

BUILDING RENOVATION

LOT 1, RAINTREE 150 CENTER
A SUBDIVISION IN LEE'S SUMMIT, JACKSON COUNTY, MISSOURI,
AS SHOWN ON PLAT ENTITLED MINOR PLAT OF RAINTREE 150 CENTER,
RECORDED APRIL 21, 2004 IN PLAT BOOK 181, PAGE 12 OF THE
JACKSON COUNTY, MISSOURI RECORDER OF DEEDS OFFICE

FINAL DEVELOPMENT PLAN

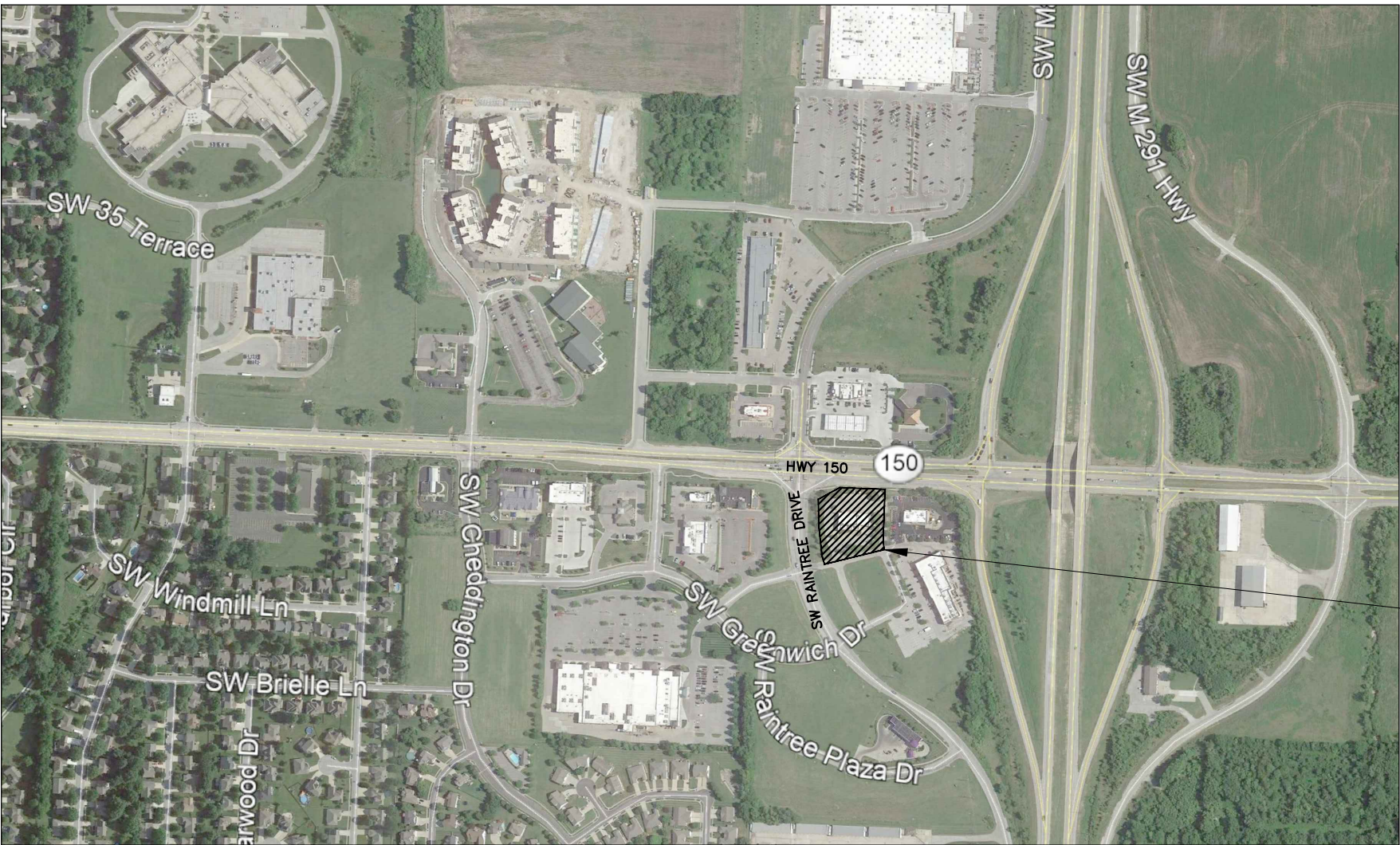
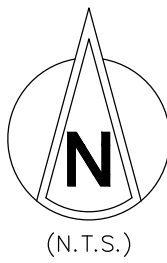
CONSTRUCTION NOTES

- GRADING:
- ALL CONTOURS SHOWN ON THESE PLANS ARE BASED ON U.S.G.S. DATA.
 - ALL GRADING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF LEE'S SUMMIT.
 - IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RESTORE THE GRADE TO THE DESIGN ELEVATIONS.
 - NO SLOPES SHALL BE GRADED STEEPER THAN 3:1 (HORIZONTAL : VERTICAL), AND SHALL BE SEEDED AND MULCHED.
 - ONLY THE DESIGNATED CONSTRUCTION ACCESS ROUTE MAY BE USED TO MOVE EQUIPMENT IN AND OUT. NO OTHER ACCESS POINT WILL BE PERMITTED.
 - ALL SILTATION MEASURES MUST BE IN PLACE BEFORE ANY OPERATIONS THAT DISTURB THE NATURAL GRADE COMMENCES. THIS INCLUDES GRUBBING OR STUMP REMOVAL. THE CITY OF LEE'S SUMMIT SHALL BE NOTIFIED UPON COMPLETION OF ALL SILTATION AND EROSION FACILITIES AND SHALL INSPECT AND APPROVE SUCH FACILITIES PRIOR TO THE COMMENCEMENT OF ANY CLEARING OR GRADING ACTIVITIES.
 - SILTATION AND EROSION FACILITIES MUST BE MAINTAINED THROUGHOUT THE ENTIRE CONSTRUCTION PERIOD. THIS INCLUDES REMOVAL OF MUD FROM SILTATION BASINS AND REPLACEMENT OF THE CITY OF LEE'S SUMMIT APPROVED EROSION CONTROL DEVICES. MUD SHALL NOT BE PERMITTED TO MIGRATE OFF THE SITE. DAMAGE OR FAILURE OF SILTATION AND EROSION CONTROL FACILITIES SHALL BE REPAIRED. DAMAGE OR FAILURE OF SILTATION AND EROSION CONTROL FACILITIES SHALL BE REPAIRED IMMEDIATELY BUT NOT LONGER THAN 24 HOURS AFTER NOTIFICATION. IF PROPOSED MEASURES FAIL TO ADEQUATELY PROTECT THE ADJOINING PROPERTY ADDITIONAL FACILITIES SHALL BE INSTALLED AS DIRECTED.
 - THE ENGINEER SHALL NOT BE RESPONSIBLE FOR THE MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES OF CONSTRUCTION SELECTED BY THE CONTRACTOR TO PROTECT OFF-SITE PROPERTY FROM EROSION OR SILTATION. THE ENGINEER SHALL NOT BE LIABLE FOR DAMAGE CAUSED BY EROSION OR SILTATION DUE TO DEFECTIVE SILTATION CONTROL DEVICES.
 - MUD WILL NOT BE PERMITTED TO BE CARRIED OFF SITE ONTO PUBLIC STREETS. A TEMPORARY WASH FACILITY SHALL BE PROVIDED TO REMOVE MUD FROM VEHICLE TIRES BEFORE ENTERING THE PUBLIC STREETS.
 - MEASURES SHALL BE TAKEN TO CONTROL DUST AS NECESSARY.
 - IT SHALL BE THE GRADING CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE SOILS ENGINEER OF WORK IN PROGRESS AND TO COMPLY WITH SPECIFICATIONS SET BY THE SOILS ENGINEER WITH REGARD TO COMPACTION, SURFACE PREPARATION AND PLACEMENT OF FILL.
 - ALL STUMPS, LIMBS, AND OTHER DEBRIS ARE TO BE REMOVED FROM THE SITE.
 - ALL DRAINAGE SWALES SHALL BE SODDED.
 - ALL FILL AREAS, INCLUDING TRENCH BACKFILLS, UNDER BUILDINGS, PROPOSED STORM AND SANITARY SEWER LINES, PUBLIC RIGHT-OF-WAY, AND PAVED AREAS, SHALL BE COMPACTED TO 90% OF MAXIMUM DENSITY AS DETERMINED BY THE MODIFIED AASHTO T-180 COMPACTION TEST", (A.S.T.M. D- 1557) UNLESS OTHERWISE REQUIRED IN THE SOILS REPORT FOR THIS PROJECT.

TABLE OF ABBREVIATIONS

NOTE: NOT ALL ABBREVIATIONS USED

AI	AREA INLET	N	NORTH
ASPH	ASPHALT	NE	NORTHEAST
ATG	ADJUST TO GRADE	NW	NORTHWEST
BC	BOTTOM OF CURB ELEVATION	PB	PLAT BOOK
BFP	BACKFLOW PREVENTER	PERM	PERMANENT
BLDG	BUILDING	PG	PAGE
BM	BENCHMARK	PGS	PAGES
BOT	BOTTOM	PL	PROPERTY LINE
BS	BOTTOM OF SLOPE ELEVATION	PR	PROPOSED
BW	BOTTOM OF WALL ELEVATION	PVC	POLYVINYL CHLORIDE
C	CURB	PVMT	PAVEMENT
CMP	CORRUGATED METAL PIPE	R	RADIUS
CO	CLEAN OUT	RCP	REINFORCED CONCRETE PIPE
CONC	CONCRETE	REC	RECORD
DB	DEED BOOK	ROW	RIGHT OF WAY
DIP	DUCTILE IRON PIPE	R/W	RIGHT OF WAY
DS	DOWNSPOUT	S	SOUTH
E	EAST	SE	SOUTHEAST
ELEV	ELEVATION	SF	SQUARE FEET
EM	ELECTRIC METER	SURV	SURVEY
EOP	EDGE OF PAVEMENT	SW	SOUTHWEST
ESMT	EASEMENT	TBR	TO BE REMOVED
EX	EXISTING	TC	TOP OF CURB ELEVATION
FF	FINISHED FLOOR ELEVATION	TFP	TRANSFORMER PAD
FL	FLOW LINE ELEVATION	TS	TOP OF SLOPE ELEVATION
FO	FIBER OPTIC	TW	TOP OF WALL ELEVATION
GEN	GENERATOR	TYP	TYPICAL
GTI	GRATE TOP INLET	UGFO	UNDERGROUND FIBER OPTIC LINE
HC	HANDICAPPED	UIP	USE IN PLACE
HHE	ELECTRIC HAND HOLE	VCP	VITRIFIED CLAY PIPE
HHTS	TRAFFIC SIGNAL HAND HOLE	W	WEST
HHSI	SIGNAL LIGHT HAND HOLE		
ICVR	IRRIGATION CONTROL VALVE RECLAIMED		
MAX	MAXIMUM		
MH	MANHOLE		
MIN	MINIMUM		
MSD	METROPOLITAN ST. LOUIS SEWER DISTRICT		



PERTINENT INFORMATION

PROPERTY ADDRESS:	155 SW M-150 HIGHWAY
ZIP CODE:	64082
MUNICIPALITY:	CITY OF LEE'S SUMMIT
STATE:	MISSOURI
TOTAL SITE AREA:	1.405 ACRES (61,187± SF)
AREA OF DISTURBANCE:	0.499 ACRES (21,741± SF)
CURRENT ZONING:	CP-2 CORRIDOR DEVELOPMENT
INTENDED USE:	OVERLAY DISTRICT
PARCEL ID:	70-820-03-02-00-0-00-000

SHEET INDEX

C0.0 - COVER
C1.0 - DEMOLITION PLAN

C2.0 - SITE & UTILITY PLAN

C3.0 - GRADING PLAN

C4.0 - SITE DETAILS

C4.1 - SITE DETAILS

C4.2 - SITE DETAILS

C5.0 - EROSION & SEDIMENT CONTROL PLAN

C5.1 - EROSION & SEDIMENT CONTROL DETAILS

LEGEND OF SYMBOLS

EXISTING	PROPOSED

PROJECT CONTACTS

DEVELOPERS:

EQUITY
4653 TRUENAM BOULEVARD
HILLIARD, OH 43026
(614) 586-3303
NPALMER@EQUITY.NET

MIDLAND PROPERTIES OF ILLINOIS, LLC
716 WINDSOR ROAD
LOVES PARK, IL 61111
(815) 988-9600
BRENT@MIDLANDGENERALCONTRACTORS.COM

BUILDING DESIGN:

CASCO DIVERSIFIED CORPORATION
12 SUNNEN DR., SUITE 100
ST. LOUIS, MO 63143
(314) 821-1100

CIVIL ENGINEER:

CASCO CIVIL
12 SUNNEN DR., SUITE 100
ST. LOUIS, MO 63143
(314) 821-1100
TOM.BUERK@CASCOORP.COM

ELECTRIC:

KANSAS CITY POWER & LIGHT
(888) 471-5275

STORM:

LEE'S SUMMIT PUBLIC WORKS
220 SE GREEN
LEE'S SUMMIT, MO 64063
(816) 969-1800

GAS:

SPIRE
(816) 756-5252

SANITARY & WATER:

LEE'S SUMMIT WATER UTILITIES
12 SE HAMBLIN ROAD
LEE'S SUMMIT, MO 64081
(816) 969-1900

FIRE DEPARTMENT:

LEE'S SUMMIT FIRE STATION 5
3650 SW WINDEMERE ROAD
LEE'S SUMMIT, MO 64062
PHONE

GENERAL NOTES

- THE SITEWORK ON THIS PROJECT SHALL MEET OR EXCEED ALL STANDARDS AND SPECIFICATIONS REQUIRED BY THE CITY OF LEE'S SUMMIT.
- CASCO DIVERSIFIED CORPORATION HAS NOT PERFORMED ANY INVESTIGATION REGARDING UNDERGROUND CONDITIONS, HAZARDOUS WASTES, OR UTILITIES AFFECTING THE SITE SHOWN HEREIN.
- ALL DIMENSIONS ARE FROM THE FACE OF CURB UNLESS OTHERWISE NOTED.
- ALL DISTURBED AREAS OUTSIDE OF PAVEMENT AND BUILDING PAD AREAS SHALL RECEIVE 4" OF SUITABLE TOPSOIL. CONTRACTOR SHALL SEED, MULCH, FERTILIZE, AND MAINTAIN ALL DISTURBED AREAS OUTSIDE OF PAVEMENT UNTIL SUFFICIENT VEGETATIVE GROWTH HAS BEEN ESTABLISHED PER THE SWPPP. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MEANS AND METHODS REQUIRED TO ESTABLISH PERMANENT SOIL STABILIZATION.
- ALL SURVEY MONUMENTS DISTURBED DURING CONSTRUCTION SHALL BE REPLACED BY A LICENSED PROFESSIONAL SURVEYOR IN THE STATE OF MISSOURI AT THE CONTRACTOR'S OWN EXPENSE.
- ALL TRENCHES EXCAVATED UNDERNEATH AREAS TO BE PAVED SHALL BE BACKFILLED WITH COMPACTED GRANULAR MATERIAL AND COMPACTED TO MEET REQUIREMENTS OF THE GEOTECHNICAL REPORT AND CITY OF LEE'S SUMMIT REQUIREMENTS.
- CONTRACTOR SHALL INSTALL ALL UNDERGROUND PIPING AND CONDUITS PER THE REQUIREMENTS OF THE RESPECTIVE MANUFACTURERS AND THE CITY OF LEE'S SUMMIT.
- IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, NEITHER THE OWNER NOR THE ENGINEER WILL BE RESPONSIBLE FOR COMPLIANCE WITH ALL LOCAL, STATE, AND FEDERAL SAFETY MEASURES AND REGULATIONS. CONTRACTOR SHALL COMPLY WITH ALL OSHA REGULATIONS AND SAFETY MEETING REQUIREMENTS. THE CONTRACTOR SHALL BE COMPLETELY AND SOLELY RESPONSIBLE FOR JOB SITE CONDITIONS, INCLUDING SAFETY OF ALL PROPERTY AND PERSONS AT ALL TIMES DURING THE PERFORMANCE OF THE WORK. THIS REQUIREMENT APPLIES CONTINUOUSLY AND IS NOT LIMITED TO NORMAL WORKING HOURS. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING, MAINTAINING, AND IMPLEMENTING ALL SAFETY DEVICES AND PRACTICES DURING CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL PUBLIC AND PRIVATE PROPERTY ADJACENT TO THE WORK. CONTRACTOR SHALL EXERCISE DUE CARE AND CAUTION TO AVOID DAMAGE TO SUCH PROPERTY. CONTRACTOR SHALL REPLACE OR RESTORE TO EQUAL OR BETTER CONDITION THAN THE ORIGINAL CONDITION AT THE CONTRACTOR'S OWN EXPENSE. ALL IMPROVEMENTS WITHIN OR ADJACENT TO THE AREA OF WORK WHICH ARE NOT DESIGNATED FOR REMOVAL OR ADJUSTMENT AND WHICH ARE DAMAGED OR REMOVED AS A RESULT OF THE CONTRACTOR'S ACTIONS.
- CONTRACTOR SHALL CONTINUALLY MONITOR JOB SITE CONDITIONS. CONDITIONS REQUIRING CONSTRUCTION DIFFERENT THAN THAT SHOWN ON THE PLANS SHALL BE REPORTED TO THE ENGINEER PRIOR TO PROCEEDING WITH THE AFFECTED WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING PRESENCE AND LOCATIONS (VERTICALLY AND HORIZONTALLY) OF ALL UTILITIES. IN NO WAY DOES THE ENGINEER OR THE OWNER SUGGEST, IMPLY, OR CONFIRM THAT UTILITIES SHOWN ARE INCLUSIVE OF ALL UTILITIES WITHIN THE PROJECT AREA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING IN PLACE ALL UTILITIES. ANY DAMAGE OR LOSS TO EXISTING UTILITIES SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. SHOULD ANY DAMAGE OCCUR AS A RESULT OF THE CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL REPLACE OR REPAIR THE DAMAGES TO THE FULL SATISFACTION OF THE UTILITY OWNER AT THE CONTRACTOR'S OWN EXPENSE. THE CONTRACTOR SHALL AGREE TO DEFEND, INDEMNIFY, AND HOLD HARMLESS THE OWNER AND THE ENGINEER FROM ANY AND ALL DAMAGES OR LOSS.

CONSTRUCTION NOTE

ALL CONSTRUCTION SHALL CONFORM TO THE CITY OF LEE'S SUMMIT DESIGN AND CONSTRUCTION MANUAL

LAND DISTURBANCE NOTE

ALL PROPOSED SHALL CONTACT THE CITY'S DEVELOPMENT SERVICES ENGINEERING INSPECTORS 48 HOURS PRIOR TO ANY LAND DISTURBANCE WORK: (816) 969-1200

FLOOD ZONE NOTE

ACCORDING TO THE FIRM FLOOD INSURANCE RATE MAP 29095C0532G DATED JANUARY 20, 2017, THIS DEVELOPMENT IS LOCATED IN FLOOD ZONE X. FLOOD ZONE X IS DETERMINED TO BE AN AREA OF MINIMAL FLOOD HAZARD, OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD HAZARD.

TITLE DESCRIPTION

LOT 1, RAINTREE 150 CENTER, A SUBDIVISION IN LEE'S SUMMIT, JACKSON COUNTY, MISSOURI, AS SHOWN ON PLAT ENTITLED MINOR PLAT OF RAINTREE 150 CENTER, RECORDED APRIL 21, 2004 IN PLAT BOOK 181, PAGE 12 OF THE JACKSON COUNTY, MISSOURI RECORDER OF DEEDS OFFICE.

THIS SURVEY AND LEGAL DESCRIPTION ARE THE SAME AS THAT SHOWN ON A TITLE REPORT PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY, FILE NO.: NCS-401470620A-NC, FIRST AMENDMENT, EFFECTIVE DATE: EFFECTIVE DATE: JUNE 26, 2019.

SIGN NOTE

ALL PROPOSED SIGNS SHALL COMPLY WITH THE UDO REQUIREMENTS, AND SIGNS WILL BE APPROVED BY SEPARATE APPLICATION.

OIL AND GAS NOTE

THERE ARE NO OIL AND/OR GAS WELLS PRESENT WITHIN THE SUBJECT PROPERTY PER THE ENVIRONMENTAL REPORT PREPARED BY SOLID GROUND ENVIRONMENTAL DATED MAY 12, 2020.

SURVEY NOTE

THE TOPOGRAPHIC INFORMATION IN THIS PLAN SET IS BASED OFF A SURVEY PROVIDED BY AYLETT SURVEYING & ENGINEERING ON MAY 13, 2020 AND A BOUNDARY SURVEY PROVIDED BY COMMERCIAL DUE DILIGENCE SERVICES ON MARCH 25, 2020.

ACTUAL FIELD CONDITIONS ARE TO BE VERIFIED PRIOR TO COMMENCEMENT OF WORK.

BUILDING RENOVATION
155 SW M-150 HIGHWAY
LEE'S SUMMIT, MO 64082

CONSTR. DOC. & REVISIONS

No.	Description	Date
DP	Development Plan Response	06-17-20
CC	City Comments	06-30-20
DP2	Development Plan Response 2	07-15-20
O3	Owner Revision 3	07-20-20
4	Clarification	07-31-20
5	Owner Revision	08-20-20
7	Pavement/Drainage Revision	09-23-20

CASCO DIVERSIFIED CORPORATION
CERTIFICATE OF AUTHORITY
#000613 12/31/21



PROFESSIONAL OF RECORD

Buerk III, Thomas E.
License NO. PE-2018000174
Expiration Date 12/31/20

Drawn By/Checked By: MEB/TEB

Project Number 320488

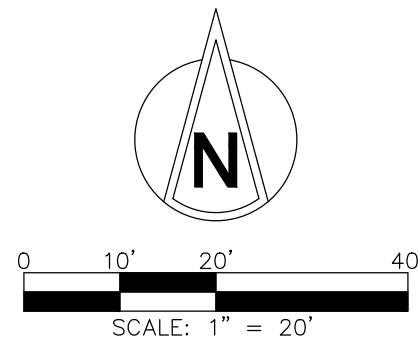
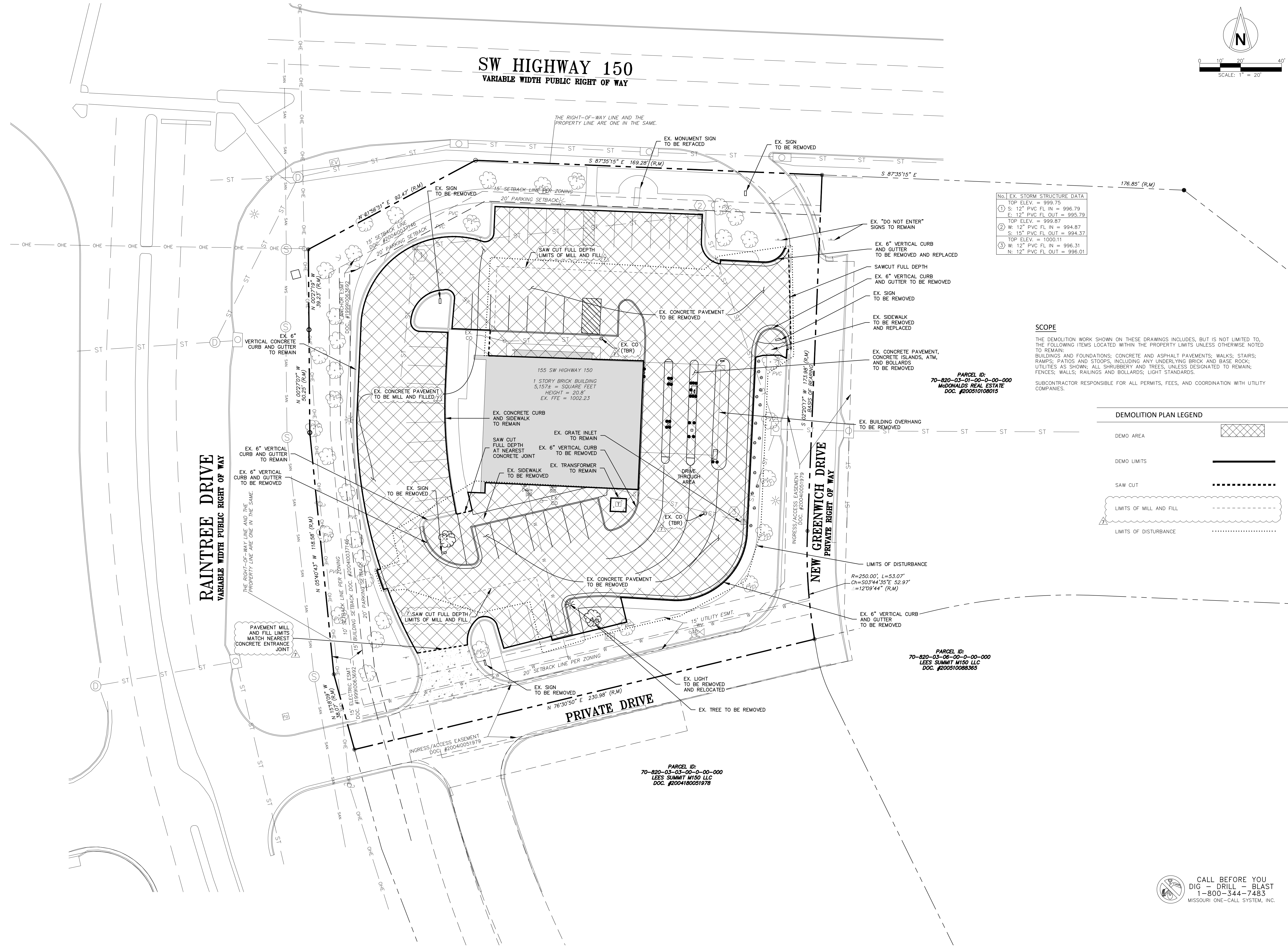
Permit Date 06-17-20

COVER



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1-800-344-7483
MISSOURI ONE-CALL SYSTEM, INC.

C0.0



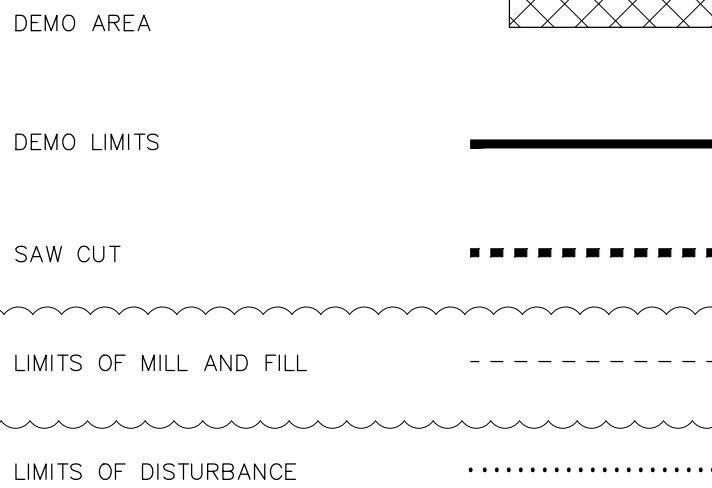
No.	EX. STORM STRUCTURE DATA
1	TOP ELEV. = 999.75 S: 12" PVC FL IN = 996.79 E: 12" PVC FL OUT = 995.79 TOP ELEV. = 999.87
2	W: 12" PVC FL IN = 994.87 S: 15" PVC FL OUT = 994.37 TOP ELEV. = 1000.11
3	W: 12" PVC FL IN = 996.31 N: 12" PVC FL OUT = 996.01

SCOPE

THE DEMOLITION WORK SHOWN ON THESE DRAWINGS INCLUDES, BUT IS NOT LIMITED TO, THE FOLLOWING ITEMS LOCATED WITHIN THE PROPERTY LIMITS UNLESS OTHERWISE NOTED TO REMAIN:
BUILDINGS AND FOUNDATIONS; CONCRETE AND ASPHALT PAVEMENTS; WALKS; STAIRS; RAMPS; PATIOS AND STOOPS, INCLUDING ANY UNDERLYING BRICK AND BASE ROCK; UTILITIES AS SHOWN; ALL SHRUBBERY AND TREES, UNLESS DESIGNATED TO REMAIN; FENCES; WALLS; RAILINGS AND BOLLARDS; LIGHT STANDARDS.

SUBCONTRACTOR RESPONSIBLE FOR ALL PERMITS, FEES, AND COORDINATION WITH UTILITY COMPANIES.

DEMOLITION PLAN LEGEND



BUILDING RENOVATION
155 SW M-150 HIGHWAY
LEE'S SUMMIT, MO 64082

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CASCO DIVERSIFIED CORPORATION
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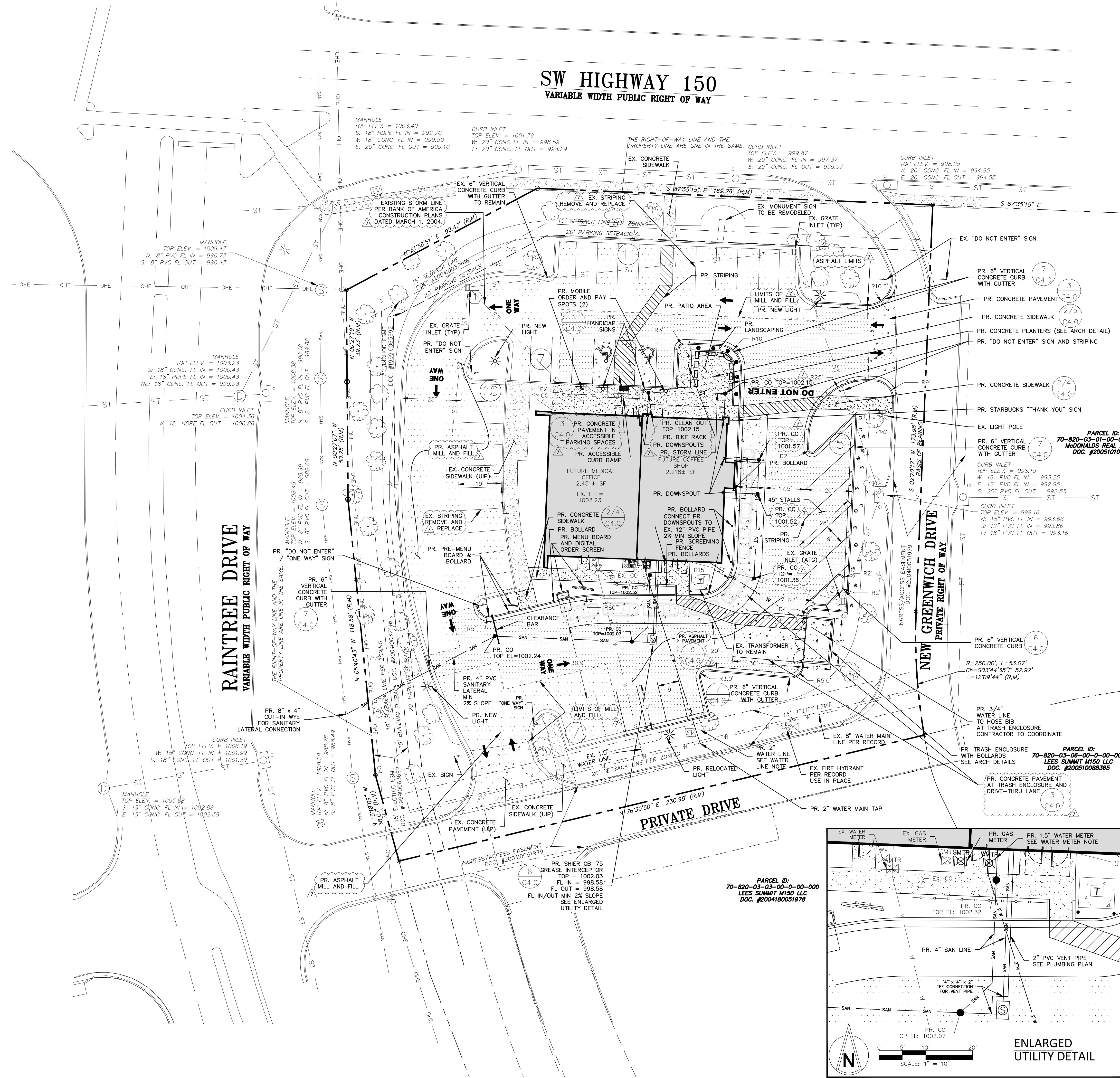
Drawn By/Checked By: MEB/TEB
Project Number 320488
Permit Date 06-17-20



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MISSOURI ONE-CALL SYSTEM, INC.

DEMOLITION
PLAN

C1.0



PAVEMENT LEGEND

EX. CONCRETE PAVEMENT	[Pattern]
PR. CONCRETE PAVEMENT	[Pattern]
PR. ASPHALT PAVEMENT MILL AND FILL	[Pattern]
PR. ASPHALT FULL DEPTH	[Pattern]
EX. CONCRETE SIDEWALK	[Pattern]
PR. CONCRETE SIDEWALK	[Pattern]
LIMITS OF MILL AND FILL	[Pattern]

WATER METER NOTE

PROPOSED 2" WATER LINE TO STUB IN FROM EXISTING 8" MAIN LINE. PROPOSED 2" WATER LINE TO ROUTE TO PROPOSED 1.5" WATER METER, THEN ROUTE FROM WATER METER TO ENTER BUILDING VIA 2" WATER LINE.

WATER LINE NOTE

CONTRACTOR TO VERIFY EXISTING WATER LINE AND WATER MAIN LOCATION PRIOR TO CONSTRUCTION.

DOWNSPROUT NOTE

ROOF DRAIN LINES TO BE CONNECTED TO EXISTING STORM DRAIN PIPES AS SHOWN. CONTRACTOR SHALL PROVIDE CAST IRON DOWNSPOUT BOOT AT BUILDING CONNECTION POINTS.

PAVEMENT NOTE

CONTRACTOR TO MILL AND FILL EXISTING CONCRETE PARKING LOT AND FILL WITH 2" ASPHALT OVERLAY.

NOTE

SHELL GENERAL CONTRACTOR TO VERIFY FINAL LOCATIONS OF ALL DRIVE-THRU EQUIPMENT WITH TENANT DRAWINGS.

SITE DATA:

ADDRESS:	155 SW M-150 HWY LEE'S SUMMIT, MO 64082
SITE AREA:	1.405 ACRES
CURRENT ZONING:	CP-2 CORRIDOR DEVELOPMENT OVERLAY DISTRICT
PROPOSED ZONING:	CP-2 CORRIDOR DEVELOPMENT OVERLAY DISTRICT
PARKING REQ'D:	MEDICAL OFFICE: 5 SPACES PER 1,000 SF OF GFA. 2,451 SF/1,000 = 2.5 x 5 = 12 SPACES RESTAURANT (FAST FOOD AND SIT-DOWN): 14 SPACES PER 1,000 SF OF GFA. 2,218 SF/1,000 = 2.2 x 14 = 31 SPACES
TOTAL SPACES REQ'D:	43 SPACES
HC SPACES REQ'D:	1 STANDARD + 1 VAN ACCESSIBLE
PARKING PROVIDED:	38 SPACES + 2 HC SPACES = 40 SPACES
IMPERVIOUS AREA:	0.821 ACRES (35,777± SF)
FLOOR AREA RATIO:	4,669 SF / 61,187 SF = 0.076

ENLARGED UTILITY DETAIL

Scale: 1" = 10'

Shows detailed view of water meter, gas meter, and vent pipe connections.

SIDEWALK DIMENSIONS

Scale: 1" = 30'

Shows detailed view of sidewalk layout and dimensions.

NOTE

ITEMS SCHEDULED FOR DEMOLITION HAVE BEEN REMOVED FOR CLARITY.

CASCO CIVIL

A CASCO Diversified Corporation Company
12 Summit Drive, Suite 100, St. Louis, MO 63143 T: 314.821.1100

BUILDING RENOVATION

155 SW M-150 HIGHWAY
LEE'S SUMMIT, MO 64082

No.	Description	Date
01	Development Plan Response	06-17-20
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06	Owner Revision	08-20-20
07	Pavement/Drainage Revision	09-23-20

CASCO DIVERSIFIED CORPORATION
CERTIFICATE OF AUTHORITY
#000613 12/31/21

THOMAS P. BUEK III
PROFESSIONAL ENGINEER
NUMBER PE-2018000174

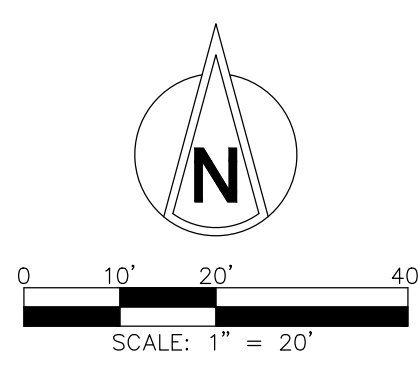
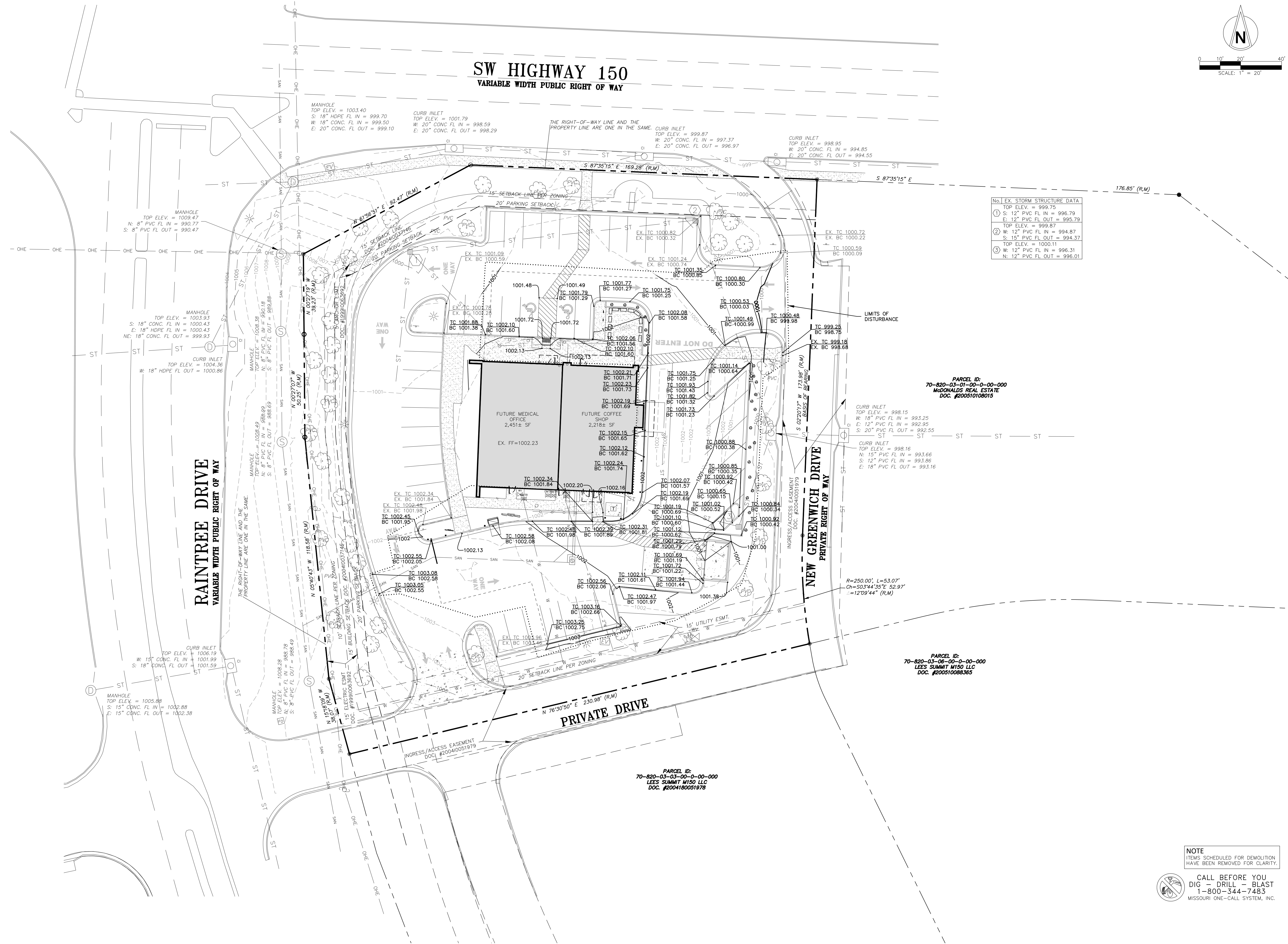
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Buerk III, Thomas E.
License NO. PE-2018000174
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Project Number 320488
Permit Date 06-17-20

SITE & UTILITY PLAN

C2.0

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BUILDING RENOVATION
155 SW M-150 HIGHWAY
LEE'S SUMMIT, MO 64082

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	TOP ELEV. = 1000.11
③	W: 12" PVC FL IN = 996.31
	N: 12" PVC FL OUT = 996.01

PARCEL ID:
70-820-03-01-00-00-000
McDONALDS REAL ESTATE
DOC. #200510108015

PARCEL ID:
70-820-03-06-00-00-000
LEES SUMMIT M150 LLC
DOC. #200510088365

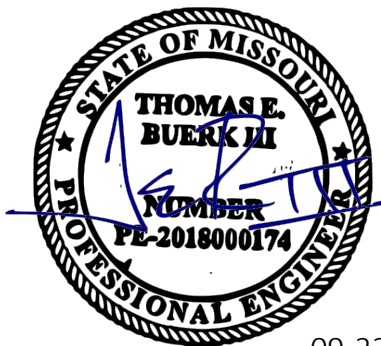
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70-820-03-03-00-00-000
LEES SUMMIT M150 LLC
DOC. #2004180051978

NOTE
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MISSOURI ONE-CALL SYSTEM, INC.

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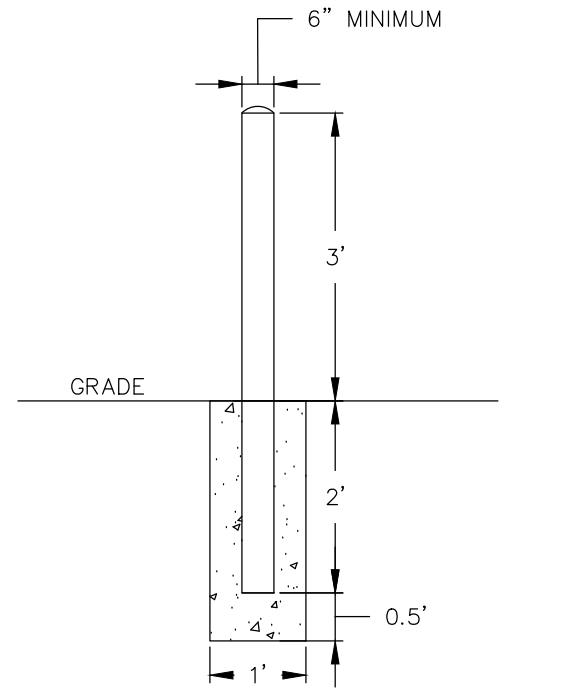
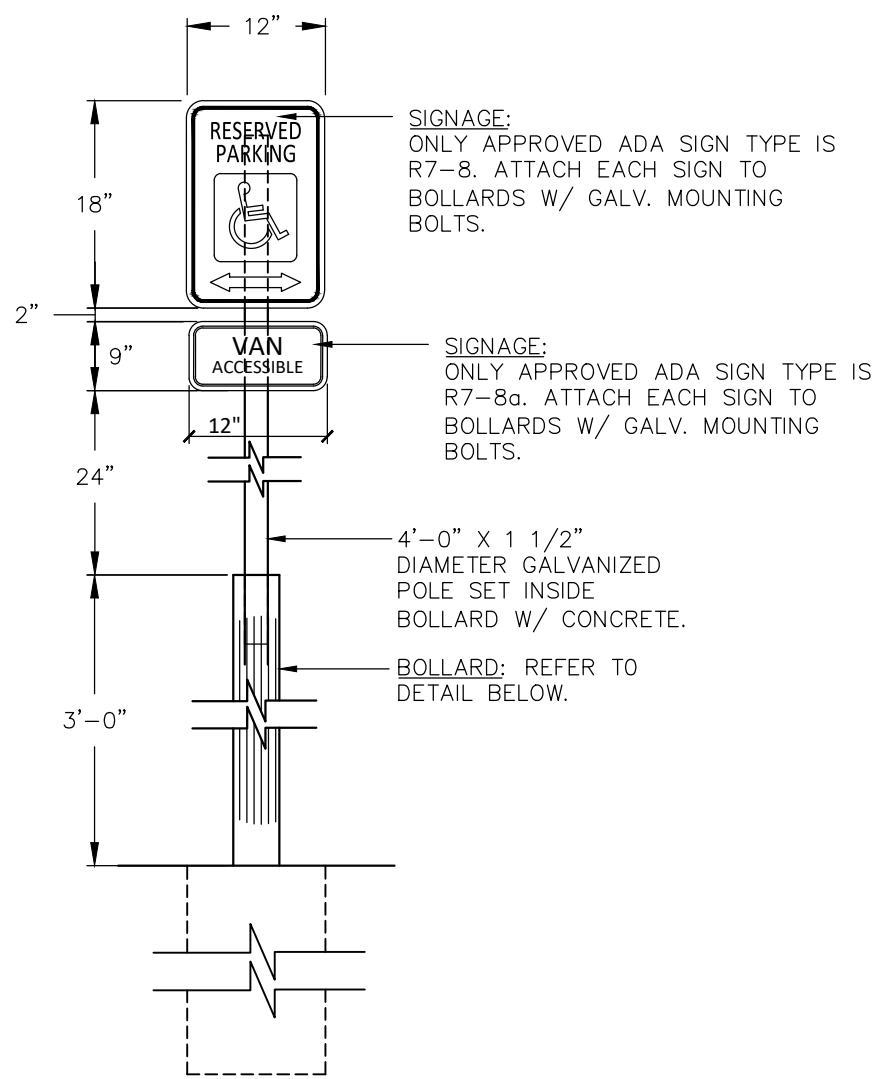
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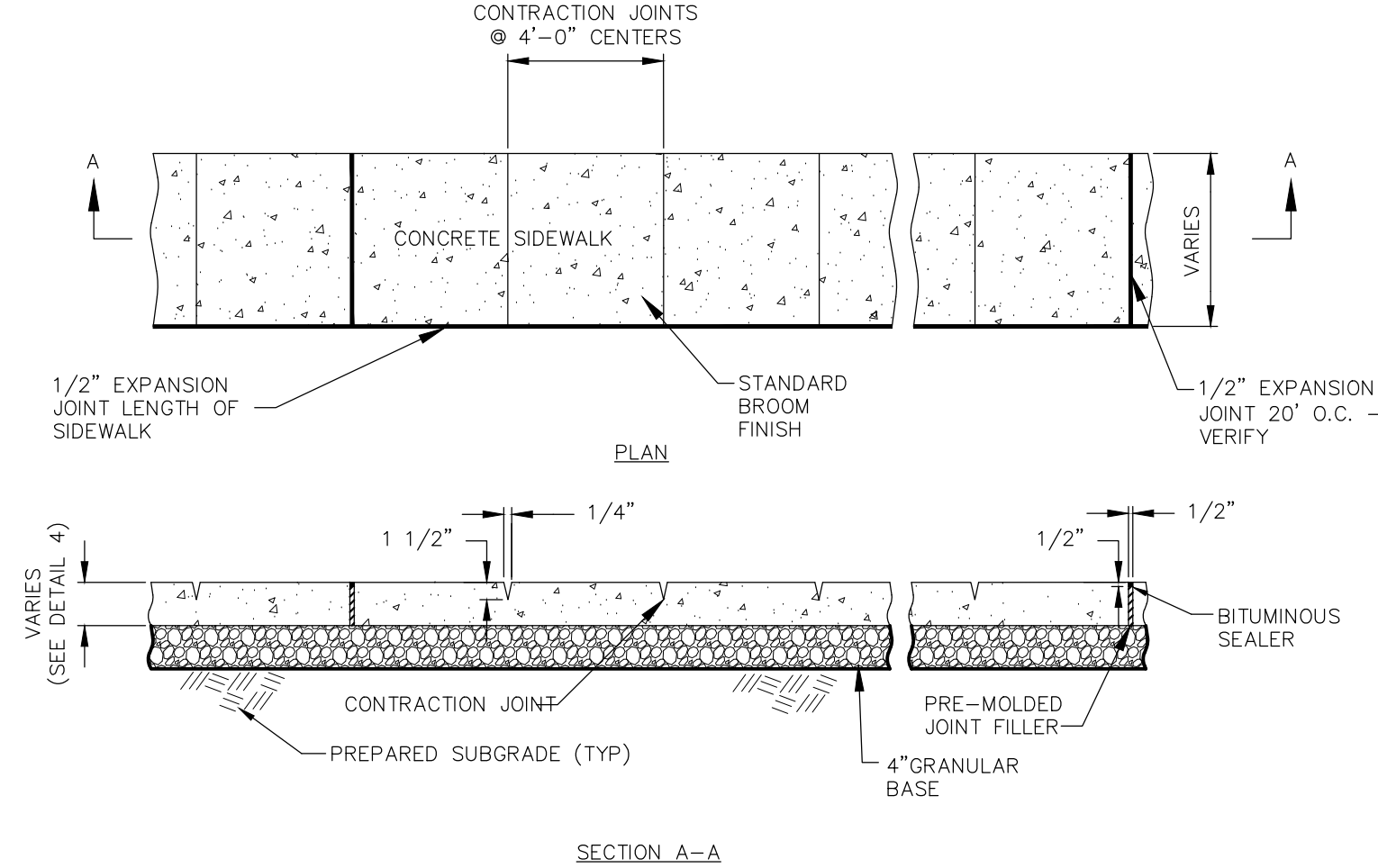
GRADING PLAN



NOTE
BOLLARDS MUST BE STEEL PIPE (6" MINIMUM) AND FILLED WITH CONCRETE.

BOLLARD DETAIL
SCALE: NO SCALE

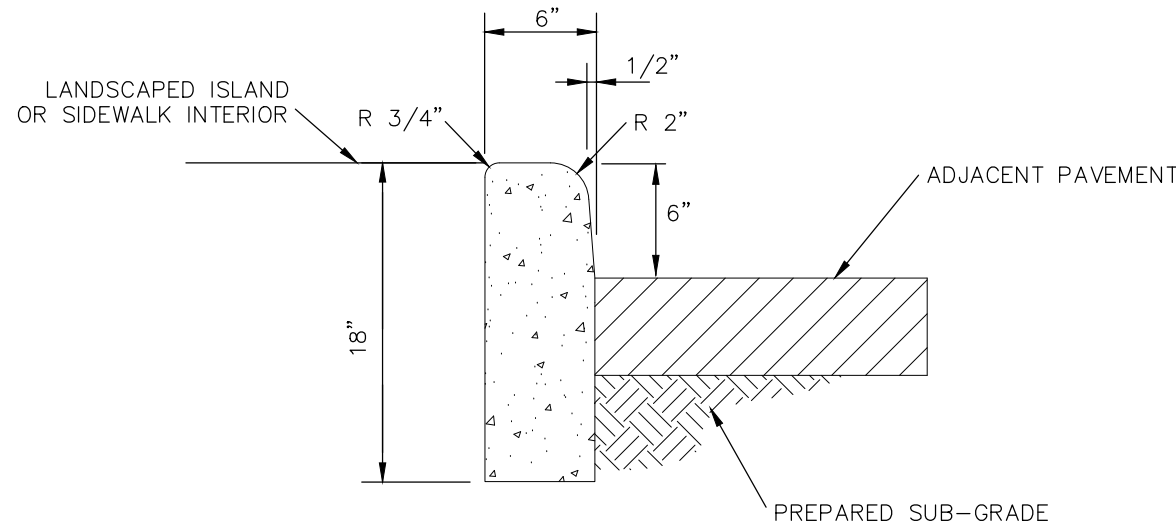
1 HANDICAP PARKING SIGN
C4.0 NO SCALE



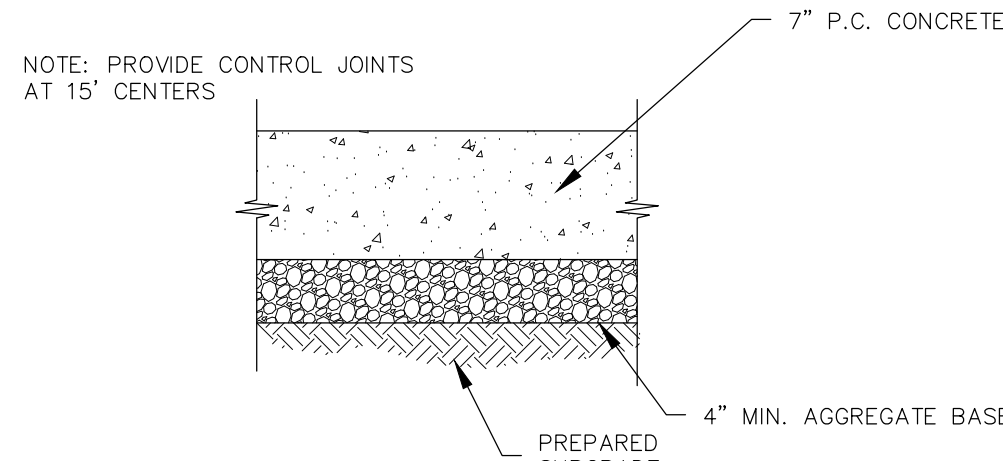
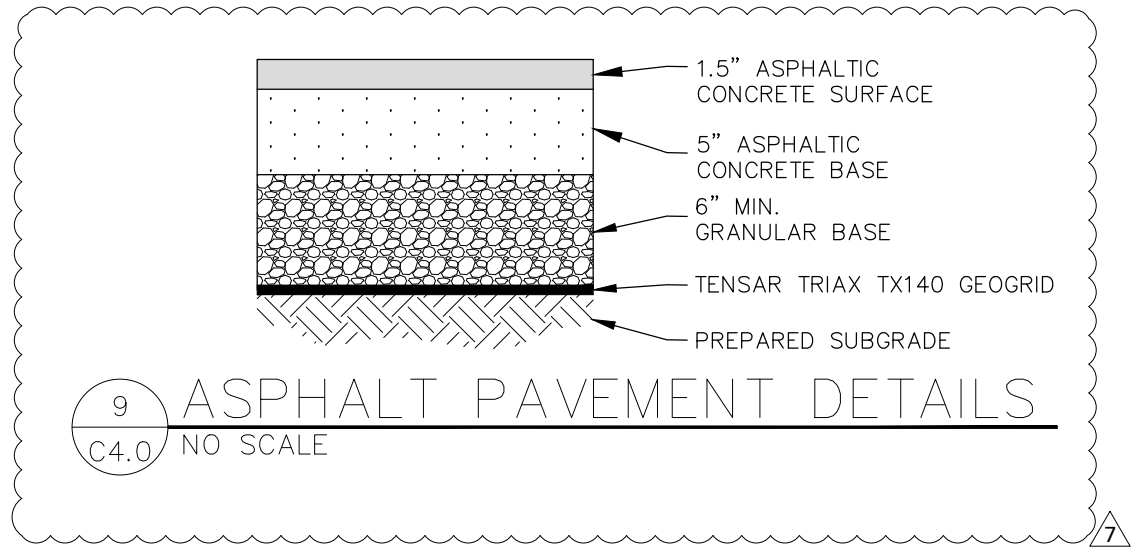
2 TYPICAL SLAB JOINT DETAILS
C4.0 NO SCALE

SUBGRADE PREPARATION NOTE

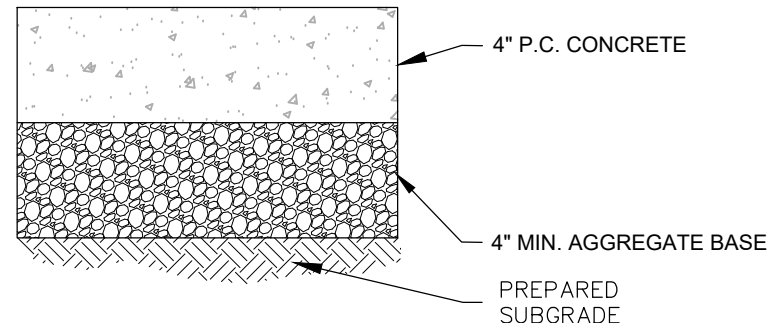
ALL EXPOSED AND/OR DISTURBED GRANULAR BASE AREAS SHALL BE COMPACTED TO A MINIMUM OF 95% OF OPTIMUM DENSITY IN ACCORDANCE W/ASTM D 1557 AT OPTIMUM MOISTURE CONTENT AND TO A MINIMUM DEPTH OF 8" - ALL SUBGRADE SOIL AREAS EXPOSED BY EXCAVATIONS AND GRADING SHALL BE COMPACTED TO A MINIMUM OF 95% OF OPTIMUM DENSITY IN ACCORDANCE W/ASTM D 1557 AT OPTIMUM MOISTURE CONTENT AND TO A MINIMUM DEPTH OF 12" - FILL WHERE REQUIRED SHALL BE PLACED IN LIFTS NOT TO EXCEED 8" LOOSE MEASURE AND SHALL BE COMPACTED AS OUTLINED ABOVE - THE ON SITE TESTING COMPANY SHALL PROVIDE TESTING AND INSPECTION OF THE SOIL WORK PRIOR TO PLACING CONCRETE



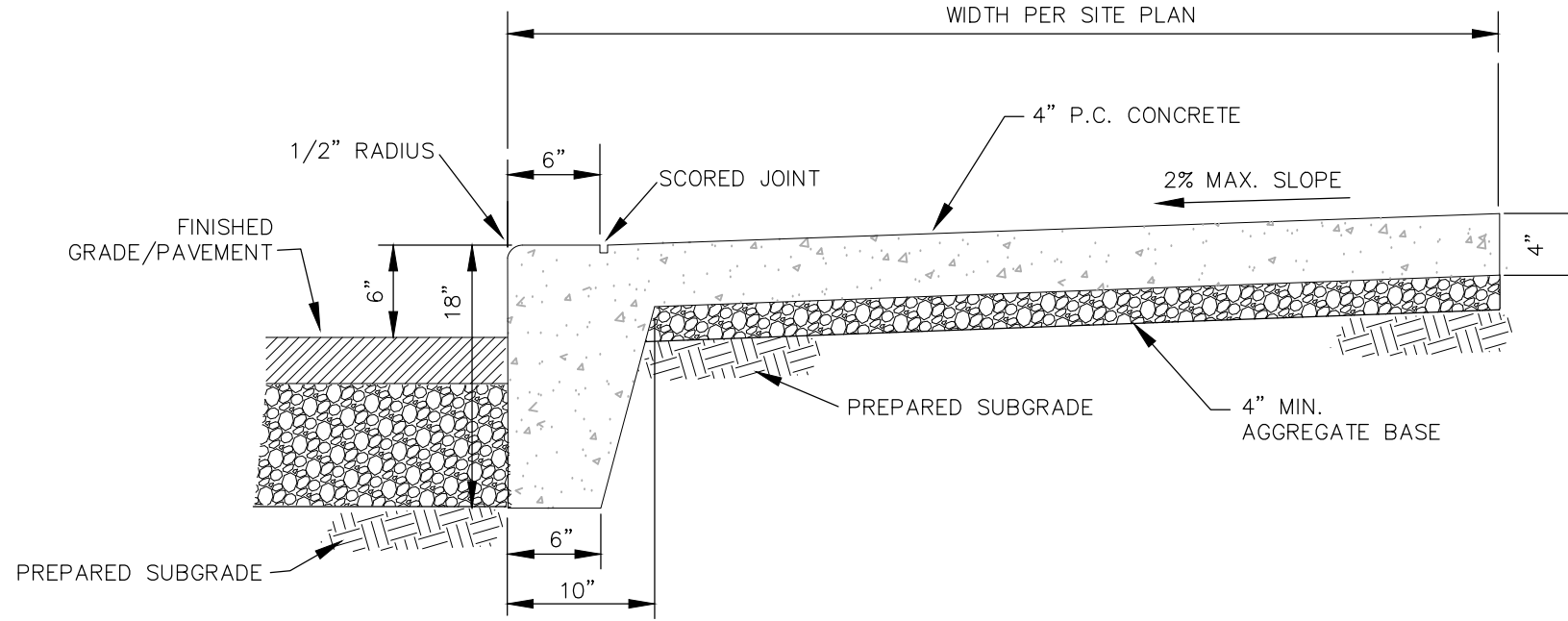
6 BARRIER CURB DETAIL
C4.0 NO SCALE



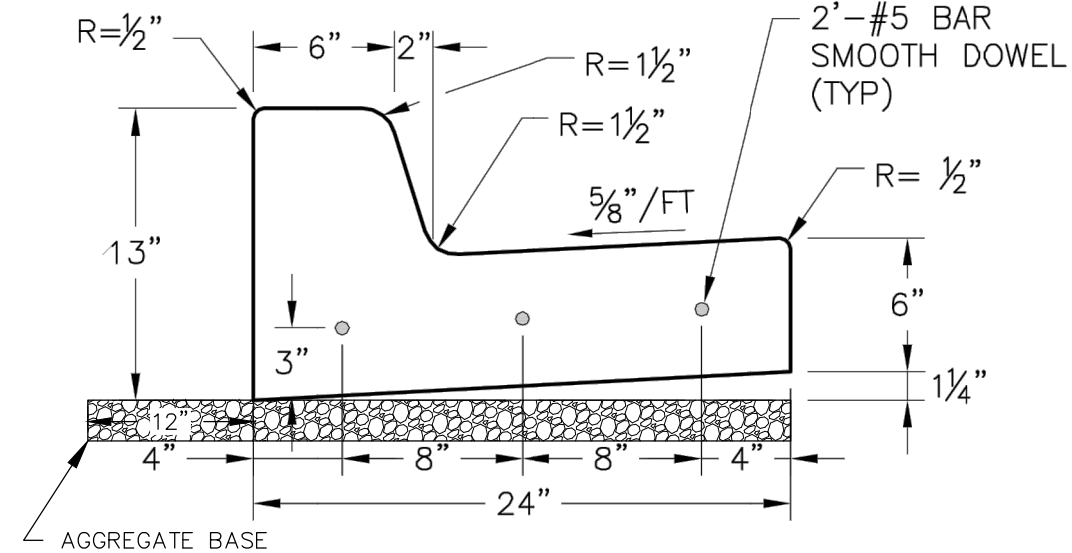
3 CONCRETE PAVEMENT DETAIL
C4.0 NO SCALE



4 CONCRETE SIDEWALK DETAIL
C4.0 NO SCALE



5 COMBINATION CURB & SIDEWALK DETAIL
C4.0 NO SCALE

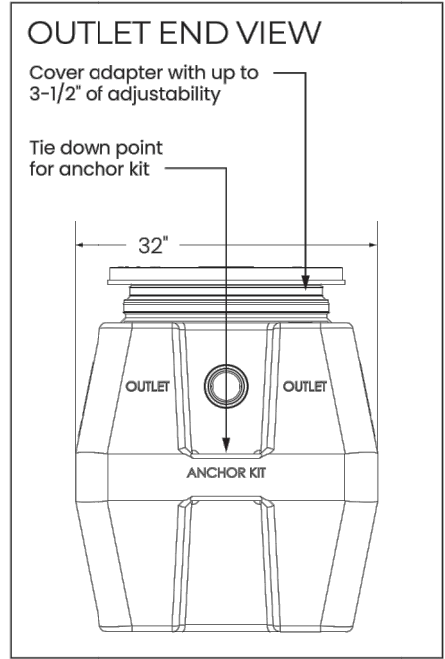
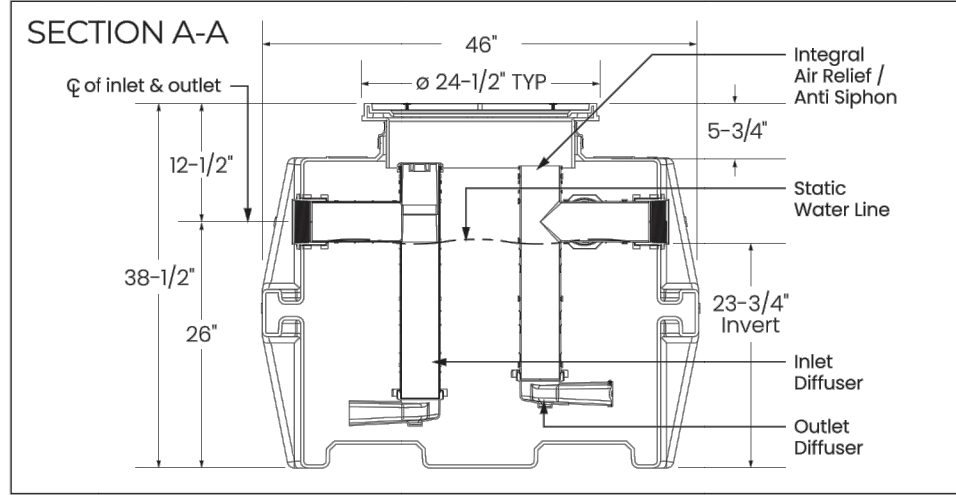
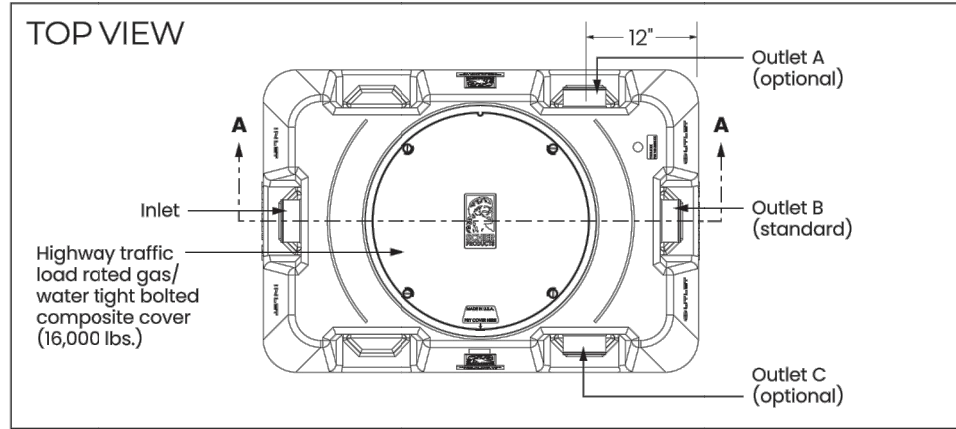


STRAIGHT BACK CURB & GUTTER
(TYPE CG-1)

7 CONCRETE CURB AND GUTTER DETAIL
C4.0 NO SCALE

SPECIFICATIONS

- NOTES**
- 4" plain end inlet/outlet
 - Unit weight - w/composite covers: 130 lbs.; w/cast iron covers: 210 lbs. (For wet weight add 10.41 lbs.)
 - Maximum operating temperature: 150° F continuous
 - Capacities - Liquid: 125 gal; Grease: 653 lbs. Solids: 19.2 gal.
 - Built-in flow control. For series installations, only install flow control on the first unit in the series if necessary.
 - For gravity drainage applications only.
 - Do not use for pressure applications.
 - Cover placement allows full access to tank for proper maintenance.
 - Vent not required unless per local code.
 - Engineered inlet and outlet diffusers with inspection ports are removable to inspect / clean piping. For series installations, the top of the inlet diffuser on the first unit in the series must be sealed.
 - Integral air relief / Anti-siphon / Sampling access.
 - Fixed outlet models (-FO) have outlet permanently welded at the factory in the straight-through (S) position.
- DIFFUSION FLOW TECHNOLOGY**
- The inlet diffuser splits influent into three paths, creating laminar flow and utilizing the entire liquid volume of the tank for efficient grease separation. The collated openings greatly reduce effluent turbulence. The effluent enters the main chamber without disturbing the existing grease or sediment layers. The integral air relief / anti-siphon in the top of the outlet diffuser allows pressure stabilization within the unit during operation. The bottom of the outlet diffuser allows only effluent which is free of grease to exit the tank. It can easily be attached to any of the three outlets provided to ease job site piping layouts.
- ENGINEER SPECIFICATION GUIDE**
- Schier Great Basin™ grease interceptor model # GB-75 shall be lifetime guaranteed and made in USA of seamless, rotationally-molded polyethylene. Interceptor shall be furnished for above or below grade installation. Interceptor shall be certified to ASME A112.14.3 (type C) and CSA B481.1, with field adjustable riser system, built-in flow control and three outlet options. Interceptor flow rate shall be 75 GPM. Interceptor grease capacity shall be 653 lbs. Cover shall provide water/gas-tight seal and have minimum 16,000 lbs. load capacity.
- CERTIFIED PERFORMANCE**
- Great Basin hydromechanical grease interceptors are third party performance-tested and listed by IAPMO to ASME #A112.14.3 and CSA B481.1 grease interceptor standards and greatly exceed requirements for grease separation and storage. They are compliant to the Uniform Plumbing Code and the International Plumbing Code.



Rated Grease Capacities for Units Piped in Series

No. of Units in Series	Removal Efficiency	
	100 GPM	96.6% 99%*
2	1,522 lbs.	861 lbs.
3	2,175 lbs.	1,598 lbs.
4	3,044 lbs.	2,335 lbs.
5	3,897 lbs.	3,072 lbs.
6	4,566 lbs.	3,809 lbs.
7	5,219 lbs.	4,546 lbs.
8	6,088 lbs.	5,283 lbs.

Units piped in series are certified to ASME A112.14.3 (Type C) and CSA B481.1, and include an internal flow control. External flow control with vent not required. Testing was performed on a series installation of 2 GB-75 units, capacities for more than 2 units piped in series were calculated using the results of the 2-series test.

* Satisfies Miami DERM 99% efficiency requirements





SCHIER
LIFETIME GUARANTEED GREASE INTERCEPTORS

MODEL NUMBER: **GB-75**

DESCRIPTION: 75 GPM Polyethylene Grease Interceptor

PART #: 4045-001-02

DWG BY: B. Karrer

DATE: 4/28/2020

REV:

ECG:

9500 Woodland Road | Edwardsville, KS 68811 | Tel: 913-951-3300 | www.schierproducts.com

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8 GREASE TRAP DETAIL
C4.0 NO SCALE

CONSTR. DOC. & REVISIONS

No.	Description	Date
DP	Development Plan Response	06-17-20
CC	City Comments	06-30-20
DP2	Development Plan Response 2	07-15-20
O3	Owner Revision 3	07-20-20
4	Clarification	07-31-20
6	Owner Revision	08-20-20
7	Pavement/Drainage Revision	09-23-20

CASCO DIVERSIFIED CORPORATION
CERTIFICATE OF AUTHORITY
#000613 12/31/21

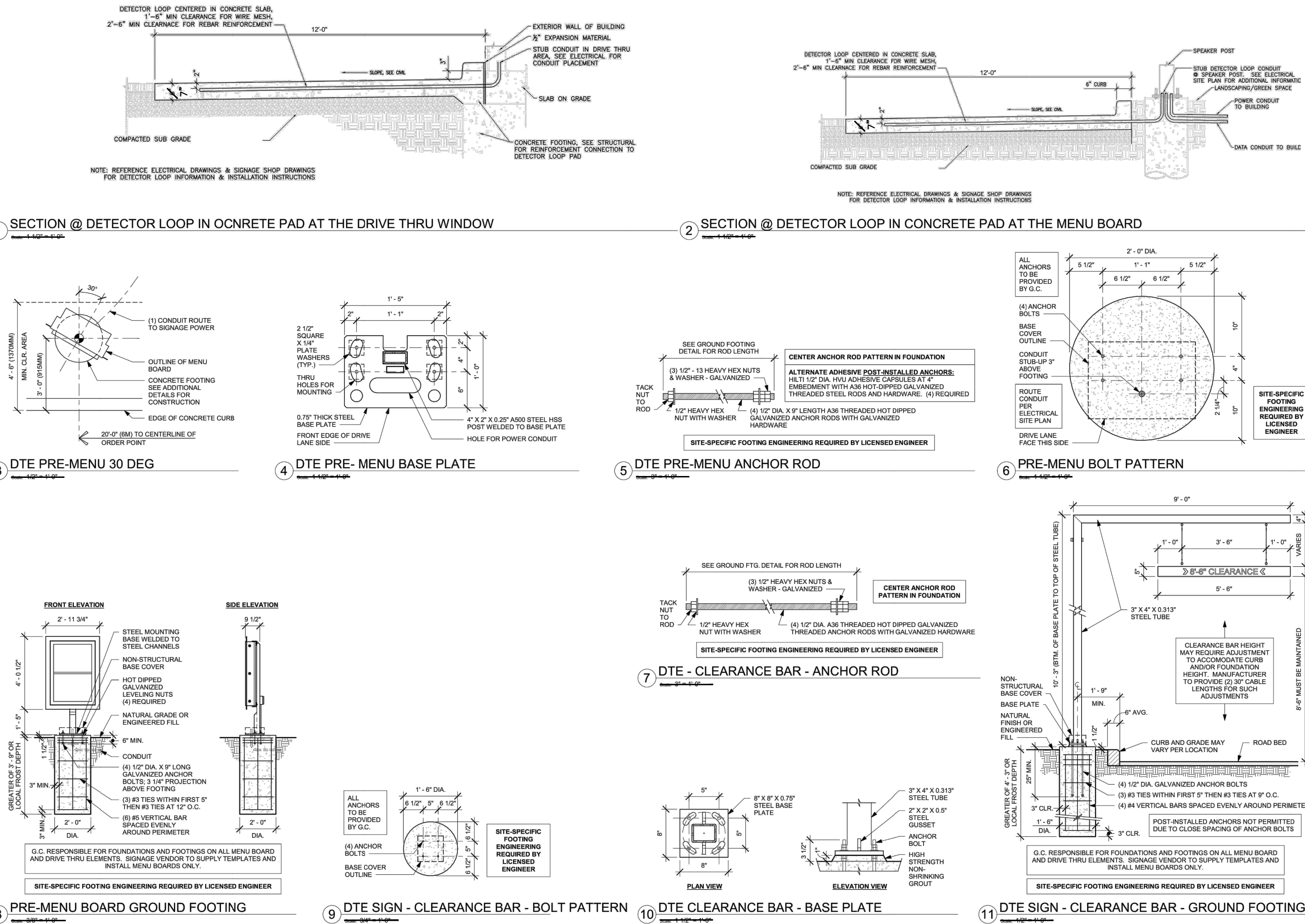
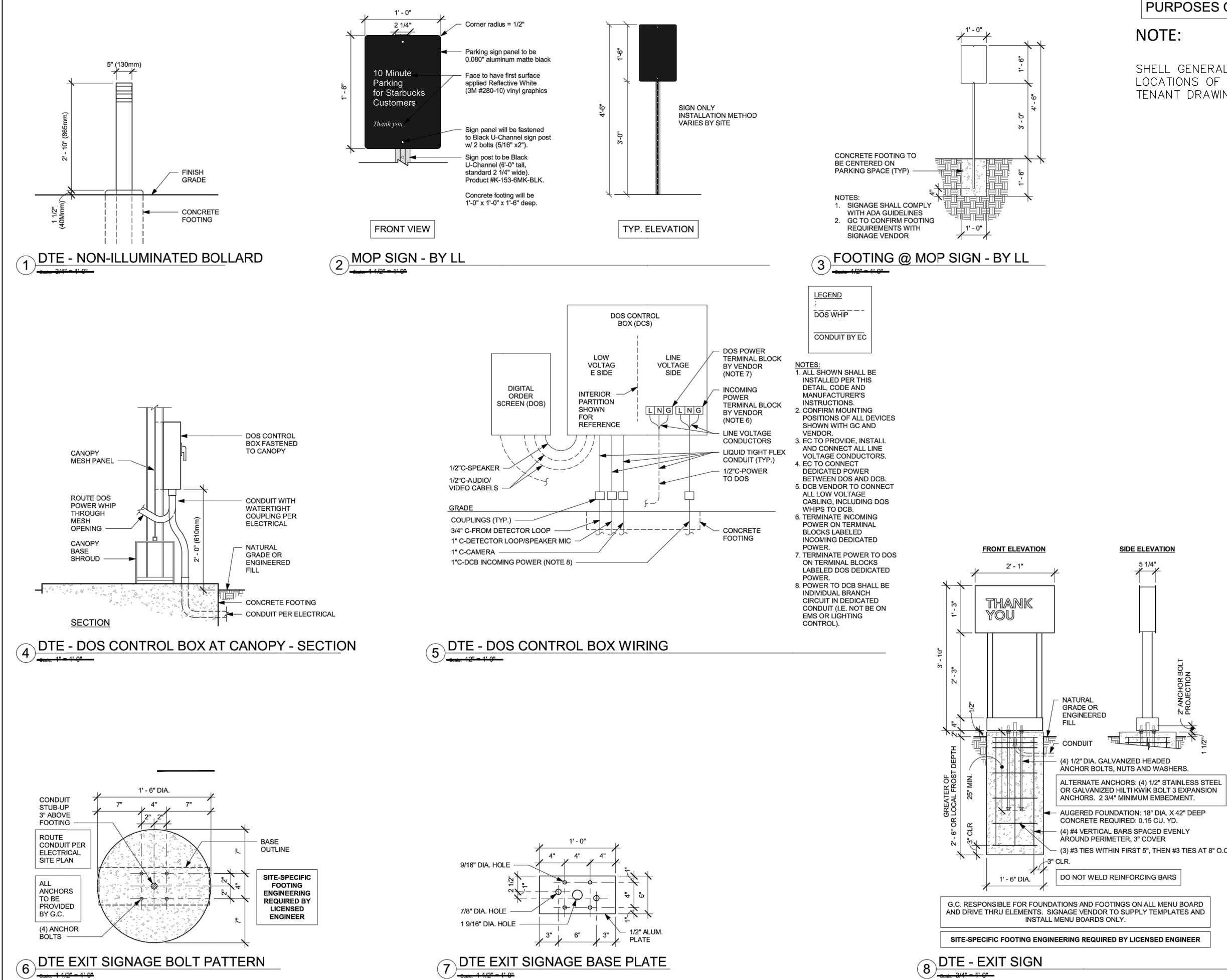


09-23-20

PROFESSIONAL OF RECORD
Buers III, Thomas E.
License NO. PE-2018000174
Expiration Date 12/31/20

Drawn By/Checked By: MEB/TEB
Project Number 320488
Permit Date 06-17-20

SITE DETAILS



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STARRBUCK TEMPLATE VERSION: 12/20/2014

NORR

PROJECT NAME:
BUILDOUT OF STARBUCKS
COFFEE RT. 291 & 150

STORE #:	63039
PROJECT #:	88084-001
ISSUE DATE:	07-13-2020
SR. DESIGN MANAGER:	K. GORIN-SLONS
PRODUCTION DESIGNER:	A. MAUSER
CHECKED BY:	NORR

Revision Schedule			
Rev	Date	By	Description

SHEET TITLE:
**ARCHITECTURAL SITE
DETAILS**

SHEET NUMBER:
A003



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STARBUCKS TEMPLATE VERSION (2020-0)

NORD

PROJECT NAME: BUILDOUT OF STARBUCKS COFFEE RT. 291 & 150

STORE #: 63039
PROJECT #: 88084-001
ISSUE DATE: 07-13-2020
SR. DESIGN MANAGER: K. GORIN-SLON
PRODUCTION DESIGNER: AJMAUSER
CHECKED BY: NBBP

[illegible]

SHEET TITLE:
ARCHITECTURAL SITE
DETAILS

SHEET NUMBER: A004

BUILDING RENOVATION
155 SW M-150 HIGHWAY
LEE'S SUMMIT, MO 64082

CONSTR. DOC. & REVISIONS		
No.	Description	Date
DP	Development Plan Response	06-17-20
CC	City Comments	06-30-20
DP2	Development Plan Response 2	07-15-20
O3	Owner Revision 3	07-20-20
	4. Clarification	07-31-20
6	Owner Revision	08-20-20
7	Pavement/Drainage Revision	09-23-20

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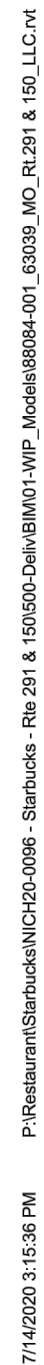
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Buerk III, Thomas E.
License NO. PE-2018000174
Expiration Date 12/31/20

Drawn By/Checked By:	ME
Project Number	3
Permit Date	06

SITE DETAIL

C41

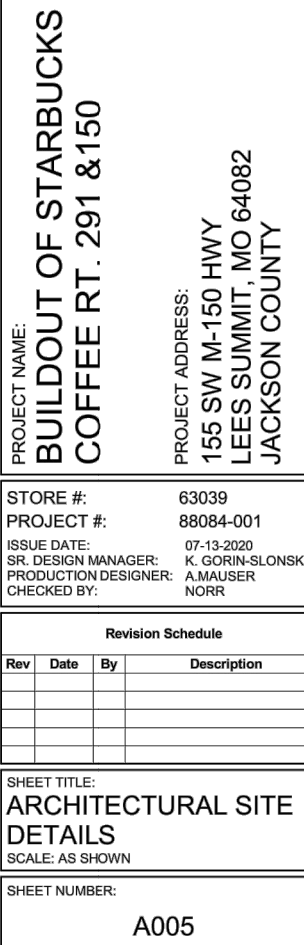
C4.1



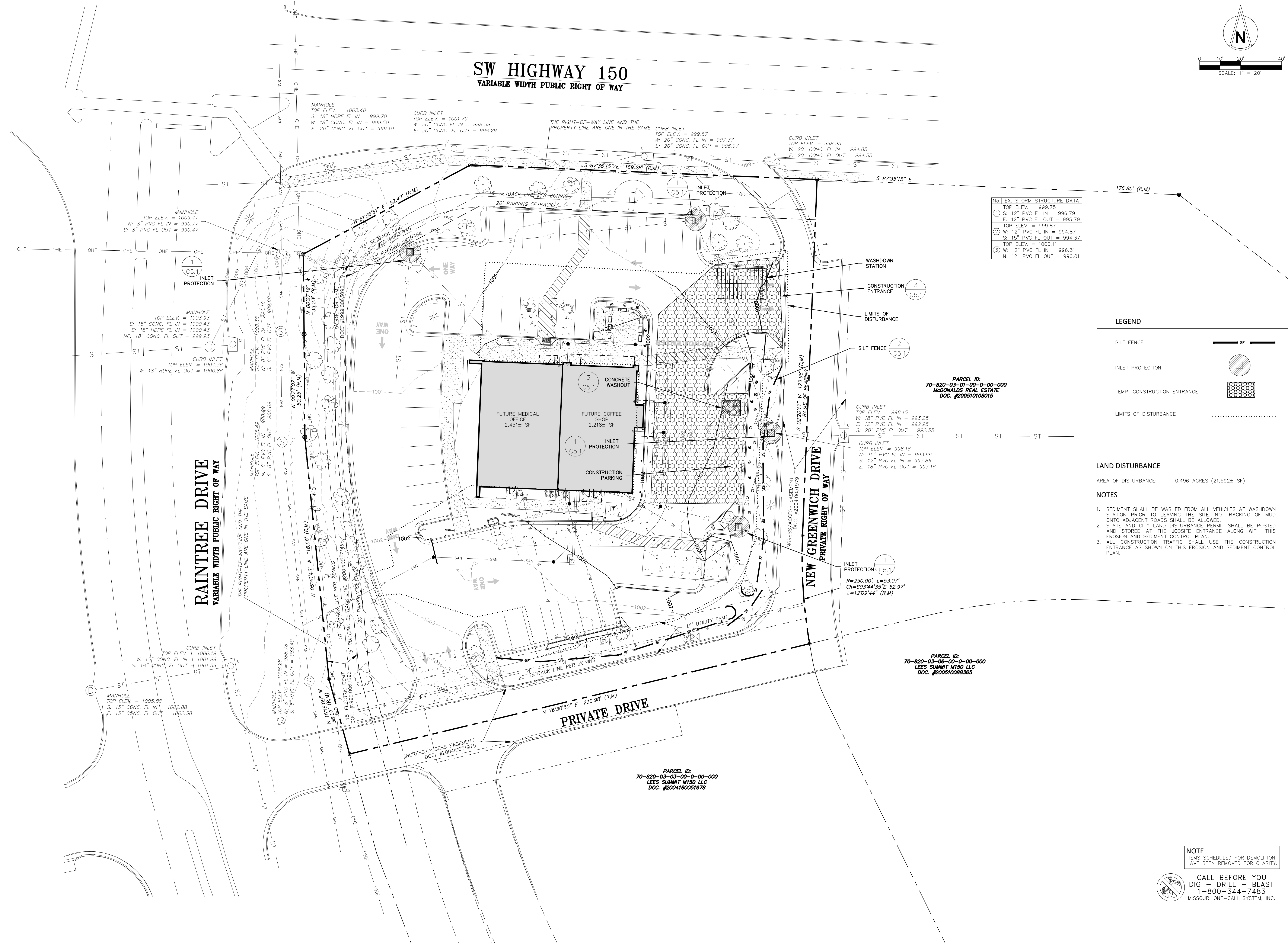
SEE SEPARATE DETAIL FOR ANCHOR ROD PATTERN IN FOUNDATION

ALTERNATE ADHESIVE POST-INSTALLED ANCHORS:
HILTI 1/2" DIA. HVA ADHESIVE CAPSULES AT 8" EMBEDMENT WITH A308
HOT-DIPPED GALVANIZED THREADED STEEL RODS AND HARDWARE.
(3) REQUIRED

A308 THREADED HOT DIPPED GALVANIZED
RODS WITH GALVANIZED HARDWARE



ITE DETAILS



No.	EX. STORM STRUCTURE DATA
1	TOP ELEV. = 999.75 S: 12" PVC FL IN = 996.79 E: 12" PVC FL OUT = 995.79
2	TOP ELEV. = 999.87 W: 12" PVC FL IN = 994.87 S: 15" PVC FL OUT = 994.37
3	TOP ELEV. = 1000.11 W: 12" PVC FL IN = 996.31 N: 12" PVC FL OUT = 996.01

LEGEND	
SILT FENCE	
INLET PROTECTION	
TEMP. CONSTRUCTION ENTRANCE	
LIMITS OF DISTURBANCE	

LAND DISTURBANCE
AREA OF DISTURBANCE: 0.496 ACRES (21,592± SF)

- NOTES
1. SEDIMENT SHALL BE WASHED FROM ALL VEHICLES AT WASHDOWN STATION PRIOR TO LEAVING THE SITE. NO TRACKING OF MUD ONTO ADJACENT ROADS SHALL BE ALLOWED.
 2. STATE AND CITY LAND DISTURBANCE PERMIT SHALL BE POSTED AND STORED AT THE JOBSITE ENTRANCE ALONG WITH THIS EROSION AND SEDIMENT CONTROL PLAN.
 3. ALL CONSTRUCTION TRAFFIC SHALL USE THE CONSTRUCTION ENTRANCE AS SHOWN ON THIS EROSION AND SEDIMENT CONTROL PLAN.

CONSTR. DOC. & REVISIONS	
No.	Description
DP	Development Plan Response
CC	City Comments
DP2	Development Plan Response 2
O3	Owner Revision 3
4	Clarification
6	Owner Revision
7	Pavement/Drainage Revision

CASCO DIVERSIFIED CORPORATION
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#00613 12/31/21



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Drawn By/Checked By:	MEB/TEB
Project Number	320488
Permit Date	06-17-20

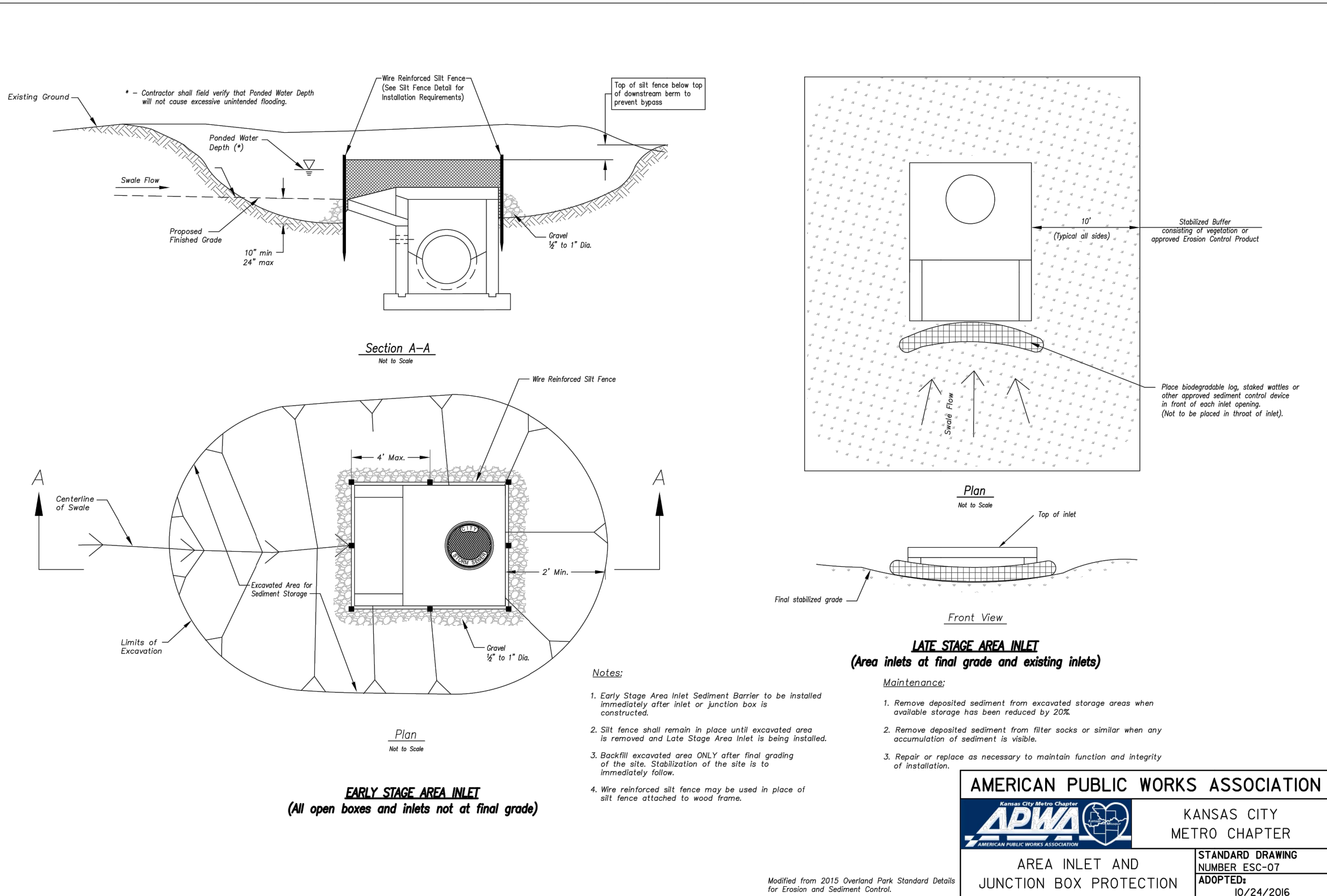
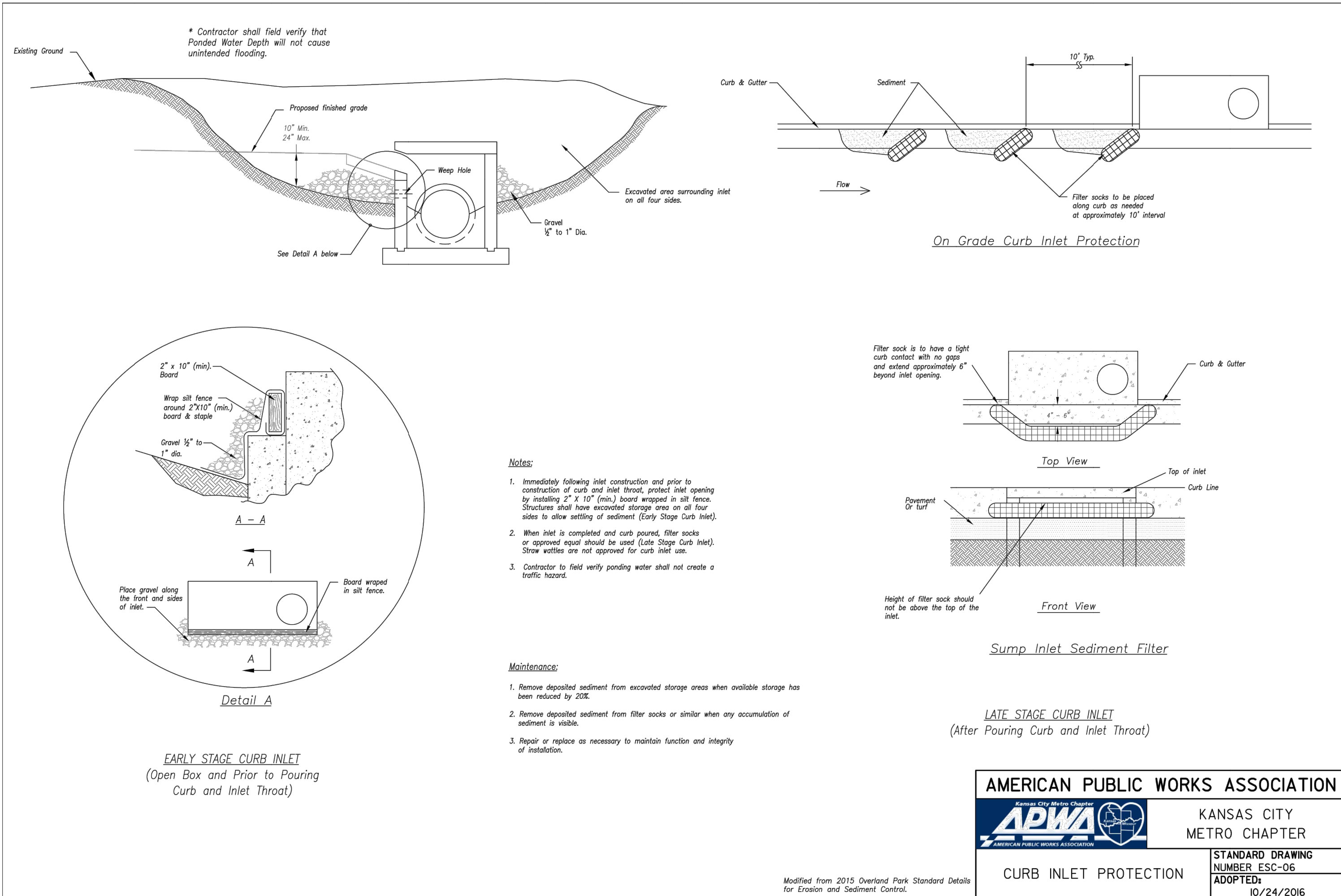
EROSION & SEDIMENT CONTROL PLAN

C5.0

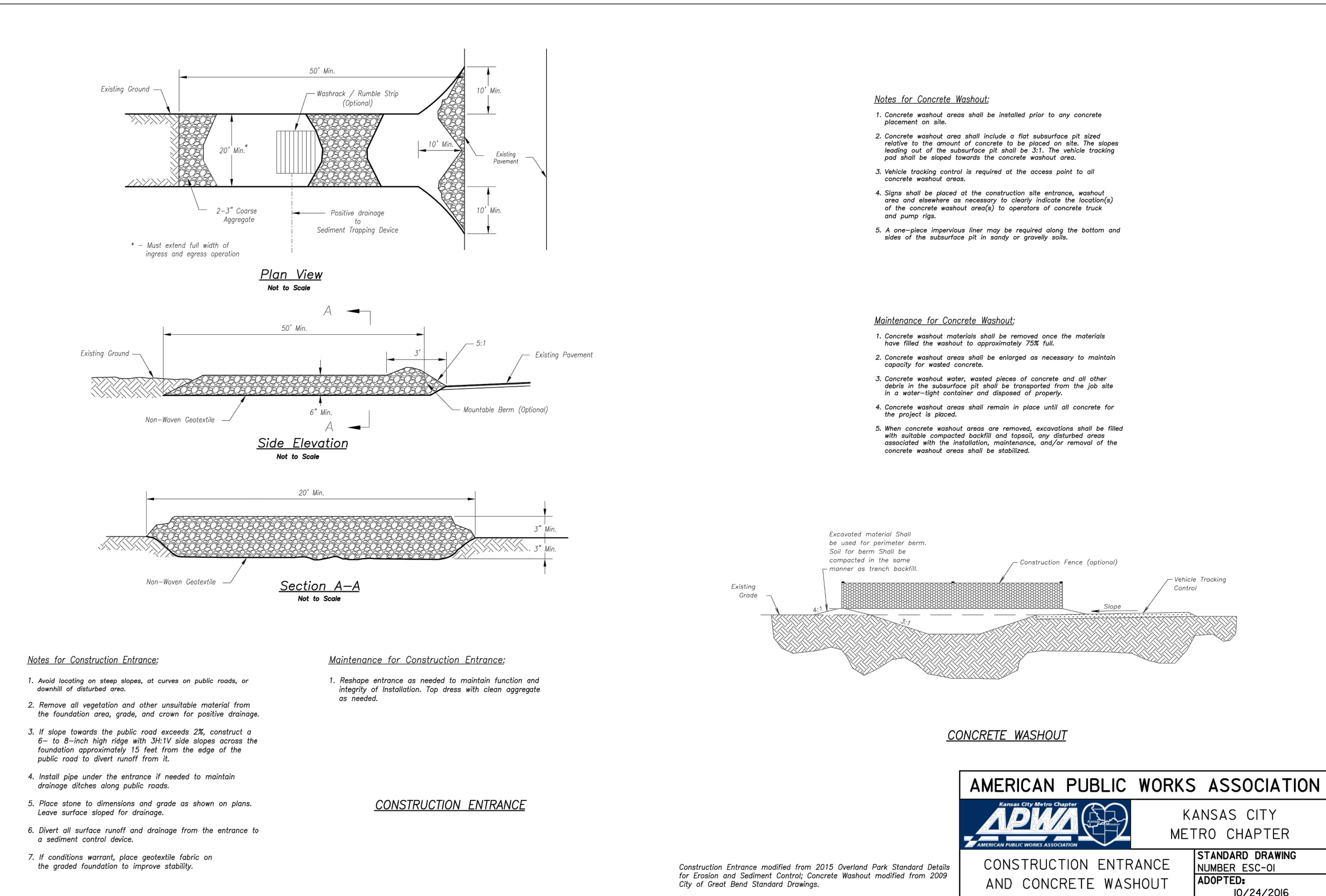
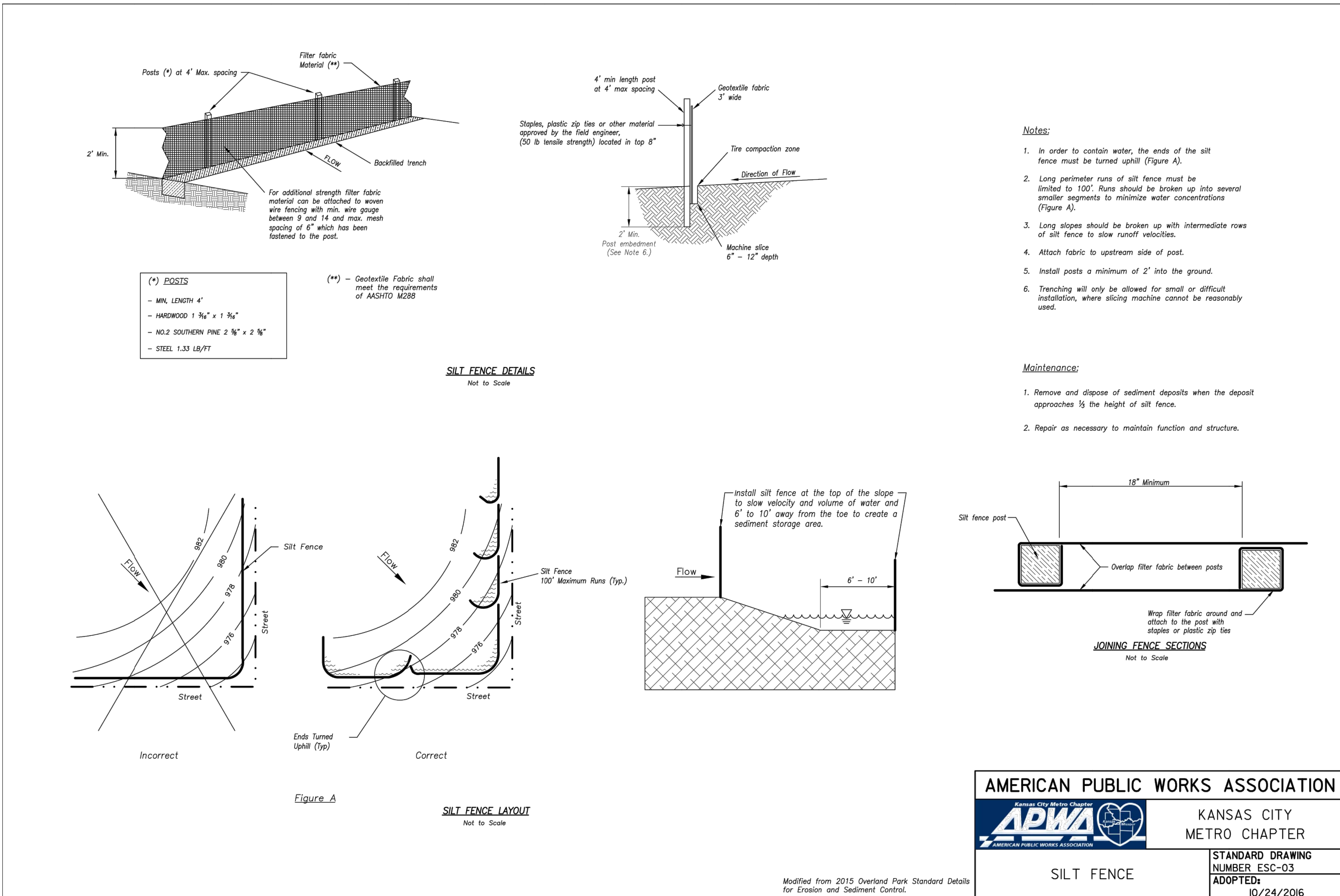


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MISSOURI ONE-CALL SYSTEM, INC.

NOTE
ITEMS SCHEDULED FOR DEMOLITION
HAVE BEEN REMOVED FOR CLARITY.



INLET PROTECTION DETAILS



SILT FENCE DETAIL

CONSTRUCTION ENTRANCE & CONCRETE WASHOUT DETAIL

CONSTR. DOC. & REVISIONS

No.	Description	Date
DP	Development Plan Response	06-17-20
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EROSION & SEDIMENT CONTROL DETAILS

C5.1