

FINAL DEVELOPMENT PLANS

FOR

LOT 2

STREETS OF WEST PRYOR

LEE'S SUMMIT, MO

UTILITIES
Electric Service
Evergy
Nathan Michael
913-347-4310
Nathan.michael@evergy.com

Gas Service
Spire
Katie Darnell
816-969-2247
Katie.darnell@spireenergy.com

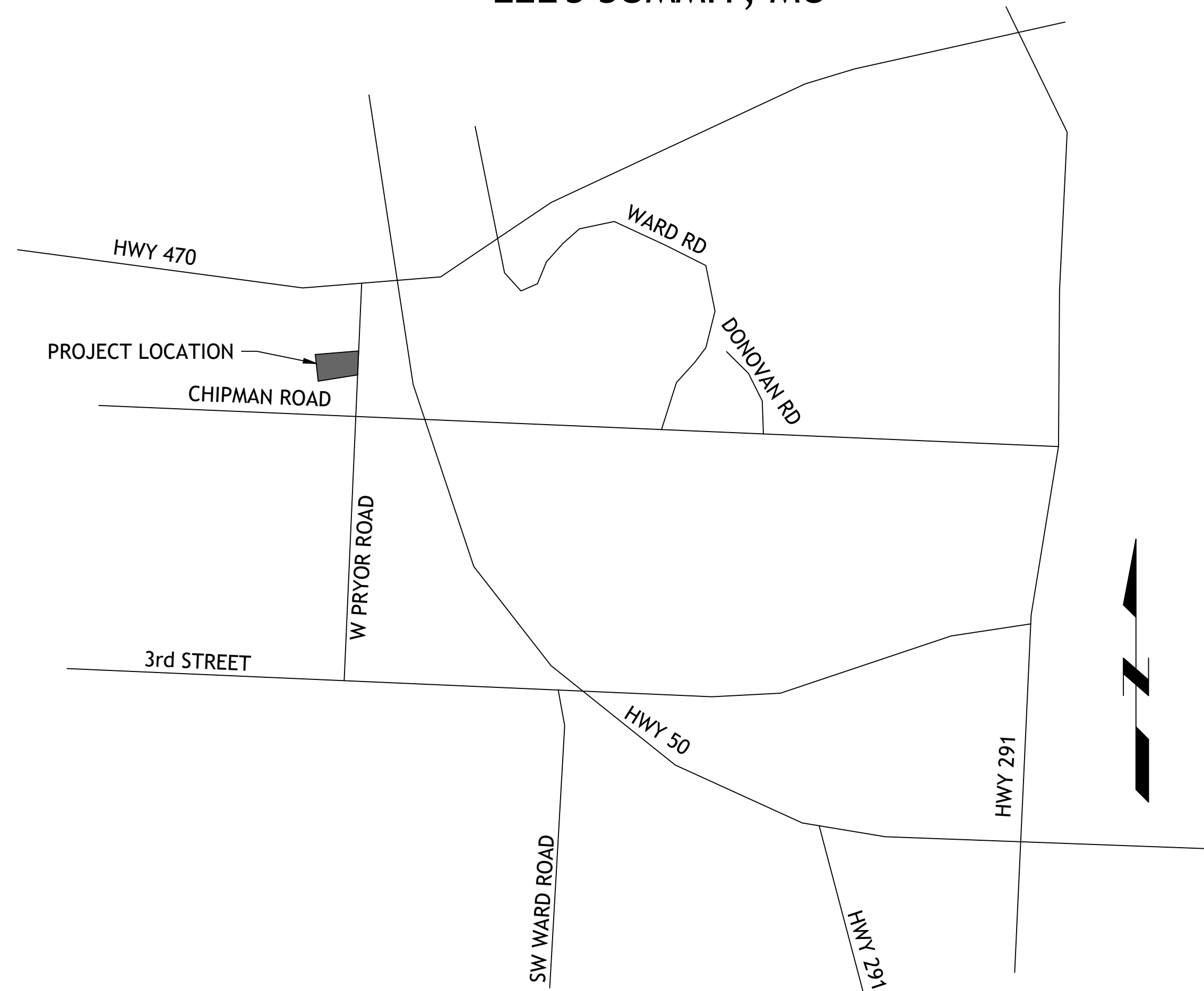
Water/Sanitary Sewer
Water Utilities Department
1200 SE Hamblen Road
Lee's Summit, Mo 64081
Jeff Thorn
816-969-1900
jeff.thorn@cityofls.net

Communication Service
AT&T Carrie Cilke
816-703-4386
cc3527@att.com

Time Warner Cable
Steve Baxter
913-643-1928
steve.baxter@charter.com

Comcast
Ryan Alkire
816-795-2218
ryan.alkire@cable.comcast.com

Google Fiber
Becky Davis
913-725-8745
rebeccadavis@google.com



LOCATION MAP

LEGAL DESCRIPTION:
LOT 1 & 2 STREET OF WEST PRYOR
LEE'S SUMMIT, MO, JACKSON COUNTY MISSOURI

ALL EXISTING TOPOGRAPHIC DATA AND INFRASTRUCTURE IMPROVEMENTS SHOWN BASED ON
INFORMATION BY KAW VALLEY ENGINEERING

BENCHMARKS:
#1 CHISELED "SQUARE" ON TOP OF CURB POINT OF INTERSECTION OF WEST PARK PARKING LOT AT EAST
DRIVE ENTRANCE
ELEVATION 985.05

#2 CHISELED "SQUARE" ON NORTHWEST CORNER AREA INLET, 25' EAST OF CURB LINE AND ON-LINE WITH
SOUTH CURB OF LOWENSTEIN DRIVE AT 90° BEND IN ROAD
ELEVATION 971.06

FLOODPLAIN NOTE:
SUBJECT PROPERTY IS SHOWN TO BE LOCATED IN "OTHER AREAS ZONE X" ON THE FLOOD INSURANCE
RATE MAP FOR JACKSON COUNTY, MISSOURI AND INCORPORATED AREAS. COMMUNITY PANEL NO.
29095C0416G, REVISED JANUARY 20, 2017. "OTHER AREAS ZONE X" IS DEFINED AS "AREAS DETERMINED
TO BE OUTSIDE THE 0.2% ANNUL CHANCE FLOODPLAIN". LOCATION DETERMINED BY A SCALED
GRAPHICAL PLOT OF THE FLOOD INSURANCE RATE MAP.

INDEX OF SHEETS

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SL101 PHOTOMETRICS
SL200 LIGHTING SCHEDULE

DEVELOPER

SWP III, LLC
C/O DRAKE DEVELOPMENT, LLC
7200 W 132nd ST, SUITE 150
OVERLAND PARK, KS 66213
913-662-2630

ENGINEER

SM ENGINEERING
SAM MALINOWSKY
5507 HIGH MEADOW CIRCLE
MANHATTAN KANSAS, 66503
SMCIVILENGR@GMAIL.COM
785.341.9747



SAMUEL D. MALINOWSKY
PROFESSIONAL ENGINEER

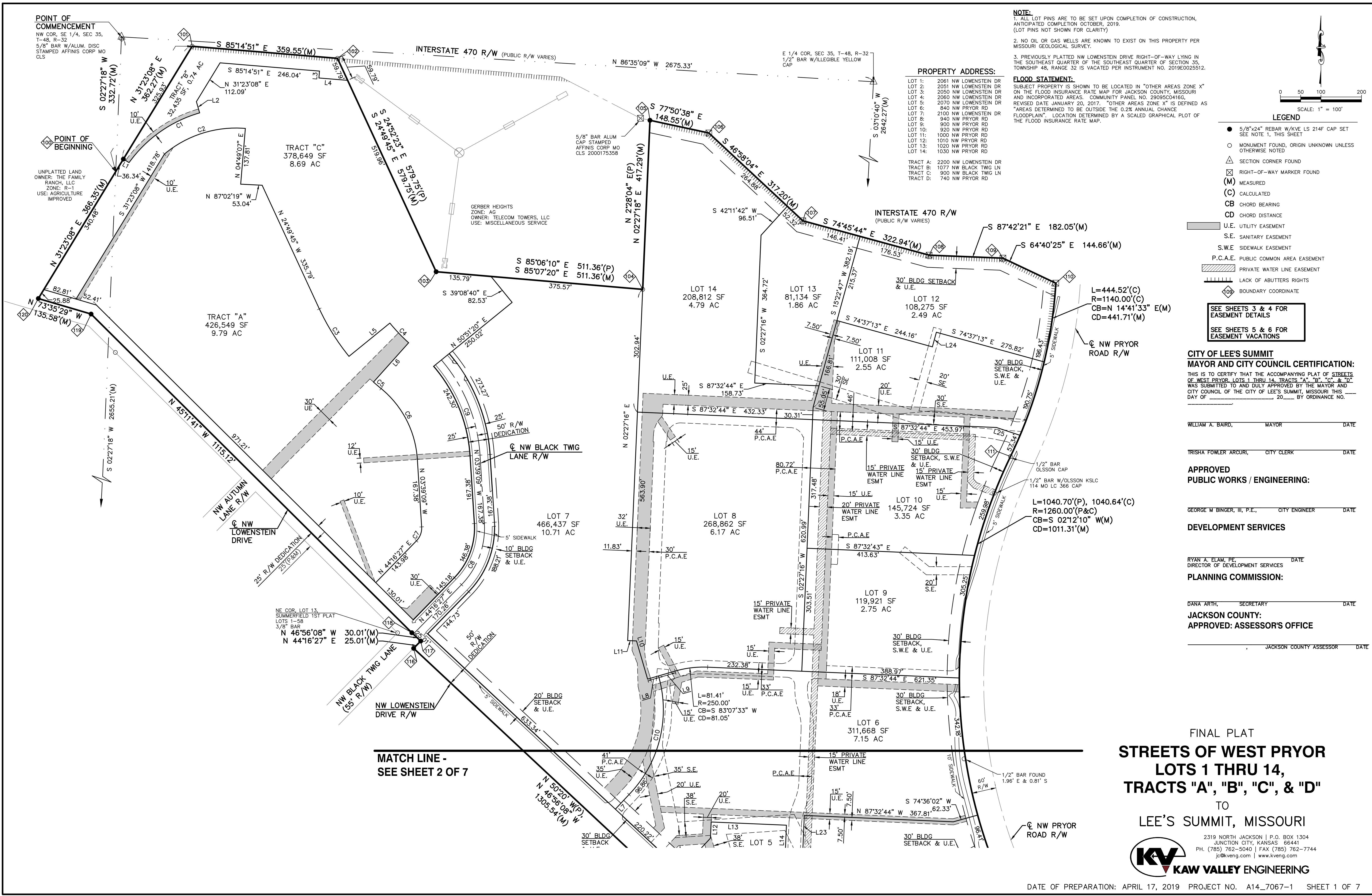
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Engineer and intended specifically for this
project. Use of items contained herein
without consent of the Engineer is
prohibited. Drawings illustrate best
information available to the Engineer. Field
verification of actual elements, conditions,
and dimensions is required.

Revisions

STREETS OF W. PRYOR
LOT 2
LEE'S SUMMIT, MO.

s h e e t
C1.0
Civil
Site Improvement Plan
permit
11 JANUARY 2021



NOTE:
1. ALL LOT PINS ARE TO BE SET UPON COMPLETION OF CONSTRUCTION, ANTICIPATED COMPLETION OCTOBER, 2019. (LOT PINS NOT SHOWN FOR CLARITY)
2. NO OIL OR GAS WELLS ARE KNOWN TO EXIST ON THIS PROPERTY PER MISSOURI GEOLOGICAL SURVEY.
3. PREVIOUSLY PLATTED NW LOWENSTEIN DRIVE RIGHT-OF-WAY LYING IN THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 35, TOWNSHIP 48, RANGE 32 IS VACATED PER INSTRUMENT NO. 2019E0025512.

FLOOD STATEMENT:
SUBJECT PROPERTY IS SHOWN TO BE LOCATED IN "OTHER AREAS ZONE X" ON THE FLOOD INSURANCE RATE MAP FOR JACKSON COUNTY, MISSOURI AND INCORPORATED AREAS. COMMUNITY PANEL NO. 2908504166, REVISED DATE JANUARY 20, 2017. "OTHER AREAS ZONE X" IS DEFINED AS "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN". LOCATION DETERMINED BY A SCALED GRAPHICAL PLOT OF THE FLOOD INSURANCE RATE MAP.

PROPERTY ADDRESS:

- LOT 1: 2061 NW LOWENSTEIN DR
 - LOT 2: 2051 NW LOWENSTEIN DR
 - LOT 3: 2050 NW LOWENSTEIN DR
 - LOT 4: 2060 NW LOWENSTEIN DR
 - LOT 5: 2070 NW LOWENSTEIN DR
 - LOT 6: 840 NW PRYOR RD
 - LOT 7: 2100 NW LOWENSTEIN DR
 - LOT 8: 940 NW PRYOR RD
 - LOT 9: 900 NW PRYOR RD
 - LOT 10: 920 NW PRYOR RD
 - LOT 11: 1000 NW PRYOR RD
 - LOT 12: 1010 NW PRYOR RD
 - LOT 13: 1020 NW PRYOR RD
 - LOT 14: 1030 NW PRYOR RD
- TRACT A: 2200 NW LOWENSTEIN DR
TRACT B: 1077 NW BLACK TWIG LN
TRACT C: 900 NW BLACK TWIG LN
TRACT D: 740 NW PRYOR RD

LEGEND

- 5/8"x24" REBAR W/KVE LS 214F CAP SET SEE NOTE 1, THIS SHEET
- MONUMENT FOUND, ORIGIN UNKNOWN UNLESS OTHERWISE NOTED
- ⊠ SECTION CORNER FOUND
- ⊠ RIGHT-OF-WAY MARKER FOUND
- (M) MEASURED
- (C) CALCULATED
- CB CHORD BEARING
- CD CHORD DISTANCE
- U.E. UTILITY EASEMENT
- S.E. SANITARY EASEMENT
- S.W.E. SIDEWALK EASEMENT
- P.C.A.E. PUBLIC COMMON AREA EASEMENT
- PRIVATE WATER LINE EASEMENT
- LACK OF ABUTTERS RIGHTS
- BOUNDARY COORDINATE

SEE SHEETS 3 & 4 FOR EASEMENT DETAILS
SEE SHEETS 5 & 6 FOR EASEMENT VACATIONS

**CITY OF LEE'S SUMMIT
MAYOR AND CITY COUNCIL CERTIFICATION:**
THIS IS TO CERTIFY THAT THE ACCOMPANYING PLAT OF STREETS OF WEST PRYOR, LOTS 1 THRU 14, TRACTS "A", "B", "C", & "D" WAS SUBMITTED TO AND DULY APPROVED BY THE MAYOR AND CITY COUNCIL OF THE CITY OF LEE'S SUMMIT, MISSOURI THIS DAY OF _____, 20____ BY ORDINANCE NO. _____

WILLIAM A. BAIRD, MAYOR DATE

TRISHA FOWLER ARCURI, CITY CLERK DATE

**APPROVED
PUBLIC WORKS / ENGINEERING:**

GEORGE M. BINGER, III, P.E., CITY ENGINEER DATE

DEVELOPMENT SERVICES

RYAN A. ELAM, PE, DIRECTOR OF DEVELOPMENT SERVICES DATE

PLANNING COMMISSION:

DANA ARTH, SECRETARY DATE

**JACKSON COUNTY:
APPROVED: ASSESSOR'S OFFICE**

JACKSON COUNTY ASSESSOR DATE

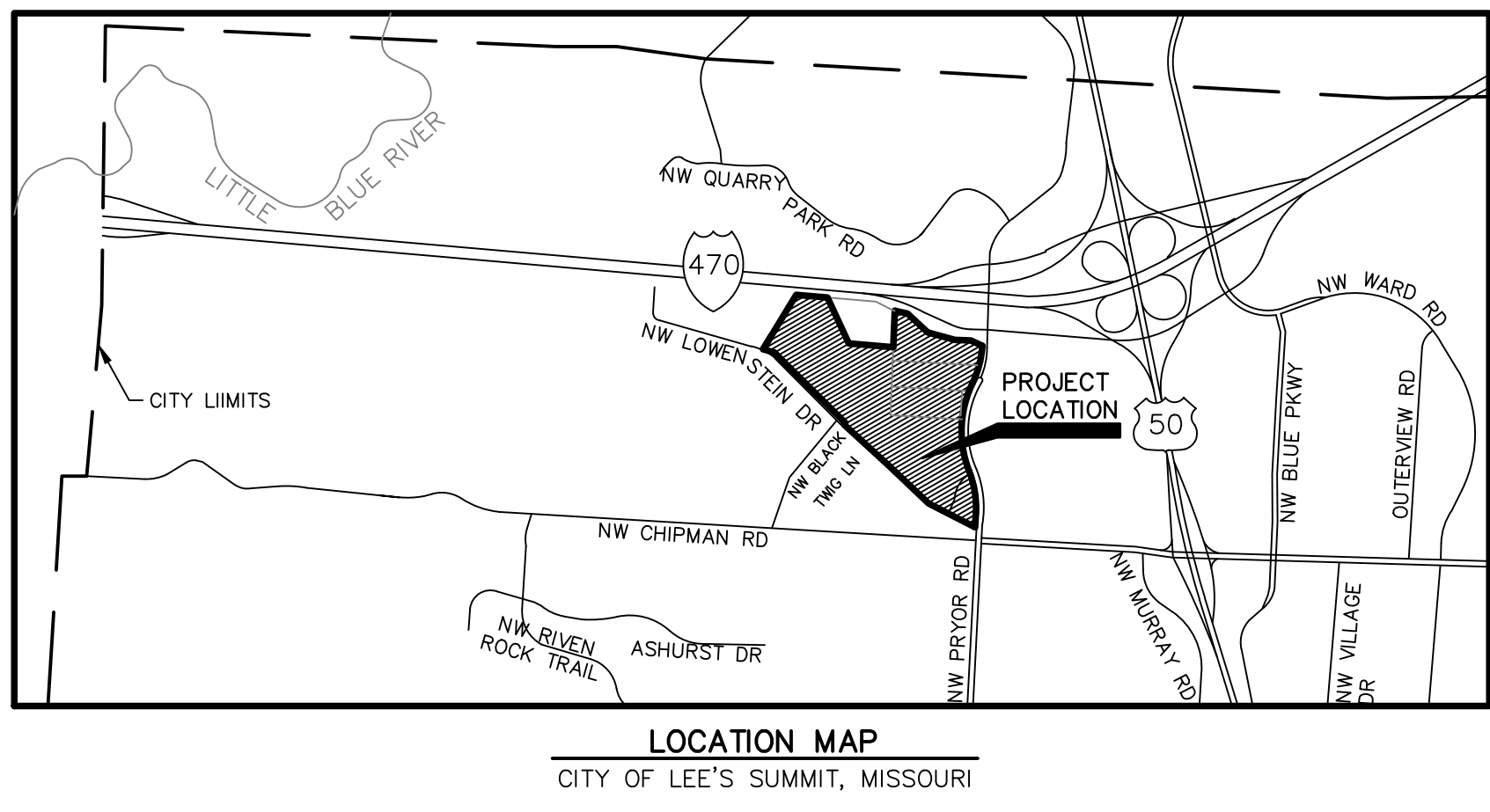
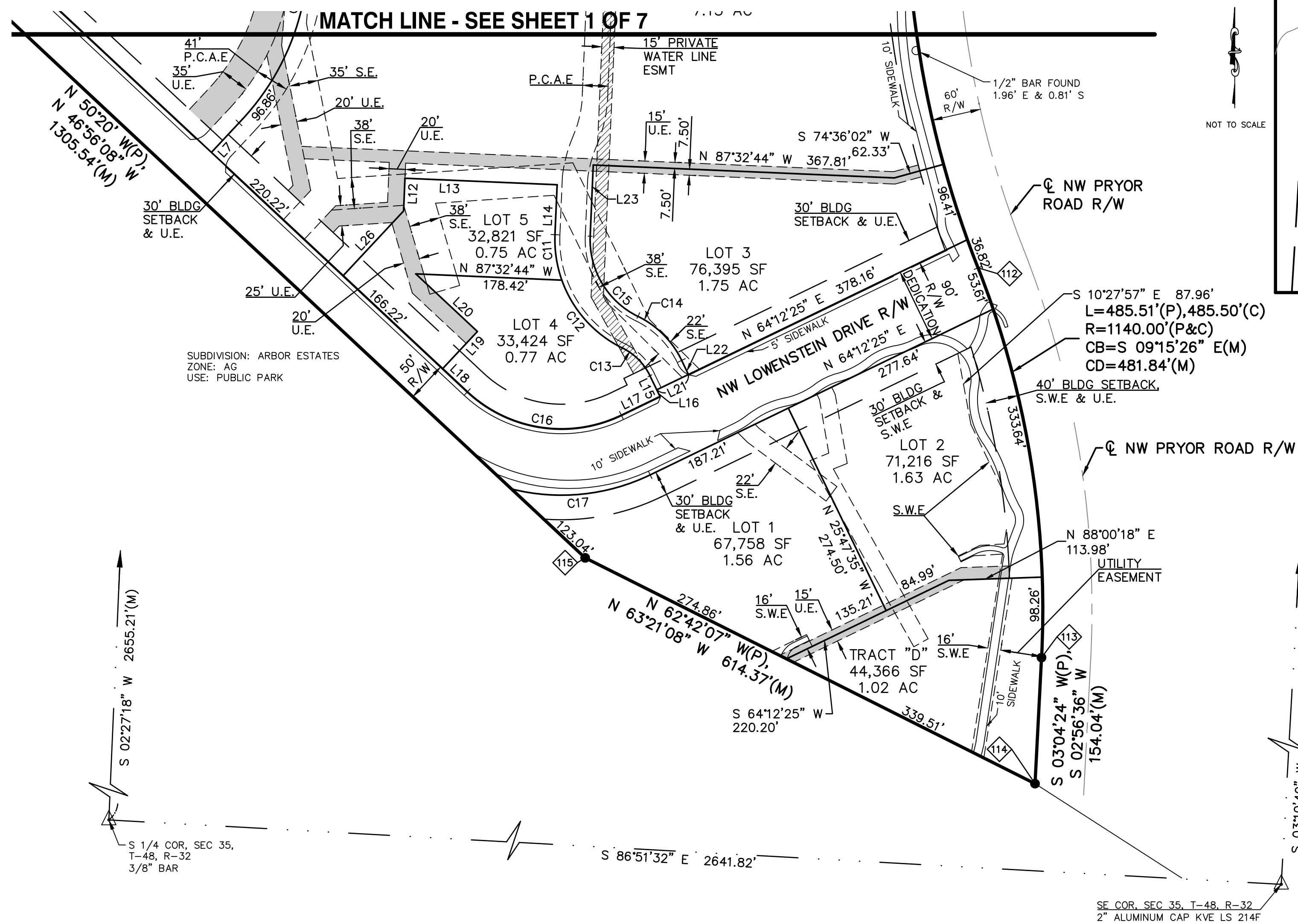
**FINAL PLAT
STREETS OF WEST PRYOR
LOTS 1 THRU 14,
TRACTS "A", "B", "C", & "D"
TO
LEE'S SUMMIT, MISSOURI**



2319 NORTH JACKSON | P.O. BOX 1304
JUNCTION CITY, KANSAS 66441
PH. (785) 762-5040 | FAX (785) 762-7744
jc@kveng.com | www.kveng.com

DATE OF PREPARATION: APRIL 17, 2019 PROJECT NO. A14_7067-1 SHEET 1 OF 7

KAW VALLEY ENGINEERING, INC., IS AUTHORIZED TO OFFER SURVEYING SERVICES BY MISSOURI STATE CERTIFICATE OF AUTHORIZATION NO. 000214. EXPIRES 12/31/19



0 50 100 200
SCALE: 1" = 100'

LEGEND

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- △ SECTION CORNER FOUND
- ⊠ RIGHT-OF-WAY MARKER FOUND
- (M) MEASURED
- (C) CALCULATED
- CB= S 09°15'26" E(M)
- CD= 481.84'(M)
- CD CHORD DISTANCE
- U.E. UTILITY EASEMENT
- S.E. SANITARY EASEMENT
- S.W.E. SIDEWALK EASEMENT
- P.C.A.E. PUBLIC COMMON AREA EASEMENT
- PRIVATE WATER LINE EASEMENT
- LACK OF ABUTTERS RIGHTS
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WILLIAM A. BAIRD, MAYOR DATE

TRISHA FOWLER ARCURI, CITY CLERK DATE

**APPROVED
PUBLIC WORKS / ENGINEERING:**

GEORGE M. BINGER, III, P.E., CITY ENGINEER DATE

DEVELOPMENT SERVICES

RYAN A. ELAM, PE, DIRECTOR OF DEVELOPMENT SERVICES DATE
PLANNING COMMISSION:

DANA ARTH, SECRETARY DATE
**JACKSON COUNTY:
APPROVED: ASSESSOR'S OFFICE**

JACKSON COUNTY ASSESSOR DATE

| CURVE TABLE | | | | | | |
|-------------|---------------|---------|---------|---------|---------|-----------|
| CURVE | CHORD BEARING | CHORD | LENGTH | TANGENT | RADIUS | DELTA |
| C1 | S 54°52'02" W | 212.87' | 216.87' | 112.65' | 325.00' | 381°3'58" |
| C2 | S 72°26'39" W | 209.36' | 214.78' | 113.20' | 275.00' | 44°44'56" |
| C3 | S 31°58'32" E | 138.09' | 138.45' | 69.59' | 555.00' | 141°7'35" |
| C4 | S 43°39'04" E | 67.12' | 67.19' | 33.66' | 425.00' | 9°03'29" |
| C5 | S 49°27'13" E | 24.67' | 24.67' | 12.34' | 555.00' | 2°32'48" |
| C6 | S 27°11'23" E | 195.68' | 201.29' | 106.72' | 245.00' | 47°04'28" |
| C7 | N 20°18'39" E | 36.55' | 37.64' | 20.00' | 45.00' | 47°55'37" |
| C8 | N 20°18'39" E | 162.46' | 167.29' | 88.89' | 200.00' | 47°55'35" |
| C9 | N 22°06'53" W | 253.34' | 257.78' | 133.55' | 400.00' | 36°55'29" |
| C10 | N 13°57'34" E | 301.47' | 315.86' | 174.34' | 300.00' | 60°19'29" |
| C11 | S 8°32'21" E | 56.07' | 56.41' | 28.56' | 147.00' | 21°59'13" |
| C12 | S 41°43'35" E | 111.06' | 113.88' | 59.97' | 147.00' | 44°23'17" |
| C13 | N 44°51'25" W | 47.69' | 48.58' | 25.23' | 73.00' | 38°07'38" |
| C14 | N 44°51'25" W | 75.78' | 77.19' | 40.09' | 116.00' | 38°07'38" |
| C15 | S 30°43'59" E | 113.86' | 120.48' | 68.02' | 104.00' | 66°22'30" |
| C16 | S 81°21'52" E | 189.97' | 201.90' | 115.16' | 168.00' | 68°51'27" |
| C17 | N 84°11'16" E | 170.17' | 173.67' | 90.54' | 249.00' | 39°57'43" |

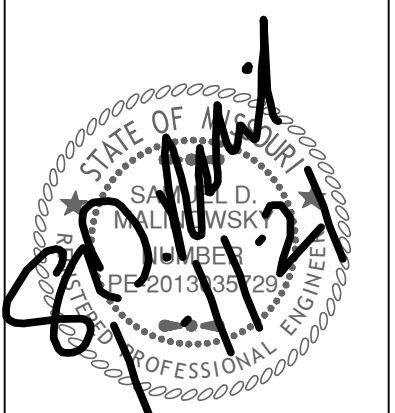
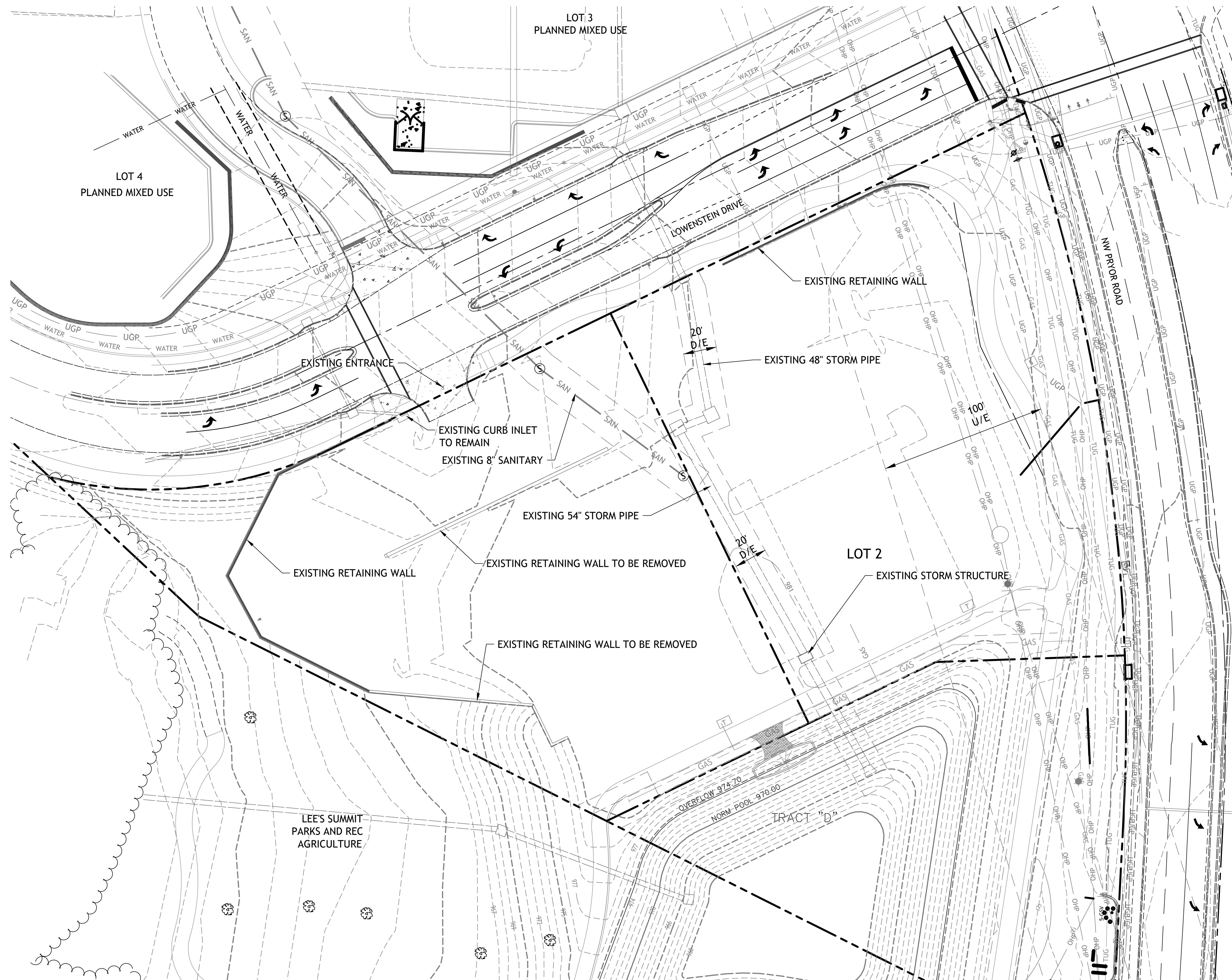
| LINE TABLE | | |
|------------|---------------|---------|
| LINE | BEARING | LENGTH |
| L1 | N 58°36'52" W | 16.45' |
| L2 | S 16°00'59" E | 28.89' |
| L3 | N 4°45'09" E | 17.00' |
| L4 | S 85°14'51" E | 71.09' |
| L5 | S 50°52'40" W | 130.00' |
| L6 | N 41°49'12" E | 130.00' |
| L7 | S 43°03'52" W | 49.28' |
| L8 | N 73°47'49" E | 28.02' |
| L9 | N 73°47'49" E | 42.44' |
| L10 | S 16°12'11" E | 97.91' |
| L11 | N 87°32'44" W | 21.89' |
| L12 | S 2°27'16" W | 40.00' |
| L13 | N 87°32'44" W | 185.86' |
| L14 | N 2°27'16" E | 60.96' |
| L15 | N 25°47'35" W | 19.08' |
| L16 | N 25°47'35" W | 9.00' |
| L17 | N 64°12'25" E | 52.31' |
| L18 | N 46°56'08" W | 41.35' |
| L19 | S 43°03'52" W | 62.00' |
| L20 | S 46°56'08" E | 102.98' |
| L21 | N 64°12'25" E | 43.00' |
| L22 | N 25°47'35" W | 19.08' |
| L23 | N 2°27'16" E | 86.95' |
| L24 | N 15°22'47" E | 37.29' |
| L25 | N 71°41'12" W | 61.48' |
| L26 | S 43°03'52" W | 107.89' |

| BOUNDARY COORDINATE TABLE | | |
|---------------------------|------------|------------|
| POINT # | NORTHING | EASTING |
| 100 | 1007391.33 | 2811593.79 |
| 101 | 1007700.59 | 2811782.46 |
| 102 | 1007670.80 | 2812140.78 |
| 103 | 1007144.64 | 2812384.22 |
| 104 | 1007101.16 | 2812893.73 |
| 105 | 1007518.07 | 2812911.60 |
| 106 | 1007486.79 | 2813056.82 |
| 107 | 1007270.33 | 2813288.69 |
| 108 | 1007185.45 | 2813600.27 |
| 109 | 1007178.16 | 2813782.18 |
| 110 | 1007116.28 | 2813912.93 |
| 111 | 1006689.02 | 2813800.90 |
| 112 | 1005678.45 | 2813762.03 |
| 113 | 1005202.89 | 2813839.54 |
| 114 | 1005049.05 | 2813831.63 |
| 115 | 1005324.60 | 2813282.52 |
| 116 | 1006216.05 | 2812328.71 |
| 117 | 1006233.96 | 2812346.16 |
| 118 | 1006254.45 | 2812324.24 |
| 119 | 1007040.27 | 2811533.06 |
| 120 | 1007078.58 | 2811402.99 |

THE ABOVE COORDINATES ARE GROUND COORDINATES SCALED FROM THE MISSOURI STATE PLANE COORDINATE SYSTEM, WEST ZONE 2403, NAD83(2011). STATE PLANE GRID COORDINATES WERE DERIVED FROM CONNECTIONS TO NATIONAL CORS NETWORK VIA GPS STATIC SESSIONS ON PROJECT CONTROL AND PROCESSED WITH THE NATIONAL GEODETIC SURVEY'S OPUS PROJECTS UTILITY. COORDINATES WERE SCALED TO THE GROUND USING A COMBINED ADJUSTMENT FACTOR OF 0.99990084. TABLE COORDINATE MULTIPLIED BY 0.99990084 EQUALS THE MISSOURI STATE PLANE GRID COORDINATE.

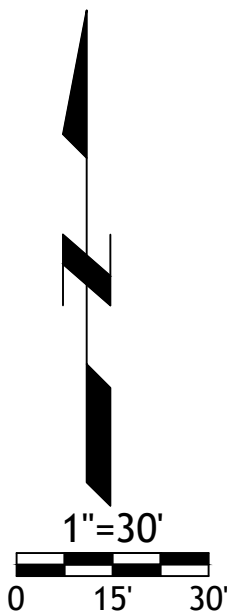
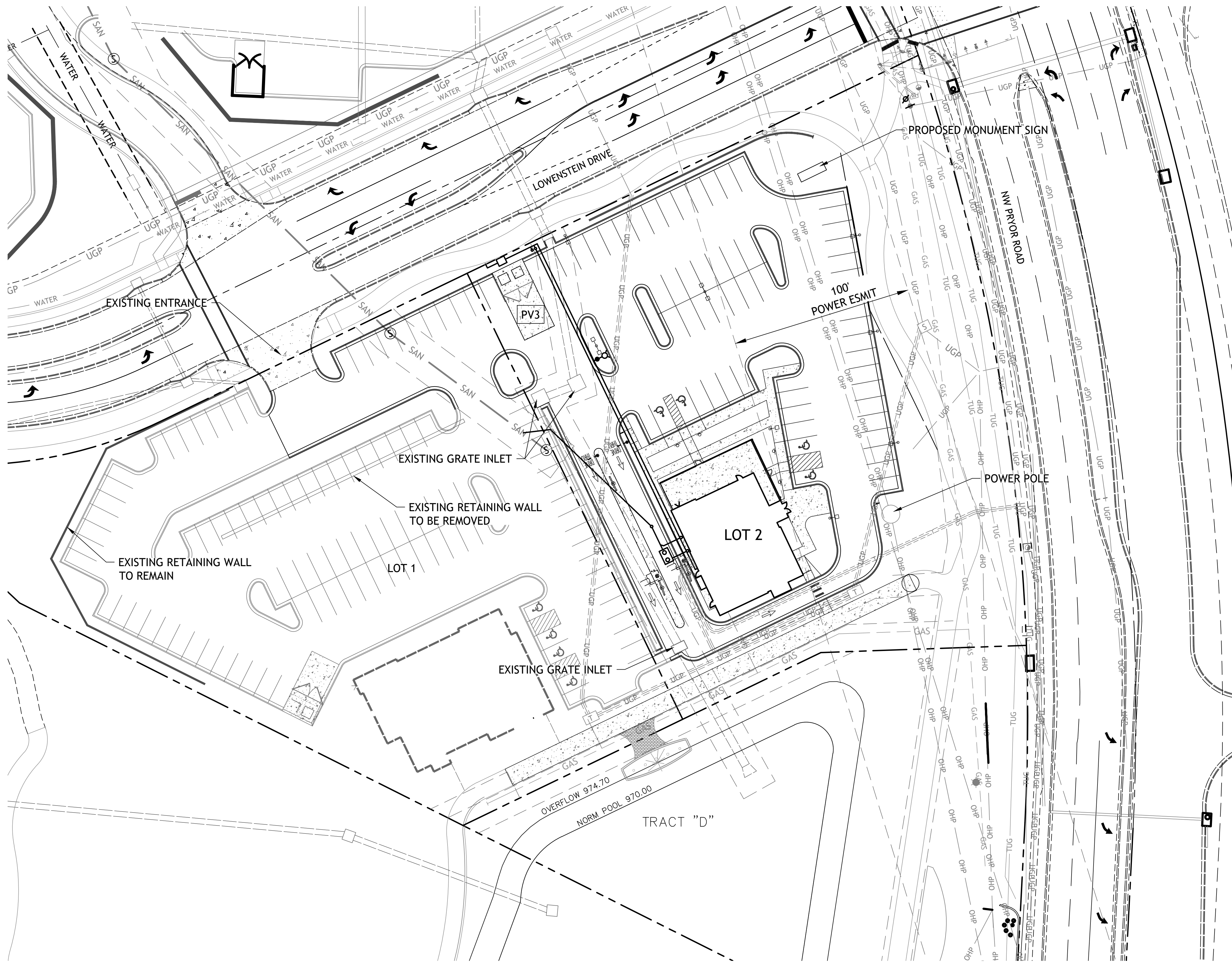
FINAL PLAT
**STREETS OF WEST PRYOR
LOTS 1 THRU 14,
TRACTS "A", "B", "C", & "D"**
TO
LEE'S SUMMIT, MISSOURI





Revisions

STREETS OF W. PRYOR
LOT 2
 LEE'S SUMMIT, MO.

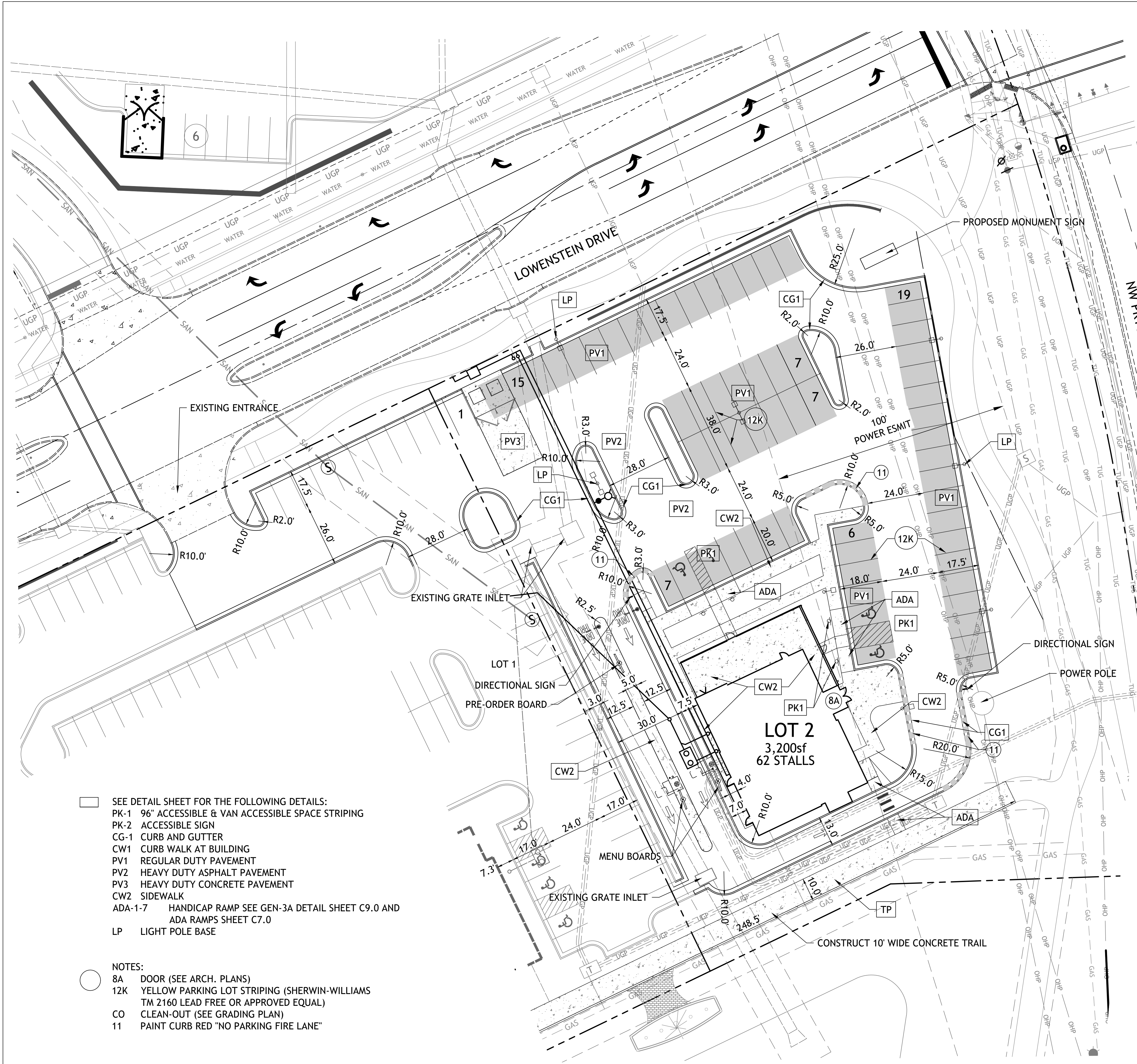


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Revisions

STREETS OF W. PRYOR
LOT 2
 LEES SUMMITT, MO.



- SEE DETAIL SHEET FOR THE FOLLOWING DETAILS:
- PK-1 96" ACCESSIBLE & VAN ACCESSIBLE SPACE STRIPING
 - PK-2 ACCESSIBLE SIGN
 - CG-1 CURB AND GUTTER
 - CW1 CURB WALK AT BUILDING
 - PV1 REGULAR DUTY PAVEMENT
 - PV2 HEAVY DUTY ASPHALT PAVEMENT
 - PV3 HEAVY DUTY CONCRETE PAVEMENT
 - CW2 SIDEWALK
 - ADA-1-7 HANDICAP RAMP SEE GEN-3A DETAIL SHEET C9.0 AND ADA RAMPS SHEET C7.0
 - LP LIGHT POLE BASE

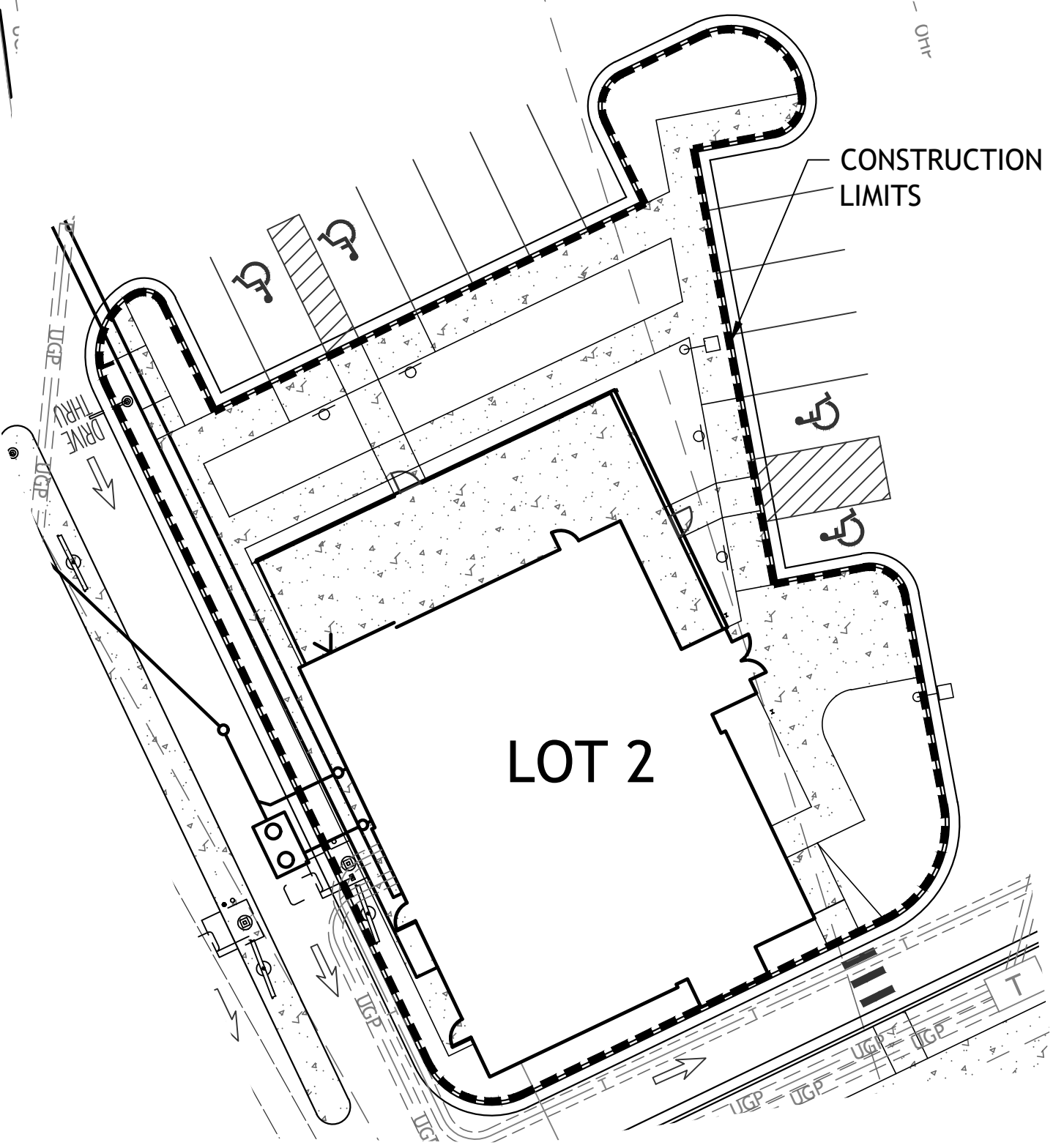
- NOTES:
- 8A DOOR (SEE ARCH. PLANS)
 - 12K YELLOW PARKING LOT STRIPING (SHERWIN-WILLIAMS TM 2160 LEAD FREE OR APPROVED EQUAL)
 - CO CLEAN-OUT (SEE GRADING PLAN)
 - 11 PAINT CURB RED "NO PARKING FIRE LANE"

SITE DATA

| | |
|--|-------------------|
| TOTAL SITE | 1.63ac (71,216sf) |
| TOTAL IMPERVIOUS AREA | 34,469sf |
| OPEN SPACE | 36,747sf (51.5%) |
| TOTAL BUILDING | 3,200sf |
| FAR | 0.044 |
| TOTAL REQUIRED | 3,200 @ 14/1000 |
| PARKING PROVIDED | 45 |
| * THE REQUIRED PARKING IS SUPPLEMENTED BY OVERALL SHARED PARKING PROVISIONS. | |

- CONSTRUCTION NOTES:**
- COORDINATE START-UP AND ALL CONSTRUCTION ACTIVITIES WITH OWNER.
 - CONSTRUCTION METHODS AND MATERIALS NOT SPECIFIED IN THESE PLANS ARE TO MEET OR EXCEED THE STANDARD SPECIFICATIONS.
 - ALL CONSTRUCTION WORK AND UTILITY WORK OUTSIDE OF PROPERTY BOUNDARIES SHALL BE PERFORMED IN COOPERATION WITH AND IN ACCORDANCE WITH REGULATIONS OF THE AUTHORITIES CONCERNED.
 - PUBLIC CONVENIENCE AND SAFETY: THE CONTRACTOR SHALL CONDUCT THE WORK IN A MANNER THAT WILL INSURE, AS FAR AS PRACTICABLE, THE LEAST OBSTRUCTION TO TRAFFIC, AND SHALL PROVIDE FOR THE CONVENIENCE AND SAFETY OF THE GENERAL PUBLIC AND RESIDENTS ALONG AND ADJACENT TO STREETS IN THE CONSTRUCTION AREA.
 - ALL DIMENSIONS SHOWN ARE TO THE BACK OF CURB UNLESS OTHERWISE NOTED.
 - ACCESSIBLE STALLS SHOWN WITH A "VAN" SHALL BE 16'-0" MIN. AND SHALL HAVE A SIGN DESIGNATING "VAN-ACCESSIBLE". SEE DETAIL102.

- NOTE:**
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRANCE. SLOPED PAVING, EXIT PORCHES AND RAMPS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
 - THESE PLANS HAVE NOT BEEN VERIFIED WITH FINAL ARCHITECTURAL CONTRACT DRAWINGS. CONTRACTOR SHALL VERIFY AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES. CONTRACTOR IS FULLY RESPONSIBLE FOR REVIEW AND COORDINATION OF ALL DRAWINGS AND CONTRACTOR DOCUMENTS.
 - ALL DIMENSIONS ARE PERPENDICULAR TO PROPERTY LINE.
 - ACTUAL SIGN LOCATIONS TO BE COORDINATED WITH CONSTRUCTION MANAGER.



DIVISION OF RESPONSIBILITY PLAN

DEVELOPER IS RESPONSIBLE FOR CONSTRUCTING CURB & GUTTER AS SHOWN AND ALL ITEMS OUTSIDE SAID CURB & GUTTER. SHAK Shack IS RESPONSIBLE FOR CONSTRUCTING ALL ITEMS INSIDE NOTED CURB & GUTTER.

SM Engineering

SAE

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Manhattan Kansas, 66503
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785.341.9747

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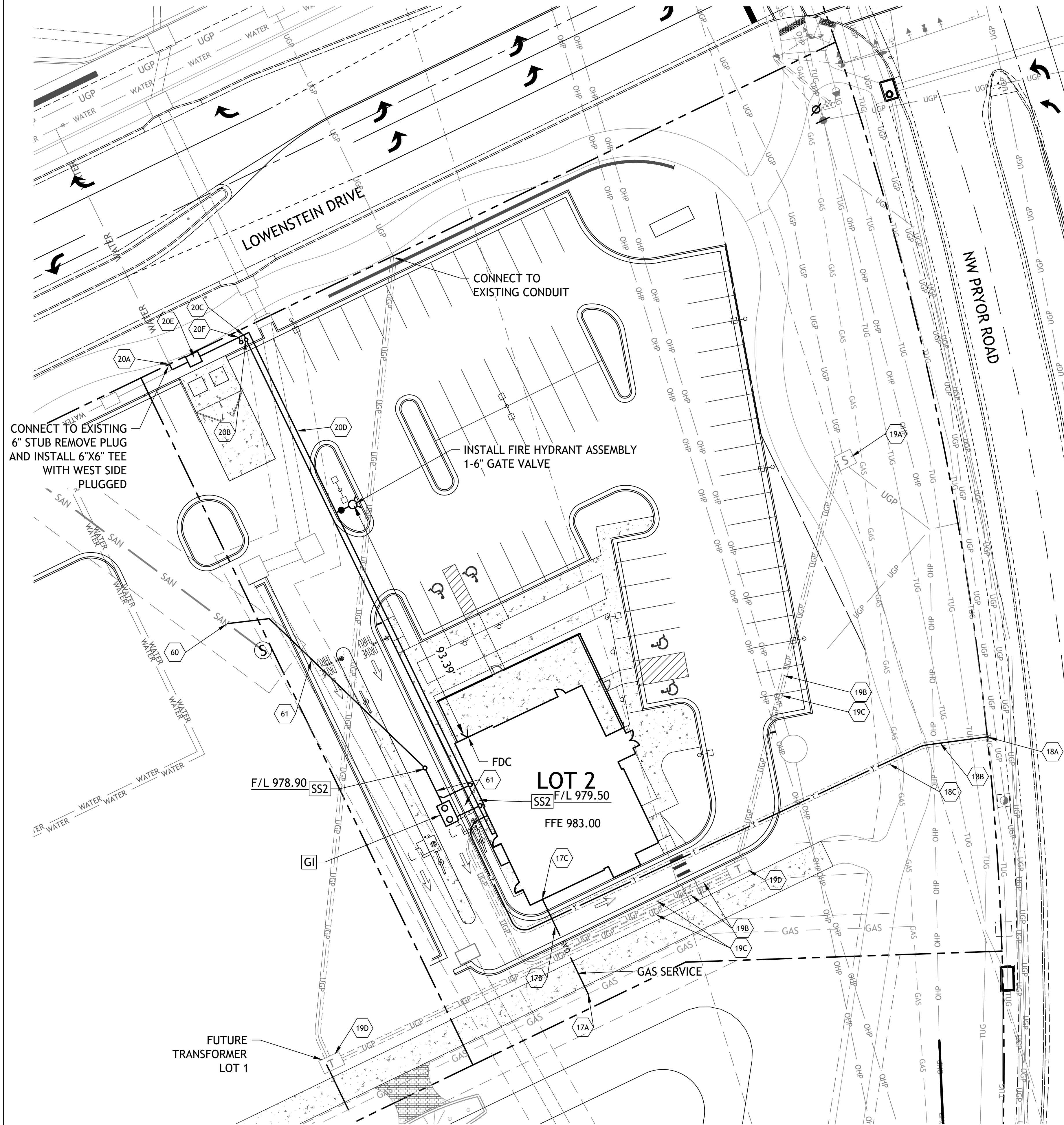
LOT 2

LEES SUMMITT, MO.

sheet

C4.0

Civil
SITE PLAN
permit
11 JANUARY 2021



UTILITY NOTES:

1. ALL UTILITY AND STORM SEWER TRENCHES CONSTRUCTED UNDER AREAS THAT RECEIVE PAVING SHALL BE BACKFILLED TO 18 INCHES ABOVE THE TOP OF THE PIPE WITH SELECT GRANULAR MATERIAL PLACED ON EIGHT-INCH LIFTS, AND COMPACTED TO 95% MODIFIED PROCTOR DENSITY.
2. CONTRACTOR SHALL NOT OPEN, TURN OFF, INTERFERE WITH, OR ATTACH ANY PIPE OR HOSE TO OR TAP ANY WATER MAIN BELONGING TO THE CITY UNLESS DULY AUTHORIZED TO DO SO BY THE CITY. ANY ADVERSE CONSEQUENCE OF ANY SCHEDULED OR UNSCHEDULED DISRUPTIONS OF SERVICE TO THE PUBLIC ARE TO BE THE LIABILITY OF THE CONTRACTOR. SM ENGINEERING AND OWNER ARE TO BE HELD HARMLESS.
3. ALL WATER AND SANITARY SEWER SYSTEMS THAT ARE TO BE PUBLIC LINES SHALL BE CONSTRUCTED IN ACCORDANCE WITH SPECIFICATIONS PREVIOUSLY APPROVED BY THE CITY OF LEE'S SUMMIT AND THE STATE OF MISSOURI AND SHALL BE INSPECTED BY THE CITY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ASSURE THAT THIS INSPECTION OCCURS.
4. LOCATIONS SHOWN FOR PROPOSED WATER LINES ARE APPROXIMATE. VARIATIONS MAY BE MADE, WITH APPROVAL OF THE ENGINEER, TO AVOID CONFLICTS.
5. CONTRACTOR TO INSTALL TRACING TAPE ALONG ALL NON-METALLIC WATER MAINS AND SERVICE LINES PER SPECIFICATIONS.
6. CONTRACTOR SHALL EXPOSE EXISTING UTILITIES AT LOCATIONS OF POSSIBLE CONFLICT AND POINTS OF CONNECTION PRIOR TO ANY CONSTRUCTION OF NEW UTILITIES.
7. WATER LINES SHALL HAVE A MINIMUM COVER OF 42 INCHES. ALL VALVES ON MAINS AND FIRE HYDRANT LEADS SHALL BE WITH VALVE BOX ASSEMBLIES. THE SIZE OF VALVE BOX ASSEMBLY TO BE INSTALLED IS DETERMINED BY THE TYPE AND SIZE OF VALVE. VALVE BOX CAPS SHALL HAVE THE WORD "WATER".
8. A MINIMUM HORIZONTAL DISTANCE OF 10 FEET SHALL BE MAINTAINED BETWEEN PARALLEL WATER AND SANITARY SEWER LINES. WHEN IT IS NECESSARY FOR ANY WATER LINE TO CROSS A SANITARY SEWER LINE, THE SEWER LINE SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE AT LEAST 10 FEET EITHER SIDE OF THE WATER LINE UNLESS THE WATER LINE IS AT LEAST 2 FEET CLEAR DISTANCE ABOVE THE SANITARY SEWER LINE.
9. INSTALL 2" TYPE "K" COPPER FROM THE MAIN TO THE METER AND EITHER TYPE "K" OR POLYETHYLENE PLASTIC TUBING (PE 3608) FROM METER TO STOP AND WASTE VALVE INSIDE BUILDING.
10. CONTRACTOR RESPONSIBLE FOR PROVIDING CASEMENT FOR ELECTRICAL SERVICE PER KCP&L

DETAILS

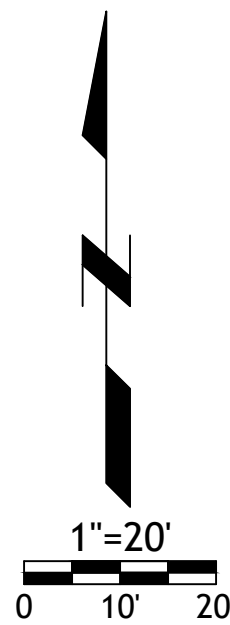
- | | |
|--------|----------------------------|
| MS1 | TRENCH AND BEDDING DETAILS |
| SS2 | 2-WAY CLEAN-OUT |
| WAT-12 | DCD4 VAULT |
| WAT-11 | WATER SERVICE CONNECTION |
| WAT-7 | FIRE HYDRANT |
| CO | CLEANOUT |
| GI | GREASE INTERCEPTOR |

NOTES

- | | |
|-----|--|
| 17A | POINT OF CONNECTION - GAS SERVICE |
| 17B | GAS SERVICE (BY GAS COMPANY) |
| 17C | GAS METER |
| 18A | POINT OF CONNECTION - TELEPHONE SERVICE - COORDINATE WITH TELEPHONE COMPANY |
| 18B | UNDERGROUND TELEPHONE SERVICE PER LOCAL TELEPHONE COMPANY |
| 18C | 2-2" CONDUIT INSTALLED BY CONTRACTOR - TELEPHONE SERVICE |
| 19A | POINT OF CONNECTION - ELECTRICAL SERVICE |
| 19B | ELECTRICAL SERVICE (SEE NOTE 10) |
| 19C | 4" CONDUIT INSTALLED BY CONTRACTOR - ELECTRIC SERVICE |
| 19D | TRANSFORMER - PER EVERGY DETAIL 700-103 |
| 20A | POINT OF CONNECTION - WATER SERVICE |
| 20B | 2" TAP WITH 2" SERVICE LINE |
| 20C | 2" METER |
| 20D | 6" FIRE LINE |
| 60 | 6" SANITARY SEWER SERVICE LINE SDR-26 PVC CONNECTION SHALL BE A CUT-IN WYE |
| 61 | 4" SANITARY SEWER SERVICE LINE SDR 26 PVC |
| 20E | INSTALL 6" BACKFLOW PREVENTION ASSEMBLY IN 8'X6' VAULT OR AS REQUIRED PER CLEARANCE SEE DETAIL WAT-5 |
| 20F | 1" IRRIGATION METER |

UTILITY STATEMENT:

THE UNDERGROUND UTILITIES SHOWN HEREON ARE FROM FIELD SURVEY INFORMATION OF ONE-CALL LOCATED UTILITIES, FIELD SURVEY INFORMATION OF ABOVE GROUND OBSERVABLE EVIDENCE, AND/OR THE SCALING AND PLOTTING OF EXISTING UTILITY MAPS AND DRAWINGS AVAILABLE TO THE SURVEYOR AT THE TIME OF SURVEY. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. FURTHERMORE, THE SURVEYOR DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES BY EXCAVATION UNLESS OTHERWISE NOTED ON THIS SURVEY.

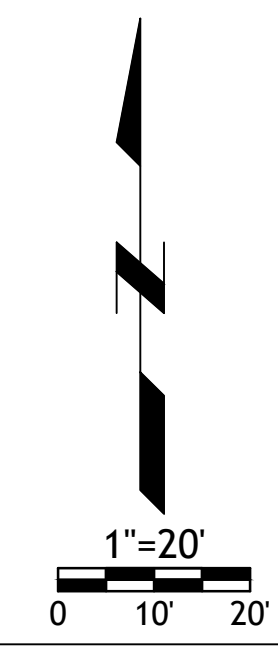


Revisions

STREETS OF W. PRYOR
LOT 2
LEE'S SUMMIT, MO.



- GRADING NOTES:**
1. EARTHWORK UNDER THE BUILDING SHALL COMPLY WITH THE PROJECT ARCHITECTURAL PLANS. OTHER FILL MATERIAL SHALL BE MADE IN LIFTS NOT TO EXCEED EIGHT INCHES DEPTH COMPACTED TO 95% STANDARD PROCTOR DENSITY. FILL MATERIAL MAY INCLUDE ROCK FROM ON-SITE EXCAVATION IF CAREFULLY PLACED SO THAT LARGE STONES ARE WELL DISTRIBUTED AND VOIDS ARE COMPLETELY FILLED WITH SMALLER STONES, EARTH, SAND OR GRAVEL TO FURNISH A SOLID EMBANKMENT. NO ROCK LARGER THAN THREE INCHES IN ANY DIMENSION NOR ANY SHALE SHALL BE PLACED IN THE TOP 12 INCHES OF EMBANKMENT.
 2. AREAS THAT ARE TO BE CUT TO SUBGRADE LEVELS SHALL BE PROOF ROLLED WITH A MODERATELY HEAVY LOADED DUMP TRUCK OR SIMILAR APPROVED CONSTRUCTION EQUIPMENT TO DETECT UNSUITABLE SOIL CONDITIONS.
 3. IN ALL AREAS OF EXCAVATION, IF UNSUITABLE SOIL CONDITIONS ARE ENCOUNTERED. A QUALIFIED GEOTECHNICAL ENGINEER SHALL RECOMMEND TO THE OWNER THE METHODS OF UNDERCUTTING AND REPLACEMENT OF PROPERLY COMPACTED, APPROVED FILL MATERIAL. ALL PROOF ROLLING AND UNDERCUTTING SHOULD BE PERFORMED DURING A PERIOD OF DRY WEATHER.
 4. CONTRACTOR SHALL USE SILT FENCE OR OTHER MEANS OF CONTROLLING EROSION ALONG THE EDGE OF THE PROPERTY OR OTHER BOTTOM OF SLOPE LOCATIONS.
 5. CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS.
 6. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT. THE CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGES TO THE ADJACENT PROPERTIES OCCURRING DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
 7. IT IS NOT THE DUTY OF THE ENGINEER OR THE OWNER TO REVIEW THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES, IN, ON OR NEAR THE CONSTRUCTION SITE AT ANY TIME DURING CONSTRUCTION.
 8. PIPE LENGTHS ARE CENTER TO CENTER OF STRUCTURE OR TO END OF END SECTIONS.
 9. HANDICAP STALLS SHALL MEET ADA REQUIREMENTS AND SHALL NOT EXCEED 2% SLOPE IN ANY DIRECTION AT THE BUILDING ENTRY AND ACCESSIBLE PARKING STALLS. SLOPES EXCEEDING 2.0% WILL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
 10. CONTRACTOR TO ADJUST DEPTHS OF EXISTING SERVICE LINES AS NECESSARY
 11. ALL CONSTRUCTION TRAFFIC, TEMPORARY TRAFFIC CONTROL DEVICES AND PAVEMENT MARKINGS SHALL CONFORM TO REQUIREMENTS OF THE LATEST MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
 12. SITE BEING ROUGH GRADED TO 12.5" BELOW FINISHED GRADE
 13. CONTRACTOR TO PLACE 8" LOW PERMEABILITY LVC FOR BUILDING PAD



SM Engineering
SME
5507 High Meadow Circle
Manhattan Kansas, 66503
smcivilengr@gmail.com
785.341.9747

Drawings and/or Specifications are original proprietary work and property of the Engineer and intended specifically for this project. Use of items contained herein without consent of the Engineer is prohibited. Drawings illustrate best information available to the Engineer. Field verification of actual elements, conditions, and dimensions is required.

Revisions

STREETS OF W. PRYOR

LOT 2

LEES SUMMITT, MO.

sheet
C6.0
Civil
GRADING
permit
11 JANUARY 2021



Revisions

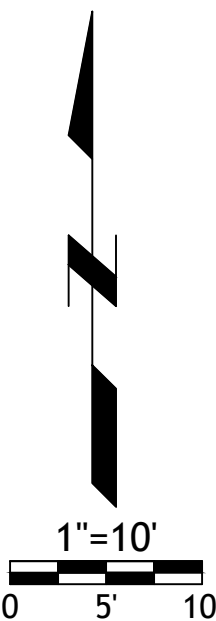
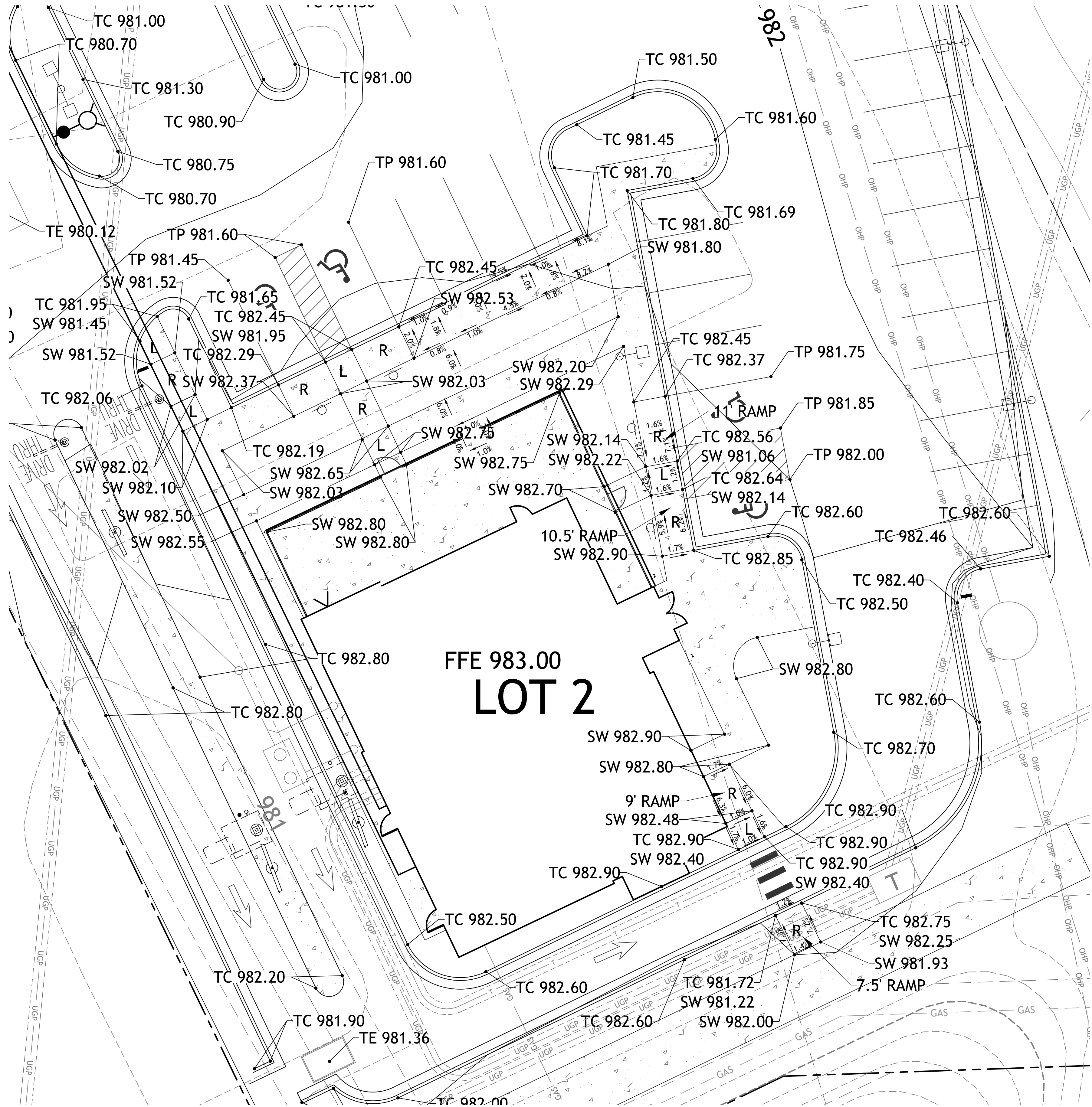
STREETS OF W. PRYOR
LOT 2
LEES SUMMITT, MO.

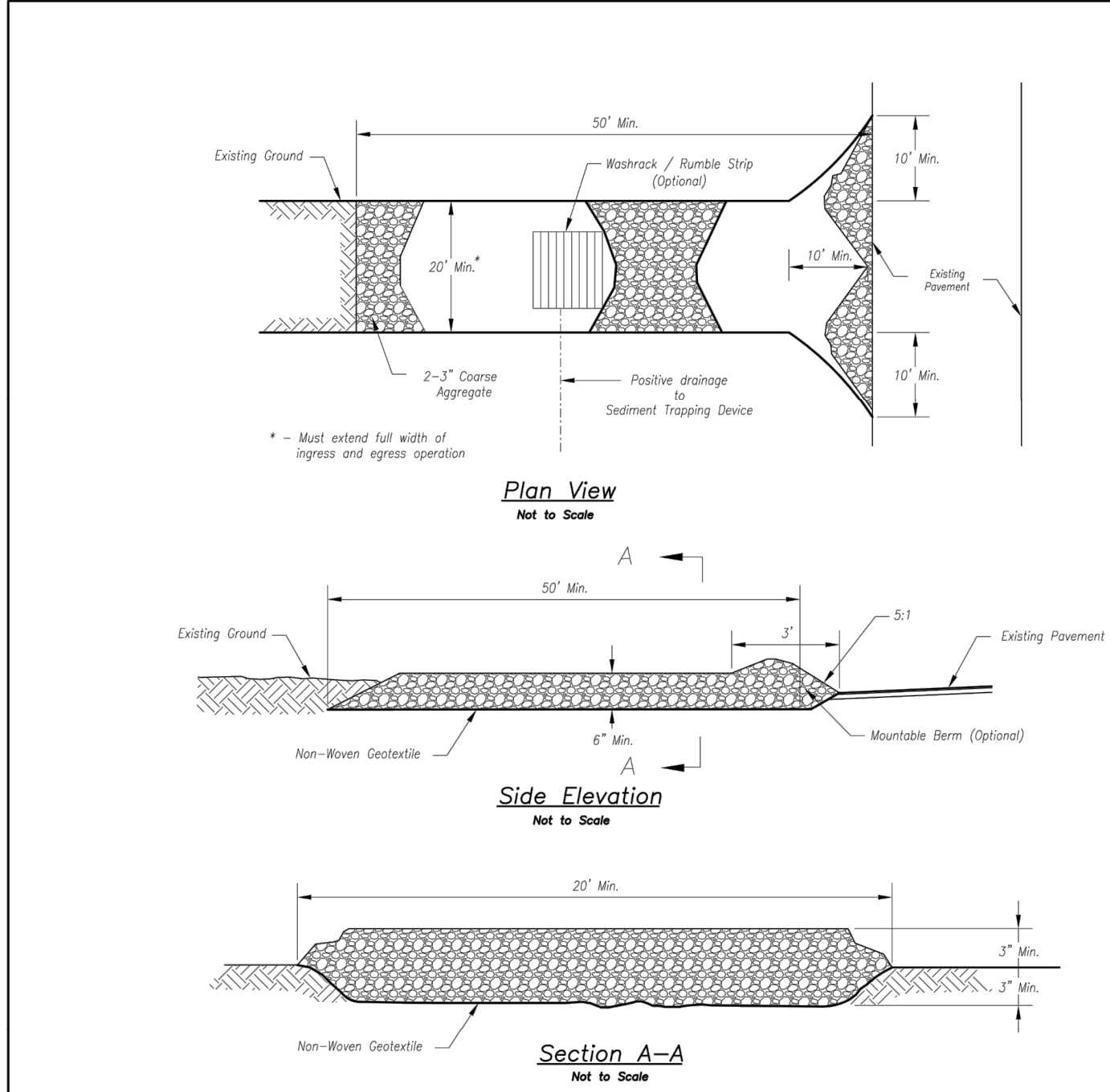
s h e e t

C7.0

Civil
ADA RAMPS

permit
11 JANUARY 2021





Notes for Construction Entrance:

1. Avoid locating on steep slopes, at curves on public roads, or downhill of disturbed area.
2. Remove all vegetation and other unsuitable material from the foundation area, grade, and crown for positive drainage.
3. If slope towards the public road exceeds 2%, construct a 6- to 8-inch high ridge with Silt IV side slopes across the foundation approximately 15 feet from the edge of the public road to divert runoff from it.
4. Install pipe under the entrance if needed to maintain drainage ditches along public roads.
5. Place stone to dimensions and grade as shown on plans. Leave surface sloped for drainage.
6. Divert all surface runoff and drainage from the entrance to a sediment control device.
7. If conditions warrant, place geotextile fabric on the graded foundation to improve stability.

Maintenance for Construction Entrance:

1. Reshape entrance as needed to maintain function and integrity of installation. Top dress with clean aggregate as needed.

CONSTRUCTION ENTRANCE

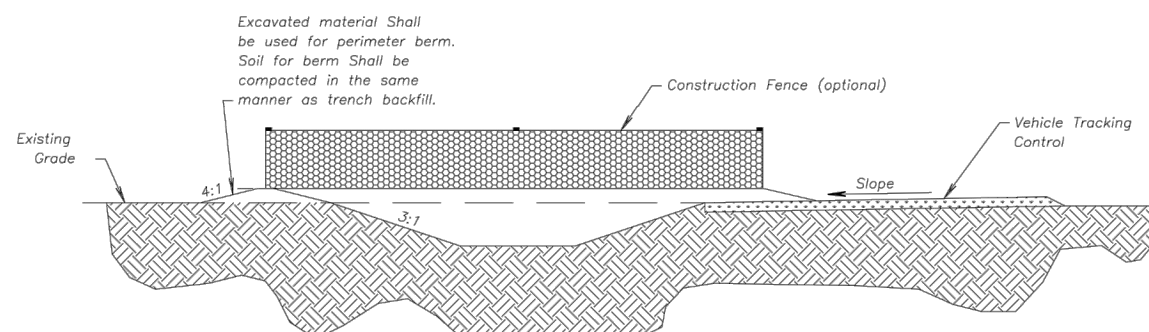
Construction Entrance modified from 2015 Overland Park Standard Details for Erosion and Sediment Control, Concrete Washout modified from 2009 City of Great Bend Standard Drawings.

Notes for Concrete Washout:

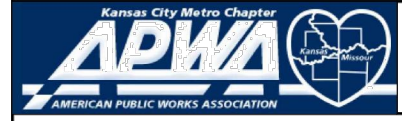
1. Concrete washout areas shall be installed prior to any concrete placement on site.
2. Concrete washout area shall include a flat subsurface pit sized relative to the amount of concrete to be placed on site. The slopes leading out of the subsurface pit shall be 3:1. The vehicle tracking pit shall be sloped towards the concrete washout area.
3. Vehicle tracking control is required of the access point to all concrete washout areas.
4. Signs shall be placed at the construction site entrance, washout area and elsewhere as necessary to clearly indicate the location(s) of the concrete washout area(s) to operators of concrete truck and pump rigs.
5. A one-piece impervious liner may be required along the bottom and sides of the subsurface pit in sandy or gravelly soils.

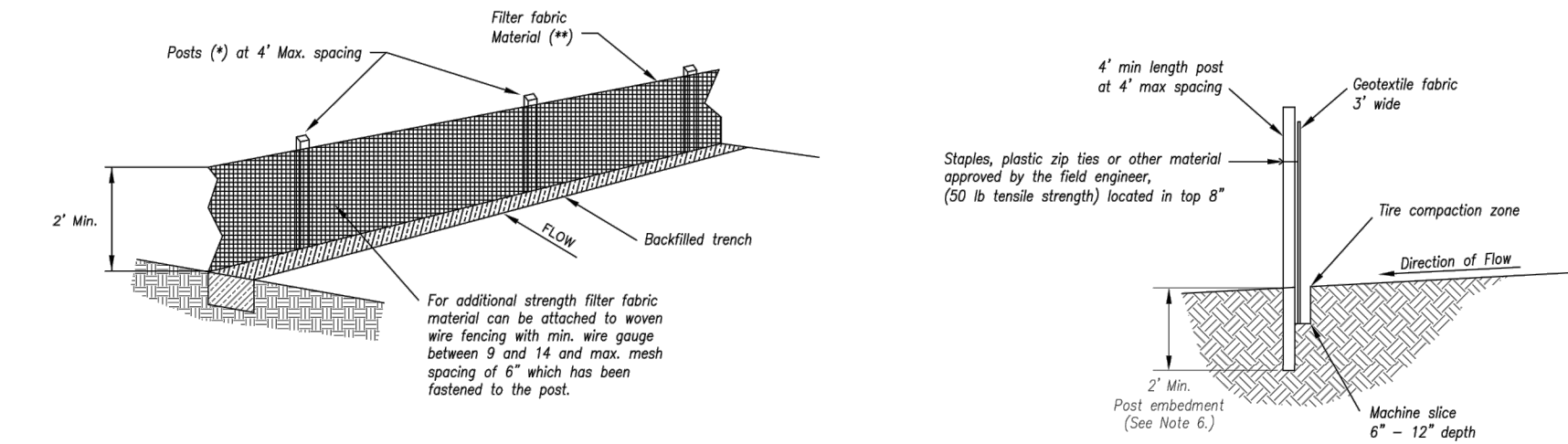
Maintenance for Concrete Washout:

1. Concrete washout materials shall be removed once the materials have filled the washout to approximately 75% full.
2. Concrete washout areas shall be enlarged as necessary to maintain capacity for washed concrete.
3. Concrete washout water, washed pieces of concrete and all other debris in the subsurface pit shall be transported from the job site in a water-tight container and disposed of properly.
4. Concrete washout areas shall remain in place until all concrete for the project is placed.
5. When concrete washout areas are removed, excavations shall be filled with suitable compacted backfill and topped, any disturbed areas associated with the installation, maintenance, and/or removal of the concrete washout areas shall be stabilized.



CONCRETE WASHOUT

| AMERICAN PUBLIC WORKS ASSOCIATION | |
|---|---|
|  | KANSAS CITY METRO CHAPTER |
| CONSTRUCTION ENTRANCE AND CONCRETE WASHOUT | STANDARD DRAWING NUMBER ESC-01 ADOPTED: 10/24/2016 |



SILT FENCE DETAILS

Not to Scale

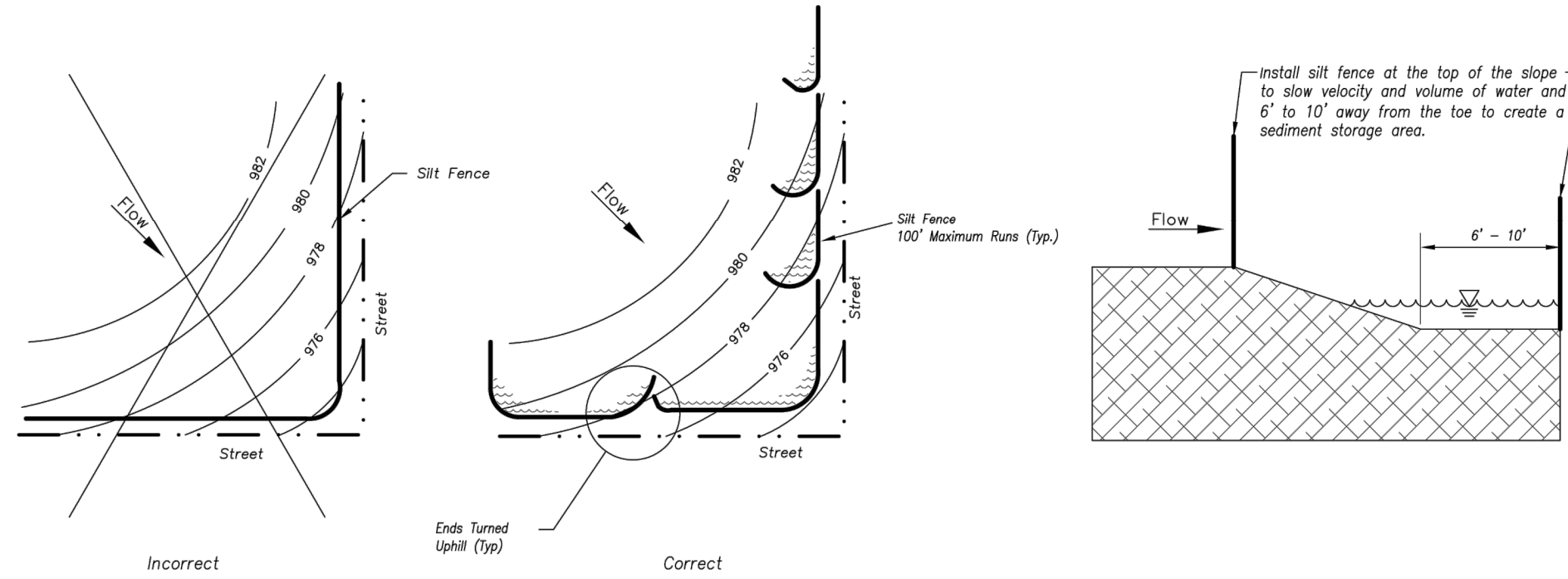


Figure A

SILT FENCE LAYOUT

Not to Scale

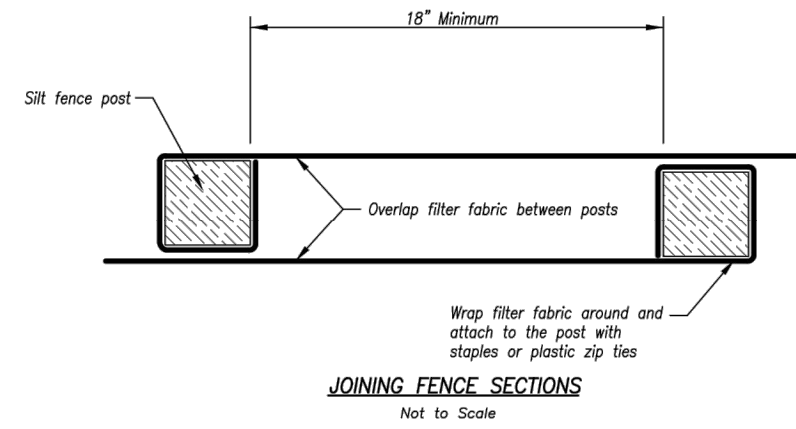
Modified from 2015 Overland Park Standard Details for Erosion and Sediment Control.

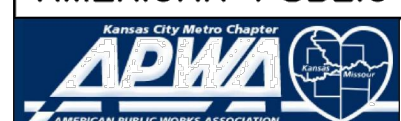
Notes:

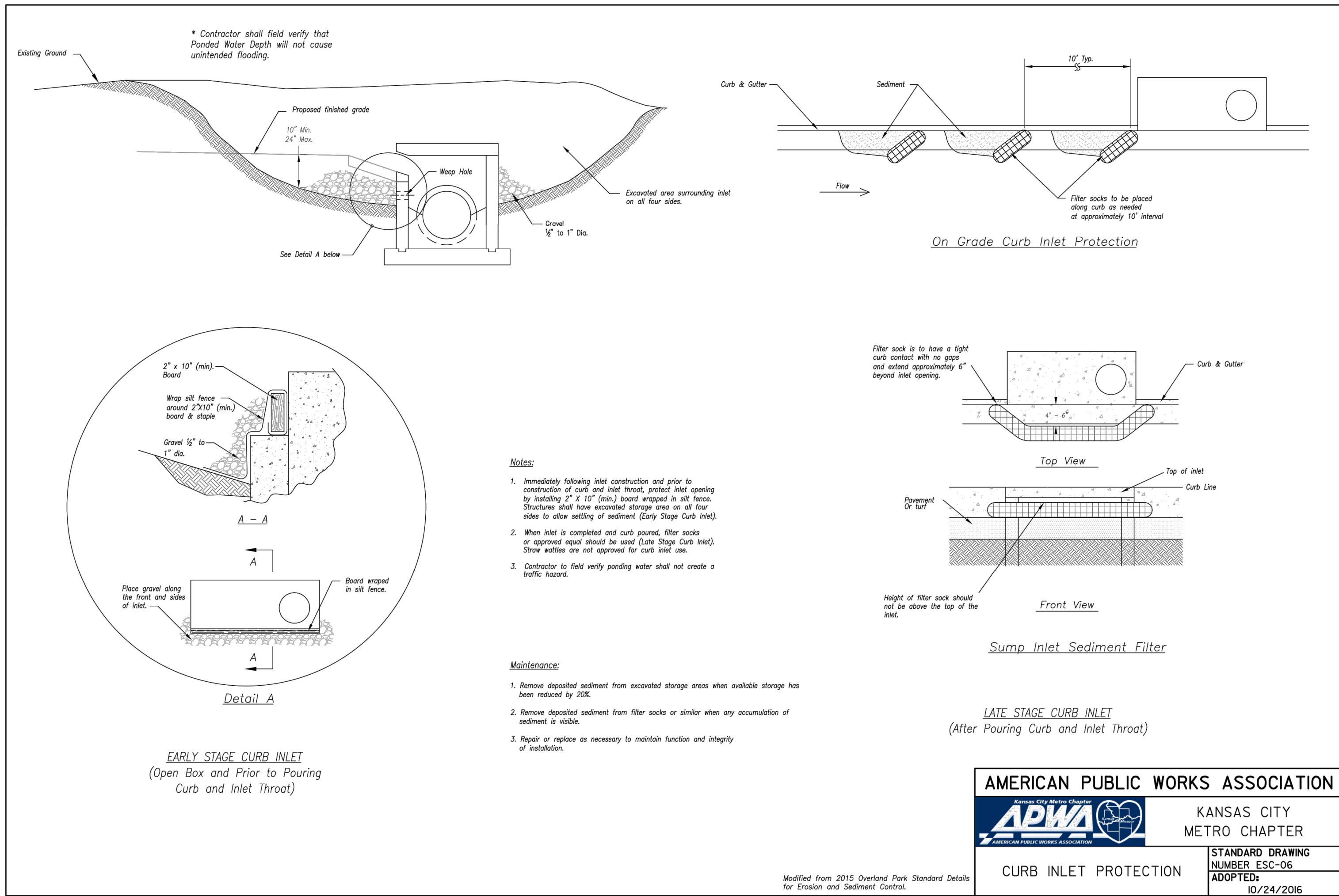
1. In order to contain water, the ends of the silt fence must be turned uphill (Figure A).
2. Long perimeter runs of silt fence must be limited to 100'. Runs should be broken up into several smaller segments to minimize water concentrations (Figure A).
3. Long slopes should be broken up with intermediate rows of silt fence to slow runoff velocities.
4. Attach fabric to upstream side of post.
5. Install posts a minimum of 2' into the ground.
6. Trenching will only be allowed for small or difficult installation, where slicing machine cannot be reasonably used.

Maintenance:

1. Remove and dispose of sediment deposits when the deposit approaches $\frac{1}{2}$ the height of silt fence.
2. Repair as necessary to maintain function and structure.



| AMERICAN PUBLIC WORKS ASSOCIATION | |
|---|---|
|  | KANSAS CITY METRO CHAPTER |
| SILT FENCE | STANDARD DRAWING NUMBER ESC-03 ADOPTED: 10/24/2016 |

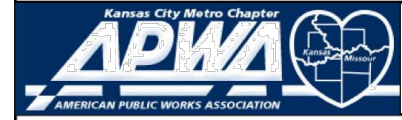


Notes:

1. Immediately following inlet construction and prior to construction of curb and inlet throat, protect inlet opening by installing 2' x 10' (min.) board wrapped in silt fence. Structures shall have excavated storage area on all four sides to allow settling of sediment (Early Stage Curb Inlet).
2. When inlet is completed and curb poured, filter socks or approved equal should be used (Late Stage Curb Inlet). Straw wattles are not approved for curb inlet use.
3. Contractor to field verify ponding water shall not create a traffic hazard.

Maintenance:

1. Remove deposited sediment from excavated storage areas when available storage has been reduced by 20%.
2. Remove deposited sediment from filter socks or similar when any accumulation of sediment is visible.
3. Repair or replace as necessary to maintain function and integrity of installation.

| AMERICAN PUBLIC WORKS ASSOCIATION | |
|---|---|
|  | KANSAS CITY METRO CHAPTER |
| CURB INLET PROTECTION | STANDARD DRAWING NUMBER ESC-06 ADOPTED: 10/24/2016 |

Modified from 2015 Overland Park Standard Details for Erosion and Sediment Control.

Drawings and/or Specifications are original proprietary work and property of the Engineer and intended specifically for this project. Use of items contained herein without consent of the Engineer is prohibited. Drawings illustrate best information available to the Engineer. Field verification of actual elements, conditions, and dimensions is required.



Revisions

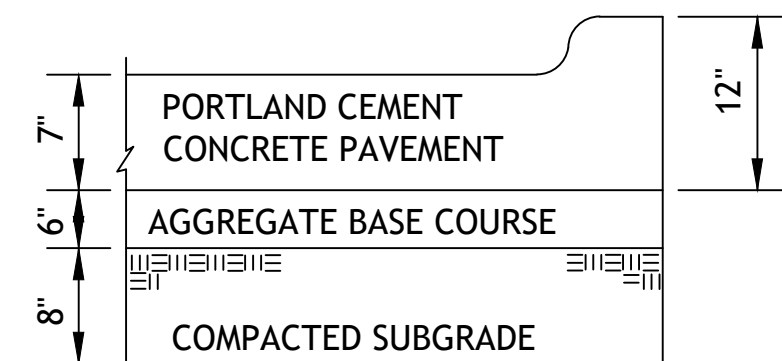
STREETS OF W. PRYOR
LOT 2
LEES SUMMITT, MO.

s h e e t

C9.0

Civil
EROSION DETAILS

permit
11 JANUARY 2021



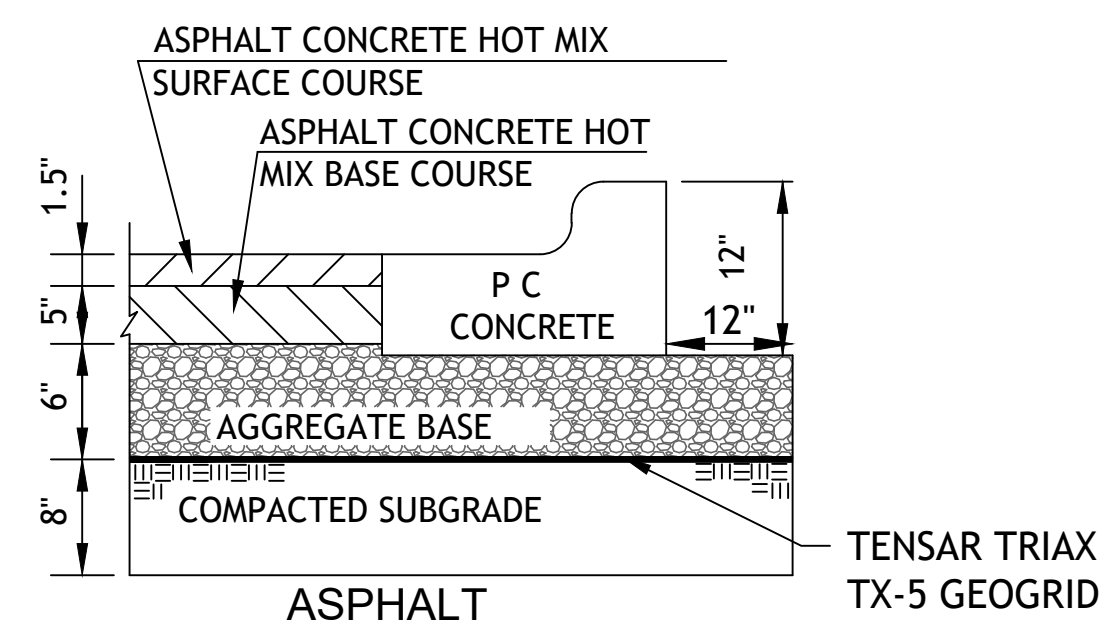
HEAVY DUTY CONCRETE

ASPHALT SURFACE COURSE - APWA TYPE 3-01
ASPHALT BASE COURSE - APWA TYPE 2-01
AGGREGATE BASE MoDOT TYPE 5 OR EQUIVALENT

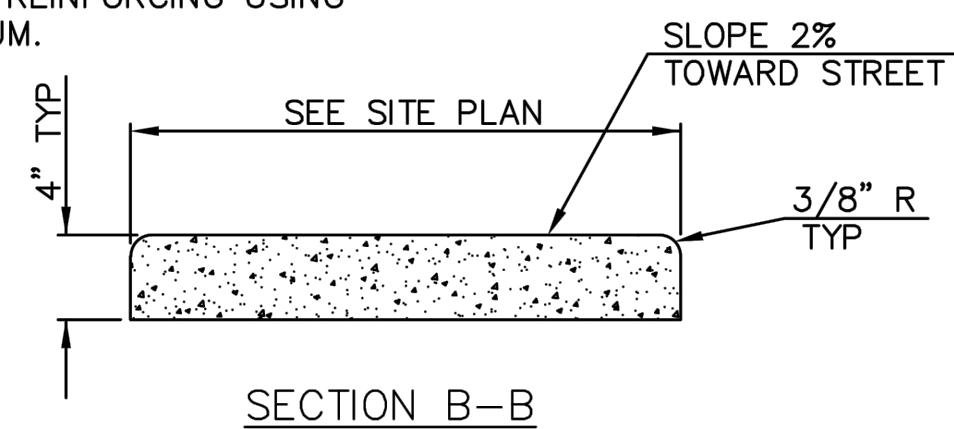
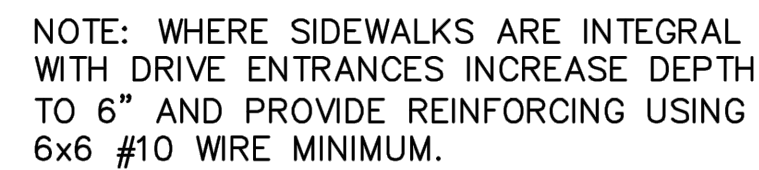
A cross-sectional diagram of a pavement structure. It shows three distinct layers stacked vertically. The top layer is labeled 'PORTLAND CEMENT CONCRETE PAVEMENT' and has a thickness of 6 inches, indicated by a vertical double-headed arrow. The middle layer is labeled 'AGGREGATE BASE COURSE' and also has a thickness of 6 inches, indicated by another vertical double-headed arrow. The bottom layer is labeled 'COMPACTED SUBGRADE' and has a thickness of 8 inches, indicated by a third vertical double-headed arrow. The layers are separated by horizontal lines, and the entire structure is shown in a perspective view with a vertical centerline.

TRAIL PAVING

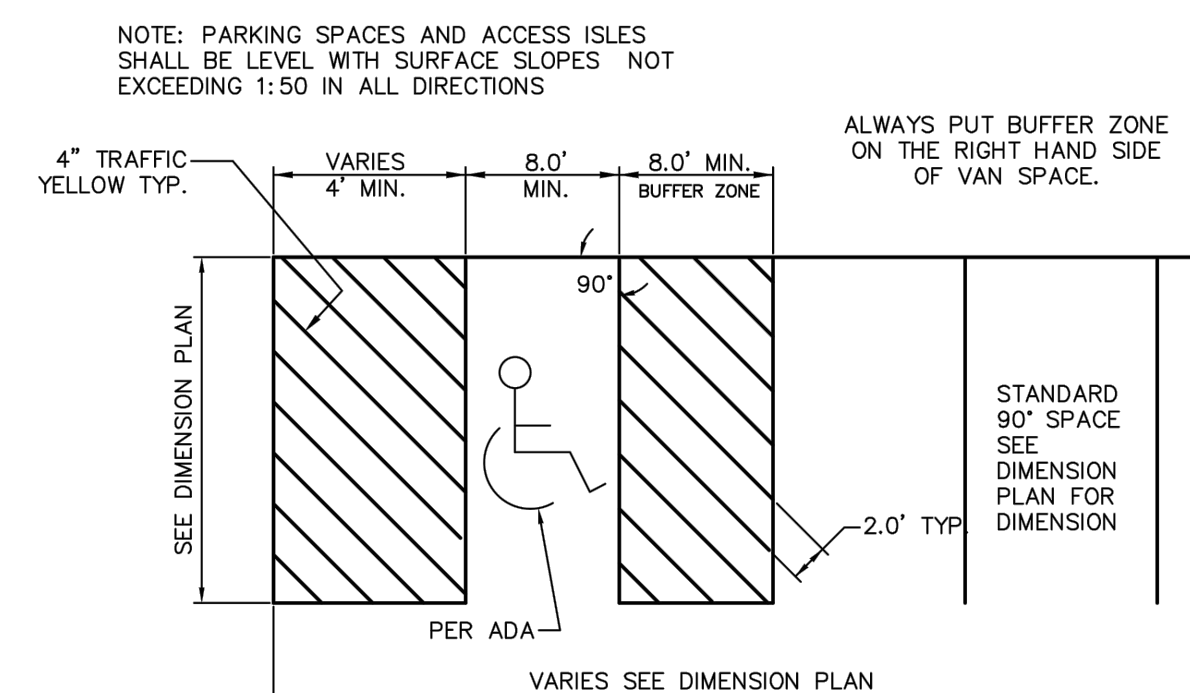
TP



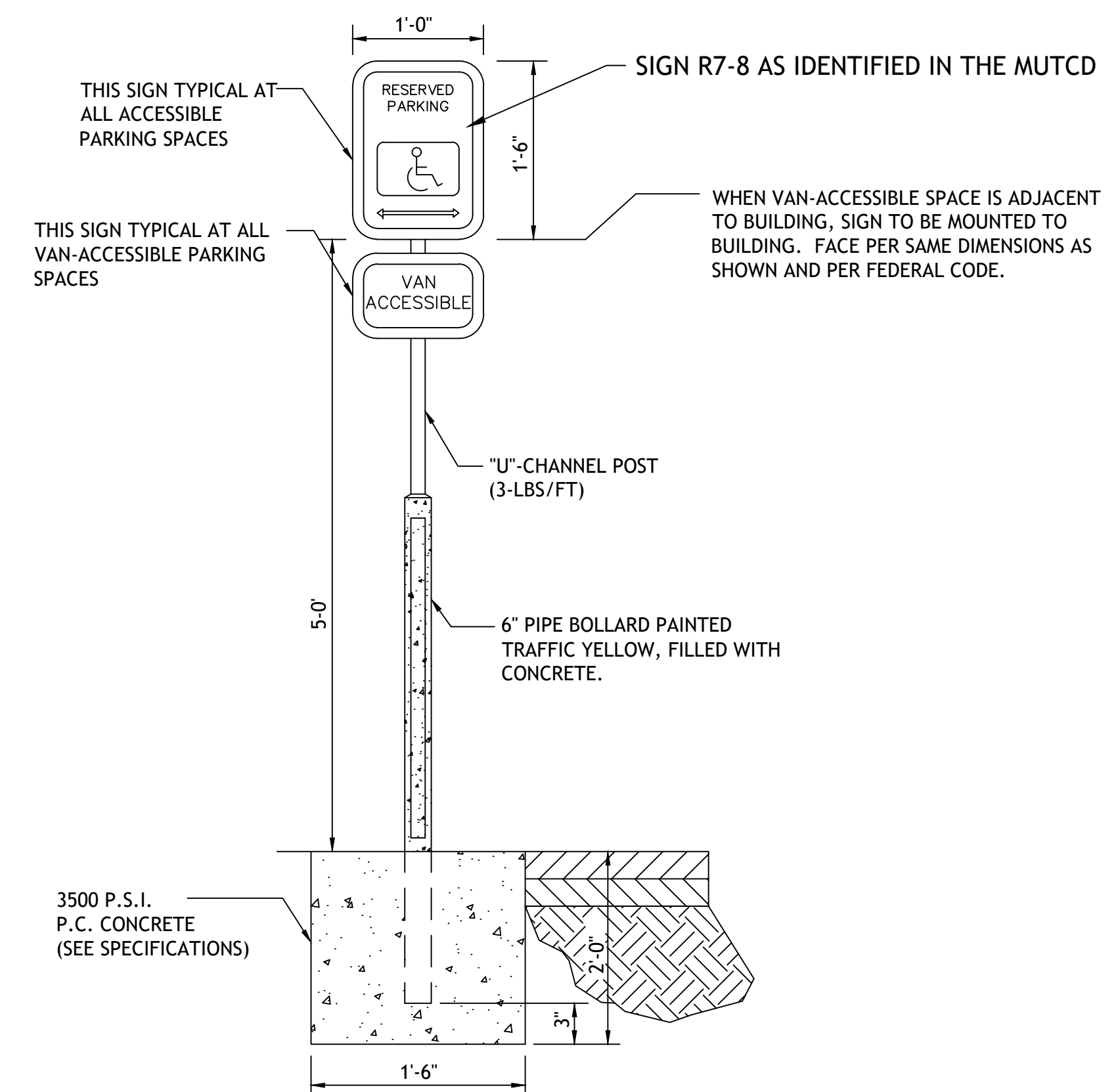
HEAVY DUTY ASPHALT PAVING



CONCRETE SIDEWALK CW2
CONCRETE SHALL BE CLASS A WITH $f'_c = 3000$ PSI.



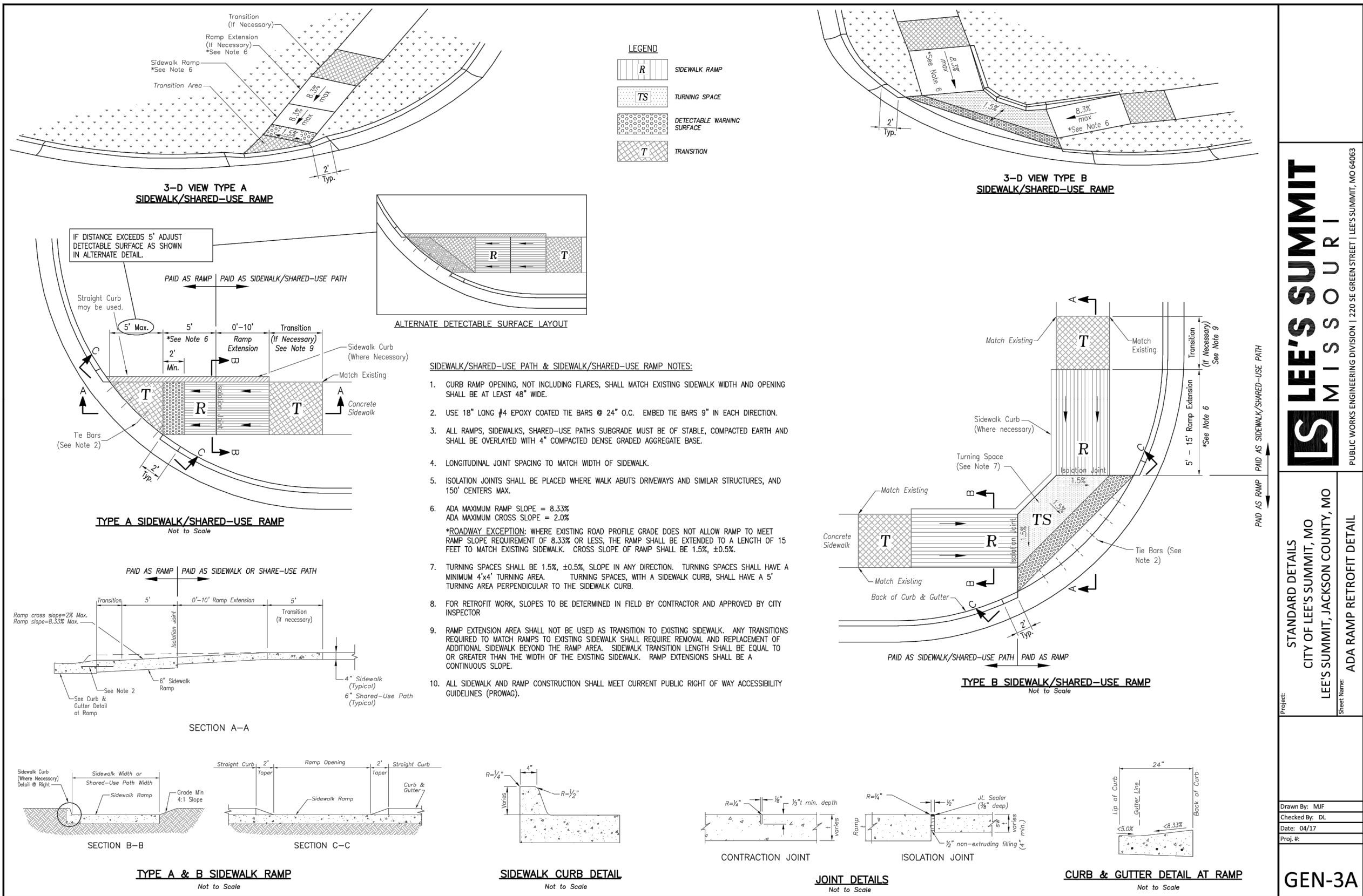
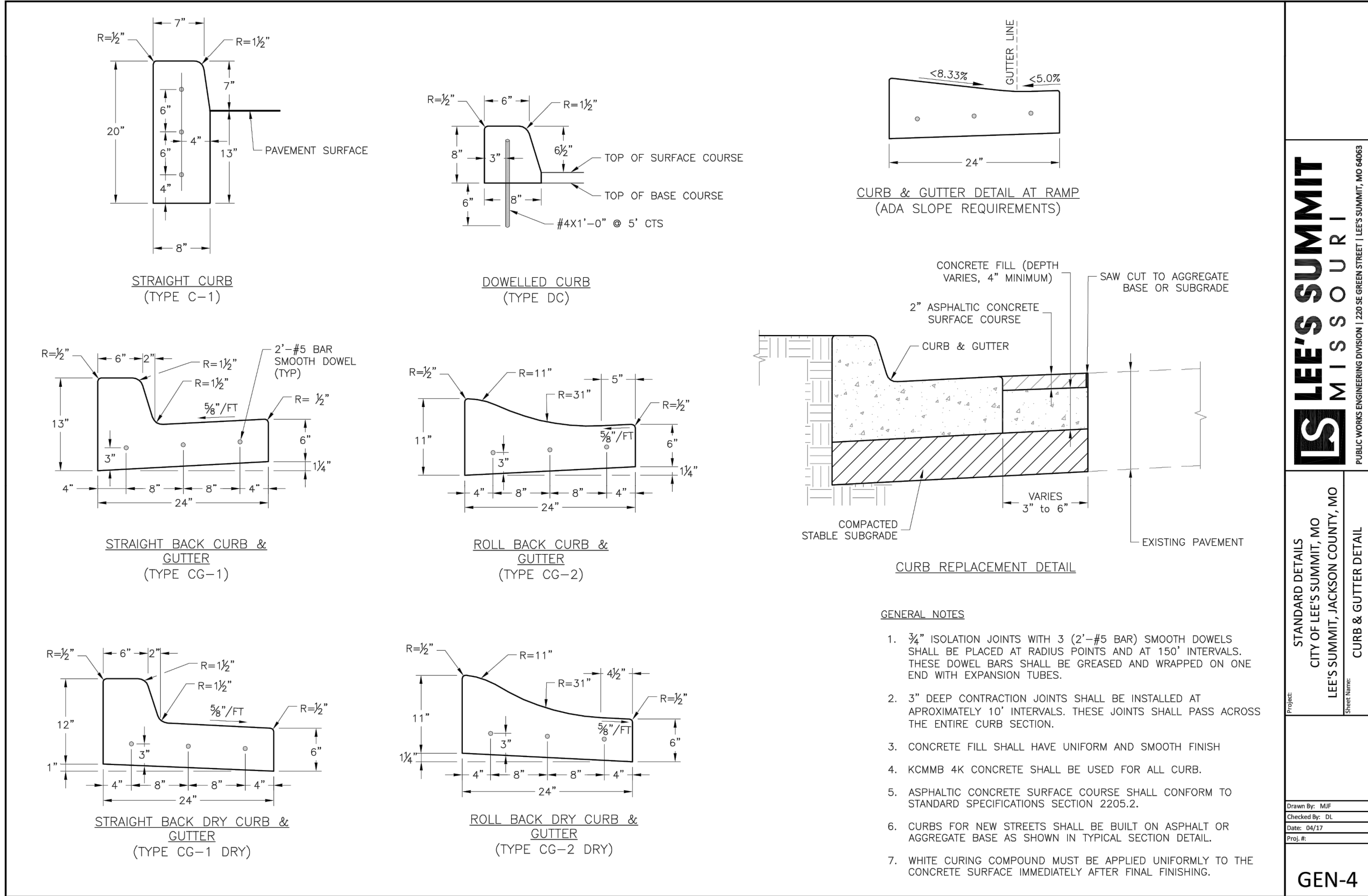
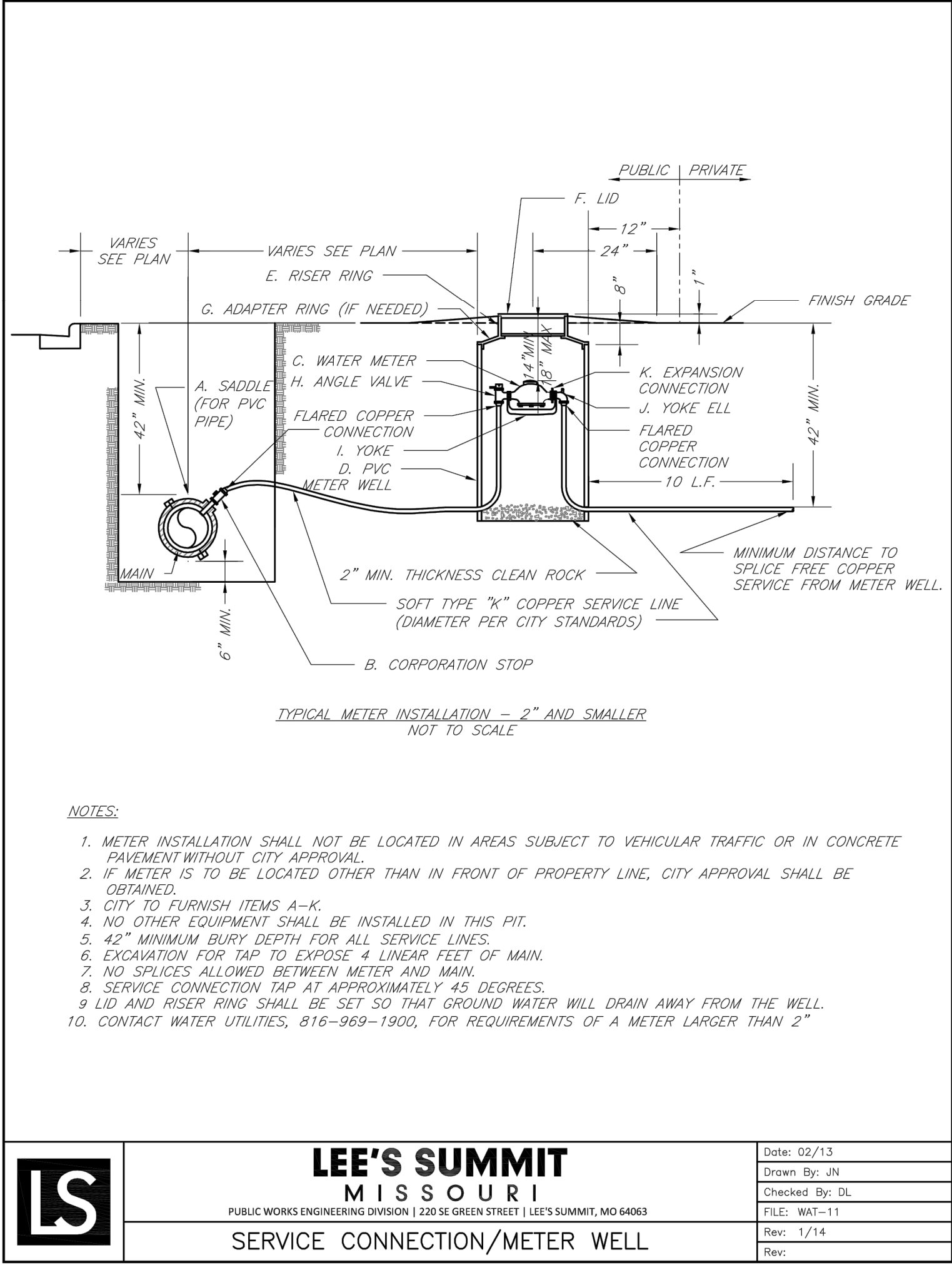
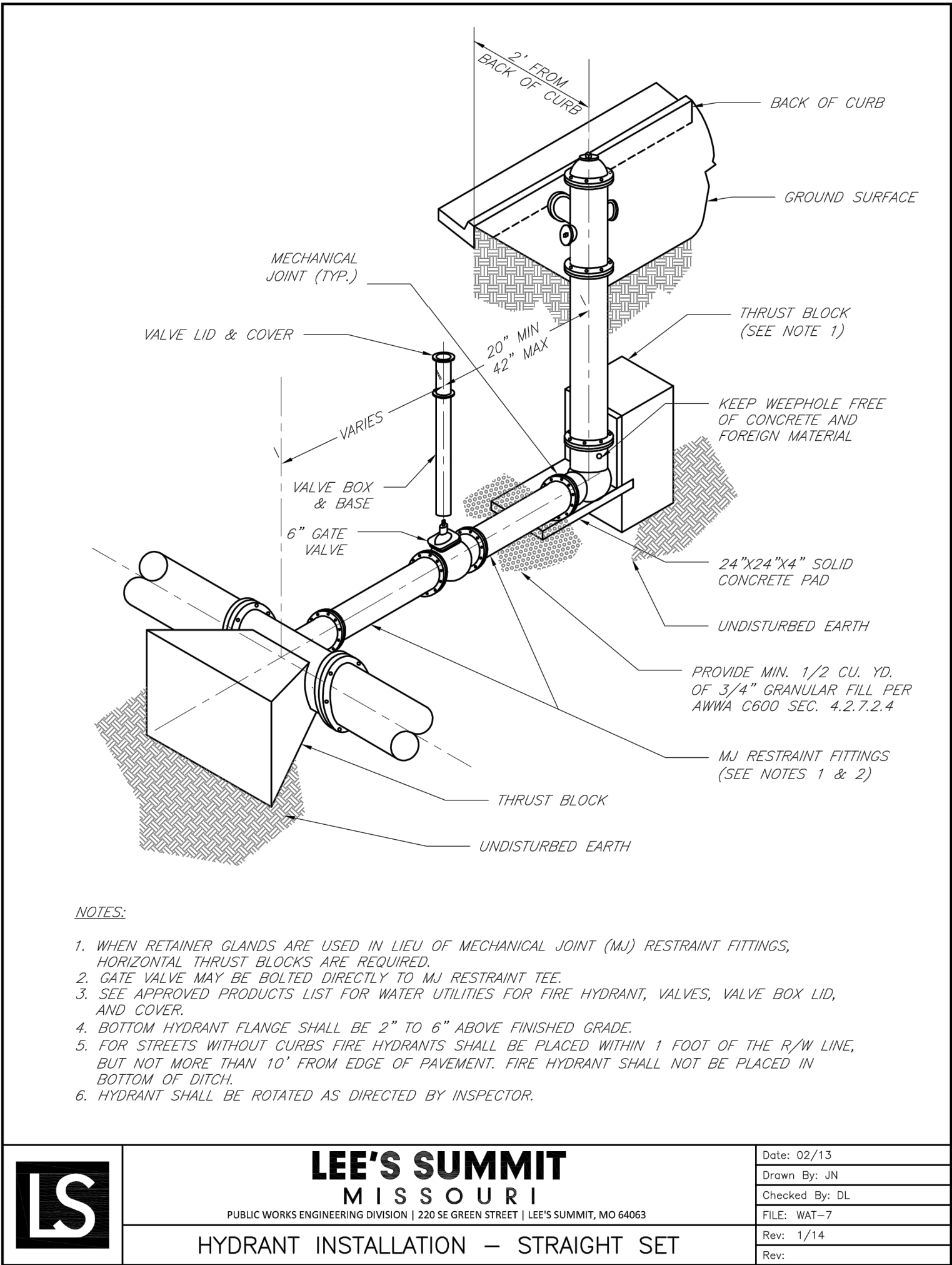
90° ACCESSIBLE &
VAN ACCESSIBLE SPACE STRIPING



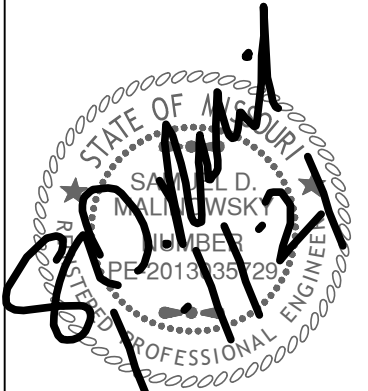
ACCESSIBLE PARKING SIGN

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STREETS OF W. PRYOR
LOT 2
LEE'S SUMMIT, MO.

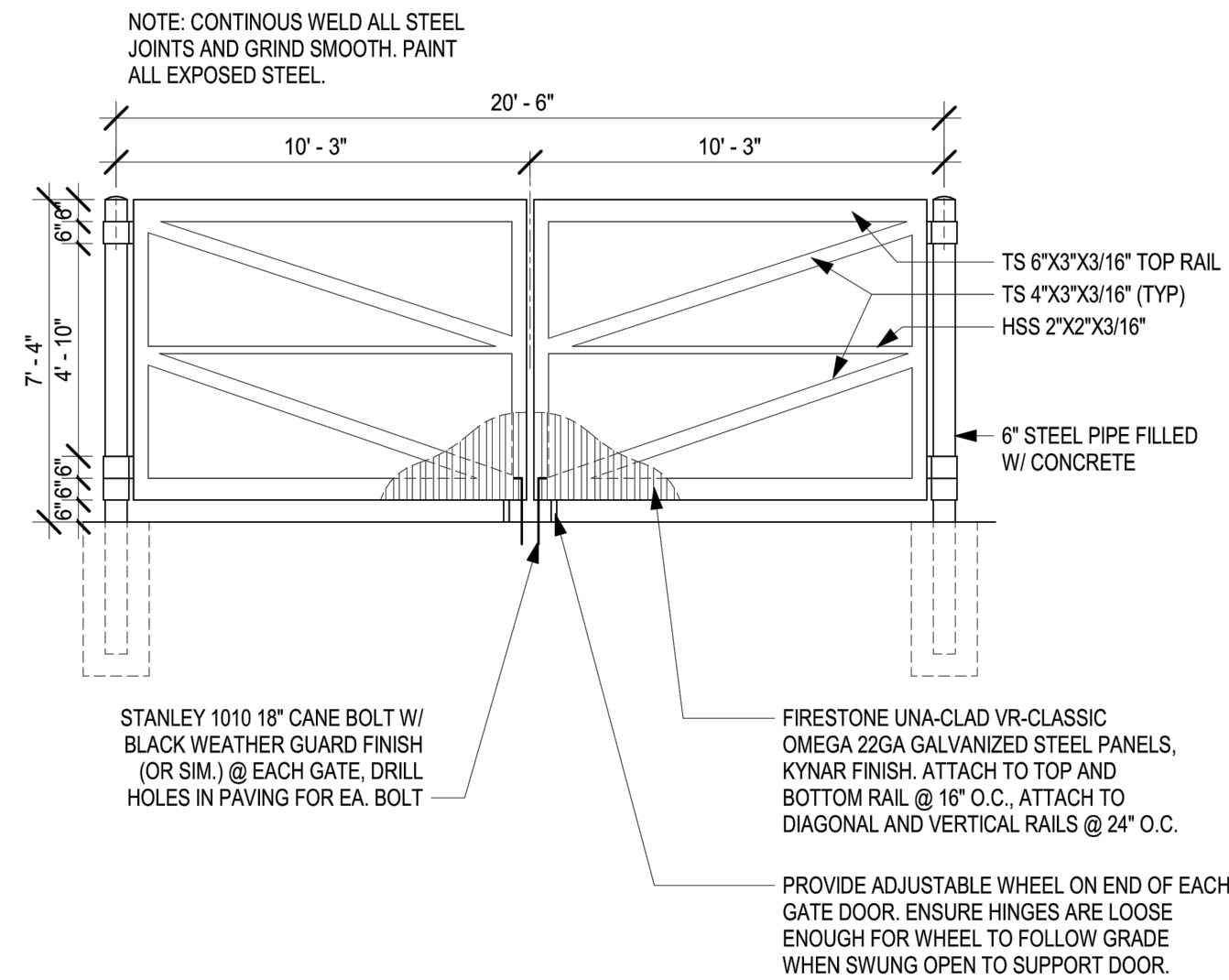


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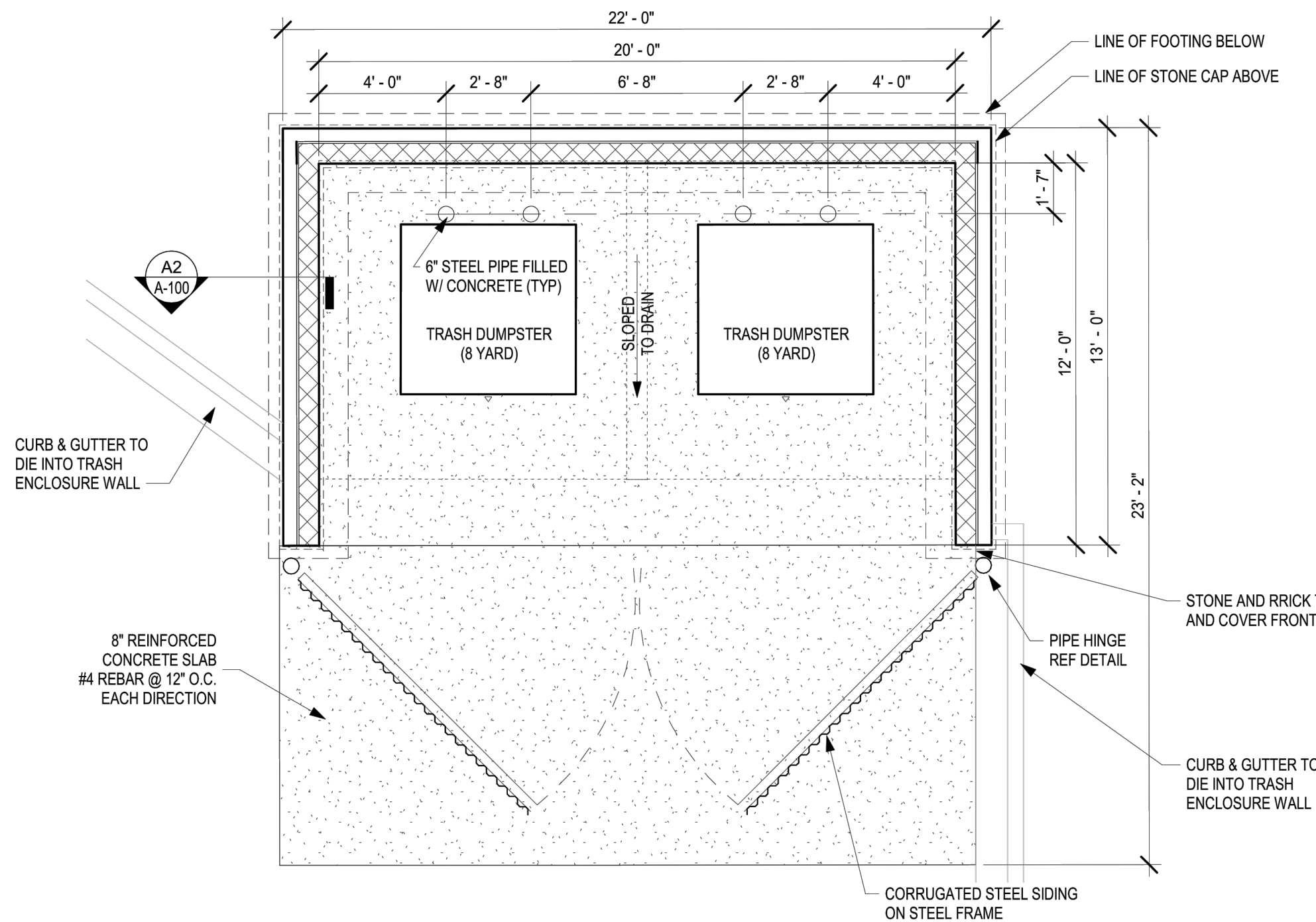


Revisions

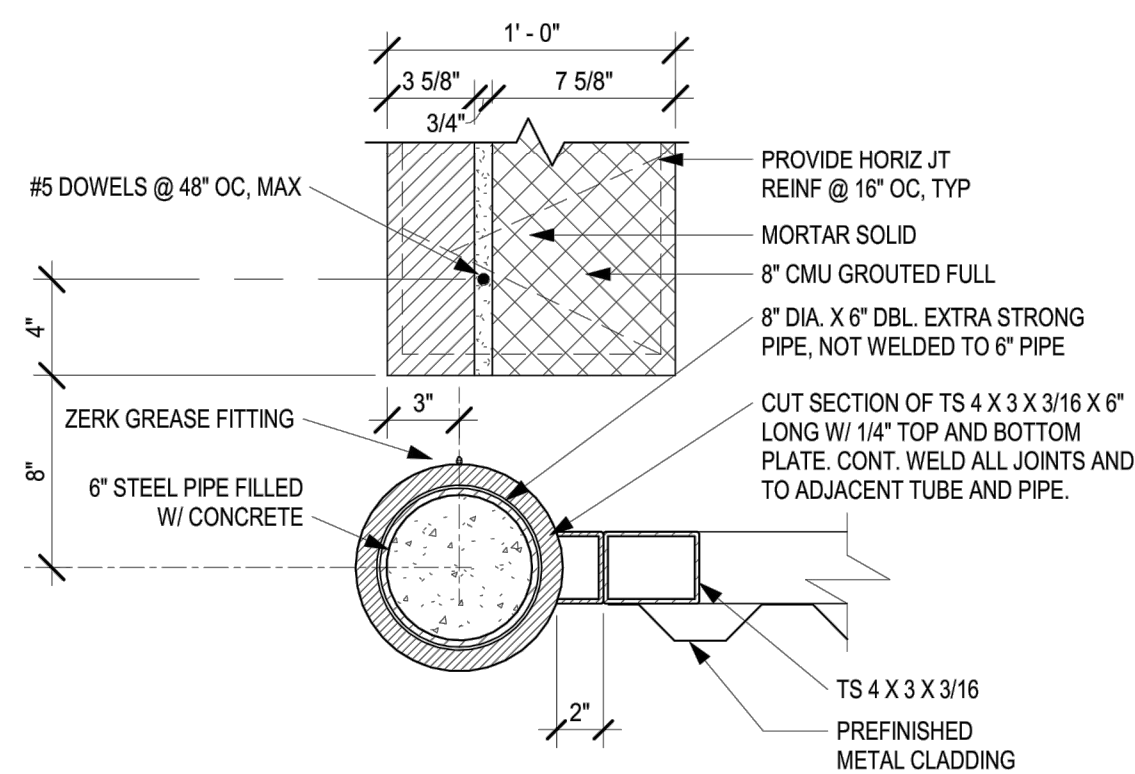
STREETS OF W. PRYOR
LOT 2
LEES SUMMITT, MO.



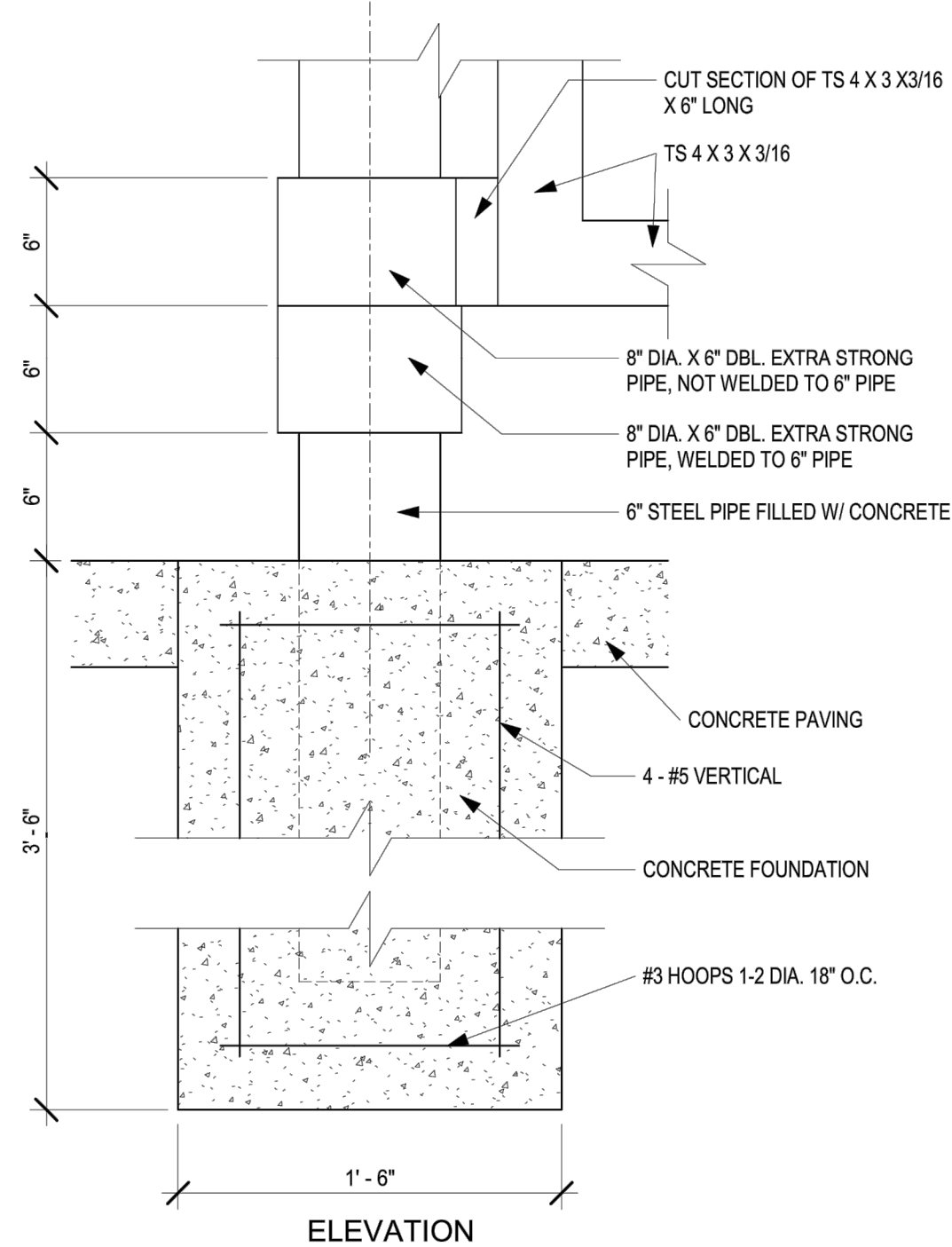
C1 TRASH ENCLOSURE GATE ELEVATION
SCALE: 1/4" = 1'-0"



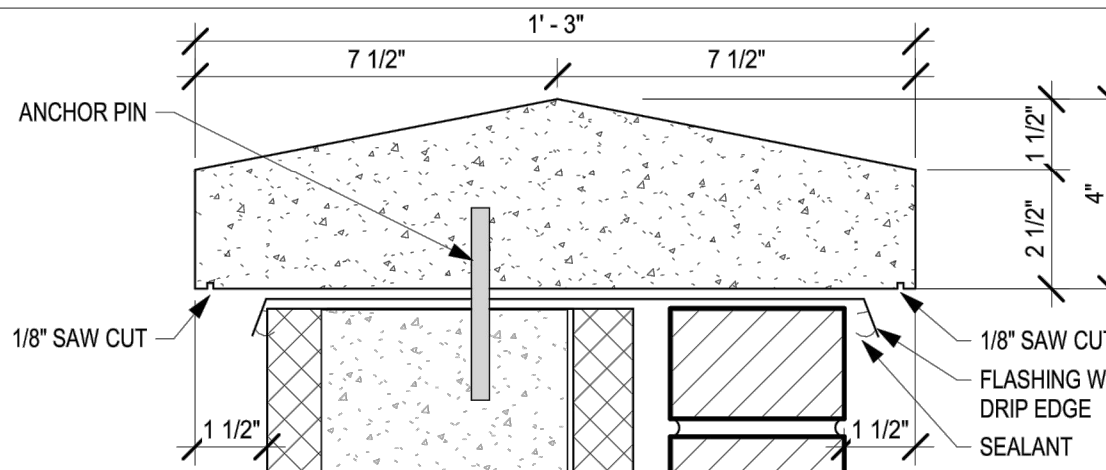
TRASH ENCLOSURE



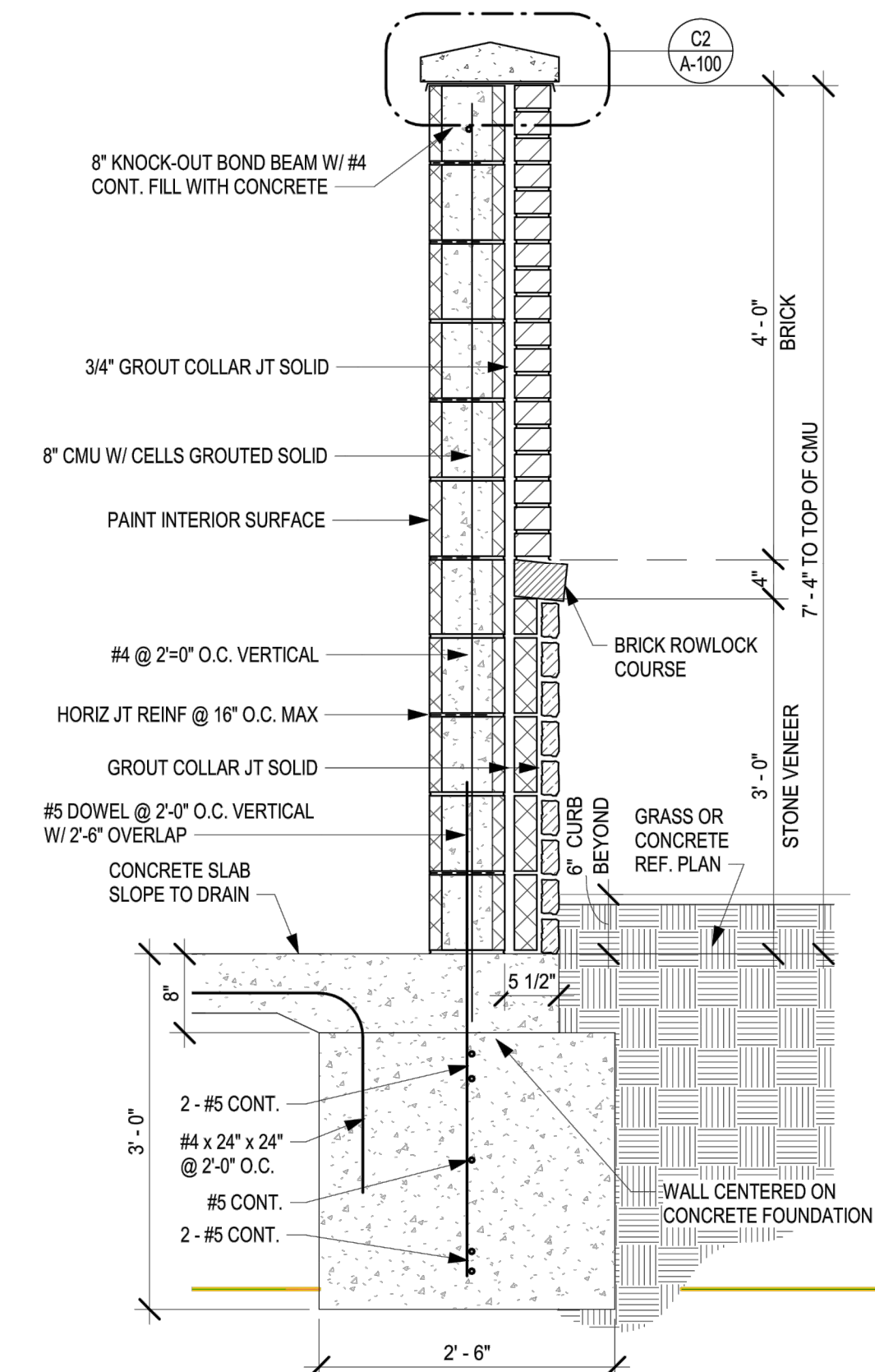
PLAN SECTION



A1 ENCLOSURE GATE HINGE DETAIL
SCALE: 1 1/2" = 1'-0"

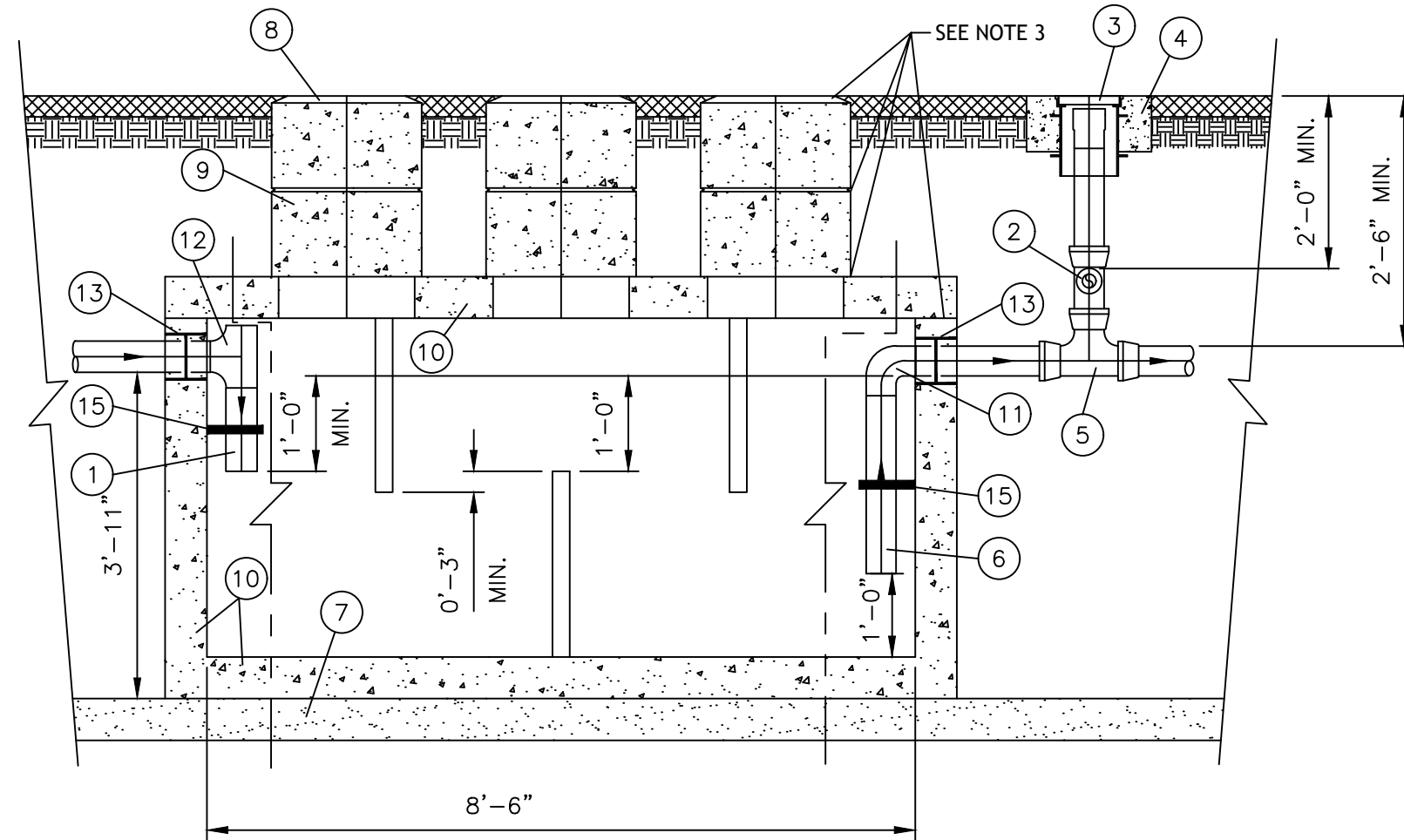
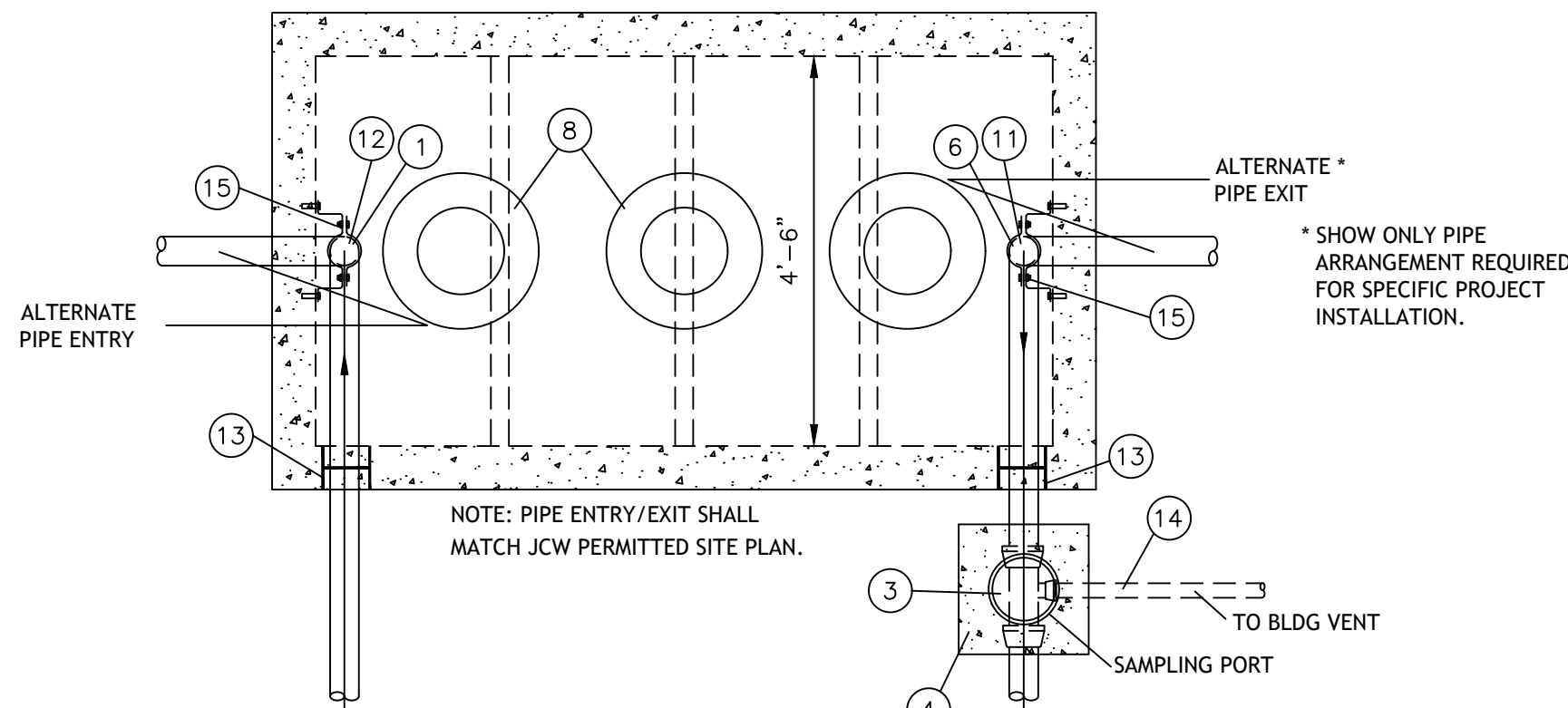


C2 TRASH ENCLOSURE CAP DETAIL
SCALE: 3" = 1'-0"



A2 TRASH ENCLOSURE WALL SECTION
SCALE: 3/4" = 1'-0"

NOTES:
BRICK- YANKEE HILL DARK IRON SPOT
MORTAR- SPEC MIX SM770 (SUBMIT TO OWNER FOR APPROVAL)
STONE- GLEN GEARY GLENN RIDGE BLACK/GRANITE



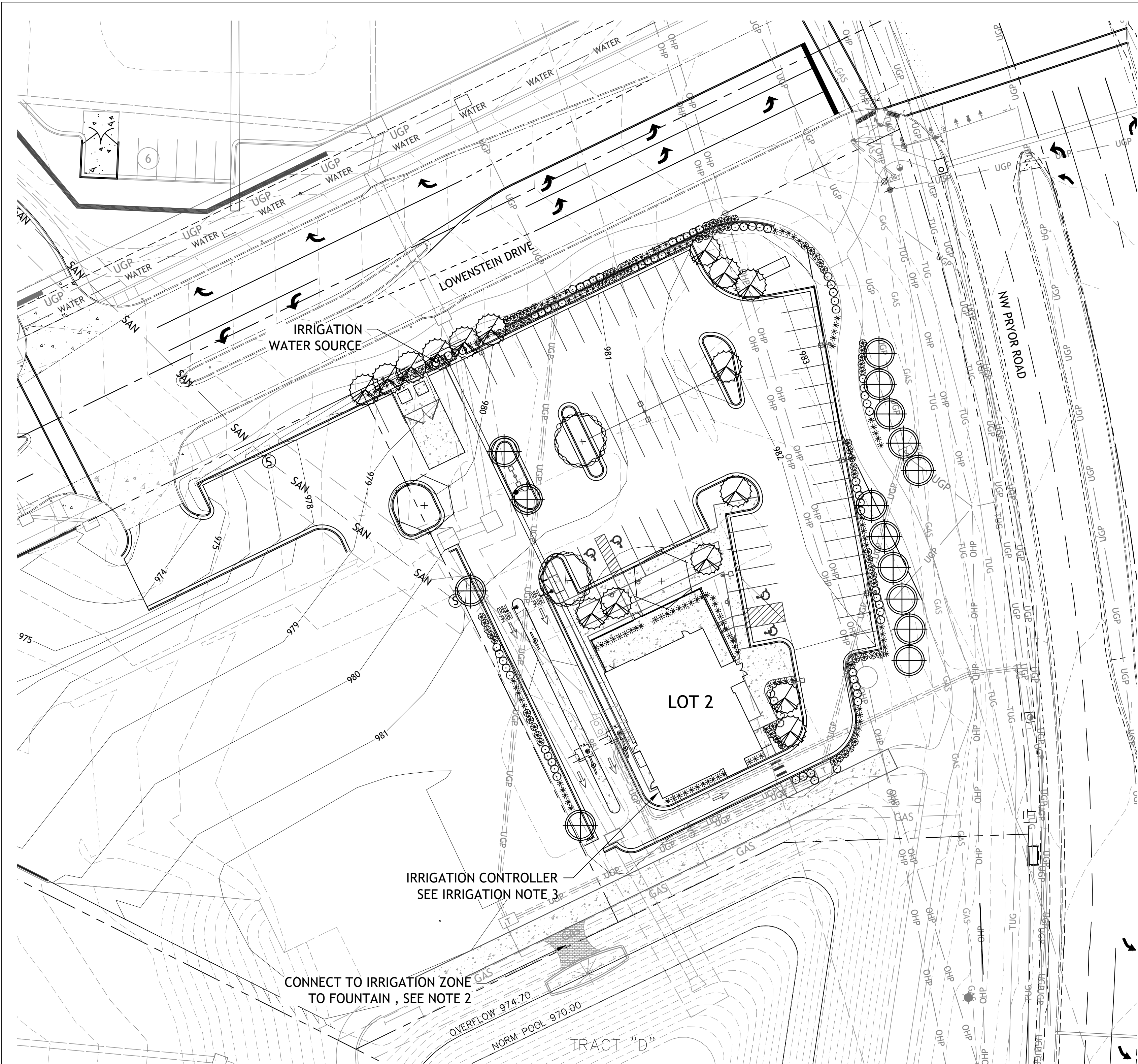
GREASE INTERCEPTOR

GI

| ITEM | DESCRIPTION |
|------|--|
| 1 | 4" ABS INLET PIPE* |
| 2 | 4"x4"x2" TEE WITH 2" PIPE TO BUILDING VENT* |
| 3 | THREADED C/O CAP JOSAM 58860 OR APP EQUAL** |
| 4 | CONCRETE PAD |
| 5 | 4"x4"x4" TWO-WAY CLEANOUT TEE* |
| 6 | 4" ABS OUTLET* |
| 7 | 4' - 6" GRAVEL BEDDING |
| 8 | HEAVY-DUTY CAST IRON FRAME AND COVER *** |
| 9 | CONCRETE ADJUSTMENT RINGS |
| 10 | REINFORCE AS REQUIRED FOR SERVICE CONDITIONS |
| 11 | 4" ABS 90° ELBOW* |
| 12 | 4" ABS TEE* |
| 13 | A-LOK OR PRESS SEAL PSX PIPE/WALL CONNECTOR |
| 14 | 2" VENT PIPE (IDENTIFY PIPE TYPE, CLASS & JOINT AS REQUIRED FOR PROJECT) |
| 15 | STAINLESS STEEL PIPE SUPPORT CLAMP **** |

* 6" PIPE MAY BE SUBSTITUTED TO MATCH UPSTREAM PIPE DIAMETER.
** REFER TO CLEAN OUT DETAIL(S) ON STANDARD DETAIL SHEET.
*** CLAY & BAILEY 2008 BV OR EQUAL (FROST PROOF COVERS OPTIONAL)
****FM STAINLESS FASTENERS #63 OR EQUAL. 1/2"x2-1/2" SS BRACKET W/ 1/2"x1-1/2" FULLY THREADED SS HEX BOLT WITH 1/2" SS WASHER AND 1/2"x1-3/4" SS ANCHORS. CLAMP TO BE FACTORY INSTALLED.

NOTES:
1. THREE COVERS AND RISERS SHOWN. TWO COVERS AND RISERS CENTERED OVER UPPER TWO BAFFLES ARE OPTIONAL.
2. INTERCEPTOR SIZE - 1000 GAL MINIMUM (REVISE THE SIZE DIMENSIONS, AS NEEDED, FOR LARGER CAPACITY INTERCEPTORS)
3. ALL JOINTS AT THE FRAME & COVER, CONCRETE ADJUSTMENT RINGS AND THE LID OF THE INTERCEPTOR SHALL BE SEALED WITH A MINIMUM OF TWO (2) ROWS OF 3/4 TO 1 INCH PREFORMED BUTYL JOINT SEALER AND A 6" BUTYL JOINT WRAP AROUND SLEEVE (EZ WRAP). THE ENDS OF THE 6" EZ WRAP SHALL OVERLAP BY 12".
4. PIPING ON THE INTERIOR OF THE INTERCEPTOR SHALL BE ABS WITH SOLVENT-CEMENTED JOINTS.
5. GREASE INTERCEPTOR INCLUDING ADJUSTMENT RINGS AND CASTINGS SHALL BE VACUUM TESTED FOR WATER TIGHTNESS AFTER THE BACKFILL OPERATIONS HAVE BEEN COMPLETED IN ACCORDANCE WITH JCW TECHNICAL SPECIFICATIONS. A VACUUM OF 10 INCHES OF MERCURY SHALL BE DRAWN AND WITH THE VACUUM PUMP SHUT OFF THE MERCURY SHALL NOT DROP BELOW 9 INCHES WITHIN 1 MINUTE OR BELOW 5 INCHES WITHIN 5 MINUTES.



LOT 2 SITE DATA:

| | |
|---------------------------|------|
| LOWENSTEIN | 277' |
| REQUIRED: | |
| STREET TREES 1/30' | = 9 |
| PARKING LOT SHRUBS 12/40' | = 83 |

| | |
|-------------|------|
| PROVIDED: | |
| SHADE TREES | = 0 |
| ORNAMENTALS | = 9 |
| SHRUBS | = 83 |

| | |
|---------------------------|-------|
| PRYOR ROAD | 333' |
| REQUIRED: | |
| STREET TREES 1/30' | = 11 |
| PARKING LOT SHRUBS 12/40' | = 100 |

| | |
|-------------|----------------------------|
| PROVIDED: | |
| SHADE TREES | = 0 (OVERHEAD POWER LINES) |
| ORNAMENTALS | = 11 |
| SHRUBS | = 100 |

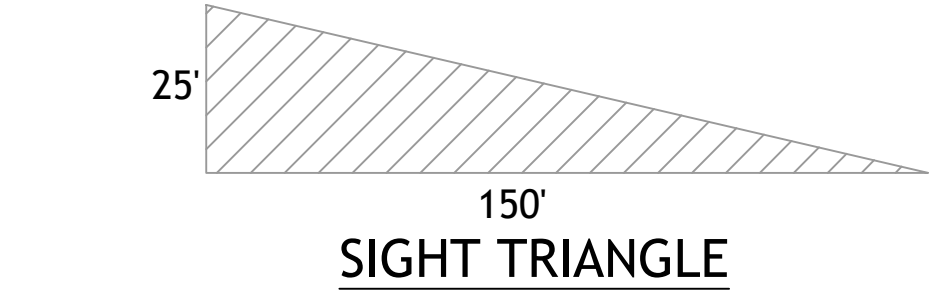
| | |
|-------------------------|------------|
| INTERIOR PARKING | |
| TOTAL PARKING SURFACE = | 31,269 sf |
| REQUIRED | |
| 5% LANDSCAPE AREA | = 1,563 sf |
| PROVIDED | = 1,585 sf |

| | |
|------------------|-------------------|
| OPEN SPACE TREES | |
| TOTAL SITE | 1.63ac (71,216sf) |
| BUILDING AREA | 3,200sf |
| OPEN SPACE | 68,016sf |

| | |
|-------------|------|
| REQUIRED | |
| 1 / 5,000sf | = 14 |

| | |
|-------------|------|
| PROVIDED | |
| SHADE TREES | = 4 |
| ORNAMENTALS | = 11 |

| | |
|-------------------|------|
| OPEN SPACE SHRUBS | |
| REQUIRED | |
| 2 / 5,000sf | = 27 |
| PROVIDED | = 88 |



LANDSCAPE NOTES
CONTRACTOR REQUIRED TO LOCATE ALL UTILITIES BEFORE INSTALLATION TO BEGIN.

Contractor shall verify all landscape material quantities and shall report any discrepancies to the Landscape Architect prior to installation.

No plant material substitutions are allowed without Landscape Architect or Owners approval.

Contractor shall guarantee all landscape work and plant material for a period of one year from date of acceptance of the work by the Owner. Any plant material which dies during the one year guarantee period shall be replaced by the contractor during normal planting seasons.

Contractor shall be responsible for maintenance of the plants until completion of the job and acceptance by the Owner.

All plant material shall be specimen quality stock as determined in the "American Standards For Nursery Stock" published by The American Association of Nurseryman, free of plant diseases and pest, of typical growth of the species and having a healthy, normal root system.

Sizes indicated on the plant list are the minimum, acceptable size. In no case will sizes less than specified be accepted.

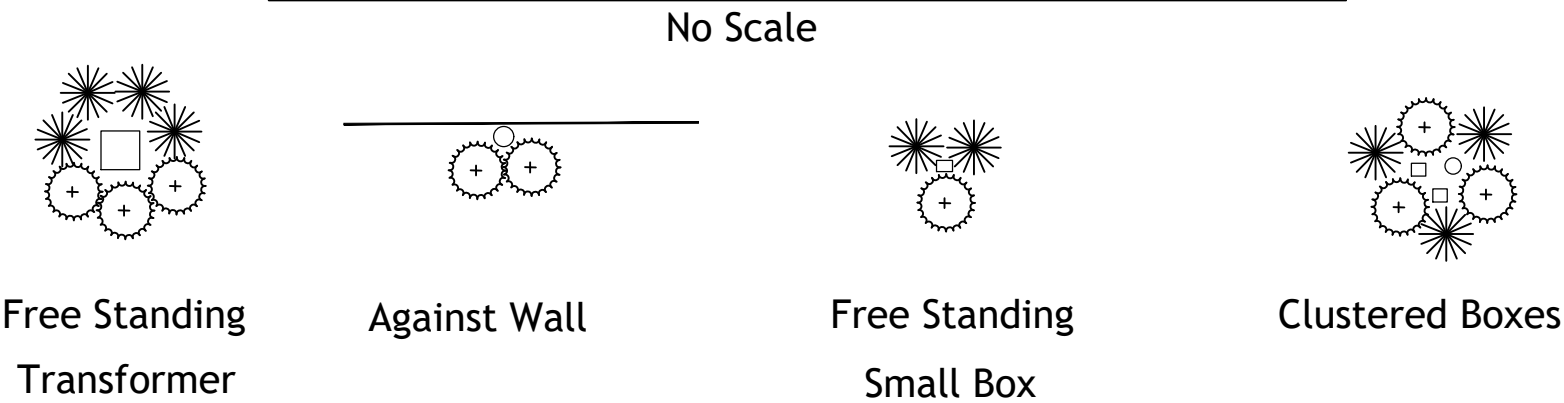
All shrub beds within lawn areas to receive a manicured edge.

All shrub beds shall be mulched with 3" of shredded cedar mulch.

All areas to be fertilized & sodded with a Turf-Type-Tall Fescue seed blend.

- IRRIGATION NOTE
- Successful landscape contractor shall be responsible for design that complies with minimum irrigation requirements, and installation of an irrigation system. Irrigation system to be approved by the owner before starting any installation.
 - Irrigation system shall provide a constant on on zone for fountain
 - Irrigation controller to be mounted on outside wall of building. Provide temporary support prior to building construction.

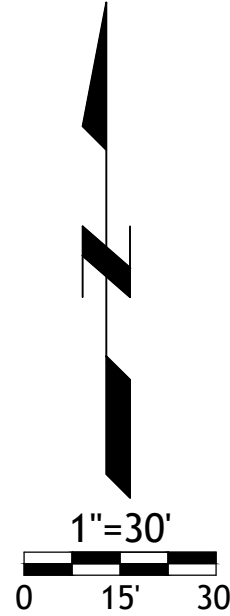
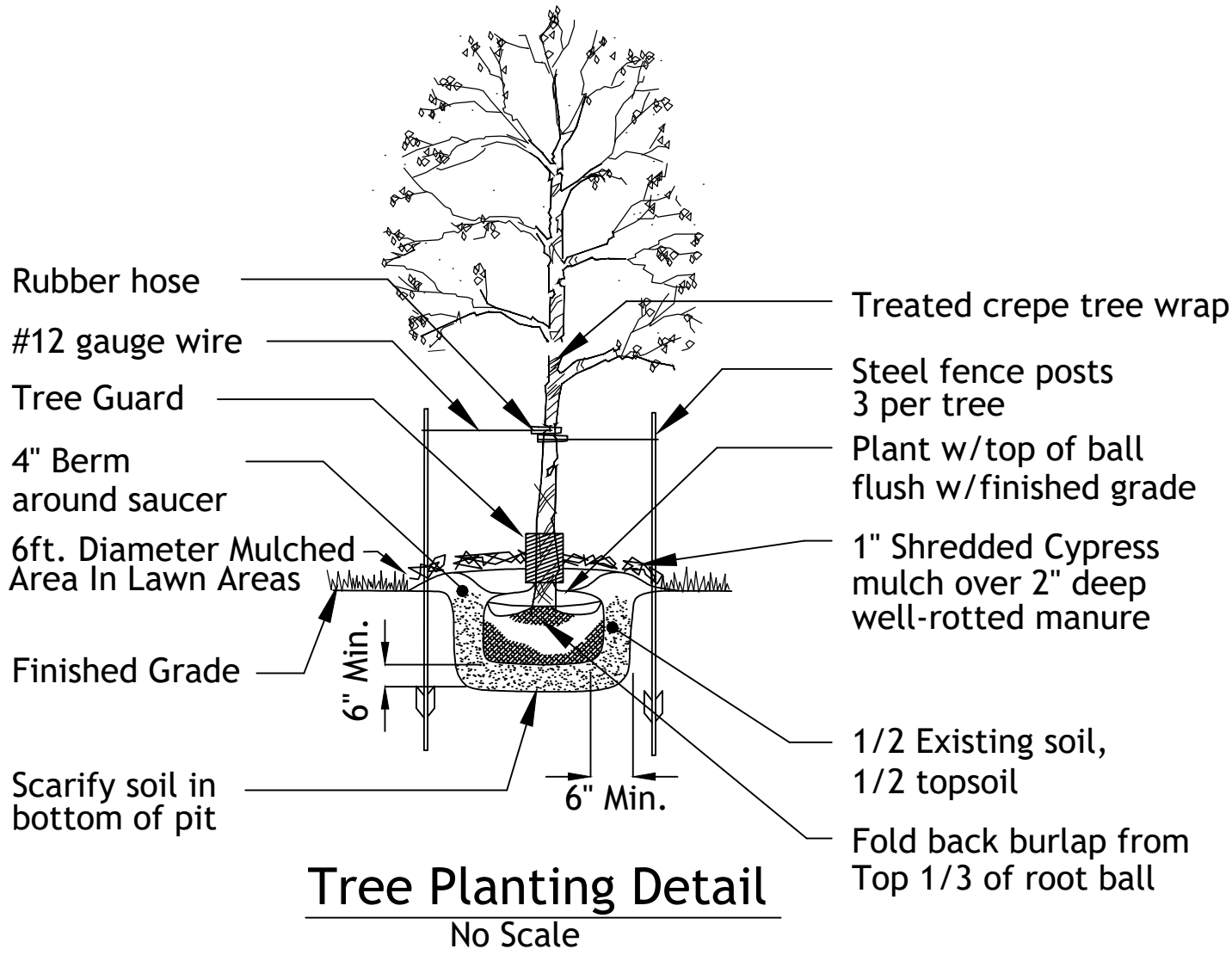
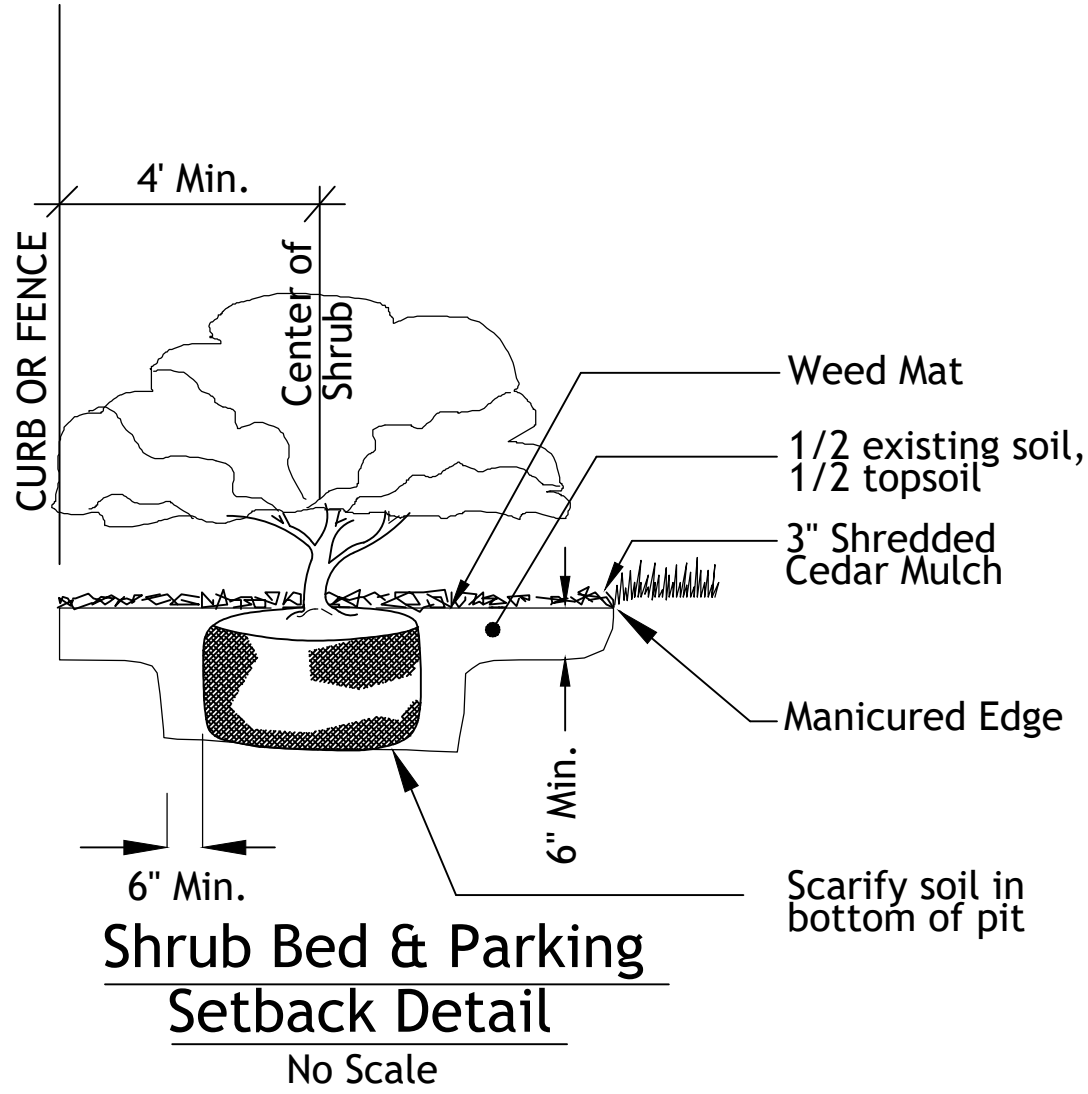
Typical Utility Box Screening Details



UTILITY BOXES SHALL BE CLUSTERED AS MUCH AS POSSIBLE

| Shrub List | | | | | | |
|------------|----------|----------------------------|-------------------------------------|------------|-----------|---------|
| Symbol | Quantity | Common Name | Botanical Name | Size | Condition | Spacing |
| | 75 | Seagreen Juniper | Juniperus Chinensis 'Seagreen' | 18"-24"sp. | Cont. | 4'o.c. |
| | 80 | Dwarf Winged Euonymus | Euonymus Alatus 'Compactus' | 18"-24"sp. | Cont. | 4'o.c. |
| | 118 | Morning Light Maiden Grass | Miscanthos Sinensis 'Morning Light' | 18"-24"sp. | Cont. | 4'o.c. |

| Tree List | | | | | | |
|-----------|----------|---------------------|---------------------------------|--------|-----------|----------|
| Symbol | Quantity | Common Name | Botanical Name | Size | Condition | Spacing |
| | 2 | October Glory Maple | Acer Rubrum 'October Glory' | 3" cal | BB | As Shown |
| | 2 | Skyline Honeylocust | Gleditsia Triacanthos 'Skyline' | 3" cal | BB | As Shown |
| | 16 | Golden Raintree | Koelreuteria Paniculata | 3"cal | BB | As Shown |
| | 15 | Golden Raintree | Koelreuteria Paniculata | 3"cal | BB | As Shown |

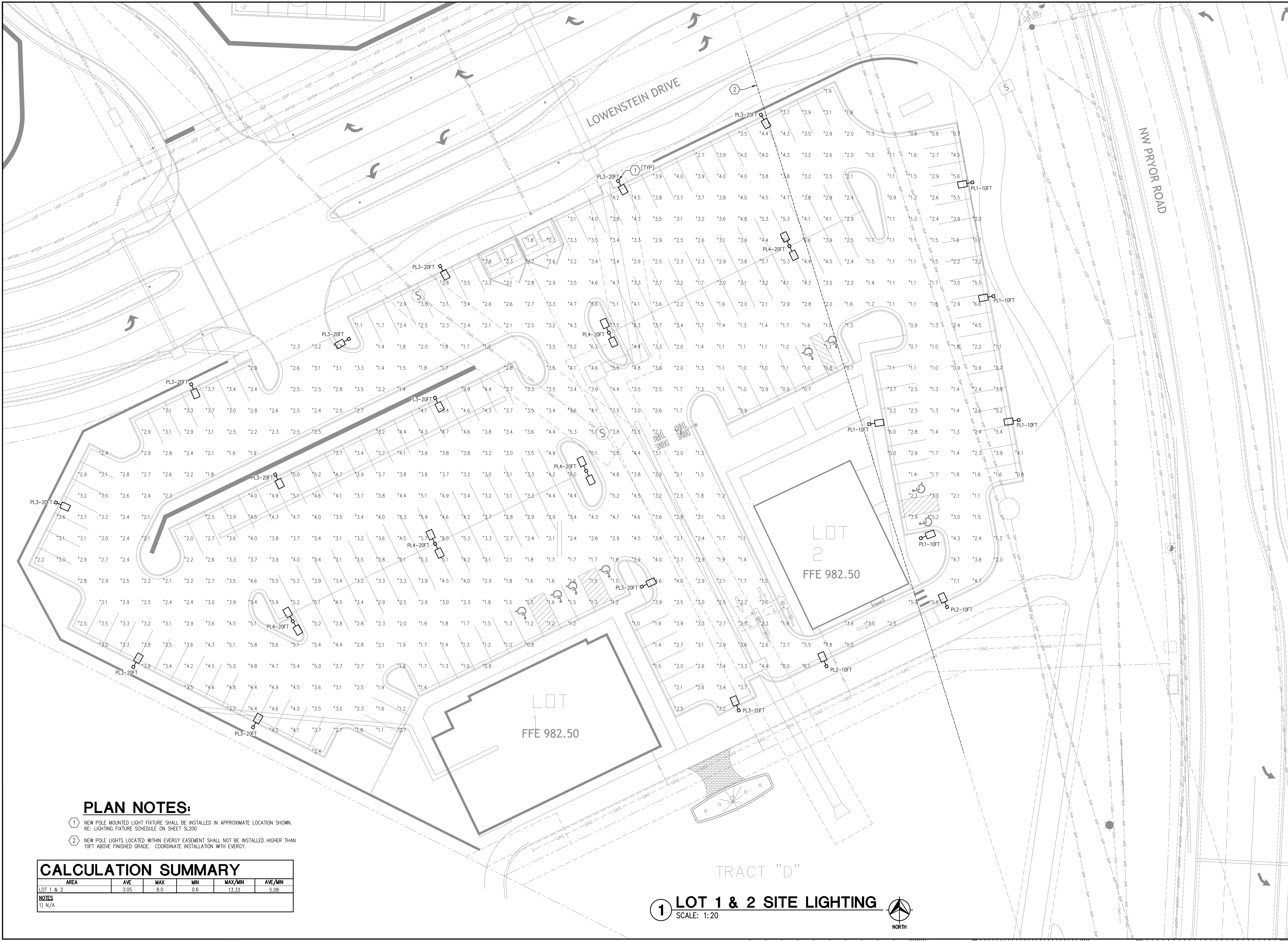


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Revisions

STREETS OF W. PRYOR
LOT 2
LEES SUMMITT, MO.



- PLAN NOTES:**
- 1 NEW POLE MOUNTED LIGHT FIXTURE SHALL BE INSTALLED IN APPROXIMATE LOCATION SHOWN. RE: LIGHTING FIXTURE SCHEDULE ON SHEET SL200
 - 2 NEW POLE LIGHTS LOCATED WITHIN EASEMENT SHALL NOT BE INSTALLED HIGHER THAN 10FT ABOVE FINISHED GRADE. COORDINATE INSTALLATION WITH EASEMENT.

| CALCULATION SUMMARY | | | | | |
|---------------------|------|-----|-----|---------|---------|
| AREA | AVE | MAX | MIN | MAX/MIN | AVE/MIN |
| LOT 1 & 2 | 3.05 | 8.0 | 0.6 | 13.33 | 5.08 |
| NOTES | | | | | |
| 1) N/A | | | | | |

1 LOT 1 & 2 SITE LIGHTING

SCALE: 1:20



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SUMMIT AT WEST PRYOR
LOT 1 & 2 SITE LIGHTING

LEE'S SUMMIT, MO
JACKSON COUNTY

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SEAL

| REV | DESCRIPTION | DATE |
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| ISSUE DATE: | 09/24/2020 |
| REASON FOR ISSUE: | PERMIT |
| PROJECT NUMBER: | 20-6828-0 |
| PROJECT PHASE: | CD |
| DRAWN BY: | AWN |
| CHECKED BY: | CLB |

SHEET TITLE:

PHOTOMETRIC PLAN

SHEET NUMBER:

SL101

