



Office: 913.894.5150
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Address: 14700 West 114th Terrace
Lenexa, KS 66215

January 12, 2021

C20D0691

Mr. Kyle Gorrell
Lee's Summit School District
302 SE Transport Road
Lee's Summit, Missouri 64081

**RE: STORM WATER MANGEMENT
LEE'S SUMMIT WEST HIGH SCHOOL ATHLETICS PROJECT
LEE'S SUMMIT, MISSOURI
ADDENDUM #1**

Dear Mr. Gorrell:

Kaw Valley Engineering, Inc. has completed a review of the stormwater management implications associated with the construction of the Athletic Improvements at the Lee's Summit West (LSWHS) Stadium in Lee's Summit, Missouri.

As part of this project, KVE is proposing that all building roof drains are collected in downspout collectors and piped to the adjacent lawn areas. Each roof drain discharge pipe is proposed to be capped with a pop-up emitter to reduce the potential for erosion. The pop-up emitter will be set on an open bottom drainage basin installed on an aggregate base to permit excess water in the system to drain into the surrounding soil. One PVC drain basin is planned to be constructed north of the concession/restroom building to drain a low spot created by the regrading proposed for this project. Runoff collected in this basin will be routed to an existing Junction Box. The overall drainage patterns around the stadium are not being altered by this project.

The City of Lee's Summit, Missouri has adopted a storm water management design criterion titled Section 5600 (Storm Drainage Systems and Facilities) which was used for stormwater planning and design. APWA 5600 lists exceptions to general requirements and applicability associated with Development in section 5601.3. The intent of these exception is to not require implementation of extensive storm water management systems on low impact and small-scale development projects.

The total site area is approximately 87.90 acres. Based on aerial photography, the existing impervious area is about 26.63 acres or 30.3% impervious. The proposed LSWHS Athletics project will impact approximately 43,000 SF of the property on the four corners of the stadium. A net increase of approximately 7,950 SF or 0.20% in impervious is expected at project completion. This project exceeds the thresholds listed in section 5601.3 of the APWA manual as described above; however, due to the increase of impervious area being a fraction of a percent,

the disconnected nature of the proposed project, the location of the project on the high school property, the high school's location in the Watershed and lack of development downstream of the property, KVE will submit a Design and Construction Manual Construction Modification Request to the City of Lee's Summit, in accordance with sections 1002.A and 1002.B of the City's Design and Construction Manual, to permit construction of the proposed improvements without addressing the increase in impervious surface.

If you have any questions or require additional information, please do not hesitate to contact me at (913) 894-5150.

Respectfully submitted,
Kaw Valley Engineering, Inc.

David D. Wood, P.E.
Project Manager



Matthew J. Rowe, EIT
Project Engineer

Attachments:

- Design and Construction Manual Construction Modification Request
- Site Plan
- Demolition Plan
- Grading Plan
- Overall Impervious Area

\\VMLX-FILE\Projects\C20_0691\DSN\LS West\Storm\20210112 LSWHS Athletics Stormwater Compliance Letter Addendum.docx



LEE'S SUMMIT MISSOURI

DESIGN AND CONSTRUCTION MANUAL CONSTRUCTION MODIFICATION REQUEST

PROJECT NAME: Lee's Summit West High School Athletics Project

PREMISE ADDRESS: 2600 SW Ward Road, Lee's Summit, MO 64082

PERMIT NUMBER: _____

OWNER'S NAME: Kyle Gorrell – Lee's Summit School District

TO: Lee's Summit City Engineer

In accordance with Sections 1002.A and 1002.B of the City of Lee's Summit's Design and Construction Manual (DCM), I wish to apply for a modification to one or more specification(s). The following articulates my request for your review and action. (NOTE: Cite specific code sections and engineering justification and drawings.)

See Attached Storm Water Management Memo

SUBMITTED BY:

NAME: David Wood () OWNER (X) OWNER'S AGENT

ADDRESS: 14700 West 114th Terrace

Tel.# 913-894-5150

CITY, STATE, ZIP: Lenexa, KS 66215

Email: wood@kveng.com

SIGNATURE: 

FORWARDING MANAGER: _____ RECOMMENDATION: () APPROVAL () DENIAL

SIGNATURE: _____ DATE: _____

GEORGE BINGER III, P.E. – CITY ENGINEER: () APPROVED () DENIED

SIGNATURE: _____ DATE: _____

COMMENTS _____

A COPY MUST BE ATTACHED TO THE APPROVED PLANS

Development Services

220 SE Green Street | Lee's Summit, MO 64063 | P: 816.969.1200 | F: 816.969.1221 | cityofLS.net

SITE DATA:

PROJECT AREA/AREA OF DISTURBANCE
TOTAL: 43,000 SF (0.99 AC.)

IMPERVIOUS COVERAGE WITHIN PROJECT AREA

EXISTING: 7,150 S.F. - 0.16 AC.
PROPOSED: 15,100 S.F. - 0.35 AC.
INCREASE: 7,950 S.F. - 0.19 AC.

STORMWATER MANAGEMENT:

NO ADDITIONAL STORM WATER MANAGEMENT CONTROLS ARE PROPOSED AS PART OF THIS PROJECT.

WARRANTY / DISCLAIMER

THE DESIGNS REPRESENTED IN THESE PLANS ARE IN ACCORDANCE WITH ESTABLISHED PRACTICES OF CIVIL ENGINEERING FOR THE DESIGN FUNCTIONS AND USES INTENDED BY THE OWNER AT THIS TIME. HOWEVER, NEITHER KAW VALLEY ENGINEERING, INC NOR ITS PERSONNEL CAN OR DO WARRANTY THESE DESIGNS OR PLANS AS CONSTRUCTED, EXCEPT IN THE SPECIFIC CASES WHERE KAW VALLEY ENGINEERING PERSONNEL INSPECT AND CONTROL THE PHYSICAL CONSTRUCTION ON A CONTEMPORARY BASIS AT THE SITE.

CAUTION - NOTICE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH PROPOSED IMPROVEMENTS SHOWN ON THE PLANS. **THE CONTRACTOR SHALL EXPOSE EXISTING UTILITIES AT LOCATIONS OF POSSIBLE CONFLICTS PRIOR TO ANY CONSTRUCTION.**

LEE'S SUMMIT WEST HIGH SCHOOL

SITE PLAN

2600 SW WARD ROAD, LEE'S SUMMIT, MO 64082
SECTION 8 - TOWNSHIP 47 N - RANGE 31 W

PREPARED FOR:

LEE'S SUMMIT SCHOOL DISTRICT
302 SE TRANSPORT RD.
LEE'S SUMMIT, MO 64081
PHONE: (816) 986-2421
CONTACT: KYLE GORRELL
EMAIL: kyle.gorrell@sr7.net

PREPARED BY:

KAW VALLEY ENGINEERING, INC.
14700 W 114TH TERR.
LENEXA, KANSAS 66215
PHONE: (913) 894-5150
CONTACT: DAVID WOOD
EMAIL: wood@kveng.com

LEGEND:

UNDERGROUND GAS	CONIFEROUS TREE
GAS METER	TREE LINE
CONTROL POINT	HDPPE HIGH DENSITY POLYETHYLENE
BENCHMARK	GAS VALVE
GATE POST	GAS RISER
CHAIN LINK FENCE	GAS LINE SIGN
STREET/TRAFFIC SIGN	DE DOOR ELEVATION
UNDERGROUND FIBER OPTIC CABLE	AT THRESHOLD
UNDERGROUND FIBER OPTIC (FROM RECORDS)	FF FINISH FLOOR ELEVATION
TELEPHONE PEDESTAL	BHE BUILDING HEIGHT/ELEVATION
SANITARY SEWER MANHOLE	B/B BACK TO BACK OF CURB MEASUREMENT
STORM SEWER MANHOLE	E/E EDGE TO EDGE OF ASPHALT
AREA INLET	WATER LINE
CURB INLET	WATER METER
DOWN SPOUT	WATER LINE GATE VALVE
FLARED END SECTION	BUSH
SANITARY SEWER LINE	DECIDUOUS TREE
STORM SEWER LINE	CONCRETE
CORRUGATED METAL PIPE	FLAG POLE
REINFORCED CONCRETE PIPE	ELECTRIC METER
UNDERGROUND ELECTRIC	UNDERGROUND ELECTRIC PEDESTAL
OVERHEAD UTILITY LINE (# OF LINES)	UNDERGROUND GAS PER RECORD
PULL BOX	SANITARY SEWER LINE PER RECORD
LIGHT POLE	STORM SEWER LINE PER RECORD
UTILITY POLE	ASPHALT PAVEMENT (040)
UTILITY POLE W/ LIGHT	CONCRETE SIDEWALK (055)
UTILITY POLE W/ TRANSFORMER	TURF
WATER LINE PER RECORD	L LANDING
UNDERGROUND ELECTRIC PER RECORD	R RAMP
ASPHALT EDGE TREATMENT	LIMITS OF DISTURBANCE
SEE SECTION THIS SHEET.	RED FIRE LANE STRIPING

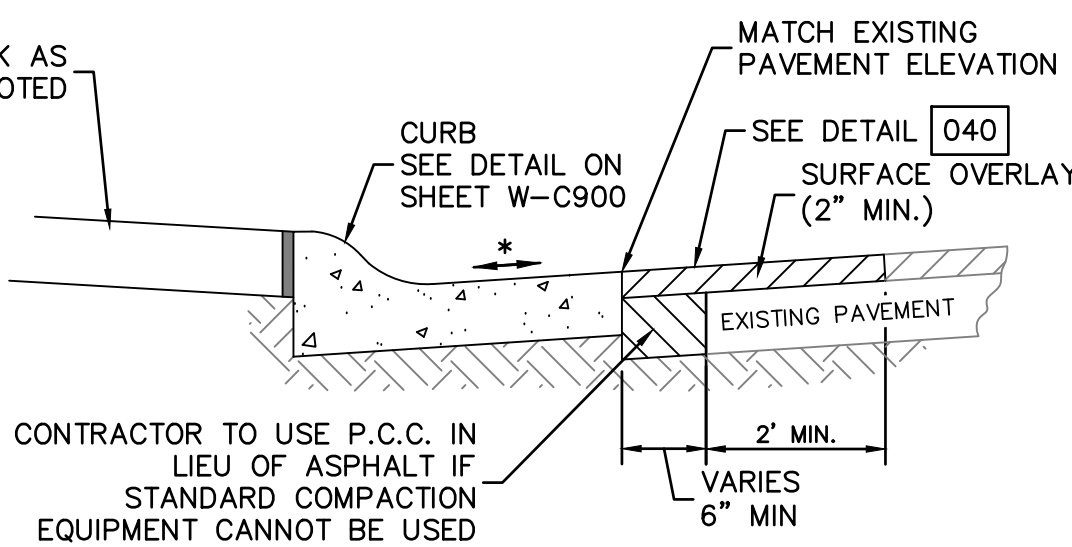
NOTES:

- WESTERN EXTENTS OF GRAVEL SURFACE TO ADJUT UTILITY VAULT.
- DISTURBED AREA SHALL BE FERTILIZED, MULCHED AND SEEDED WITH A THREE WAY BLEND OF TALL TURF TYPE FESCUE. (REFER TO SEEDING REQUIREMENTS ON SHEET W-C900.) ALL SEEDING AREAS WITHIN 10' OF SIDEWALKS AND BUILDING, WITHIN 5' OF STORM OUTFALLS AND ON SLOPES STEEPER THAN 4:1 SHALL BE PROTECTED WITH A TYPE 2 EROSION CONTROL BLANKET (NORTH AMERICAN GREEN 575BN OR APPROVED EQUAL).
- CONCRETE STOOP (REFERENCE STRUCTURAL PLANS.)
- SIDEWALK RAMP. (REFERENCE ARCHITECTURAL PLANS FOR FINAL LAYOUT AND DIMENSIONS.)
- PROPOSED FENCING. (REFERENCE ARCHITECTURAL PLANS FOR HEIGHTS, MATERIALS AND DETAILS.)
- RELOCATED TURNSTILE (REFERENCE ARCHITECTURAL PLANS FOR DETAILS.)
- PARKING LOT STRIPING (MATCH EXISTING COLOR. SEE SPECIFICATIONS ON SHEET W-C905)
- PAINT CURB RED TO DENOTE FIRE LANE. CONFIRM LIMITS WITH FIRE DEPARTMENT. (SEE SPECIFICATIONS ON SHEET W-C905)
- SITE SIGNAGE. MOUNT EDGE OF SIGN 2' FROM BACK OF CURB AT 7'-0" IN ACCORDANCE WITH MUTCD.
- ACCESS GATE (REFERENCE ARCHITECTURAL PLANS FOR HEIGHTS, MATERIALS AND DETAILS.)
- CAST IN PLACE CONCRETE WALL (REFER TO STRUCTURAL PLANS.)
- PROPOSED OR MODIFIED STORM SEWER STRUCTURE (SEE SHEET W-C500.)
- SANITARY SEWER STRUCTURE (SEE SHEET W-C500.)
- WATER STRUCTURE (SEE SHEET W-C500.)
- PROPOSED TRANSFORMER ON HOUSEKEEPING PAD/ELECTRICAL APPURTENANCE. COORDINATE WITH MEP PLANS.

DETAILS - SEE DETAIL SHEET W-C900 AND W-C905 FOR THE FOLLOWING DETAILS

- 001 CONCRETE CURB & GUTTER
- 002 ZERO HEIGHT CURB & GUTTER
- 005 INTEGRAL SIDEWALK & CURB
- 040 ASPHALT PAVEMENT
- 042 CONCRETE PAVEMENT
- 043 AGGREGATE SURFACE
- 055 CONCRETE SIDEWALK
- 102 ADA STRIPING
- 120 ADA SIGNAGE

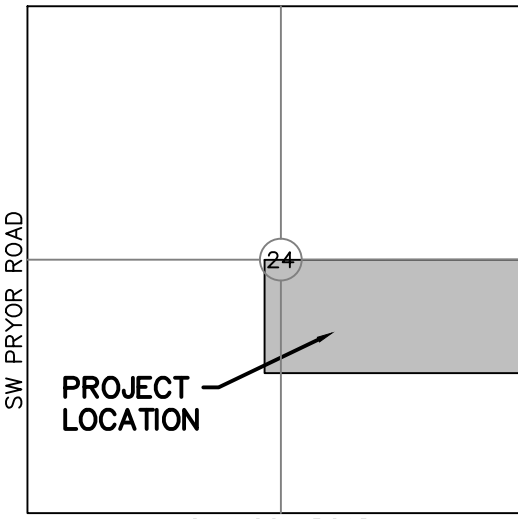
- NOTE:
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRANCE, SLOPED PAVING, EXIT PORCHES, RAMPS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
 - THESE PLANS HAVE NOT BEEN VERIFIED WITH FINAL ARCHITECTURAL CONTRACT DRAWINGS. CONTRACTOR SHALL VERIFY AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES. CONTRACTOR IS FULLY RESPONSIBLE FOR REVIEW AND COORDINATION OF ALL DRAWINGS AND CONTRACTOR DOCUMENTS.



MILL AND OVERLAY DETAIL



Know what's below.
Call before you dig.



PROJECT CONTROL:

CP #210
1/2" REBAR WITH CONTROL POINT
CAP
NORTHING: 985115.46 (GROUND)
EASTING: 2816683.16 (GROUND)
ELEV = 1018.30

CP #211
1/2" REBAR WITH CONTROL POINT
CAP
NORTHING: 985115.99 (GROUND)
EASTING: 2816688.61 (GROUND)
ELEV = 1015.74

CP #212
1/2" REBAR WITH CONTROL POINT
CAP
NORTHING: 985543.18 (GROUND)
EASTING: 2186501.13 (GROUND)
ELEV = 1005.49

SITE BENCHMARKS:

BM-1
CHISELED SQUARE 3 1/2" EAST
OF EAST WATER FOUNTAIN.
PROJECT CISS8608.
ELEV = 1015.33

BM-3
SET CUT SQUARE AT SW
CORNER OF CURB INLET, NW
CORNER OF SW MOST PARKING
LOT.
ELEV = 1018.13

BM-4
SET CUT SQUARE AT CORNER
OF CONC. WALK, 25' WEST
OF TURNSTYLE TO ATHLETIC
FIELD.
ELEV = 1007.85

HORIZONTAL AND VERTICAL DATUM:

UNLESS OTHERWISE NOTED THE COORDINATES SHOWN HEREON ARE GROUND COORDINATES BASED ON THE MISSOURI STATE PLANE (1983) WEST ZONE (NAD 1983) (NAVD 1988).

CAF: 0.9998974
1 METER = 3.28083333 U.S SURVEY
FEET
SCALED AROUND 0.0

JA-142 (PID: 0951422)
NORTHING: 302106.953 (METERS) (GRID)
EASTING: 858960.056 (METERS) (GRID)
ELEVATION: 318.0 (METERS)

UNDERGROUND UTILITY STATEMENT:

THE UNDERGROUND UTILITIES SHOWN HEREON ARE DEPICTED FROM FIELD SURVEY INFORMATION OF ONE-CALL LOCATED UTILITIES AND/OR THE SCALING AND PLOTTING OF EXISTING UTILITY MAPS AND DRAWINGS MADE AVAILABLE TO THE SURVEYOR AT THE TIME OF SURVEY. THE SURVEYOR DOES NOT CERTIFY THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL UNDERGROUND UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. FURTHERMORE, THE SURVEYOR DOES NOT CERTIFY THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION DEPICTED ALTHOUGH HE DOES CERTIFY THAT THEY ARE DEPICTED AS ACCURATELY AS POSSIBLE FROM INFORMATION MADE AVAILABLE TO THE SURVEYOR AT THE TIME OF SURVEY. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES SHOWN HEREON BY EXCAVATION UNLESS OTHERWISE NOTED ON THIS SURVEY. MISSOURI ONE CALL TICKET NUMBER: #200431409, 200431440, 200431475, 200440745. THE FIELD WORK WAS COMPLETED ON AUGUST 18, 2020. DATE OF SURVEY: AUGUST 24, 2020

CONSTRUCTION NOTES:

- COORDINATE START-UP AND ALL CONSTRUCTION ACTIVITIES WITH THE ARCHITECT.
- CONSTRUCTION METHODS AND MATERIALS NOT SPECIFIED IN THESE PLANS ARE TO MEET OR EXCEED THE KANSAS CITY METROPOLITAN CHAPTER OF APWA STANDARD SPECIFICATIONS AS ADOPTED AND AMENDED BY THE CITY OF LEE'S SUMMIT.
- ALL CONSTRUCTION WORK AND UTILITY WORK OUTSIDE OF PROPERTY BOUNDARIES SHALL BE PERFORMED IN COOPERATION WITH AND IN ACCORDANCE WITH THE REGULATIONS OF THE AUTHORITIES CONCERNED.
- PUBLIC CONVENIENCE AND SAFETY: THE CONTRACTOR SHALL CONDUCT THE WORK IN A MANNER THAT WILL INSURE, AS FAR AS PRACTICABLE, THE LEAST DISRUPTION TO TRAFFIC, AND SHALL PROVIDE FOR THE CONVENIENCE AND SAFETY OF THE GENERAL PUBLIC, ALONG AND ADJACENT TO CONSTRUCTION AREA.
- CONTRACTOR IS REQUIRED TO PROTECT TRACK SURFACE DURING CONSTRUCTION STAGE WORK AND ACCESS ACCORDINGLY. DAMAGE TO TRACK PAVING OR SURFACING CAUSED BY CONSTRUCTION ACTIVITIES WILL BE REPAIRED AT CONTRACTOR'S EXPENSE.

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Lee's Summit R7 District Athletics Facilities

Lee's Summit North High School
2600 SW Ward Road
Lee's Summit, MO 64082

owner:
Lee's Summit R7 School District
301 We Tudor Road
Lee's Summit, MO 64086

architect:

Gould Evans
4200 Pennsylvania Avenue
Kansas City, MO 64111
816.931.6655 voice
www.gould-evans.com

structural engineer:

Bob D. Campbell & Company, Inc.
4338 Bellevue
Kansas City, MO 64111
816.531.4144

civil engineer:

Kaw Valley Engineering
14700 West 114th Terrace
Lenexa, KS 66215
913.485.0318

mechanical/electrical engineer:

Henderson Engineers
1801 Main St
Kansas City, MO 64108
816.663.5700

UNLESS A PROFESSIONAL SEAL WITH SIGNATURE AND DATE IS AFFIXED, THIS DOCUMENT IS PRELIMINARY AND IS NOT INTENDED FOR CONSTRUCTION, RECORDING PURPOSES OR IMPLEMENTATION



Kaw Valley Engineering, Inc.
Missouri Certificate of Authority: 000842
David Wood Date: 07/13/2021
Engineer License No. PE-2011037427

REVISIONS

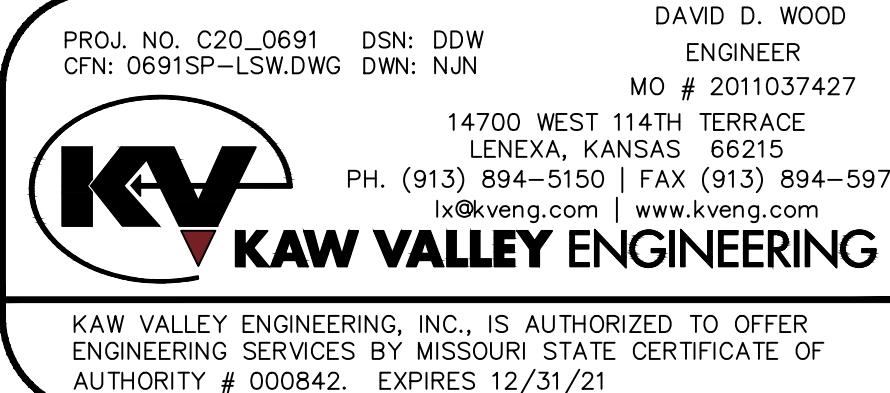
Number	DESCRIPTION	DATE
1	Addendum 1	10/13/20
2	Addendum 3	10/23/20
3	Per City Comments 0.00.004	01/13/21

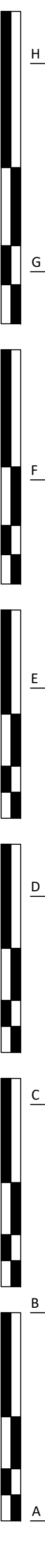
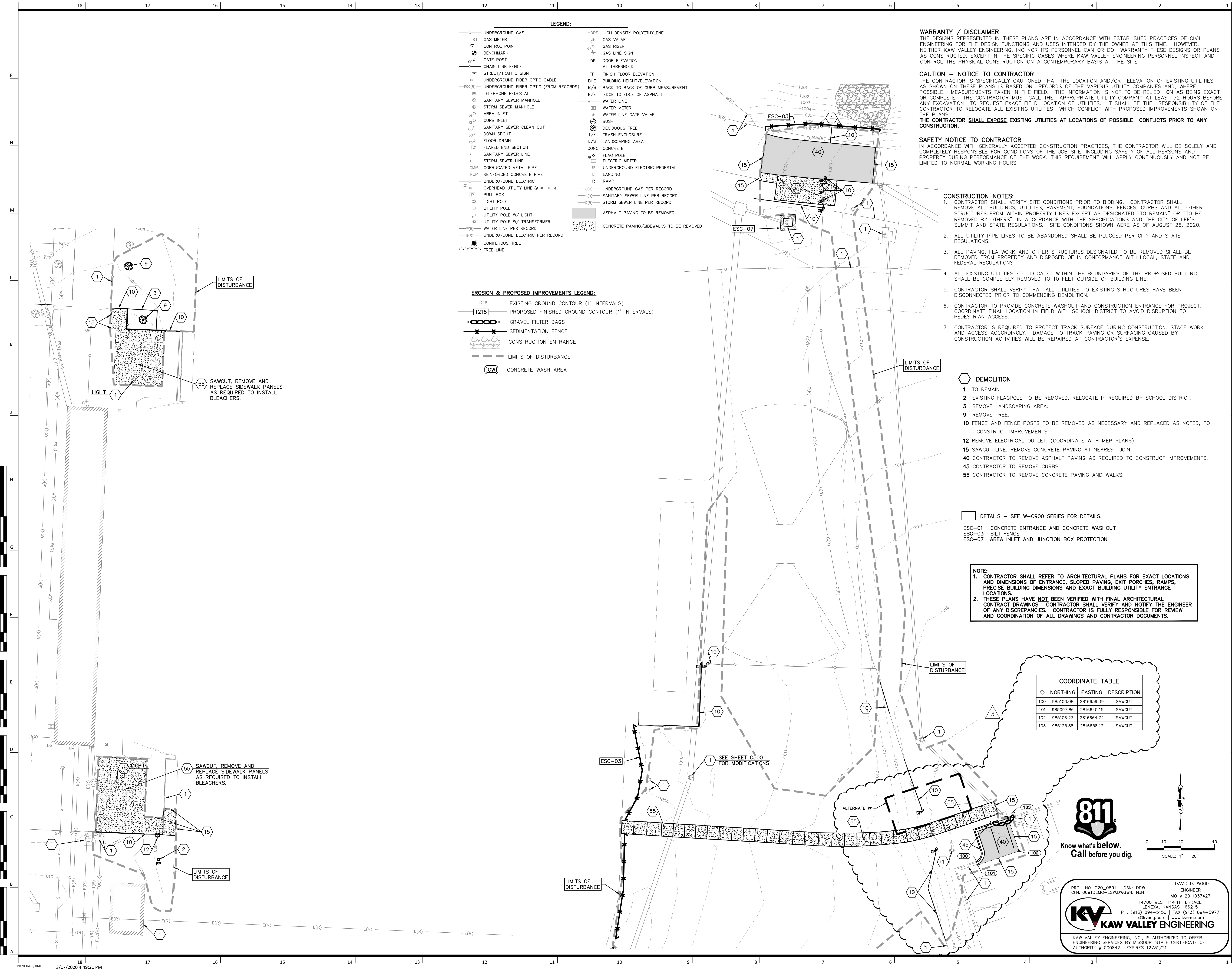
PROJECT NO: 0119-0100
DATE: September 28, 2020

SITE & DIMENSION PLAN

W-C100

BID SET





PRINT DATE/TIME: 3/17/2020 4:49:21 PM

- LEGEND:**
- UNDERGROUND GAS
 - GAS METER
 - CONTROL POINT
 - BENCHMARK
 - GATE POST
 - CHAIN LINK FENCE
 - STREET/TRAFFIC SIGN
 - UNDERGROUND FIBER OPTIC CABLE
 - UNDERGROUND FIBER OPTIC (FROM RECORDS)
 - TELEPHONE PEDESTAL
 - SANITARY SEWER MANHOLE
 - STORM SEWER MANHOLE
 - AREA INLET
 - CURB INLET
 - SANITARY SEWER CLEAN OUT
 - DOWN SPOUT
 - FLOOR DRAIN
 - FLARED END SECTION
 - SANITARY SEWER LINE
 - STORM SEWER LINE
 - CORRUGATED METAL PIPE
 - REINFORCED CONCRETE PIPE
 - UNDERGROUND ELECTRIC
 - OVERHEAD UTILITY LINE (# OF LINES)
 - PULL BOX
 - LIGHT POLE
 - UTILITY POLE W/ LIGHT
 - UTILITY POLE W/ TRANSFORMER
 - WATER LINE PER RECORD
 - UNDERGROUND ELECTRIC PER RECORD
 - CONFEROUS TREE
 - TREE LINE
 - HDPPE HIGH DENSITY POLYETHYLENE
 - GAS VALVE
 - GAS RISER
 - GAS LINE SIGN
 - DOOR ELEVATION AT THRESHOLD
 - FINISH FLOOR ELEVATION
 - BUILDING HEIGHT/ELEVATION
 - BACK TO BACK OF CURB MEASUREMENT
 - EDGE TO EDGE OF ASPHALT
 - WATER LINE
 - WATER METER
 - WATER LINE GATE VALVE
 - BUSH
 - DECIDUOUS TREE
 - TRASH ENCLOSURE
 - LANDSCAPING AREA
 - CONCRETE
 - SANITARY SEWER LINE
 - ELECTRIC METER
 - UNDERGROUND ELECTRIC PEDESTAL
 - LANDING
 - RAMP
 - UNDERGROUND GAS PER RECORD
 - SANITARY SEWER LINE PER RECORD
 - STORM SEWER LINE PER RECORD
 - ASPHALT PAVING TO BE REMOVED
 - CONCRETE PAVING/SIDEWALKS TO BE REMOVED

- EROSION & PROPOSED IMPROVEMENTS LEGEND:**
- EXISTING GROUND CONTOUR (1' INTERVALS)
 - PROPOSED FINISHED GROUND CONTOUR (1' INTERVALS)
 - GRAVEL FILTER BAGS
 - SEDIMENTATION FENCE
 - CONSTRUCTION ENTRANCE
 - LIMITS OF DISTURBANCE
 - CONCRETE WASH AREA

WARRANTY / DISCLAIMER
THE DESIGNS REPRESENTED IN THESE PLANS ARE IN ACCORDANCE WITH ESTABLISHED PRACTICES OF CIVIL ENGINEERING FOR THE DESIGN FUNCTIONS AND USES INTENDED BY THE OWNER AT THIS TIME. HOWEVER, NEITHER KAW VALLEY ENGINEERING, INC NOR ITS PERSONNEL CAN OR DO WARRANTY THESE DESIGNS OR PLANS AS CONSTRUCTED, EXCEPT IN THE SPECIFIC CASES WHERE KAW VALLEY ENGINEERING PERSONNEL INSPECT AND CONTROL THE PHYSICAL CONSTRUCTION ON A CONTEMPORARY BASIS AT THE SITE.

CAUTION - NOTICE TO CONTRACTOR
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THE CONTRACTOR SHALL EXPOSE EXISTING UTILITIES AT LOCATIONS OF POSSIBLE CONFLICTS PRIOR TO ANY CONSTRUCTION.

SAFETY NOTICE TO CONTRACTOR
IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.

- CONSTRUCTION NOTES:**
- CONTRACTOR SHALL VERIFY SITE CONDITIONS PRIOR TO BIDDING. CONTRACTOR SHALL REMOVE ALL BUILDINGS, UTILITIES, PAVEMENT, FOUNDATIONS, FENCES, CURBS AND ALL OTHER STRUCTURES FROM WITHIN PROPERTY LINES EXCEPT AS DESIGNATED TO REMAIN OR TO BE REMOVED BY OTHERS, IN ACCORDANCE WITH THE SPECIFICATIONS AND THE CITY OF LEE'S SUMMIT AND STATE REGULATIONS. SITE CONDITIONS SHOWN WERE AS OF AUGUST 26, 2020.
 - ALL UTILITY PIPE LINES TO BE ABANDONED SHALL BE PLUGGED PER CITY AND STATE REGULATIONS.
 - ALL PAVING, FLATWORK AND OTHER STRUCTURES DESIGNATED TO BE REMOVED SHALL BE REMOVED FROM PROPERTY AND DISPOSED OF IN CONFORMANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS.
 - ALL EXISTING UTILITIES ETC. LOCATED WITHIN THE BOUNDARIES OF THE PROPOSED BUILDING SHALL BE COMPLETELY REMOVED TO 10 FEET OUTSIDE OF BUILDING LINE.
 - CONTRACTOR SHALL VERIFY THAT ALL UTILITIES TO EXISTING STRUCTURES HAVE BEEN DISCONNECTED PRIOR TO COMMENCING DEMOLITION.
 - CONTRACTOR TO PROVIDE CONCRETE WASHOUT AND CONSTRUCTION ENTRANCE FOR PROJECT. COORDINATE FINAL LOCATION IN FIELD WITH SCHOOL DISTRICT TO AVOID DISRUPTION TO PEDESTRIAN ACCESS.
 - CONTRACTOR IS REQUIRED TO PROTECT TRACK SURFACE DURING CONSTRUCTION. STAGE WORK AND ACCESS ACCORDINGLY. DAMAGE TO TRACK PAVING OR SURFACING CAUSED BY CONSTRUCTION ACTIVITIES WILL BE REPAIRED AT CONTRACTOR'S EXPENSE.

- DEMOLITION**
- TO REMAIN.
 - EXISTING FLAGPOLE TO BE REMOVED. RELOCATE IF REQUIRED BY SCHOOL DISTRICT.
 - REMOVE LANDSCAPING AREA.
 - REMOVE TREE.
 - FENCE AND FENCE POSTS TO BE REMOVED AS NECESSARY AND REPLACED AS NOTED, TO CONSTRUCT IMPROVEMENTS.
 - REMOVE ELECTRICAL OUTLET. (COORDINATE WITH MEP PLANS)
 - SAWCUT LINE. REMOVE CONCRETE PAVING AT NEAREST JOINT.
 - CONTRACTOR TO REMOVE ASPHALT PAVING AS REQUIRED TO CONSTRUCT IMPROVEMENTS.
 - CONTRACTOR TO REMOVE CURBS
 - CONTRACTOR TO REMOVE CONCRETE PAVING AND WALKS.

DETAILS - SEE W-C900 SERIES FOR DETAILS.

ESC-01 CONCRETE ENTRANCE AND CONCRETE WASHOUT
ESC-03 SILT FENCE
ESC-07 AREA INLET AND JUNCTION BOX PROTECTION

NOTE:

- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRANCE, SLOPED PAVING, EXIT PORCHES, RAMPS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
- THESE PLANS HAVE NOT BEEN VERIFIED WITH FINAL ARCHITECTURAL CONTRACT DRAWINGS. CONTRACTOR SHALL VERIFY AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES. CONTRACTOR IS FULLY RESPONSIBLE FOR REVIEW AND COORDINATION OF ALL DRAWINGS AND CONTRACTOR DOCUMENTS.

COORDINATE TABLE			
	NORTHING	EASTING	DESCRIPTION
100	985100.08	2816639.39	SAWCUT
101	985097.86	2816640.15	SAWCUT
102	985106.23	2816664.72	SAWCUT
103	985125.88	2816658.12	SAWCUT



SCALE: 1" = 20'

PROJ. NO. C20-0691 DSN: DDW
CFN: 0691DEMO-LSW.DWGWN: NJN

KV KAW VALLEY ENGINEERING

KAW VALLEY ENGINEERING, INC., IS AUTHORIZED TO OFFER ENGINEERING SERVICES BY MISSOURI STATE CERTIFICATE OF AUTHORITY # 000842. EXPIRES 12/31/21

DAVID D. WOOD
ENGINEER
MO # 201037427
14700 WEST 114TH TERRACE
LENEXA, KANSAS 66215
PH. (913) 894-5150 | FAX (913) 894-5977
kd@kveeng.com | www.kveeng.com

gould evans

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phoenix • san francisco

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**Lee's Summit R7 District
Athletics Facilities**

Lee's Summit North High School
2600 SW Ward Road
Lee's Summit, MO 64082

owner:
Lee's Summit R-7 School District
301 NE Tudor Road
Lee's Summit, MO 64086

architect:
Gould Evans
4200 Pennsylvania Avenue
Kansas City, MO 64111
816.931.6655 voice
www.gould-evans.com

structural engineer:
Bob D. Campbell & Company, Inc.
4338 Bellevue
Kansas City, MO 64111
816.531.4144

civil engineer:
Kaw Valley Engineering
14700 West 114th Terrace
Lenexa, KS 66215
913.485.0318

mechanical/electrical engineer:
Henderson Engineers
1801 Main St
Kansas City, MO 64108
816.663.6700

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STATE OF MISSOURI
DAVID D. WOOD
LICENSED PROFESSIONAL ENGINEER
PE-2011037427
1.13.2021

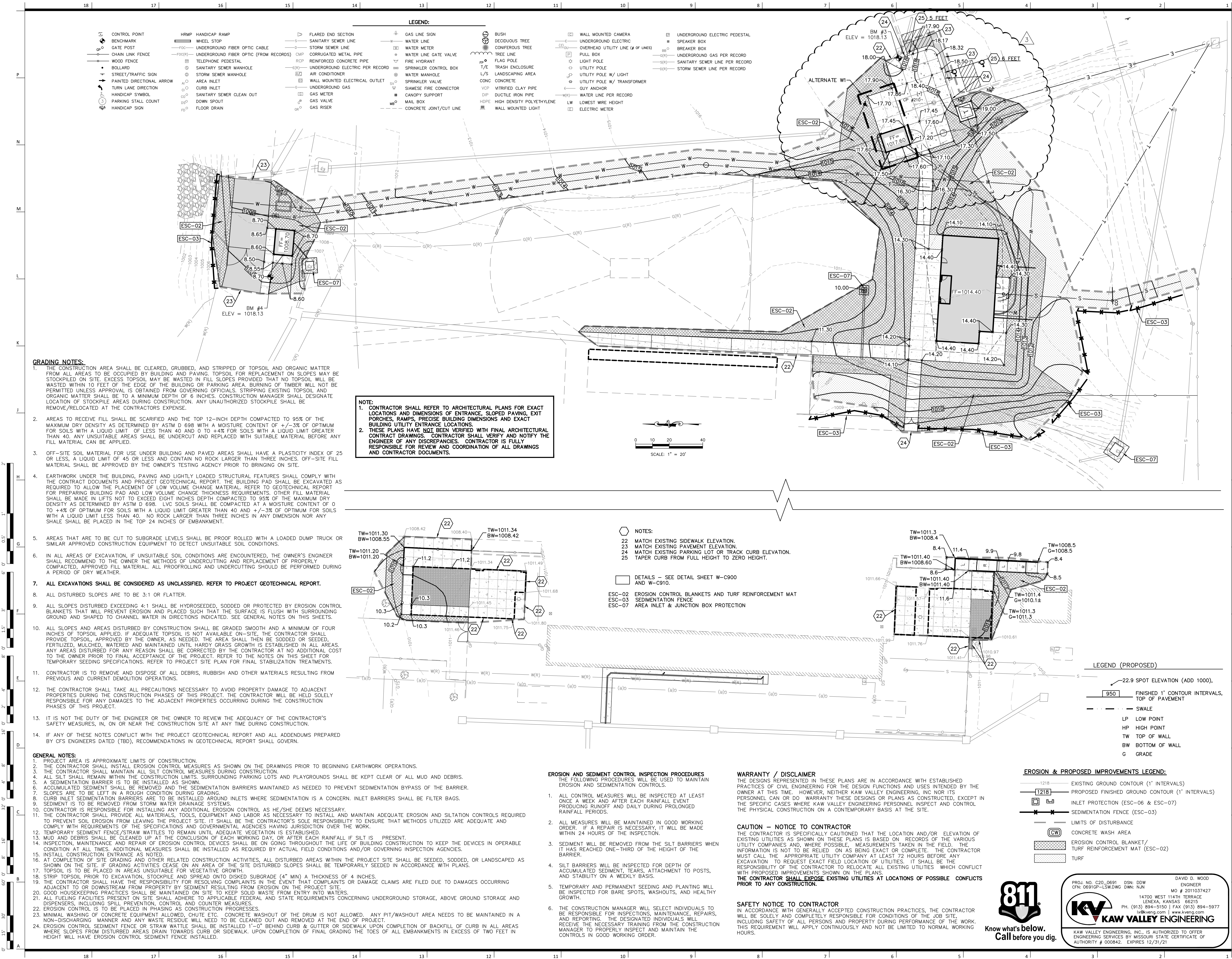
Kaw Valley Engineering, Inc.
Missouri Certificate of Authority: 000842
David Wood Date: 07/13/2021
Engineer License No. PE-2011037427

REVISIONS		
Number	DESCRIPTION	DATE
1	Addendum 1	10/13/20
2	Addendum 3	10/23/20
3	Per City Comments & PR-004	01/13/21

PROJECT NO: 0119-0100
DATE: September 28, 2020

**DEMOLITION AND
EROSION CONTROL PLAN
W-C200**

BID SET



Lee's Summit R7 District
Athletics Facilities

Lee's Summit North High School
2600 SW Ward Road
Lee's Summit, MO 64082

owner:
Lee's Summit R-7 School District
301 NE Tudor Road
Lee's Summit, MO 64086

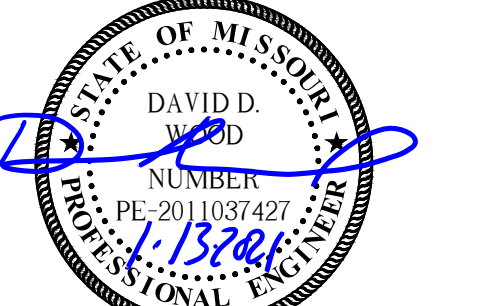
architect:
Gould Evans
4200 Pennsylvania Avenue
Kansas City, MO 64111
816.931.6655 voice
www.gould-evans.com

structural engineer:
Bob D. Campbell & Company, Inc.
4338 Bellevue
Kansas City, MO 64111
816.531.4144

civil engineer:
Kaw Valley Engineering
14700 West 114th Terrace
Lenexa, KS 66115
913.485.0318

mechanical/electrical engineer:
Henderson Engineers
1801 Main St
Kansas City, MO 64108
816.663.8700

UNLESS A PROFESSIONAL SEAL WITH SIGNATURE AND DATE IS
AFFIXED, THIS DOCUMENT IS PRELIMINARY AND IS NOT INTENDED FOR
CONSTRUCTION, RECORDING PURPOSES OR IMPLEMENTATION



Kaw Valley Engineering, Inc.
Missouri Certificate of Authority: 000842
David Wood Date: 07/13/2021
Engineer License No. PE-2011031427

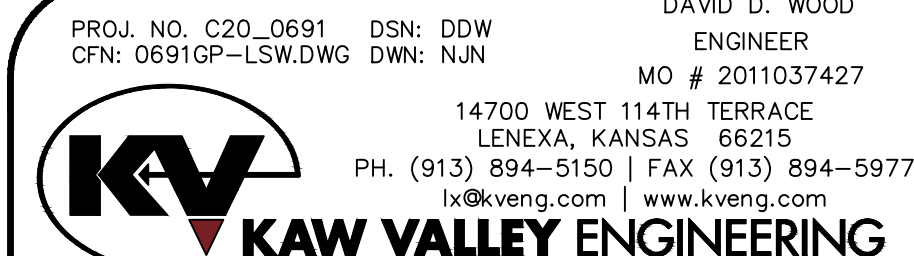
REVISIONS

Number	DESCRIPTION	DATE
1	Addendum 1	10/13/20
2	Addendum 3	10/23/20
3	Per City Comments & PR-004	01/13/21

PROJECT NO: 0119-0100
DATE: September 28, 2020

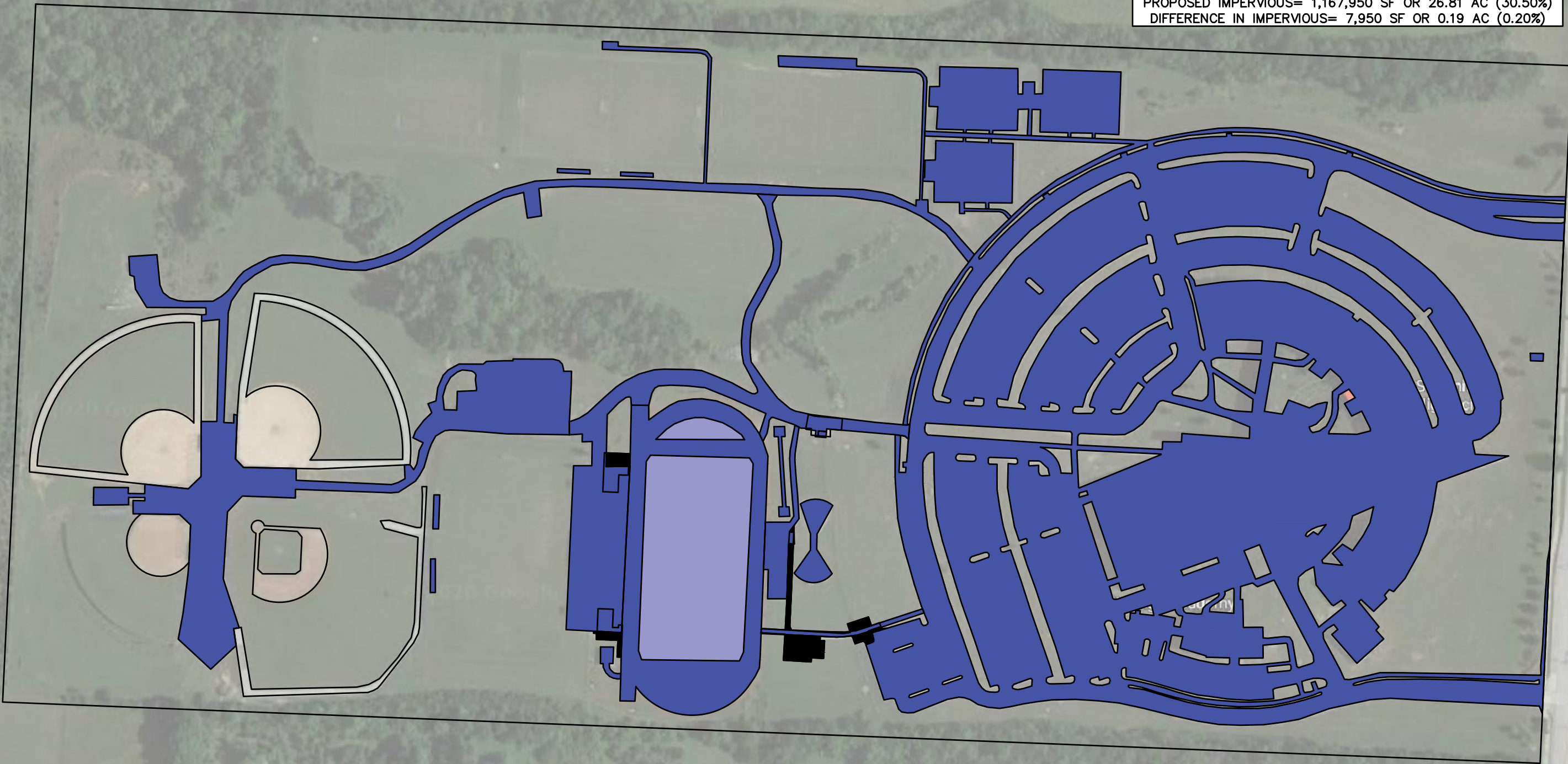
GRADING AND EROSION
CONTROL PLAN
W-C300

BID SET



KAW VALLEY ENGINEERING, INC. IS AUTHORIZED TO OFFER
ENGINEERING SERVICES BY MISSOURI STATE CERTIFICATE OF
AUTHORITY # 000842. EXPIRES 12/31/21

PROJECT SITE
TOTAL AREA= 3,828,902 SF OR 87.90 AC
EXISTING IMPERVIOUS= 1,160,000 SQFT OR 26.63 AC (30.30%)
PROPOSED IMPERVIOUS= 1,167,950 SF OR 26.81 AC (30.50%)
DIFFERENCE IN IMPERVIOUS= 7,950 SF OR 0.19 AC (0.20%)



SW Ward Rd
SW Ward Rd
Rd

- LEGEND:**
- EXISTING IMPERVIOUS AREA
 - ADDITIONAL IMPERVIOUS AREA FROM PROPOSED IMPROVEMENTS

EXISTING IMPERVIOUS AREA IS ESTIMATED FROM AERIAL TOPOGRAPHY



14700 WEST 114TH TERRACE
LENEXA, KANSAS 66215
PH. (913) 894-5150 | FAX (913) 894-5977
lx@kveng.com | www.kveng.com

KAW VALLEY ENGINEERING

OVERALL IMPERVIOUS AREAS
1/11/2021
0691PBASEIMPERV