

AN ORDINANCE APPROVING A PRELIMINARY DEVELOPMENT PLAN LOCATED AT 1410, 1430 and 1440 NE DOUGLAS ST IN DISTRICT CP-2, OAKVIEW LOTS 2-4, ALL IN ACCORDANCE WITH THE PROVISIONS OF CHAPTER 33, THE UNIFIED DEVELOPMENT ORDINANCE, OF THE CODE OF ORDINANCES FOR THE CITY OF LEE'S SUMMIT, MISSOURI.

WHEREAS, Application #PL2020-200 submitted by Star Acquisitions & Development, LLC, requesting approval of a preliminary development plan in District CP-2 (Planned Community Commercial District) on land located at 1410, 1430 and 1440 NE Douglas St was referred to the Planning Commission to hold a public hearing; and,

WHEREAS, the Unified Development Ordinance provides for the approval of a preliminary development plan by the City following public hearings by the Planning Commission and City Council; and,

WHEREAS, after due public notice in the manner prescribed by law, the Planning Commission held a public hearing for the request on September 24, 2010, and rendered a report to the City Council containing findings of fact and a recommendation that the preliminary development plan be approved; and,

WHEREAS, after due public notice in the manner prescribed by law, the City Council held a public hearing on October 27, 2020, and approved a motion for a second ordinance reading to approve the preliminary development plan for said property; and,

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF LEE'S SUMMIT, MISSOURI, as follows:

SECTION 1. That a preliminary development plan is hereby approved in District CP-2 on the following described property:

Oakview, Lots 2, 3 and 4, containing 2.97 acres more or less.

SECTION 2. That the following conditions of approval apply:

1. A modification shall be granted to the 20' parking lot setback requirement from the right-of-way, to allow an 18' setback along NE Douglas St and a 14' setback along NE Victoria Dr.
2. A modification shall be granted to the minimum 3" caliper deciduous tree size, to allow 2.5" caliper deciduous shade trees and 2" caliper deciduous ornamental trees.
3. A modification shall be granted to the minimum 8' height for evergreen trees, to allow 5' tall evergreen trees.
4. An Alternate Parking Plan based on the Parking Generation Study dated August 27, 2020, shall be approved as part of the preliminary development plan for Lots 2-4 in accordance with Article 8, Division II (Parking) of the UDO.

BILL NO. 20-201**ORDINANCE NO. 9011**

SECTION 3. That development shall be in accordance with the preliminary development plan, date stamped August 27, 2020, and building elevations date stamped May 4, 2020, May 14, 2020 and August 10, 2020, as described in the staff report.

SECTION 4. Nonseverability. All provisions of this ordinance are so essentially and inseparably connected with, and so dependent upon, each other that no such provision would be enacted without all others. If a court of competent jurisdiction enters a final judgment on the merits that is not subject to appeal and that declares any provision or part of this ordinance void, unconstitutional, or unenforceable, then this ordinance, in its collective entirety, is invalid and shall have no legal effect as of the date of such judgment.

SECTION 5. That failure to comply with all of the provisions contained in this ordinance shall constitute violations of both this ordinance and Chapter 33, the City's Unified Development Ordinance, of the Code of Ordinances for the City of Lee's Summit.

SECTION 6. That this ordinance shall be in full force and effect from and after the date of its passage and adoption, and approval by the Mayor.

PASSED by the City Council of the City of Lee's Summit, Missouri, this 17th day of November, 2020.



Mayor William A. Baird

ATTEST:



City Clerk Trisha Fowler Arcuri

APPROVED by the Mayor of said city this 17th day of November, 2020.




Mayor William A. Baird

ATTEST:

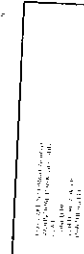


City Clerk Trisha Fowler Arcuri

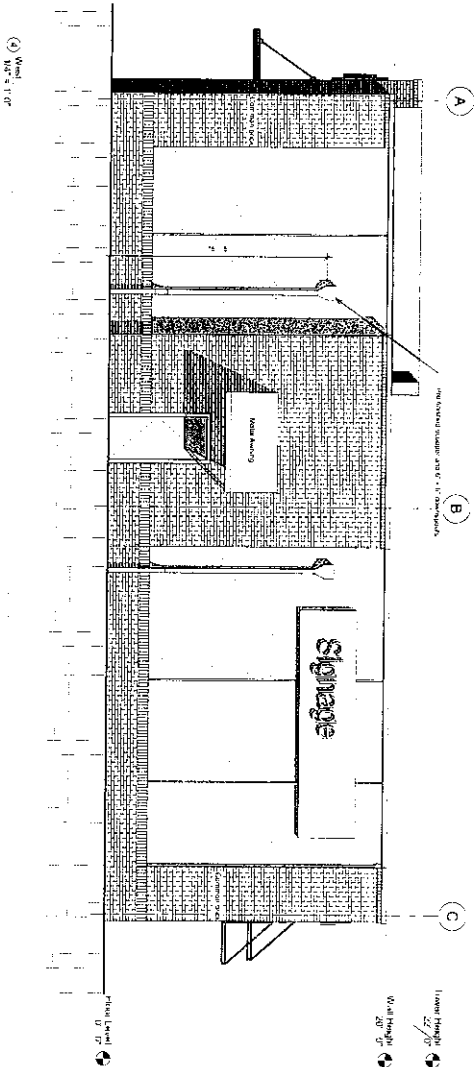
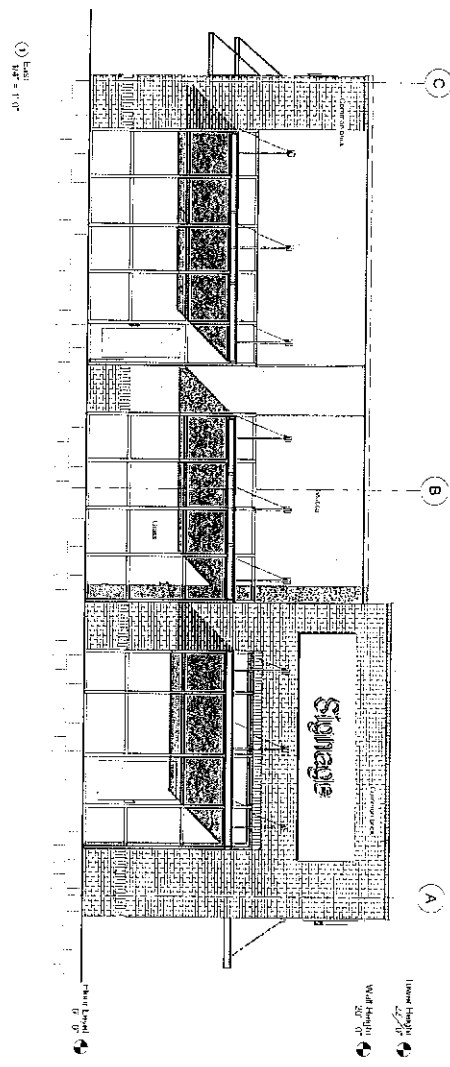
APPROVED AS TO FORM:



City Attorney Brian W. Head



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NEW BUILDING FOR

DOUGLAS ROAD CENTER Lot 2

NE VICTORIA DRIVE & NE DOUGLAS ST.

scharhag

— PRINCE & SCHARHAG COMPANY — ARCHITECTS —

6247 Brookside Blvd. #204 Kansas City, Mo. 64113
 Phone 816-655-5055 Scharhagarch@gmail.com

PROJECT NUMBER: 2710

DATE: 05/04/2001

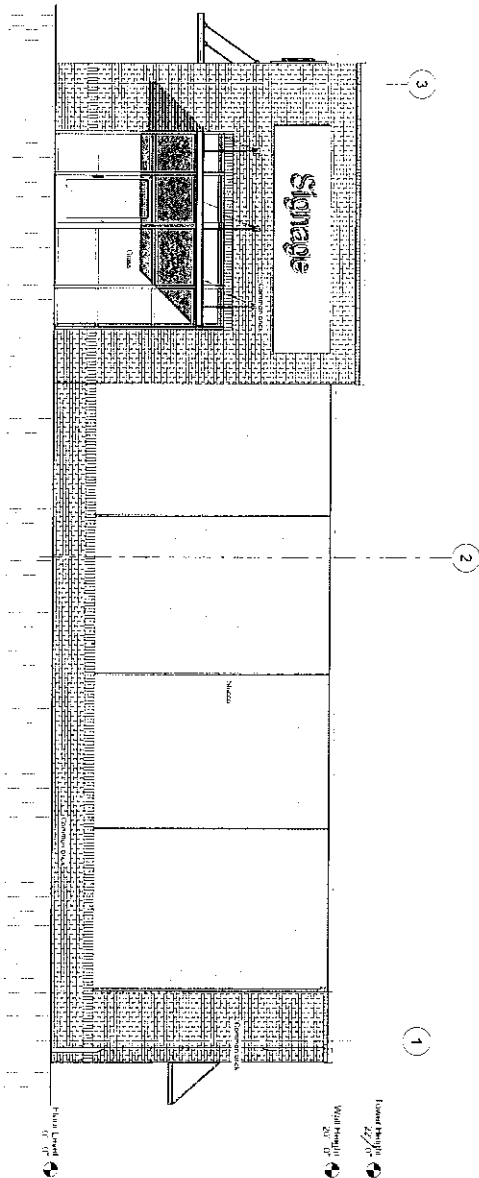
A201

SCALE: 1/4" = 1'-0"

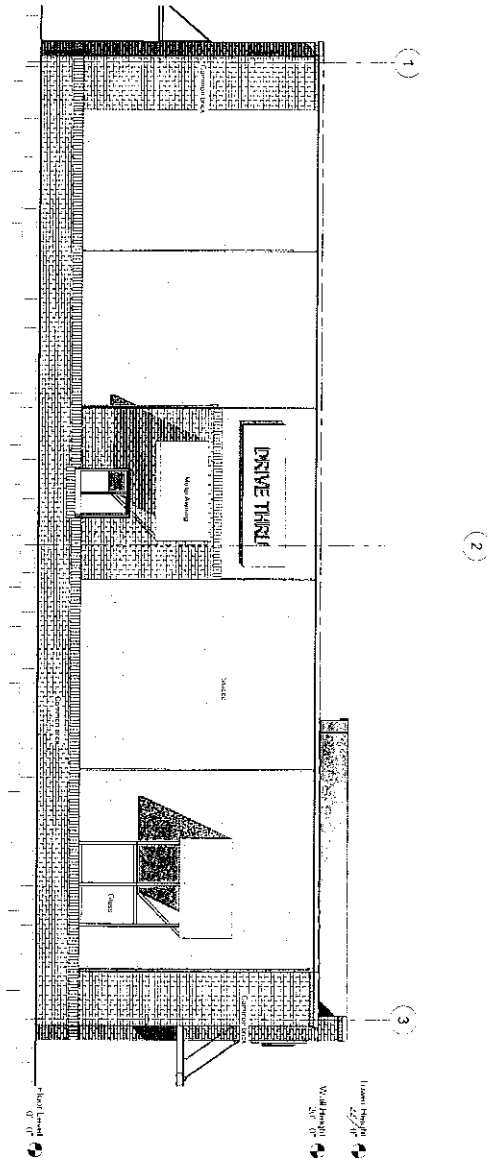
No.	Description	Date
1	Architect's Statement	

Elevations

(2) North
1/8" = 1'-0"



(1) South
1/8" = 1'-0"



Project: 2.2.19
Date: 05/14/2020
A202
Scale: 1/8" = 1'-0"

Elevations

No.	Description	Date
1	Revised Structure	

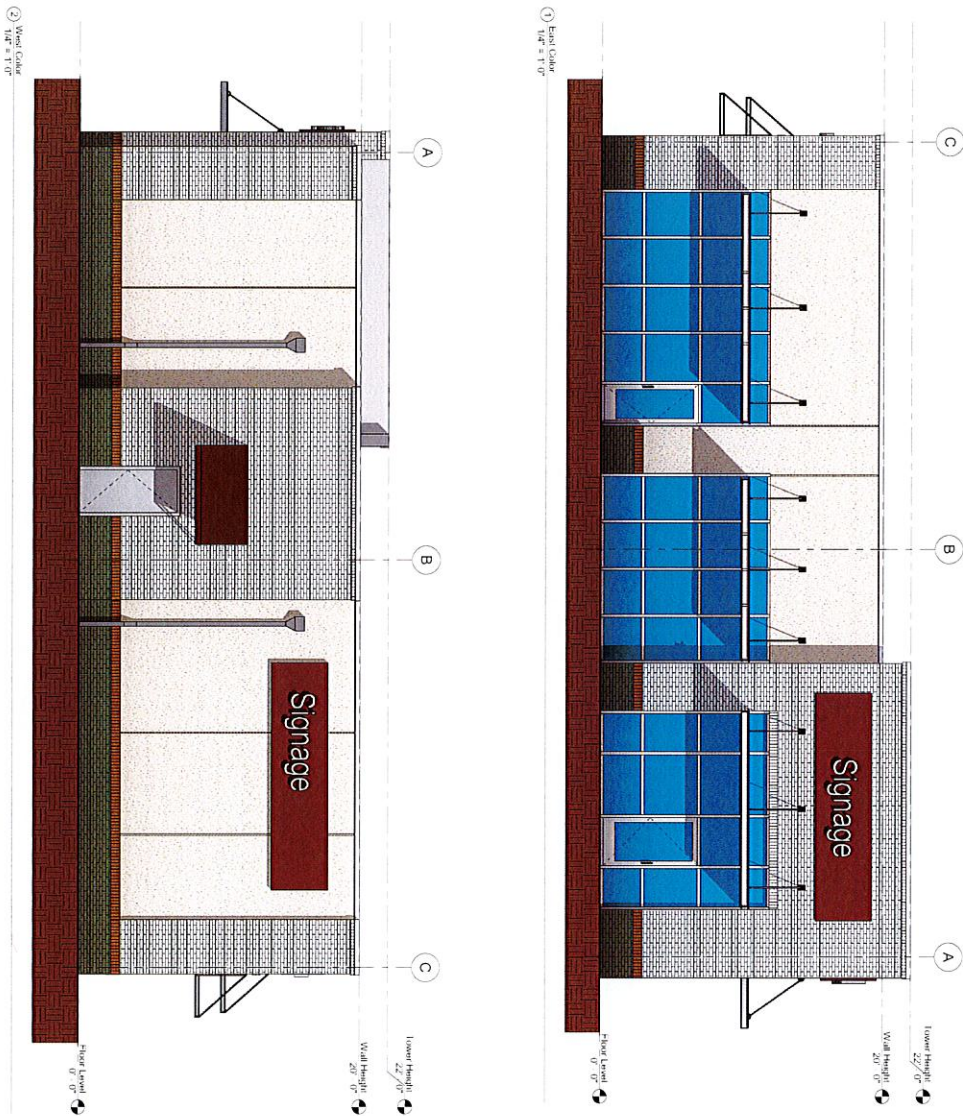
NEW BUILDING FOR

DOUGLAS ROAD CENTER Lot 2

NE VICTORIA DRIVE & NE DOUGLAS ST.

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HERMAN & SCHARHAG COMPANY ARCHITECTS

6247 Brookside Blvd. #204 Kansas City, Mo. 64113
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HERNAN A. SCHARHAG COMPANY ARCHITECTS

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Phone 816-655-5055 Scharhagarch@gmail.com

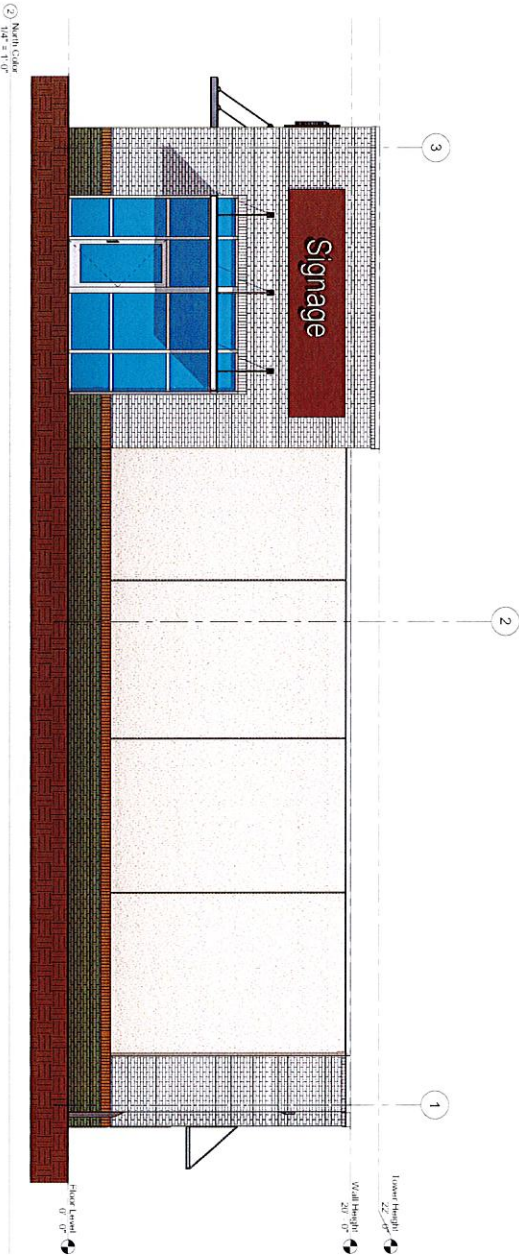
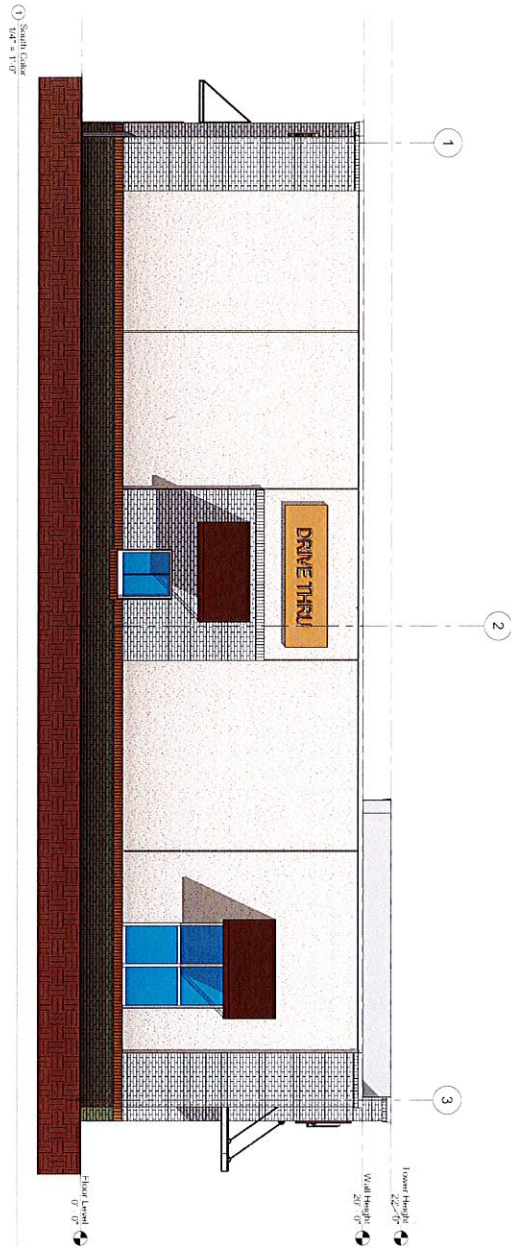
NEW BUILDING FOR
DOUGLAS ROAD CENTER Lot 2
NE VICTORIA DRIVE & NE DOUGLAS ST.

No.	Description	Date
1	Revised Schedule	

Colored
Elevations

A203

Scale: 1/4" = 1' 0"



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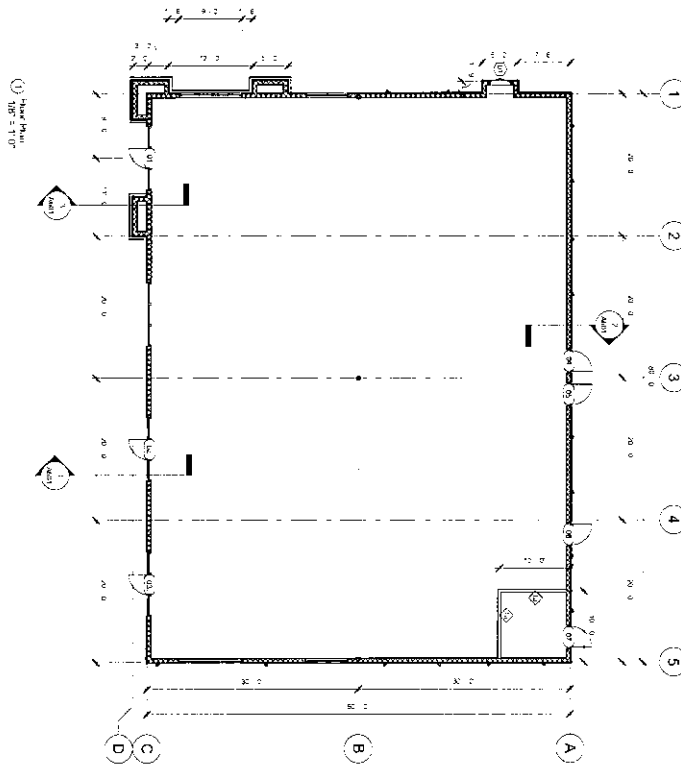
NEW BUILDING FOR
DOUGLAS ROAD CENTER Lot 2
NE VICTORIA DRIVE & NE DOUGLAS ST.

No.	Description	Date
1	Revised Schedule	

Colored
Elevations
2/1/14
(05/14/2014)
A204

Scale: 1/4" = 1'-0"

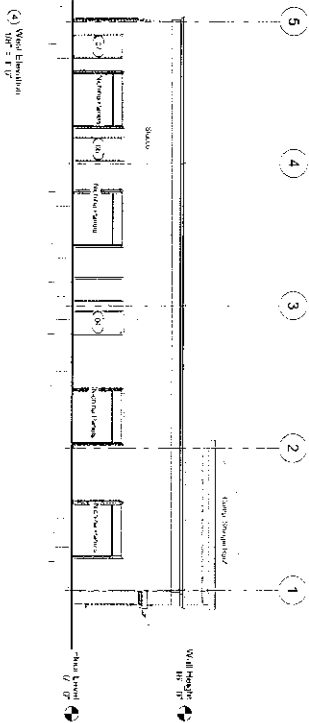
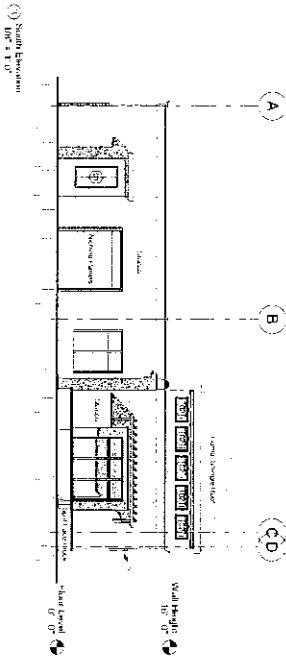
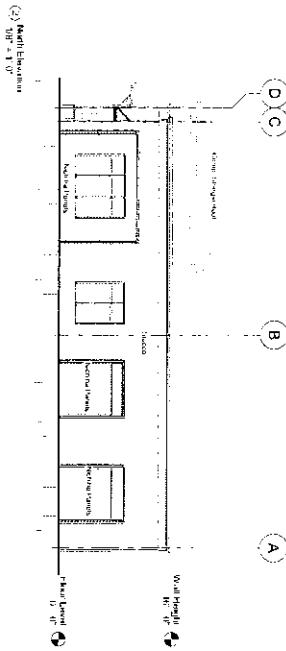
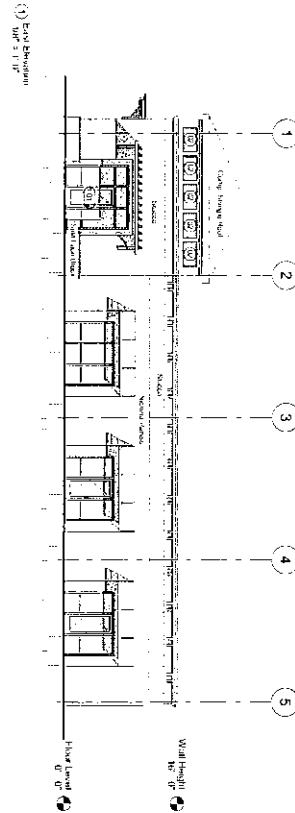
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Rev.	Description	Date
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4	Revised Schedule	04/10/2000
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100	Revised Schedule	04/10/2000

NEW BUILDING FOR
DOUGLAS ROAD CENTER Lot 3
NE VICTORIA DRIVE & NE DOUGLAS ST.

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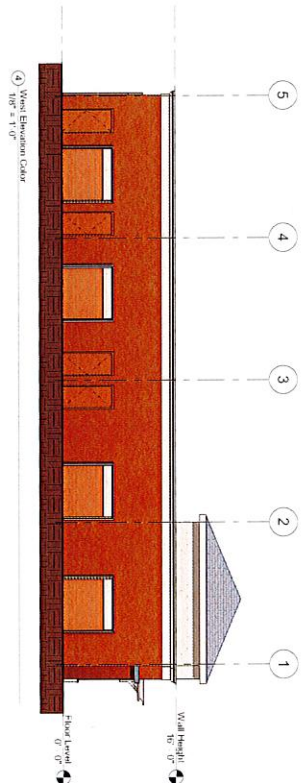
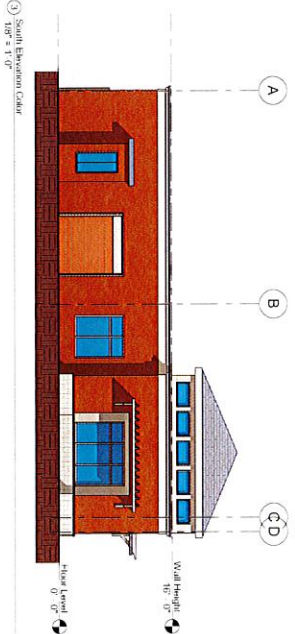
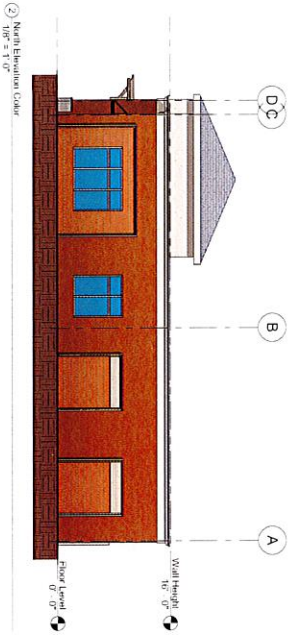
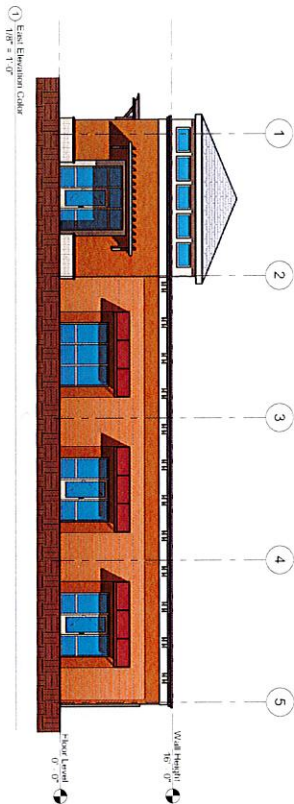
HERMAN & SCHARHAG COMPANY ARCHITECTS
5247 Brookside Blvd. #204 Kansas City Mo. 64113
Phone 816-555-5055 Scharhagarch@gmail.com

NEW BUILDING FOR
DOUGLAS ROAD CENTER Lot 3
NE VICTORIA DRIVE & NE DOUGLAS ST.

Elevations

A201

Project Number: 4274
Date: 08.10.2008
Scale: 1/8" = 1'-0"

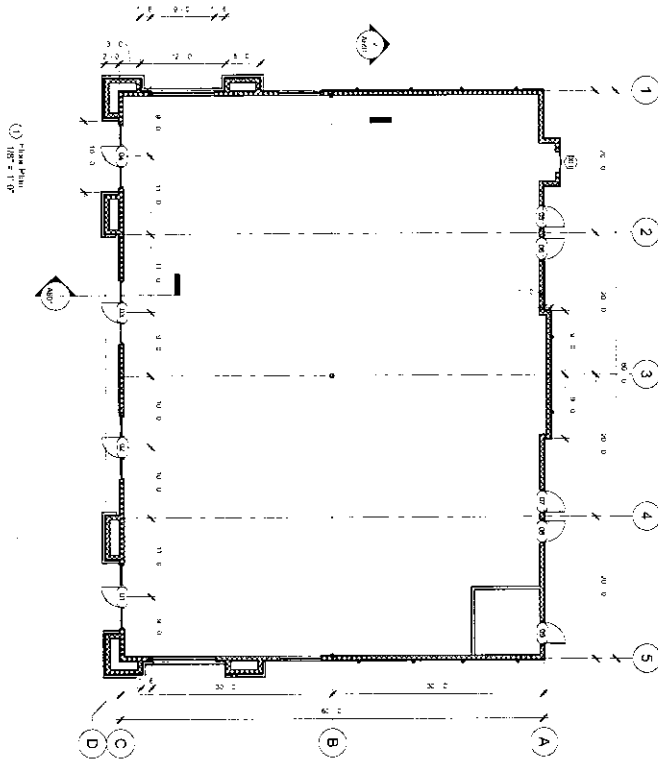


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NEW BUILDING FOR
DOUGLAS ROAD CENTER Lot 3
NE VICTORIA DRIVE & NE DOUGLAS ST.

Colored
Elevations
PROJECT NUMBER 2222
DATE 08.10.2020
A202
Scale 1/8" = 1'-0"



No.	Description	Date
	Revised Structural	
Floor Plan		
A101		
1/8"		

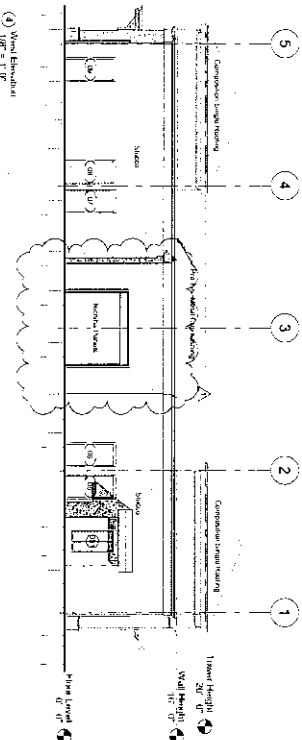
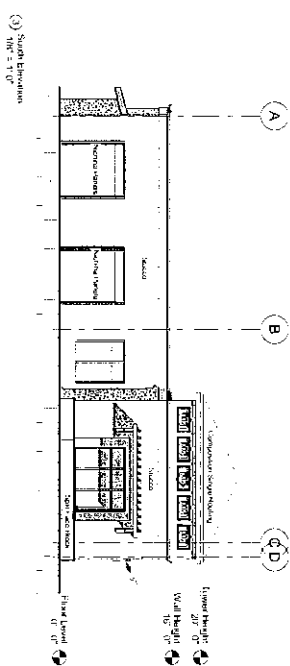
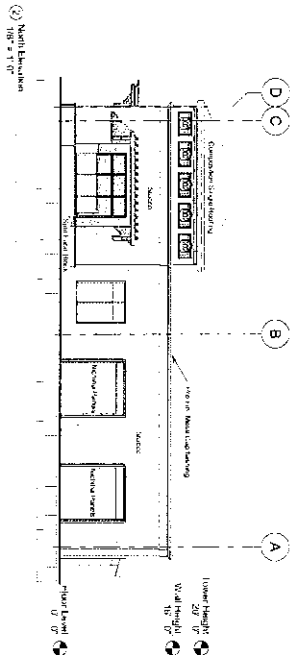
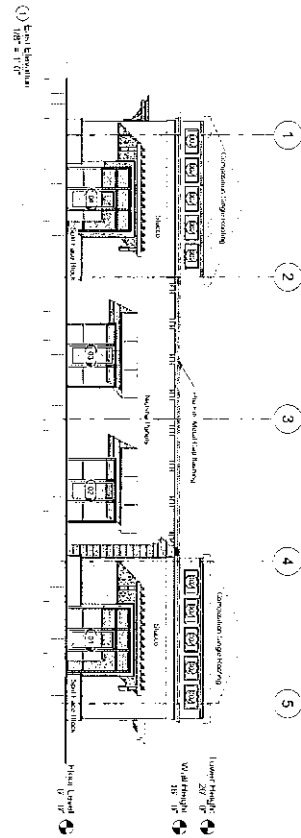
NEW BUILDING FOR

DOUGLAS ROAD CENTER Lot 4
NE VICTORIA DRIVE & NE DOUGLAS ST.

DOUGLAS ROAD CENTER LOT 4
NE VICTORIA DRIVE & NE DOUGLAS ST.
KANSAS CITY, MO 64113
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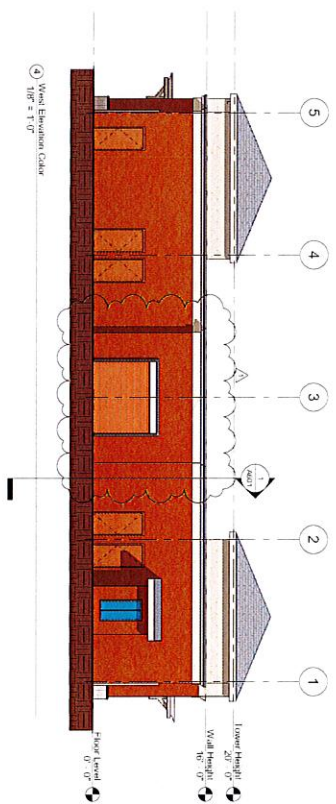
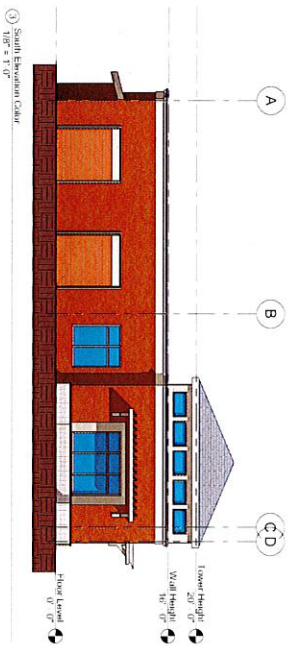
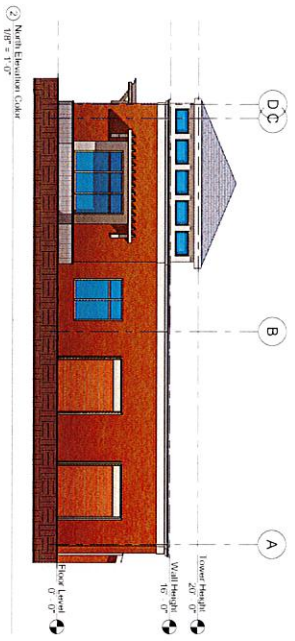
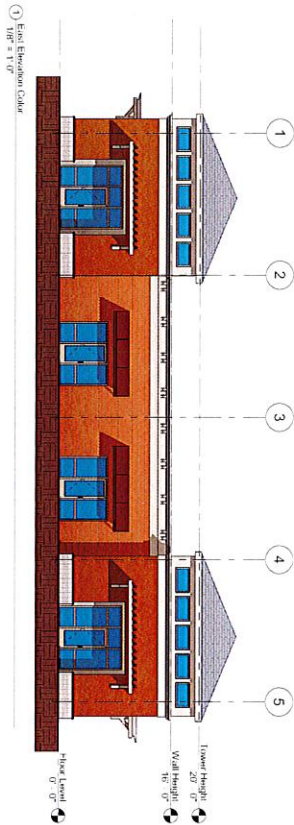
6247 Brookside Blvd #204 Kansas City, Mo 64113
Phone 816-855-5055 Scharhagarch@gmail.com

NEW BUILDING FOR
DOUGLAS ROAD CENTER Lot 4
NE VICTORIA DRIVE & NE DOUGLAS ST.

Elevations

A201

Project Number: 2222
Date: 05/14/2020
1/8\"/>



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6247 Brookside Blvd. #204 Kansas City, Mo. 64113
Phone: 816-655-5055 Scharhagarch@gmail.com

NEW BUILDING FOR
DOUGLAS ROAD CENTER Lot 4
NE VICTORIA DRIVE & NE DOUGLAS ST.

Colored
Elevations
PROJECT NUMBER: 2222
DATE: 05-14-2020
A202

No.	City Comments	Revised	By
1	Revisions		

Scale: 1/8" = 1'-0"



PRIORITY
ENGINEERS

August 27, 2020

Mr. Ronald L. Cowger, PE
AGC Engineers, Inc.
405 South Leonard Street, Suite D
Liberty, Missouri 64068

RE: Oakview Lots 2, 3, and 4 Parking Generation – Lee's Summit, MO

Dear Mr. Cowger,

As requested, Priority Engineers, Inc. has estimated the recommended parking requirements for the Oakview development for lots 2-4 based on the Institute of Transportation Engineers' Parking Generation Manual, 5th Edition.

For each lot, the appropriate ITE Land Use Code was consulted. For the proposed Panera and Smoothie King stores, Land Use 934, Fast-Food Restaurant with Drive-Through Window, was used. For the Dunkin Donuts store, Land Use 937, Coffee/Donut Shop with Drive-Through Window was used. For the Retail/Office buildings, Land Use 820, Shopping Center, was found to require a higher number of parking stalls than Land Use 712, Small Office Building. Other potential retail uses were also considered, but Land Use 820 was found to be the most conservative.

Table 1 below illustrates the most conservative time period provided in the Parking Generation Manual for each land use. The required number of stalls are provided by lot where multiple uses will share a building.

Table 1: Parking Generation						
Land Use	Intensity	ITE Code	Rate		Total Stalls (required)	Total Stalls (provided)
			Friday	Saturday		
Lot 2						
Panera	3,860 SF	934	12.41		48	
Lot 2 Subtotal					48	55
Lot 3						
Dunkin Donut	2,400 SF	937		8.7	21	
Retail/Office	2,400 SF	820		2.91	7	
Lot 3 Subtotal					28	37
Lot 4						
Smoothie King	1,200 SF	934	12.41		15	
Retail/Office	3,600 SF	820		2.91	10	
Lot 4 Subtotal					25	29
Total (lots 2,3, and 4)					101	121

In summary, the proposed plan provides 55, 37, and 29 parking stalls for the respective lots, with a total of 121 stalls for the combined development. Based on methodologies outlined in the Institute of Transportation Engineers' Parking Generation Manual, 5th Edition, the provided stalls exceed the number recommended for each lot and for the development as a whole.

Please let me know if you have any questions or require additional information. I can be reached at (816) 738-4400.

Sincerely,

PRIORITY ENGINEERS, INC.


 Kristin L. Skinner, P.E., PTOE
 President

Appl. #PL2020-220 PRELIM DEV PLAN
Oakview, Lots 2, 3 and 4

