

# PRELIMINARY DEVELOPMENT PLANS

FOR

# LOT 1 & 2

# STREETS OF WEST PRYOR

LEE'S SUMMIT, MO

#### UTILITIES

Electric Service  
Evergy  
Nathan Michael  
913-347-4310  
Nathan.michael@evergy.com

Gas Service  
Spire  
Katie Darnell  
816-969-2247  
Katie.darnell@spireenergy.com

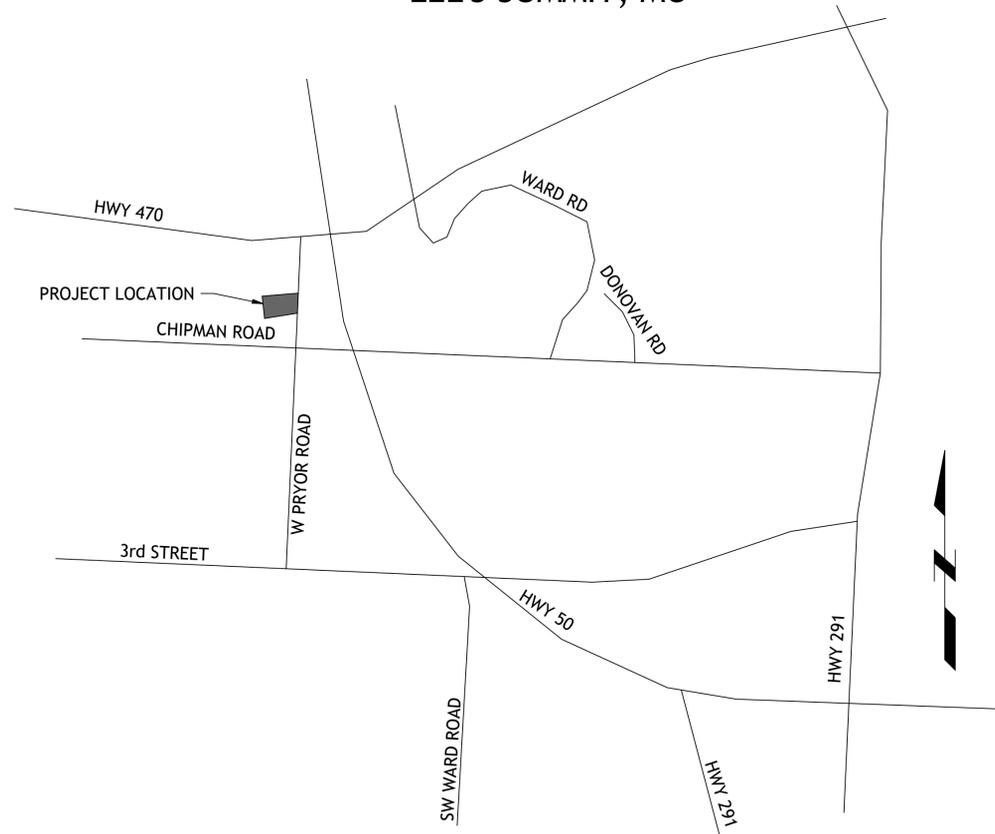
Water/Sanitary Sewer  
Water Utilities Department  
1200 SE Hamblen Road  
Lee's Summit, Mo 64081  
Jeff Thorn  
816-969-1900  
jeff.thorn@cityofls.net

Communication Service  
AT&T Carrie Cilke  
816-703-4386  
cc3527@att.com

Time Warner Cable  
Steve Baxter  
913-643-1928  
steve.baxter@charter.com

Comcast  
Ryan Alkire  
816-795-2218  
ryan.alkire@cable.comcast.com

Google Fiber  
Becky Davis  
913-725-8745  
rebeccadavis@google.com



LOCATION MAP

#### INDEX OF SHEETS

- C-1 COVER SHEET
- C-2 EXISTING CONDITIONS
- C-3 OVERALL SITE PLAN
- C-4 UTILITY PLAN
- C-5 GRADING PLAN
- C-6 LANDSCAPE PLAN
- C-7 DETAILS
- C-8 DETAILS

SM Engineering



5507 High Meadow Circle  
Manhattan Kansas, 66503  
smcivilengr@gmail.com  
785.341.9747

Drawings and/or Specifications are original proprietary work and property of the Engineer and intended specifically for this project. Use of items contained herein without consent of the Engineer is prohibited. Drawings illustrate best information available to the Engineer. Field verification of actual elements, conditions, and dimensions is required.

Revisions  
10-26-20 CITY COMMENTS  
11-11-20 CITY COMMENTS  
12-31-20 PER CLIENT

#### UTILITY STATEMENT:

THE UNDERGROUND UTILITIES SHOWN HEREON ARE FROM FIELD SURVEY INFORMATION OF ONE-CALL LOCATED UTILITIES, FIELD SURVEY INFORMATION OF ABOVE GROUND OBSERVABLE EVIDENCE, AND/OR THE SCALING AND PLOTTING OF EXISTING UTILITY MAPS AND DRAWINGS AVAILABLE TO THE SURVEYOR AT THE TIME OF SURVEY. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. FURTHERMORE, THE SURVEYOR DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES BY EXCAVATION UNLESS OTHERWISE NOTED ON THIS SURVEY.

#### SAFETY NOTICE TO CONTRACTOR

IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICE, THE CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.

#### WARRANTY/DISCLAIMER

THE DESIGNS REPRESENTED IN THESE PLANS ARE IN ACCORDANCE WITH ESTABLISHED PRACTICES OF CIVIL ENGINEERING FOR THE DESIGN FUNCTIONS AND USES INTENDED BY THE OWNER AT THIS TIME. HOWEVER, NEITHER SM ENGINEERING NOR ITS PERSONNEL CAN OR DO WARRANTY THESE DESIGNS OR PLANS AS CONSTRUCTED, EXCEPT IN THE SPECIFIC CASES WHERE SM ENGINEERING PERSONNEL INSPECT AND CONTROL THE PHYSICAL CONSTRUCTION ON A CONTEMPORARY BASIS AT THE SITE.

#### CAUTION- NOTICE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH PROPOSED IMPROVEMENTS SHOWN ON THE PLANS. THE CONTRACTOR SHALL EXPOSE EXISTING UTILITIES AT LOCATIONS OF POSSIBLE CONFLICTS PRIOR TO ANY CONSTRUCTION.

#### LEGAL DESCRIPTION:

LOT 1 & 2 STREET OF WEST PRYOR  
LEE'S SUMMIT, MO, JACKSON COUNTY MISSOURI

ALL EXISTING TOPOGRAPHIC DATA AND INFRASTRUCTURE IMPROVEMENTS SHOWN BASED ON INFORMATION BY KAW VALLEY ENGINEERING

#### BENCHMARKS:

#1 CHISELED "SQUARE" ON TOP OF CURB POINT OF INTERSECTION OF WEST PARK PARKING LOT AT EAST DRIVE ENTRANCE  
ELEVATION 985.05

#2 CHISELED "SQUARE" ON NORTHWEST CORNER AREA INLET, 25' EAST OF CURB LINE AND ON-LINE WITH SOUTH CURB OF LOWENSTEIN DRIVE AT 90° BEND IN ROAD  
ELEVATION 971.06

#### FLOODPLAIN NOTE:

SUBJECT PROPERTY IS SHOWN TO BE LOCATED IN "OTHER AREAS ZONE X" ON THE FLOOD INSURANCE RATE MAP FOR JACKSON COUNTY, MISSOURI AND INCORPORATED AREAS. COMMUNITY PANEL NO. 29095C0416G, REVISED JANUARY 20, 2017. "OTHER AREAS ZONE X" IS DEFINED AS "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN". LOCATION DETERMINED BY A SCALED GRAPHICAL PLOT OF THE FLOOD INSURANCE RATE MAP.

#### DEVELOPER

SWP III, LLC  
C/O DRAKE DEVELOPMENT, LLC  
7200 W 132nd ST, SUITE 150  
OVERLAND PARK, KS 66213  
913-662-2630

#### ENGINEER

SM ENGINEERING  
SAM MALINOWSKY  
5507 HIGH MEADOW CIRCLE  
MANHATTAN KANSAS, 66503  
SMCIVILENGR@GMAIL.COM  
785.341.9747



SAMUEL D. MALINOWSKY  
PROFESSIONAL ENGINEER

STREETS OF W. PRYOR  
LOT 1 & 2  
LEE'S SUMMIT, MO.

sheet

C1.0

Civil

Site Improvement Plan

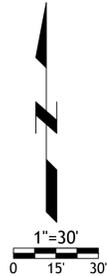
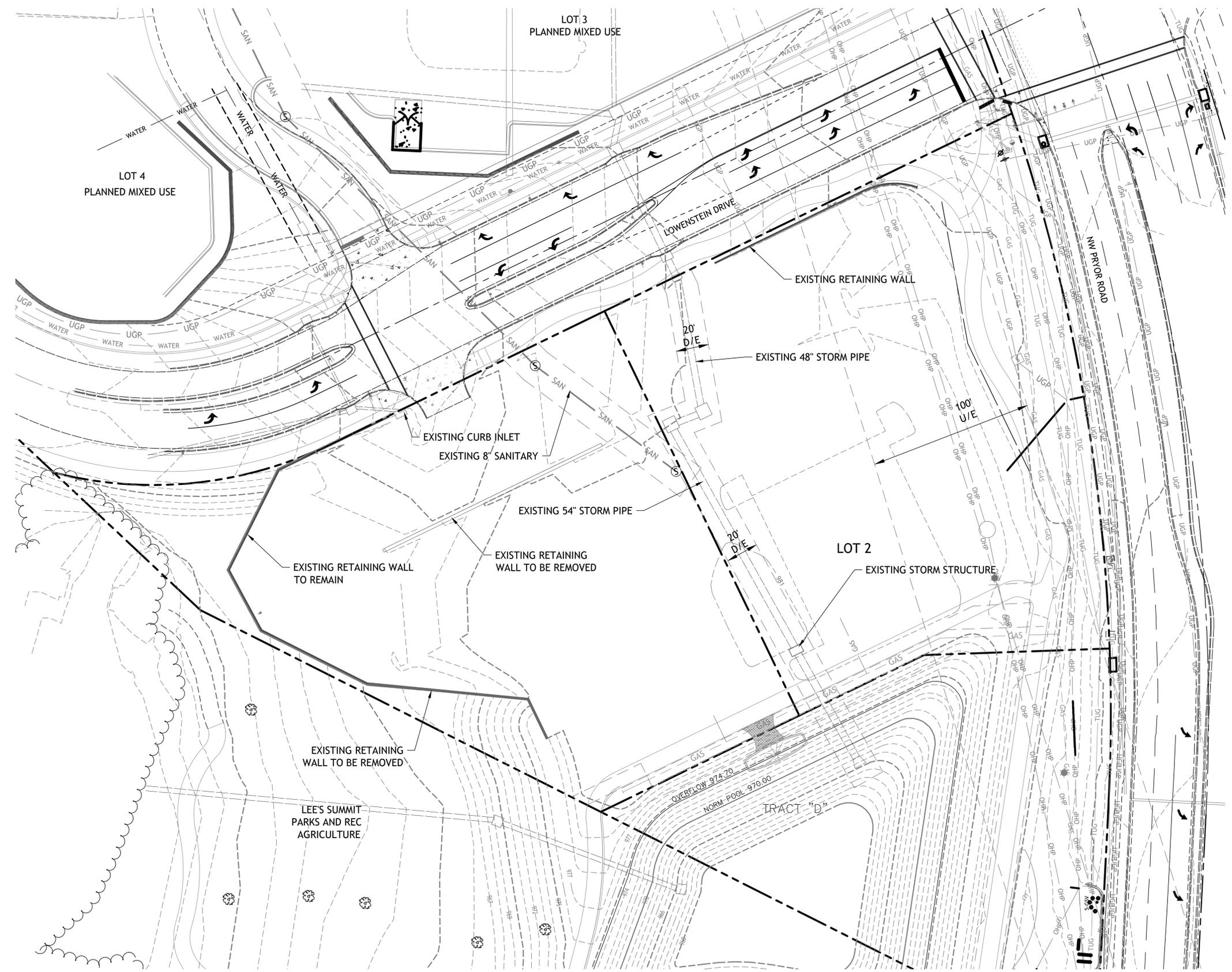
permit  
25 SEPTEMBER 2020

Drawings and/or Specifications are original proprietary work and property of the Engineer and intended specifically for this project. Use of items contained herein without consent of the Engineer is prohibited. Drawings illustrate best information available to the Engineer. Field verification of actual elements, conditions, and dimensions is required.



Revisions  
 10-26-20 CITY COMMENTS  
 11-11-20 CITY COMMENTS  
 12-31-20 PER CLIENT

STREETS OF W. PRYOR  
**LOT 1 & 2**  
 LEES SUMMITT, MO.



Drawings and/or Specifications are original proprietary work and property of the Engineer and intended specifically for this project. Use of items contained herein without consent of the Engineer is prohibited. Drawings illustrate best information available to the Engineer. Field verification of actual elements, conditions, and dimensions is required.

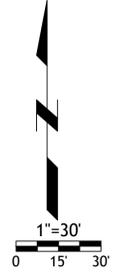
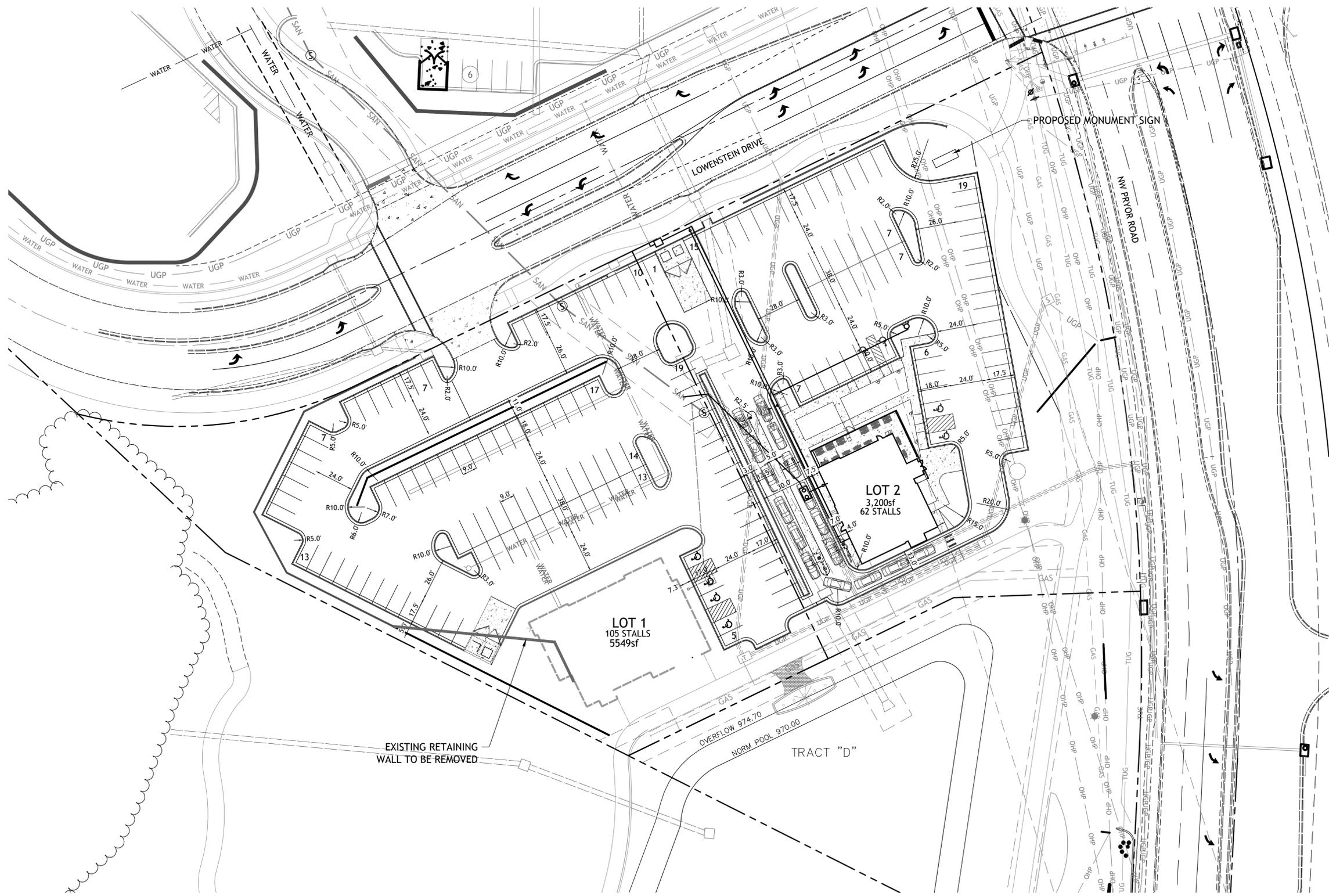


Revisions  
 10-26-20 CITY COMMENTS  
 11-11-20 CITY COMMENTS  
 12-31-20 PER CLIENT

**STREETS OF W. PRYOR**  
**LOT 1 & 2**  
 LEES SUMMITT, MO.

SITE DATA

LOT	USE	LOT AREA (SF)	LOT AREA (ACRES)	BLDG AREA SF (ENVELOPE)	# OF FLOORS	PARKING REQUIRED	PARKING PROVIDED	ADA SPACES REQ (VAN)	ADA SPACES PROV (VAN)	PRK LOT COVERAGE	TOTAL IMPERVIOUS COVERAGE	OPEN SPACE
LOT 1	MIXED USE	67,758	1.56	5,549	1	78	105	1	4	40,801	46,350	21,408
LOT 2	MIXED USE	71,216	1.63	3,200	1	45	62	1	2	32,418	35,618	35,598





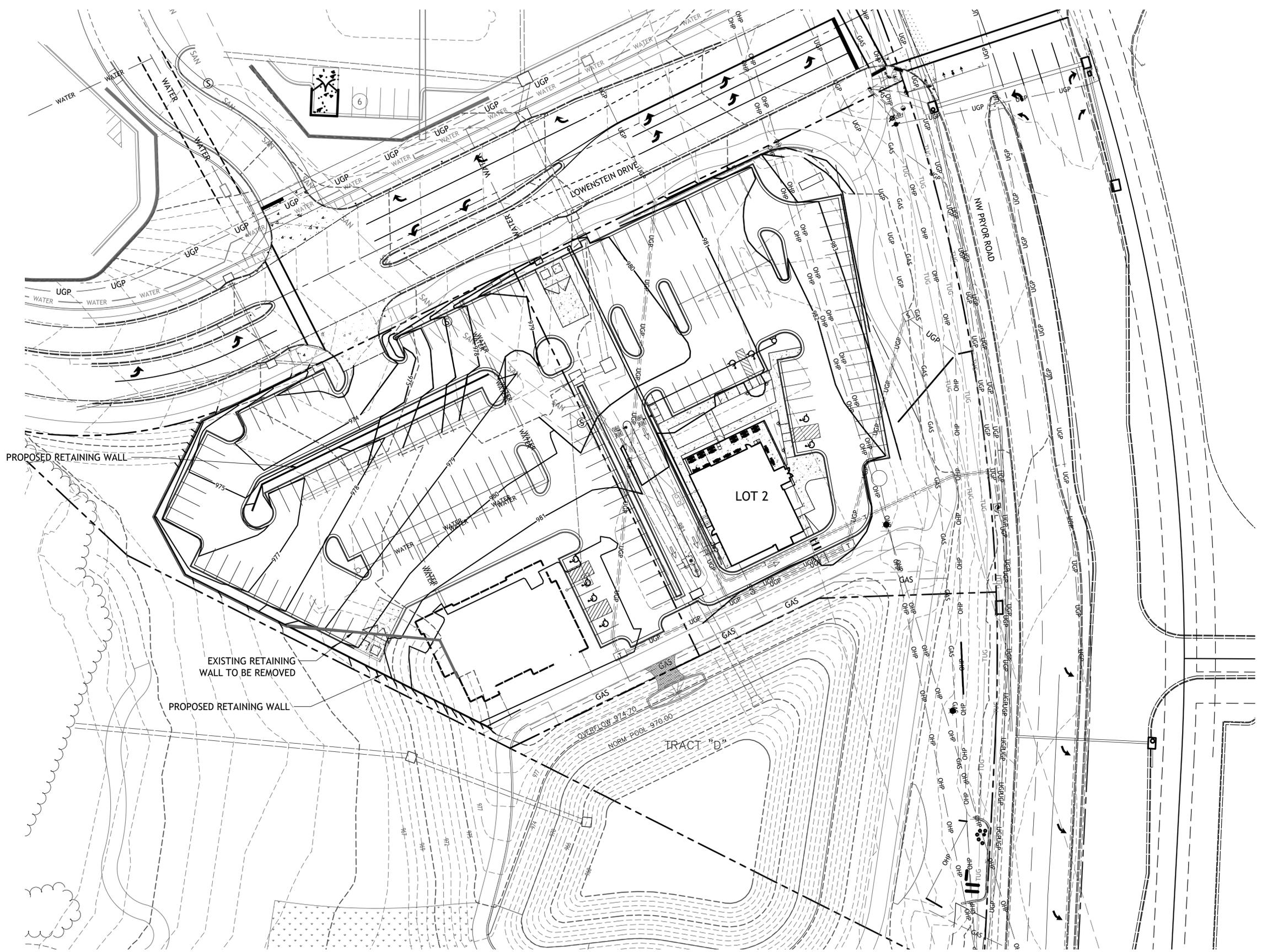
Drawings and/or Specifications are original proprietary work and property of the Engineer and intended specifically for this project. Use of items contained herein without consent of the Engineer, is prohibited. Drawings illustrate best information available to the Engineer. Field verification of actual elements, conditions, and dimensions is required.



Revisions  
10-26-20 CITY COMMENTS  
11-11-20 CITY COMMENTS  
12-31-20 PER CLIENT

STREETS OF W. PRYOR  
LOT 1 & 2  
LEES SUMMITT, MO.

sheet  
C5.0  
Civil  
GRADING  
permit  
25 SEPTEMBER 2020



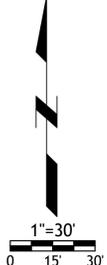
PROPOSED RETAINING WALL

EXISTING RETAINING WALL TO BE REMOVED

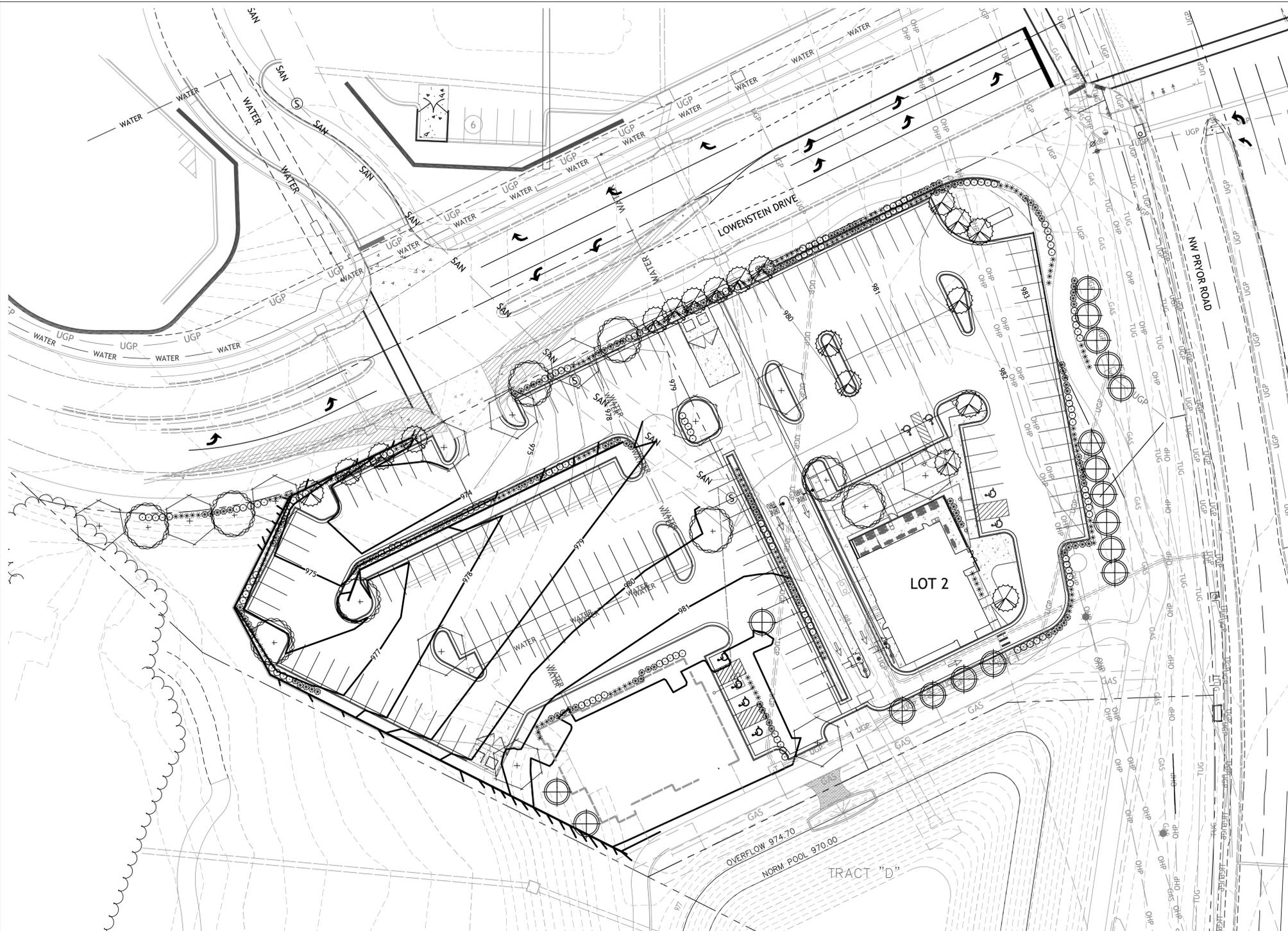
PROPOSED RETAINING WALL

LOT 2

OVERFLOW 974.70  
NORM. POOL 979.00  
TRACT "D"



1"=30'  
0 15 30



**LOT 1 SITE DATA:**

LOWENSTEIN	360'	
REQUIRED:		
STREET TREES 1/30'	=	12
PARKING LOT SHRUBS 12/40'	=	108
PROVIDED:		
SHADE TREES	=	8
ORNAMENTALS	=	4
SHRUBS	=	110

INTERIOR PARKING		
TOTAL PARKING SURFACE =	40,801sf	
REQUIRED		
5% LANDSCAPE AREA	=	2,040sf
PROVIDED	=	4,005sf

OPEN SPACE TREES		
TOTAL SITE	1.56ac (67,758sf)	
BUILDING AREA	5,549sf	
OPEN SPACE	62,209sf	

REQUIRED		
1 / 5,000sf	=	12

PROVIDED		
SHADE TREES	=	4
ORNAMENTALS	=	10

OPEN SPACE SHRUBS		
REQUIRED		
2 / 5,000sf	=	25
PROVIDED	=	85

**LOT 2 SITE DATA:**

LOWENSTEIN	277'	
REQUIRED:		
STREET TREES 1/30'	=	9
PARKING LOT SHRUBS 12/40'	=	83

PROVIDED:		
SHADE TREES	=	0
ORNAMENTALS	=	9
SHRUBS	=	83

PRYOR ROAD	333'	
REQUIRED:		
STREET TREES 1/30'	=	11
PARKING LOT SHRUBS 12/40'	=	100

PROVIDED:		
SHADE TREES	=	0 (OVERHEAD POWER LINES)
ORNAMENTALS	=	11
SHRUBS	=	100

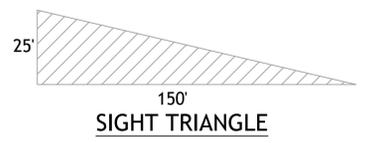
INTERIOR PARKING		
TOTAL PARKING SURFACE =	32,418 sf	
REQUIRED		
5% LANDSCAPE AREA	=	1,621 sf
PROVIDED	=	1,663 sf

OPEN SPACE TREES		
TOTAL SITE	1.63ac (71,216sf)	
BUILDING AREA	3,200sf	
OPEN SPACE	68,016sf	

REQUIRED		
1 / 5,000sf	=	14

PROVIDED		
SHADE TREES	=	4
ORNAMENTALS	=	10

OPEN SPACE SHRUBS		
REQUIRED		
2 / 5,000sf	=	27
PROVIDED	=	45

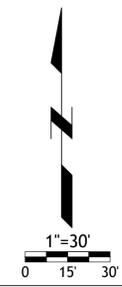


**Shrub List**

Symbol	Quantity	Common Name	Botanical Name	Size	Condition	Spacing
○	140	Seagreen Juniper	Juniperus Chinensis 'Seagreen'	18"-24"sp.	Cont.	4'o.c.
⊗	143	Dwarf Winged Euonymus	Euonymus Alatus 'Compactus'	18"-24"sp.	Cont.	4'o.c.
*	140	Morning Light Maiden Grass	Miscanthos Sinensis 'Morning Light'	18"-24"sp.	Cont.	4'o.c.

**Tree List**

Symbol	Quantity	Common Name	Botanical Name	Size	Condition	Spacing
+	9	October Glory Maple	Acer Rubrum 'October Glory'	3" cal	BB	As Shown
⊕	12	Skyline Honeylocust	Gleditsia Triacanthos 'Skyline'	3" cal	BB	As Shown
⊗	19	Golden Raintree	Koelreuteria Paniculata	3"cal	BB	As Shown
⊕	18	Golden Raintree	Koelreuteria Paniculata	3"cal	BB	As Shown

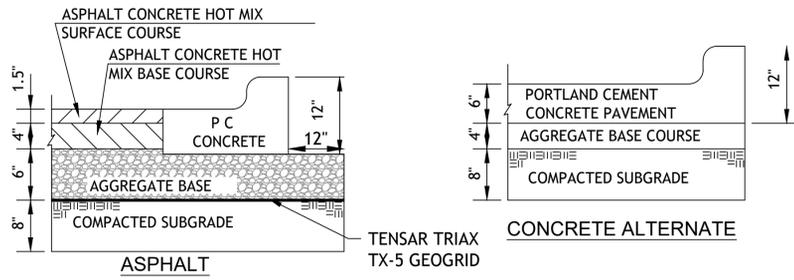


Drawings and/or Specifications are original proprietary work and property of the Engineer and intended specifically for this project. Use of items contained herein without consent of the Engineer is prohibited. Drawings illustrate best information available to the Engineer. Field verification of actual elements, conditions, and dimensions is required.

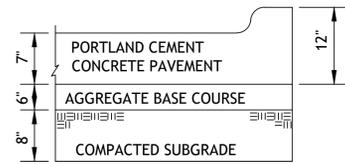


Revisions  
10-26-20 CITY COMMENTS  
11-11-20 CITY COMMENTS  
12-31-20 PER CLIENT

**STREETS OF W. PRYOR**  
**LOT 1 & 2**  
LEES SUMMITT, MO.



**REGULAR DUTY PAVING** PV1

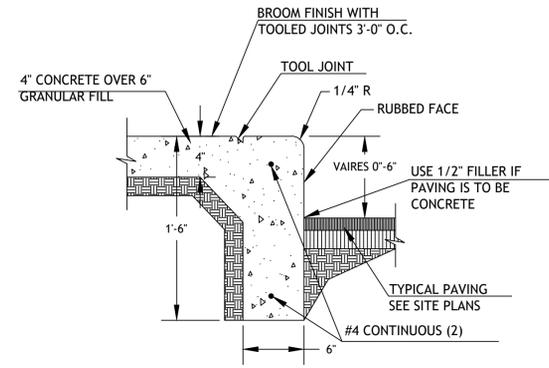


**HEAVY DUTY CONCRETE** PV3

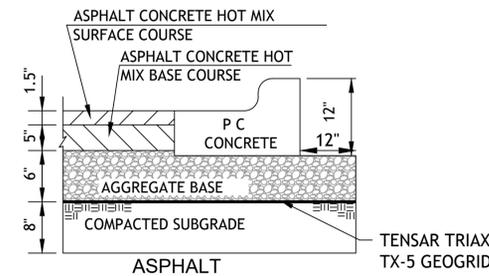
1. FLEXIBLE PAVEMENT SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MISSOURI DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS.

ASPHALT SURFACE COURSE - APWA TYPE 3-01  
 ASPHALT BASE COURSE - APWA TYPE 2-01  
 AGGREGATE BASE MoDOT TYPE 5 OR EQUIVALENT

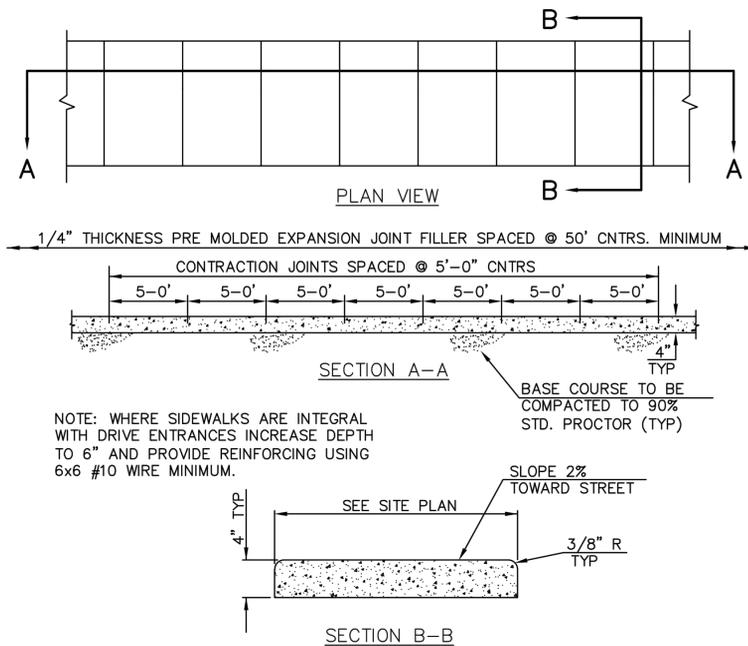
2. PORTLAND CEMENT CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI AT 28 DAYS WITH 6% ENTRAINED AIR ±2% AND SHALL MEET OR EXCEED THE SPECIFICATIONS SET FORTH IN THE LATEST EDITION OF THE MISSOURI DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS.



**CURB WALK/CURB (AT BUILDING)** CW1

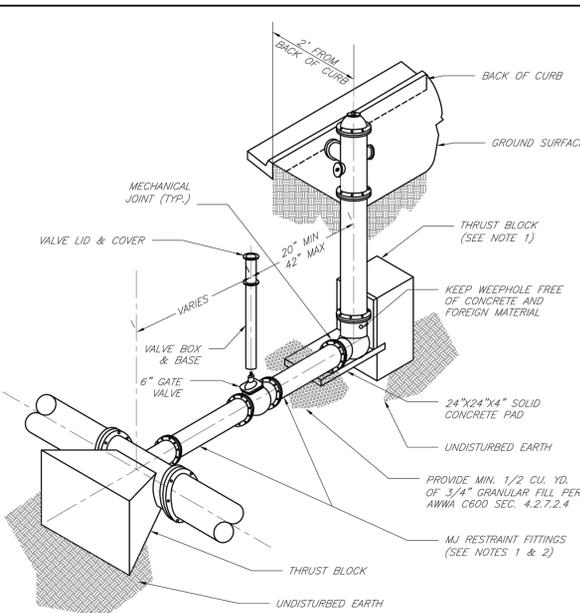


**HEAVY DUTY ASPHALT PAVING** PV2



**CONCRETE SIDEWALK** CW2

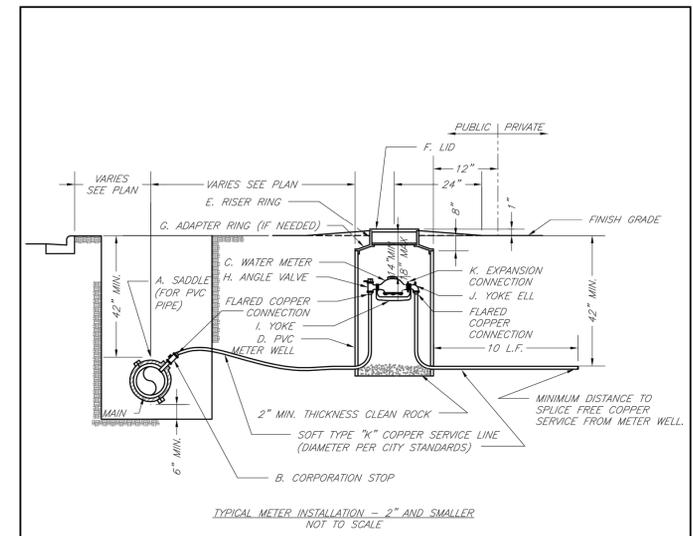
NOTE: CONCRETE SHALL BE CLASS A WITH  $f'_c = 3000$  PSI.



- NOTES:
- WHEN RETAINER GLANDS ARE USED IN LIEU OF MECHANICAL JOINT (MJ) RESTRAINT FITTINGS, HORIZONTAL THRUST BLOCKS ARE REQUIRED.
  - GATE VALVE MAY BE BOLTED DIRECTLY TO MJ RESTRAINT TEE.
  - SEE APPROVED PRODUCTS LIST FOR WATER UTILITIES FOR FIRE HYDRANT, VALVES, VALVE BOX LID, AND COVER.
  - BOTTOM HYDRANT FLANGE SHALL BE 2\"/>

**LEE'S SUMMIT MISSOURI**  
 PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64063  
**HYDRANT INSTALLATION - STRAIGHT SET**

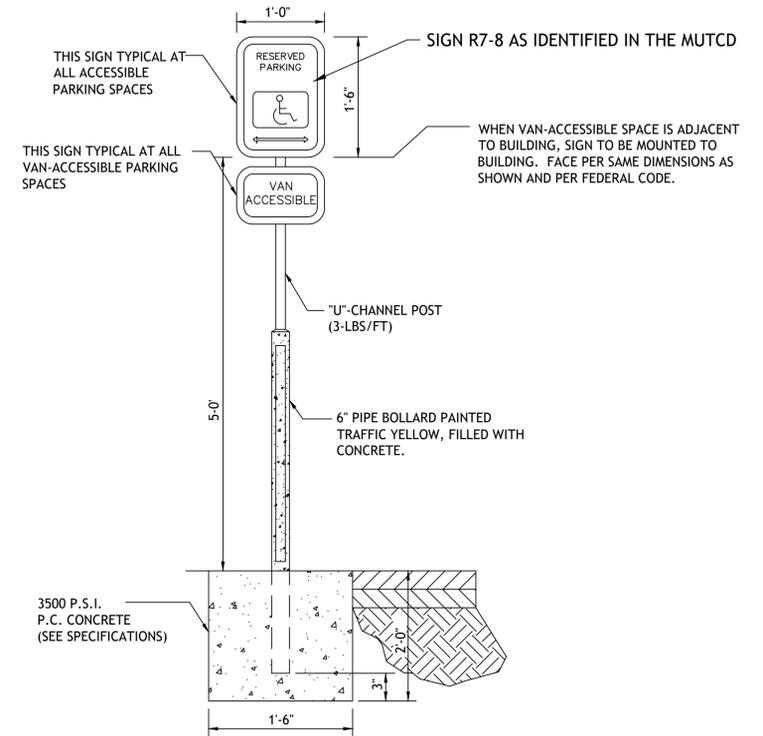
Date:	02/13
Drawn By:	JN
Checked By:	DL
FILE:	WAT-7
Rev:	1/14
Rev:	



- NOTES:
- METER INSTALLATION SHALL NOT BE LOCATED IN AREAS SUBJECT TO VEHICULAR TRAFFIC OR IN CONCRETE PAVEMENT WITHOUT CITY APPROVAL.
  - IF METER IS TO BE LOCATED OTHER THAN IN FRONT OF PROPERTY LINE, CITY APPROVAL SHALL BE OBTAINED.
  - CITY TO FURNISH ITEMS A-K.
  - NO OTHER EQUIPMENT SHALL BE INSTALLED IN THIS PIT.
  - 42\"/>

**LEE'S SUMMIT MISSOURI**  
 PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64063  
**SERVICE CONNECTION/METER WELL**

Date:	02/13
Drawn By:	JN
Checked By:	DL
FILE:	WAT-11
Rev:	1/14
Rev:	



**ACCESSIBLE PARKING SIGN** PK2

Drawings and/or Specifications are original proprietary work and property of the Engineer and intended specifically for this project. Use of items contained herein without consent of the Engineer is prohibited. Drawings illustrate best information available to the Engineer. Field verification of actual elements, conditions, and dimensions is required.



Revisions  
 10-26-20 CITY COMMENTS  
 11-11-20 CITY COMMENTS  
 12-31-20 PER CLIENT

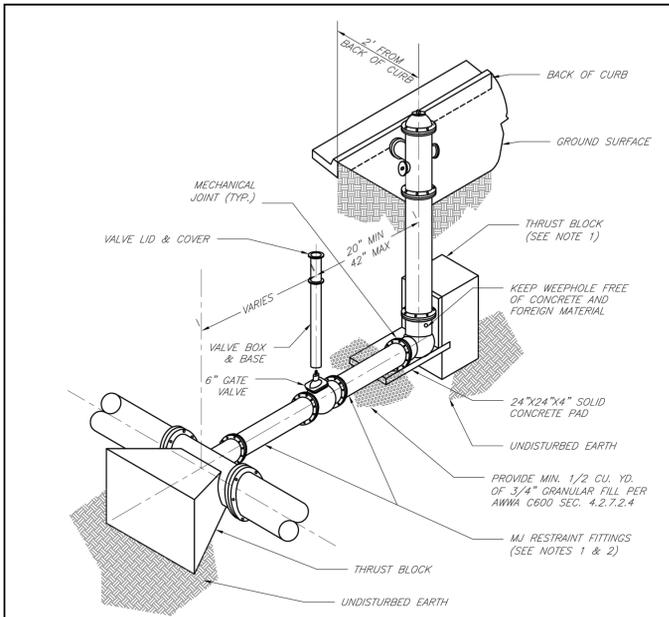
**STREETS OF W. PRYOR LOT 1 & 2**  
 LEE'S SUMMIT, MO.

Drawings and/or Specifications are original proprietary work and property of the Engineer and intended specifically for this project. Use of items contained herein without consent of the Engineer is prohibited. Drawings illustrate best information available to the Engineer. Field verification of actual elements, conditions, and dimensions is required.



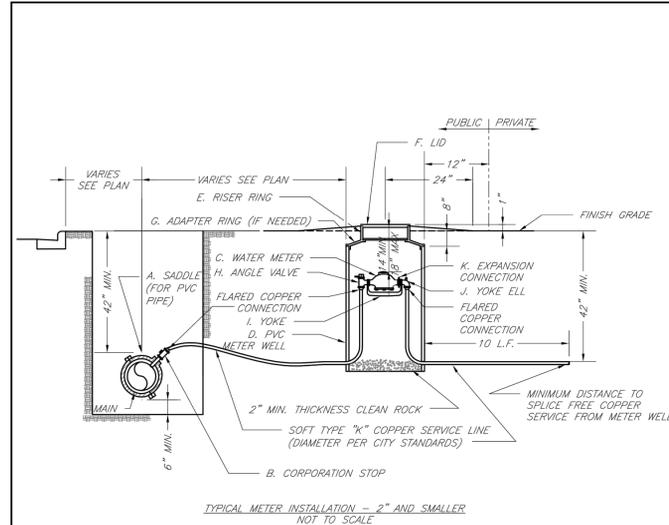
Revisions  
10-26-20 CITY COMMENTS  
11-11-20 CITY COMMENTS  
12-31-20 PER CLIENT

GEN-4



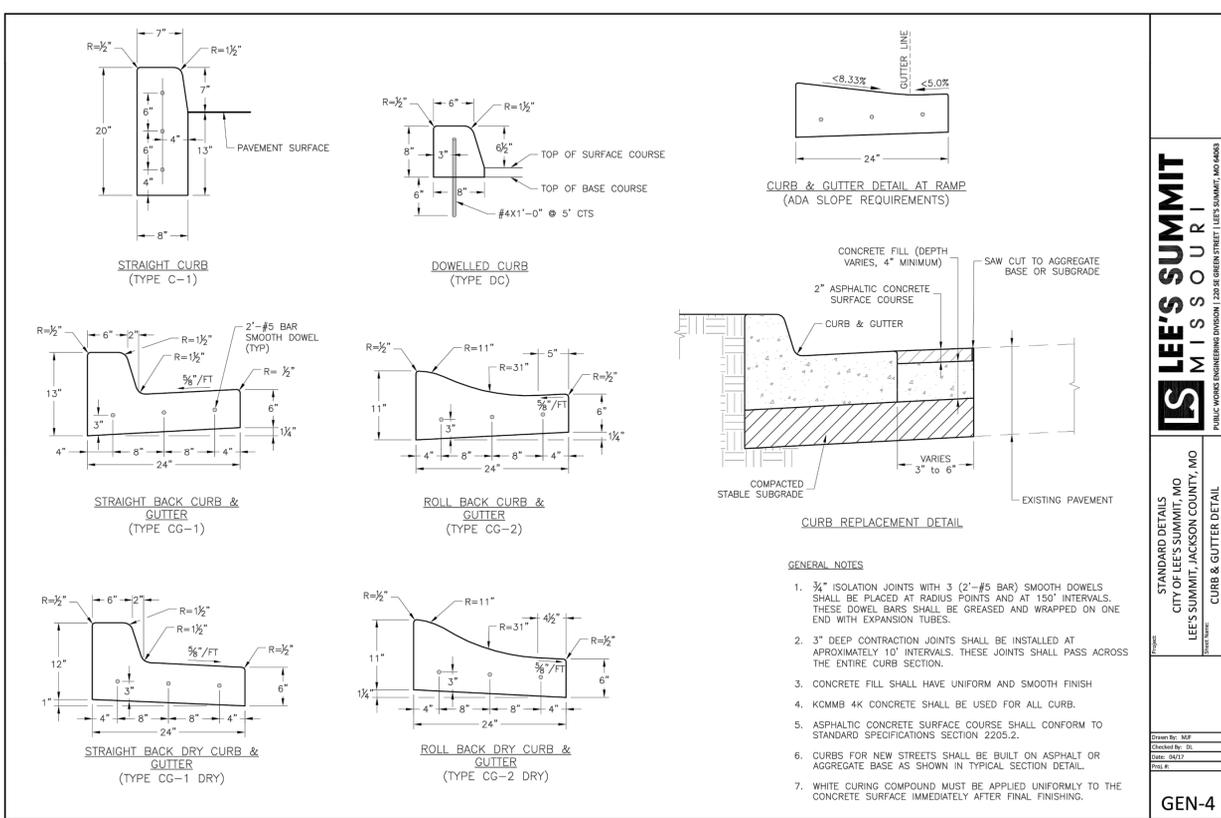
- NOTES:
- WHEN RETAINER GLANDS ARE USED IN LIEU OF MECHANICAL JOINT (MJ) RESTRAINT FITTINGS, HORIZONTAL THRUST BLOCKS ARE REQUIRED.
  - GATE VALVE MAY BE BOLTED DIRECTLY TO MJ RESTRAINT TEE.
  - SEE APPROVED PRODUCTS LIST FOR WATER UTILITIES FOR FIRE HYDRANT, VALVES, VALVE BOX LID, AND COVER.
  - BOTTOM HYDRANT FLANGE SHALL BE 2" TO 8" ABOVE FINISHED GRADE.
  - FOR STREETS WITHOUT CURBS FIRE HYDRANTS SHALL BE PLACED WITHIN 1 FOOT OF THE R/W LINE, BUT NOT MORE THAN 10' FROM EDGE OF PAVEMENT. FIRE HYDRANT SHALL NOT BE PLACED IN BOTTOM OF DITCH.
  - HYDRANT SHALL BE ROTATED AS DIRECTED BY INSPECTOR.

	<b>LEE'S SUMMIT MISSOURI</b>	Date: 02/13
	PUBLIC WORKS ENGINEERING DIVISION   220 SE GREEN STREET   LEE'S SUMMIT, MO 64063	Drawn By: JN
	HYDRANT INSTALLATION - STRAIGHT SET	Checked By: DL
		FILE: WAT-7
		Rev: 1/14

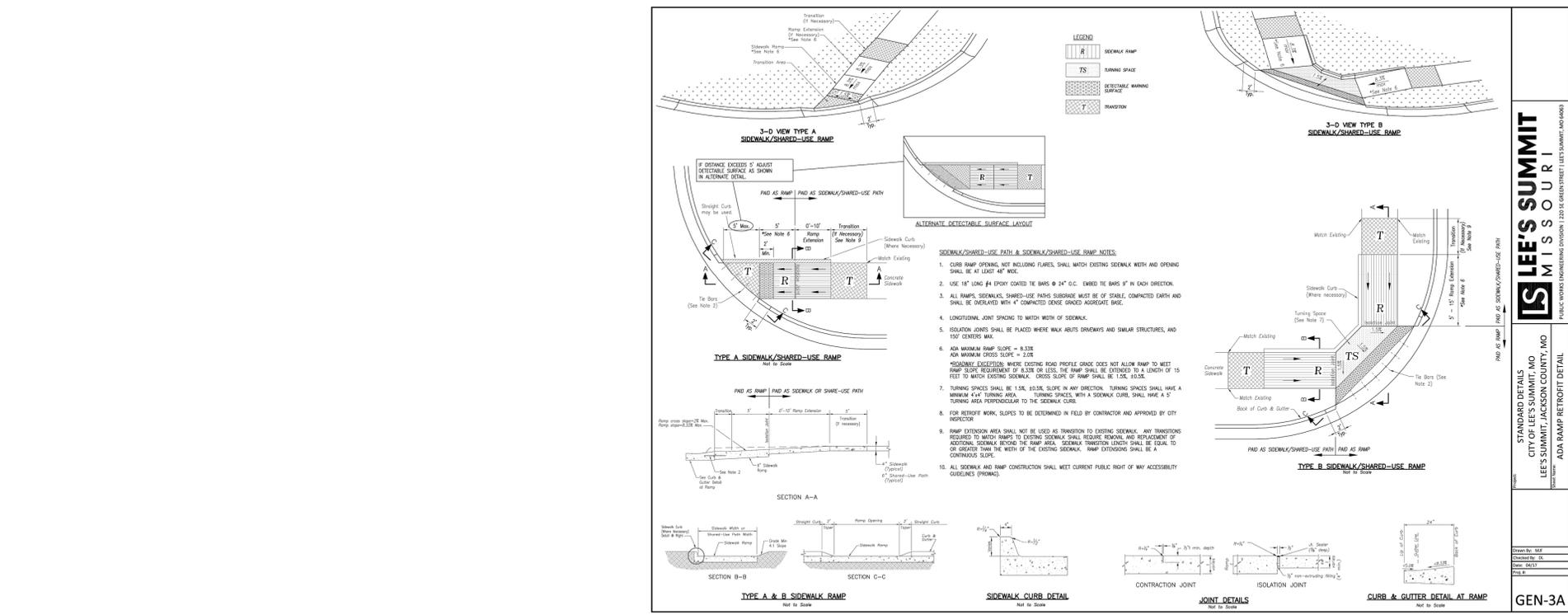


- NOTES:
- METER INSTALLATION SHALL NOT BE LOCATED IN AREAS SUBJECT TO VEHICULAR TRAFFIC OR IN CONCRETE PAVEMENT WITHOUT CITY APPROVAL.
  - IF METER IS TO BE LOCATED OTHER THAN IN FRONT OF PROPERTY LINE, CITY APPROVAL SHALL BE OBTAINED.
  - CITY TO FURNISH ITEMS A-K.
  - NO OTHER EQUIPMENT SHALL BE INSTALLED IN THIS PIT.
  - 42" MINIMUM BURY DEPTH FOR ALL SERVICE LINES.
  - EXCAVATION FOR TAP TO EXPOSE 4 LINEAR FEET OF MAIN.
  - NO SPLICES ALLOWED BETWEEN METER AND MAIN.
  - SERVICE CONNECTION TAP AT APPROXIMATELY 45 DEGREES.
  - LID AND RISER RING SHALL BE SET SO THAT GROUND WATER WILL DRAIN AWAY FROM THE WELL.
  - CONTACT WATER UTILITIES, 816-969-1900, FOR REQUIREMENTS OF A METER LARGER THAN 2"

	<b>LEE'S SUMMIT MISSOURI</b>	Date: 02/13
	PUBLIC WORKS ENGINEERING DIVISION   220 SE GREEN STREET   LEE'S SUMMIT, MO 64063	Drawn By: JN
	SERVICE CONNECTION/METER WELL	Checked By: DL
		FILE: WAT-11
		Rev: 1/14



- GENERAL NOTES:
- 3/4" ISOLATION JOINTS WITH 3 (2'-#5 BAR) SMOOTH DOWELS SHALL BE PLACED AT RADIUS POINTS AND AT 150' INTERVALS. THESE DOWEL BARS SHALL BE GREASED AND WRAPPED ON ONE END WITH EXPANSION TUBES.
  - 3" DEEP CONTRACTION JOINTS SHALL BE INSTALLED AT APPROXIMATELY 10' INTERVALS. THESE JOINTS SHALL PASS ACROSS THE ENTIRE CURB SECTION.
  - CONCRETE FILL SHALL HAVE UNIFORM AND SMOOTH FINISH.
  - KCMB 4K CONCRETE SHALL BE USED FOR ALL CURB.
  - ASPHALTIC CONCRETE SURFACE COURSE SHALL CONFORM TO STANDARD SPECIFICATIONS SECTION 2205.2.
  - CURBS FOR NEW STREETS SHALL BE BUILT ON ASPHALT OR AGGREGATE BASE AS SHOWN IN TYPICAL SECTION DETAIL.
  - WHITE CURING COMPOUND MUST BE APPLIED UNIFORMLY TO THE CONCRETE SURFACE IMMEDIATELY AFTER FINAL FINISHING.



- LEGEND
- TS TURNING SPACE
  - DETECTABLE WARNING SURFACE
  - TRANSITION
- 3-D VIEW TYPE A SIDEWALK/SHARED-USE RAMP NOTES:
- IF DISTANCE EXCEEDS 5' ADJUST DETECTABLE SURFACE AS SHOWN IN ALTERNATE DETAIL.
  - STRAIGHT CURB MAY BE USED.
  - TO SIDE (SEE NOTE 2).
- 3-D VIEW TYPE B SIDEWALK/SHARED-USE RAMP NOTES:
- CURB RAMP OPENING, NOT INCLUDING FLARES, SHALL MATCH EXISTING SIDEWALK WIDTH AND OPENING SHALL BE AT LEAST 48" WIDE.
  - USE 1/2" LONG #4 EPOXY COATED REBAR @ 24" O.C. EMBED THE BARS 9" IN EACH DIRECTION.
  - ALL RAMP, SIDEWALK, SHARED-USE PATHS SUBGRADE MUST BE OF STABLE, COMPACTED EARTH AND SHALL BE OVERLAYED WITH 4" COMPACTED DENSE GRANDED AGGREGATE BASE.
  - LONGITUDINAL JOINT SPACING TO MATCH WIDTH OF SIDEWALK.
  - ISOLATION JOINTS SHALL BE PLACED WHERE WALK ABUTS DRIVEWAYS AND SIMILAR STRUCTURES, AND 150' CENTER MAX.
  - ADA MAXIMUM RAMP SLOPE = 8.33%  
ADA MAXIMUM CROSS SLOPE = 2.08%  
HORIZONTAL ALIGNMENT: WHERE EXISTING ROAD PROFILE GRADE DOES NOT ALLOW RAMP TO MEET RAMP SLOPE REQUIREMENT OF 8.33% OR LESS, THE RAMP SHALL BE EXTENDED TO A LENGTH OF 15 FEET TO MATCH EXISTING SIDEWALK. CROSS SLOPE OF RAMP SHALL BE 1.5% 8.33%.
  - TURNING SPACES SHALL BE 1.5% 8.33% SLOPE IN ANY DIRECTION. TURNING SPACES SHALL HAVE A MINIMUM 4'x4' TURNING AREA. TURNING SPACES WITH A SIDEWALK CURB, SHALL HAVE A 5' TURNING AREA PERPENDICULAR TO THE SIDEWALK CURB.
  - FOR RETROFIT WORK, SLOPES TO BE DETERMINED IN FIELD BY CONTRACTOR AND APPROVED BY CITY INSPECTOR.
  - RAMP EXTENSION AREA SHALL NOT BE USED AS TRANSITION TO EXISTING SIDEWALK. ANY TRANSITIONS REQUIRED TO MATCH RAMP TO EXISTING SIDEWALK SHALL REQUIRE REMOVAL AND REPLACEMENT OF EXISTING SIDEWALK BEHIND THE RAMP AREA. SIDEWALK TRANSITION LENGTH SHALL BE EQUAL TO OR GREATER THAN THE WIDTH OF THE EXISTING SIDEWALK. RAMP EXTENSIONS SHALL BE A CONTINUOUS SLOPE.
  - ALL SIDEWALK AND RAMP CONSTRUCTION SHALL MEET CURRENT PUBLIC RIGHT OF WAY ACCESSIBILITY GUIDELINES (PROWAG).

	<b>LEE'S SUMMIT MISSOURI</b>	Date: 02/13
	PUBLIC WORKS ENGINEERING DIVISION   220 SE GREEN STREET   LEE'S SUMMIT, MO 64063	Drawn By: JN
	ADA RAMP RETROFIT DETAIL	Checked By: DL
		FILE: WAT-11
		Rev: 1/14

STREETS OF W. PRYOR  
LOT 1 & 2  
LEE'S SUMMIT, MO.