



Office: 913.894.5150  
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Address: 14700 West 114<sup>th</sup> Terrace  
Lenexa, KS 66215

January 12, 2021

**C20D0691**

Mr. Kyle Gorrell  
Lee's Summit School District  
302 SE Transport Road  
Lee's Summit, Missouri 64081

**RE: STORM WATER MANGEMENT  
LEE'S SUMMIT WEST HIGH SCHOOL ATHLETICS PROJECT  
LEE'S SUMMIT, MISSOURI  
ADDENDUM #1**

Dear Mr. Gorrell:

Kaw Valley Engineering, Inc. has completed a review of the stormwater management implications associated with the construction of the Athletic Improvements at the Lee's Summit West (LSWHS) Stadium in Lee's Summit, Missouri.

As part of this project, KVE is proposing that all building roof drains are collected in downspout collectors and piped to the adjacent lawn areas. Each roof drain discharge pipe is proposed to be capped with a pop-up emitter to reduce the potential for erosion. The pop-up emitter will be set on an open bottom drainage basin installed on an aggregate base to permit excess water in the system to drain into the surrounding soil. One PVC drain basin is planned to be constructed north of the concession/restroom building to drain a low spot created by the regrading proposed for this project. Runoff collected in this basin will be routed to an existing Junction Box. The overall drainage patterns around the stadium are not being altered by this project.

The City of Lee's Summit, Missouri has adopted a storm water management design criterion titled Section 5600 (Storm Drainage Systems and Facilities) which was used for stormwater planning and design. APWA 5600 lists exceptions to general requirements and applicability associated with Development in section 5601.3. The intent of these exception is to not require implementation of extensive storm water management systems on low impact and small-scale development projects.

The total site area is approximately 87.90 acres. Based on aerial photography, the existing impervious area is about 26.63 acres or 30.3% impervious. The proposed LSWHS Athletics project will impact approximately 43,000 SF of the property on the four corners of the stadium. A net increase of approximately 7,950 SF or 0.20% in impervious is expected at project completion. This project exceeds the thresholds listed in section 5601.3 of the APWA manual as described above; however, due to the increase of impervious area being a fraction of a percent,

the disconnected nature of the proposed project, the location of the project on the high school property, the high school's location in the Watershed and lack of development downstream of the property, KVE will submit a Design and Construction Manual Construction Modification Request to the City of Lee's Summit, in accordance with sections 1002.A and 1002.B of the City's Design and Construction Manual, to permit construction of the proposed improvements without addressing the increase in impervious surface.

If you have any questions or require additional information, please do not hesitate to contact me at (913) 894-5150.

Respectfully submitted,  
**Kaw Valley Engineering, Inc.**

David D. Wood, P.E.  
Project Manager



Matthew J. Rowe, EIT  
Project Engineer

**Attachments:**

- Design and Construction Manual Construction Modification Request
- Site Plan
- Demolition Plan
- Grading Plan
- Overall Impervious Area

\\VMLX-FILE\Projects\C20\_0691\DSN\LS West\Storm\20210112 LSWHS Athletics Stormwater Compliance Letter Addendum.docx



# LEE'S SUMMIT MISSOURI

## DESIGN AND CONSTRUCTION MANUAL CONSTRUCTION MODIFICATION REQUEST

PROJECT NAME: Lee's Summit West High School Athletics Project

PREMISE ADDRESS: 2600 SW Ward Road, Lee's Summit, MO 64082

PERMIT NUMBER: \_\_\_\_\_

OWNER'S NAME: Kyle Gorrell – Lee's Summit School District

TO: Lee's Summit City Engineer

In accordance with Sections 1002.A and 1002.B of the City of Lee's Summit's Design and Construction Manual (DCM), I wish to apply for a modification to one or more specification(s). The following articulates my request for your review and action. (NOTE: Cite specific code sections and engineering justification and drawings.)

See Attached Storm Water Management Memo

SUBMITTED BY:

NAME: David Wood ( ) OWNER (X) OWNER'S AGENT

ADDRESS: 14700 West 114<sup>th</sup> Terrace

Tel.# 913-894-5150

CITY, STATE, ZIP: Lenexa, KS 66215

Email: wood@kveng.com

SIGNATURE: 

FORWARDING MANAGER: \_\_\_\_\_ RECOMMENDATION: ( ) APPROVAL ( ) DENIAL

SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

GEORGE BINGER III, P.E. – CITY ENGINEER: ( ) APPROVED ( ) DENIED

SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

COMMENTS \_\_\_\_\_

**A COPY MUST BE ATTACHED TO THE APPROVED PLANS**

**WARRANTY / DISCLAIMER**  
 THE DESIGNS REPRESENTED IN THESE PLANS ARE IN ACCORDANCE WITH ESTABLISHED PRACTICES OF CIVIL ENGINEERING FOR THE DESIGN FUNCTIONS AND USES INTENDED BY THE OWNER AT THIS TIME. HOWEVER, NEITHER KAW VALLEY ENGINEERING, INC NOR ITS PERSONNEL CAN OR DO WE WARRANT THESE DESIGNS OR PLANS AS CONSTRUCTED, EXCEPT IN THE SPECIFIC CASES WHERE KAW VALLEY ENGINEERING PERSONNEL INSPECT AND CONTROL THE PHYSICAL CONSTRUCTION ON A CONTEMPORARY BASIS AT THE SITE.

**CAUTION - NOTICE TO CONTRACTOR**  
 THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH PROPOSED IMPROVEMENTS SHOWN ON THE PLANS. **THE CONTRACTOR SHALL EXPOSE EXISTING UTILITIES AT LOCATIONS OF POSSIBLE CONFLICTS PRIOR TO ANY CONSTRUCTION.**

**SITE DATA:**  
 PROJECT AREA/AREA OF DISTURBANCE  
 TOTAL: 43,000 SF (0.99 AC.)  
 IMPERVIOUS COVERAGE WITHIN PROJECT AREA  
 EXISTING: 7,150 S.F. - 0.16 AC.  
 PROPOSED: 15,100 S.F. - 0.35 AC.  
 INCREASE: 7,950 S.F. - 0.19 AC.

**STORMWATER MANAGEMENT:**  
 NO ADDITIONAL STORM WATER MANAGEMENT CONTROLS ARE PROPOSED AS PART OF THIS PROJECT.

# LEE'S SUMMIT WEST HIGH SCHOOL

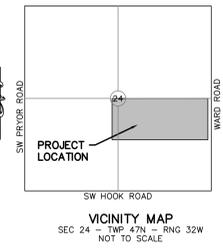
## SITE PLAN

### 2600 SW WARD ROAD, LEE'S SUMMIT, MO 64082

#### SECTION 8 - TOWNSHIP 47 N - RANGE 31 W

**PREPARED FOR:**  
 LEE'S SUMMIT SCHOOL DISTRICT  
 302 SE TRANSPORT RD.  
 LEE'S SUMMIT, MO 64081  
 PHONE: (816) 986-2421  
 CONTACT: KYLE GORRELL  
 EMAIL: kyle.gorrell@er7.net

**PREPARED BY:**  
 KAW VALLEY ENGINEERING, INC.  
 14700 W 114TH TERR.  
 LENEXA, KANSAS 66215  
 PHONE: (913) 894-5150  
 CONTACT: DAVID WOOD  
 EMAIL: wood@kveeng.com



**HORIZONTAL AND VERTICAL DATUM:**  
 UNLESS OTHERWISE NOTED THE COORDINATES SHOWN HEREON ARE GRID COORDINATES BASED ON THE MISSOURI STATE PLANE (1983) WEST ZONE (NAD 1983) (NAVD 1988).  
 CA: 0.9998974  
 1 METER = 3.28083333 U.S SURVEY  
 SCALED AROUND 0,0  
 JA-142 (PID: 0951422)  
 NORTHING: 302106.983 (METERS) (GRID)  
 EASTING: 858900.056 (METERS) (GRID)  
 ELEVATION: 318.0 (METERS)

- LEGEND:**
- UNDERGROUND GAS
  - GAS METER
  - CONTROL POINT
  - BENCHMARK
  - GATE POST
  - CHAIN LINK FENCE
  - STREET/TRAFFIC SIGN
  - UNDERGROUND FIBER OPTIC CABLE
  - UNDERGROUND FIBER OPTIC (FROM RECORDS)
  - TELEPHONE PEDESTAL
  - SANITARY SEWER MANHOLE
  - STORM SEWER MANHOLE
  - AREA INLET
  - CURB INLET
  - SANITARY SEWER CLEAN OUT
  - DOWN SPOUT
  - FLARED END SECTION
  - SANITARY SEWER LINE
  - STORM SEWER LINE
  - CORRUGATED METAL PIPE
  - REINFORCED CONCRETE PIPE
  - UNDERGROUND ELECTRIC
  - OVERHEAD UTILITY LINE (# OF LINES)
  - PULL BOX
  - LIGHT POLE
  - UTILITY POLE
  - UTILITY POLE W/ LIGHT
  - UTILITY POLE W/ TRANSFORMER
  - WATER LINE PER RECORD
  - UNDERGROUND ELECTRIC PER RECORD
  - ASPHALT EDGE TREATMENT. SEE SECTION THIS SHEET.
  - CONFEROUS TREE
  - TREE LINE
  - HDPPE HIGH DENSITY POLYETHYLENE
  - GAS VALVE
  - GAS RISER
  - GAS LINE SIGN
  - DOOR ELEVATION
  - DE DOOR ELEVATION AT THRESHOLD
  - FF FINISH FLOOR ELEVATION
  - BME BUILDING HEIGHT/ELEVATION
  - B/B BACK TO BACK OF CURB MEASUREMENT
  - E/E EDGE TO EDGE OF ASPHALT
  - WATER LINE
  - WATER METER
  - WATER LINE GATE VALVE
  - BUSH
  - DECIDUOUS TREE
  - CONCRETE
  - CONC
  - FLAG POLE
  - ELECTRIC METER
  - UNDERGROUND ELECTRIC PEDESTAL
  - UNDERGROUND GAS PER RECORD
  - SANITARY SEWER LINE PER RECORD
  - STORM SEWER LINE PER RECORD
  - ASPHALT PAVEMENT (040)
  - CONCRETE SIDEWALK (055)
  - TURF
  - L LANDING
  - R RAMP
  - LIMITS OF DISTURBANCE
  - RED FIRE LANE STRIPING

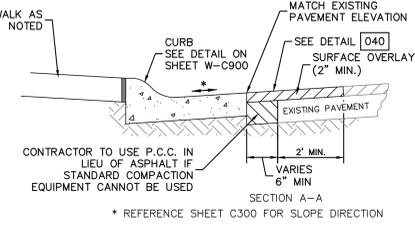
- NOTES:**
- WESTERN EXTENTS OF GRAVEL SURFACE TO ABUT UTILITY VAULT.
  - DISTURBED AREA SHALL BE FERTILIZED, MULCHED AND SEEDED WITH A THREE WAY BLEND OF TALL TURF TYPE FESCUE. (REFER TO SEEDING REQUIREMENTS ON SHEET W-C900.) ALL SEEDED AREAS WITHIN 10' OF SIDEWALKS AND BUILDING, WITHIN 5' OF STORM OUTFALLS AND ON SLOPES STEEPER THAN 4:1 SHALL BE PROTECTED WITH A TYPE 2 EROSION CONTROL BLANKET (NORTH AMERICAN GREEN 575BN OR APPROVED EQUAL.)
  - CONCRETE STOMP (REFERENCE STRUCTURAL PLANS.)
  - SIDEWALK RAMP. (REFERENCE ARCHITECTURAL PLANS FOR FINAL LAYOUT AND DIMENSIONS.)
  - PROPOSED FENCING. (REFERENCE ARCHITECTURAL PLANS FOR HEIGHTS, MATERIALS AND DETAILS.)
  - RELOCATED TURNSTILE (REFERENCE ARCHITECTURAL PLANS FOR DETAILS.)
  - PARKING LOT STRIPING (MATCH EXISTING COLOR. SEE SPECIFICATIONS ON SHEET W-C905)
  - PAINT CURB RED TO DENOTE FIRE LANE. CONFIRM LIMITS WITH FIRE DEPARTMENT. (SEE SPECIFICATIONS ON SHEET W-C905)
  - SITE SIGNAGE. MOUNT EDGE OF SIGN 2' FROM BACK OF CURB AT 7'-0" IN ACCORDANCE WITH MUTCD.
  - ACCESS GATE (REFERENCE ARCHITECTURAL PLANS FOR HEIGHTS, MATERIALS AND DETAILS.)
  - CAST IN PLACE CONCRETE WALL (REFER TO STRUCTURAL PLANS.)
  - PROPOSED OR MODIFIED STORM SEWER STRUCTURE (SEE SHEET W-C500.)
  - SANITARY SEWER STRUCTURE (SEE SHEET W-C500.)
  - WATER STRUCTURE (SEE SHEET W-C500.)
  - PROPOSED TRANSFORMER ON HOUSEKEEPING PAD/ELECTRICAL APPURTENANCE. COORDINATE WITH MEP PLANS.

DETAILS - SEE DETAIL SHEET W-C900 AND W-C905 FOR THE FOLLOWING DETAILS

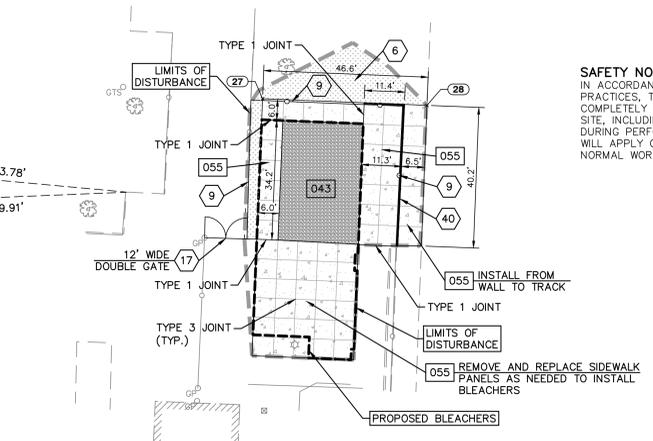
- 001 CONCRETE CURB & GUTTER
- 002 ZERO HEIGHT CURB & GUTTER
- 005 INTEGRAL SIDEWALK & CURB
- 040 ASPHALT PAVEMENT
- 042 CONCRETE PAVEMENT
- 043 AGGREGATE SURFACE
- 055 CONCRETE SIDEWALK
- 102 ADA STRIPING
- 120 ADA SIGNAGE

**NOTE:**

- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRANCE, SLOPED PAVING, EXIT PORCHES, RAMPS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
- THESE PLANS HAVE NOT BEEN VERIFIED WITH FINAL ARCHITECTURAL CONTRACT DRAWINGS. CONTRACTOR SHALL VERIFY AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES. CONTRACTOR IS FULLY RESPONSIBLE FOR REVIEW AND COORDINATION OF ALL DRAWINGS AND CONTRACTOR DOCUMENTS.

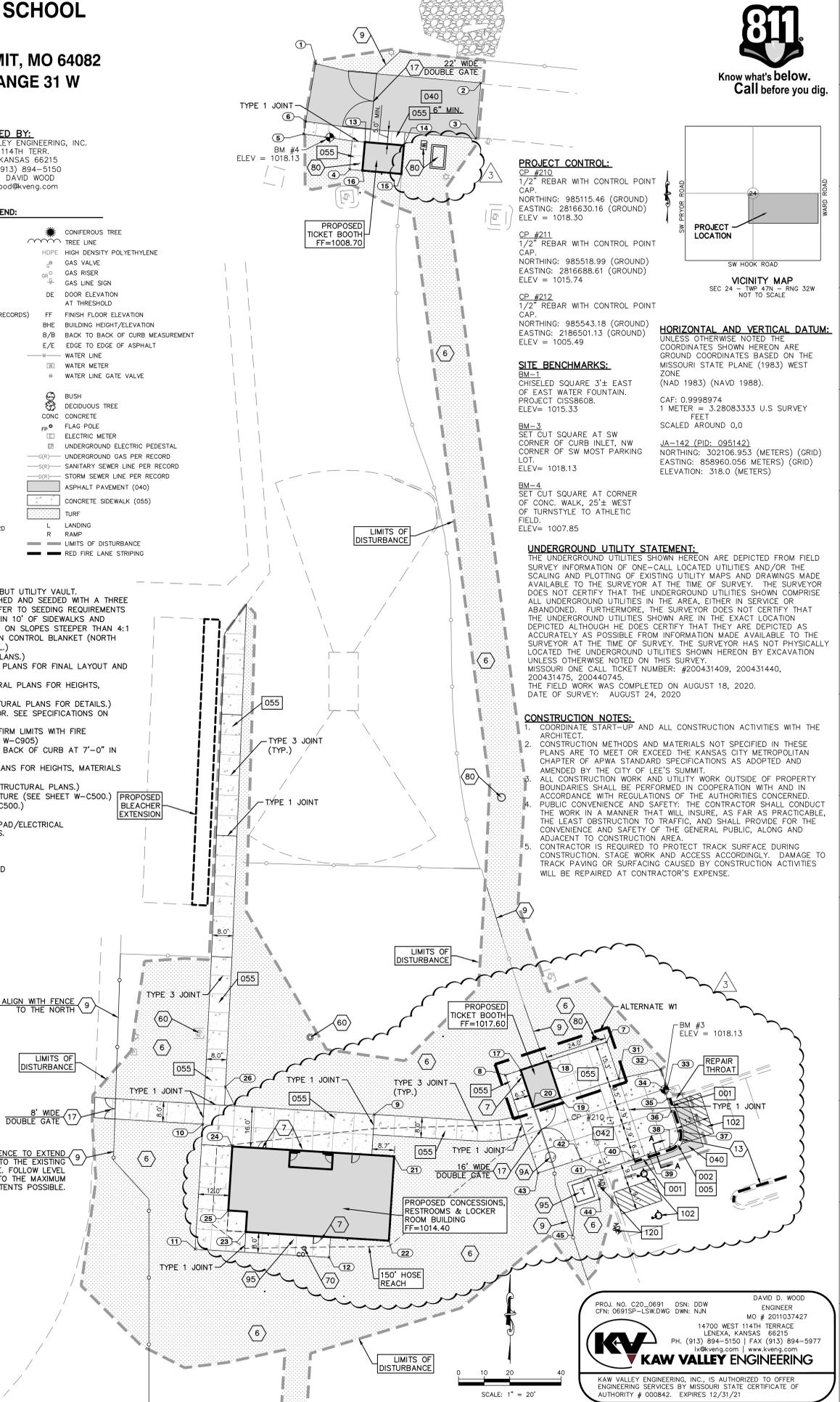


MILL AND OVERLAY DETAIL



COORDINATE TABLE			
NO	NORTHING	EASTING	DESCRIPTION
1	985531.58	2816515.18	PEOA
2	985524.02	2816579.63	PEOA
3	985502.10	2816577.72	PEOA
4	985489.92	2816528.43	SW
5	985503.90	2816510.51	SW
6	985508.84	2816511.28	PEOA
7	985146.40	2816628.67	SW
8	985133.38	2816589.22	SW
9	985117.88	2816538.07	SW
10	98513.99	2816471.16	SW
11	985064.81	2816468.14	SW
12	985061.59	2816520.47	SW
13	985500.72	2816534.39	BLDG ENVELOPE
14	985499.39	2816549.61	BLDG ENVELOPE
15	985488.16	2816548.63	BLDG ENVELOPE
16	985489.49	2816533.41	BLDG ENVELOPE
17	985135.35	2816595.18	BLDG ENVELOPE
18	985138.88	2816605.88	BLDG ENVELOPE
19	985124.38	2816610.67	BLDG ENVELOPE
20	985120.85	2816599.96	BLDG ENVELOPE
21	985101.38	2816545.80	BLDG ENVELOPE
22	985068.17	2816543.76	BLDG ENVELOPE

COORDINATE TABLE			
NO	NORTHING	EASTING	DESCRIPTION
24	985105.26	2816482.65	BLDG ENVELOPE
25	985080.04	2816481.10	BLDG ENVELOPE
26	985128.76	2816480.00	SW
27	985456.45	2816130.41	SW
28	985454.55	2816176.92	SW
29	985103.06	2816139.09	SW
30	985070.58	2816161.52	SW
31	985131.90	2816633.46	EC
32	985135.60	2816649.80	EC
33	985128.19	2816652.31	EC
34	985127.81	2816651.17	EC
35	985124.00	2816652.40	BC
36	985119.24	2816653.94	BC
37	985111.27	2816656.51	BC
38	985105.00	2816653.37	BC
39	985102.16	2816645.02	BC
40	985100.22	2816639.34	BC
41	985095.78	2816626.47	EC
42	985100.32	2816618.60	EC
43	985094.83	2816601.95	EC
44	985084.58	2816625.91	EC
45	985081.44	2816616.41	EC



**Lee's Summit R7 District  
 Athletics Facilities**

Lee's Summit North High School  
 2600 SW Ward Road  
 Lee's Summit, MO 64082

owner:  
 Lee's Summit R-7 School District  
 301 NE Tudor Road  
 Lee's Summit, MO 64086

architect:  
 Gould Evans  
 4200 Pennsylvania Avenue  
 Kansas City, MO 64111  
 816.931.6655 voice  
 www.gould-evans.com

structural engineer:  
 Bob D. Campbell & Company, Inc.  
 4338 Bellevue  
 Kansas City, MO 64111  
 816.531.4144

civil engineer:  
 Kaw Valley Engineering  
 14700 West 114th Terrace  
 Lenexa, KS 66215  
 913.485.0318

mechanical/electrical engineer:  
 Henderson Engineers  
 1801 Main St  
 Kansas City, MO 64108  
 816.663.5700



Kaw Valley Engineering, Inc.  
 Missouri Certificate of Authority: 000842  
 David Wood Date: 07/13/2021  
 Engineer License No. PE-2011037427

**REVISIONS**

Number	DESCRIPTION	DATE
1	ADDENDUM 1	10/13/20
2	ADDENDUM 3	10/23/20
3	Per City Comments & PR-004	01/13/21

PROJECT NO: 0119-0100  
 DATE: September 28, 2020

**SITE & DIMENSION PLAN**

**W-C100**

BID SET

**Lee's Summit R7 District  
Athletics Facilities**

Lee's Summit North High School  
2600 SW Ward Road  
Lee's Summit, MO 64082

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Lee's Summit R-7 School District  
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Lenexa, KS 66215  
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mechanical/electrical engineer:  
Henderson Engineers  
1801 Main St  
Kansas City, MO 64108  
816.663.9700

**WARRANTY / DISCLAIMER**

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**CAUTION - NOTICE TO CONTRACTOR**

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**SAFETY NOTICE TO CONTRACTOR**

IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.

**CONSTRUCTION NOTES:**

- CONTRACTOR SHALL VERIFY SITE CONDITIONS PRIOR TO BIDDING. CONTRACTOR SHALL REMOVE ALL BUILDINGS, UTILITIES, PAVEMENT, FOUNDATIONS, FENCES, CURBS AND ALL OTHER STRUCTURES FROM WITHIN PROPERTY LINES EXCEPT AS DESIGNATED "TO REMAIN" OR "TO BE REMOVED BY OTHERS", IN ACCORDANCE WITH THE SPECIFICATIONS AND THE CITY OF LEE'S SUMMIT AND STATE REGULATIONS. SITE CONDITIONS SHOWN WERE AS OF AUGUST 26, 2020.
- ALL UTILITY PIPE LINES TO BE ABANDONED SHALL BE PLUGGED PER CITY AND STATE REGULATIONS.
- ALL PAVING, FLATWORK AND OTHER STRUCTURES DESIGNATED TO BE REMOVED SHALL BE REMOVED FROM PROPERTY AND DISPOSED OF IN CONFORMANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS.
- ALL EXISTING UTILITIES ETC. LOCATED WITHIN THE BOUNDARIES OF THE PROPOSED BUILDING SHALL BE COMPLETELY REMOVED TO 10 FEET OUTSIDE OF BUILDING LINE.
- CONTRACTOR SHALL VERIFY THAT ALL UTILITIES TO EXISTING STRUCTURES HAVE BEEN DISCONNECTED PRIOR TO COMMENCING DEMOLITION.
- CONTRACTOR TO PROVIDE CONCRETE WASHOUT AND CONSTRUCTION ENTRANCE FOR PROJECT. COORDINATE FINAL LOCATION IN FIELD WITH SCHOOL DISTRICT TO AVOID DISRUPTION TO PEDESTRIAN ACCESS.
- CONTRACTOR IS REQUIRED TO PROTECT TRACK SURFACE DURING CONSTRUCTION. STAGE WORK AND ACCESS ACCORDINGLY. DAMAGE TO TRACK PAVING OR SURFACING CAUSED BY CONSTRUCTION ACTIVITIES WILL BE REPAIRED AT CONTRACTOR'S EXPENSE.

**DEMOLITION**

- TO REMAIN.
- EXISTING FLAGPOLE TO BE REMOVED. RELOCATE IF REQUIRED BY SCHOOL DISTRICT.
- REMOVE LANDSCAPING AREA.
- REMOVE TREE.
- FENCE AND FENCE POSTS TO BE REMOVED AS NECESSARY AND REPLACED AS NOTED, TO CONSTRUCT IMPROVEMENTS.
- REMOVE ELECTRICAL OUTLET. (COORDINATE WITH MEP PLANS)
- SAWCUT LINE. REMOVE CONCRETE PAVING AT NEAREST JOINT.
- CONTRACTOR TO REMOVE ASPHALT PAVING AS REQUIRED TO CONSTRUCT IMPROVEMENTS.
- CONTRACTOR TO REMOVE CURBS
- CONTRACTOR TO REMOVE CONCRETE PAVING AND WALKS.

DETAILS - SEE W-C900 SERIES FOR DETAILS.

- ESC-01 CONCRETE ENTRANCE AND CONCRETE WASHOUT
- ESC-03 SILT FENCE
- ESC-07 AREA INLET AND JUNCTION BOX PROTECTION

**NOTE:**  
1. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRANCE, SLOPED PAVING, EXIT PORCHES, RAMPS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.  
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COORDINATE TABLE			
	NORTHING	EASTING	DESCRIPTION
100	985100.08	2816639.39	SAWCUT
101	985097.86	2816640.15	SAWCUT
102	985106.23	2816664.72	SAWCUT
103	985125.88	2816658.12	SAWCUT



PROJ. NO. C20\_0691 DSN: DDW  
CFN: 06910EMO-LSW.DWG: NUN

DAVID D. WOOD  
ENGINEER  
MO # 201037427  
14700 WEST 114TH TERRACE  
LENEXA, KANSAS 66215  
PH. (913) 694-5150 | FAX (913) 694-5977  
lkw@kveeng.com | www.kveeng.com

**KV KAW VALLEY ENGINEERING**

KAW VALLEY ENGINEERING, INC. IS AUTHORIZED TO OFFER ENGINEERING SERVICES BY MISSOURI STATE CERTIFICATE OF AUTHORITY # 000842. EXPIRES 12/31/21

UNLESS A PROFESSIONAL SEAL WITH SIGNATURE AND DATE IS AFFIXED, THIS DOCUMENT IS PRELIMINARY AND IS NOT INTENDED FOR CONSTRUCTION, RECORDING PURPOSES OR IMPLEMENTATION



Kaw Valley Engineering, Inc.  
Missouri Certificate of Authority: 000842  
David Wood Date: 07/13/2021  
Engineer License No. PE-2011031427

**REVISIONS**

Number	DESCRIPTION	DATE
1	Addendum 1	10/13/20
2	Addendum 3	10/23/20
3	Per City Comments & PR-004	01/13/21

PROJECT NO: 0119-0100  
DATE: September 28, 2020

**DEMOLITION AND  
EROSION CONTROL PLAN  
W-C200**

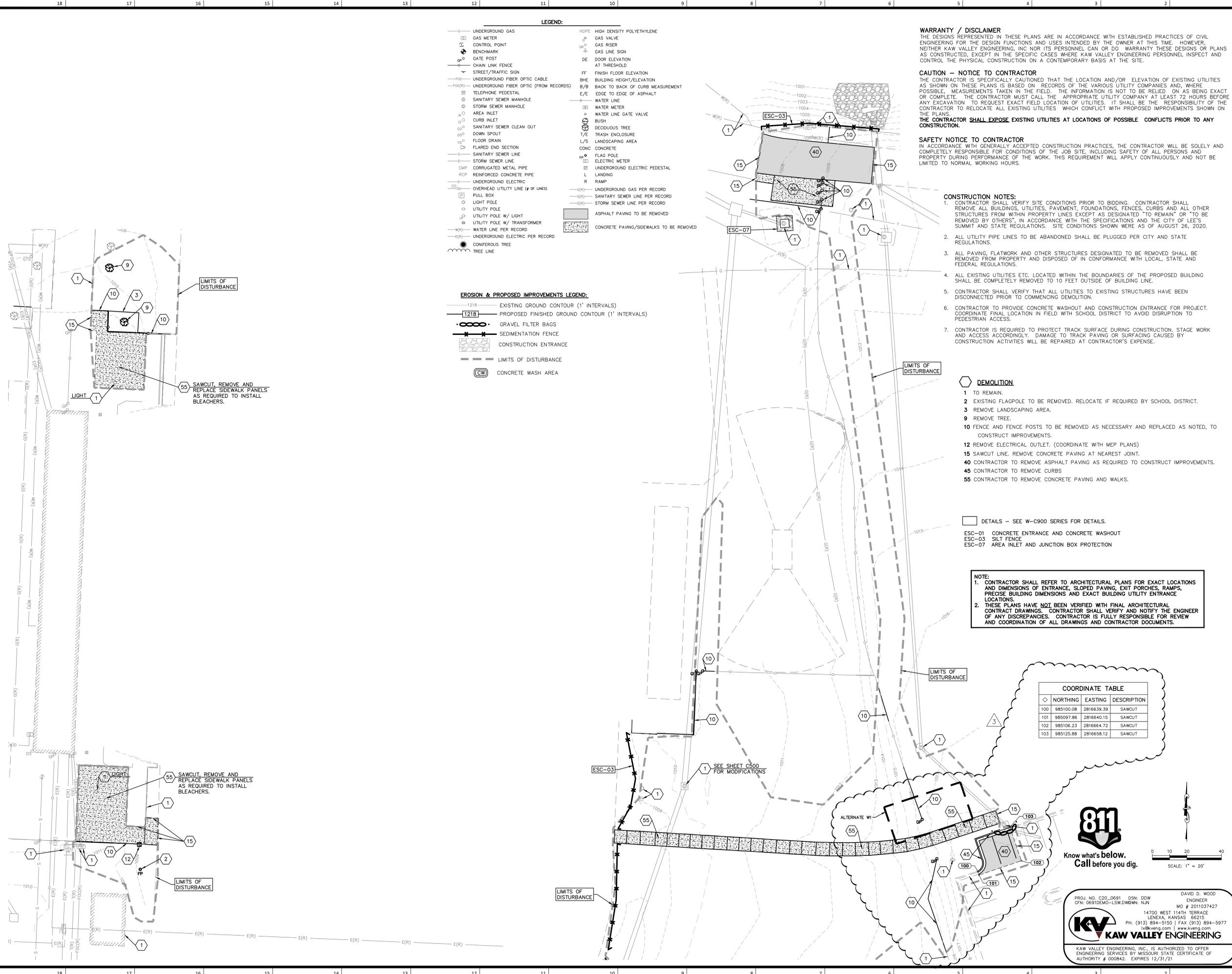
BID SET

**LEGEND:**

- |       |  |      |   |
|-------|--|------|---|
| — G — | UNDERGROUND GAS                        | HDPE | HIGH DENSITY POLYETHYLENE               |
| ⊠     | GAS METER                              | ⊠    | GAS VALVE                               |
| ⊠     | CONTROL POINT                          | ⊠    | GAS RISER                               |
| ⊠     | BENCHMARK                              | ⊠    | GAS LINE SIGN                           |
| ⊠     | GATE POST                              | DE   | DOOR ELEVATION AT THRESHOLD             |
| —     | CHAIN LINK FENCE                       | FF   | FINISH FLOOR ELEVATION                  |
| —     | STREET/TRAFFIC SIGN                    | BHE  | BUILDING HEIGHT/ELEVATION               |
| —     | UNDERGROUND FIBER OPTIC CABLE          | B/B  | BACK TO BACK OF CURB MEASUREMENT        |
| —     | UNDERGROUND FIBER OPTIC (FROM RECORDS) | E/E  | EDGE TO EDGE OF ASPHALT                 |
| ⊠     | TELEPHONE PEDESTAL                     | —    | WATER LINE                              |
| ⊠     | SANITARY SEWER MANHOLE                 | ⊠    | WATER METER                             |
| ⊠     | STORM SEWER MANHOLE                    | ⊠    | WATER LINE GATE VALVE                   |
| ⊠     | AREA INLET                             | ⊠    | BUSH                                    |
| ⊠     | CURB INLET                             | ⊠    | DECIDUOUS TREE                          |
| ⊠     | SANITARY SEWER CLEAN OUT               | T/E  | TRASH ENCLOSURE                         |
| ⊠     | DOWN SPOUT                             | L/S  | LANDSCAPING AREA                        |
| ⊠     | FLOOR DRAIN                            | CONC | CONCRETE                                |
| ⊠     | FLARED END SECTION                     | FP   | FLAG POLE                               |
| —     | SANITARY SEWER LINE                    | ⊠    | ELECTRIC METER                          |
| —     | STORM SEWER LINE                       | ⊠    | UNDERGROUND ELECTRIC PEDESTAL           |
| —     | CORRUGATED METAL PIPE                  | L    | LANDING                                 |
| —     | REINFORCED CONCRETE PIPE               | R    | RAMP                                    |
| —     | UNDERGROUND ELECTRIC PIPE              | —    | UNDERGROUND GAS PER RECORD              |
| (2)   | OVERHEAD UTILITY LINE (# OF LINES)     | —    | SANITARY SEWER LINE PER RECORD          |
| ⊠     | PULL BOX                               | —    | STORM SEWER LINE PER RECORD             |
| ⊠     | LIGHT POLE                             | ⊠    | ASPHALT PAVING TO BE REMOVED            |
| ⊠     | UTILITY POLE                           | ⊠    | CONCRETE PAVING/SIDEWALKS TO BE REMOVED |
| ⊠     | UTILITY POLE W/ LIGHT                  |      |   |
| ⊠     | UTILITY POLE W/ TRANSFORMER            |      |   |
| —     | WATER LINE PER RECORD                  |      |   |
| —     | UNDERGROUND ELECTRIC PER RECORD        |      |   |
| ⊠     | CONIFEROUS TREE                        |      |   |
| ⊠     | TREE LINE                              |      |   |

**EROSION & PROPOSED IMPROVEMENTS LEGEND:**

- 1218 — EXISTING GROUND CONTOUR (1' INTERVALS)
- 1218 — PROPOSED FINISHED GROUND CONTOUR (1' INTERVALS)
- ⊠ GRAVEL FILTER BAGS
- ⊠ SEDIMENTATION FENCE
- ⊠ CONSTRUCTION ENTRANCE
- LIMITS OF DISTURBANCE
- (CW) CONCRETE WASH AREA



18 | 17 | 16 | 15 | 14 | 13 | 12 | 11 | 10 | 9 | 8 | 7 | 6 | 5 | 4 | 3 | 2 | 1

P | N | M | L | K | J | I | H | G | F | E | D | C | B | A

0' 1' 2' 3' 4' 5' 6' 7' 8' 9' 10' 11' 12' 13' 14' 15' 16' 17' 18'

0' 1' 2' 3' 4' 5' 6' 7' 8' 9' 10' 11' 12' 13' 14' 15' 16' 17' 18'

PRINT DATE/TIME: 3/17/2020 4:49:21 PM

Lee's Summit R7 District  
Athletics Facilities

Lee's Summit North High School  
2600 SW Ward Road  
Lee's Summit, MO 64082

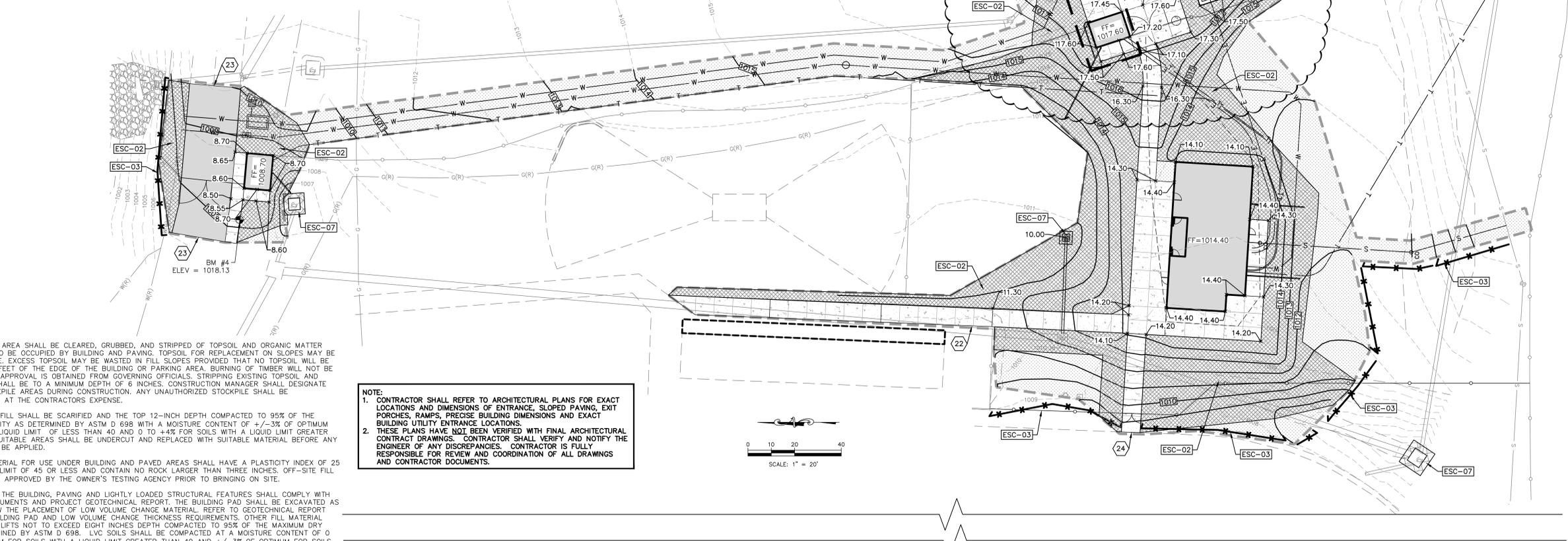
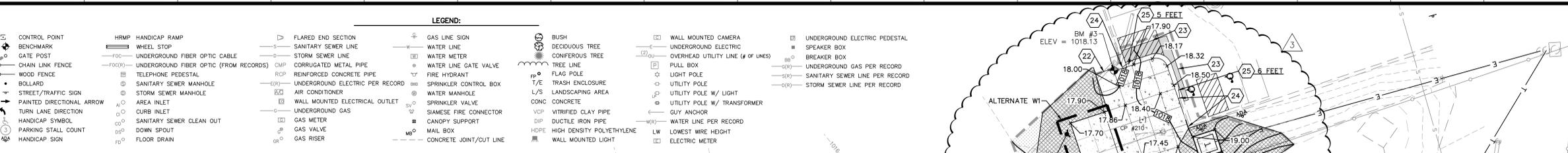
owner:  
Lee's Summit R-7 School District  
301 Lee Tudor Road  
Lee's Summit, MO 64086

architect:  
Gould Evans  
4200 Pennsylvania Avenue  
Kansas City, MO 64111  
816.931.6655 voice  
www.gould-evans.com

structural engineer:  
Bob D. Campbell & Company, Inc.  
4338 Bellevue  
Kansas City, MO 64111  
816.531.4144

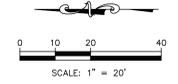
civil engineer:  
Kaw Valley Engineering  
14700 West 134th Terrace  
Lenexa, KS 66215  
913.485.0318

mechanical/electrical engineer:  
Henderson Engineers  
1801 Main St  
Kansas City, MO 64108  
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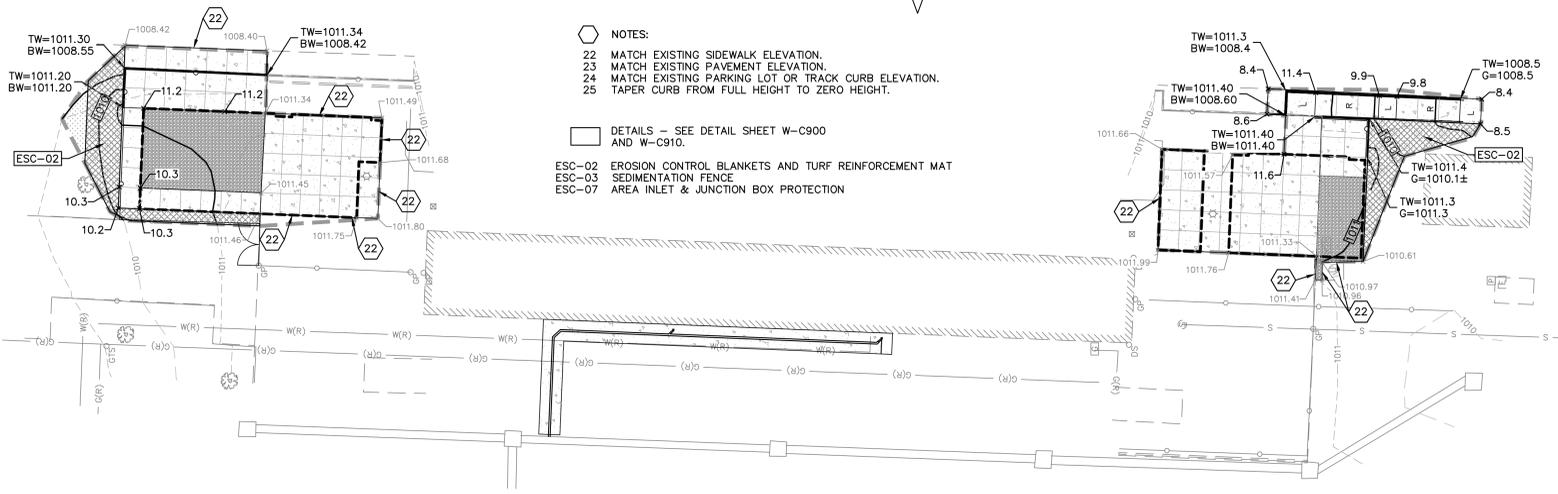


**GRADING NOTES:**  
1. THE CONSTRUCTION AREA SHALL BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL AND ORGANIC MATTER FROM ALL AREAS TO BE OCCUPIED BY BUILDING AND PAVING. TOPSOIL FOR REPLACEMENT ON SLOPES MAY BE STOCKPILED ON SITE. EXCESS TOPSOIL MAY BE WASTED IN FILL SLOPES PROVIDED THAT NO TOPSOIL WILL BE WASTED WITHIN 10 FEET OF THE EDGE OF THE BUILDING OR PARKING AREA. BURNING OF TIMBER WILL NOT BE PERMITTED UNLESS APPROVAL IS OBTAINED FROM GOVERNING OFFICIALS. STRIPPING EXISTING TOPSOIL AND ORGANIC MATTER SHALL BE TO A MINIMUM DEPTH OF 6 INCHES. CONSTRUCTION MANAGER SHALL DESIGNATE LOCATION OF STOCKPILE AREAS DURING CONSTRUCTION. ANY UNAUTHORIZED STOCKPILE SHALL BE REMOVE/RELOCATED AT THE CONTRACTORS EXPENSE.  
2. AREAS TO RECEIVE FILL SHALL BE SCARIFIED AND THE TOP 12-INCH DEPTH COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D 698 WITH A MOISTURE CONTENT OF +/-3% OF OPTIMUM FOR SOILS WITH A LIQUID LIMIT OF LESS THAN 40 AND 0 TO +4% FOR SOILS WITH A LIQUID LIMIT GREATER THAN 40. ANY UNSUITABLE AREAS SHALL BE UNDERCUT AND REPLACED WITH SUITABLE MATERIAL BEFORE ANY FILL MATERIAL CAN BE APPLIED.  
3. OFF-SITE SOIL MATERIAL FOR USE UNDER BUILDING AND PAVED AREAS SHALL HAVE A PLASTICITY INDEX OF 25 OR LESS, A LIQUID LIMIT OF 45 OR LESS AND CONTAIN NO ROCK LARGER THAN THREE INCHES. OFF-SITE FILL MATERIAL SHALL BE APPROVED BY THE OWNER'S TESTING AGENCY PRIOR TO BRINGING ON SITE.  
4. EARTHWORK UNDER THE BUILDING, PAVING AND LIGHTLY LOADED STRUCTURAL FEATURES SHALL COMPLY WITH THE CONTRACT DOCUMENTS AND PROJECT GEOTECHNICAL REPORT. THE BUILDING PAD SHALL BE EXCAVATED AS REQUIRED TO ALLOW THE PLACEMENT OF LOW VOLUME CHANGE THICKNESS REQUIREMENTS. OTHER FILL MATERIAL SHALL BE MADE IN LIFTS NOT TO EXCEED EIGHT INCHES DEPTH COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D 698. LVC SOILS SHALL BE COMPACTED AT A MOISTURE CONTENT OF 0 TO +4% OF OPTIMUM FOR SOILS WITH A LIQUID LIMIT GREATER THAN 40 AND +/-3% OF OPTIMUM FOR SOILS WITH A LIQUID LIMIT LESS THAN 40. NO ROCK LARGER THAN THREE INCHES IN ANY DIMENSION NOR ANY SHALE SHALL BE PLACED IN THE TOP 24 INCHES OF EMBANKMENT.  
5. AREAS THAT ARE TO BE CUT TO SUBGRADE LEVELS SHALL BE PROOF ROLLED WITH A LOADED DUMP TRUCK OR SIMILAR APPROVED CONSTRUCTION EQUIPMENT TO DETECT UNSUITABLE SOIL CONDITIONS.  
6. IN ALL AREAS OF EXCAVATION, IF UNSUITABLE SOIL CONDITIONS ARE ENCOUNTERED, THE OWNER'S ENGINEER SHALL RECOMMEND TO THE OWNER THE METHODS OF UNDERCUTTING AND REPLACEMENT OF PROPERLY COMPACTED, APPROVED FILL MATERIAL. ALL PROOFROLLING AND UNDERCUTTING SHOULD BE PERFORMED DURING A PERIOD OF DRY WEATHER.  
7. ALL EXCAVATIONS SHALL BE CONSIDERED AS UNCLASSIFIED. REFER TO PROJECT GEOTECHNICAL REPORT.  
8. ALL DISTURBED SLOPES ARE TO BE 3:1 OR FLATTER.  
9. ALL SLOPES DISTURBED EXCEEDING 4:1 SHALL BE HYDROSEED, SODDED OR PROTECTED BY EROSION CONTROL BLANKETS THAT WILL PREVENT EROSION AND PLACED SUCH THAT THE SURFACE IS FLUSH WITH SURROUNDING GROUND AND SHAPED TO CHANNEL WATER IN DIRECTIONS INDICATED. SEE GENERAL NOTES ON THIS SHEETS.  
10. ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH AND A MINIMUM OF FOUR INCHES OF TOPSOIL APPLIED. IF ADEQUATE TOPSOIL IS NOT AVAILABLE ON-SITE, THE CONTRACTOR SHALL PROVIDE TOPSOIL. APPROVED, THE AREA SHALL THEN BE SODDED OR SEEDING, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS. ANY AREAS DISTURBED FOR ANY REASON SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER PRIOR TO FINAL ACCEPTANCE OF THE PROJECT. REFER TO THE NOTES ON THIS SHEET FOR TEMPORARY SEEDING SPECIFICATIONS. REFER TO PROJECT SITE PLAN FOR FINAL STABILIZATION TREATMENTS.  
11. CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS.  
12. THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT. THE CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR ANY DAMAGES TO THE ADJACENT PROPERTIES OCCURRING DURING THE CONSTRUCTION PHASES OF THIS PROJECT.  
13. IT IS NOT THE DUTY OF THE ENGINEER OR THE OWNER TO REVIEW THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES, IN, ON OR NEAR THE CONSTRUCTION SITE AT ANY TIME DURING CONSTRUCTION.  
14. IF ANY OF THESE NOTES CONFLICT WITH THE PROJECT GEOTECHNICAL REPORT AND ALL ADDENDUMS PREPARED BY CFS ENGINEERS DATED (TBD), RECOMMENDATIONS IN GEOTECHNICAL REPORT SHALL GOVERN.

**NOTE:**  
1. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRANCE, SLOPED PAVING, EXIT PORCHES, RAMPS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.  
2. THESE PLANS HAVE NOT BEEN VERIFIED WITH FINAL ARCHITECTURAL CONTRACT DRAWINGS. CONTRACTOR SHALL VERIFY AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES. CONTRACTOR IS SOLELY RESPONSIBLE FOR REVIEW AND COORDINATION OF ALL DRAWINGS AND CONTRACTOR DOCUMENTS.



**NOTES:**  
22 MATCH EXISTING SIDEWALK ELEVATION.  
23 MATCH EXISTING PAVEMENT ELEVATION.  
24 MATCH EXISTING PARKING LOT OR TRACK CURB ELEVATION.  
25 TAPER CURB FROM FULL HEIGHT TO ZERO HEIGHT.  
  
DETAILS - SEE DETAIL SHEET W-C900 AND W-C910.  
  
ESC-02 EROSION CONTROL BLANKETS AND TURF REINFORCEMENT MAT  
ESC-03 SEDIMENTATION FENCE  
ESC-07 AREA INLET & JUNCTION BOX PROTECTION



**GENERAL NOTES:**  
1. PROJECT AREA IS APPROXIMATE LIMITS OF CONSTRUCTION.  
2. THE CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES AS SHOWN ON THE DRAWINGS PRIOR TO BEGINNING EARTHWORK OPERATIONS.  
3. THE CONTRACTOR SHALL MAINTAIN ALL SILT CONTROL MEASURES DURING CONSTRUCTION.  
4. ALL SILT IN SHALE DURING CONSTRUCTION LIMITS. SURROUNDING PARKING LOTS AND PLAYGROUNDS SHALL BE KEPT CLEAR OF ALL MUD AND DEBRIS.  
5. A SEDIMENTATION BARRIER IS TO BE INSTALLED AS SHOWN.  
6. ACCUMULATED SEDIMENT SHALL BE REMOVED AND THE SEDIMENTATION BARRIERS MAINTAINED AS NEEDED TO PREVENT SEDIMENTATION BYPASS OF THE BARRIER.  
7. SLOPES ARE TO BE LEFT IN A ROUGH CONDITION DURING GRADING.  
8. CURB INLET SEDIMENTATION BARRIERS ARE TO BE INSTALLED AROUND INLETS WHERE SEDIMENTATION IS A CONCERN. INLET BARRIERS SHALL BE FILTER BAGS.  
9. SEDIMENT IS TO BE REMOVED FROM STORM WATER DRAINAGE SYSTEMS.  
10. CONTRACTOR IS RESPONSIBLE FOR INSTALLING ANY ADDITIONAL EROSION CONTROL AS HE/SHE DEEMS NECESSARY.  
11. THE CONTRACTOR SHALL PROVIDE ALL MATERIALS, TOOLS, EQUIPMENT AND LABOR AS NECESSARY TO INSTALL AND MAINTAIN ADEQUATE EROSION AND SILTATION CONTROLS REQUIRED TO PREVENT SOIL EROSION FROM LEAVING THE PROJECT SITE. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO ENSURE THAT METHODS UTILIZED ARE ADEQUATE AND COMPLY WITH REQUIREMENTS OF THE SPECIFICATIONS AND GOVERNMENTAL AGENCIES HAVING JURISDICTION OVER THE WORK.  
12. TEMPORARY SEDIMENT FENCE/STRAW MATS TO REMAIN UNTIL ADEQUATE VEGETATION IS ESTABLISHED.  
13. MUD AND DEBRIS SHALL BE CLEANED UP AT THE CONCLUSION OF EACH WORKING DAY, OR AFTER EACH RAINFALL IF SILT IS PRESENT.  
14. INSPECTION, MAINTENANCE AND REPAIR OF EROSION CONTROL DEVICES SHALL BE ON GOING THROUGHOUT THE LIFE OF BUILDING CONSTRUCTION TO KEEP THE DEVICES IN OPERABLE CONDITION AT ALL TIMES. ADDITIONAL MEASURES SHALL BE INSTALLED AS REQUIRED BY ACTUAL FIELD CONDITIONS AND/OR GOVERNING INSPECTION AGENCIES.  
15. INSTALL CONSTRUCTION ENTRANCE AS NOTED.  
16. AT COMPLETION OF SITE GRADING AND OTHER RELATED CONSTRUCTION ACTIVITIES, ALL DISTURBED AREAS WITHIN THE PROJECT SITE SHALL BE SEED, SODDED, OR LANDSCAPED AS SHOWN ON THE SITE. IF GRADING ACTIVITIES CEASE ON AN AREA OF THE SITE DISTURBED SLOPES SHALL BE TEMPORARILY SEED IN ACCORDANCE WITH PLANS.  
17. TOPSOIL IS TO BE PLACED IN AREAS UNSUITABLE FOR VEGETATIVE GROWTH.  
18. STRIP TOPSOIL PRIOR TO EXCAVATION, STOCKPILE, AND SPREAD ONTO DISKED SUBGRADE (4" MIN) A THICKNESS OF 4 INCHES.  
19. THE CONTRACTOR SHALL HAVE THE RESPONSIBILITY OF RESOLVING COMPLAINTS IN THE EVENT THAT COMPLAINTS OR DAMAGE CLAIMS ARE FILED DUE TO DAMAGES OCCURRING ADJACENT TO OR DOWNSTREAM FROM PROPERTY BY SEDIMENT RESULTING FROM EROSION ON THE PROJECT SITE.  
20. GOOD HOUSEKEEPING PRACTICES SHALL BE MAINTAINED ON SITE TO KEEP SOLID WASTE FROM ENTRY INTO WATERS.  
21. ALL FUELING ACTIVITIES PRESENT ON SITE SHALL ADHERE TO APPLICABLE FEDERAL AND STATE REQUIREMENTS CONCERNING UNDERGROUND STORAGE, ABOVE GROUND STORAGE AND DISPENSERS, INCLUDING SILT PREVENTION, CONTROL AND COUNTER MEASURES.  
22. EROSION CONTROL IS TO BE PLACED IN PHASING AS CONSTRUCTION PROGRESSES.  
23. MINIMAL WASHING OF CONCRETE EQUIPMENT ALLOWED, CHUTE ETC. CONCRETE WASHOUT OF THE DRUM IS NOT ALLOWED. ANY PIT/WASHOUT AREA NEEDS TO BE MAINTAINED IN A NON-DISCHARGING MANNER AND ANY WASTE RESIDUE WILL NEED TO BE CLEANED OUT AND REMOVED AT THE END OF PROJECT.  
24. EROSION CONTROL SEDIMENT FENCE OR STRAW MATS SHALL BE INSTALLED 1'-0" BEHIND CURB & GUTTER OR SIDEWALK UPON COMPLETION OF BACKFILL OF CURB IN ALL AREAS WHERE SLOPES FROM DISTURBED AREAS DRAIN TOWARDS CURB OR SIDEWALK. UPON COMPLETION OF FINAL GRADING THE TOES OF ALL EMBANKMENTS IN EXCESS OF TWO FEET IN HEIGHT WILL HAVE EROSION CONTROL SEDIMENT FENCE INSTALLED.

**EROSION AND SEDIMENT CONTROL INSPECTION PROCEDURES**  
THE FOLLOWING PROCEDURES WILL BE USED TO MAINTAIN EROSION AND SEDIMENTATION CONTROLS.

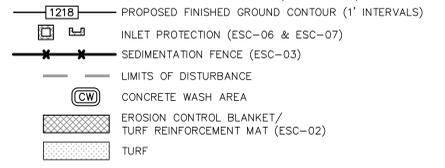
1. ALL CONTROL MEASURES WILL BE INSPECTED AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL EVENT PRODUCING RUNOFF AND DAILY DURING PROLONGED RAINFALL PERIODS.
2. ALL MEASURES WILL BE MAINTAINED IN GOOD WORKING ORDER. IF A REPAIR IS NECESSARY, IT WILL BE MADE WITHIN 24 HOURS OF THE INSPECTION.
3. SEDIMENT WILL BE REMOVED FROM THE SILT BARRIERS WHEN IT HAS REACHED ONE-THIRD OF THE HEIGHT OF THE BARRIER.
4. SILT BARRIERS WILL BE INSPECTED FOR DEPTH OF ACCUMULATED SEDIMENT, TEARS, ATTACHMENT TO POSTS, AND STABILITY ON A WEEKLY BASIS.
5. TEMPORARY AND PERMANENT SEEDING AND PLANTING WILL BE INSPECTED FOR BARE SPOTS, WASHOUTS, AND HEALTHY GROWTH.
6. THE CONSTRUCTION MANAGER WILL SELECT INDIVIDUALS TO BE RESPONSIBLE FOR INSPECTIONS, MAINTENANCE, REPAIRS, AND REPORTING. THE DESIGNATED INDIVIDUALS WILL RECEIVE THE NECESSARY TRAINING FROM THE CONSTRUCTION MANAGER TO PROPERLY INSPECT AND MAINTAIN THE CONTROLS IN GOOD WORKING ORDER.

**WARRANTY / DISCLAIMER**  
THE DESIGNS REPRESENTED IN THESE PLANS ARE IN ACCORDANCE WITH ESTABLISHED PRACTICES OF CIVIL ENGINEERING FOR THE DESIGN FUNCTIONS AND USES INTENDED BY THE OWNER AT THIS TIME. HOWEVER, NEITHER KAW VALLEY ENGINEERING, INC. NOR ITS PERSONNEL CAN OR DO WARRANT THESE DESIGNS OR PLANS AS CONSTRUCTED, EXCEPT IN THE SPECIFIC CASES WHERE KAW VALLEY ENGINEERING PERSONNEL INSPECT AND CONTROL THE PHYSICAL CONSTRUCTION ON A TEMPORARY BASIS AT THE SITE.

**CAUTION - NOTICE TO CONTRACTOR**  
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.  
**THE CONTRACTOR SHALL EXPOSE EXISTING UTILITIES AT LOCATIONS OF POSSIBLE CONFLICTS PRIOR TO ANY CONSTRUCTION.**

**SAFETY NOTICE TO CONTRACTOR**  
IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.

**EROSION & PROPOSED IMPROVEMENTS LEGEND:**



811 Know what's below. Call before you dig.

PROJ. NO. C20\_0691 DSN: DWW ENGINEER: DAVID D. WOOD  
CFN: 0691GP-LSW/DWG DWN: NJN MO # 201037427  
14700 WEST 114TH TERRACE  
LENEXA, KANSAS 66215  
PH. (913) 694-5150 FAX (913) 694-5977  
l@kve.com www.kve.com

KAW VALLEY ENGINEERING, INC. IS AUTHORIZED TO OFFER ENGINEERING SERVICES BY MISSOURI STATE CERTIFICATE OF AUTHORITY # 000842. EXPIRES 12/31/21

UNLESS A PROFESSIONAL SEAL WITH SIGNATURE AND DATE IS AFFIXED, THIS DOCUMENT IS PRELIMINARY AND IS NOT INTENDED FOR CONSTRUCTION, RECORDING PURPOSES OR IMPLEMENTATION



Kaw Valley Engineering, Inc.  
Missouri Certificate of Authority: 000842  
David Wood Date: 07/13/2021  
Engineer License No. PE-201037427

**REVISIONS**

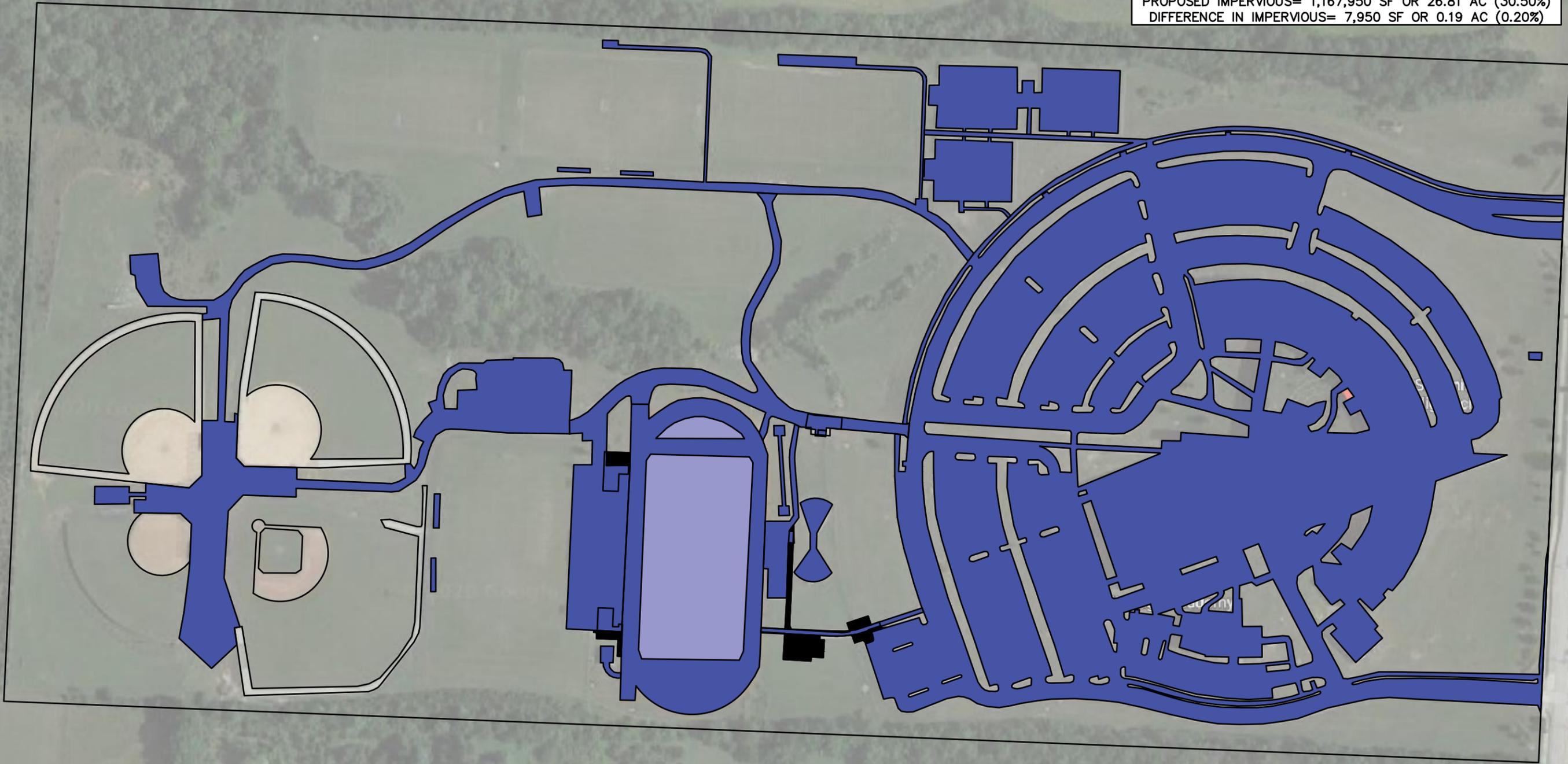
Number	DESCRIPTION	DATE
1	Addendum 1	10/12/20
2	Addendum 3	10/23/20
3	Per City Comments & PR-004	01/13/21

PROJECT NO: 0119-0100  
DATE: September 28, 2020

**GRADING AND EROSION CONTROL PLAN W-C300**

BID SET

PROJECT SITE  
 TOTAL AREA= 3,828,902 SF OR 87.90 AC  
 EXISTING IMPERVIOUS= 1,160,000 SQFT OR 26.63 AC (30.30%)  
 PROPOSED IMPERVIOUS= 1,167,950 SF OR 26.81 AC (30.50%)  
 DIFFERENCE IN IMPERVIOUS= 7,950 SF OR 0.19 AC (0.20%)



EXISTING IMPERVIOUS AREA IS ESTIMATED FROM AERIAL TOPOGRAPHY

**LEGEND:**

- EXISTING IMPERVIOUS AREA
- ADDITIONAL IMPERVIOUS AREA FROM PROPOSED IMPROVEMENTS



14700 WEST 114TH TERRACE  
 LENEXA, KANSAS 66215  
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 lx@kveng.com | www.kveng.com

**KAW VALLEY ENGINEERING**

**OVERALL IMPERVIOUS AREAS**

1/11/2021

0691PBASEIMPERV