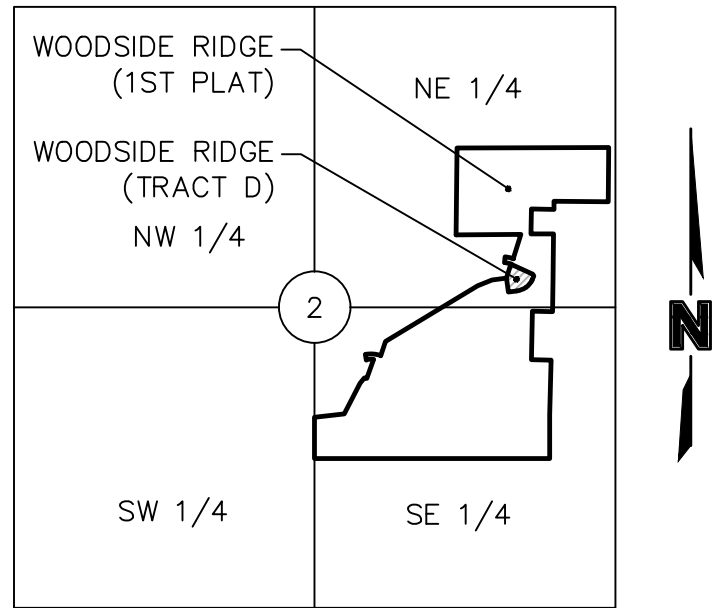


WOODSIDE RIDGE POOL

NW O'BRIEN ROAD & NW PRYOR ROAD

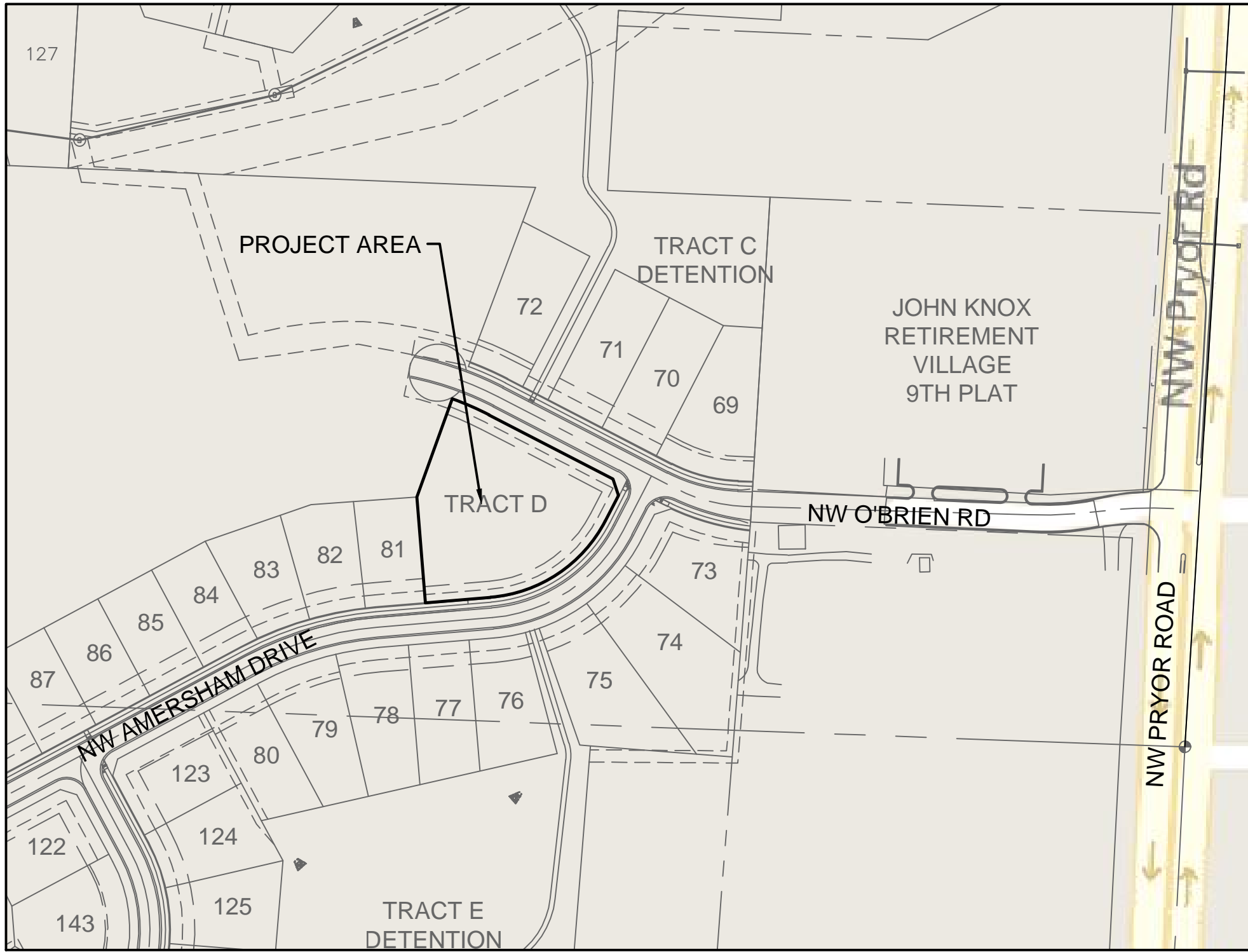
FINAL DEVELOPMENT PLANS

SECTION 2, TOWNSHIP 47 N, RANGE 32 W
IN LEE'S SUMMIT, JACKSON COUNTY, MISSOURI



VICINITY MAP
S 2, T 47 N, R 32 W
NOT TO SCALE

PROJECT TEAM & UTILITY CONTACT LIST	
OWNER / DEVELOPER CLAYTON PROPERTIES GROUPS, INC. DBA SUMMIT HOMES 120 SE 30TH STREET, CONTACT: VINCENT WALKER PHONE: 816.246.6700 EMAIL: VINCENT@SUMMITHOMESKC.COM	UTILITY SERVICE NUMBERS NAME: LEE'S SUMMIT PUBLIC WORKS PHONE: 816-969-1800 NAME: LEE'S SUMMIT WATER & SEWER DEPARTMENT PHONE: 816-969-1940
ENGINEER OLSSON 1301 BURLINGTON, SUITE 100 NORTH KANSAS CITY, MO 64116 CONTACT: JULIE E SELLERS, P.E. PHONE: 816.361.1177 EMAIL: JSSELLERS@OLSSON.COM	NAME: SPIRE (MGE) PHONE: 816-756-5252 NAME: AT&T PHONE: 800-286-8313 NAME: EVERGY PHONE: 816-471-5275
	NAME: SPECTRUM (TWC) PHONE: 816-358-5350 NAME: GOOGLE FIBER PHONE: 877-454-6959



INDEX OF SHEETS

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ACCEPTED:

CITY OF LEE'S SUMMIT

DATE

PROPERTY DESCRIPTION:

ALL OF TRACT D, WOODSIDE RIDGE FIRST PLAT, A SUBDIVISION IN LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

BENCHMARK

BMK #5 CHISELED SQUARE ON THE S.E. CORNER OF A CONCRETE PAD FOR A TRAFFIC SIGNAL BOX AT THE S.W. CORNER OF PRYOR ROAD AND O'BRIEN ROAD. ELEVATION: 979.24

NOTES:

ANY QUANTITIES SHOWN WITHIN THESE PLANS HAVE BEEN PROVIDED FOR PERMITTING PURPOSES ONLY AND ARE NOT INTENDED FOR USE IN PREPARATION OF CONTRACT DOCUMENTS. QUANTITIES INTENDED FOR, BUT NOT LIMITED TO, THE PREPARATION OF PROPOSALS AND BID DOCUMENTS SHALL BE INDEPENDENTLY EVALUATED BY THE ESTIMATING PARTY BASED UPON THE CONTENTS OF THESE PLANS.

CIVIL ENGINEER:
I HEREBY CERTIFY THAT THIS PROJECT HAS BEEN DESIGNED, AND THESE PLANS PREPARED, TO MEET OR EXCEED THE DESIGN CRITERIA OF LEE'S SUMMIT, MISSOURI, IN CURRENT USAGE, EXCEPT AS INDICATED BELOW.

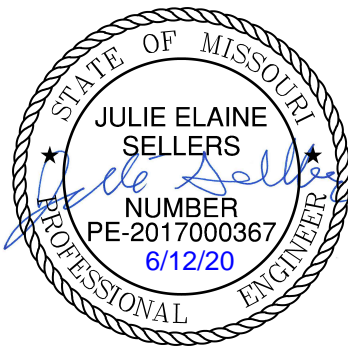
JULIE SELLERS, P.E.
CIVIL ENGINEER
MO# 2017000367

6/12/20

DATE

APPROVED RECORD
DRAWING

These plans have been reviewed for
accuracy by the Development
Services Staff



JULIE SELLERS, P.E.
MO# 2017000367

REVISIONS DESCRIPTION

NO. REV. DATE

1 06/12/2020

REVISED PER CITY COMMENTS

2020

TITLE SHEET
FINAL DEVELOPMENT PLANS
WOODSIDE RIDGE POOL
NW O'BRIEN ROAD & NW PRYOR ROAD
LEE'S SUMMIT, MISSOURI

drawn by: C.S.M.
checked by: J.E.S.
designed by: C.S.M.
QA/QC by: J.E.S.
project no.: B18-1140
date: 06/12/2020

SHEET
C01

USER: ssy04r

DWG: F:\2018\1001-1500\018-1140-B\40-Design\AutoCAD\Final Plans\Sheets\GNCV\ C_GEN01_B181140.dwg

DATE: Jun 12, 2020 11:29am
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GENERAL NOTES:

1. ALL PAVING DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
2. REFER TO DETAIL SHEET FOR INSTALLATION OF SIGNS.
3. CONTRACTOR SHALL MATCH EXISTING PAVEMENT IN GRADE AND ALIGNMENT TO PROVIDE SMOOTH SURFACE TRANSITIONS BETWEEN NEW ENTRANCE DRIVES AND EXISTING STREETS.
4. CONTRACTOR SHALL MATCH EXISTING CURB & GUTTER IN GRADE, SIZE, TYPE, AND ALIGNMENT AT CONNECTIONS TO EXISTING STREETS.
5. ALL WORK ON THIS PLAN SHALL BE DONE IN STRICT ACCORDANCE WITH THE OWNER'S SITE WORK SPECIFICATIONS.
6. ALL TRAFFIC CONTROL SIGNS SHALL BE FABRICATED AS SHOWN IN THE NATIONAL MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREET AND HIGHWAYS.
7. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULE, SLOPED PAVING, EXIT PORCHES, RAMPS, TRUCK DOCKS, PRECISE BUILDING DIMENSIONS, SIDEWALK AND SPECIFIC BUILDING AREA TREATMENTS AND IMPROVEMENTS. FOR EXACT BUILDING DIMENSIONS, SEE ARCHITECTURAL PLANS. CONTRACTOR TO STAKE AND CONSTRUCT FOUNDATIONS AND FOOTINGS FROM STRUCTURAL PLAN. BUILDING DIMENSIONS ON THIS PLAN ARE FOR REFERENCE ONLY.
8. ALL DIMENSIONS SHOWN ON BUILDING ARE TO OUTSIDE FACE OF BUILDING.
9. CONTRACTOR SHALL COORDINATE PROTECTION OF BUILDING CORNERS, TRANSFORMERS, AND ALL OTHER APPLICABLE STRUCTURES WITH GUARD POST BOLLARDS WITHIN 5' OF THE BUILDINGS TO BE INSTALLED BY GENERAL CONTRACTOR.
10. PARKING LOT STRIPING SHALL BE INCLUDED IN PAVING CONTRACTOR'S SCOPE OF WORK. ALL STRIPING IS TO BE TWO LAYERS, 4" STROKE, REFLECTIVE PAINT, INCLUDING ADA SYMBOL AND HATCHING. PAINT COLOR TO BE WHITE ON ASPHALT AND YELLOW ON CONCRETE.
11. ALL ACCESSIBLE PARKING SIGNAGE AND STRIPING SHALL BE IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT (ADA) REQUIREMENTS.
12. THE CONTRACTOR SHALL SUPPLY THE OWNER WITH A LIST OF ALL SUBCONTRACTORS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION.
13. ALL ASPHALT PAVING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF LEES SUMMIT DESIGN AND CONSTRUCTION MANUAL SECTION 2200.
14. THE GENERAL CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR, AND SHALL TAKE ALL PRECAUTIONS NECESSARY TO, AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT. CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING IMPROVEMENTS DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO: DRAINAGE UTILITIES, PAVEMENT, STRIPING, CURB, ETC. ANY WORK IN CITY R.O.W. REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS. CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL PROPERTY CORNERS AND SURVEY MONUMENTS AND IS RESPONSIBLE FOR RE-ESTABLISHMENT OF ANY PROPERTY CORNERS OR SURVEY MONUMENTS IF DISTURBED BY CONSTRUCTION ACTIVITIES.
15. SAFETY NOTICE TO CONTRACTOR: IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. ANY CONSTRUCTION OBSERVATION BY THE ENGINEER OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES, IN, ON OR NEAR THE CONSTRUCTION SITE.
16. ALL CONSTRUCTION IN STATE HIGHWAY DEPARTMENT RIGHT-OF-WAY SHALL BE COORDINATED WITH THE HIGHWAY DEPARTMENT RESIDENT MAINTENANCE ENGINEER PRIOR TO START OF CONSTRUCTION. LATEST SPECIFICATIONS ADOPTED BY US DEPARTMENT OF TRANSPORTATION AND STATE HIGHWAY DEPARTMENT SHALL GOVERN ON THIS PROJECT.
17. ALL SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED THE SPECIFICATIONS OF THE RELEVANT UTILITY COMPANY OR REGULATORY AUTHORITY, AND THE SPECIFICATIONS FOR THE CONSTRUCTION OF THE EXISTING IMPROVEMENTS WHICH ARE BEING ALTERED OR REPLACED. CONTRACTOR SHALL CONTACT THE ENGINEER FOR SPECIFICATION SECTIONS FOR ITEMS SUCH AS LANDSCAPING AND IRRIGATION THAT ARE AFFECTED BY THE WORK BUT NOT COMPLETELY DETAILED OR SPECIFIED ON THESE PLANS.
18. ALL CONSTRUCTION WITHIN THE RIGHT-OF-WAY SHALL CONFORM TO THE CITY OF LEE'S SUMMIT, MISSOURI STANDARDS AND SPECIFICATIONS.

WETLANDS NOTICE:

1. ANY DEVELOPMENT, EXCAVATION, CONSTRUCTION, OR FILLING IN A U.S. CORPS OF ENGINEERS DESIGNATED WETLAND IS SUBJECT TO LOCAL, STATE AND FEDERAL APPROVALS. THE CONTRACTOR SHALL COMPLY WITH ALL PERMIT REQUIREMENTS AND/OR RESTRICTIONS AND ANY VIOLATION WILL BE SUBJECT TO FEDERAL PENALTY. THE CONTRACTOR SHALL HOLD THE OWNER/DEVELOPER, THE ENGINEER AND THE LOCAL GOVERNING AGENCIES HARMLESS AGAINST SUCH VIOLATION.

WARRANTY/DISCLAIMER:

1. THE DESIGNS REPRESENTED IN THESE PLANS ARE IN ACCORDANCE WITH ESTABLISHED PRACTICES OF CIVIL ENGINEERING FOR THE DESIGN FUNCTIONS AND USES INTENDED BY THE OWNER AT THIS TIME. HOWEVER, NEITHER THE ENGINEER NOR ITS PERSONNEL CAN OR DO WARRANT THESE DESIGNS OR PLANS AS CONSTRUCTED EXCEPT IN THE SPECIFIC CASES WHERE THE ENGINEER INSPECTS AND CONTROLS THE PHYSICAL CONSTRUCTION ON A TEMPORARY BASIS AT THE SITE.

FLOOD CERTIFICATION:

1. THE ENTIRE SITE IS LOCATED WITHIN ZONE X, "AREAS OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN" AS DEPICTED ON THE FEMA FLOOD INSURANCE RATE MAP (FIRM) MAP NUMBER 29095C 0416G, REVISION DATE JANUARY 20, 2017

OIL/GAS WELLS:

NO OIL OR GAS WELLS LOCATED WITHIN THE PROJECT LIMITS.

INFORMATION OBTAINED FROM THE MISSOURI DEPARTMENT OF NATURAL RESOURCES, GEOLOGICAL SURVEY GEOSCIENCES TECHNICAL RESOURCE ASSESSMENT TOOL (GEOSTRAT).

DEMOLITION NOTES:

1. CONTRACTOR SHALL BE RESPONSIBLE FOR RAISING AND REMOVAL OF THE EXISTING STRUCTURES, RELATED UTILITIES, PAVING, AND ANY OTHER EXISTING IMPROVEMENTS AS NOTED.
2. CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS. DISPOSAL WILL BE IN ACCORDANCE WITH ALL LOCAL, STATE AND/OR FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.
3. ALL DEMOLITION WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE OWNER'S SITE WORK SPECIFICATIONS.
4. CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE AND ADJUSTMENTS DUE TO CONFLICTS OR GRADING TO ANY EXISTING STRUCTURES OR UNDERGROUND UTILITIES THAT ARE TO REMAIN IN PLACE.
5. ALL ITEMS DESIGNATED TO BE DEMOLISHED AND REMOVED FROM THE SITE SHALL BE DISPOSED OF IN AN APPROPRIATE LOCATION IN ACCORDANCE WITH STATE OR LOCAL GUIDELINES.
6. PUBLIC STREETS AND SIDEWALKS SHALL BE KEPT CLEAN AND CLEAR OF TRASH AND DEBRIS FROM DEMOLITION OPERATIONS AT ALL TIMES.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST AND EROSION CONTROL DURING DEMOLITION OPERATIONS.
8. THE CONTRACTOR SHALL COORDINATE WITH ALL APPLICABLE UTILITY COMPANIES PRIOR TO REMOVAL OR RELOCATION OF ANY UTILITIES AND TO SAFELY STOP SERVICES AND DISMANTLE SERVICE LINES PRIOR TO BEGINNING DEMOLITION OPERATIONS.
9. CONTRACTOR IS TO REMOVE AND RE-USE SEWER PIPES, POWER POLES AND GUY WIRES, WATER LINES AND METERS, VEGETATION, ASPHALT, AND OTHER UNSUITABLE DEBRIS OR MATERIAL SHOWN OR NOT SHOWN WITHIN CONSTRUCTION LIMITS AND WHERE NECESSARY TO ALLOW FOR CONSTRUCTION ACTIVITY. ALL MATERIAL TO BE REMOVED AS UNCLASSIFIED EXCAVATION.
10. ALL CAVITIES CREATED BY REMOVAL OF EXISTING FACILITIES IN THE AREA OF PROPOSED CONSTRUCTION SHALL BE FILLED AND COMPACTED IN ACCORDANCE WITH THE SITE WORK SPECIFICATIONS TO SUBGRADE ELEVATION.
11. THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION WHEN WORKING IN THE VICINITY OF EXISTING OVERHEAD ELECTRICAL POWER LINES.
12. EXISTING UTILITIES ARE SHOWN AS LOCATED AND IDENTIFIED IN THE FIELD BY UTILITY COMPANY REPRESENTATIVE. THE OWNER AND THE ENGINEER MAKE NO ASSURANCE OF THE ACTUAL LOCATION, DEPTH, SIZE OR TYPE OF UTILITY LINES SHOWN. THE OWNER AND THE ENGINEER MAKES NO ASSURANCE THAT ALL OF THE EXISTING UTILITY LINES ON THE SITE ARE SHOWN.

GRADING AND CLEARING NOTES:

1. EXISTING UTILITIES AS SHOWN ARE APPROXIMATE LOCATIONS ONLY. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO THE START OF ANY CONSTRUCTION WORK. ANY DAMAGE TO EXISTING STRUCTURES, UTILITIES, FENCES AND/OR INCIDENTALS NOT DESIGNATED FOR REMOVAL SHALL BE REPAIRED AT THE CONTRACTORS EXPENSE.
2. CONTRACTOR SHALL ADHERE TO THE "DESIGN AND CONSTRUCTION MANUAL" SECTION 2100 AS ADOPTED BY THE CITY OF LEES SUMMIT, MISSOURI (LATEST EDITION), FOR EXCAVATION AND EMBANKMENT WORK WITHIN THE PROPOSED DRIVE LANES.
3. CONTRACTOR SHALL PROVIDE A LEVEL BUILDING PAD BASED UPON PROPOSED FINISHED FLOOR ELEVATION TO ± 0.10' OR AS ESTABLISHED THROUGH ALTERNATIVE BID DOCUMENTS.
4. PRIOR TO FINAL ACCEPTANCE OF THE PROJECT, ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH A MINIMUM OF FOUR INCHES OF TOPSOIL APPLIED. IF ADEQUATE TOPSOIL IS NOT AVAILABLE ON SITE THE CONTRACTOR SHALL PROVIDE TOPSOIL, APPROVED BY THE OWNER, AS NEEDED. THE AREA SHALL THEN BE SEEDED, FERTILIZED, MULCHED, WATERED AND MAINTAINED UNTIL HARDY GRASS GROWTH IS ESTABLISHED IN ALL AREAS. ANY AREAS DISTURBED FOR ANY REASON PRIOR TO FINAL ACCEPTANCE OF THE PROJECT SHALL BE CORRECTED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
5. AREAS OF CONSTRUCTION SHALL BE STRIPPED OF ALL VEGETATION, ORGANIC MATTER AND TOPSOIL TO A DEPTH AS RECOMMENDED BY GEOTECHNICAL ENGINEER AND/ OR TESTING AGENCY. SOILS REMOVED DURING SITE STRIPPING SHOULD BE EVALUATED TO DETERMINE IF PORTIONS OF THE TOPSOIL STRATUM MAY BE UTILIZED AS STRUCTURAL FILL WITHIN PAVEMENT AREAS. ANY MATERIAL NOT DEEMED AS SUITABLE FILL MATERIAL BY THE GEOTECHNICAL ENGINEER AND/ OR TESTING AGENCY SHALL BE REMOVED FROM THE JOB SITE BY THE CONTRACTOR AT HIS EXPENSE.
6. ALL EMBANKMENT SHOULD BE PLACED IN CONTROLLED LIFTS HAVING A MAXIMUM LOOSE LIFT THICKNESS OF 9". EMBANKMENT PLACED WITHIN THE PAVEMENT AREAS SHOULD BE COMPACTED TO A MINIMUM OF 95% OF THE MATERIALS MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D-698 (STANDARD PROCTOR COMPACTION). EMBANKMENT PLACED WITHIN THE BUILDING AREAS SHOULD BE COMPACTED TO A MINIMUM OF 95% OF THE MATERIALS MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D-698 (STANDARD PROCTOR COMPACTION). MOISTURE CONTENT OF THE FILL AT THE TIME OF COMPACTION SHALL BE WITHIN A RANGE OF 0 TO 4 PERCENT ABOVE OPTIMUM MOISTURE CONTENT AS DEFINED BY THE STANDARD PROCTOR COMPACTION PROCEDURE. ALL EMBANKMENT PLACED WITHIN 18" OF THE BUILDING SUBGRADE SHOULD HAVE A LIQUID LIMIT LESS THAN 60. THE GEOTECHNICAL REPORT SHALL SUPERSDEE RECOMMENDATIONS AS STATED IN THIS PLAN SET.

UTILITY CONSTRUCTION NOTES:

1. PRIOR TO INSTALLATION OF ANY PROPOSED UTILITY THE CONTRACTOR SHALL EXCAVATE, VERIFY, AND CALCULATE ALL CROSSINGS WITH EXISTING UTILITIES AND INFORM THE OWNER AND THE ENGINEER OF ANY CONFLICTS. THE ENGINEER WILL BE HELD HARMLESS IN THE EVENT THE ENGINEER IS NOT NOTIFIED OF CONFLICTS WITH EXISTING UTILITIES.
2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT IS THE CONTRACTORS RESPONSIBILITY TO RELOCATE AND/OR ADJUST ALL EXISTING UTILITIES THAT CONFLICT WITH PROPOSED SITE IMPROVEMENTS.
3. UNLESS OTHERWISE SHOWN, CALLED OUT OR SPECIFIED HEREON OR WITHIN THE SPECIFICATIONS: ALL STORM DRAIN PIPE BEDDING SHALL BE INSTALLED PER CITY STANDARD DETAILS. ALL STORM DRAIN PIPES ARE MEASURED FROM CENTER OF STRUCTURES AND ENDS OF FLARED END SECTIONS.
4. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CONTROL DOWNSTREAM EROSION AND SILTATION DURING ALL PHASES OF CONSTRUCTION. EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO CONSTRUCTION.
5. TELEPHONE CONDUIT SHALL HAVE A MINIMUM COVER OF 30". CONDUIT SHALL BE DUAL 4" SCHEDULE 40 PVC. CONTRACTOR SHALL COORDINATE LOCATION WITH THE UTILITY REPRESENTATIVE AND LOCATE PVC CROSSINGS AS NECESSARY. SEE ELEC. PLANS FOR ENTRANCE LOCATIONS.
6. FOR ALL SERVICE LINE ENTRANCE LOCATIONS WITHIN THE BUILDING, INCLUDING ROOF DRAIN CONNECTIONS, SEE ARCHITECTURAL PLANS AND DETAILS.
7. ALL WATER SERVICE LINES SHALL BE A MINIMUM OF 48" BELOW FINISHED GRADE.
8. ALL SANITARY SEWER LINES SHALL BE SDR-26 WITH 42" MIN. COVER.
9. CONTRACTOR SHALL COORDINATE ANY DISRUPTIONS TO EXISTING UTILITY SERVICES WITH ADJACENT PROPERTY OWNERS A MINIMUM OF 48 HOURS PRIOR TO DISRUPTION.
10. ALL ELECTRIC AND TELEPHONE, INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTION'S SHALL BE COORDINATED WITH THE DESIGNATED UTILITY COMPANIES.
11. PRIOR TO ORDERING PRECAST STRUCTURES, SHOP DRAWINGS SHALL BE SUBMITTED TO THE DESIGN ENGINEER FOR APPROVAL.
12. ALL PRIVATE INSTALLATIONS SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS AS ADOPTED BY THE CITY OF LEE'S SUMMMIT, MISSOURI.
13. EXTENSION OF BOTH DOMESTIC WATER SERVICE AND FIRE PROTECTION LINE MAY NOT BE PROVIDED UNTIL PUBLIC MAIN HAS BEEN TESTED AND ACCEPTED BY WRITTEN AUTHORIZATION FROM LEE'S SUMMIT WATER DEPARTMENT.
14. CONTRACTOR TO CONTACT LEE'S SUMMIT WATER SERVICES DEPARTMENT FOR MAIN LINE TAP AND METER SET A MINIMUM OF 48 HOURS PRIOR TO CONNECTION.
17. CONSTRUCTION SHALL NOT START ON ANY PUBLIC UTILITY SYSTEM UNTIL THE APPROPRIATE PERMITS HAVE BEEN PULLED FROM THE CITY OF LEE'S SUMMIT AND/OR JACKSON COUNTY AND CONTRACTOR HAS BEEN NOTIFIED BY THE ENGINEER.

18. ALL ELECTRICAL CONDUIT SHALL BE SCHEDULE 40 ELECTRICAL PVC, AS CALLED OUT AND HAVE AN AVERAGE OF 36" TO 42" COVER WITH A MINIMUM OF 30" CONFORMING TO THE CURRENT REGULATIONS SET FORTH BY MISSOURI PUBLIC SERVICE. SEE MECH. PLANS FOR ENTRANCE LOCATIONS.

19. CONTRACTOR SHALL MAKE APPLICATION WITH SPIRE ENERGY FOR PROPOSED METER.

SITE DISTURBANCE NOTES:

1. THE INTENT OF THIS EROSION CONTROL PLAN IS TO ASSIST THE CONTRACTOR IN THEIR RESPONSIBILITY TO PROVIDE ALL MATERIALS, TOOLS, EQUIPMENT AND LABOR NECESSARY TO CONTROL EROSION, SILTATION AND DISCHARGES OF SOIL MATERIAL (SEDIMENT) INTO DOWNSTREAM SYSTEMS OR RECEIVING CHANNELS. THIS SHALL BE REQUIRED DURING ALL PHASES OF CONSTRUCTION AND UNTIL SUITABLE GROUND COVER IS ESTABLISHED FOR ALL DISTURBED AREAS. IF ANY METHOD OF CONTROL FAILS, THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY, SO THAT THE OWNER OR THEIR AGENT CAN REVIEW THE CONTRACTOR'S PROPOSED METHOD OF REPAIR.

THIS PLAN INDICATES THE CRITICAL AREA(S) OF CONCERN TO BE CONTROLLED AS A MINIMUM. THE CONTROL MAY CONSIST OF TEMPORARY CONTROL MEASURES AS SHOWN ON THE PLANS OR ORDERED BY THE OWNER DURING THE LIFE OF THE CONTRACT TO CONTROL EROSION OR WATER POLLUTION, THROUGH THE USE OF BERMS, DIKES, DAMS, SEDIMENT BASINS, FIBER MATS, NETTING, GRAVEL, MULCHES, GRASSES, SLOPE DRAINS, DIVERSION SWALES OR OTHER EROSION CONTROL DEVICES OR METHODS. THE OWNER HAS THE AUTHORITY TO LIMIT THE SURFACE AREA OF ERODIBLE EARTH MATERIAL EXPOSED BY THE CONSTRUCTION OPERATIONS AND TO DIRECT THE CONTRACTOR TO PROVIDE IMMEDIATE PERMANENT OR TEMPORARY POLLUTION CONTROL MEASURES TO PREVENT CONTAMINATION OF ADJACENT STREAMS OR OTHER WATER COURSES, LAKES, PONDS, OR OTHER AREAS OF WATER IMPROVEMENT OR CONVEYANCES.

THE TEMPORARY POLLUTION CONTROL PROVISIONS CONTAINED HEREIN SHALL BE COORDINATED WITH ANY PERMANENT EROSION CONTROL FEATURES SPECIFIED ELSEWHERE IN THE CONTRACT TO THE EXTENT PRACTICAL TO ASSURE ECONOMICAL, EFFECTIVE AND CONTINUOUS EROSION CONTROL THROUGHOUT THE CONSTRUCTION AND POST CONSTRUCTION PERIOD.

2. THIS SEDIMENTATION CONTROL PLAN MAKES USE OF THE FOLLOWING APPLICATIONS:
 - x- PRESERVATION OF EXISTING VEGETATION
 - x- SEDIMENT BARRIERS
 - x- SEDIMENT TRAPS
 - x- INLET PROTECTION
 - x- OUTLET PROTECTION
 - x- SOIL RETAINING SYSTEMS
 - x- SLOPE DRAINS
 - x- SUBSURFACE DRAINS

PHYSICAL DESCRIPTION OF EACH SPECIFIC SEDIMENT CONTROL DEVICE TO BE UTILIZED IS CALLED OUT ON THE PLANS WITH INSTALLATION PROCEDURES, CONSTRUCTION SPECIFICATIONS AND MAINTENANCE ARRANGEMENT AS CALLED FOR ON THE DETAIL SHEET. IN ADDITION TO THE MEASURES SPECIFIED, THE FOLLOWING GENERAL PRACTICES SHALL BE ADHERED TO WHEN APPLICABLE.

- A) CLEARING AND GRUBBING WITHIN 50' OF A DEFINED DRAINAGE COURSE SHOULD BE AVOIDED WHEN POSSIBLE. WHERE CHANCES TO A DEFINED DRAINAGE COURSE OCCUR, WORK SHOULD BE DELAYED UNTIL ALL MATERIALS AND EQUIPMENT NECESSARY TO PROTECT AND COMPLETE THE DRAINAGE CHANGE ARE ON SITE. CHANGES SHALL BE COMPLETED AS QUICKLY AS POSSIBLE ONCE THE WORK HAS BEEN INITIATED. THE AREA IMPACTED BY THE CONSTRUCTION ACTIVITIES SHALL BE REVEGETATED OR PROTECTED FROM EROSION AS SOON AS POSSIBLE, AREAS WITHIN 50' OF A DEFINED DRAINAGE WAY SHOULD BE RECONTOURED AS NEEDED OR OTHERWISE PROTECTED WITHIN FIVE (5) WORKING DAYS AFTER GRADING HAS CEASED.
- B) WHERE SOIL DISTURBING ACTIVITIES CEASE IN AN AREA FOR MORE THAN 14 DAYS, THE DISTURBED AREAS SHALL BE PROTECTED FROM EROSION BY STABILIZING THE AREA WITH MULCH OR OTHER SIMILARLY EFFECTIVE EROSION CONTROL MEASURES. IF THE SLOPE OF THE AREA IS GREATER THAN 3:1 OR IF THE SLOPE IS GREATER THAN 3% AND GREATER THAN 150 FEET IN LENGTH, THEN THE DISTURBED AREAS SHALL BE PROTECTED FROM EROSION BY STABILIZING THE AREA WITH MULCH OR OTHER SIMILARLY EFFECTIVE EROSION CONTROL MEASURES IF ACTIVITIES CEASE FOR MORE THAN SEVEN (7) DAYS.
- C) EXISTING VEGETATION SHALL BE PRESERVED TO THE EXTENT AND WHERE PRACTICAL. IN NO CASE SHALL DISTURBED AREAS REMAIN WITHOUT VEGETATIVE GROUND COVER FOR A PERIOD IN EXCESS OF 60 DAYS.
- D) ADDITIONAL SITE MANAGEMENT PRACTICES WHICH SHALL BE ADHERED TO DURING THE CONSTRUCTION PROCESS SHALL INCLUDE:

SOLID AND HAZARDOUS WASTE MANAGEMENT INCLUDING PROVIDING TRASH CONTAINERS AND REGULAR SITE CLEAN UP FOR PROPER DISPOSAL OF SOLID WASTE SUCH AS BUILDING MATERIAL, PRODUCT/MATERIAL SHIPPING WASTE, FOOD CONTAINERS AND CUPS, AND PROVIDING CONTAINERS FOR THE PROPER DISPOSAL OF WASTE PAINTS SOLVENTS, AND CLEANING COMPOUNDS.

PROVISIONS OF PORTABLE TOILETS FOR PROPER DISPOSAL OF SANITARY SEWAGE.

STORAGE OF CONSTRUCTION MATERIALS AWAY FROM DRAINAGE COURSES AND LOW AREAS.

INSTALLATION OF CONTAINMENT BERMS AND USE OF DRIP PANS AT PETROLEUM PRODUCT AND LIQUID STORAGE TANKS AND CONTAINERS.

3. ALL DISTURBED AREAS SHALL BE SEEDED, FERTILIZED AND MULCHED, OR SODDED, IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS ADOPTED BY THE REVIEWING GOVERNING AGENCY AND GOOD ENGINEERING PRACTICES. THIS SHALL BE COMPLETED WITHIN FOURTEEN (14) DAYS AFTER COMPLETING THE WORK, IN ANY AREA. IF THIS IS OUTSIDE OF THE SEEDING PERIOD, SILT BARRIERS OR OTHER SIMILARLY EFFECTIVE MEASURES SHALL BE PROVIDED UNTIL SUCH TIME THAT THE AREAS CAN BE SEEDED.

4. THE CONSTRUCTION COVERED BY THESE PLANS SHALL CONFORM TO ALL CURRENT STANDARDS AND SPECIFICATIONS ADOPTED BY THE REVIEWING GOVERNING AGENCY. THE CONTRACTOR WILL BE RESPONSIBLE FOR DETERMINING ALL ADDITIONAL STANDARDS, SPECIFICATIONS OR REQUIREMENTS WHICH ARE REQUIRED BY GOVERNING AGENCIES (INCLUDING LOCAL, STATE AND FEDERAL AUTHORITIES) HAVING JURISDICTION OVER THE WORK PROPOSED BY THESE CONSTRUCTION DRAWINGS.

5. ALL EROSION CONTROL MEASURES, TEMPORARY OR PERMANENT, REQUIRE MAINTENANCE TO PRESERVE THEIR EFFECTIVENESS. ALL EROSION CONTROL DEVICES SHALL BE INSPECTED ONCE EVERY SEVEN (7) CALENDAR DAYS AND WITHIN 24 HOURS OF THE OCCURRENCE OF A 2-YR, 24-HR STORM EVENT, OR ONCE EVERY FOURTEEN (14) CALENDAR DAYS AND WITHIN 24 HOURS OF THE OCCURRENCE OF A STORM EVENT OF 0.25-INCHES OF PRECIPITATION OR GREATER. ANY REQUIRED REPAIRS SHOULD BE MADE IMMEDIATELY. ALL COSTS ASSOCIATED WITH THE REPAIR WORK, INCLUDING RELATED INCIDENTALS ASSOCIATED WITH THE REPAIR WORK, WILL BE THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE INCLUDED IN THE CONTRACTOR'S BID FOR THE PROPOSED WORK.

LEGEND

GENERAL	
	ACU
	AIR CONDITIONING UNIT
	ARROW STRAIGHT
	ARROW TURN LEFT
	ARROW TURN RIGHT
	BILLBOARD
	BLOW OFF VALVE
	BUSH
	COLUMN
	CONIFEROUS TREE
	DRAIN GRATE
	DECIDUOUS TREE
	FLAG POLE
	GUARD POST
	GUY POLE
	GREASE TRAP
	GUY WIRE
	ACCESSABLE PARKING MARKER
	LIFT STATION
	MAILBOX
	MILE POST MARKER
	MONITORING WELL
	POST INDICATOR VALVE
	PROPANE TANK
	RADIO TOWER
	SATELLITE
	SIGN
	SPRINKLER CONTROL VALVE
	STREET LIGHT BOX
	STREET LIGHT CABINET
	SPRINKLER BOX
	SPRINKLER HEAD
	STUMP
	SEWER VALVE
	TRAFFIC CONTROL BOX
	TRAFFIC SIGNAL WITH MAST ARM
	TRAFFIC SIGNAL CABINET
	TRAFFIC SIGNAL MANHOLE
	TRAFFIC SIGNAL POLE
	EXISTING TREELINE
	PROPOSED TREELINE
	EXISTING SIDEWALK
	PROPOSED SIDEWALK
	FUTURE SIDEWALK
	EXISTING BUILDINGS
	PROPOSED BUILDINGS
	FUTURE BUILDINGS
	EXISTING EDGE OF PAVEMENT
	PROPOSED EDGE OF PAVEMENT
	FUTURE EDGE OF PAVEMENT
	EXISTING ROADWAY CENTER LINE
	PROPOSED ROADWAY CENTER LINE
	FUTURE ROADWAY CENTER LINE
	EXISTING CURB & GUTTER
	PROPOSED CURB & GUTTER
	FUTURE CURB & GUTTER
	RADIUS
	ARC DISTANCE
	DELTA / CENTRAL ANGLE
EASEMENTS & SETBACKS	
	ACCESS EASEMENT
	BEST MANAGEMENT PRACTICE EASEMENT
	BUILDING SETBACK
	CABLE TV EASEMNT
	CONSERVATION EASEMENT
	CONSTRUCTION GRADING EASEMENT
	FLOOD PLAIN EASEMENT
	FIBER OPTIC EASEMENT
	FIRE PROTECTION SYSTEM EASEMENT
	FUEL LINE EASEMENT
	LANDSCAPE EASEMENT
	NATURAL GAS EASEMENT
	TELEPHONE EASEMENT
	POWER/ELECTRIC EASEMENT
	PARKING SETBACK
	STREAM BUFFER
	SURFACE DRAINAGE EASEMENT
	SIGHT DISTANCE EASEMENT
	SANITARY SEWER EASEMENT
	STEAM LINE EASEMENT
	STORM DRAINAGE EASEMENT
	STORM WATER MANAGEMENT EASEMENT
	TEMPORARY CUL-DE-SAC EASEMENT
	TEMPORARY EASEMENT
	TRAIL/PATH EASEMENT
	UTILITY EASEMENT
	WATER EASEMENT
	FRONT YARD SETBACK
	REAR YARD SETBACK
	SIDE YARD SETBACK
CONTOURS	
	EXISTING INDEX CONTOURS
	EXISTING INTERMEDIATE CONTOURS
	PROPOSED INDEX CONTOURS
	PROPOSED INTERMEDIATE CONTOURS

SURVEY MARKERS	
	BENCHMARK
	CONTROL POINT
	FOUND MONUMENT
	ROW MARKER
	SECTION CORNER
	SET MONUMENT
BOUNDARIES	
	SECTION LINE
	EXISTING PROPERTY BOUNDARY
	PROPOSED PROPERTY BOUNDARY
	EXISTING LOT LINE
	PROPOSED LOT LINE
	EXISTING RIGHT-OF-WAY
	PROPOSED RIGHT-OF-WAY
UTILITIES	
	CABLE BOX
	CABLE VAULT
	TELEVISION PEDESTAL
	TELEVISION RISER
	EXISTING CABLE TV, OVERHEAD
	EXISTING CABLE TV, UNDERGROUND
	PROPOSED CABLE TV, OVERHEAD
	PROPOSED CABLE TV, UNDERGROUND
	FIBER OPTIC BOX
	FIBER OPTIC MANHOLE
	FIBER OPTIC PEDESTAL
	FIBER OPTIC VAULT
	EXISTING FIBER OPTIC, OVERHEAD
	EXISTING FIBER OPTIC, UNDERGROUND
	PROPOSED FIBER OPTIC, OVERHEAD
	PROPOSED FIBER OPTIC, UNDERGROUND
	FIRE DEPT. CONNECTION
	EXISTING FIRE PROTECTION SYSTEM LINE
	PROPOSED FIRE PROTECTION SYSTEM LINE
	EXISTING FUEL LINE
	PROPOSED FUEL LINE
	GAS RISER
	GAS MANHOLE
	GAS MARKER
	GAS METER
	GAS REGULATOR
	GAS VALVE
	EXISTING NATURAL GAS LINE
	PROPOSED NATURAL GAS LINE
	TELEPHONE CABINET
	TELEPHONE PEDESTAL
	TELEPHONE RISER
	TELEPHONE VAULT
	EXISTING TELEPHONE LINE, OVERHEAD
	EXISTING TELEPHONE LINE, UNDERGROUND
	PROPOSED TELEPHONE LINE, OVERHEAD
	PROPOSED TELEPHONE LINE, UNDERGROUND
	GROUND LIGHT
	LIGHT POLE
	POWER POLE
	ELECTRIC TRANSFORMER
	ELECTRIC BOX
	ELECTRIC CABINET
	ELECTRIC RISER
	ELECTRIC MANHOLE
	ELECTRIC METER
	ELECTRIC SECTIONALIZER
	ELECTRIC VAULT
	YARD LIGHT
	EXISTING POWER/ELECTRIC LINE, OVERHEAD
	EXISTING POWER/ELECTRIC LINE, UNDERGROUND
	SEWER CLEANOUT
	SANITARY MANHOLE
	EXISTING SANITARY SEWER
	PROPOSED SANITARY SEWER
	FUTURE SANITARY SEWER
	EXISTING STEAM LINE
	PROPOSED STEAM LINE
	STORM SEWER MANHOLE
	FLARED END SECTION
	ROOF DRAIN
	EXISTING STORM SEWER
	PROPOSED STORM SEWER
	FIRE HYDRANT
	WATER MANHOLE
	WATER MARKER
	WATER METER
	WATER VALVE
	EXISTING WATER LINE
	PROPOSED WATER LINE

APPROVED RECORD
DRAWING

These plans have been reviewed for
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TEL 816.381.1177
www.olsson.com

JULIE ELAINE SELLERS
NUMBER PE-2017000367
6/12/20

JULIE SELLERS, P.E.
MO# 2017000367

REVISIONS DESCRIPTION

NO.	REV.	DATE



These plans have been reviewed for accuracy by the Development Services Staff

STATE OF MISSOURI
JULIE ELAINE
SELLERS
NUMBER
PE-2017000367
6/12/20
PROFESSIONAL ENGINEER

JULIE SELLERS, P.E.
MO# 2017000367

[illegible]

EXISTING CONDITIONS FINAL DEVELOPMENT PLANS

WOODSIDE RIDGE POOL
NW O'BRIEN ROAD & NW PRYOR ROAD

EE'S SUMMIT, MISSOURI

2020

drawn by: _____ C.S.M
checked by: _____ J.E.S.
designed by: _____ J.E.S.
QA/QC by: _____ ----
project no.: _____ 019-1288
date: _____ 01/14/2020

SHEET
C03

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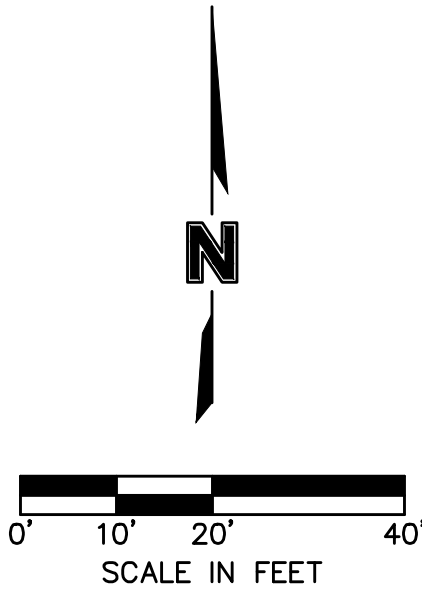
LEGEND	
-100-	EXISTING INDEX CONTOURS
-100-	EXISTING INTERMEDIATE CONTOURS
-100-	PROPOSED INDEX CONTOURS
-100-	PROPOSED INTERMEDIATE CONTOURS

EARTHWORK QUANTITIES		
LOCATION	CUT (C.Y.)	FILL (C.Y.)
SITE	948	234

EARTHWORK QUANTITIES NOTES:

1. EARTHWORK QUANTITIES BASED ON FINISHED GRADE SURFACE AND DO NOT INCLUDE ADJUSTMENTS FOR TOPSOIL AND SHRINKAGE.

2. EARTHWORK QUANTITIES DO NOT TAKE INTO CONSIDERATION EXCAVATION, REMOVAL AND DISPOSAL OF MATERIAL DEEMED UNSUITABLE BY A GEOTECHNICAL ENGINEER. THE EARTHWORK CONTRACTOR IS RESPONSIBLE FOR EXCAVATION, REMOVAL AND DISPOSAL OF UNSUITABLE MATERIAL AND FOR REPLACING IT WITH SUITABLE MATERIAL.

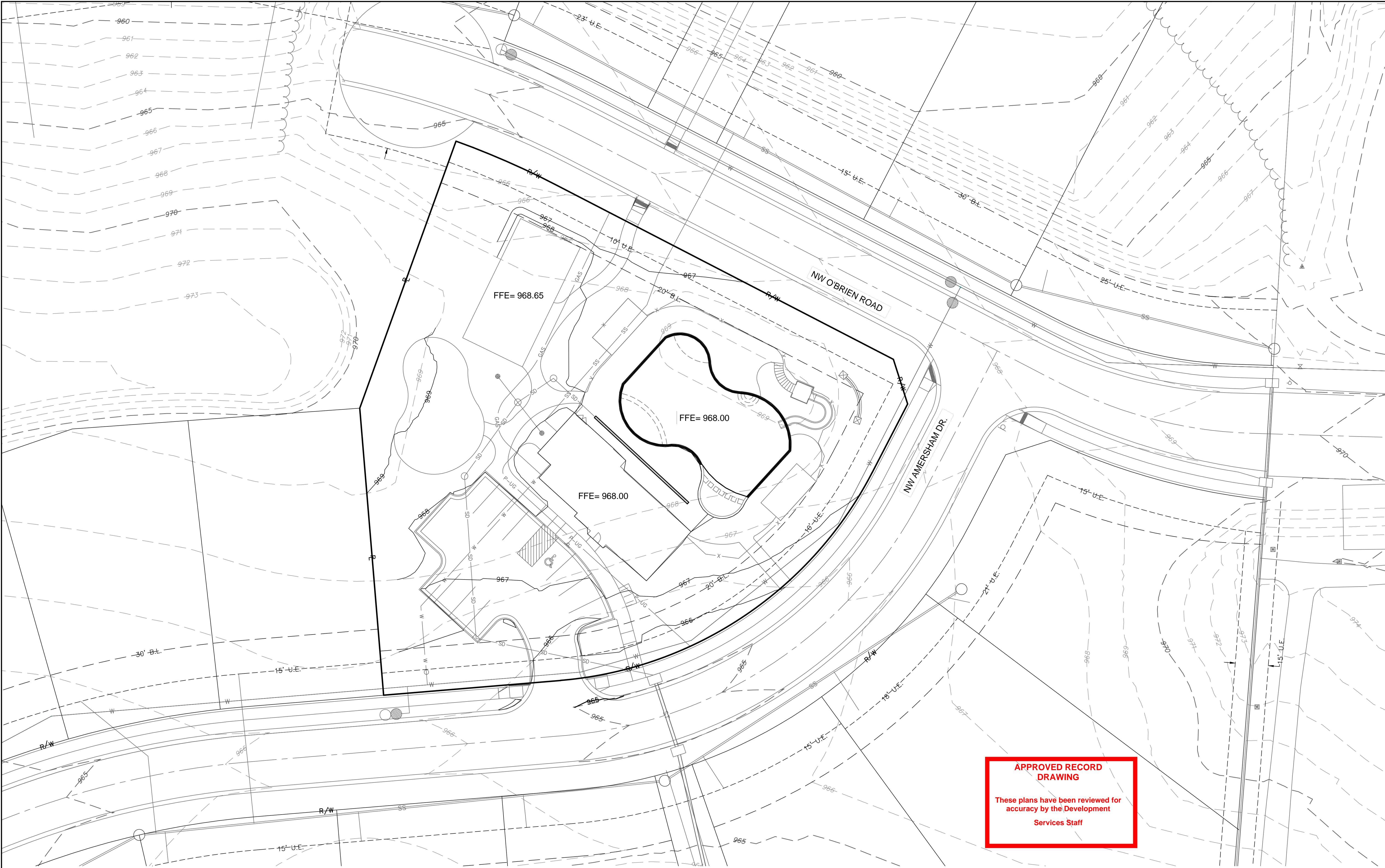


GENERAL NOTES:

- CONTRACTOR SHALL ADHERE TO THE "DESIGN AND CONSTRUCTION MANUAL" SECTION 2100 AS ADOPTED BY THE CITY OF LEE'S SUMMIT (LATEST EDITION), FOR EXCAVATION AND EMBANKMENT WORK WITHIN THE PROPOSED RIGHT-OF-WAY.
- AREAS OF CONSTRUCTION SHALL BE STRIPPED OF ALL VEGETATION, ORGANIC MATTER AND TOPSOIL TO A DEPTH AS RECOMMENDED BY GEOTECHNICAL ENGINEER AND/ OR TESTING AGENCY. SOILS REMOVED DURING SITE STRIPPING SHOULD BE EVALUATED TO DETERMINE IF PORTIONS OF THE TOPSOIL STRATUM MAY BE UTILIZED AS STRUCTURAL FILL WITHIN PAVEMENT AREAS. ANY MATERIAL NOT DEEMED AS SUITABLE FILL MATERIAL BY THE GEOTECHNICAL ENGINEER AND/ OR TESTING AGENCY SHALL BE REMOVED FROM THE JOB SITE BY THE CONTRACTOR AT THEIR EXPENSE.
- CONTRACTOR SHALL ADHERE TO THE SITE PREPARATION AND STRUCTURAL FILL RECOMMENDATIONS AS CALLED OUT IN THE GEOTECHNICAL REPORT AND ENGINEERING EVALUATION AS PROVIDED BY THE GEOTECHNICAL ENGINEER PROVIDED WITH WOODSIDE RIDGE 1ST PLAT.
- ALL EMBANKMENT OUTSIDE OF RIGHT-OF-WAY SHOULD BE PLACED IN CONTROLLED LIFTS HAVING A MAXIMUM LOOSE LIFT THICKNESS OF 9". EMBANKMENT SHOULD BE COMPACTED TO A MINIMUM OF 95% OF THE MATERIALS MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D-698 (STANDARD PROCTOR COMPACTION). MOISTURE CONTENT OF THE FILL AT THE TIME OF COMPACTION SHALL BE WITHIN A RANGE OF -0 TO +3 PERCENT OF OPTIMUM MOISTURE CONTENT.

**APPROVED RECORD
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STATE OF MISSOURI
JULIE ELAINE SELLERS
NUMBER
PE-2017000367
6/12/20
PROFESSIONAL ENGINEER

JULIE SELLERS, P.E.
MO# 2017000367

NO. REV.

DATE

REVISIONS DESCRIPTION

GRADING PLAN
FINAL DEVELOPMENT PLANS

WOODSIDE RIDGE POOL
NW O'BRIEN ROAD & NW PRYOR ROAD

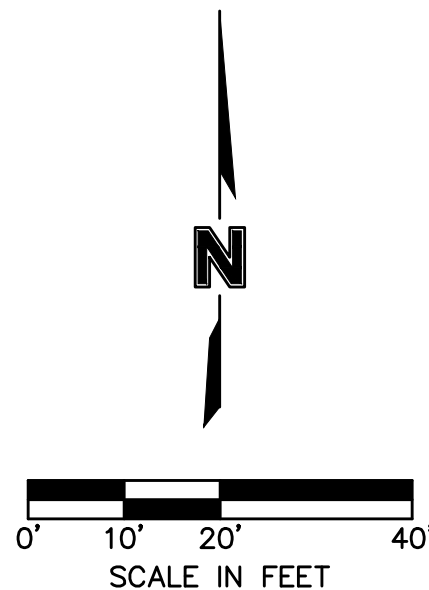
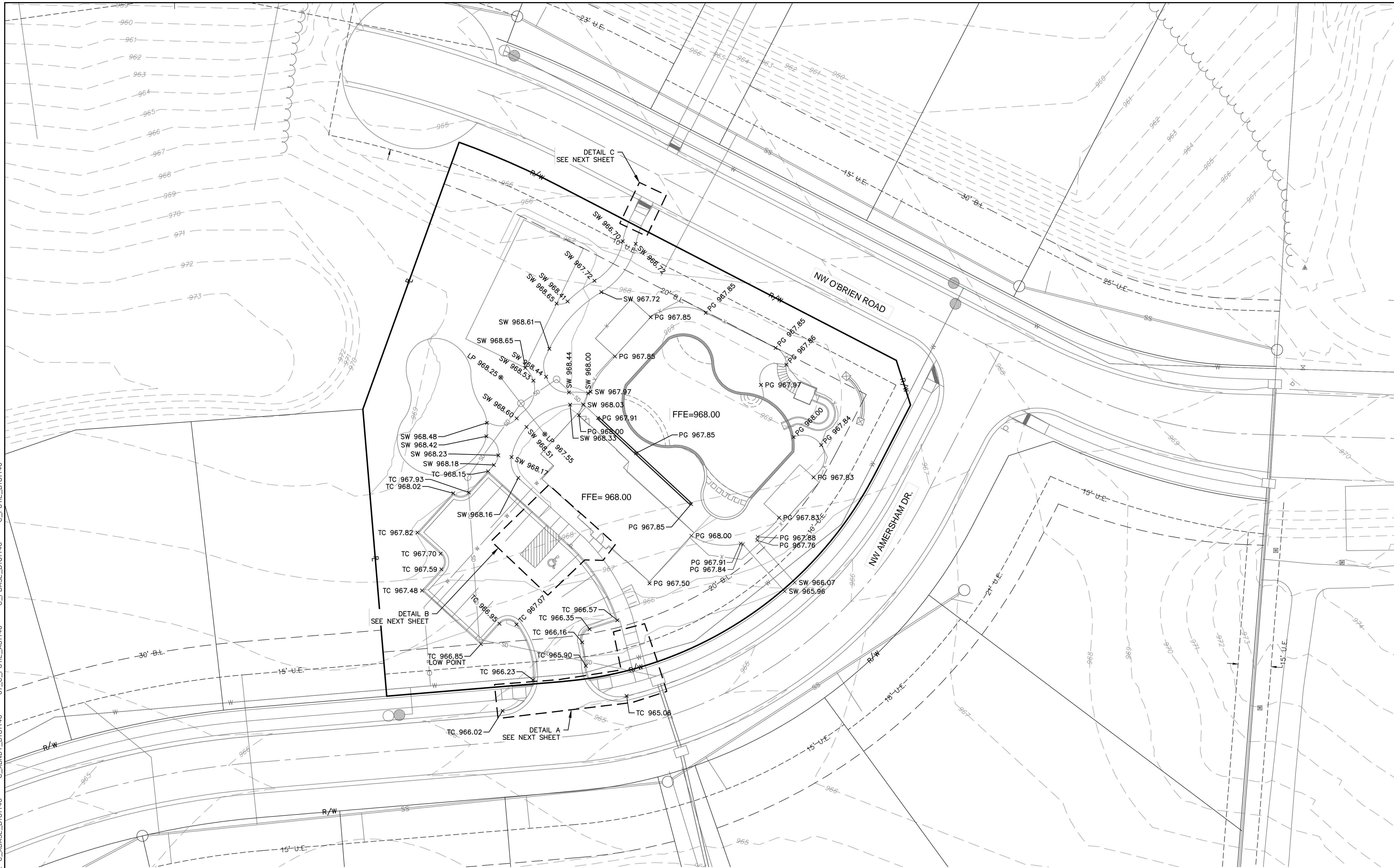
LEE'S SUMMIT, MISSOURI

2020

drawn by: _____ C.S.M.
checked by: _____ J.E.S.
designed by: _____ C.S.M.
QA/QC by: _____ J.E.S.
project no.: B18-1140
date: 06/12/2020

SHEET
C04

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 DATE: Jun 12, 2020 11:32am



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LEGEND	
TC	TOP OF CURB
PV	TOP OF PAVEMENT
SW	SIDEWALK
FF	FINISHED FLOOR ELEVATION
PG	PROPOSED GRADE
LP	LOW POINT

drawn by: _____ C.S.M.
checked by: _____ J.E.S.
designed by: _____ C.S.M.
QA/QC by: _____ J.E.S.
project no.: _____ 019-1288
date: _____ 02/11/2020

SHEET
C05

SPOT ELEVATIONS
FINAL DEVELOPMENT PLANS

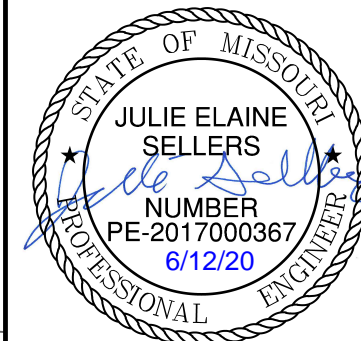
WOODSIDE RIDGE POOL
NW O'BRIEN ROAD & NW PRYOR ROAD

LEE'S SUMMIT, MISSOURI

2020

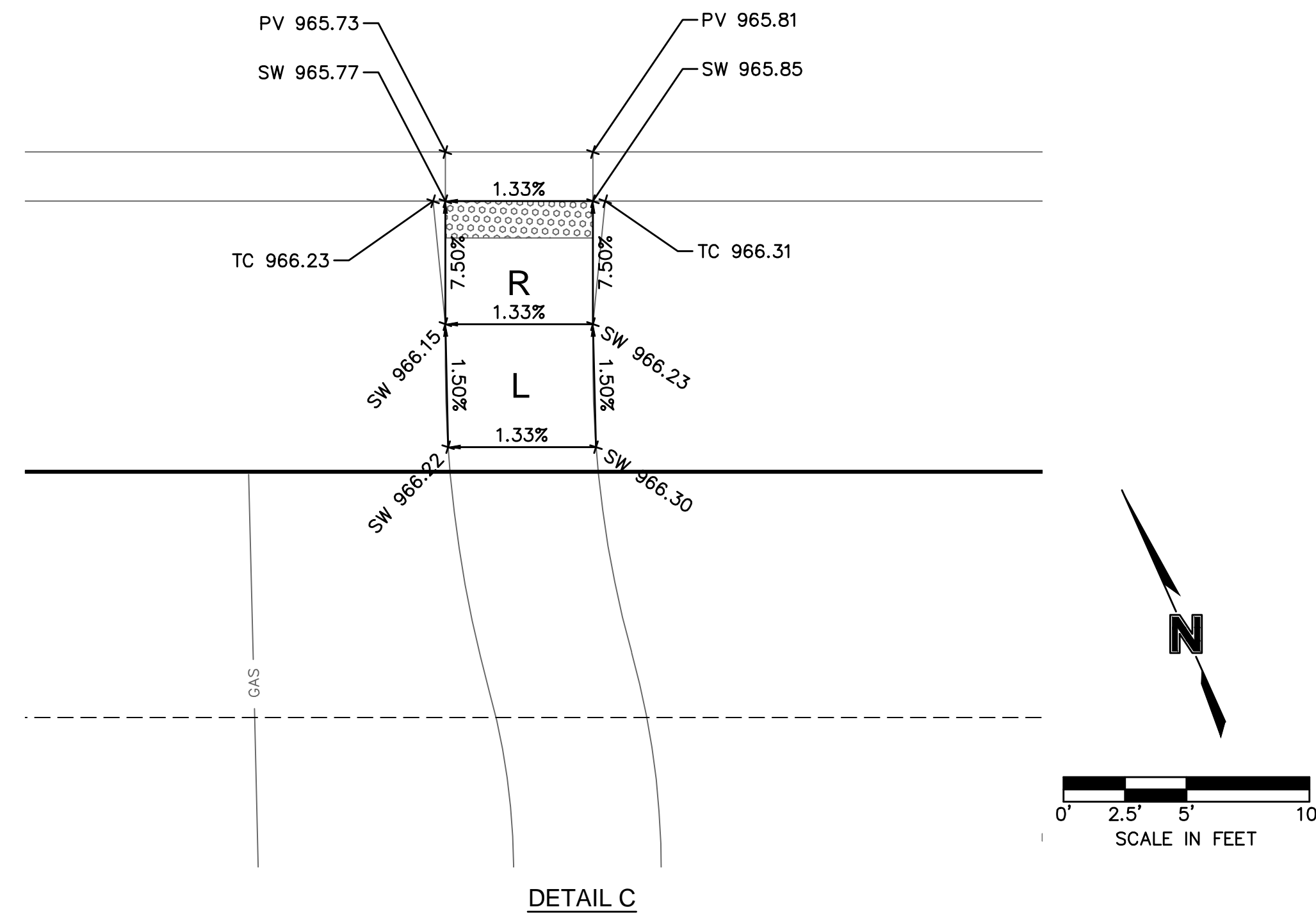
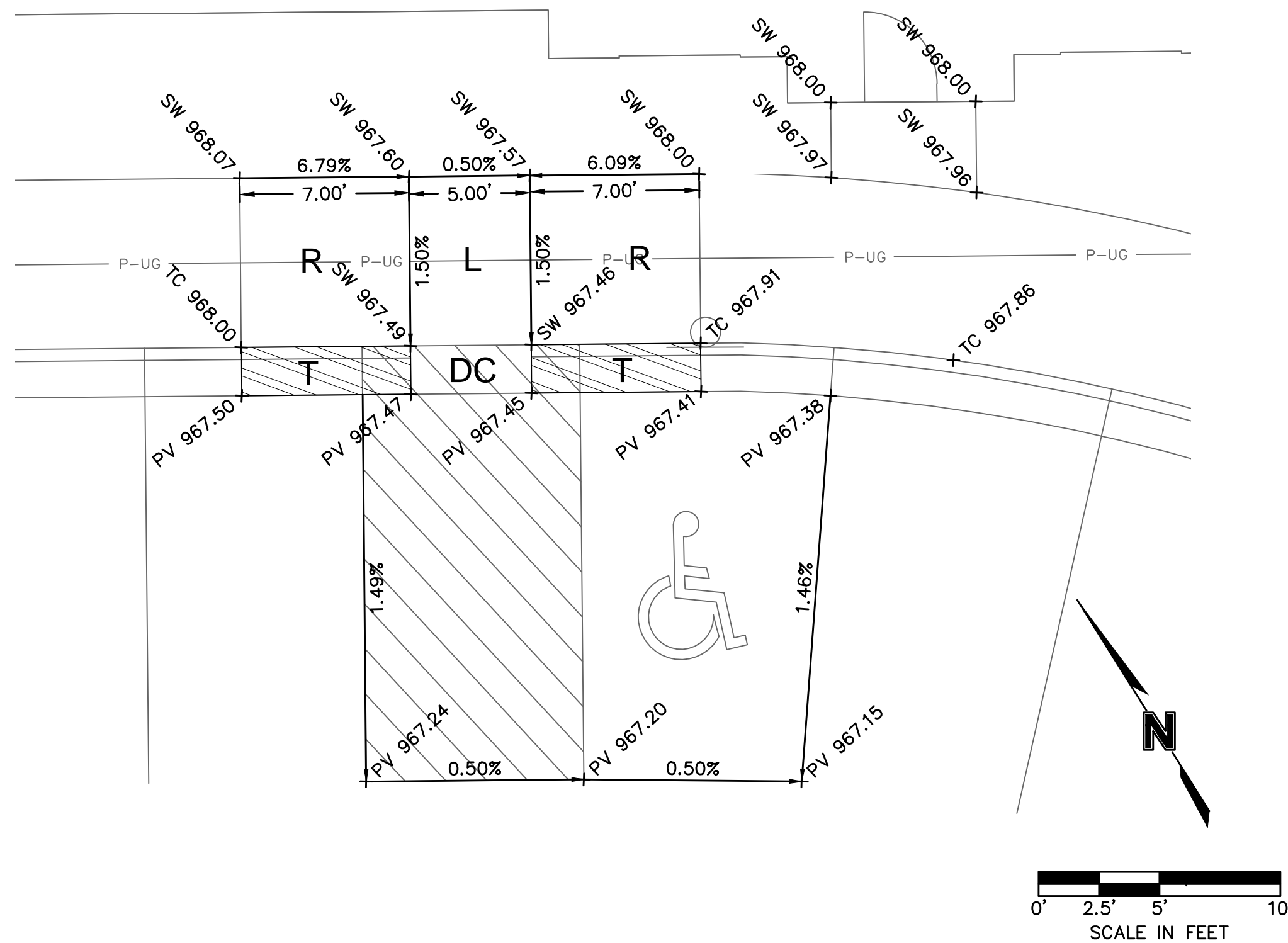
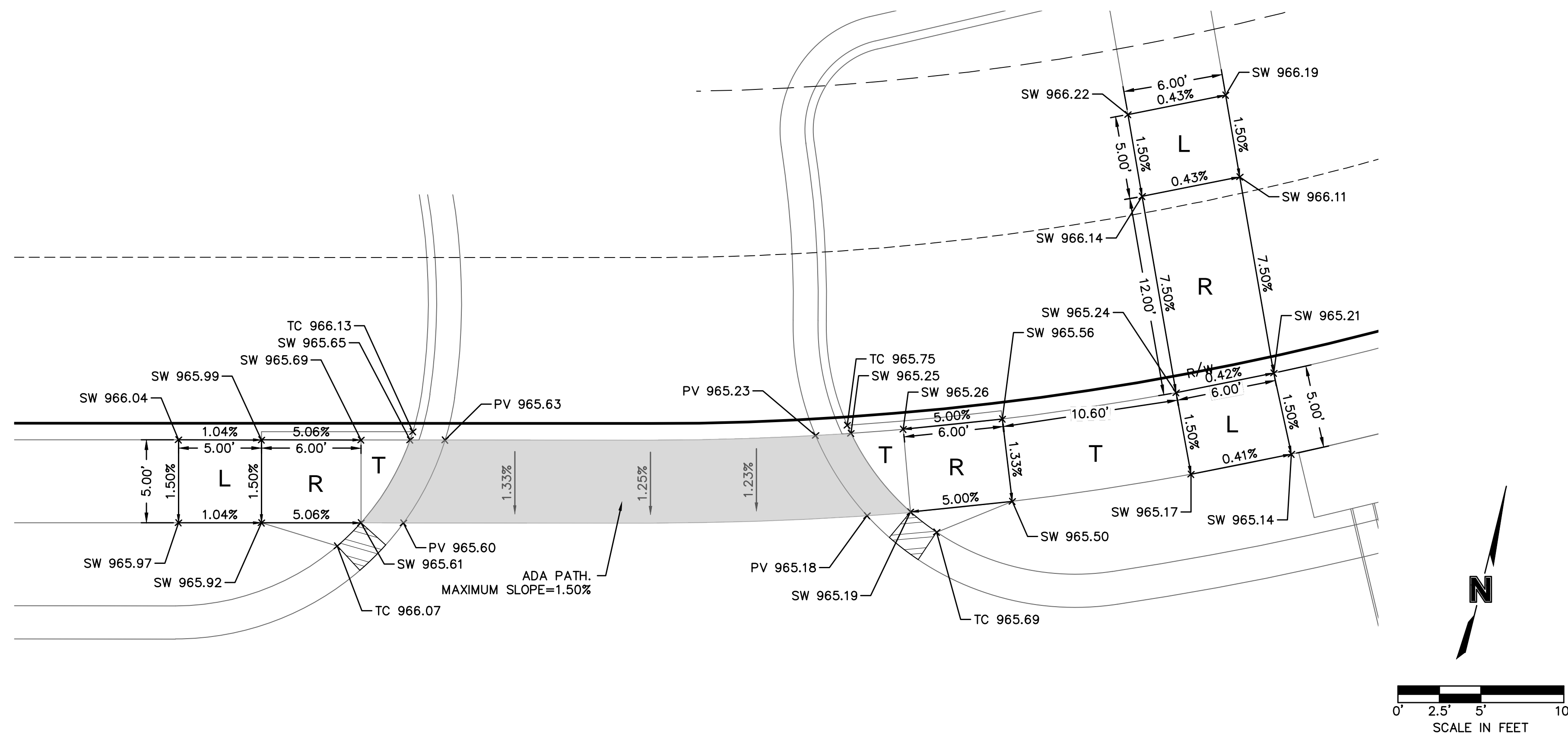
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JULIE SELLERS, P.E.
MO# 0047000007



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ADA LEGEND	
T	TRANSITION
DC	DEPRESSED CURB
L	LANDING
R	RAMP
	TRANSITION CURB LIMITS

LEGEND	
TC	TOP OF CURB
PV	TOP OF PAVEMENT
SW	SIDEWALK
FF	FINISHED FLOOR ELEVATION

- NOTES:
1. All ADA curb ramps shall be built per current municipality adopted ADA standards.
 2. Curb ramp flares shall not be steeper than 1:10 max slope.
 3. A turning space is required at all directional changes, which shall not have a slope greater than 2%.
 4. Ramp runs shall have a maximum running slope of 7.5%.

**APPROVED RECORD
DRAWING**

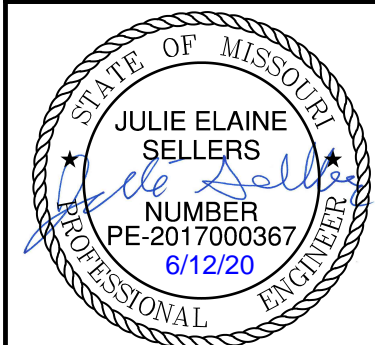
These plans have been reviewed for accuracy by the Development Services Staff

DWG: F:\2018\
DATE: Jun 12,

1. PAVEMENT MARKING SPACING ALONG CURB FOR PARKING STALLS SHALL BE EVENLY DIVIDED. ALL STALLS SHALL BE A MIN. WIDTH OF 9' AND AISLE 8' (SEE SHEET C12 FOR ADDITIONAL DETAILS)



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MO# 2017000367

[illegible]

REVISIONS

GEOMETRIC PLAN
FINAL DEVELOPMENT PLANS

WOODSIDE RIDGE POOL
NW O'BRIEN ROAD & NW PRYOR ROAD

2020

drawn by: _____ C.S.M

REMOVED RECORD

DRAWING
project no.: B18-1140

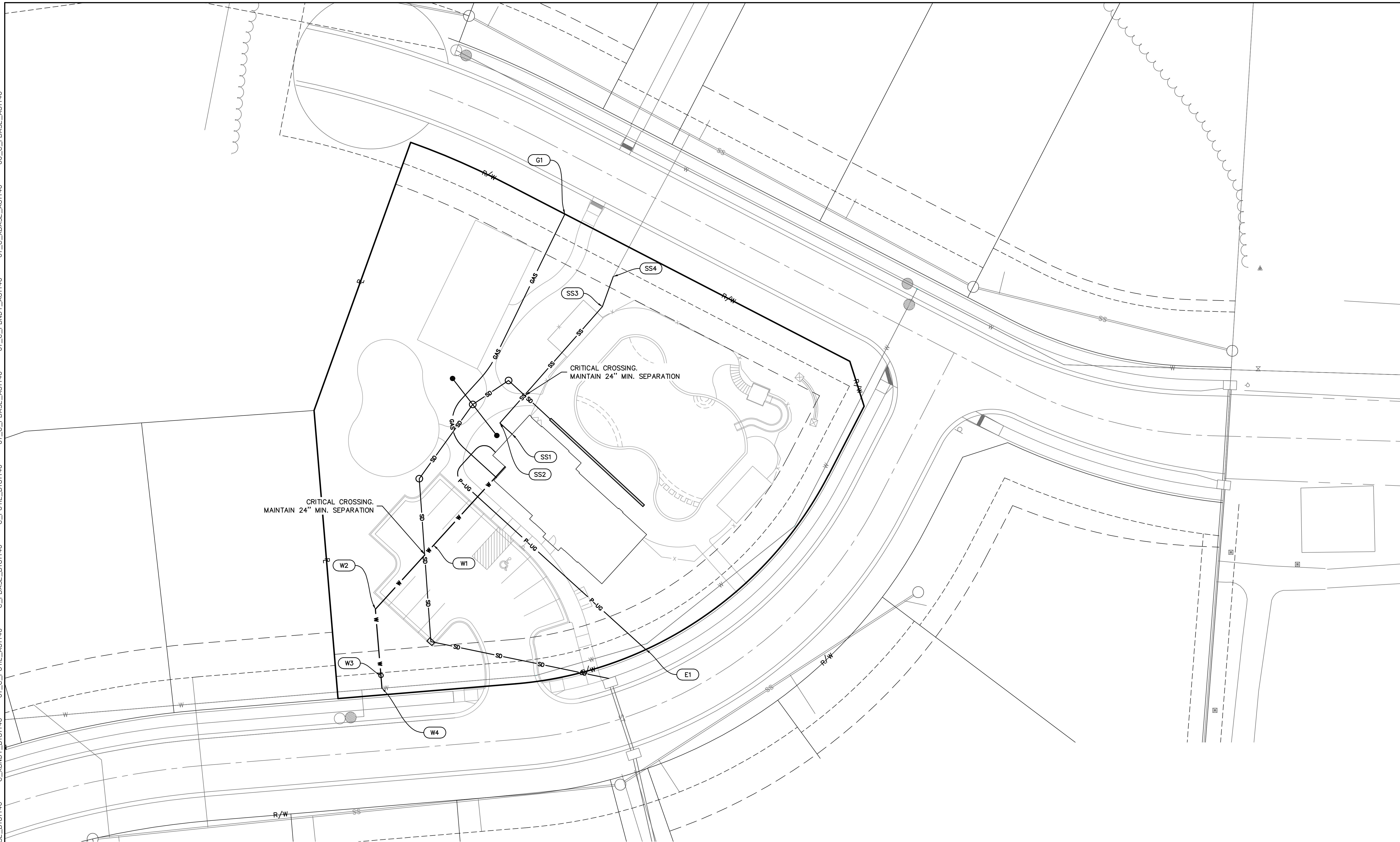
Date: 06/12/2020

cy by the Development

Services Staff

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 DATE: Jun 12, 2020 11:58am
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WATER

- W1 INSTALL 87 LF. OF 2" SERVICE LINE TYPE K COPPER FOR WATER SERVICE
 - W2 INSTALL 45' BEND THEN 36 LF. OF 2" SERVICE LINE TYPE K COPPER FOR WATER SERVICE
 - W3 INSTALL 2" WATER METER
N: 1002418.2451
E: 2812526.4432
 - W4 CONTRACTOR TO COORDINATE TAP OF EXISTING 8" WATER MAIN FOR PROPOSED 2" SERVICE LINE WITH CITY.

ELECTRIC

- E1 INSTALL 135 L.F. OF 4" CONDUIT FOR KCPL. (CONTRACTOR TO COORDINATE WITH KCPL FOR SERVICE AND LOCATION OF EXISTING LINES.)

GAS

- G1 INSTALL 152 L.F. OF 4" CONDUIT FOR GAS SERVICE TO BUILDING (CONTRACTOR TO COORDINATE W/GAS COMPANY FOR SERVICE LOCATION OF EXISTING MAIN)

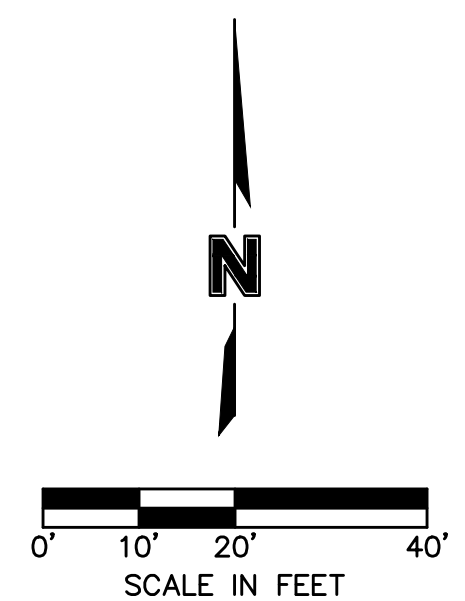
SANITARY SEWER

- SS1 INSTALL 7.4 L.F. OF 4" PVC (SDR-26)
CONNECT TO BUILDING STOP PER MEP PLANS.
INSTALL RISER AS REQUIRED.
- SS2 INSTALL 69.88 L.F. OF 4" PVC (SDR-26) AT 4.75%
FL-959.80 (90° BEND WITH CLEAN OUT) 1
- SS3 INSTALL 14.42 L.F. OF 4" PVC (SDR-26) AT 4.5%
FL-956.48 (22.5° BEND WITH CLEAN OUT) 1
- SS4 CONNECT TO EXISTING 6" LATERAL
@ END OF 6" LATERAL 955.80

1 STORM SEWER
REFER TO SHEET C09A FOR DETAILS

**APPROVED RECORD
DRAWING**

These plans have been reviewed for
accuracy by the Development
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UTILITY PLAN FINAL DEVELOPMENT PLANS

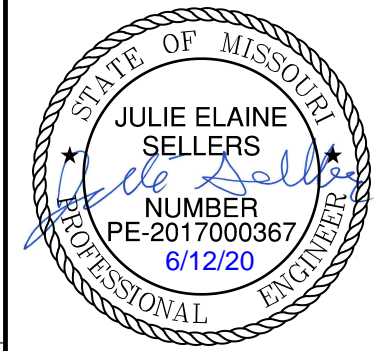
WOODSIDE RIDGE POOL
NW O'BRIEN ROAD & NW PRYOR ROAD

EE'S SUMMIT, MISSOURI

2020

NO. REV.	DATE	REVISIONS DESCRIPTION
1	06/12/2020	REVISED PER CITY COMMENTS

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MO# 2017000367



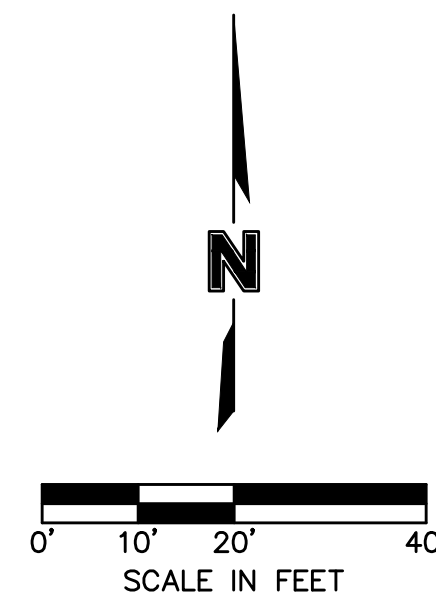
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SHEET
C09

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NOTES:




1. THE EROSION CONTROL PLAN INDICATES THE FINAL PLACEMENT OF EROSION CONTROL DEVICES. THE CONTRACTOR(S) MAY PROCEED WITH THE CONSTRUCTION PRIOR TO THE FINAL PLACEMENT OF THESE DEVICES BY PROVIDING ADDITIONAL DEVICES TO CONTROL EROSION ON THEIR ITEMS OF WORK. THESE DEVICES SHALL BE MAINTAINED UNTIL THE FINAL DEVICES ARE IN PLACE.
2. REFER TO LANDSCAPING PLAN FOR SEEDING + LANDSCAPING REQUIREMENTS.
3. SEE SHEET C13 FOR DETAILS.



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DISTURBED AREA = 0.93 AC.

LEGEND	
DEVICES	
	SILT FENCE
	STORM DRAIN INLET PROTECTION
	TEMPORARY STONE CONSTRUCTION ENTRANCE

EROSION CONTROL PLAN
FINAL DEVELOPMENT PLANS

WOODSIDE RIDGE POOL
NW O'BRIEN ROAD & NW PRYOR ROAD

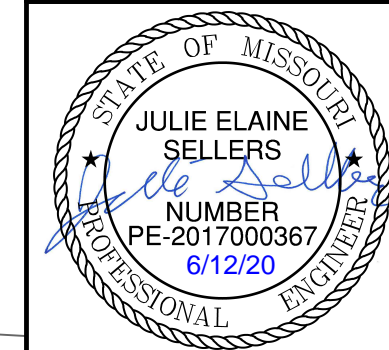
LEE'S SUMMIT, MISSOURI

2020

REVISED PER CITY COMMENTS	REVISIONS DESCRIPTION

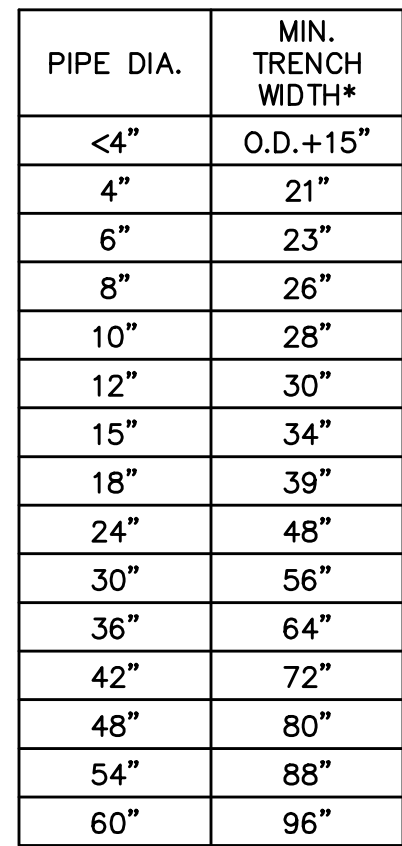
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MO# 2017000367

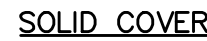


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1301 BURLINGTON, SUITE 100
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olson

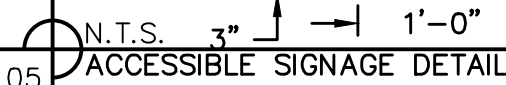
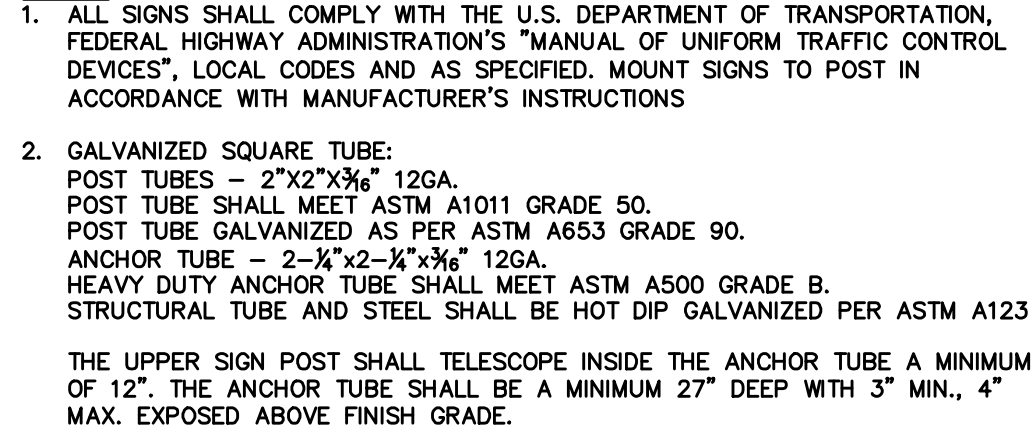


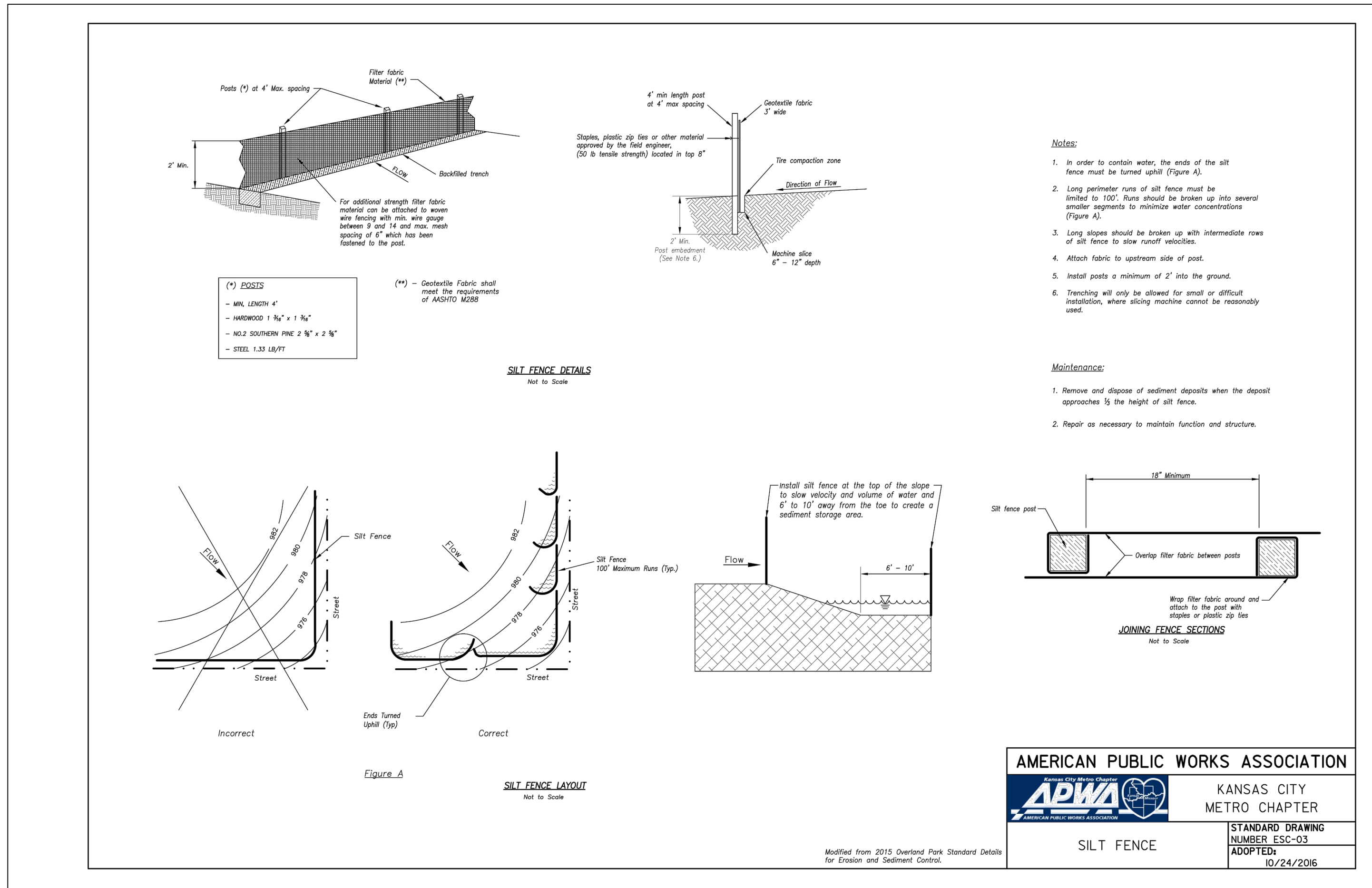
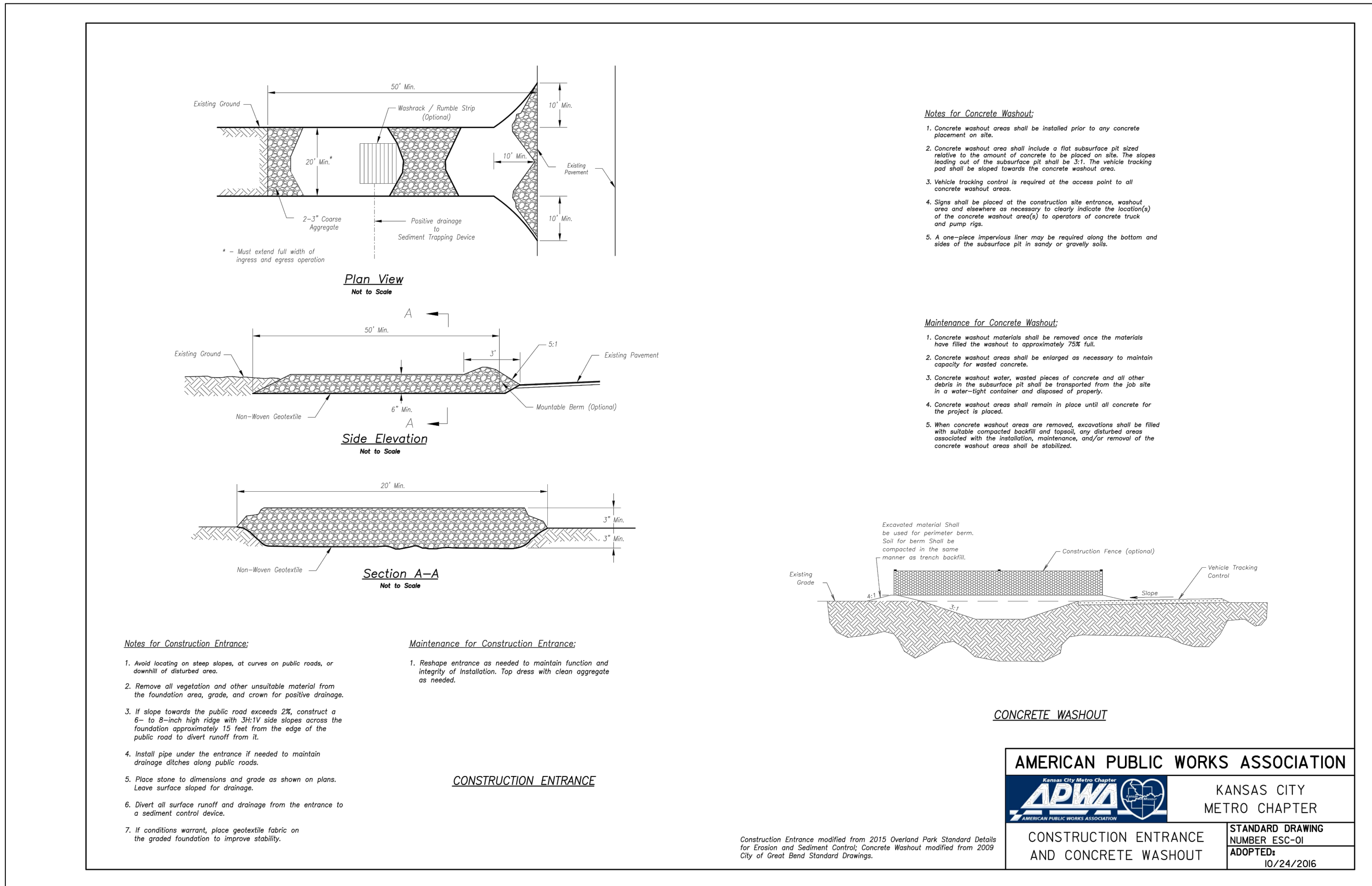
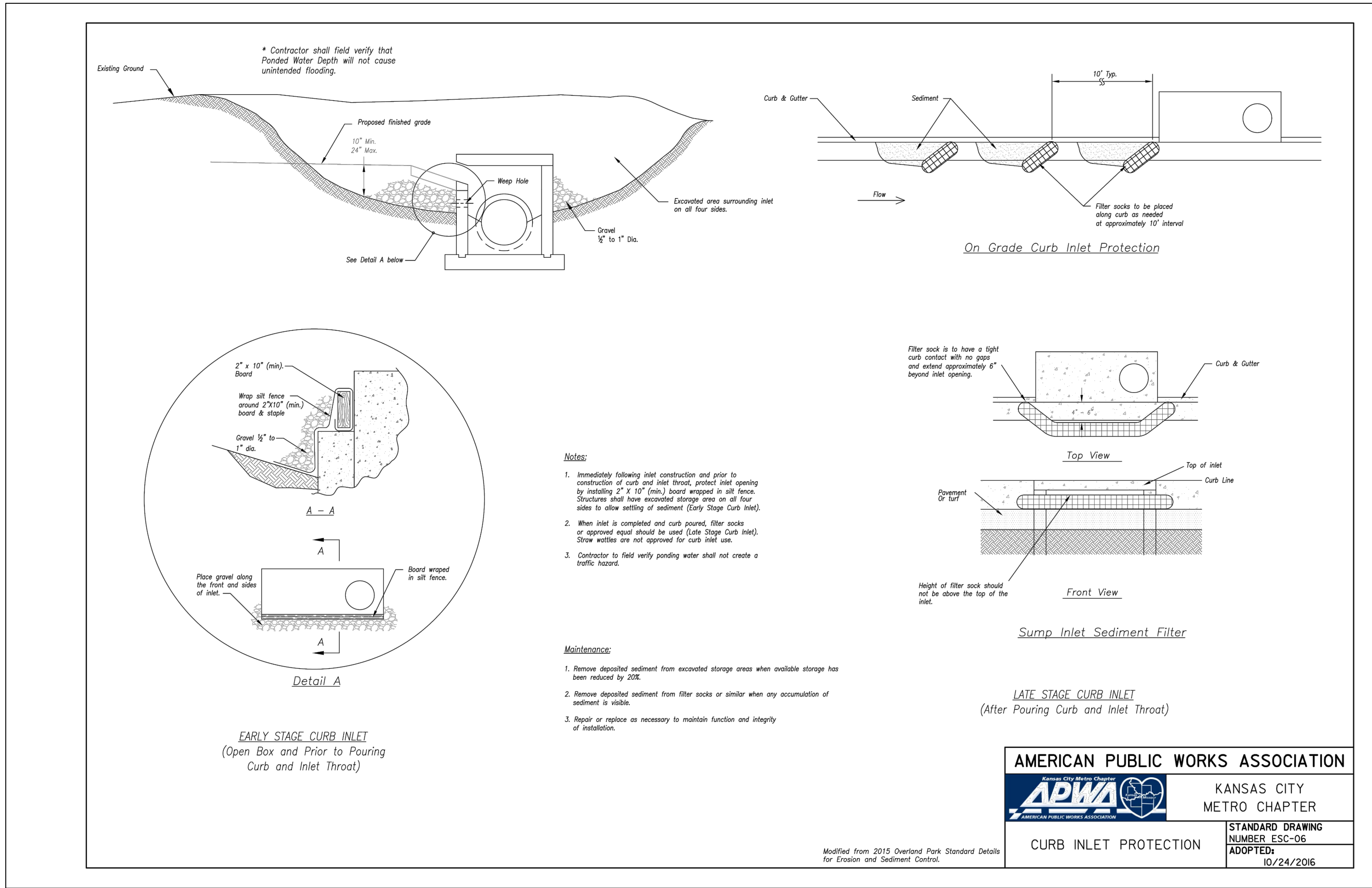
1. ALL HDPE AND PVC PIPE SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321, "STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS", LATEST EDITION.
2. IF TRENCH IS EXCAVATED IN ROCK OR HIGH-BEARING STRENGTH SOILS, TRENCH WIDTHS FOR 24" – 60" DIA. MAY BE DERIVED FROM VALUES IN TABLE 1, TO THE PIPE OD PLUS 12".
3. MEASURES SHOULD BE TAKEN TO PREVENT MIGRATION OF NATIVE FINES INTO BACKFILL MATERIAL, WHEN REQUIRED.
4. **FOUNDATION:** WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE GEOTECHNICAL ENGINEER AND REPLACE WITH SUITABLE MATERIAL AS SPECIFIED BY THE GEOTECHNICAL ENGINEER. AS AN ALTERNATIVE AND AT THE DISCRETION OF THE DESIGN ENGINEER, THE TRENCH BOTTOM MAY BE STABILIZED USING A GEOTEXTILE MATERIAL.
5. **BEDDING:** SUITABLE MATERIAL SHALL BE ASTM CLASS 1A OR 1B, MODOT TYPE 1, OR APPROVED OTHER, COMPACTED TO 95% STANDARD MAX. DENSITY. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER. UNLESS OTHERWISE NOTED BY THE ENGINEER, MINIMUM BEDDING THICKNESS SHALL BE 4" (100mm) FOR PIPE 24" DIA. DIAMETER AND LESS; 6" FOR 30"–60" DIA. DIAMETER PIPE.
6. **INITIAL BACKFILL:** SUITABLE MATERIAL SHALL BE ASTM CLASS 1A OR 1B, MODOT TYPE 1, OR APPROVED OTHER, COMPACTED TO 95% STANDARD MAX. DENSITY IN THE PIPE ZONE EXTENDING NOT LESS THAN 6" ABOVE CROWN OF PIPE. MATERIAL SHALL BE INSTALLED AS REQUIRED IN ASTM D2321, LATEST EDITION, INSTALL AND COMPACT IN 6" MAXIMUM LIFTS.
7. **FINAL BACKFILL:** EXCEPT WHERE SUPERSEDED BY CITY REQUIREMENTS FOR RIGHT-OF-WAY CONSTRUCTION, GEOTECHNICAL REQUIREMENTS FOR UTILITY TRENCH BACKFILL, AND OTHER CONSIDERATIONS, SUITABLE MATERIAL MAY BE SITE SOILS COMPACTED TO 95% STANDARD MAX. DENSITY TO WITHIN 12" OF THE PAVEMENT SUBGRADE, AND TO SUBGRADE ELEVATION FOR NON-PAVED AREAS.
8. **MINIMUM COVER:** MINIMUM COVER, H, IN NON-TRAFFIC RATED APPLICATIONS (GRASS OR LANDSCAPE AREAS) IS 12" FROM THE TOP OF PIPE TO GROUND SURFACE. ADDITIONAL COVER MAY BE REQUIRED PER CITY AND/OR UTILITY STANDARDS AND/OR TO PREVENT DAMAGE FOR THE APPLICATION. MINIMUM COVER SHALL BE 24" FOR 24" DIA. COVER PIPE AND 24" OF COVER FOR UP TO 60" DIA. PIPE, MEASURED FROM TOP OF PIPE TO BOTTOM OF FLEXIBLE OR TO TOP OF RIGID PAVEMENT.



1. BOTH DRAIN BASINS AND CURB INLETS USE STANDARD BASIN ASSEMBLY.
2. UNLESS OTHERWISE COORDINATED WITH ENGINEER, NO SUBSTITUTION FOR ADS NYLOPLAST STRUCTURES, INCLUDING ALL PARTS. ALL CONSTRUCTION SHALL BE PER MANUFACTURER'S STANDARDS AND RECOMMENDATIONS.

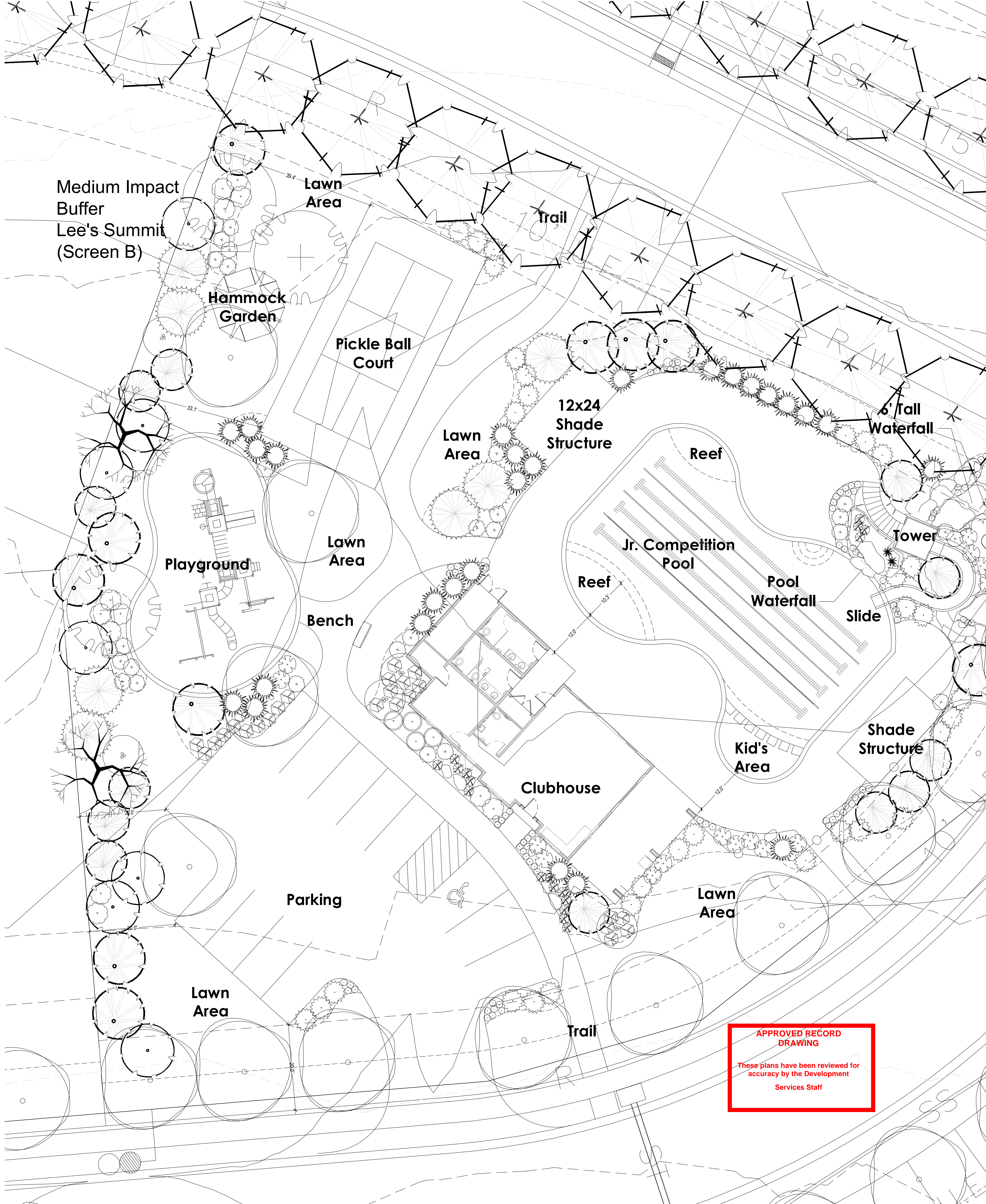
1. ALL SEWER STUBS SHALL BE CONSTRUCTED TO PROPERTY LINE OR 10' MINIMUM FROM THE MAIN. WHERE SIDEWALKS ARE PRESENT, CONTRACTOR SHALL EXTEND SERVICE LINE UNDER EXISTING SIDEWALK TO TWO FEET BEYOND.
2. ALL NEW CONSTRUCTION OF SEWER STUBS SHALL BE TEMPORARILY MARKED WITH A MARKING STAKE, 36" ABOVE GROUND AND PAINTED GREEN.
3. IMPERVIOUS TRENCH CHECKS SHALL BE PLACED ON BUILDING SEWER STUBS (AT LEAST 5' AWAY FROM THE SANITARY SEWER MAIN).
4. TRENCH CHECKS ON THE BUILDING SEWER STUBS SHALL EXTEND 6" BELOW THE BOTTOM OF THE PIPE. LENGTH SHALL BE A MINIMUM OF 12". THE HEIGHT OF THE TRENCH CHECK SHALL EXTEND 12" ABOVE THE TOP OF THE PIPE. THE WIDTH OF THE TRENCH CHECK SHALL BE THE WIDTH OF THE TRENCH.
5. SEE SPECIFICATION SECTION 210 FOR SEWER MAIN BEDDING AND BACKFILL.
6. #12 GAUGE GREEN INSULATED COPPER TRACER WIRE SHALL BE INSTALLED. TRACER WIRE TERMINAL BOXES SHALL BE INSTALLED DIRECTLY ABOVE THE SEWER SERVICE OR AS DETERMINED BY THE ENGINEER.
7. FOR SEWER TRACER WIRE SHALL RUN FROM THE WYE AND TERMINATE IN A FLUSH MOUNTED TRACER BOX WITH A GREEN CAST IRON LOCKABLE TOP. WIRE SHALL BE TAPED OR TIED TO THE PIPE AT 5' INTERVALS.
8. TRACER WIRE BOX SHALL BE INSTALLED WITHIN 1.0' OF PROPERTY LINE.
9. THE TRACER WIRE SHALL REMAIN CONTINUOUS TO THE GREATEST EXTENT POSSIBLE. SPLICES IN THE TRACER WIRE SHOULD BE MADE WITH SPLIT BOLT CONNECTORS. WIRE NUTS SHALL NOT BE USED. A WATER-PROOF CONNECTION IS NECESSARY TO PREVENT CORROSION.





**APPROVED RECORD
DRAWING**

These plans have been reviewed for
accuracy by the Development
Services Staff



- TREE PLANTING NOTES:**
- 1) DO NOT HEAVILY PRUNE THE TREE. PRUNE ONLY CROSSOVER LIMBS CO-DOMINANT LEADERS, & BROKEN OR DEAD BRANCHES. SOME INTERIOR TWIGS & LATERAL BRANCHES MAY BE PRUNED. DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN
 - 2) MARK THE NORTH SIDE OF THE TREE IN THE NURSERY, AND ROTATE TREE TO FACE NORTH AT THE SITE WHENEVER POSSIBLE
 - 3) SET TOP OF ROOT BALL 1-2 INCHES HIGHER THAN SURROUNDING GRADE
 - 4) APPLY 4"THK WOOD MULCH. DO NOT PLACE MULCH IN DIRECT CONTACT W/ TREE TRUNK
 - 5) EACH TREE MUST BE PLANTED SUCH THE TRUNK FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. TREES WHERE THE FLARE IS NOT VISIBLE SHALL BE REJECTED. DO NOT COVER THE TOP OF THE ROOT BALL W/ SOIL
 - 6) REMOVE ALL TWINE, ROPE, WIRE AND BURLAP FROM THE UPPER 1/3 OF ROOT BALL (REMOVE WIRE BASKETS)
 - 7) PLACE ALL ROOT BALLS ON UN-EXCAVATED OR TAMPED SOIL, TYP

- STAKING REQUIREMENTS:**
- 1) WIRE / CABLE SHALL BE GALV, 12-GAUGE
 - 2) TIGHTEN WIRE / CABLE ONLY ENOUGH TO KEEP FROM SLIPPING. ALLOW FOR SOME TRUNK MOVEMENT. PLASTIC HOSE SHALL BE LONG ENOUGH TO ACCOMMODATE 15" OF GROWTH
 - 3) STAKES SHALL BE 2"x 2" HARDWOOD OR EQUAL

- PERENNIAL PLANTING NOTES:**
- 1) APPLY 2"THK BED OF MULCH ON PERENNIAL PLANT BED. DO NOT COVER PLANTS
 - 2) THOROUGHLY MIX PEAT IN TOP 3-4" OF SOIL
 - 3) BREAK UP EXISTING SOIL TO A DEPTH OF 24"
 - 4) PROVIDE NEW TOPSOIL TO A DEPTH OF 12"

- SHRUB PLANTING NOTES:**
- 1) SET SHRUB AT SAME DEPTH AT WHICH IT GREW IN THE FIELD OR CONTAINER
 - 2) PRUNE, THIN & SHAPE SHRUBS IN ACCORDANCE W/ STANDARD HORTICULTURAL PRACTICE

- INITIAL WATERING:**
- 1) WHEN BACKFILL IS 2/3 COMPLETE, WATER THOROUGHLY UNTIL NO MORE IS ABSORBED

- DO NOT PRUNE LEADER**
- PRUNE DAMAGED OR DEAD WOOD IMMEDIATELY PRIOR TO PLANTING. NEVER LEAVE LEAVE "Y" CROTCHES OR DOUBLE LEADER.**
- TREE TIE SYSTEM. SEE STAKING REQUIREMENTS**
- 3 METAL STAKES. PLACE NEXT TO ROOT BALL AS SHOWN. SPACE EQUIDISTANT AROUND TREE.**
- 4" MIN. SPECIFIED MULCH**
- PLANT ROOT BALL 2" HIGHER THAN GRADE AT WHICH TREE GREW.**
- INSTALL WEED CONTROL FABRIC IF TREE IS IN LANDSCAPE BED**
- CONTINUOUS SAUCER, RIM FOR WATER & MULCH CUT & REMOVE BURLAP FROM TOP 1/3 OF BALL. SPECIFIED BACKFILL MIXTURE**
- EXISTING UNDISTURBED SUBSOIL**

4 PLANTING INSTALLATION DETAILS

SCALE: NTS

Inches Between Plants	Plant Quantities Per Square Foot
10"	Square Feet x 1.50
12"	Square Feet x 1.00
18"	Square Feet x .44
30"	Square Feet x .16
36"	Square Feet x .11

- NOTES:**
1. SPACING FOR GROUNDCOVERS, SHRUBS, AND PERENNIALS NOTED ON PLANS
 2. TILL SOIL IN BED TO A 12" MINIMUM DEPTH AND THOROUGHLY MIX IN SOIL AMENITIES AS NOTED ON PLANS

2 GROUNDCOVER/SHRUB DETAIL

SCALE: NTS

Planting Notes

1. Location of all existing utilities needs to be done before commencing work.
2. The planting plan graphically illustrates overall plant massings. Each plant species massing shall be placed in the field to utilize the greatest coverage of ground plane. The following applies for individual plantings:
 - a. Creeping groundcover shall be a minimum of 6" from paving edge.
 - b. All trees shall be a minimum of 3' from paving edge.
 - c. All plants of the same species shall be equally spaced apart and placed for best aesthetic viewing.
 - d. All shrubs shall be a minimum of 2' from paved edge.
3. Mulch all planting bed areas to a minimum depth of 3". Mulch individual trees to a minimum depth of 4".
4. Note: If plants are not labeled - they are existing and shall remain.
5. All landscaped areas in ROW shall be sodded and irrigated unless otherwise specified.

Materials:

1. Plant material shall be healthy, vigorous, and free of disease and insects as per AAN standards.
2. Shredded bark mulch installed at trees shall be finely chipped and shredded hardwood chips, consisting of pure wood products and free of all other foreign substances. Pine bark compost mulch installed at planting bed areas shall be free of all other foreign substances.

Installation:

1. All planting beds shall be amended with 1 cubic yard of peat moss per 1,000 square feet. Till peat moss into soil to a 6" depth. A 10-10-10 fertilizer shall be spread over all planting areas prior to planting, at a rate of 50 pounds per 2,000 square feet.
2. After plants have been installed, all planting beds shall be treated with Dacthal pre-emergent herbicide prior to mulch application.
3. Plant pit backfill for trees and shrubs shall be 50% peat or well composted manure and 50% topsoil.
4. Plant material shall be maintained and guaranteed for a period of one year after Owner's acceptance of finished job. All dead or damaged plant material shall be replaced at Landscape Contractor's expense.
5. Landscape contractor shall maintain all plant material until final acceptance, at which point the one year guarantee begins.

Landscape Calculations/Requirements

Street Frontage: (For all Districts) One (1) tree shall be planted for each thirty (30) feet of street frontage, within 20' setback. (Totals shown below combine both sides of the road, minus intersecting streets/driveways)

NW Ambersham Dr. = 265 LF.	9 Trees required.	9 Trees provided.
NW O'Brien Rd. = 256 LF.	9 Trees required.	9 Trees provided.

(For all Districts) One (1) shrub shall be planted for each twenty (20) feet of street frontage, within the landscaped setback abutting such frontage. (Totals shown below combine both sides of the road, minus intersecting streets/driveways)

NW Ambersham Dr. = 265 LF.	13 Shrubs required.	13 Shrubs provided.
NW O'Brien Rd. = 256 LF.	13 Shrubs required.	13 Shrubs provided.

REQUIREMENTS MET

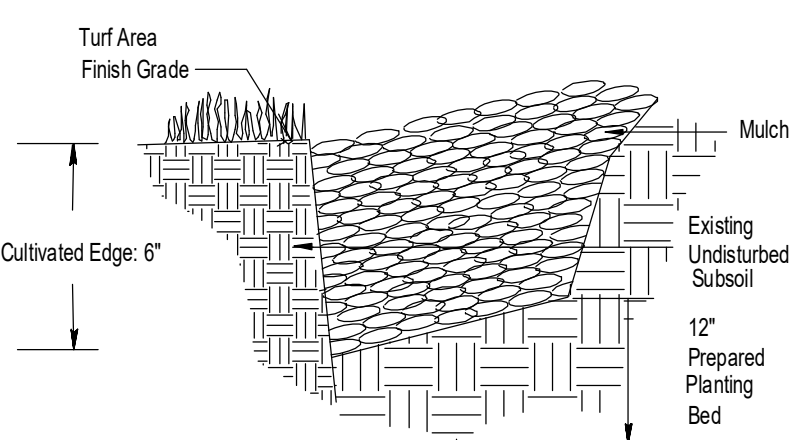
Amenity Parking: (For all Districts) One parking stall per every 16 units.
160 total units. - 10 Stalls required. 10 stalls provided.
REQUIREMENTS MET

Open Yard Tree Requirement: In addition to the trees required based upon street frontage, additional trees shall be required at a ratio of 1 tree for every 5,000 square feet of total landscaped open space. 4 trees required. 4 Trees Provided.
Requirement Met.

Buffer Landscape: Medium Density Buffer (type B) provided on all West sides of amenity area.
REQUIREMENT MET

Landscape Schedule

Symbol	Qty.	Botanical Name	Common Name	Min. Root	Min. Size	Caliper	Remarks
OVERSTORY TREES							
	2	Ulmus parvifolia	Lancebark Elm		3"		6' min. clear., ground to canopy
	9	Gleditsia triacanthos 'Skyline'	Shademaster Honeylocust		3"		6' min. clear., ground to canopy
	3	Platanus x acerifolia	London Plane Tree		3"		6' min. clear., ground to canopy
	13	Acer x truncatum 'Warrenred'	Pacific Sunset Maple		3"		6' min. clear., ground to canopy
EVERGREEN TREES							
	12	Juniperus chinensis 'Veddelee'	Keteleeri Juniper		6" HL		symmetrical pyramidal form
	7	Picea pungens	Colorado Blue Spruce		6" HL		symmetrical pyramidal form
	10	Picea abies	Norway Spruce		6" HL		symmetrical pyramidal form
ORNAMENTAL TREES							
	7	Cercis canadensis	Eastern Redbud		1.5"		
	5	Populus tremuloides 'Quaking'	Quaking Aspen		1.5"		
DECIDUOUS SHRUBS/GRASSES							
	4	Weigela florida 'Brannae'	Fine Wine Weigela		3 gal.		Plant @ 3' O.C.
	15	Hydrangea paniculata 'Quick Fire'	Little Quick Fire Hydrangea		3 gal.		Plant @ 4' O.C.
	22	Syringa X 'Penda'	Blooming Purple Lilac		5 gal.		Plant @ 5' O.C.
EVERGREEN SHRUBS							
	33	Juniperus chinensis 'Sea Green'	Sea Green Juniper		3 gal.		Plant @ 4' O.C.
	28	Juniperus chinensis 'Gold Coast'	Gold Coast Juniper		3 gal.		Plant @ 4' O.C.
	28	Juniperus chinensis 'Spartan'	Spartan Juniper		5" HL		Symmetrical pyramidal form
GROUNDCOVERS AND GRASSES							
	11	Juniperus horizontalis 'Wiltoni'	Blue Rug Juniper		1 gal.		Plant @ 24" O.C.
	18	Phlox subulata 'Alopecurus'	Creeping Phlox		1 gal.		Plant @ 15" O.C.
	25	Pennisetum alopecuroides 'Hamen'	Dwarf Fountain Grass		1 qt.		Plant @ 18" O.C.
	157	Liriope muscari 'Variegated'	Variegated Liriope		1 gal.		Plant @ 18" O.C.
EXISTING TREES/SHRUBS TO BE PRESERVED							



3 CULTIVATED EDGE DETAIL

SCALE: NTS



1 AMENITY AREA LANDSCAPE PLAN

SCALE: 1"=10'-0"

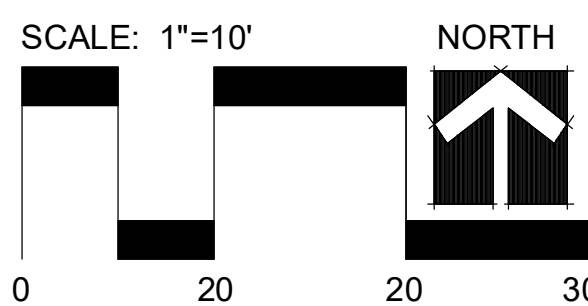


CLIENT

Summit Homes
120 SE 30th St.
Lee's Summit, MO 64082

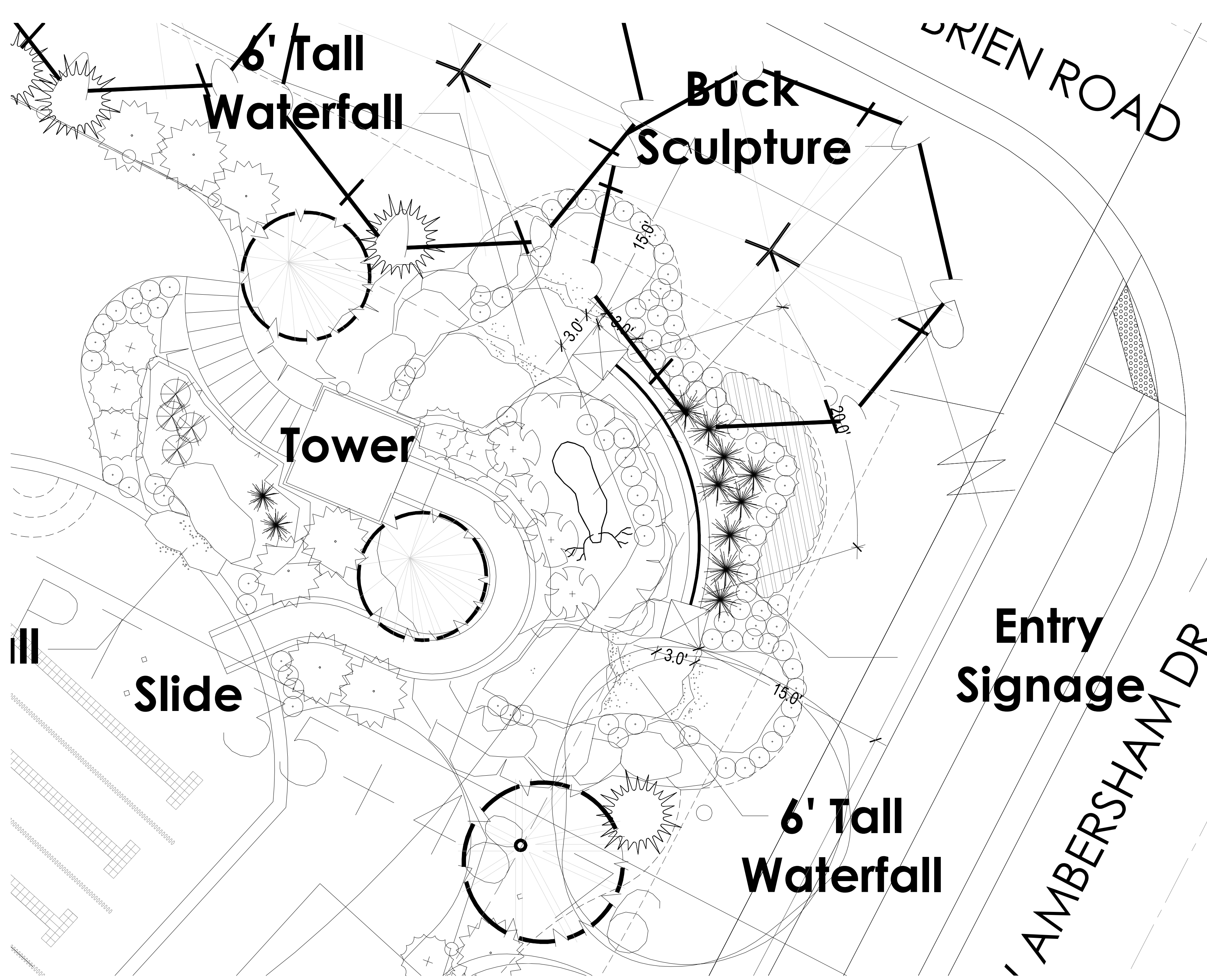
PROJECT

Woodside Ridge
Community
NW Pryor Road and NW
O'Brien Road
Lee's Summit MO



Date: 6.12.2020
Project #: 485
Landscape Plan

L1

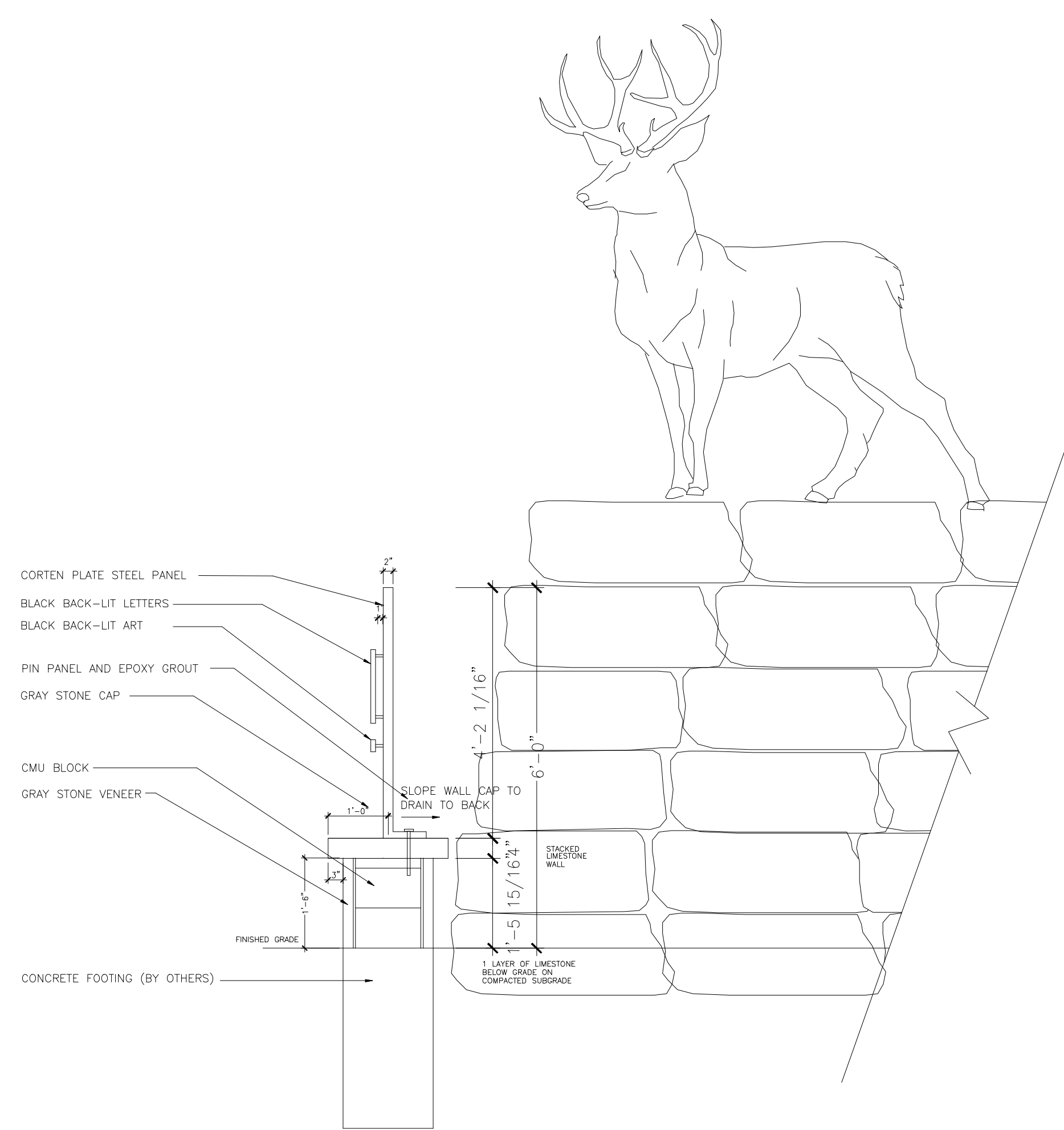


1 AMENITY AREA WATERFALL/SIGNAGE ENLARGEMENT PLAN
SCALE: 1"=5'-0"

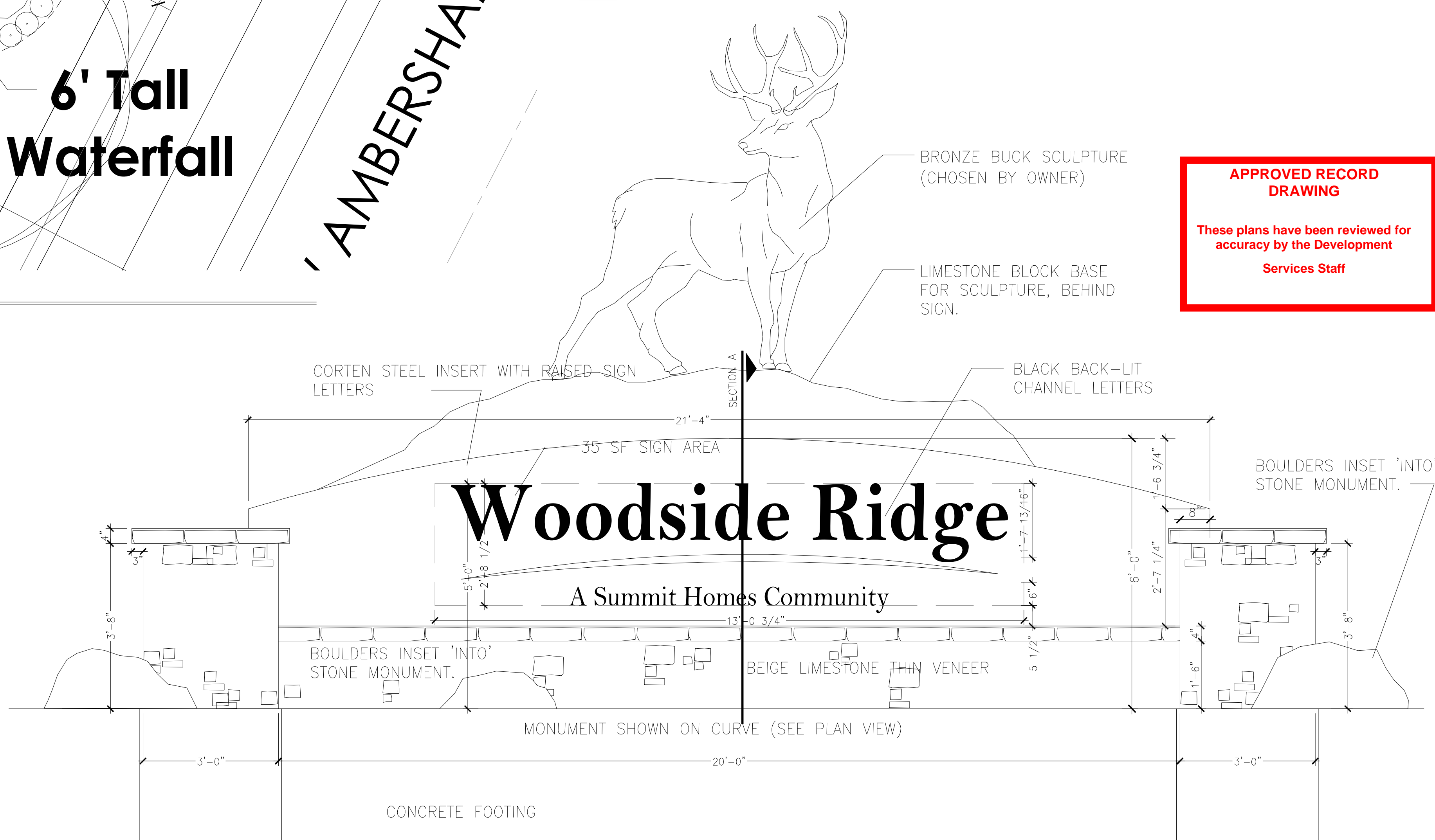
Landscape Schedule

Symbol	Qty.	Botanical Name	Common Name	Min.Root	Min.Size	Caliper	Remarks
OVERSTORY TREES							
	2	Ulmus parvifolia	Lacebark Elm		3"	6"	min. clear., ground to canopy
	9	Gleditsia triacanthos "Skyline"	Shademaster Honeylocust		3"	6"	min. clear., ground to canopy
	3	Platanus x acerifolia	London Plane Tree		3"	6"	min. clear., ground to canopy
	13	Acer x truncatum "Warrenred"	Pacific Sunset Maple		3"	6"	min. clear., ground to canopy
EVERGREEN TREES							
	12	Juniperus chinensis "Keteleeri"	Keteleeri Juniper		6" ht.		symmetrical pyramidal form
	7	Picea pungens	Colorado Blue Spruce		6" ht.		symmetrical pyramidal form
	10	Picea abies	Norway Spruce		6" ht.		symmetrical pyramidal form
ORNAMENTAL TREES							
	7	Cercis canadensis	Eastern Redbud			1.5"	
	5	Populus tremuloides "Quaking"	Quaking Aspen			1.5"	
DECIDUOUS SHRUBS/GRASSES							
	4	Weigela florida "Bramwell"	Fine Wine Weigela	3 gal.			Plant @ 3' O.C.
	15	Hydrangea paniculata "Quick Fire"	Little Quick Fire Hydrangea	3 gal.			Plant @ 4' O.C.
	22	Syringa x "Penda"	Blooming Purple Lilac	5 gal.			Plant @ 5' O.C.
EVERGREEN SHRUBS							
	33	Juniperus chinensis "Sea Green"	Sea Green Juniper	3 gal.			Plant @ 4' O.C.
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GROUNDCOVERS AND GRASSES							
	11	Juniperus horizontalis "Wiltonii"	Blue Rug Juniper	1 gal.			Plant @ 24" O.C.
	18	Phlox subulata "Atropurpa"	Creeping Phlox	1 gal.			Plant @ 15" O.C.
	25	Pennisetum alopecuroides "Hornet"	Dwarf Fountain Grass	1 qt.			Plant @ 18" O.C.
	157	Liriope muscari "Variegated"	Variegated Liriope	1 gal.			Plant @ 18" O.C.
EXISTING TREES TO BE REMOVED				EXISTING TREES/SHRUBS TO BE PRESERVED			

3 AMENITY AREA ENTRY MONUMENT ELEVATION VIEW
SCALE: nts



2 AMENITY AREA ENTRY MONUMENT SECTION VIEW
SCALE: nts

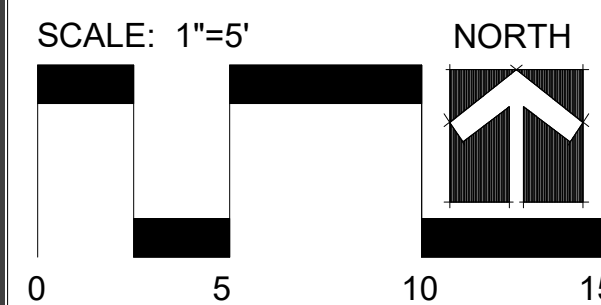


CLIENT
Summit Homes
120 SE 30th St.
Lee's Summit, MO 64082

PROJECT
Woodside Ridge
Community
NW Pryor Road and NW
O'Brien Road
Lee's Summit MO

APPROVED RECORD
DRAWING

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accuracy by the Development
Services Staff



Date: 6.12.2020
Project #: 485
Landscape Plan



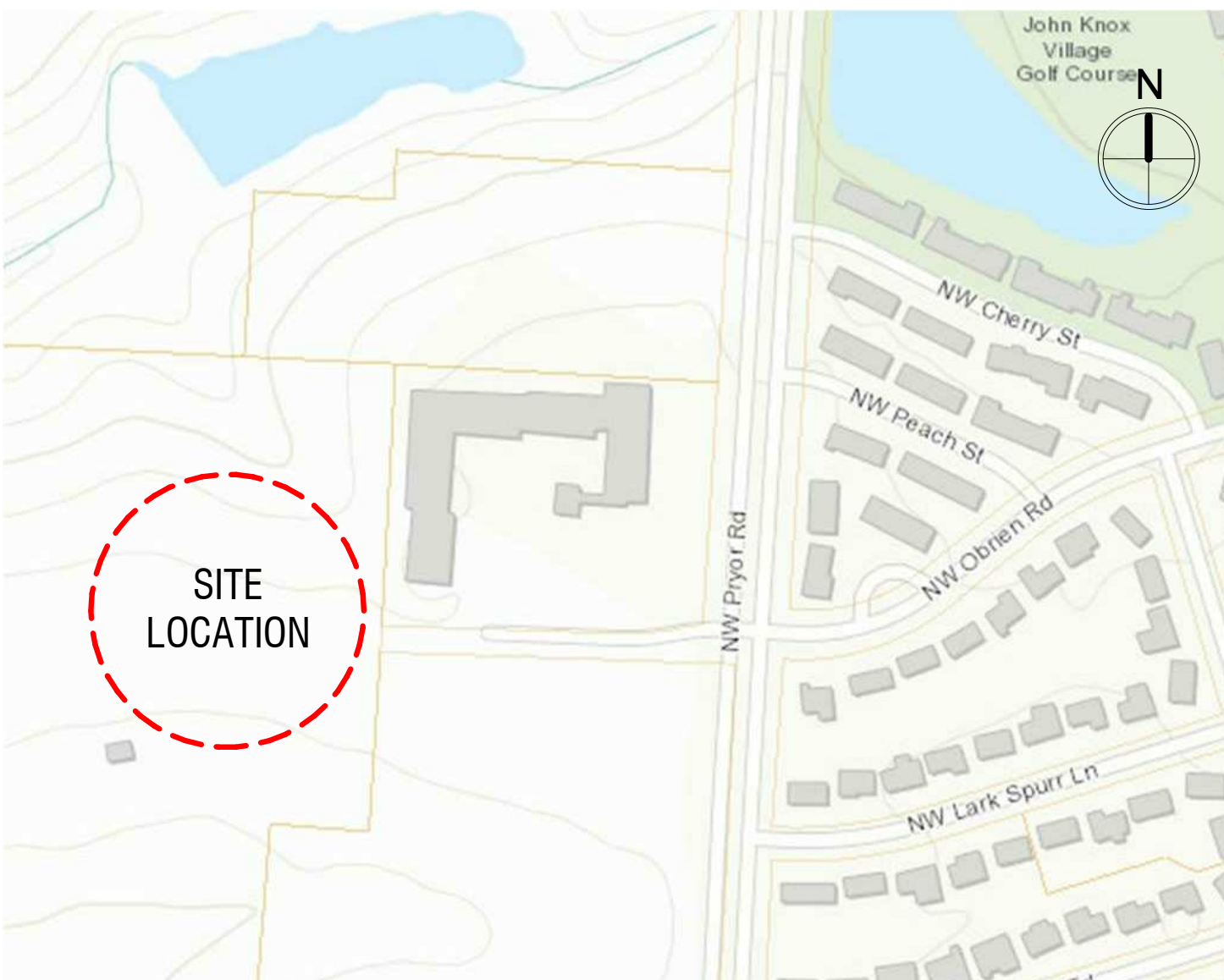
WOODSIDE RIDGE CLUBHOUSE

2030 NW OBRIEN ROAD
LEE'S SUMMIT, MISSOURI

FINAL DEVELOPMENT PLAN: FEBRUARY 21, 2020
REVISION # 1 - CITY COMMENTS: MARCH 12, 2020



AERIAL VIEW



SITE MAP



ARCHITECT
B+A ARCHITECTURE
100 W 31ST STREET, SUITE 100
KANSAS CITY, MO 64108
PH: 816-753-6100

CIVIL ENGINEER
OLSSON
1301 BURLINGTON STREET, SUITE 100
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PH: 816-361-1177

LANDSCAPE ARCHITECT
JASON MEIER
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OVERLAND PARK, KS 66223
PH: 913-787-2817

DEVELOPER
SUMMIT HOMES
120 SE 30TH STREET
LEE'S SUMMIT, MO 64082
PH: 816-246-6700

INDEX	
A100	FLOOR PLAN
A101	ROOF PLAN
A200	ELEVATIONS
A201	ELEVATIONS
A202	ELEVATIONS
EL-1	EXTERIOR LIGHTING PLAN

APPROVED RECORD
DRAWING

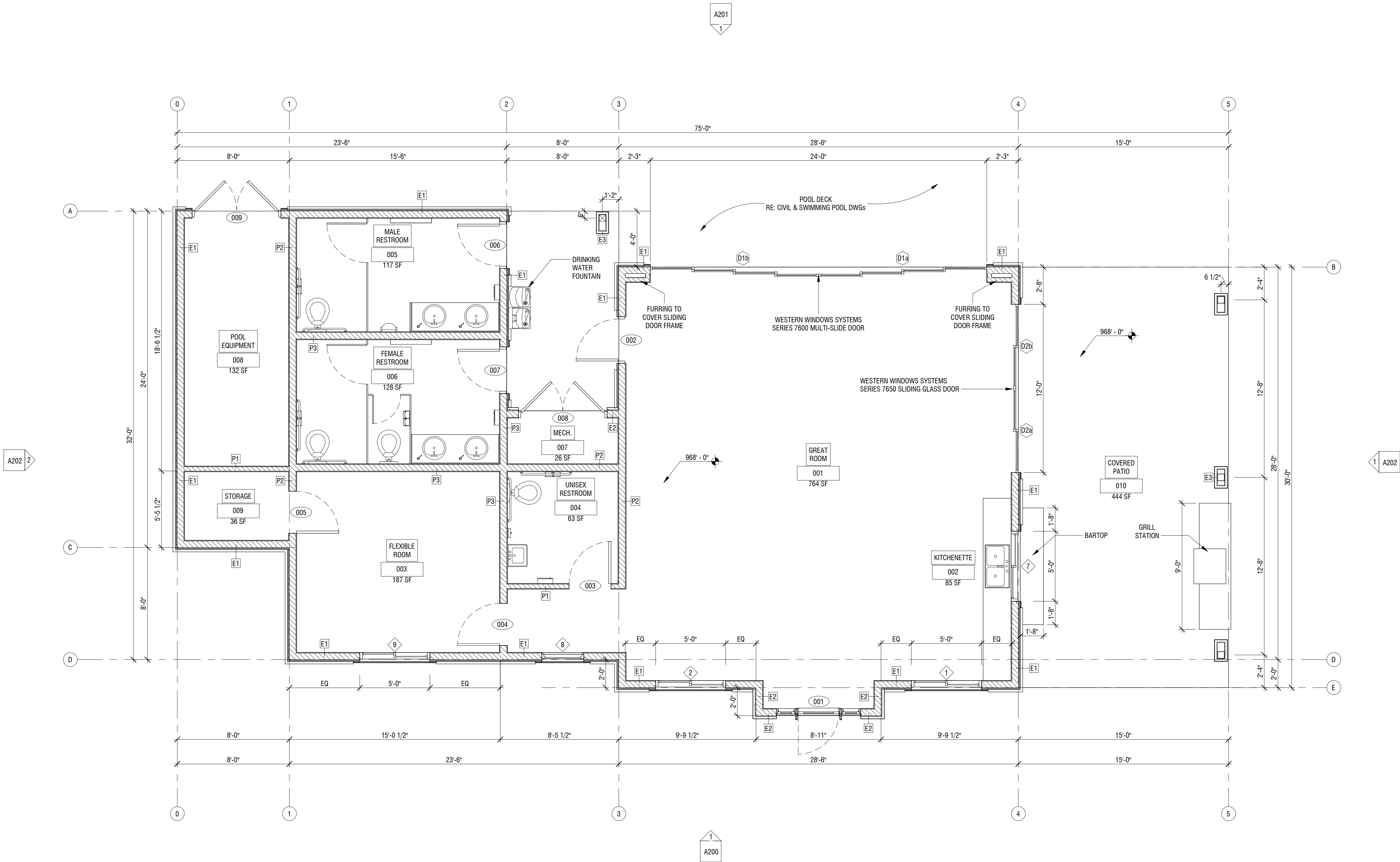
These plans have been reviewed for
accuracy by the Development
Services Staff

GENERAL NOTES

1. ALL PLAN DIMENSIONS GIVEN ARE TO FACE OF STUD OR MASONRY, U.N.O.
2. REFER TO STRUCTURAL DRAWINGS FOR FRAMING INFORMATION
3. ALL DOOR OPENINGS TO BE LOCATED 4" FROM NEAREST WALL CORNER, U.N.O.
4. SEE FINISH SCHEDULE ON SHEET A800 FOR MATERIAL INFORMATION
5. SEE DOOR/WINDOW SCHEDULE ON SHEET A800
6. SEE SHEET A400 FOR ENLARGED FLOOR PLANS

WALL TYPES

- | | | | |
|----|---|----|--|
| E1 | EXTERIOR WALL, 2X6 WOOD STUD, CEDAR SIDING FINISHING, INSULATED
RE: DETAIL 1 / A002 | P1 | TYPICAL INTERIOR WALL, 2X4 WOOD STUD, GYP. BOARD FINISHING
RE: DETAIL 5 / A002 |
| E2 | EXTERIOR WALL, 2X6 WOOD STUD, STONE VENEER FINISHING, INSULATED
RE: DETAIL 2 / A002 | P2 | TYPICAL INTERIOR WALL, 2X6 WOOD STUD, GYP. BOARD FINISHING
RE: DETAIL 6 / A002 |
| E3 | EXTERIOR COLUMN WRAP, HSS COLUMN, CEDAR FINISHING / STONE VENEER BASE
RE: DETAILS 3 & 4 / A002 | P3 | TYPICAL INTERIOR WALL, 2X6 WOOD STUD, GYP. BOARD FINISHING - PLUMBING
RE: DETAIL 7 / A002 |



1 FLOOR PLAN
1/4" = 1'-0"

- | | | | |
|--------------------------|------|-----|-------------------------------|
| SECTION: | | | |
| SECTION IDENTIFICATION | 1 | 101 | DOOR DESIGNATION |
| SHEET DESIGNATION | A101 | 11 | WALL TYPE DESIGNATION |
| DETAIL: | | | |
| DETAIL IDENTIFICATION | 1 | 11 | WINDOW/STOREFRONT DESIGNATION |
| SHEET DESIGNATION | A101 | | |
| ELEVATION: | | | |
| ELEVATION IDENTIFICATION | 1 | | SPOT ELEVATION |
| SHEET DESIGNATION | A101 | | ELEVATION |

APPROVED RECORD
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B+A ARCHITECTURE
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CIVIL ENGINEER
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WOODSIDE RIDGE CLUBHOUSE
2030 NW OBRIEN ROAD
LEE'S SUMMIT, MO 64081

SEAL

DATE ISSUED: FEBRUARY 12, 2020		
NO.	REVISION	DATE

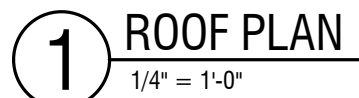
DESIGNED BY: FCR
DRAWN BY: FCR
CHECKED BY: TT/DMB

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SCALES AS STATED HEREON ARE VALID ON THE ORIGINAL DRAWING. ONLY A CONTRACTOR SHALL CAREFULLY REVIEW ALL DIMENSIONS AND CONDITIONS SHOWN HEREON AND AT ONCE REPORT TO THE ARCHITECT ANY ERROR OR INCONSISTENCY OR OMISSION DISCOVERED.

FLOOR PLAN
A100

1. REFER TO STRUCTURAL DRAWINGS FOR FRAMING INFORMATION
2. INSTALL ALL ROOF PENETRATIONS AND EQUIPMENT (IE, VENT PIPES, ROOF VENTILATORS) ON THE REAR SIDE OF THE ROOF, TO THE GREATEST EXTENT POSSIBLE
3. REFER TO PLUMBING DRAWINGS FOR ROOF DRAINS AND OVERFLOW DRAINS



These plans have been reviewed for accuracy by the Development Services Staff



ROOF PLAN
A101

GENERAL NOTES

1. EXTERIOR COLORS ARE INDICATED BY MATERIAL MANUFACTURERS
2. ALL EXTERIOR MATERIAL, TRANSITION, SILLS AND HEADERS WHICH ARE NOT CALLED OUT, MATCH TO WALL, TRIM COLOR.
3. SPLIT SYSTEM W/ GROUND MOUNTED CONDENSORS TO BE SCREENED FROM VIEWS BY LANDSCAPING
4. INSTALL ALL ROOF PENETRATIONS AND EQUIPMENT (IE; VENT PIPES; ROOF VENTILATORS) ON THE REAR SIDE OF THE ROOF, TO THE GREATEST EXTENT POSSIBLE



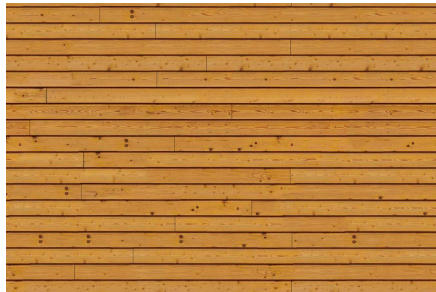
STANDING SEAM
METAL ROOF



PT-1: SW7048



STONE VENEER



CEDAR SIDING

EXTERIOR FINISHING SCHEDULE

NO.	MATERIAL/ITEMS	DESCRIPTION	COLOR/FINISH
1	STANDING SEAM METAL ROOF	BERRIDGE TEE-PANEL OR EQUAL	COLOR: AGED BRONZE
2	STONE VENEER	SEMCO OUTDOOR OR EQUAL	WEATHERED FIELDSOTNE WEBWALL
3	CEDAR SIDING	TONGUE AND GROOVE, WESTERN RED CEDAR	TRANSPARENT STAIN NATURAL TONE
4	WALL/WINDOW TRIM	TRIM BOARD, WESTERN RED CEDAR	TRANSPARENT STAIN NATURAL TONE
5	FASCIA	JAMES HARDIE-HARDIETRIM BOARD	PT-1: URBANE BRONZE SW7048
6	SOFFIT	JAMES HARDIE-HARDIESOFFIT BOARD	VENTED SMOOTH - MATCH TO FASCIA COLOR
7	GUTTER	24 GA. STEEL	MATCH TO WINDOW FRAME COLOR
8	WINDOWS	ANDERSEN OR EQUAL/ ALUM. CLAD WOOD	METAL - MATTE, DARK BRONZE COLOR
9	EXTERIOR DOORS	METAL PANEL, PAINTED	MATCH TO WINDOW FRAME COLOR



1 SOUTH-WEST ELEVATION
1/4" = 1'-0"



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15245 METCALF AVE.
OVERLAND PARK, KS 66223
PH: 913-787-2817

WOODSIDE RIDGE CLUBHOUSE
2030 NW OBRIEN ROAD
LEE'S SUMMIT, MO 64081

SEAL

NO.	REVISION	DATE
1	City Comments	03/12/2020

DESIGNED BY: FCR
DRAWN BY: FCR
CHECKED BY: TT/DMB

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ELEVATIONS
A200

APPROVED RECORD
DRAWING

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Services Staff

GENERAL NOTES

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2. ALL EXTERIOR MATERIAL TRANSITION, SILLS AND HEADERS WHICH ARE NOT CALLED OUT, MATCH TO WALL TRIM COLOR.
3. SPLIT SYSTEM W/ GROUND MOUNTED CONDENSORS TO BE SCREENED FROM VIEWS BY LANDSCAPING
4. INSTALL ALL ROOF PENETRATIONS AND EQUIPMENT (IE: VENT PIPES; ROOF VENTILATORS) ON THE REAR SIDE OF THE ROOF, TO THE GREATEST EXTENT POSSIBLE



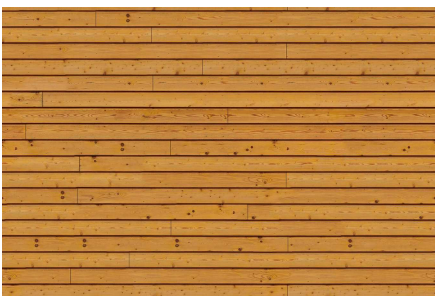
STANDING SEAM
METAL ROOF



PT-1: SW7048



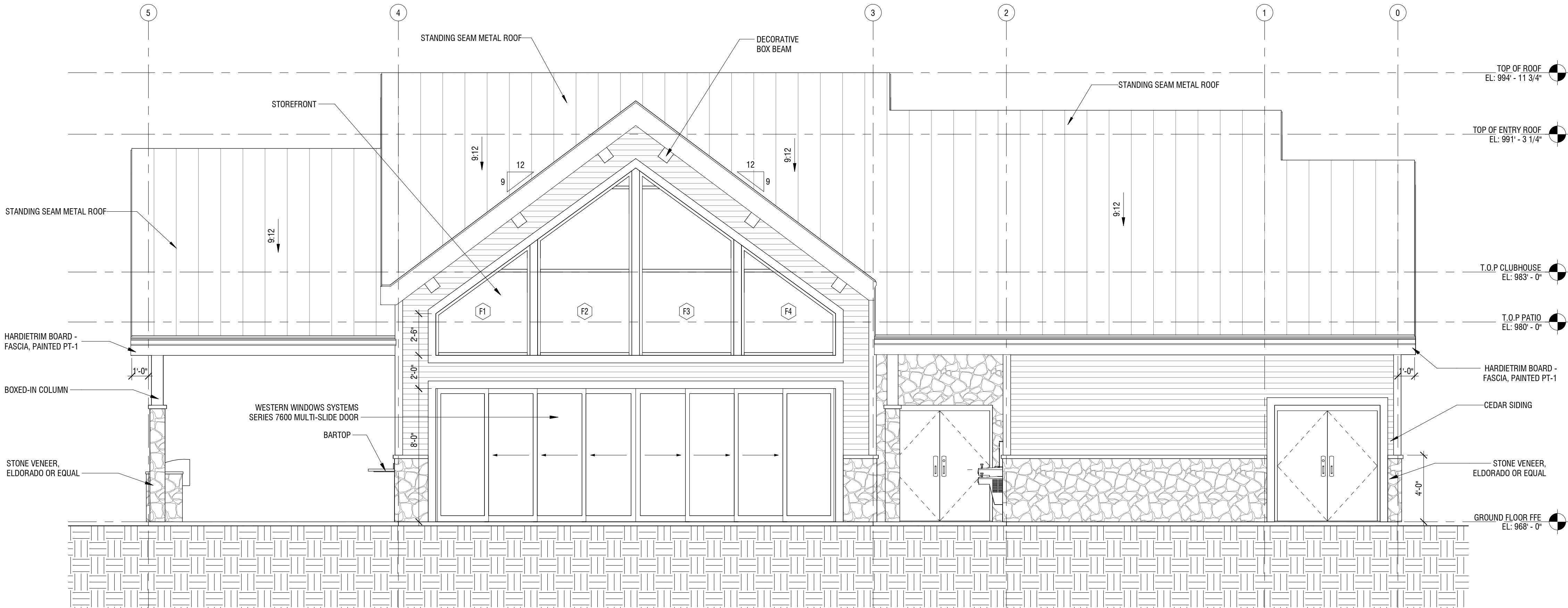
STONE VENEER



CEDAR SIDING

EXTERIOR FINISHING SCHEDULE

NO.	MATERIAL/ITEMS	DESCRIPTION	COLOR/FINISH
1	STANDING SEAM METAL ROOF	BERRIDGE TEE-PANEL OR EQUAL	COLOR: AGED BRONZE
2	STONE VENEER	SEMCO OUTDOOR OR EQUAL	WEATHERED FIELDSOTNE WEBWALL
3	CEDAR SIDING	TONGUE AND GROOVE, WESTERN RED CEDAR	TRANSPARENT STAIN NATURAL TONE
4	WALL/WINDOW TRIM	TRIM BOARD, WESTERN RED CEDAR	TRANSPARENT STAIN NATURAL TONE
5	FASCIA	JAMES HARDIE-HARDIETRIM BOARD	PT-1: URBANE BRONZE SW7048
6	SOFFIT	JAMES HARDIE-HARDIESOFFIT BOARD	VENTED SMOOTH - MATCH TO FASCIA COLOR
7	GUTTER	24 GA. STEEL	MATCH TO WINDOW FRAME COLOR
8	WINDOWS	ANDERSEN OR EQUAL/ ALUM. CLAD WOOD	METAL - MATTE, DARK BRONZE COLOR
9	EXTERIOR DOORS	METAL PANEL, PAINTED	MATCH TO WINDOW FRAME COLOR



1 NORTH-EAST ELEVATION
1/4" = 1'-0"



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B+A ARCHITECTURE
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CIVIL ENGINEER
OLSSON
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NORTH KANSAS CITY, MO 64116
PH: 816-361-1177

LANDSCAPE ARCHITECT
JASON MEIER
15245 METCALF AVE.
OVERLAND PARK, KS 66223
PH: 913-787-2817

WOODSIDE RIDGE CLUBHOUSE
2330 NW OBRIEN ROAD
LEE'S SUMMIT, MO 64081

SEAL

DATE ISSUED: FEBRUARY 12, 2020	REVISION	DATE
1	City Comments	03/12/2020

DESIGNED BY: FCR
DRAWN BY: FCR
CHECKED BY: TT/DMB

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ELEVATIONS
A201

GENERAL NOTES

1. EXTERIOR COLORS ARE INDICATED BY MATERIAL MANUFACTURERS
2. ALL EXTERIOR MATERIAL, TRANSITION, SILLS AND HEADERS WHICH ARE NOT CALLED OUT, MATCH TO WALL, TRIM COLOR.
3. SPLIT SYSTEM W/ GROUND MOUNTED CONDENSORS TO BE SCREENED FROM VIEWS BY LANDSCAPING
4. INSTALL ALL ROOF PENETRATIONS AND EQUIPMENT (IE: VENT PIPES; ROOF VENTILATORS) ON THE REAR SIDE OF THE ROOF, TO THE GREATEST EXTENT POSSIBLE



STANDING SEAM
METAL ROOF



PT-1: SW7048



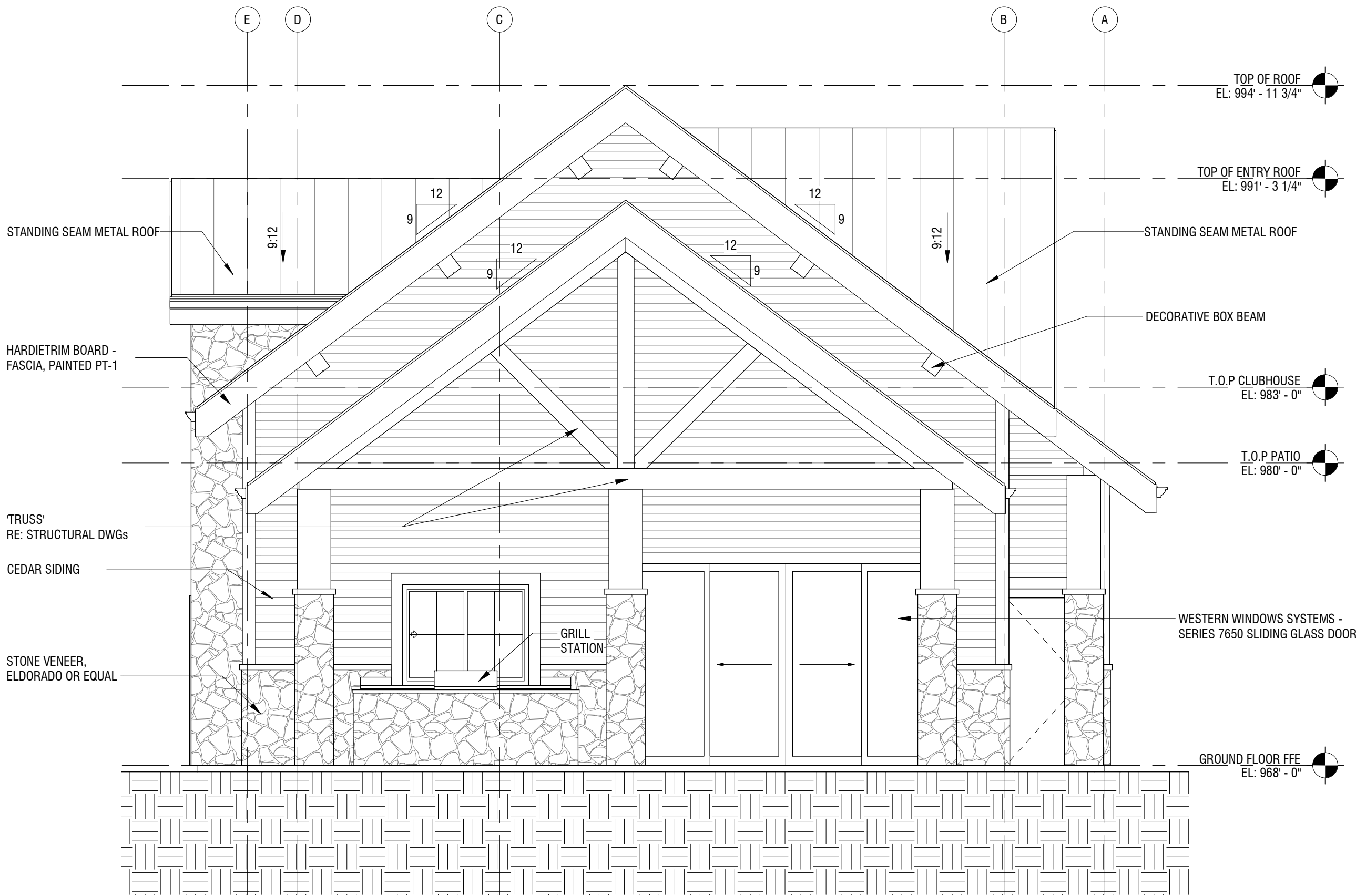
STONE VENEER



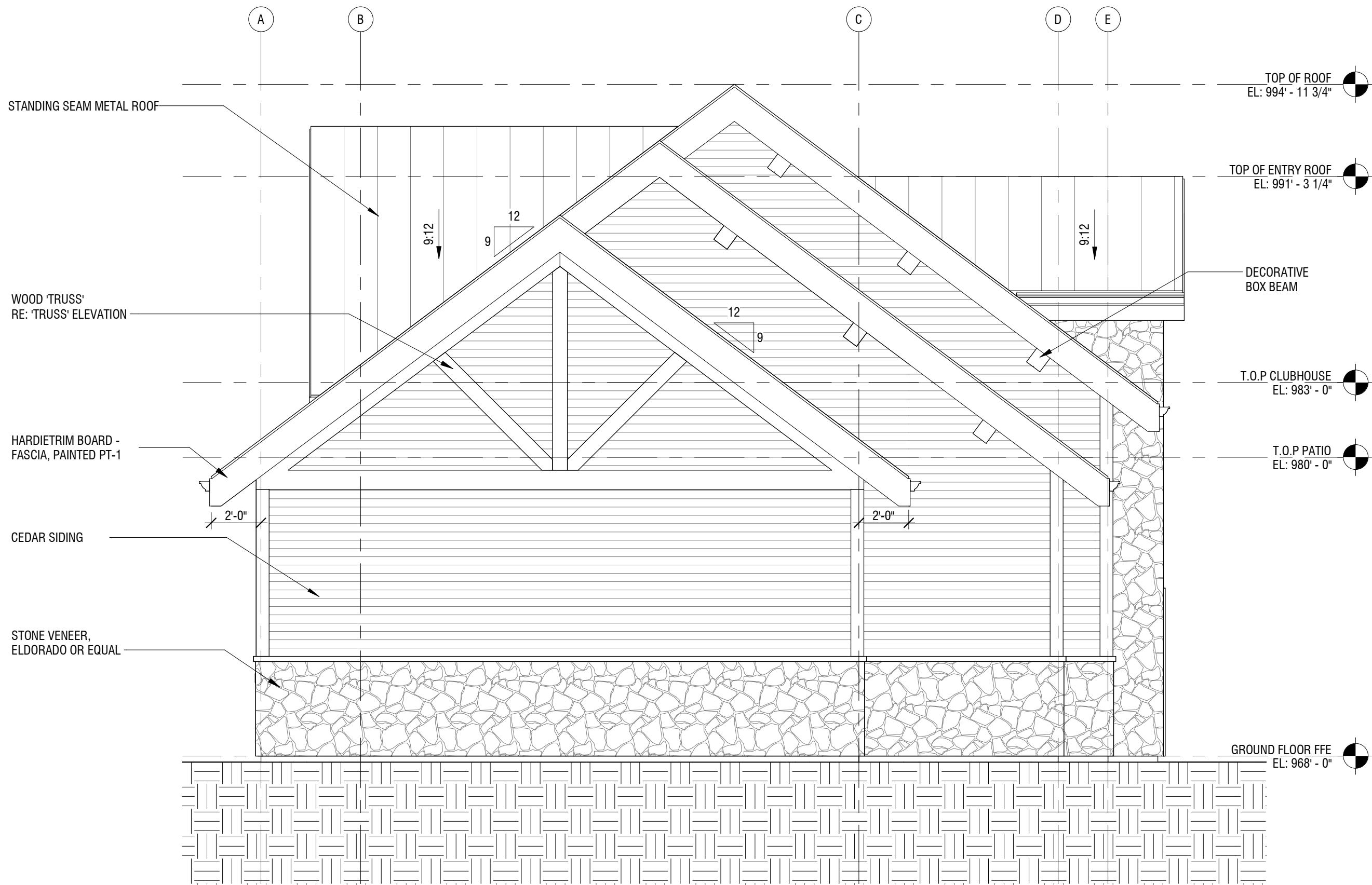
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1 SOUTH-EAST ELEVATION
1/4" = 1'-0"



2 NORTH-WEST ELEVATION
1/4" = 1'-0"

APPROVED RECORD
DRAWING

These plans have been reviewed for
accuracy by the Development
Services Staff



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SEAL

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ELEVATIONS
A202



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SEAL

DATE ISSUED: FEBRUARY 12, 2020		
NO.	REVISION	DATE

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DRAWN BY: FCR
CHECKED BY: TT/DMB

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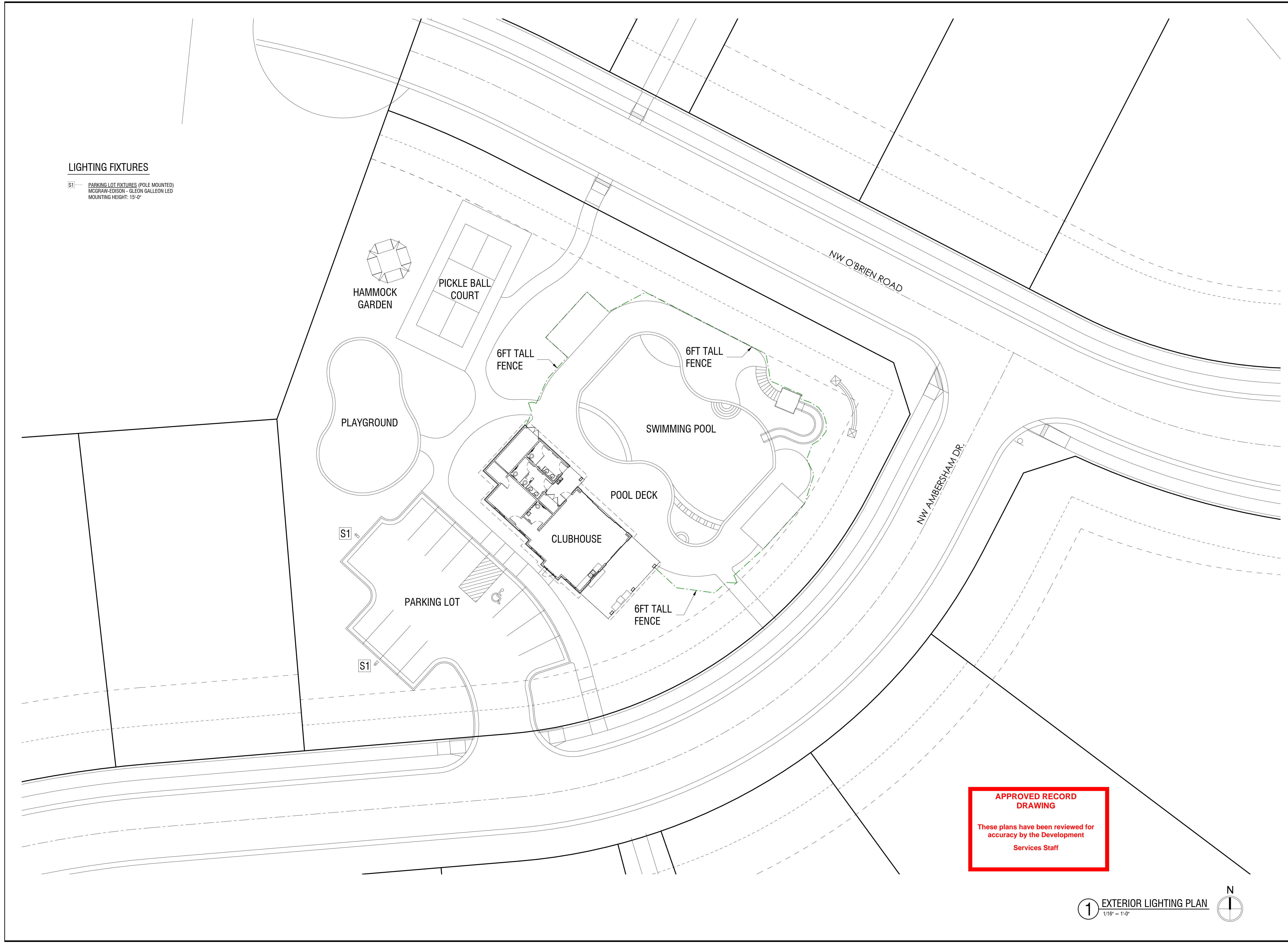
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EXTERIOR LIGHTING PLAN

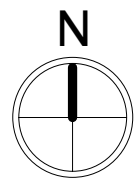
EL-1

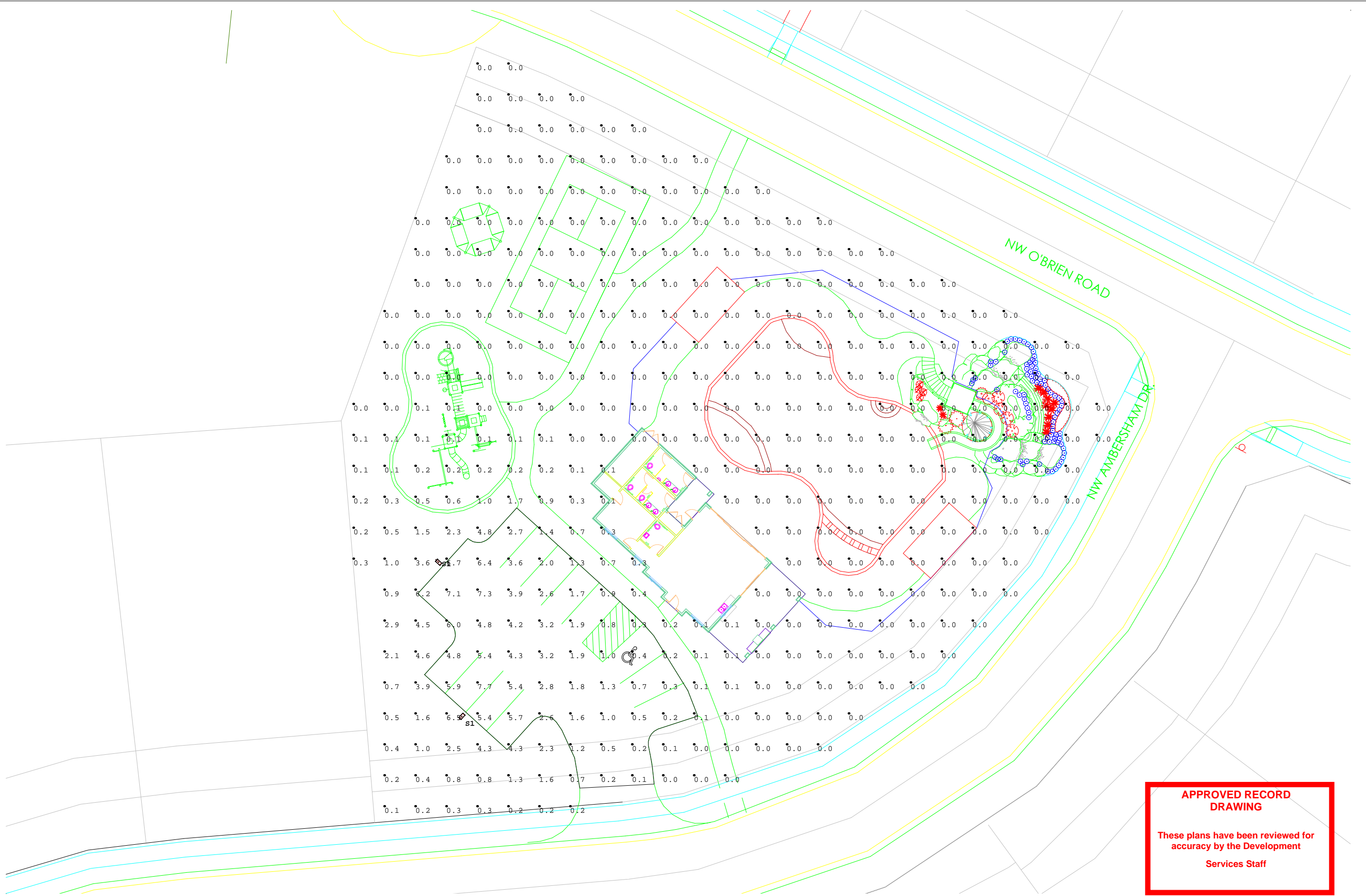
LIGHTING FIXTURES

S1 — PARKING LOT FIXTURES (POLE MOUNTED)
MCGRAW-EDISON - GLEON GALLEON LED
MOUNTING HEIGHT: 15'-0"



1 EXTERIOR LIGHTING PLAN
1/16" = 1'-0"





Scale: 1 inch= 30 Ft.



Light Loss Factor	0.91
Calculation plane	0'-00"
Reflectances	NA
Mounting height	15'

Calc. Info

Calculated By: Kevin Hooley
Requested By:
Date: 3/11/2020
Scale: N/A

Woodside Ridge
Parking-Galleon



Galleon

DISCLAIMER:

These calculations have been performed according to IES standards and good practice. There may be differences between measured values and the results presented herin, based on the extent in which field conditions deviate from the input data. These conditions include room dimensions, luminaire position, surface reflectances, architectural elements and furniture, temperature, voltage, measurement techniques and equipment tolerances. All attached drawings and images are for photometric reference only they are not made for construction.

AREA INFORMATION:

Area label :
Wall height: 0'-00"
Mounting height: 15'
Reflectences : NA

Calculation Summary						
Label	Units	Avg	Max	Min	Avg/Min	Max/Min
Site	Fc	0.54	7.7	0.0	N.A.	N.A.
Parking Lot	Fc	2.67	7.7	0.1	26.70	77.00

Luminaire Schedule						
Symbol	Qty	Label	Description	Lum. Watts	Lum. Lumens	LLF
	2	S1	GLEON-AF-02-LED-E1-T4FT	113	12533	0.910

APPROVED RECORD
DRAWING

These plans have been reviewed for
accuracy by the Development
Services Staff



#	Date	Comments

Revisions

Calculated By: Kevin Hooley
Requested By:
Date:3/11/2020
Scale: N/A

Woodside Ridge
Parking-Galleon