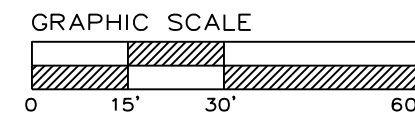


Final Development Plan Cosentinos Warehouse Modification

Section 20, Township 48, Range 31 Lee's Summit,
Jackson County, Missouri



SITEPLAN
SCALE: 1" = 30'



Parcel Address:
2320 NE INDEPENDENCE AVE
LEES SUMMIT, MO 64064
Zoned: PI
Owner Information:
IP AVENUE, LLC
55 S ST
LAKE LOTAWANA, MO 64086

Parcel Address:
2330 NE INDEPENDENCE AVE
LEES SUMMIT, MO 64064
Zoned: PI
Owner Information:
DATA LINK LEASING, LLC
14314 S SMART RD
GREENWOOD, MO 64034

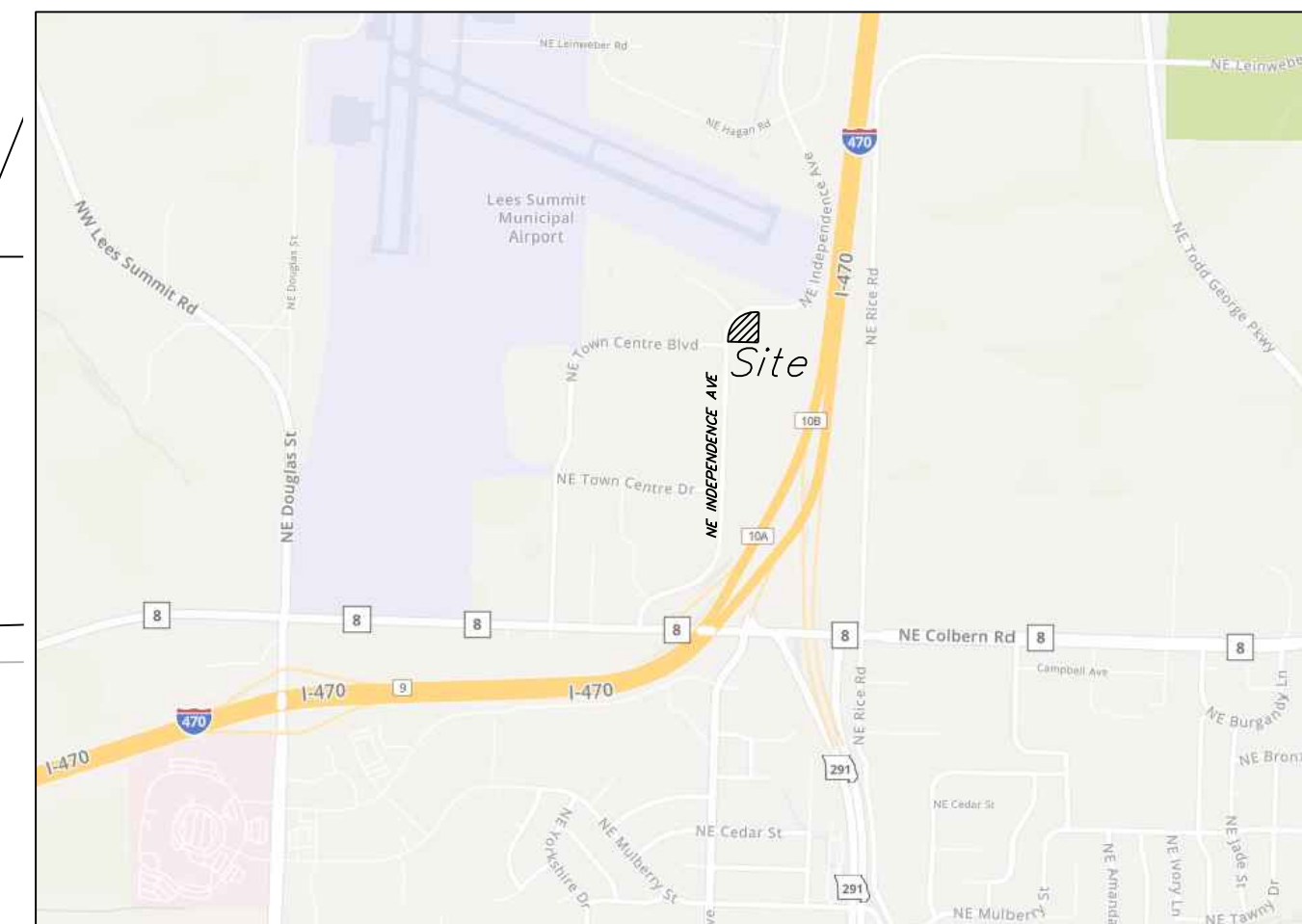
Parcel Address:
2300 NE INDEPENDENCE AVE
LEES SUMMIT, MO 64064
Zoned: PI
Owner Information:
MYERS ROSALIE C
3615 WYOMING ST
KANSAS CITY, MO 64111

Parcel Address:
2150 NE INDEPENDENCE AVE
LEES SUMMIT, MO 64064
Zoned: PI
Owner Information:
LEES SUMMIT TOWN CENTRE LLC
6515 GRAND TETON PLZ STE 300
MADISON, WI 53719

Parcel Address:
2225 Independence Ave
Lot 1, Silverthorn Industries - 1st Plat
LEES SUMMIT, MO 64064
Zoned: PI
Owner Information:
T & J REAL ESTATE LLC
11000 S FRONTAGE RD
SOUTH JORDAN, UT 84095

Parcel Address:
2315 NE INDEPENDENCE AVE
LEES SUMMIT, MO 64064
Zoned: PI
Owner Information:
CERRA & CERRA DEVELOPMENT
LLC
2315 NE INDEPENDENCE AVE
LEES SUMMIT, MO 64064

Parcel Address:
2321 NE INDEPENDENCE AVE
UNIT A
LEES SUMMIT, MO 64064
Zoned: PI
Owner Information:
I-470 FRONTAGE INVESTORS LLC
KESSINGER/HUNTER & CO INC
KANSAS CITY, MO 64108



INDEX OF SHEETS:
C.100 ~ SITE PLAN
C.200 ~ GRADING PLAN

OWNER:
COS Brothers RE, LLC
3901 W 83rd St
Prairie Village, KS 66208
Phone: 816-225-2550

Added the owner/developer direct phone number.

GENERAL NOTES:

- 1 - ALL CONSTRUCTION SHALL CONFORM TO THE CITY OF LEE'S SUMMIT DESIGN AND CONSTRUCTION MANUAL AS ADOPTED BY ORDINANCE 5813.
- 2 - ALL REQUIRED EASEMENTS WITHIN THE BOUNDARY OF THIS PROJECT SHALL BE PROVIDED BY SEPARATE DOCUMENT
- 3 - ANY REQUIRED EASEMENT LOCATED OUTSIDE OF THE BOUNDARY OF THIS PROJECT SHALL BE PROVIDED FOR BY SEPARATE INSTRUMENT PRIOR TO ISSUANCE OF CONSTRUCTION PERMITS.
- 4 - THE CONTRACTOR SHALL CONTACT THE CITY'S DEVELOPMENT SERVICES ENGINEERING INSPECTORS 48 HOURS PRIOR TO ANY LAND DISTURBANCE WORK AT (816) 989-1200.
- 5 - THE CONTRACTOR SHALL NOTIFY ENGINEERING SOLUTIONS AT 816.623.9888 OF ANY CONFLICT WITH THE IMPROVEMENTS PROPOSED BY THESE PLANS AND SITE CONDITIONS.
- 6 - THE CONTRACTOR SHALL NOTIFY THE CITY ENGINEER AND OBTAIN THE APPROPRIATE BLASTING PERMITS FOR A REQUIRED BLASTING. IF BLASTING IS ALLOWED, ALL BLASTING SHALL CONFORM TO STATE REGULATIONS AND LOCAL ORDINANCES.

UTILITY COMPANIES:

THE FOLLOWING LIST OF UTILITY COMPANIES IS PROVIDED FOR INFORMATION ONLY. WE DO NOT OFFER ANY GUARANTEE OR WARRANTY THAT THIS LIST IS COMPLETE OR ACCURATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES THAT MAY BE AFFECTED BY THE PROPOSED CONSTRUCTION AND VERIFYING THE ACTUAL LOCATION OF EACH UTILITY LINE. THE CONTRACTOR SHALL NOTIFY ENGINEERING SOLUTIONS AT 816.623.9888 OF ANY CONFLICT WITH PROPOSED IMPROVEMENTS.

EVERGY ~ 298-1196
MISSOURI GAS ENERGY ~ 756-6261
SOUTHWESTERN BELL TELEPHONE ~ 761-5011
COMCAST CABLE ~ 795-1100
WILLIAMS PIPELINE ~ 422-6300
CITY OF LEE'S SUMMIT PUBLIC WORKS ~ 969-1800
CITY OF LEE'S SUMMIT PUBLIC WORKS INSPECTIONS ~ 969-1800
CITY OF LEE'S SUMMIT WATER UTILITIES ~ 969-1900
MISSOURI ONE CALL (DIG RITE) ~ 1-800-344-7483

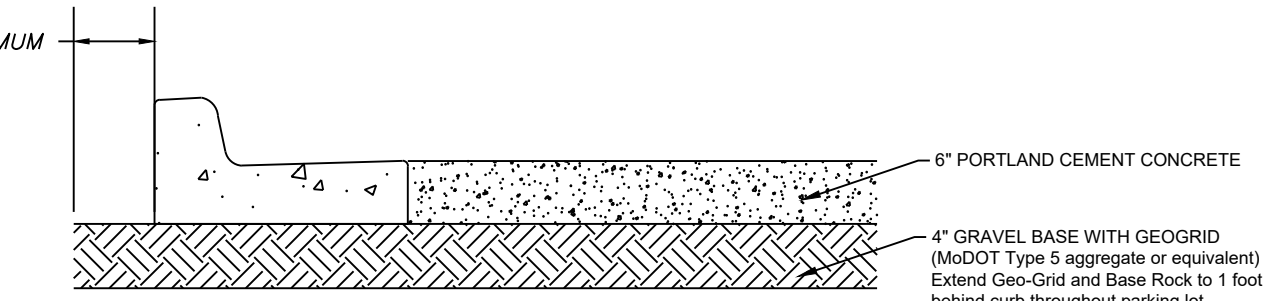
ALL PAVING ON THE PARKING LOT WILL COMPLY WITH THE UNIFIED DEVELOPMENT ORDINANCE ARTICLE 8 IN TERMS OF PAVING THICKNESS AND BASE

FLOOD INFORMATION:
The property is located in Zone "X" areas outside the 100 year flood plain per FEMA Map 29095C0430G, dated January 20, 2017

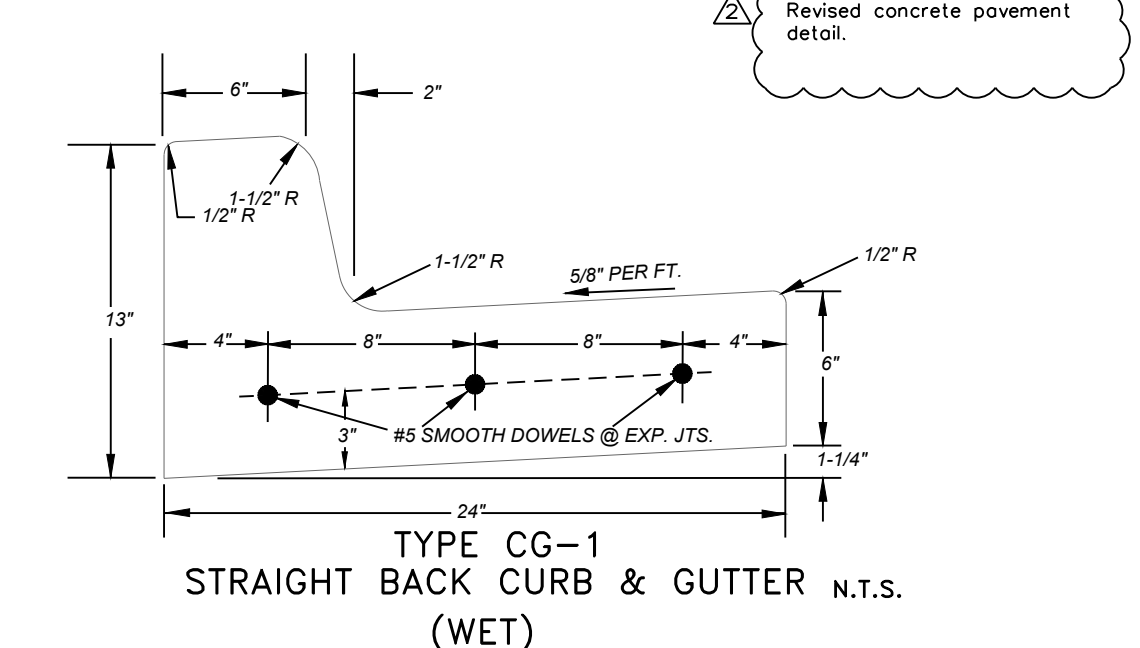
OIL - GAS WELLS
ACCORDING TO EDWARD ALTON MAY JR'S ENVIRONMENTAL IMPACT STUDY OF ABANDONED OIL AND GAS WELLS IN LEE'S SUMMIT, MISSOURI IN 1995, THERE ARE NOT OIL AND GAS WELLS WITHIN 185 FEET OF THE PROPERTY AS SURVEYED HEREON.

Site Data Table :

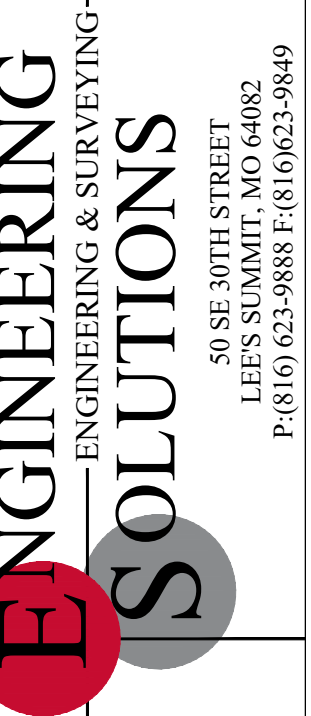
Lot Area:	74,753.36 sq. ft. (1.72 Ac.)
Building Area - First Floor	17,434 sq. ft. (0.40 Acres)
Total Building Area	17,434 sq. ft. (0.40 Acres)
Existing Parking/Sidewalk	26,562.19 sq. ft. (0.61 Acres)
New Parking/Sidewalk	2,685.71 sq. ft. (0.06 Acres)
Impervious Area	46,681.90 sq. ft. (1.07 Acres) 62.45% of Site
Floor-Area-Ratio	23.32%
Total Parking	
Provided	34 Standard (2 ADA Accessible)
Required	
Office:	4 Spaces per 1000 sq.ft. = .x4 = Spaces
Warehouse/Storage:	1 Spaces per 1000 sq.ft. = 17.434 x 1 = 18 Spaces
Total:	18 Spaces
Current Zoning:	PI - Planned Industrial
Current Use:	Commercial Office / Warehouse Storage



PRIVATE CONCRETE PAVEMENT
NOT TO SCALE



TYPE CG-1 STRAIGHT BACK CURB & GUTTER (WET)
N.T.S.

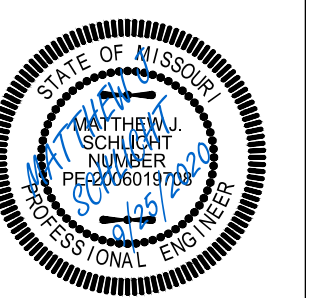


Professional Registration
Missouri
Engineering 2005002186-D
Surveying 2005008319-D
Kansas
Engineering E-1685
Surveying LS-218
Oklahoma
Engineering 6254
Nebraska
Engineering CA2821

2301 NE Independence Ave
Lot 43A2, Replat No. 1 of Lakewood
Business Center on I-470 Plat J
Lee's Summit, Jackson County, Missouri

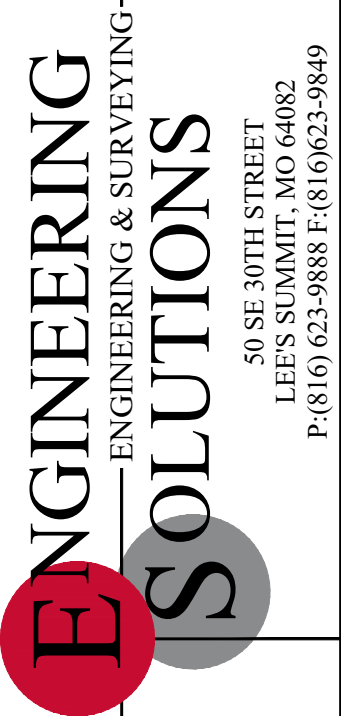
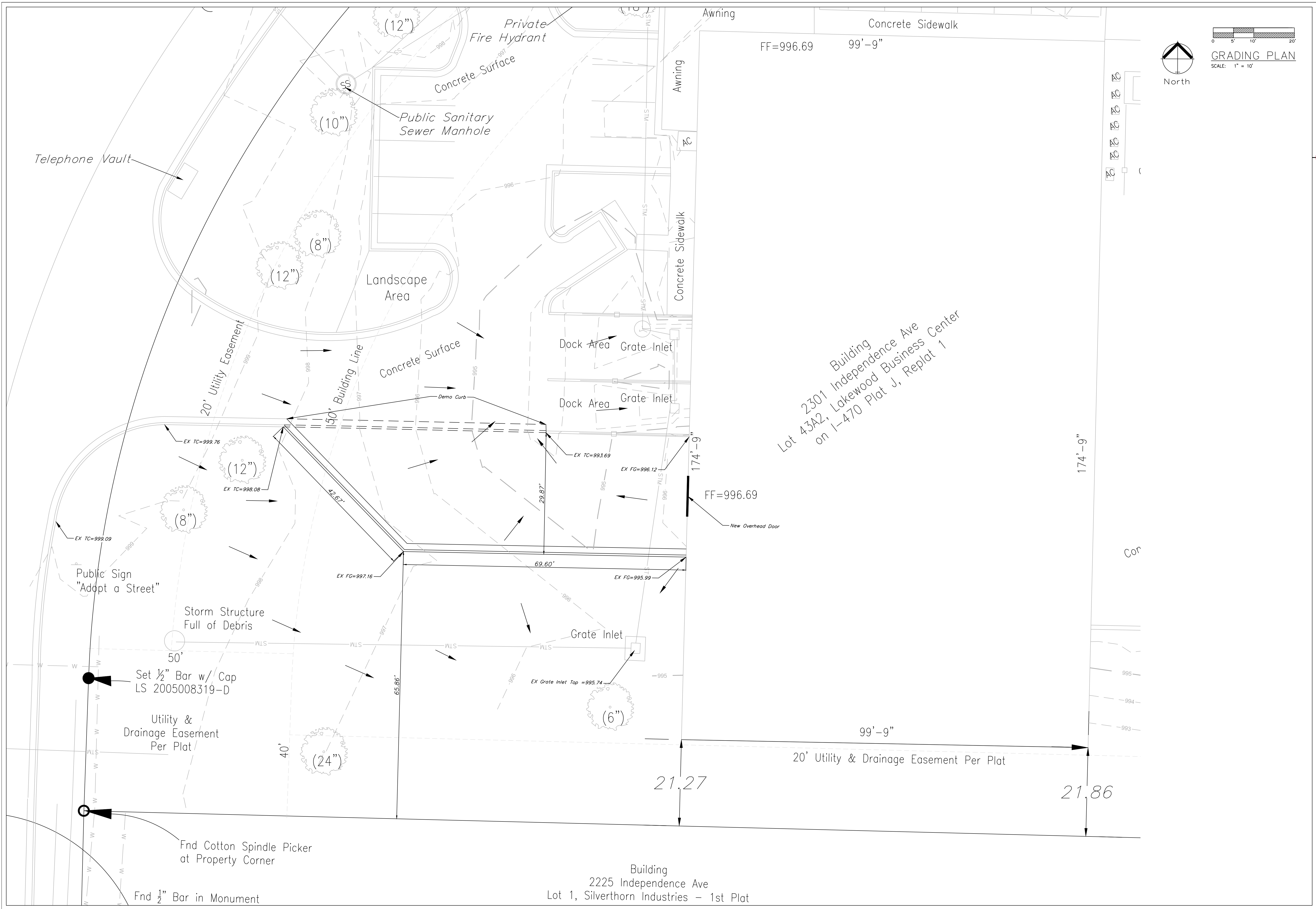
Project:
INDEPENDENCE
AVE, LS MO
Issue Date:
August, 2020

SITE PLAN
Construction Plans for:
2301 NE Independence Ave
Lee's Summit, Jackson County, Missouri



Matthew J. Schlicht
MO PE 2006019708
KS PE 19071
OK PE 25226
NE PE E-14335

REVISIONS
REV. 9/17/2020
REV. 9/25/2020



Professional Registration
 Missouri
 Engineering 2005002186-D
 Surveying 2005008319-D
 Kansas
 Engineering E-1685
 Surveying LS-218
 Oklahoma
 Engineering S254
 Nebraska
 Engineering CA2821

2301 NE Independence Ave
 Lot 43A2, Replat No. 1 of Lakewood
 Business Center on I-470 Plat J
 Lee's Summit, Jackson County, Missouri

Project:
 INDEPENDENCE
 AVE, LSNO
 Issue Date:
 August, 2020

Grading Plan
 Construction Plans for:
 2301 NE Independence Ave
 Lee's Summit, Jackson County, Missouri



Matthew J. Schlicht
 MO PE 2006019708
 KS PE 19071
 OK PE 25226
 NE PE E-14335

REVISIONS
 REV. 9/17/2020
 REV. 9/25/2020