-WAY SHALL CONFORM TO THE LATEST EDITIONS OF THE STATE'S DEPARTMENT OF TRANSPORTATION DESIGN STANDARDS. THE STATE'S DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AND THE STATE'S DEPARTMENT OF TRANSPORTATION UTILITY STANDARDS. ALL PAVING AND GRADING CONSTRUCTION MATERIALS AND METHODS OUTSIDE OF STATE'S DEPARTMENT OF TRANSPORTATION RIGHT-OF-WAY SHALL ALSO CONFORM TO THE ABOVE STATE'S DEPARTMENT OF TRANSPORTATION SPECIFICATIONS AND STANDARDS.
- CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF EXISTING STRUCTURES INCLUDING REMOVAL OF ANY EXISTING UTILITIES SERVING THE STRUCTURE. UTILITIES THAT ARE TO BE REMOVED TO THE RIGHT-OF-WAY, UNLESS OTHERWISE
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- 4. ALL CUT OR FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED.
- PRECAST STRUCTURES MAY BE USED AT CONTRACTORS OPTION AND SHALL MEET ALL STATE DEPARTMENT OF TRANSPORTATION REQUIREMENTS/SPECIFICATIONS AT A MINIMUM.
- IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
- THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE EPA OR APPLICABLE STATE GENERAL N.P.D.E.S. PERMIT FOR STORM WATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
- CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.

CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR

INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL

ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4

ALL NATURAL AND PAVED AREAS.

- THE SITE TO BE PLANTED AND BACKFILL WITH CLEAN, FREE DRAINING TOPSOIL.
- 17. CONTRACTOR IS SPECIFICALLY CAUTIONED, DEPENDING ON THE TIME OF YEAR AND PROJECT LOCATION. DEWATERING MAY BY REQUIRED.
- 18. IF DEWATERING IS REQUIRED, THE CONTRACTOR SHALL OBTAIN ANY APPLICABLE REQUIRED PERMITS. THE CONTRACTOR IS TO COORDINATE WITH THE OWNER PRIOR TO EXCAVATION. THE CONTRACTOR IS TO SUPPLY THE CITY/COUNTY A COPY OF THE PERMIT A MINIMUM OF TWO (2) BUSINESS DAYS PRIOR TO ANY CONSTRUCTION ACTIVITY.
- STRIP TOPSOIL AND ORGANIC MATTER AND PAVING MATERIAL FROM ALL AREAS TO BE IMPERVIOUS. TOPSOIL SHALL BE STOCKPILED ON SITE FOR REPLACEMENT ON SLOPES AND ALL OTHER GREEN AND LANDSCAPE AREAS.
- 20. FIELD DENSITY TESTS SHALL BE TAKEN AT FREQUENCY AS REQUIRED IN THE SPECIFICATIONS OR AS REQUIRED BY THE GOVERNING REGULATORY AGENCY, WHICH EVER IS MORE STRINGENT.
- 21. ALL STRUCTURES ARE TO CONFORM WITH THE STATE'S DEPARTMENT OF TRANSPORTATION ROADWAY AND TRAFFIC DESIGN STANDARDS. CURB INLETS SHALL CONFORM TO THE STATE'S DEPARTMENT OF TRANSPORTATION STANDARDS, CATCH BASINS SHALL HAVE TRAFFIC BEARING, GRATES. CONCRETE FLARED END SECTIONS SHALL CONFORM TO THE STATE'S DEPARTMENT OF TRANSPORTATION STANDARDS, MANHOLES SHALL CONFORM TO THE STATE'S DEPARTMENT OF TRANSPORTATION STANDARDS.
- 22. CONTRACTOR SHALL ENSURE POSITIVE FLOW TO ALL INLETS WITHIN DRAINAGE BASINS TO PRECLUDE PONDED WATER.
- 23. ALL DRAINAGE CULVERT JOINTS SHALL CONFORM TO THE STATE'S DEPARTMENT OF TRANSPORTATION STANDARDS.
- 24. THE CONTRACTOR SHALL TAKE ALL MEASURES NECESSARY TO CONTROL SEDIMENT LOSS, INCLUDING BUT NOT LIMITED TO THE INSTALLATION OF SILT FENCE AT ALL LOCATIONS WHERE THE POSSIBILITY OF TRANSFERRING SUSPENDED SOLIDS INTO THE RECEIVING WATER BODY EXISTS DUE TO THE PROPOSED WORK. SILT FENCE MUST BE MAINTAINED IN EFFECTIVE CONDITION AT ALL LOCATIONS UNTIL CONSTRUCTION IS COMPLETED AND DISTURBED SOIL AREAS ARE STABILIZED. THEREAFTER, THE CONTRACTOR MUST REMOVE THE SEDIMENT BARRIERS AT NO TIME SHALL THERE BE ANY OFF-SITE DISCHARGE WHICH VIOLATES THE WATER QUALITY STANDARDS OF THE STATE'S STORMWATER PERMIT.

#### GENERAL UTILITY NOTES:

- CONTRACTOR SHALL COORDINATE ANY DISRUPTIONS TO EXISTING UTILITY SERVICES WITH ADJACENT PROPERTY OWNERS.
- ALL ELECTRIC, TELEPHONE, AND GAS EXTENSIONS (INCLUDING SERVICE LINES) SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE DESIGNATED UTILITY COMPANIES.
- CONSTRUCTION SHALL NOT START ON ANY PUBLIC UTILITY SYSTEM UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED BY THE ENGINEER FROM THE APPROPRIATE GOVERNING AUTHORITY AND CONTRACTOR HAS BEEN NOTIFIED BY THE ENGINEER.
- PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN. SANITARY SEWER, WATER MAIN OR ANY OF THE DRY UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM THE ENGINEER AND THE OWNER/DEVELOPER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION. THE ENGINEER AND ITS CLIENTS SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION.
- PRIOR TO CONSTRUCTION, THE GENERAL CONTRACTOR SHALL VERIFY THAT "STUB OUTS" FOR POWER, TELEPHONE, FIBER OPTICS, WATER AND SEWER (IF APPLICABLE) HAVE BEEN PROVIDED BY OTHERS AT THE AREA ADJACENT TO THE PROPOSED BUILDING. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR FINAL CONNECTIONS AT THE BUILDING.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE SCHEDULE FOR INSTALLATION WITH THE UTILITY COMPANIES AND THE OWNER. ALL EXISTING CONDITIONS THAT ARE REMOVED OR DISRUPTED DURING THE PLACEMENT OF NEW UTILITIES SHALL BE REPLACED OR REPAIRED TO MATCH ORIGINAL CONDITIONS. ANY EXISTING UTILITIES DISRUPTED DURING PLACEMENT OF NEW UTILITIES SHALL BE REPAIRED AND OPERATING NORMALLY THE SAME DAY OF DISRUPTION. ITEMS THAT MAY NEED TO BE REPLACED OR REPAIRED INCLUDE BUT ARE NOT LIMITED TO: EXISTING ASPHALT PAVING, EXISTING CONCRETE PAVING, WATER LINES, IRRIGATION LINES, GRASS AREAS, LANDSCAPING, AND SITE LIGHTING. THE GENERAL CONTRACTOR SHALL FIELD VERIFY THE EXACT LOCATION OF ALL EXISTING ITEMS THAT WILL BE DISRUPTED DURING THE PLACEMENT OF NEW UTILITIES AND PROVIDE THE OWNER A DETAILED PHASING SCHEDULE OUTLINING THE TIMELINE FOR INSTALLATION OF NEW UTILITIES INCLUDING THE PROPOSED TIMES THAT EXISTING ITEMS WILL BE DISRUPTED. THE NEW UTILITIES TRENCH WIDTH AND DEPTH SHALL MEET ALL LOCAL AND STATE REQUIREMENTS FOR THE DISPLACEMENT OF ALL UTILITIES. IF DIRECTIONAL BORING IS USED FOR INSTALLATION, THE ABOVE LISTED ITEMS ARE STILL REQUIRED TO BE SUBMITTED TO THE OWNER.
- IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
- ALL SANITARY SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RINGS & COVERS. SANITARY MANHOLES IN UNPAVED AREAS SHALL BE 6" ABOVE FINISH GRADE WITH WATER TIGHT LIDS.
- ALL FILL MATERIAL IS TO BE IN PLACE, AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES. 10. CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITIES INSPECTORS 72 HOURS

BEFORE CONNECTING TO ANY EXISTING LINE.

- STRINGENT SHALL GOVERN.
- 19. THE CONTRACTOR SHALL RESTORE ALL DISTURBED VEGETATION IN KIND, UNLESS SHOWN OTHERWISE.
- DEFLECTION OF PIPE JOINTS AND CURVATURE OF PIPE SHALL NOT EXCEED THE MANUFACTURER'S SPECIFICATIONS. SECURELY CLOSE ALL OPEN ENDS OF PIPE AND FITTINGS WITH A WATERTIGHT PLUG WHEN WORK IS NOT IN PROGRESS. THE INTERIOR OF ALL PIPES SHALL BE CLEAN AND JOINT SURFACES WIPED CLEAN AND DRY AFTER THE PIPE HAS BEEN LOWERED INTO THE TRENCH. VALVES SHALL BE PLUMB AND LOCATED ACCORDING TO THE PLANS.
- ALL UTILITY AND STORM DRAIN TRENCHES LOCATED UNDER AREAS TO RECEIVE PAVING SHALL BE COMPLETELY BACKFILLED AND COMPACTED IN ACCORDANCE WITH SPECIFICATIONS. IN THE EVENT THAT THE CONTRACT DOCUMENTS AND JURISDICTIONAL AGENCY REQUIREMENTS ARE NOT IN AGREEMENT. THE MOST STRINGENT SHALL GOVERN.
- 22. SHOP DRAWINGS FOR ALL MATERIALS AND APPURTENANCE SHALL BE SUBMITTED TO AND APPROVED BY THE GOVERNING UTILITY DEPARTMENT. CONTRACTOR TO COPY THE ENGINEER OF RECORD WITH APPROVED DRAWINGS AS REQUIRED. NO WORK IS TO BEGIN UNTIL SHOP DRAWINGS HAVE BEEN REVIEWED, APPROVED, AND RETURNED TO THE CONTRACTOR.
- 23. AT LEAST THREE (3) WEEKS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE CITY/COUNTY AND THE UTILITY COMPANY AND SUPPLY THEM WITH ALL REQUIRED SHOP DRAWINGS, THE CONTRACTOR'S NAME, STARTING DATE, PROJECTED SCHEDULE AND OTHER INFORMATION AS REQUIRED. THE CITY/COUNTY ENGINEERING INSPECTION OFFICE SHOULD ALSO BE CONTACTED FIVE DAYS PRIOR TO CONSTRUCTION TO ENSURE AVAILABILITY OF INSPECTION PERSONAL. ANY WORK PREFORMED PRIOR TO NOTIFYING THE CITY/COUNTY ENGINEERING INSPECTION OFFICE OR WITHOUT A DEPARTMENT INSPECTOR PRESENT MAY BE SUBJECT TO REMOVAL AND REPLACEMENT AT THE SOLE EXPENSE OF THE CONTRACTOR.
- 24. THE CONTRACTOR SHALL PERFORM AN INFILTRATION/EXFILTRATION TEST ON ALL GRAVITY SEWERS AND A PRESSURE TEST ON ALL FORCE MAINS (AS APPLICABLE) IN ACCORDANCE WITH THE CITY/COUNTY UTILITY REGULATIONS. SAID TESTS ARE TO BE CERTIFIED BY THE ENGINEER OF RECORD AND SUBMITTED TO THE CITY/COUNTY FOR APPROVAL. THE SCHEDULING, COORDINATION AND NOTIFICATION TO ALL PARTIES IS THE CONTRACTOR'S RESPONSIBILITY
- 25. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING EXISTING WATER MAINS, FORCE MAINS, SANITARY SEWER, AND STORM MAINS AND MAINTAIN A MINIMUM CLEARANCE BETWEEN WATER MAINS AND OTHER UTILITIES AT ALL POINTS ALONG THEIR LENGTH AS REQUIRED IN THE PLANS, DETAILS, AND SPECIFICATIONS.
- 26. SANITARY SEWER, FORCE MAINS, SEWER LATERALS, AND STORM SEWERS SHOULD CROSS UNDER WATER MAINS AND/OR WATER SERVICES WHENEVER POSSIBLE. SANITARY SEWERS, FORCE MAINS, SEWER LATERALS, AND STORM SEWERS CROSSING WATER MAINS SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL DISTANCE OF 18 INCHES BETWEEN THE BOTTOM OF THE UPPER PIPE AND THE TOP OF THE LOWER PIPE.
- 27. A MINIMUM HORIZONTAL DISTANCE OF 10 FEET SHOULD BE MAINTAINED BETWEEN WATER LINES AND SEWER LINES OR OTHER SOURCES OF CONTAMINATION. WATER LINES AND SEWERS SHALL NOT BE LAID IN THE SAME TRENCH EXCEPT ON THE WRITTEN APPROVAL OF THE AUTHORITY HAVING JURISDICTION. WATER MAINS NECESSARILY IN CLOSE PROXIMITY TO SEWERS MUST BE PLACED SO THAT THE BOTTOM OF THE WATER LINE WILL BE AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER LINE AT ITS HIGHEST POINT. IF THIS DISTANCE MUST UNAVOIDABLY BE REDUCED, THE WATER LINE OR THE SEWER LINE MUST BE ENCASED IN WATERTIGHT PIPE WITH SEALED WATERTIGHT ENDS EXTENDING AT LEAST TEN FEET EITHER SIDE OF THE CROSSING. ANY JOINT IN THE ENCASEMENT PIPE IS TO BE MECHANICALLY RESTRAINED. THE ENCASEMENT PIPE MAY BE VENTED TO THE SURFACE IF CARRYING WATER OR SEWER UNDER PRESSURE. WHERE A WATER LINE MUST UNAVOIDABLY PASS BENEATH THE SEWER LINE, AT LEAST 18 INCHES OF SEPARATION MUST BE MAINTAINED BETWEEN THE OUTSIDE OF THE TWO PIPES IN ADDITION TO THE PRECEDING ENCASEMENT REQUIREMENT. EXCEPTIONS TO THIS MUST BE APPROVED IN WRITING BY THE AUTHORITY HAVING JURISDICTION.
- A MINIMUM HORIZONTAL DISTANCE OF THREE (3) FEET SHALL BE MAINTAINED BETWEEN WATER LINES AND OTHER UNDERGROUND UTILITIES OF A NONSANITARY NATURE (GAS, ELECTRIC, ETC.) EXCEPTIONS TO THIS MUST BE APPROVED IN WRITING BY THE AUTHORITY HAVING JURISDICTION.
- 29. A MINIMUM 10 FOOT HORIZONTAL SEPARATION SHALL BE MAINTAINED BETWEEN ANY TYPE OF SEWER AND WATER MAIN IN PARALLEL INSTALLATIONS.
- ALL DIP SHALL BE CLASS 50 OR HIGHER, DUCTILE IRON FITTINGS SHALL BE CLASS 350. ADEQUATE PROTECTIVE MEASURES AGAINST CORROSION SHALL BE USED.
- TREES SHALL BE PLACED SO AS TO AVOID BURIED UTILITIES.
- 32. ALL UTILITY MAIN LENGTHS SHOWN ARE APPROXIMATE. ALL MANHOLE TOP ELEVATIONS ARE APPROXIMATE. CONTRACTOR SHALL SET MANHOLE TOP LEVEL WITH FINISH PAVEMENT GRADES.

33. PRESSURE PIPE TESTING SPECIFICATIONS SHALL REFERENCE THE CITY/COUNTY

- AND/OR FIRE DEPARTMENT. CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES. THIS
- AND THE FINAL CONNECTIONS OF THE SERVICE SHALL BE COMPLETED 30 DAYS PRIOR TO POSSESSION.
- 35. CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES FOR INSTALLATION REQUIREMENTS AND SPECIFICATIONS.
- 36. REFER TO BUILDING PLANS FOR SITE ELECTRICAL PLAN.

STA	ANDARD ABBREVIATIONS
AC	ACRES
ADA ARCH	AMERICANS WITH DISABILITY ACT  ARCHITECTURAL
BC	BOTTOM OF CURB
BF	BASEMENT FLOOR
BK BL	BASELINE
BLD	BUILDING
BOL	BOLLARD
BM	BENCH MARK
BRL	BUILDING RESTRICTION LINE BUILDING SETBACK LINE
CF	CUBIC FEET
CL	CENTERLINE
CMP	CORRUGATED METAL PIPE  CONNECTION
CONC	CONCRETE
CPP	CORRUGATED PLASTIC PIPE
CY DEC	CUBIC YARDS
DEP	DEPRESSED
DIP	DUCTILE IRON PIPE
DOM	DOMESTIC
ELEC	ELECTRIC
EP	EDGE OF PAVEMENT
ES	EDGE OF SHOULDER
EX	END OF WALL EXISTING
FES	FLARED END SECTION
FF	FINISH FLOOR ELEVATION
FH FG	FIRE HYDRANT
G	FINISHED GRADE  GRADE
GF	GARAGE FLOOR
GH	GRADE HIGH SIDE OF WALL
GL GRT	GRADE LOW SIDE OF WALL GRATE
GV	GATE VALVE
HDPE	HIGH DENSITY POLYETHYLENE PIPE
HP HOR	HIGH POINT HORIZONTAL
HW	HEADWALL
INT	INTERSECTION
INV	INVERT
LOC	LINEAR FOOT LIMITS OF CLEARING
LOD	LIMITS OF DISTURBANCE
LOS	LINE OF SIGHT
LP LS	LOW POINT  LANDSCAPE
MAX	MAXIMUM
ME	MATCH EXIST
MIN	MANHOLE
MJ	MECHANICAL JOINT
ОС	ON CENTER
PC PCCR	POINT OF CURVATURE POINT OF COMPOUND CURVATURE. CURB RETURN
PI	POINT OF INTERSECTION
POG	POINT OF GRADE
POI PROP	POINT OF INTEREST
PT	PROPOSED POINT OF TANGENCY
PTCR	POINT OF TANGENCY, CURB RETURN
PVC	POLYVINYL CHLORIDE PIPE
PVI PVT	POINT OF VERTICAL INTERSECTION  POINT OF VERTICAL TANGENCY
R	RADIUS
RCP	REINFORCED CONCRETE PIPE
RCPR RET-WALL	REINFORCED CONCRETE WITH RUBBER GASKET RETAINING WALL
R/W	RIGHT OF WAY
S	SLOPE
SAN SF	SANITARY SEWER SQUARE FEET
SSE	SANITARY SEWER EASEMENT
STA	STATION
STM TBR	STORM  TO BE REMOVED
TBRL	TO BE RELOCATED
TC	TOP OF CURB
TEL	TELEPHONE
TP	TREE PROTECTION  TOP OF WALL
TYP	TYPICAL
UG	UNDERGROUND
UP W/L	UTILITY POLE WATER LINE
W/M	WATER LINE WATER METER
±	PLUS OR MINUS
ø	DEGREE
#	DIAMETER NUMBER

CLIENT REVISIONS

DOCUMENTS PREPARED BY CORESTATES IN NCLUDING THIS DOCUMENT, ARE TO BE USE ONLY FOR THE SPECIFIC PROJECT AND SPEC USE FOR WHICH THEY WERE INTENDED. AN CTENSION OF USE TO ANY OTHER PROJECT Y OWNER OR BY ANY OTHER PARTY, WITHOU CORESTATES, INC. IS DONE UNLAWFULLY AN OTHER THAN THAT SPECIFICALLY INTENDE FROM ALL CLAIMS AND LOSSES.



DOCUMENT CIVIL

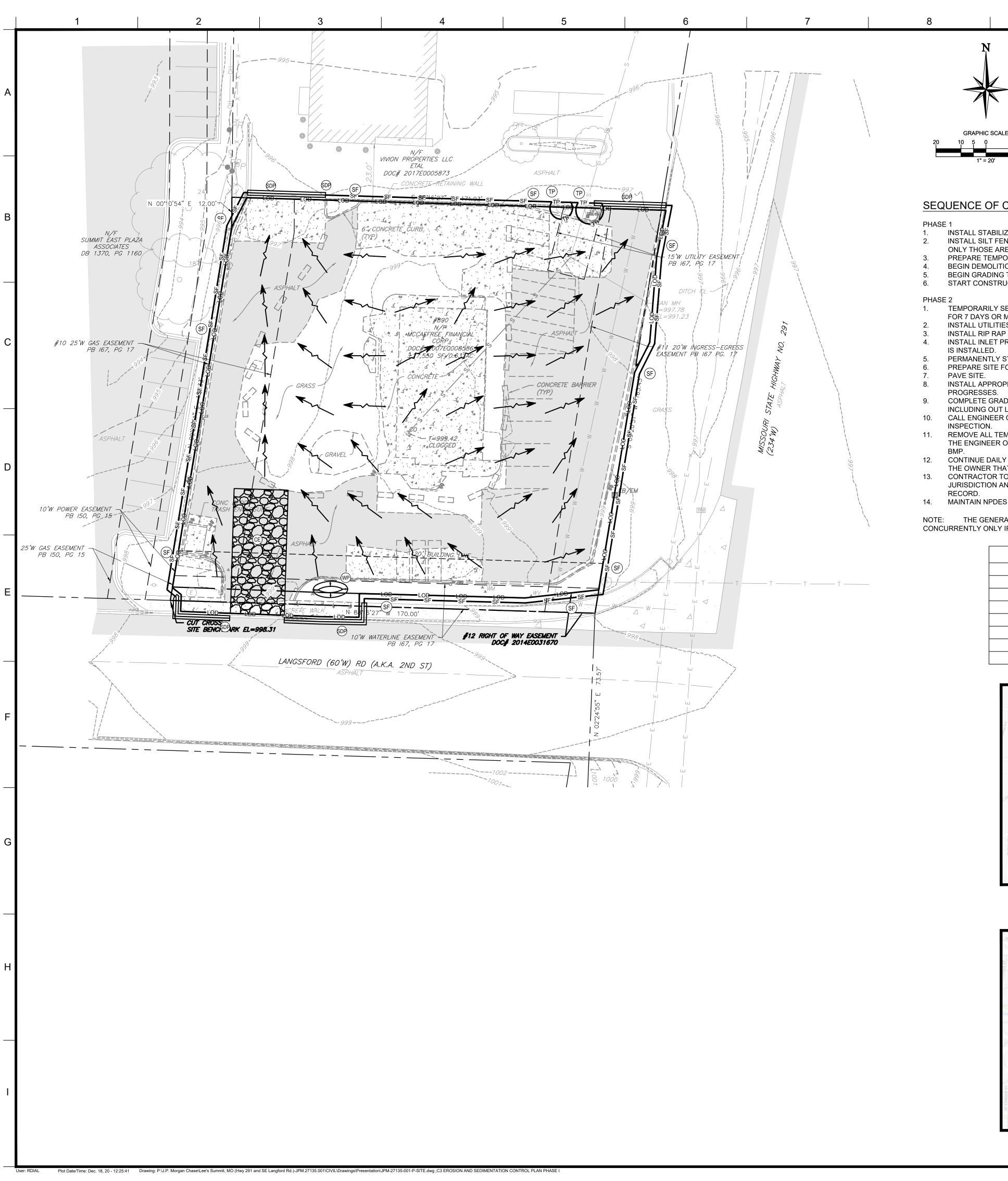
CONSTRUCTION PLANS FOR CHASE BANK

SITE LOCATION 890 NE LANGSFORD ROAD LEE'S SUMMIT. MO 64063

**ENGINEER SEAL** CHAD D. FAIRBANKS NUMBER E-2001018726 12-21-2020

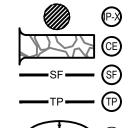
SHEET TITLE **GENERAL** NOTES

JOB # JPM-27135.00 12/21/202 SCALE: AS NOTE DRAWN BY: CHECKED BY:

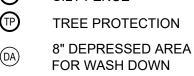


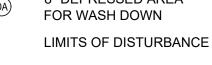












#### DIRECTION OF OVERLAND FLOW

#### SEQUENCE OF CONSTRUCTION

INSTALL STABILIZED CONSTRUCTION EXIT(S).

- INSTALL SILT FENCE(S) AND SILT DIKE(S) ON THE SITE, AND INLET PROTECTION(S) (CLEAR ONLY THOSE AREAS NECESSARY TO INSTALL SILT FENCE).
- PREPARE TEMPORARY PARKING AND STORAGE AREA. BEGIN DEMOLITION ACTIVITIES AND CLEARING AND GRUBBING THE SITE
- BEGIN GRADING THE SITE. START CONSTRUCTION OF BUILDING PAD AND STRUCTURES.

- TEMPORARILY SEED, THROUGHOUT CONSTRUCTION, DENUDED AREAS THAT WILL BE INACTIVE
- INSTALL UTILITIES, UNDERDRAINS, STORM SEWERS, CURBS AND GUTTERS.
- INSTALL RIP RAP AROUND OUTLET STRUCTURES AS EACH OUTLET STRUCTURE IS INSTALLED. INSTALL INLET PROTECTION AT ALL STORM SEWER STRUCTURES AS EACH INLET STRUCTURE
- PERMANENTLY STABILIZE AREAS TO BE VEGETATED AS THEY ARE BROUGHT TO FINAL GRADE. PREPARE SITE FOR PAVING.
- INSTALL APPROPRIATE INLET PROTECTION DEVICES FOR PAVED AREAS AS WORK
- COMPLETE GRADING AND INSTALLATION OF PERMANENT STABILIZATION OVER ALL AREAS
- CALL ENGINEER OF RECORD AFTER THE SITE APPEARS TO BE FULLY STABILIZED FOR AN
- REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES AFTER APPROVAL OF
- THE ENGINEER OF RECORD AND STABILIZE ANY AREAS DISTURBED BY THE REMOVAL OF THE
- CONTINUE DAILY INSPECTION REPORTS UNTIL THE FINAL DAILY INSPECTION IS SIGNED OFF BY THE OWNER THAT THE SITE IS FULLY STABILIZED AND THE PERMIT MAY BE TERMINATED.
- CONTRACTOR TO FILE NOTICE OF TERMINATION APPLICATION TO THE APPLICABLE JURISDICTION AND SHALL PROVIDE A COPY OF APPROVAL TO THE OWNER AND ENGINEER OF
- MAINTAIN NPDES REPORT AFTER RAIN INSPECTIONS EVERY 7 DAYS.

NOTE: THE GENERAL CONTRACTOR MAY COMPLETE CONSTRUCTION-RELATED ACTIVITIES CONCURRENTLY ONLY IF ALL PRECEDING BMPS HAVE BEEN COMPLETELY INSTALLED.

ACREAGE SUMMARY (IN ACRES)						
TOTAL PARCEL AREA	0.632					
TOTAL DISTURBED AREA	0.629					
ON-SITE DISTURBED AREA	0.619					
ON-SITE IMPERVIOUS AREA	0.400					
ON-SITE PERVIOUS AREA	0.219					
OFF-SITE DISTURBED AREA	0.010					
OFF-SITE IMPERVIOUS AREA	0.000					
OFF-SITE PERVIOUS AREA	0.010					



VICINITY MAP



**USGS QUAD MAP** 

#### **GENERAL EROSION NOTES**

- 1. THE STORMWATER POLLUTION PREVENTION PLAN IS COMPRISED OF THIS DRAWING ("SITE MAP"), THE STANDARD DETAILS, PLUS THE PERMIT AND ALL SUBSEQUENT REPORTS AND RELATED DOCUMENTS.
- 2. ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION PREVENTION SHALL OBTAIN A COPY OF THE STORM WATER POLLUTION PREVENTION PLAN AND THE STATE OR NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (NPDES PERMIT) AND BECOME FAMILIAR WITH THEIR CONTENTS. ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE IN PLACE PRIOR TO ANY OTHER CLEARING, GRUBBING, OR DEMOLITION ACTIVITIES.
- 3. CONTRACTOR SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THE SWPPP. ADDITIONAL BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED AS DICTATED BY CONDITIONS AT NO ADDITIONAL COST OF OWNER THROUGHOUT ALL PHASES OF CONSTRUCTION.
- 4. BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS OR MANUAL OF PRACTICE, AS APPLICABLE. CONTRACTOR SHALL IMPLEMENT ADDITIONAL CONTROLS AS DIRECTED BY PERMITTING AGENCY OR OWNER.
- 5. SITE MAP MUST CLEARLY DELINEATE ALL STATE WATERS. PERMITS FOR ANY CONSTRUCTION ACTIVITY IMPACTING STATE WATERS OR REGULATED WETLANDS MUST BE MAINTAINED ON SITE AT ALL TIMES.
- 6. CONTRACTOR SHALL MINIMIZE CLEARING TO THE MAXIMUM EXTENT PRACTICAL OR AS REQUIRED BY THE GENERAL PERMIT.
- GENERAL CONTRACTOR SHALL DENOTE ON PLAN THE TEMPORARY PARKING AND STORAGE AREA WHICH SHALL ALSO BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREA, EMPLOYEE PARKING AREA, AND AREA FOR LOCATING PORTABLE FACILITIES, OFFICE TRAILERS, AND TOILET FACILITIES. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDED DESIGNATED WASH-OUTS FOR CONCRETE, STUCCO, ETC. THESE SHOULD BE DESIGNATED PRIOR TO CONSTRUCTION ON THE PLANS AND ESTABLISHED AT THE PRE-CONSTRUCTION MEETING.
- 8. ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE DETAINED AND PROPERLY TREATED OR DISPOSED.
- 9. SUFFICIENT OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE MAINTAINED ON SITE OR READILY AVAILABLE TO CONTAIN AND CLEAN-UP FUEL OR CHEMICAL SPILLS AND LEAKS.
- 10. DUST ON THE SITE SHALL BE CONTROLLED. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
- . RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORMWATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
- 12. NO CONSTRUCTION OR DEMOLITION IS TO BE INITIATED PRIOR TO THE INSTALLATION OF THE EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES (BMPs). ALL STORMWATER POLLUTION PREVENTION MEASURES CAN BE INITIATED AS SOON AS PRACTICAL.
- 13. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY WILL BE STOPPED FOR AT LEAST 7 DAYS, SHALL BE TEMPORARILY SEEDED. THESE AREAS SHALL BE SEEDED NO LATER THAN 7 DAYS FROM THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS.
- 14. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY SEEDED. THESE AREAS SHALL BE SEEDED NO LATER THAN 7 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS. REFER TO THE GRADING PLAN AND/OR LANDSCAPE PLAN.
- 15. IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE. ONLY USE INGRESS/EGRESS LOCATIONS AS PROVIDED.
- 16. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
- 17. CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING SEDIMENT IN THE DETENTION POND AND ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS IN CONJUNCTION WITH THE STABILIZATION OF THE SITE.
- 18. ON-SITE & OFFSITE SOIL STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES. STOCKPILE AND BORROW AREA LOCATIONS SHALL BE NOTED ON THE SITE MAP AND PERMITTED IN ACCORDANCE WITH GENERAL
- 19. SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
- 20. DUE TO THE GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION AND SEDIMENT CONTROL MEASURES (SILT FENCES, ETC.) TO PREVENT EROSION AND POLLUTANT DISCHARGE.
- 21. CONTRACTOR TO COORDINATE WITH OWNER FOR STOCKPILING OF STRIPED TOPSOIL AND BORROW MATERIAL ONSITE. CONTRACTOR TO PROVIDE CONSTRUCTION ENTRANCE AT STOCKPILE AREA AND OTHER APPROPRIATE BMP'S, INCLUDING BUT NOT LIMITED TO, SILT FENCE, AROUND STORAGE AREA.
- 22. SILT FENCE SHALL BE INSTALLED AT LIMITS OF DISTURBANCE. BOTH LINES ARE SHOWN FOR CLARITY ONLY.

#### MAINTENANCE

ALL MEASURES STATED ON THIS SITE MAP, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON IN ACCORDANCE WITH THE CONTRACT DOCUMENTS OR THE APPLICABLE PERMIT, WHICHEVER IS MORE STRINGENT, AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:

- 1. INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING OR DETERIORATION.
- 2. ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED, AND RESEEDED AS NEEDED.
- 3. SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-HALF THE HEIGHT OF THE SILT FENCE.
- 4. THE CONSTRUCTION EXITS SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC



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Call before you dig. REVISIONS

COMMENT

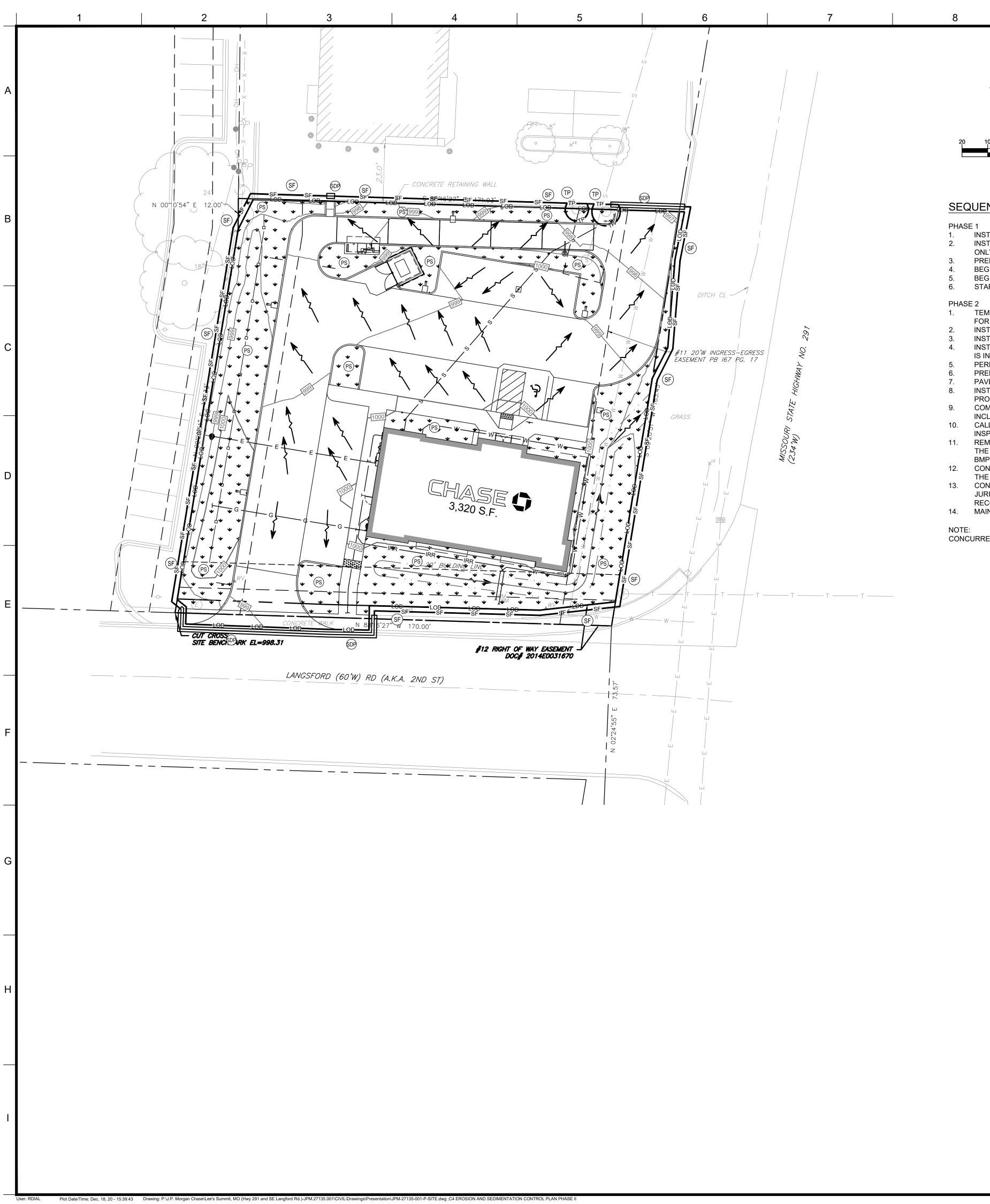
DOCUMENT CIVIL CONSTRUCTION PLANS FOR CHASE BANK

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ENGINEER SEAL CHAD D. # FAIRBANKS NUMBER E-2001018726 12-21-2020

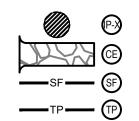
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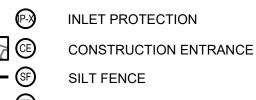
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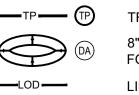












TREE PROTECTION 8" DEPRESSED AREA

FOR WASH DOWN

LIMITS OF DISTURBANCE DIRECTION OF OVERLAND FLOW

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- BEGIN GRADING THE SITE. START CONSTRUCTION OF BUILDING PAD AND STRUCTURES.
- TEMPORARILY SEED, THROUGHOUT CONSTRUCTION, DENUDED AREAS THAT WILL BE INACTIVE FOR 7 DAYS OR MORE.
- INSTALL UTILITIES, UNDERDRAINS, STORM SEWERS, CURBS AND GUTTERS.
- INSTALL RIP RAP AROUND OUTLET STRUCTURES AS EACH OUTLET STRUCTURE IS INSTALLED. INSTALL INLET PROTECTION AT ALL STORM SEWER STRUCTURES AS EACH INLET STRUCTURE
- PERMANENTLY STABILIZE AREAS TO BE VEGETATED AS THEY ARE BROUGHT TO FINAL GRADE. PREPARE SITE FOR PAVING.
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VICINITY MAP



USGS QUAD MAP

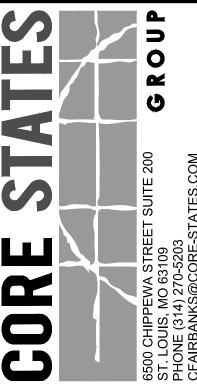
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- 10. DUST ON THE SITE SHALL BE CONTROLLED. THE USE OF MOTOR OILS AND OTHER PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.
- 11. RUBBISH, TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PREMISES THROUGH THE ACTION OF WIND OR STORMWATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.
- 12. NO CONSTRUCTION OR DEMOLITION IS TO BE INITIATED PRIOR TO THE INSTALLATION OF THE EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES (BMPs). ALL STORMWATER POLLUTION PREVENTION MEASURES CAN BE INITIATED AS SOON AS PRACTICAL.
- 13. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY WILL BE STOPPED FOR AT LEAST 7 DAYS, SHALL BE TEMPORARILY SEEDED. THESE AREAS SHALL BE SEEDED NO LATER THAN 7 DAYS FROM THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS.
- 14. DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY SEEDED. THESE AREAS SHALL BE SEEDED NO LATER THAN 7 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRING IN THESE AREAS. REFER TO THE GRADING PLAN AND/OR LANDSCAPE PLAN.
- 15. IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND TRAP THE SEDIMENT BEFORE IT IS CARRIED OFF THE SITE. ONLY USE INGRESS/EGRESS LOCATIONS AS PROVIDED.
- 16. ALL MATERIALS SPILLED, DROPPED, WASHED, OR TRACKED FROM VEHICLES ONTO ROADWAYS OR INTO STORM DRAINS MUST BE REMOVED IMMEDIATELY.
- 17. CONTRACTORS OR SUBCONTRACTORS WILL BE RESPONSIBLE FOR REMOVING SEDIMENT IN THE DETENTION POND AND ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS IN CONJUNCTION WITH THE STABILIZATION OF THE SITE.
- 18. ON-SITE & OFFSITE SOIL STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES. STOCKPILE AND BORROW AREA LOCATIONS SHALL BE NOTED ON THE SITE MAP AND PERMITTED IN ACCORDANCE WITH GENERAL
- 19. SLOPES SHALL BE LEFT IN A ROUGHENED CONDITION DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
- 20. DUE TO THE GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION AND SEDIMENT CONTROL MEASURES (SILT FENCES, ETC.) TO PREVENT EROSION AND POLLUTANT DISCHARGE.
- 21. CONTRACTOR TO COORDINATE WITH OWNER FOR STOCKPILING OF STRIPED TOPSOIL AND BORROW MATERIAL ONSITE. CONTRACTOR TO PROVIDE CONSTRUCTION ENTRANCE AT STOCKPILE AREA AND OTHER APPROPRIATE BMP'S, INCLUDING BUT NOT LIMITED TO, SILT FENCE, AROUND STORAGE AREA.
- 22. SILT FENCE SHALL BE INSTALLED AT LIMITS OF DISTURBANCE. BOTH LINES ARE SHOWN FOR CLARITY ONLY.

#### MAINTENANCE

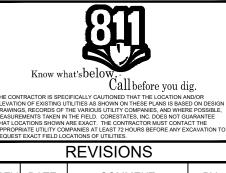
ALL MEASURES STATED ON THIS SITE MAP, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED BY A QUALIFIED PERSON IN ACCORDANCE WITH THE CONTRACT DOCUMENTS OR THE APPLICABLE PERMIT, WHICHEVER IS MORE STRINGENT, AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:

- 1. INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING OR DETERIORATION.
- 2. ALL SEEDED AREAS SHALL BE CHECKED REGULARLY TO SEE THAT A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED, WATERED, AND RESEEDED AS NEEDED.
- 3. SILT FENCES SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-HALF THE HEIGHT OF THE SILT FENCE.
- 4. THE CONSTRUCTION EXITS SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC



DOCUMENTS PREPARED BY CORESTATES IN NCLUDING THIS DOCUMENT, ARE TO BE USE INLY FOR THE SPECIFIC PROJECT AND SPEC USE FOR WHICH THEY WERE INTENDED. AN EXTENSION OF USE TO ANY OTHER PROJECT BY OWNER OR BY ANY OTHER PARTY, WITHOU THE EXPRESSED WRITTEN CONSENT OF ORESTATES, INC. IS DONE UNLAWFULLY AN AT THE USERS OWN RISK. IF USED IN A WAY OTHER THAN THAT SPECIFICALLY INTENDED FROM ALL CLAIMS AND LOSSES.





COMMENT

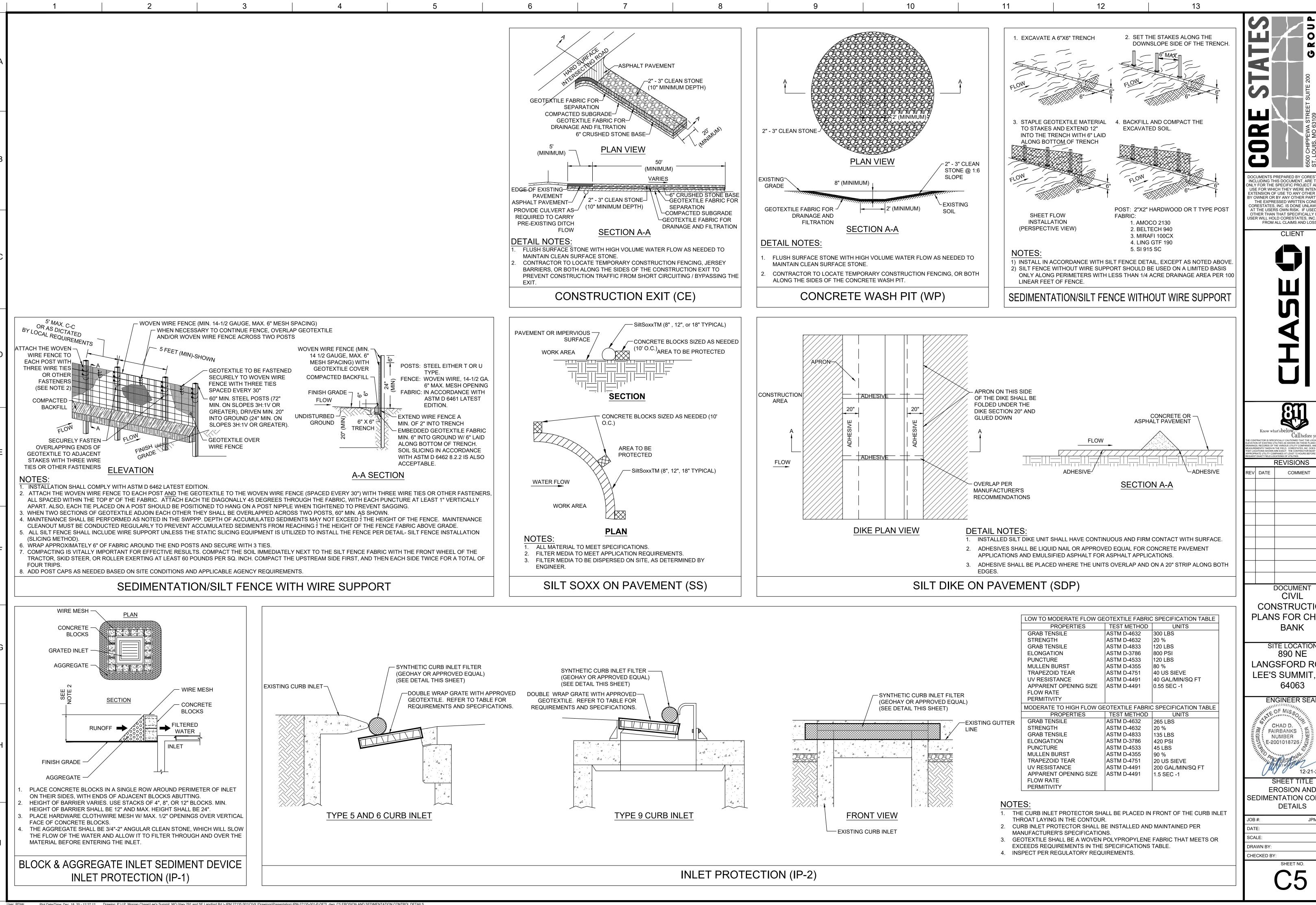
DOCUMENT CIVIL CONSTRUCTION PLANS FOR CHASE BANK

SITE LOCATION 890 NE LANGSFORD ROAD LEE'S SUMMIT, MO 64063

ENGINEER SEAL CHAD D. # FAIRBANKS NUMBER E-2001018726 12-21-2020

SHEET TITLE **EROSION AND** SEDIMENTATION CONTROL PLAN PHASE II

JPM-27135.00 SCALE: 1" = 20 DRAWN BY: CHECKED BY:



DOCUMENTS PREPARED BY CORESTATES IN ONLY FOR THE SPECIFIC PROJECT AND SPEC USE FOR WHICH THEY WERE INTENDED. AN EXTENSION OF USE TO ANY OTHER PROJECT BY OWNER OR BY ANY OTHER PARTY, WITHOU THE EXPRESSED WRITTEN CONSENT OF CORESTATES, INC. IS DONE UNLAWFULLY AN

OTHER THAN THAT SPECIFICALLY INTENDED JSER WILL HOLD CORESTATES, INC. HARMLE FROM ALL CLAIMS AND LOSSES.

Call before you dig. **REVISIONS** 

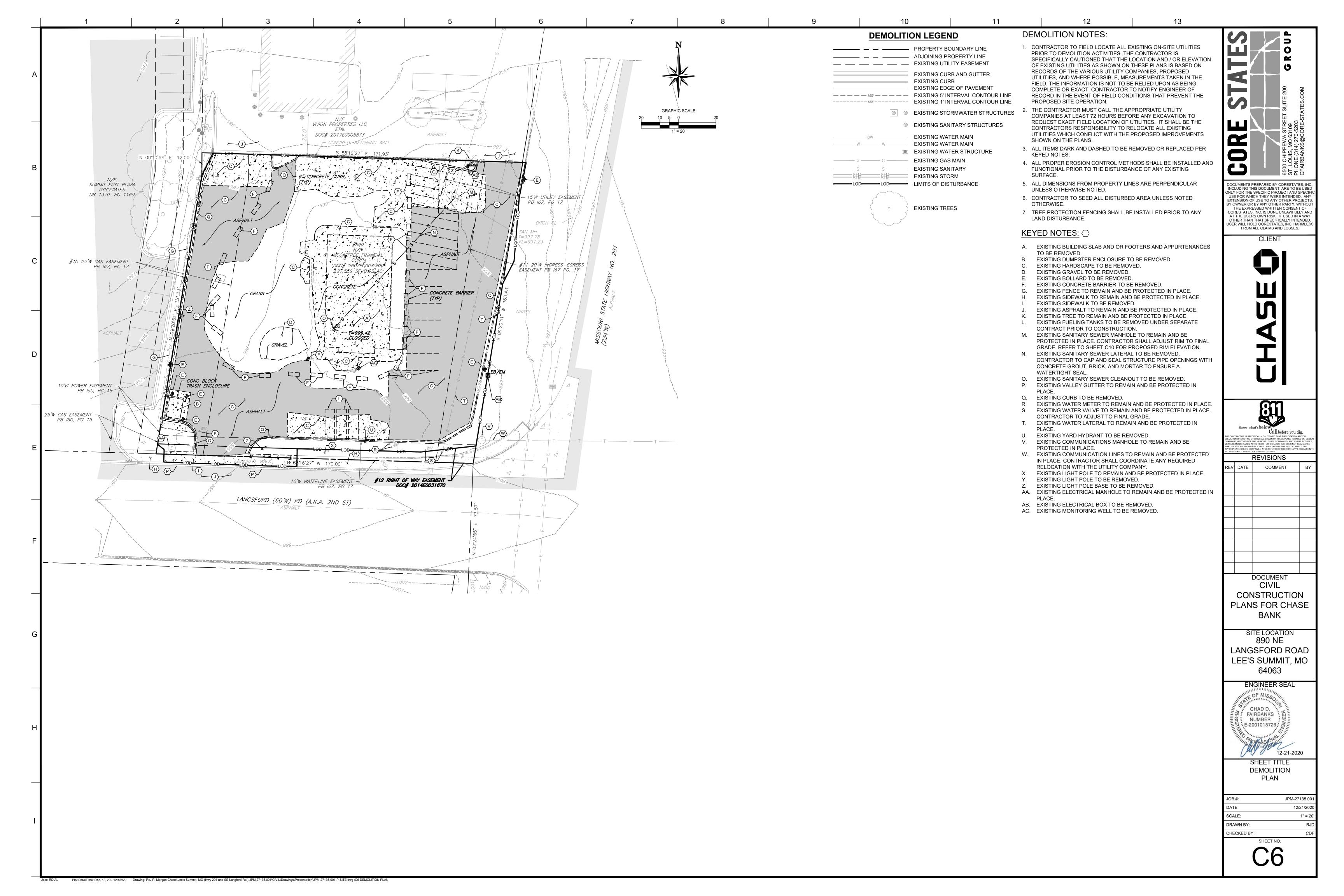
CONSTRUCTION PLANS FOR CHASE

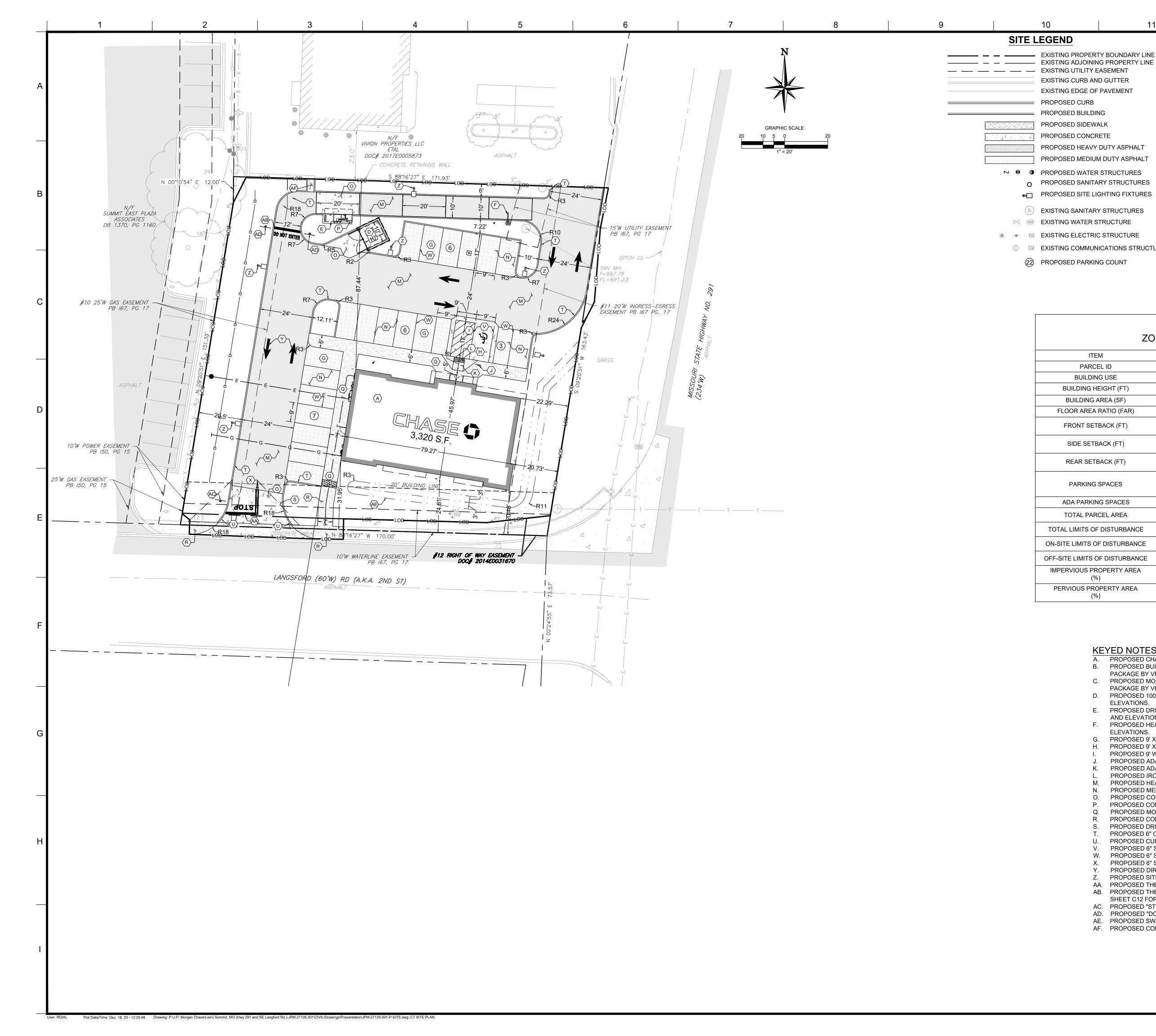
SITE LOCATION 890 NE LANGSFORD ROAD LEE'S SUMMIT, MO

ENGINEER SEAL 12-21-2020

**EROSION AND** SEDIMENTATION CONTROL DETAILS

JPM-27135.0 AS NOTE





#### SITE NOTES:

**EXISTING CURB AND GUTTER** 

EXISTING EDGE OF PAVEMENT

PROPOSED HEAVY DUTY ASPHALT

O PROPOSED SANITARY STRUCTURES

PROPOSED SITE LIGHTING FIXTURES

(S) EXISTING SANITARY STRUCTURES

© EXISTING COMMUNICATIONS STRUCTURE

22) PROPOSED PARKING COUNT

PROPOSED MEDIUM DUTY ASPHALT

PROPOSED CURB

PROPOSED BUILDING

PROPOSED SIDEWALK

PROPOSED CONCRETE

- EXISTING PROPERTY BOUNDARY LINE
  - 1. REFER TO SHEET C2 FOR GENERAL NOTES.
  - 2. REFER TO SHEET C3 FOR EXISTING CONDITIONS.
  - 3. REFER TO SHEET C8 FOR GRADING AND DRAINAGE PLAN.
  - 4. REFER TO SHEET C9 FOR UTILITY PLAN.

  - 5. REFER TO LANDSCAPE PLAN.
  - 6. REFER TO SHEETS C14 FOR PHOTOMETRIC PLAN AND SITE LIGHTING
  - 7. ALL DIMENSIONS ARE TO GROUND LEVEL IMPROVEMENTS (FACE OF CURB, CONCRETE SLAB, ETC.) UNLESS NOTED OTHERWISE. REFER TO ARCHITECTURAL PLANS FOR BUILDING DETAILS.
  - 8. ALL DIMENSIONS FROM PROPERTY LINES ARE PERPENDICULAR UNLESS OTHERWISE NOTED.
  - 9. CONTRACTOR TO SEED ALL DISTURBED AREA UNLESS NOTED
  - 10. CONTRACTOR TO INSTALL ASPHALT PAVEMENT IN ALL DRIVING AREAS REFER TO SHEET C10 FOR ASPHALT PAVING DETAILS.

USE FOR WHICH THEY WERE INTENDED. ANY EXTENSION OF USE TO ANY OTHER PROJECTS BY OWNER OR BY ANY OTHER PARTY, WITHOU THE EXPRESSED WRITTEN CONSENT OF CORESTATES, INC. IS DONE UNLAWFULLY ANI AT THE USERS OWN RISK. IF USED IN A WAY OTHER THAN THAT SPECIFICALLY INTENDED JSER WILL HOLD CORESTATES, INC. HARMLE: FROM ALL CLAIMS AND LOSSES.

34.72%

#### **ZONING DATA ZONED C-2 - GENERAL BUSINESS**

ITEM	EXISTING / REQUIRED	PROPOSED
PARCEL ID	61-210-11-37-02-0-000	61-210-11-37-02-0-00-000
BUILDING USE	VACANT PAVED LOT (EXISTING)	BANKING FACILITY
BUILDING HEIGHT (FT)	MAX: 40'	21'-6"
BUILDING AREA (SF)	0 SF (EXISTING)	3,320 SF
FLOOR AREA RATIO (FAR)	0.55 (MAXIMUM)	0.12 (PROPOSED)
FRONT SETBACK (FT)	20' (SOUTH) (MINIMUM) 15' (EAST) (MINIMUM)	20.48' (SOUTH) 20.73' (EAST)
SIDE SETBACK (FT)	10' (MINIMUM)	N/A
REAR SETBACK (FT)	20' (MINIMUM)	87.44' (NORTH) 68.5' (WEST)
PARKING SPACES	4 SPACES / 1,000 SF = 14 SPACES MINIMUM	22 SPACES (INCLUDING 1 ADA SPACES)
ADA PARKING SPACES	1 SPACES (MINIMUM)	1 SPACES
TOTAL PARCEL AREA	0.632 AC (27,550 SF)	0.632 AC (27,550 SF)
TOTAL LIMITS OF DISTURBANCE	N/A	0.629 AC (27,405 SF)
ON-SITE LIMITS OF DISTURBANCE	N/A	0.619 AC (26,942 SF)
OFF-SITE LIMITS OF DISTURBANCE	N/A	0.011 AC (463 SF)
IMPERVIOUS PROPERTY AREA (%)	0.613 AC (21,369 SF) 77.56% (EXISTING)	0.413 AC (17,985 SF) 65.28%
PERVIOUS PROPERTY AREA	0.142 AC (6,181 SF)	0.220 AC (9,565 SF)

#### KEYED NOTES:⟨>

(%)

A. PROPOSED CHASE BANK. REFER TO ARCHITECTURAL PLANS FOR DETAILS AND ELEVATIONS.

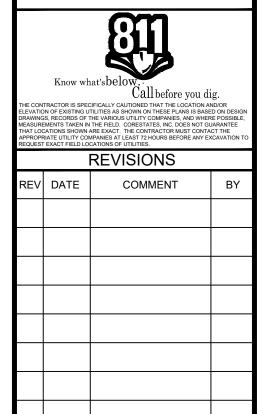
22.44% (EXISTING)

- B. PROPOSED BUILDING SIGN TO BE PROVIDED AND INSTALLED BY OTHERS. REFER TO SIGNAGE PACKAGE BY VENDOR. SIGNAGE PERMIT TO BE PROCURED BY SIGNAGE VENDOR.
- C. PROPOSED MONUMENT SIGN TO BE PROVIDED AND INSTALLED BY OTHERS. REFER TO SIGNAGE
- PACKAGE BY VENDOR. SIGNAGE PERMIT TO BE PROCURED BY SIGNAGE VENDOR. D. PROPOSED 100 SF DUMPSTER ENCLOSURE. REFER TO ARCHITECTURAL PLANS FOR DETAILS AND
- E. PROPOSED DRIVE THRU ATM WITH CANOPY. REFER TO ARCHITECTURAL DRAWINGS FOR DETAILS
- AND ELEVATIONS.
- F. PROPOSED HEADACHE BAR. REFER TO ARCHITECTURAL DRAWINGS FOR DETAILS AND ELEVATIONS.
- PROPOSED 9' X 17' PARKING SPACE (TYPICAL). PROPOSED 9' X 17' ADA PARKING SPACE. REFER TO SHEET C12 FOR DETAIL.
- PROPOSED 9' WIDE ADA COMPLIANT LOADING AREA. REFER TO SHEET C11 & C12 FOR DETAILS. PROPOSED ADA PARKING SIGN WITH BREAK AWAY POST. REFER TO SHEET C11 FOR DETAIL.
- PROPOSED ADA COMPLIANT FLARED RAMP. REFER TO SHEET C11 FOR DETAILS. PROPOSED IRON CAST-IN-PLACE DETECTABLE WARNINGS. REFER TO SHEET C11 FOR DETAILS.
- PROPOSED HEAVY DUTY ASPHALT PAVEMENT (TYPICAL). REFER TO SHEET C11 FOR DETAIL.
- PROPOSED MEDIUM DUTY ASPHALT PAVEMENT. REFER TO SHEET C11 FOR DETAIL.
- PROPOSED CONCRETE PAVEMENT. REFER TO SHEET C11 FOR DETAIL. PROPOSED CONCRETE SLAB FOR ATM. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
- PROPOSED MONOLITHIC TURNED DOWN CONCRETE SIDEWALK. REFER TO SHEET C11 FOR DETAIL PROPOSED CONCRETE SIDEWALK. REFER TO SHEET C12 FOR DETAIL.
- PROPOSED DRIVEWAY. REFER TO SHEET C12 FOR DETAIL.
- PROPOSED 6" CURB. REFER TO SHEET C12 FOR DETAIL.
- PROPOSED CURB TRANSITION. REFER TO SHEET C12 FOR DETAIL.
- PROPOSED 6" SOLID BLUE PAINTED STRIPE (TYPICAL). REFER TO SHEET C11 FOR DETAIL. PROPOSED 6" SOLID WHITE PAINTED STRIPE (TYPICAL). REFER TO SHEET C11 FOR DETAIL.
- PROPOSED 6" SOLID YELLOW PAINTED STRIPE. REFER TO SHEET C11 FOR DETAIL.
- PROPOSED DIRECTIONAL TRAFFIC MARKING (TYPICAL). REFER TO SHEET C12 FOR DETAIL.
- PROPOSED SITE LIGHT POLE. (TYPICAL) (SEE NOTE #6).
- AA. PROPOSED THERMOPLASTIC STOP BAR WITH "STOP" TEXT. REFER TO SHEET C12 FOR DETAIL. AB. PROPOSED THERMOPLASTIC STOP BAR WITH "STOP" AND "DO NOT ENTER" TEXT. REFER TO SHEET C12 FOR DETAIL.
- AC. PROPOSED "STOP" SIGN (R1-1). REFER TO SHEET C11 FOR DETAIL.
- AD. PROPOSED "DO NOT ENTER" SIGN (R5-1). REFER TO SHEET C11 FOR DETAILS.
- AE. PROPOSED SWALE. REFER TO GRADING AND DRAINAGE PLAN FOR ELEVATIONS.
- AF. PROPOSED CONCRETE FLUME. REFER TO SHEET C12 FOR DETAIL.



INCLUDING THIS DOCUMENT, ARE TO BE USEI
ONLY FOR THE SPECIFIC PROJECT AND SPECIF CLIENT





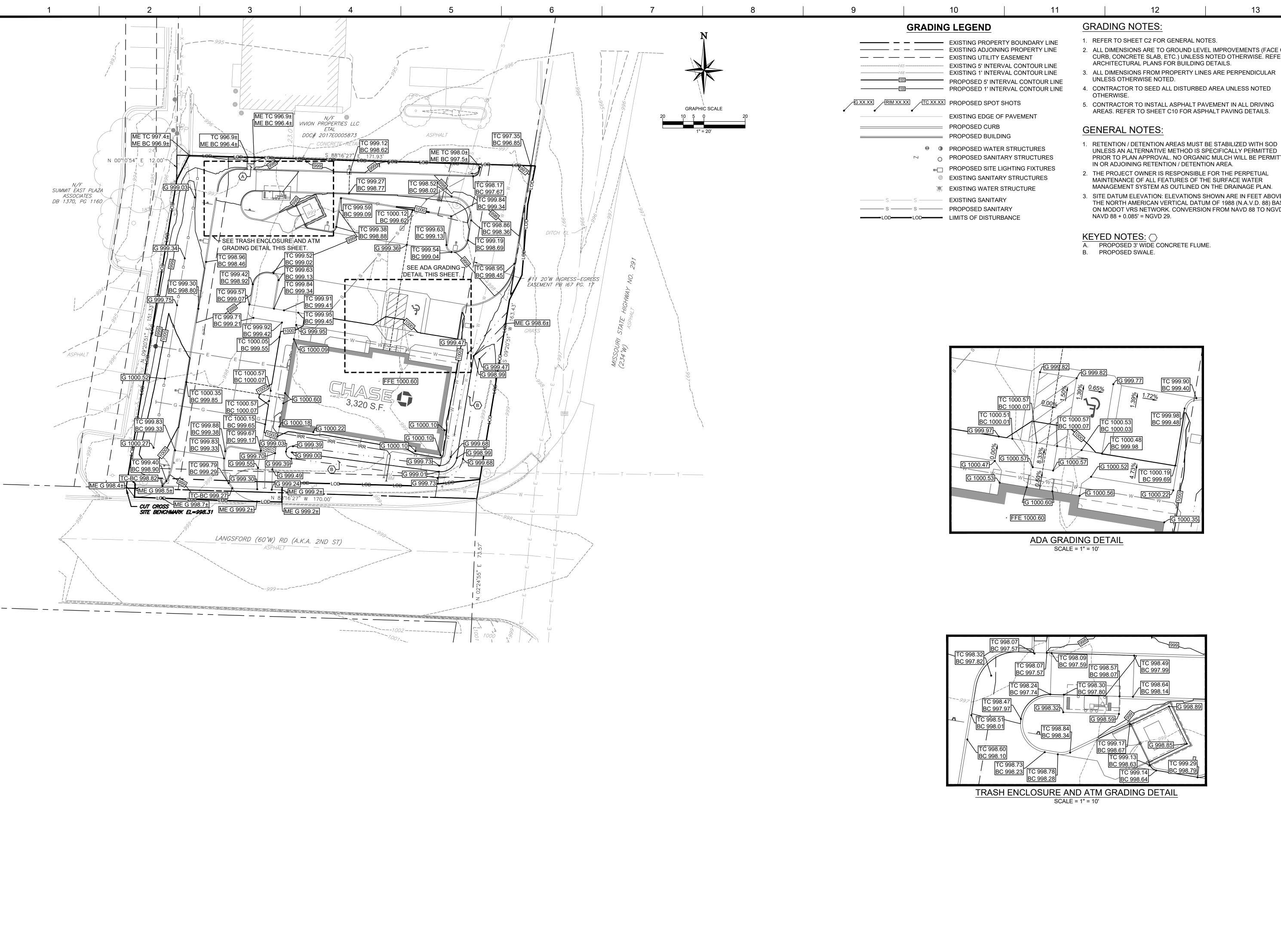
DOCUMENT CIVIL CONSTRUCTION PLANS FOR CHASE BANK

SITE LOCATION 890 NE LANGSFORD ROAD LEE'S SUMMIT, MO 64063

ENGINEER SEAL CHAD D. A: FAIRBANKS NUMBER E-2001018726 12-21-2020

> SHEET TITLE SITE PLAN

JPM-27135.00 12/21/2020 1" = 20 DRAWN BY: CHECKED BY:

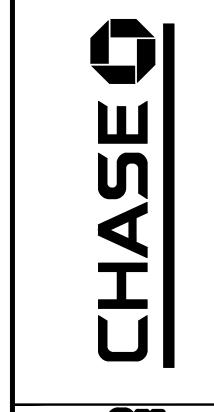


Plot Date/Time: Dec. 18, 20 - 15:40:22 Drawing: P:\J.P. Morgan Chase\Lee's Summit, MO (Hwy 291 and SE Langford Rd.)-JPM.27135.001\CIVIL\Drawings\Presentation\JPM-27135-001-P-SITE.dwg; C8 GRADING AND DRAINAGE PLAN

2. ALL DIMENSIONS ARE TO GROUND LEVEL IMPROVEMENTS (FACE OF CURB, CONCRETE SLAB, ETC.) UNLESS NOTED OTHERWISE. REFER TO

UNLESS AN ALTERNATIVE METHOD IS SPECIFICALLY PERMITTED PRIOR TO PLAN APPROVAL. NO ORGANIC MULCH WILL BE PERMITTED

3. SITE DATUM ELEVATION: ELEVATIONS SHOWN ARE IN FEET ABOVE THE NORTH AMERICAN VERTICAL DATUM OF 1988 (N.A.V.D. 88) BASED ON MODOT VRS NETWORK. CONVERSION FROM NAVD 88 TO NGVD 29,



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USER WILL HOLD CORESTATES, INC. HARMLE: FROM ALL CLAIMS AND LOSSES.

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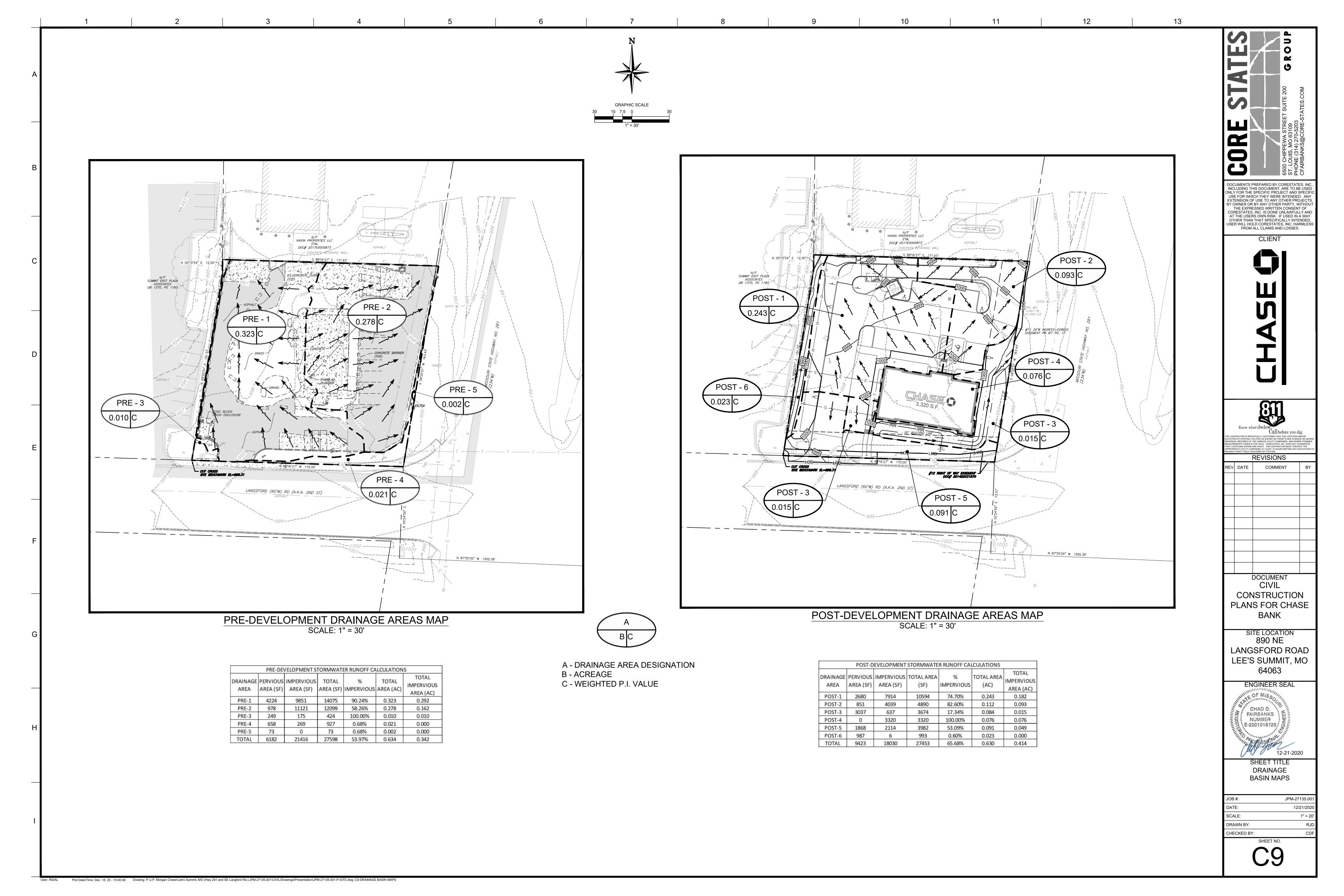
DOCUMENT CIVIL CONSTRUCTION PLANS FOR CHASE **BANK** 

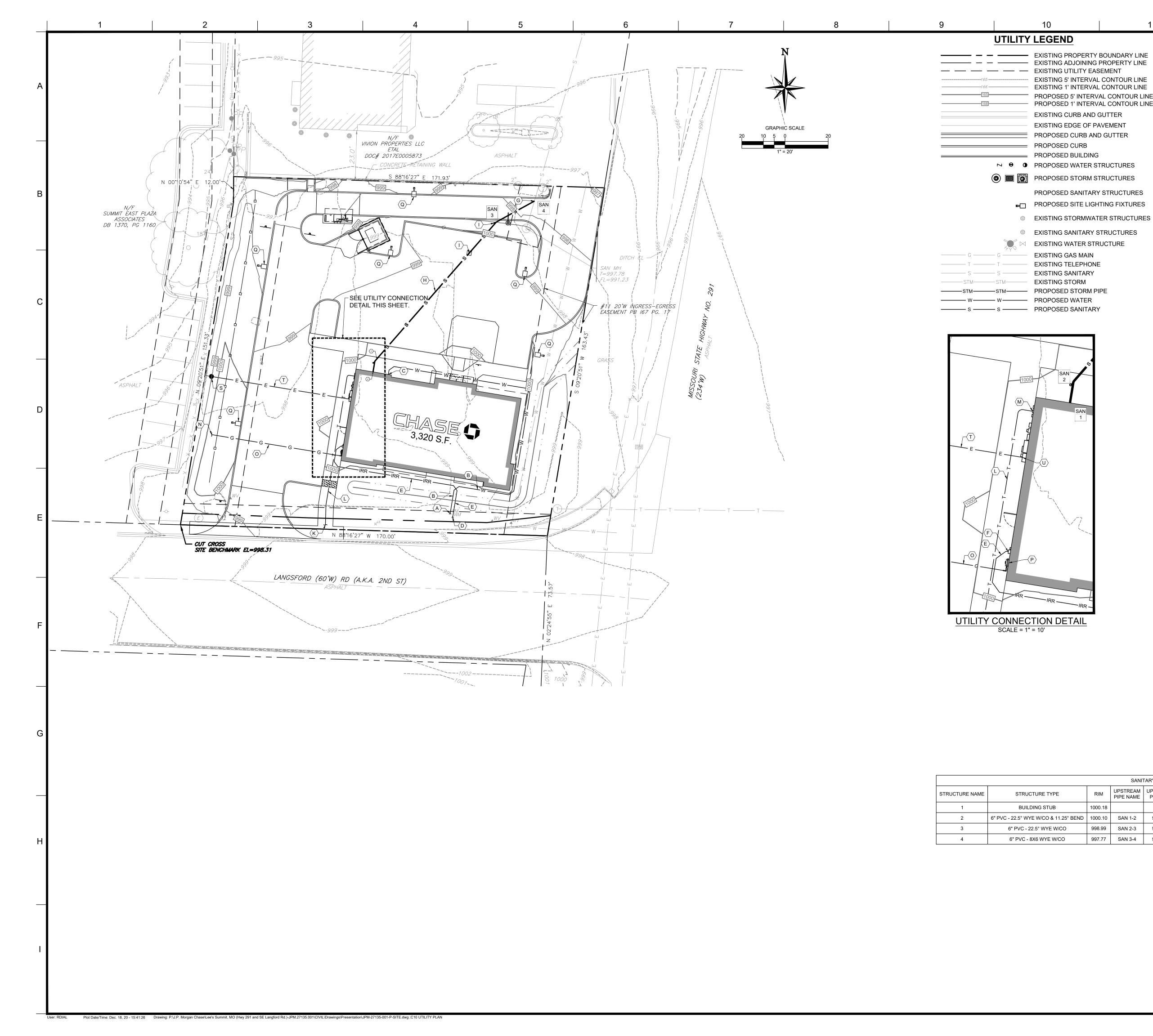
SITE LOCATION 890 NE LANGSFORD ROAD LEE'S SUMMIT, MO 64063

ENGINEER SEAL CHAD D. # FAIRBANKS NUMBER E-2001018726 12-21-2020

SHEET TITLE **GRADING AND** DRAINAGE PLAN

JPM-27135.00 12/21/2020 SCALE: 1" = 20 DRAWN BY: CHECKED BY:





#### **UTILITY NOTES:**

— EXISTING ADJOINING PROPERTY LINE

EXISTING CURB AND GUTTER EXISTING EDGE OF PAVEMENT

PROPOSED CURB AND GUTTER

PROPOSED CURB

PROPOSED BUILDING

**EXISTING 5' INTERVAL CONTOUR LINE** EXISTING 1' INTERVAL CONTOUR LINE

PROPOSED 1' INTERVAL CONTOUR LINE

PROPOSED SANITARY STRUCTURES

PROPOSED SITE LIGHTING FIXTURES

EXISTING SANITARY STRUCTURES

EXISTING GAS MAIN

EXISTING SANITARY

EXISTING STORM

STRUCTURE TYPE

**BUILDING STUB** 

**EXISTING TELEPHONE** 

EXISTING STORMWATER STRUCTURES

- 1. REFER TO SHEET C2 FOR GENERAL NOTES.

- - 4. REFER TO SHEET C8 FOR GRADING AND DRAINAGE PLAN.
  - 5. REFER TO LANDSCAPE PLAN.

  - AND / OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING COMPLETE OR EXACT. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE
  - VERTICAL DATUM OF 1988 (N.A.V.D. 88) BASED ON MODOT VRS
  - A. PROPOSED DOMESTIC WATER SERVICE POINT OF CONNECTION AT EXISTING WATER METER. CONTRACTOR SHALL COORDINATE WITH
  - PROPOSED 1-1/2" COPPER DOMESTIC WATER SERVICE.
  - PROPOSED LOCATION FOR POTABLE WATER TIE IN TO THE BUILDING. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
  - PROPOSED IRRIGATION WATER SERVICE POINT OF CONNECTION AT EXISTING WATER METER. CONTRACTOR SHALL COORDINATE WITH THE CITY OF LEE'S SUMMIT.
  - BUILDING. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
  - SEWER SERVICE AT 8" SANITARY SEWER LATERAL.
  - SEWER PIPE TO BE RUN AT MINIMUM SLOPE OF 2.00%.

  - BUILDING. REFER TO ARCHITECTURAL PLANS FOR DETAILS. PROPOSED POINT OF CONNECTION FOR UNDERGROUND TELEPHONE/CABLE SERVICE. CONTRACTOR SHALL COORDINATE
  - PROPOSED (2) 2" CONDUITS FOR TELEPHONE/CABLE SERVICE. CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANY FOR
- M. PROPOSED LOCATION FOR UNDERGROUND TELEPHONE/CABLE TIE IN TO THE BUILDING. REFER TO ELECTRICAL PLANS FOR DETAILS.
- PROPOSED GAS SERVICE CONNECTION AT EXISTING GAS LATERAL. CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANY
- UTILITY COMPANY (EVERGY).
- PROPOSED SITE LIGHTING FIXTURE (SEE PHOTOMETRIC PLAN).
- PROPOSED (2) 3/4" UNDERGROUND ELECTRICAL CONDUITS FOR MONUMENT SIGN. ALIGNMENT OF UNDERGROUND CONDUITS ARE FOR GENERAL LOCATION ONLY. CONTRACTOR TO INSTALL
- UNDERGROUND CONDUITS TO PREVENT CONFLICTS AND FACILITATED PROPOSED WIRING SCHEMATIC. S. PROPOSED UTILITY POLE WITH TRANSFORMERS AND POINT OF
- CONDUITS SIZED FOR 400A, 3-PHASE ELECTRICAL SERVICE. CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANY
- U. PROPOSED WALL MOUNTED ELECTRIC METER AND MANUAL TRANSFER SWITCH. CONTRACTOR SHALL COORDINATE WITH ELECTRICAL COMPANY (EVERGY). REFER TO ELECTRICAL PLANS

PIPE LENGTH | PIPE SIZE AND TYPE | PIPE SLOPE

6" PVC

6" PVC

6" PVC

1.39%

21.68%

2. REFER TO SHEET C6 FOR EXISTING CONDITIONS.

3. REFER TO SHEET C7 FOR SITE PLAN.

- 6. REFER TO SHEETS C14 FOR PHOTOMETRIC PLAN AND SITE LIGHTING
- 7. REFER TO ARCHITECTURAL PLANS FOR SITE ELECTRICAL PLANS.
- 8. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, CONTRACTORS RESPONSIBILITY TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- 9. ELEVATIONS SHOWN ARE IN FEET ABOVE THE NORTH AMERICAN NETWORK. CONVERSION FROM NAVD 88 TO NGVD 29, NAVD 88 - 0.354' = NGVD 29.

#### KEYED NOTES:

- THE CITY OF LEE'S SUMMIT.

- PROPOSED 1-1/2" PVC IRRIGATION WATER SERVICE.
- PROPOSED LOCATION FOR IRRIGATION WATER TIE IN TO THE
- PROPOSED 8" X 6" WYE AND POINT OF CONNECTION FOR SANITARY
- PROPOSED 6" (SDR 35) PVC SANITARY SEWER SERVICE. SANITARY PROPOSED SANITARY SEWER CLEANOUT LOCATION. REFER TO
- SHEET C12 FOR DETAIL. PROPOSED LOCATION FOR SANITARY SEWER TIE IN TO THE
- WITH UTILITY COMPANY.
- SERVICE SPECIFICATIONS.
- (EVERGY). O. PROPOSED GAS LINE. CONTRACTOR SHALL COORDINATE WITH
- PROPOSED GAS METER. CONTRACTOR SHALL COORDINATE WITH
- UTILITY COMPANY (EVERGY).
- REFER TO SHEET C15, C16, C17, & C18 FOR DETAILS.
- CONNECTION FOR UNDERGROUND ELECTRIC SERVICE. CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANY (EVERGY).
- CONTRACTOR SHALL PROVIDE 4" UNDERGROUND SECONDARY (EVERGY).
- FOR DETAILS.

5.00'

85.59'

20.12'

SANITARY STRUCTURE TABLE

PIPE NAME | PIPE INV | PIPE NAME

996.57'

995.38'

991.01'

998.99 SAN 2-3

997.77 SAN 3-4

RIM UPSTREAM UPSTREAM DOWNSTREAM DOWNSTREAM DOWNSTREAM DOWNSTREAM

SAN 1-2

SAN 2-3

SAN 3-4

PIPE INV

996.67'

996.57'

995.38'

**BANK** SITE LOCATION 890 NE LANGSFORD ROAD LEE'S SUMMIT, MO 64063 DOWNSTREAM

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DOCUMENT CIVIL CONSTRUCTION PLANS FOR CHASE

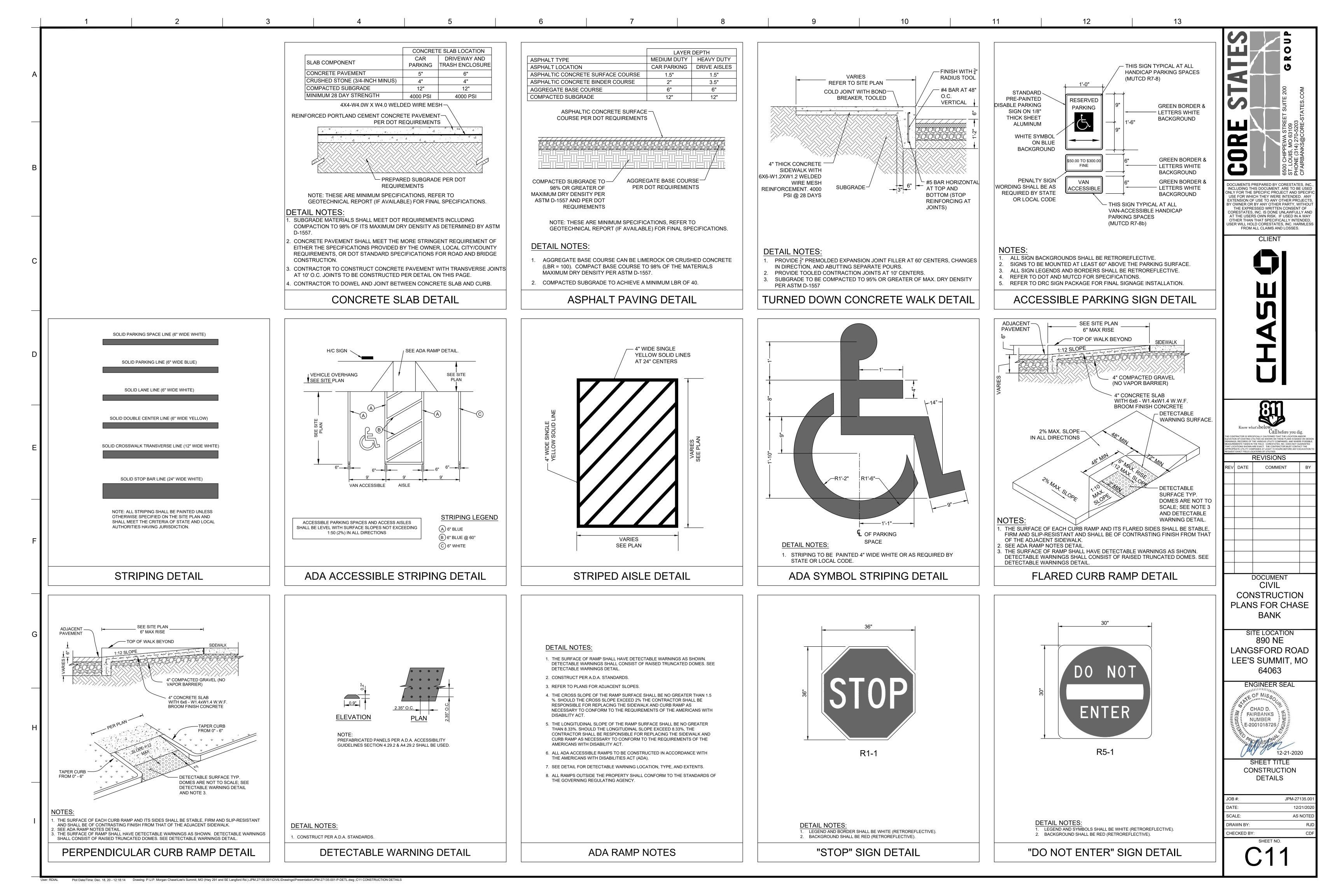
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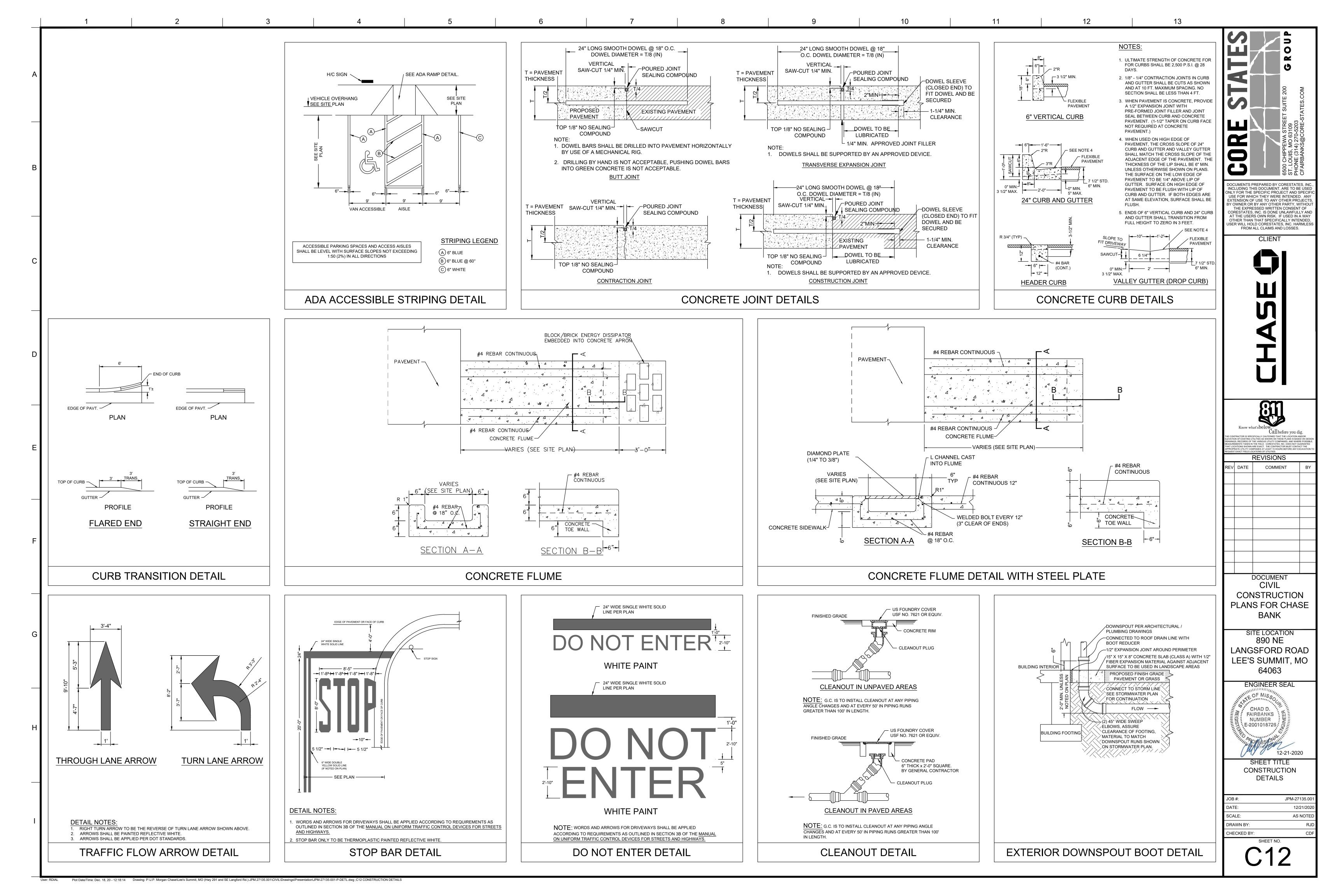
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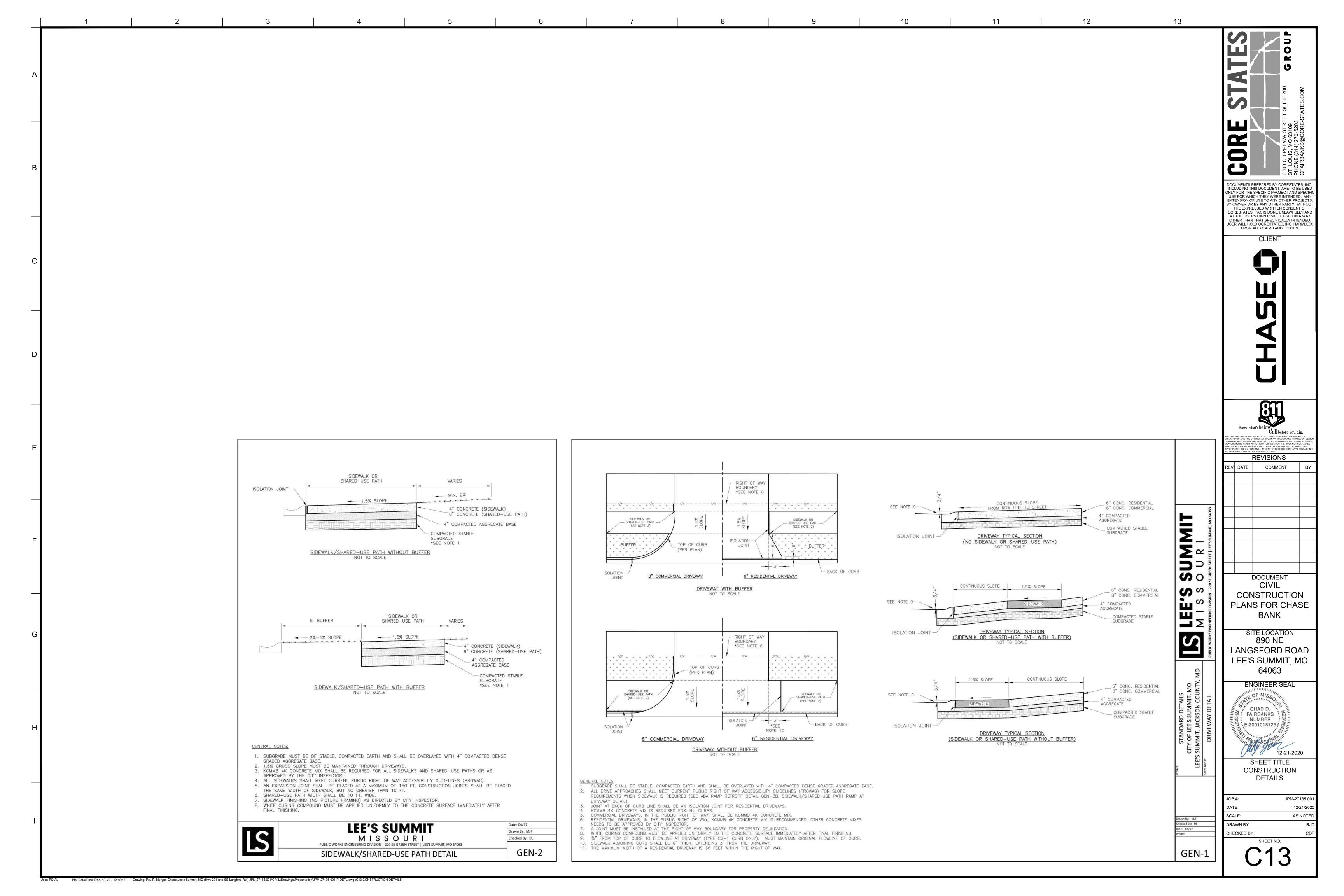


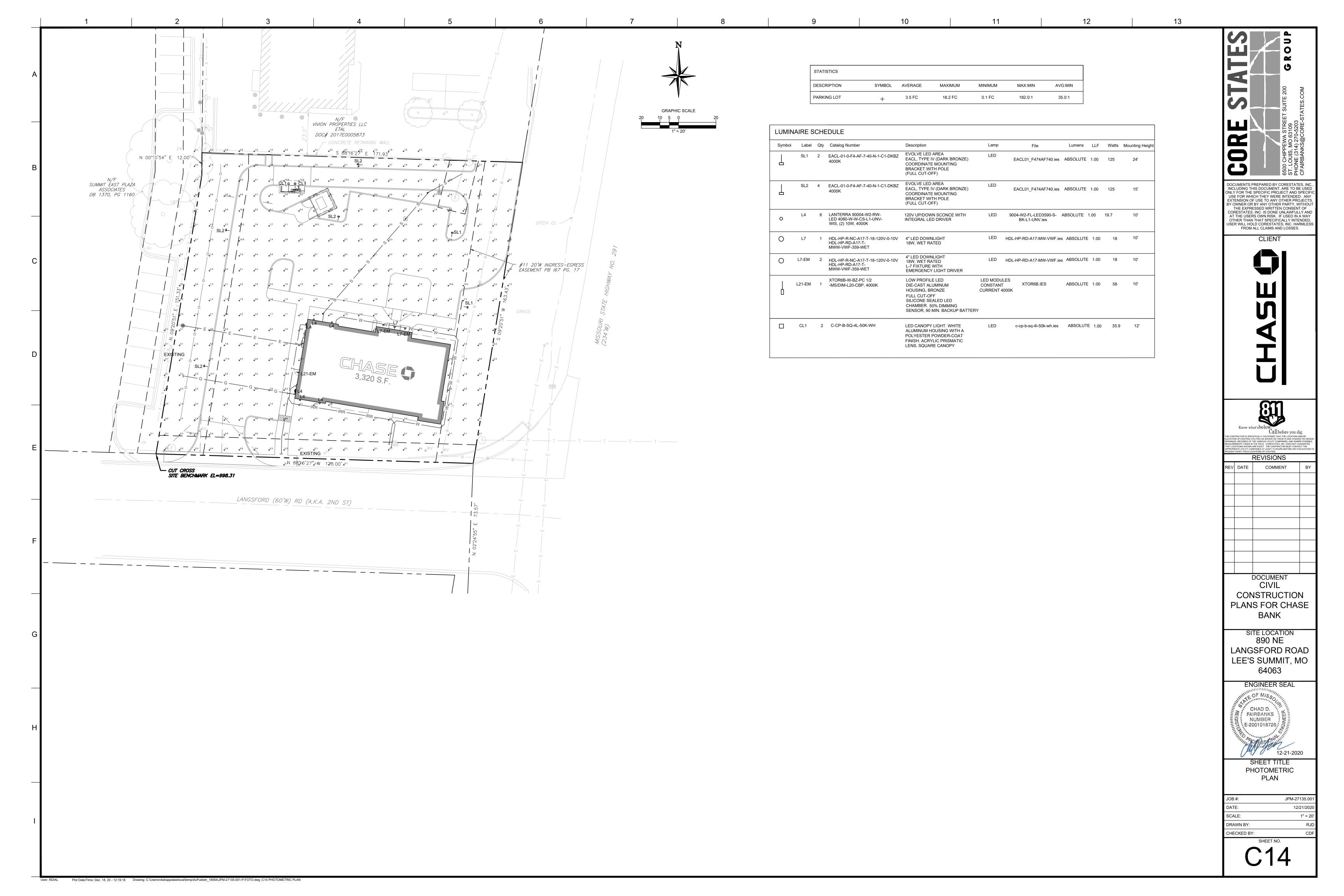
SHEET TITLE UTILITY PLAN

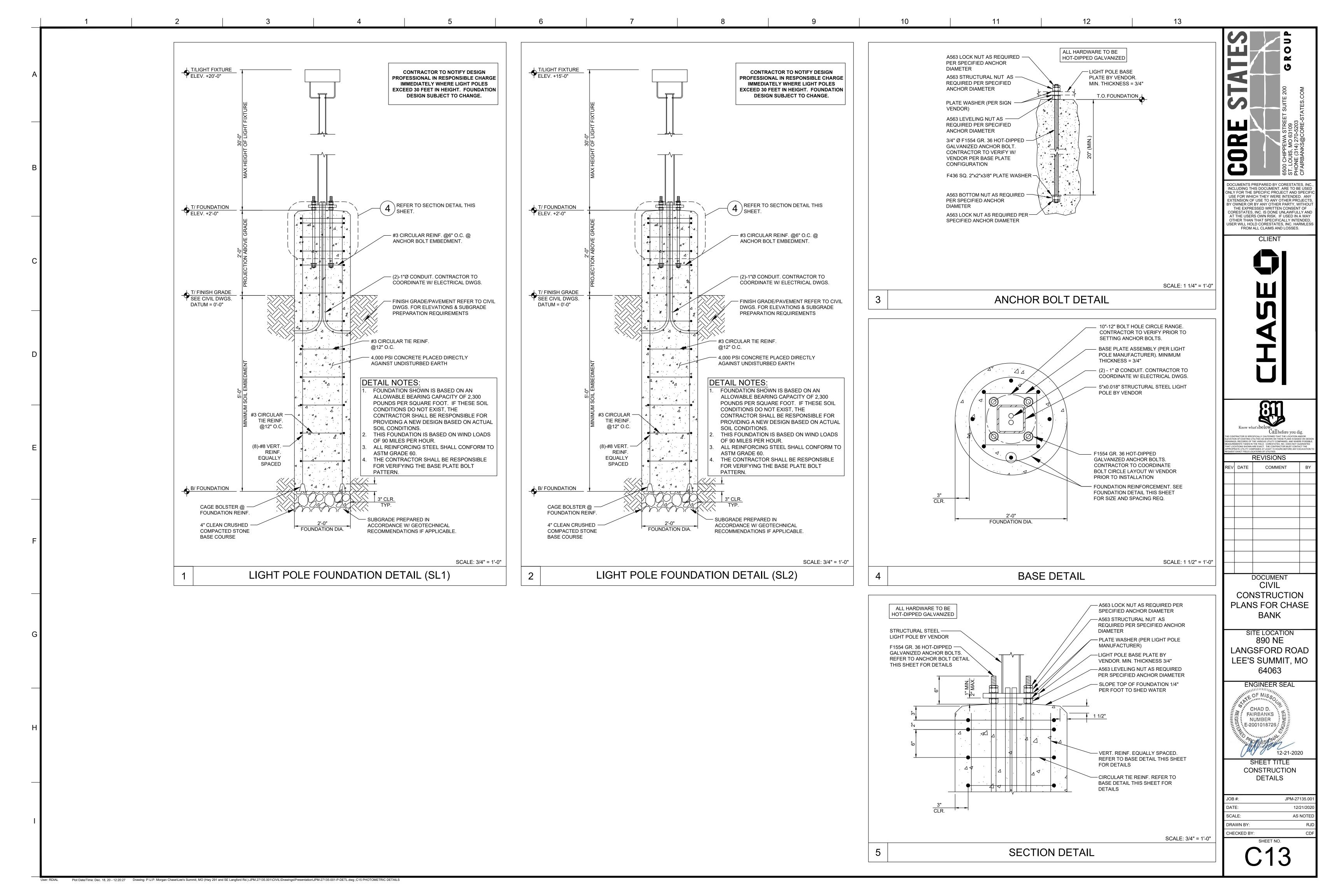
JOB #:		JPM-27135.00
DATE:		12/21/202
SCALE:		1" = 2
DRAWN BY:		RJ
CHECKED BY:		CE
	SHEET NO.	

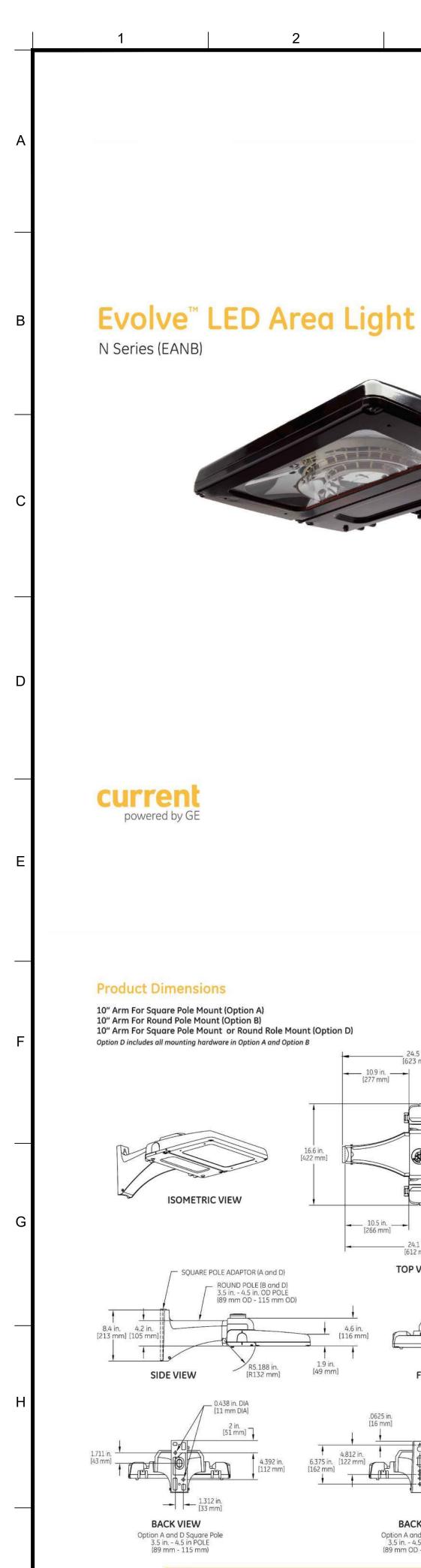












N Series (EANB)



**TOP VIEW** 

FRONT VIEW

**BACK VIEW** 

Plot Date/Time: Dec. 18, 20 - 12:21:11 Drawing: P:\J.P. Morgan Chase\Lee's Summit, MO (Hwy 291 and SE Langford Rd.)-JPM.27135.001\CIVIL\Drawings\Presentation\JPM-27135-001-P-DETL.dwg; C16 PHOTOMETRIC DETAILS



powered by GE

SOUARE POLE ADAPTOR (A and D)

Approximate net weight: 20 lbs (9.07 kgs)

• Effective Projected Area (EPA) with 10" Mounting Arm: 0.67 sq ft max (0.06 sq m)

**BACK VIEW** 

#### **Product Features**

The next generation of the GE Evolve™ LED Area Light is an exciting solution to efficiently illuminate site and area applications. The smaller-form design of the EANB fixture provides superior illuminance at impressive site ROIs. The exclusive optical ring design effectively directs the light and produces impressive vertical illuminance and glare control. Additionally, the Evolve LED Area Light provides significant operating cost benefits over the life of each fixture with reduced energy consumption and a long rated life that virtually eliminates ongoing maintenance expenses.

#### Applications

- Site, area, roadway and general lighting applications utilizing advanced LED optical system providing high uniformity, excellent vertical light distribution, reduced offsite visibility, reduced on-site glare and
- Obtain a truly optimized and efficient parking space with dimming and occupancy sensing features. Housing

#### Die-cast aluminum housing.

effective security light levels.

- Slim architectural design incorporates an integral • 10-inch (254mm) mounting arm for square pole heat sink and light engine, ensuring maximum heat prewired with 24-inch (610mm) leads. transfer, long LED life, and a reduced Effective
- Projected Area (EPA). Meets 2G vibration level per ANSI C136.31-2010.

#### LED & Optical Assembly

- Structured LED arrays for optimized area light photometric distribution.
- Evolve light engine with directional reflectors designed to optimize application efficiency and minimize glare.
- Utilizes high brightness LEDs, 70 CRI at 3000K, 4000K and 5000K typical.

#### Lumen Maintenance

Projected L90>50,000 hours per IES TM-21

Projected Lxx per IES TM-21 at 25°C for reference:

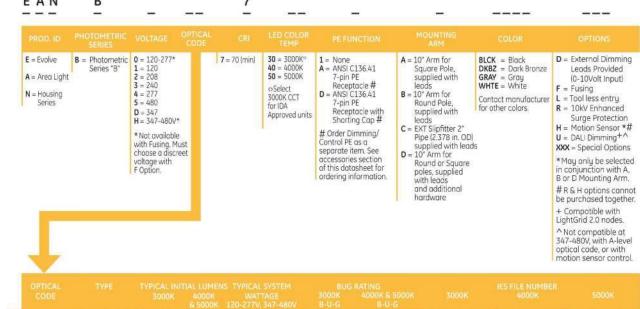
### NOTES: 1) Projected Lxx based on LM-80 (10,000 hour testing).

#### 2) DOE Lighting Facts Verification Testing Tolerances apply to initial luminous flux and lumen maintenance measurements. Lumen Ambient Temperature Factors:

10	1.02
20	1.01
25	1.00
30	0.99
40	0.98
50	0.97

C Standard qualified models available. Please refer to www.designlights.org/QPL for complete information.

Evolve™ LED Area Light N Series (EANB)



<ul> <li>Slipfitter mounting for 2 3/8-inch (60mm) O.D. pipe prewired with 24-inch (610mm) leads.</li> </ul>	
Option D  10-inch (254mm) mounting arm for round or	

square pole prewired with 24-inch (610mm) leads.

• 10-inch (254mm) mounting arm for round pole

prewired with 24-inch (610mm) leads.

 Corrosion resistant polyester powder painted, minimum 2.0 mil. thickness.

• (4)/6(1) listed, suitable for wet locations.

Upward Light Output Ratio (ULOR) = 0.

Compliant with the material restriction

Temperature rated at -40° to 50°C.

requirements of RoHS.

Mounting

IP66 rated optical enclosure per ANSI C136.25-2009.

Title 24 compliant with "H" motion sensor option.

#### Standard colors: Black & Dark Bronze. RAL & custom colors available.

- Electrical 120-277 VAC and 347-480 VAC available.
- System power factor is >90% and THD <20%.</li>
- ANSI C136.41 7-pin dimming receptacle, standard. ANSI photo electric sensors (PE) available for all
- voltages. Light Grid compatible.
- Dimming/Occupancy: - Wired 0-10V continuous dimming
- DALI digital dimming, Contact manufacturer for availability.
- Standalone motion sensor based dimming using "H" option code.
- Surge Protection per ANSI C136.2-2015.
- 6kV/3kA "Basic" surge protection, standard. 10kV/5kA "Enhanced" surge protection optional.

#### Accessories

PE Accessories - See Page 3

#### Ordering Number Logic



=	C4	Asymmetric Forward	7,500	8,000	70	B1-U0-G2	B1-U0-G2	EANB_C4730IES	EANB_C4740,IES	EANB_C4750
TYPE	D4	Asymmetric Forward	9,200	9,800	89	B1-U0-G2	B2-U0-G2	EANB_D4730IES	EANB_D4740IES	EANB_D4750
12	E4	Asymmetric Forward	10,800	11,500	98	B2-U0-G2	B2-U0-G2	EANB_E4730IES	EANB_E4740IES	EANB_E4750I
	F4	Asymmetric Forward	12,900	13,700	125	B2-U0-G3	B2-U0-G3	EANB_F4730IES	EANB_F4740IES	EANB_F4750I
П	A3	Asymmetric Wide	4,300	4,600	44	B1-U0-G1	B1-U0-G1	EANB_A3730IES	EANB_A3740IES	EANB_A3750I
=	B3	Asymmetric Wide	6,200	6,600	58	B1-U0-G1	B1-U0-G1	EANB_B3730IES	EANB_B3740IES	EANB_B3750
TYPE III	C3	Asymmetric Wide	8,100	8,600	70	B1-U0-G2	B1-U0-G2	EANB_C3730IES	EANB_C3740IES	EANB_C3750
7	D3	Asymmetric Wide	9,900	10,500	89	B2-U0-G2	B2-U0-G2	EANB_D3730IES	EANB_D3740IES	EANB_D3750
	E3	Asymmetric Wide	11,600	12,400	98	B2-U0-G2	B2-U0-G2	EANB_E3730IES	EANB_E3740IES	EANB_E3750I
	F3	Asymmetric Wide	13,900	14,700	125	B2-U0-G2	B2-U0-G2	EANB_F3730IES	EANB_F3740IES	EANB_F3750I
	A2	Asymmetric Narrow	4,200	4,500	44	B1-U0-G1	B1-U0-G1	EANB_A2730IES	EANB_A2740IES	EANB_A2750I
	B2	Asymmetric Narrow	6,100	6,500	58	B1-U0-G1	B1-U0-G1	EANB_B2730IES	EANB_B2740IES	EANB_B2750
TYPE II	CS	Asymmetric Narrow	7,900	8,400	70	B2-U0-G2	B2-U0-G2	EANB_C2730,IES	EANB_C2740IES	EANB_C2750
Σ	D2	Asymmetric Narrow	9,700	10,300	89	B2-U0-G2	B2-U0-G2	EANB_D2730IES	EANB_D2740IES	EANB_D2750
7.00	E2	Asymmetric Narrow	11,400	12,100	98	B2-U0-G2	B2-U0-G2	EANB_E2730IES	EANB_E2740IES	EANB_E2750I
	F2	Asymmetric Narrow	13,600	14,400	125	B2-U0-G2	B2-U0-G2	EANB_F2730IES	EANB_F2740IES	EANB_F2750I

PECDTL

SCCL-PECTL

STANDARD 120-277V

STANDARD 480V

STANDARD 347V

PE Accessories (to be ordered separately)

93029237	PED-MV-LED-7	ANSI C136.41 Dimming PE, 120-277V
93029238	PED-347-LED-7	ANSI C136.41 Dimming PE, 347V
93029239	PED-480-LED-7	ANSI C136.41 Dimming PE, 480V

#### EANB Type II - Asymmetric Narrow (F2) 14,400 Lumens, 5000K (EANB\_F2750\_\_\_.IES)

**Photometrics** 

EANB Type IV - Asymmetric Forward (F4)

13,700 Lumens, 5000K (EANB\_F4750\_\_\_.IES)

EANB Type III - Asymmetric Wide (F3)

14,700 Lumens, 5000K (EANB\_F3750\_\_\_.IES)

f Mounting Height at 15' Initial Footcandle Values at Grade

EANB Type II - Asymmetric Narrow (A2)

4,500 Lumens, 5000K (EANB\_A2750\_\_\_.IES)

Drilling Templates for

Slipfitter Arms & Arm Mount

**SQUARE POLE MOUNTING** 

**ROUND POLE MOUNTING** 

3.5 TO 4.5-inch (89 to 114mm) OD

round pole mounting arm

[8 mm DIA.]

[8 mm DIA.]

1.250 in. DIA. -[32 mm DIA.] [11 mm DIA.]

(2 Places)

.656 in. [17 mm]

→ 1.312 in. [33 mm]

[11 mm DIA.]

(2 Places)

EANB Type IV - Asymmetric Forward (A4)

4,300 Lumens, 5000K (EANB\_A4750\_\_\_.IES)

EANB Type III - Asymmetric Wide (A3)

4,600 Lumens, 5000K (EANB\_A3750\_\_\_.IES)

~

DOCUMENTS PREPARED BY CORESTATES INC

INCLUDING THIS DOCUMENT, ARE TO BE USEI ONLY FOR THE SPECIFIC PROJECT AND SPECIF

USE FOR WHICH THEY WERE INTENDED. ANY

EXTENSION OF USE TO ANY OTHER PROJECTS BY OWNER OR BY ANY OTHER PARTY, WITHOU

THE EXPRESSED WRITTEN CONSENT OF CORESTATES, INC. IS DONE UNLAWFULLY AND

AT THE USERS OWN RISK. IF USED IN A WAY OTHER THAN THAT SPECIFICALLY INTENDED

USER WILL HOLD CORESTATES, INC. HARMLES FROM ALL CLAIMS AND LOSSES.

CLIENT

# Call before you dig. REVISIONS

DOCUMENT CIVIL CONSTRUCTION PLANS FOR CHASE

SITE LOCATION 890 NE LANGSFORD ROAD LEE'S SUMMIT, MO

64063

BANK

ENGINEER SEAL CHAD D. FAIRBANKS NUMBER E-2001018726 12-21-2020

> SHEET TITLE CONSTRUCTION DETAILS

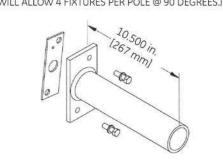
12/21/2020 SCALE: AS NOTE DRAWN BY: CHECKED BY:

JPM-27135.00

Mounting Information

#### Mounting Arms for Slipfitter Order separately with Mounting Option C (External Slipfitter)

#### SQUARE POLE MOUNTING ARM 3.5 TO 4.5-inch (89 to 114mm) SQUARE (WILL ALLOW 4 FIXTURES PER POLE @ 90 DEGREES.)



ORDER SEPARATELY FROM FIXTURE AS CATALOG NUMBER SPA-EAMT10BLCK "Black"

#### ROUND POLE MOUNTING ARM 3.5 TO 4.5-inch (89 to 114mm) OD (WILL ALLOW 4 FIXTURES PER POLE @ 90 DEGREES.)



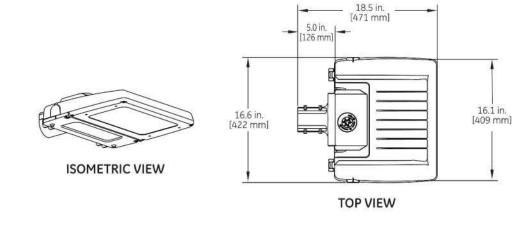
ORDER SEPARATELY FROM FIXTURE AS CATALOG NUMBER

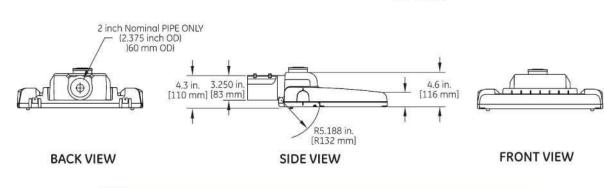
Other mounting patterns are available for retrofit installations. Contact manufacturing for other available mounting patterns.

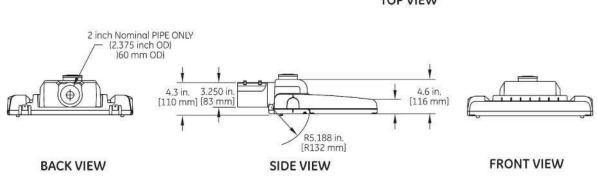
www.currentbyge.com All trademarks are the property of their respective owners. Information provided is subject to change without notice. All values are design or typical values when measured under laboratory conditions. Current, powered by GE is a business of the General Electric Company.

© 2017 GE. OLP3118 (Rev 05/04/17

#### **Product Dimensions** Slipfitter Arm Mount (Option C)







 Approximate net weight: 19 lbs (8.61 kgs) • Effective Projected Area (EPA) with Slipfitter: 0.43 sq ft max (0.04 sq m)

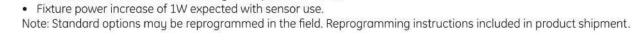
#### H-Motion Sensing Option: Intended for high mounting applications, between 15-30ft (4.57-9.14m). For mounting heights exceeding 30ft, pole mounted

sensors are recommended. Provides a coverage area radius for walking motion of 15-20ft

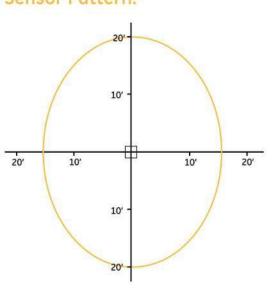
(4.57-6.10m). Provides 270° of coverage (~90° is blocked by the pole).

 Comes standard with 50% dimmed light output with no occupancy, and full power at occupancy. • Comes standard with photocell function. Note: It is not necessary to also purchase PE receptacle or control. • Comes standard with a 5 minute occupancy time delay and a 5 minute ramp-down to the 50% dimmed level.

 Must order with decorative mounting arm options "A" or "B". Fixture power increase of 1W expected with sensor use.



#### Sensor Pattern:

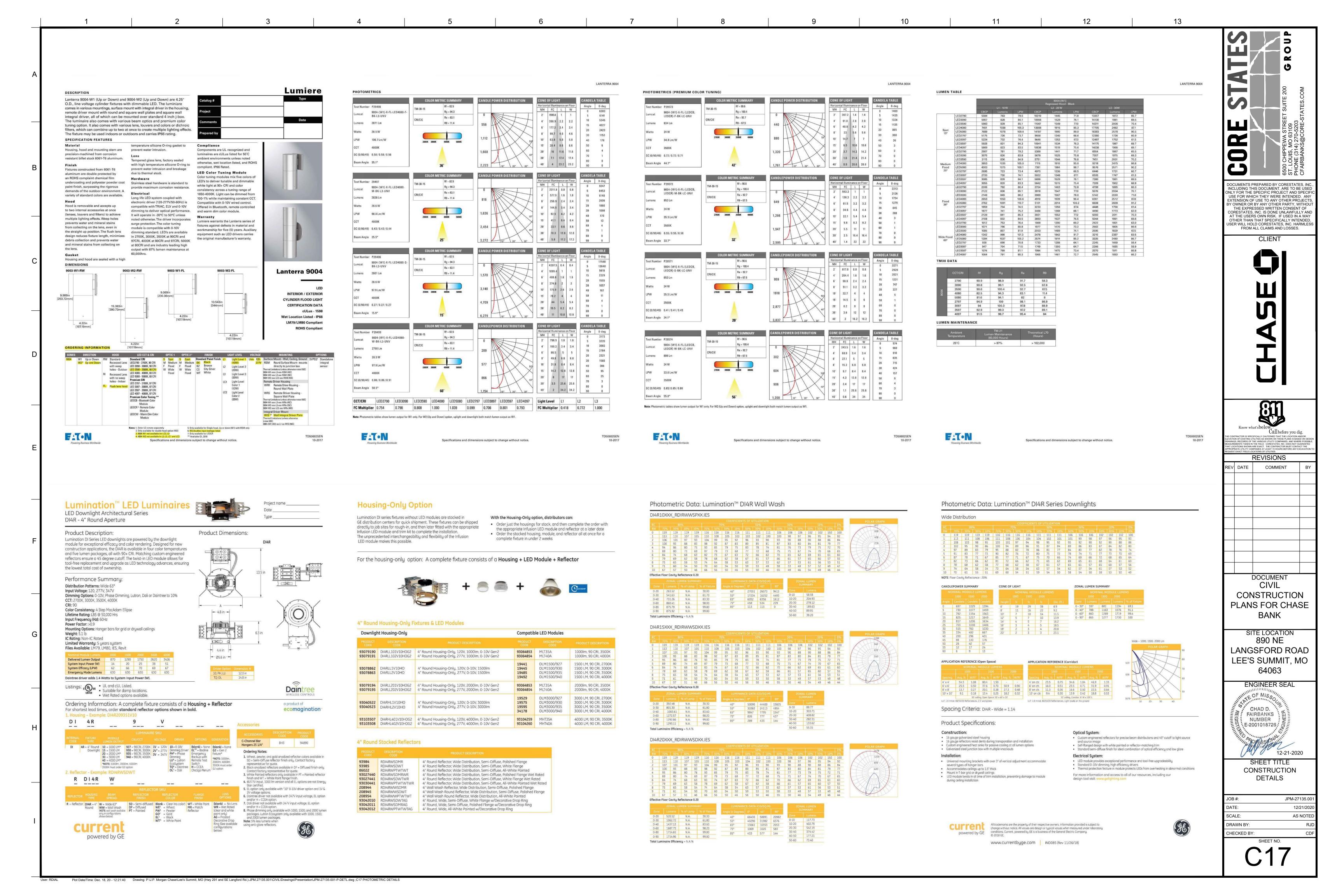


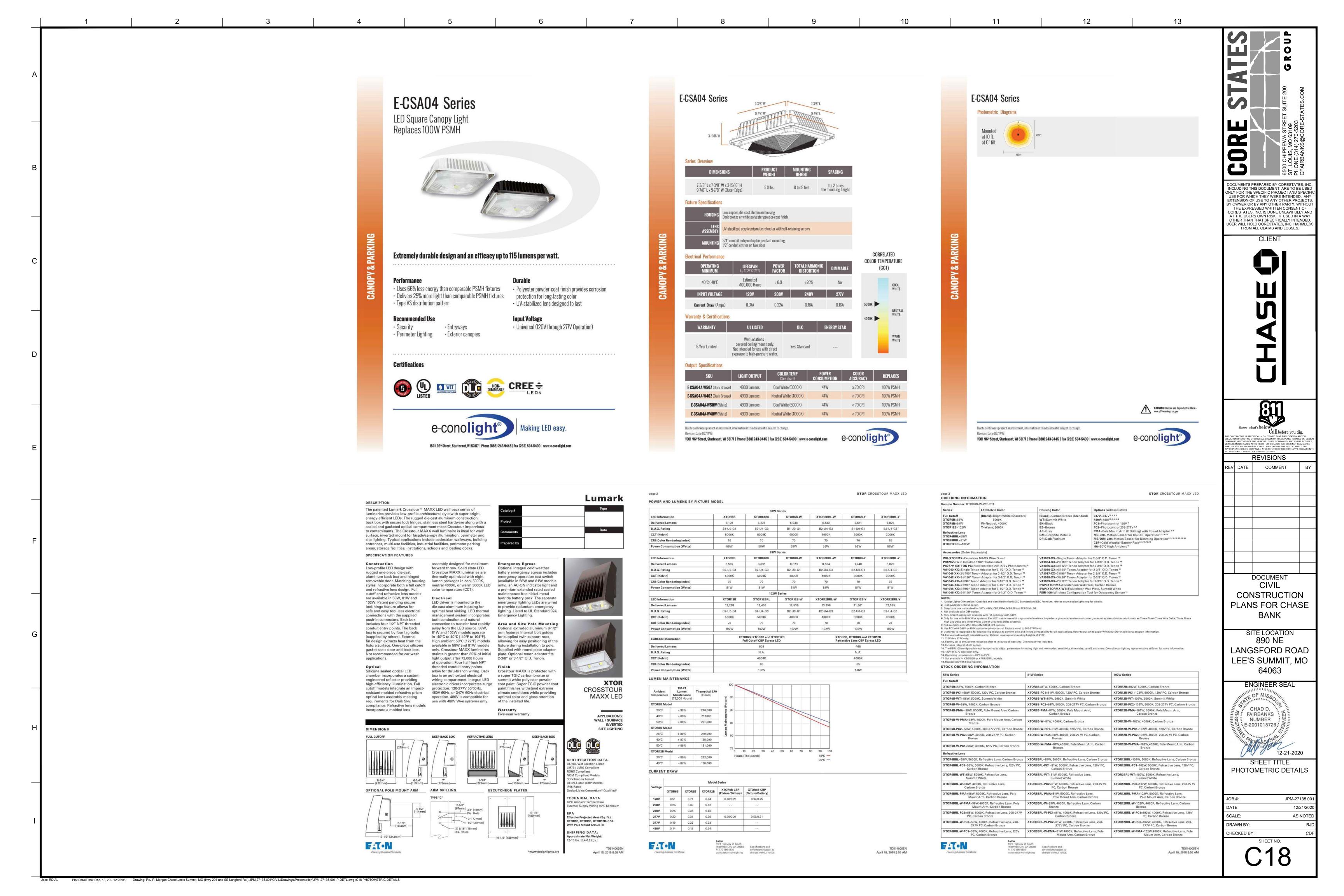
Sensing Pattern Area Fixture Up to 30 ft.

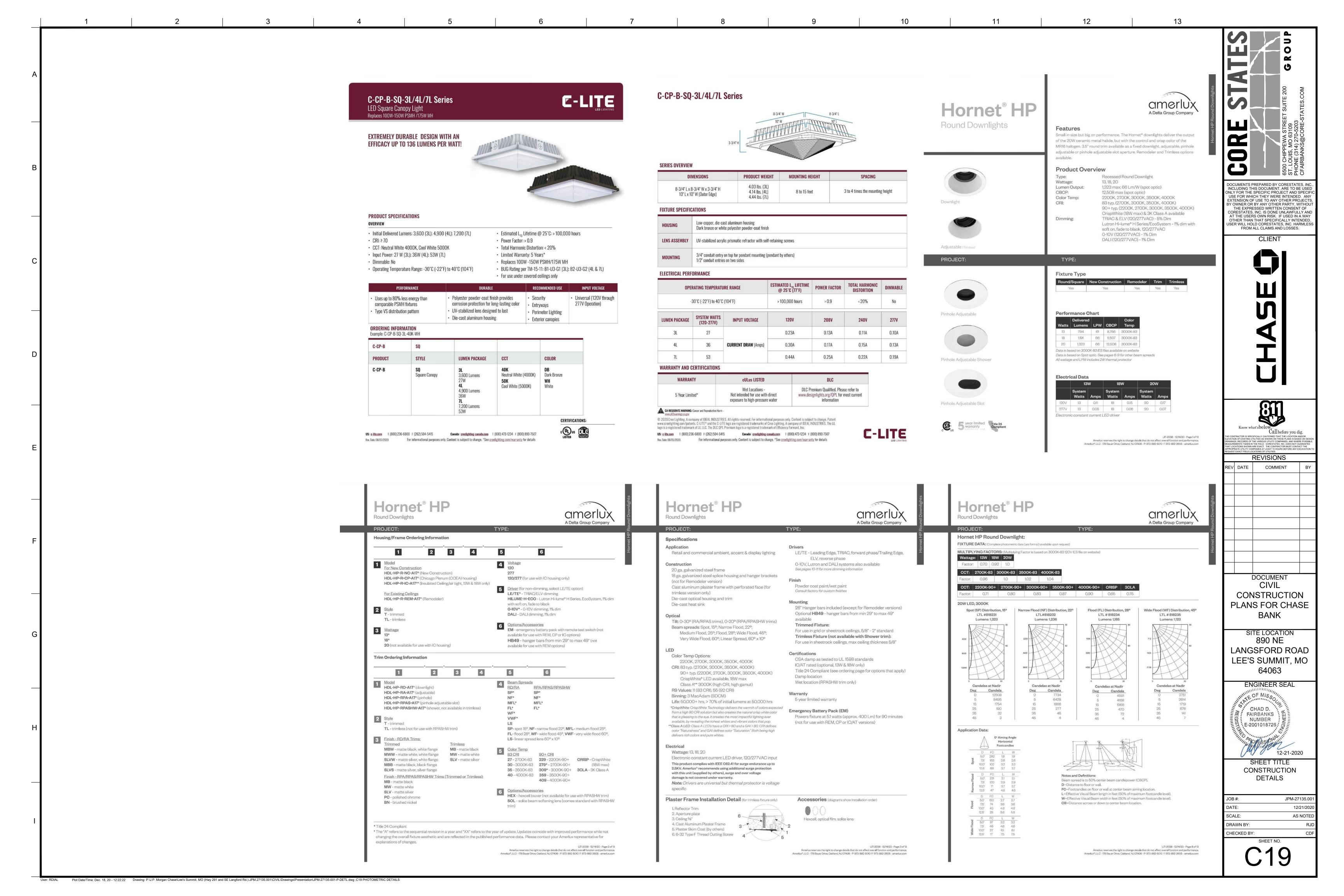
SPA-EAMT10DKBZ "Dark Bronze"

RPA-EAMT10BLCK "Black" RPA-EAMT10DKBZ "Dark Bronze"

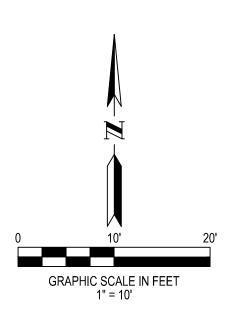
JOB #:











# ALTA/NSPS LAND TITLE SURVEY

LOT 1 OF STAR FUEL CENTER OF LEE'S SUMMIT, LOT 1, PB 167, PG 17
JACKSON COUNTY, MISSOURI

## **LOCATION MAP**

#### DEED DESCRIPTION:

LOT 1, STAR FUEL CENTER OF LEE'S SUMMIT, LOT 1, A SUBDIVISION IN THE CITY OF LEE'S SUMMIT, JACKSON COUNTY, MISSOURI, ACCORDING TO THE RECORDED PLAT THEREOF FILED APRIL 3, 2000 IN PLAT BOOK I-67, PAGE 17 AS DOCUMENT NO. 200010020477.

THE TITLE INSURANCE COMMITMENT HAS BEEN PROVIDED BY FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NUMBER NCS-967398-KCTY, DATED JUNE 15, 2019.

#### SCHEDULE B SECTION II COMMENTS:

9. EASEMENT DEDICATION AND MAINTENANCE AGREEMENT DATED DECEMBER 27, 1999 BY AND BETWEEN A AND M FOODMARTS, INC., AND GRANDLAND DEVELOPMENT, L.C., A LIMITED LIABILITY COMPANY, AS DOCUMENT NO. 991101701.

(APPLIES, NOT PLOTTED. BLANKET IN NATURE.) 10. EASEMENT CONVEYED TO THE GAS SERVICE COMPANY AS SET FORTH BY INSTRUMENT RECORDED MARCH 19, 1975 AS DOCUMENT NO. 1205852 IN BOOK I 582, PAGE 854 AND BEING ASSIGNED TO LACLEDE GAS COMPANY, A MISSOURI CORPORATION BY INSTRUMENT ENTITLED ASSIGNMENT OF EASEMENTS AND RIGHTS-OF-WAY RECORDED SEPTEMBER 3, 2013 AS DOCUMENT NO. 2013E0093218. (APPLIES AND IS PLOTTED HEREON.)

11. EASEMENT FOR INGRESS/EGRESS PURPOSES AS SET FORTH BY INSTRUMENT ENTITLED DECLARATION OF EASEMENT RECORDED JULY 13, 1984 AS DOCUMENT NO. 1579596 IN BOOK I 1331, PAGE 849. (APPLIES AND IS PLOTTED HEREON.) 12. EASEMENT AS SET FORTH BY INSTRUMENT ENTITLED RIGHT OF WAY DEED RECORDED APRIL 23, 2014 AS DOCUMENT NO. 2014E0031670. (APPLIES AND IS PLOTTED HEREON.)

BASIS OF BEARING: THE BEARING SYSTEM HAS BEEN ADOPTED FROM GPS OBSERVATION, USING THE MISSOURI DEPARTMENT OF TRANSPORTATION'S NETWORK OF CONTINUOUSLY OPERATING REFERENCE SYSTEMS, ADJUSTED TO THE NAD83 STATE PLANE COORDINATE SYSTEM FOR THE STATE OF MISSOURI, WEST ZONE.

SITE DATUM ELEVATION: HORIZONTAL AND VERTICAL CONTROL HAS BEEN ESTABLISHED BY GPS OBSERVATION USING MODOT NETWORK, GEOID 12B ADJUSTMENTS AND NAVD88 IN FEET.

SITE BENCHMARK: CROSS IN SIDEWALK, ALSO BEING THE SW PROPERTY CORNER EL.=998.31

#### ZONING: CP-2 - PLANNED COMMUNITY COMERCIAL

- MIN FRONT YARD SETBACK = 15FT MIN SIDE YARD SETBACK = 10FT
- MIN REAR YARD SETBACK = 20FT
- MAX STRUCTURE HEIGHT = 40FT (3 STORIES)

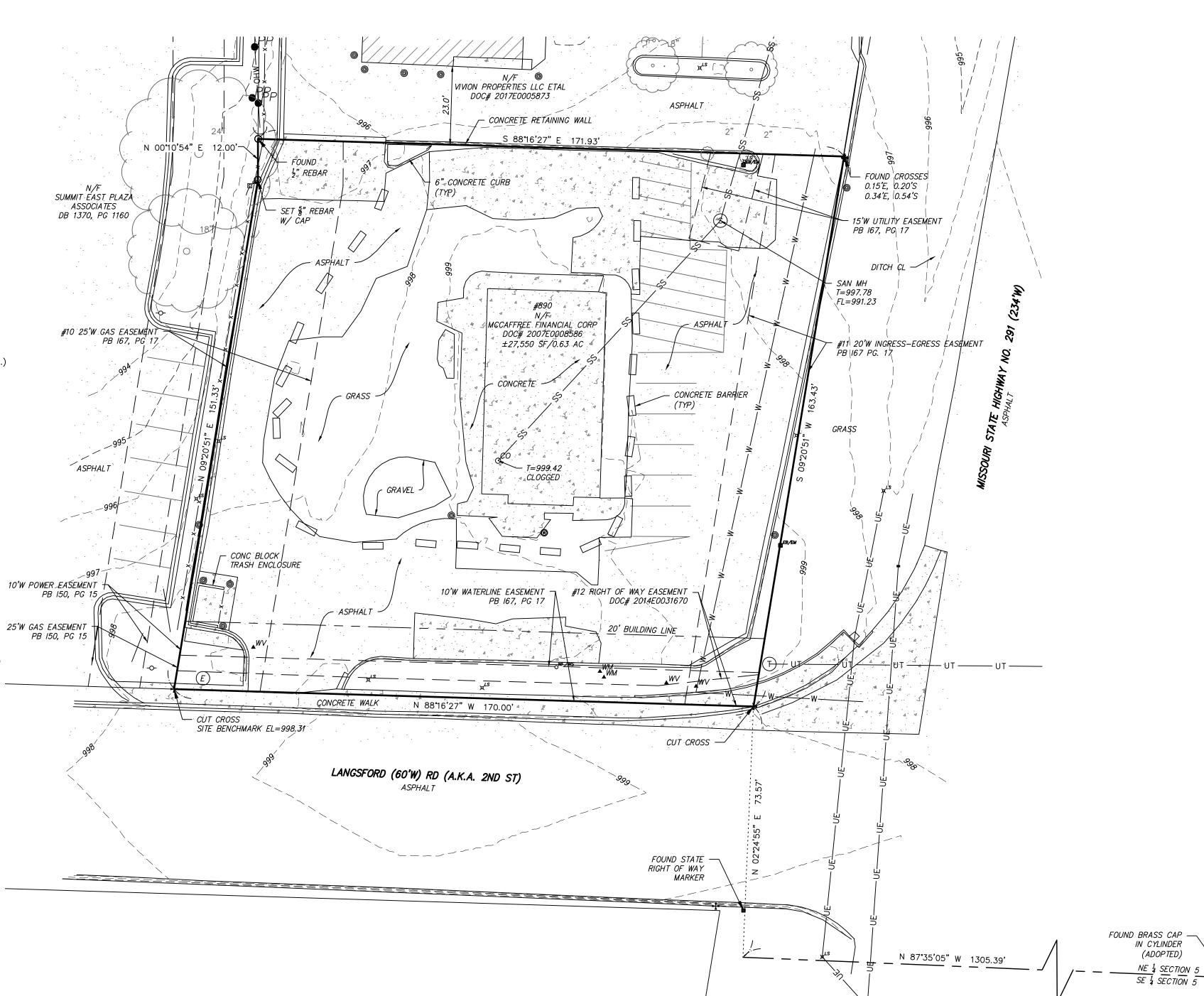
FLOOD PLAIN INFORMATION: SUBJECT TRACT IS WITHIN "ZONE X" AREAS DETERMINED TO BE OUTSIDE THE 0.2% CHANCE FLOODPLAIN, AS SHOWN OF THE FEMA FIRM (FLOOD INSURANCE RATE MAP) 29095C0436G, DATED JANUARY 20, 2017. THERE WAS NO EVIDENCE OF RECENT CONSTRUCTION OR EARTHWORK ON SITE.

UTILITIES HAVE BEEN FIELD LOCATED BASE ON MISSOURI ONE-CALL SYSTEM MARKINGS. TICKET # 191763215

#### SURVEYORS CERTIFICATE

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1-11, 13-14, 16, 19, 20 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON JULY 3, 2019.

GATEWAY LAND SERVICES, INC. (AGENT)

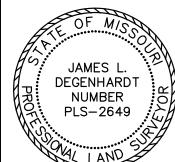


#### **MONUMENT LEGEND**

FOUND IRON PIPE FOUND REBAR SET REBAR BENCHMARK CONCRETE MONUMENT RIGHT OF WAY MARKER CROSS ANCHOR CROSS CUT CROSS COTTON PICKER SPINDLE RAILROAD SPIKE POST DISC NAIL WITH NOTE TYPE



St. Louis, MO 63132 Office: 314.881.9556 www.glsstl.com Land Surveying Services No LS-2009014482



## **ABBREVIATIONS**

ACRES ASPHALT James L. Degenhardt, P.L.S ASPH BLDG BUILDING License No.: PLS-2649 BENCH MARK CHAIN LINK FENCE PROJECT REVISION: CONCRETE DEED BOOK ELEVATION FINISHED FLOOR FLOW LINE LINEAR FEET MANHOLE NORTH NORTHEAST NOT TO SCALE PLAT BOOK POINT OF COMMENCEMENT POINT OF BEGINNING POINT OF TERMINUS PAVEMENT RADIUS RIGHT OF WAY SOUTH SQUARE FEET SURVEY SOUTHWEST WEST DENOTES WITH

LEGEND POWER POLE W/GUY WIRE POWER POLE STREET SIGN GAS VALVE GAS METER WATER VALVE WATER METER OWF/WS WATER FAUCET OR SPRINKLER CLEAN OUT ELECTRIC RISER

0 ER YARD DRAIN **☑** EB/EM ELECTRIC BOX OR METER MAIL BOX TELEPHONE OR CABLE BOX ▼ TB / CB LIGHT STANDARD FIRE HYDRANT D TS TRAFFIC SIGNAL  $\not \propto YL$ YARD LIGHT COIN METER **⊕**CM TEST HOLE FLAGPOLE BOLLARD OVERHEAD UTILITY LINE — G — GAS LINE —— ss ——— SANITARY SEWER — W—— W— WATER LINE —ST———ST—— STORM SEWER —× ——× — FENCE

PP

 $\triangle GV$ 

**▲** GM

**▲** WV

— UT — UNDERGROUND TELEPHONE ——FO——— FIBER OPTIC TREE LINE SEPTIC TANK TREE W/SIZE

STORM GRATE INLET STORM INLET ELECTRIC TRANSFORMER SANITARY MANHOLE UTILITY MANHOLE

BUSH W/ DIAMETER

ELEC. PULL BOX

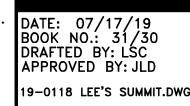
H



SW & SECTION 4

All the improvements & facilities and utilities, above ground and underground shown herein were plotted from available information and do not necessarily reflect the actual existence, nonexistence, elevation, size, type, number or location of these or other improvements, facilities, or utilities. The General Contractor and/or owner shall be responsible for verifying the actual location & elevation of all improvements, facilities, & utilities, shown or not shown, and said improvements, facilities, & utilities shall be located in the field prior to any grading, excavation or construction of any improvements. These provisions shall in no way absolve any part from complying with the Underground Facility Safety & Damage Prevention Act, Chapter 319, RSMo.

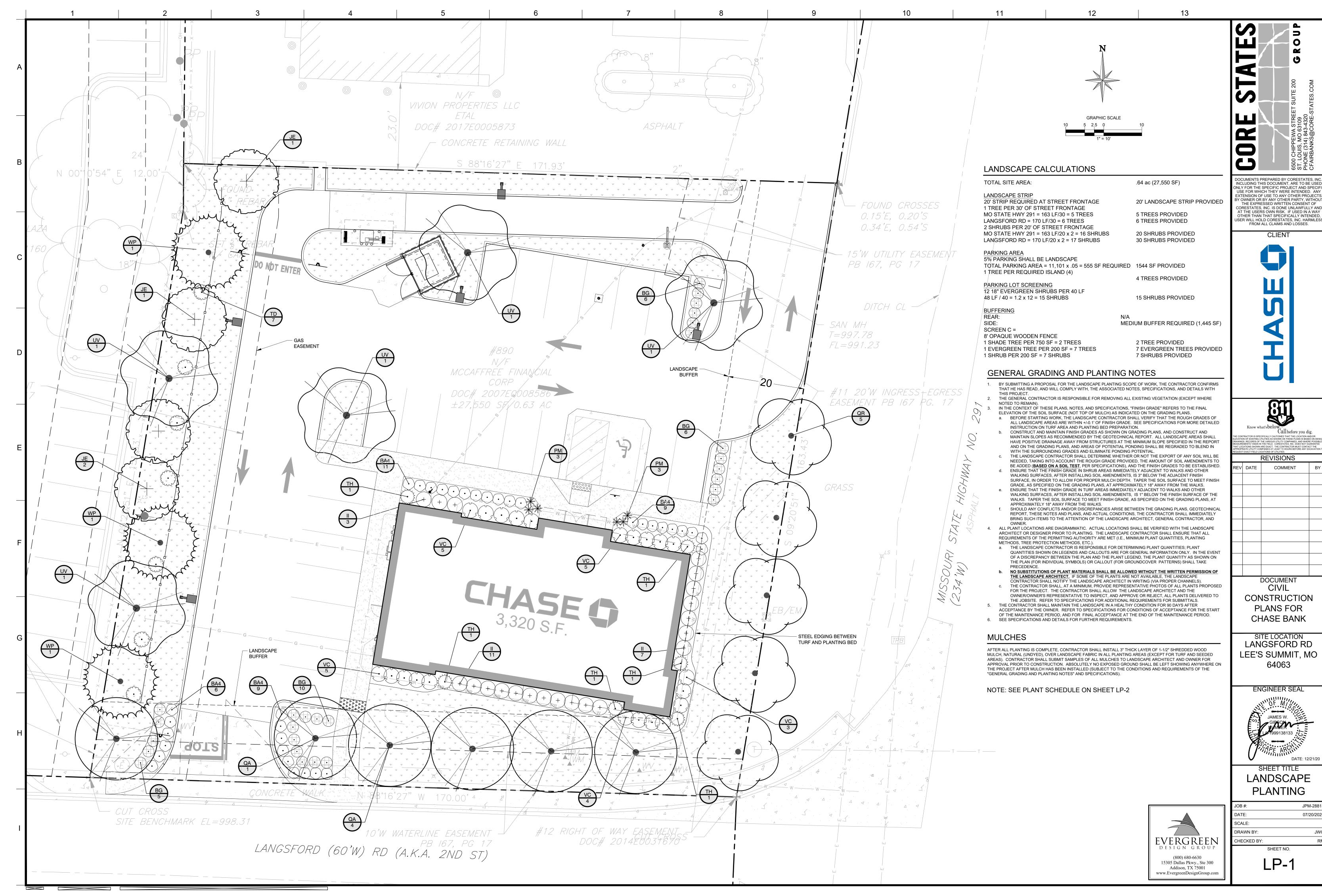
CALL MISSOURI ONE-CALL, 1-800-DIG-RITE,



SHEET TITLE: ALTA

SHEET NUMBER

SHEET NO: 1 OF 1 PROJECT NO:19-011



**BOTANICAL NAME** 

Festuca arundinacea `Kentucky 31`

Kentucky Tall Fescue

CODE

ARCHITECT, GENERAL CONTRACTOR, AND OWNER.

ONCE SOIL PREPARATION IS COMPLETE, THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT THERE

ARE NO DEBRIS, TRASH, OR STONES LARGER THAN 1" REMAINING IN THE TOP 6" OF SOIL.

DOCUMENTS PREPARED BY CORESTATES IN INCLUDING THIS DOCUMENT, ARE TO BE USE NLY FOR THE SPECIFIC PROJECT AND SPEC USE FOR WHICH THEY WERE INTENDED. AN EXTENSION OF USE TO ANY OTHER PROJECT BY OWNER OR BY ANY OTHER PARTY, WITHO THE EXPRESSED WRITTEN CONSENT OF CORESTATES, INC. IS DONE UNLAWFULLY AN OTHER THAN THAT SPECIFICALLY INTENDE USER WILL HOLD CORESTATES, INC. HARMLES FROM ALL CLAIMS AND LOSSES. CLIENT REVISIONS DOCUMENT CIVIL CONSTRUCTION PLANS FOR **CHASE BANK** SITE LOCATION LANGSFORD RD LEE'S SUMMIT, MO 64063 **ENGINEER SEAL** SHEET TITLE LANDSCAPE DETAILS AND SPECIFICATION

JPM-2881

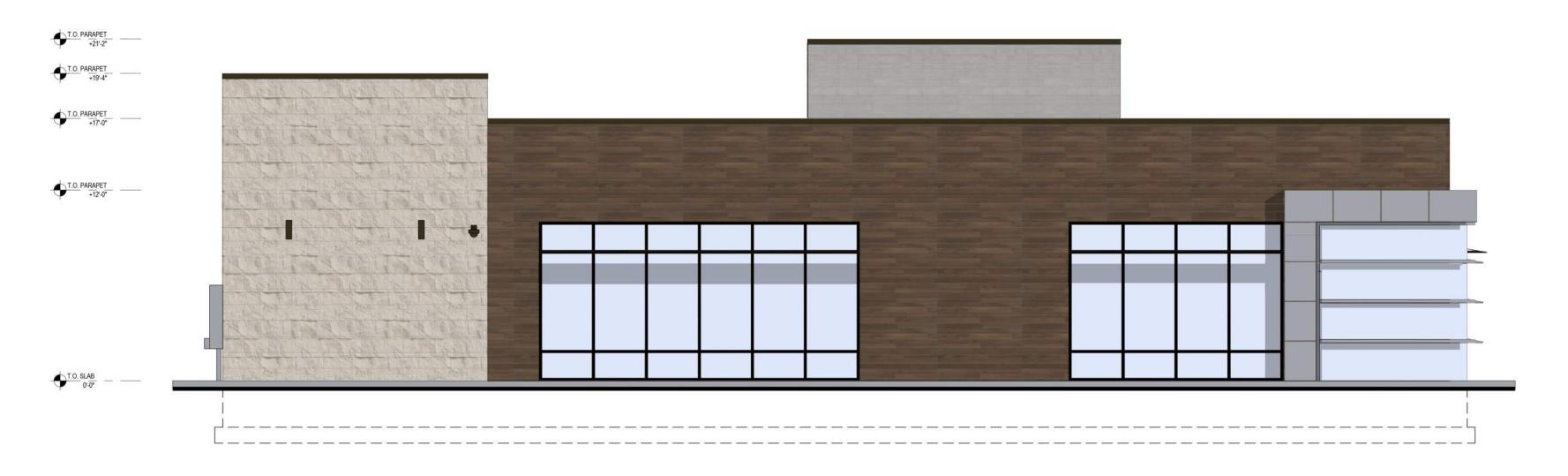
07/20/202

SCALE:
DRAWN BY:

CHECKED BY:

EVERGREEN

(800) 680-6630 15305 Dallas Pkwy., Ste 300 Addison, TX 75001 www.EvergreenDesignGroup.com



SOUTH ELEVATION (SE LANGSFORD)



EAST ELEVATION (NORTHEAST 291 HIGHWAY)



NORTH ELEVATION (PARKING)



FIBER CEMENT PANEL MANUF. - NICHIHA SERIES - WOOD PRODUCT - VINTAGEWOOD



FIBER CEMENT PANEL MANUF. - NICHIHA SERIES - WOOD PRODUCT - VINTAGEWOOD



STONE VENEER MANUF. - COLORADO STONE SERIES - CLASSIC PRODUCT - REYNOBOND PRODUCT - CHISELDED LIMESTONE COLOR - CHASE SILVER COLOR - CREAM



ALUM. COMPOSITE PANEL

T.O. PARAPET +12'-0"



APPLICATION - CANOPY/STOREFRONT COLOR - ANODIZED BLACK

WEST ELEVATION (PARKING)



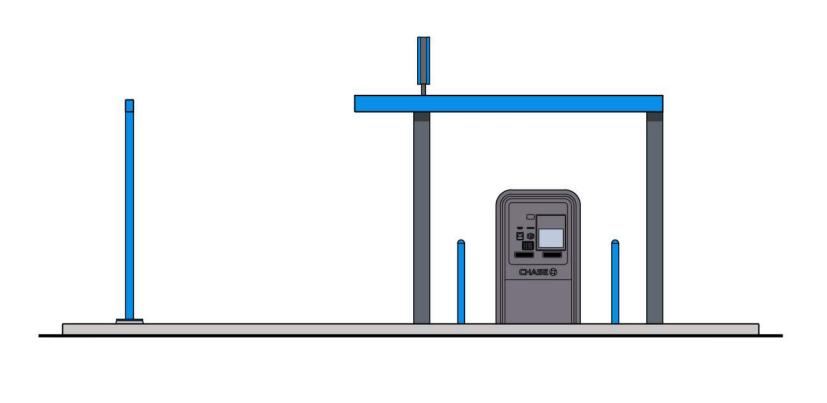
HWY 291 and SE LANGSFORD RD 890 E LANGSFORD RD LEE'S SUMMIT, MO 64063

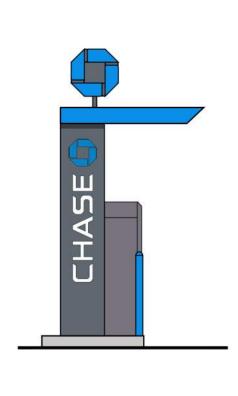
# PROPOSED EXTERIOR ELEVATIONS

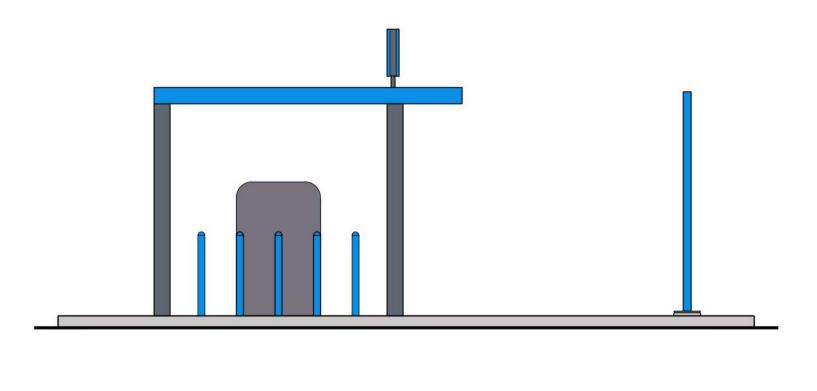
OCTOBER 22, 2020 SCALE:  $\frac{3}{16}$ " = 1'-0"

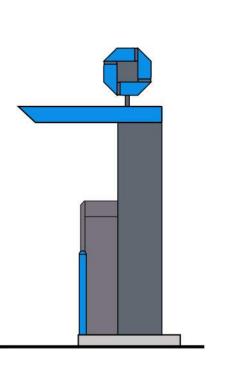










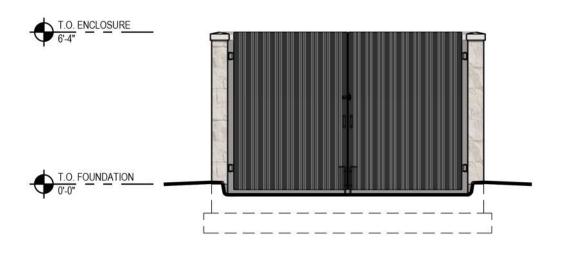


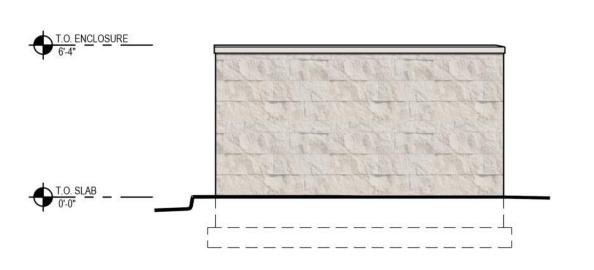
FRONT ELEVATION

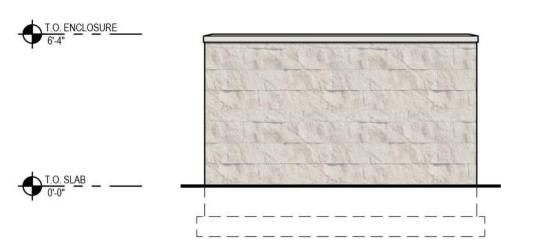
LEFT SIDE ELEVATION

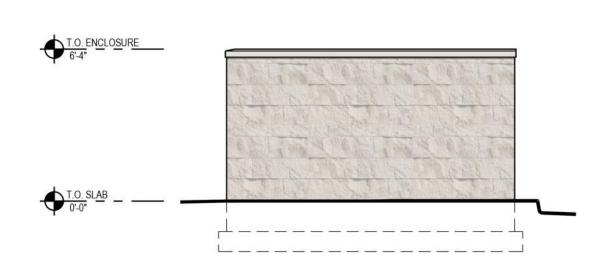
**REAR ELEVATION** 

RIGHT SIDE ELEVATION









FRONT ELEVATION

LEFT SIDE ELEVATION

REAR ELEVATION

RIGHT SIDE ELEVATION











LEE'S SUMMIT, MO 64063



