



LOT 3  
TOWER PARK COMMERCIAL-PHASE 2  
OWNER: GALE COMMUNITIES INC

LOT 5  
TOWER PARK COMMERCIAL-PHASE 2  
LOTS 5,6,7, TRACTS A&B  
510 SW TOWER PARK DRIVE  
(OWNER: JVM NEW LONGVIEW LLC)

460 SW LONGVIEW BLVD  
(OWNER: JVM NEW LONGVIEW LLC)

LOT 6  
TOWER PARK COMMERCIAL-PHASE 2  
LOTS 5,6,7, TRACTS A&B

NOTE:  
NO PART OF THE PROJECT LIES WITHIN THE 100 YEAR FLOOD PLAIN PER FEMA  
FLOOD INSURANCE RATE MAP NUMBER 29095C0414G DATED JANUARY 20, 2017.



1-800-344-7483 or 811  
mo1call.com

PROJECT BENCHMARK:

MONUMENT FOUND  
CHISELED "SQUARE" ON STORM CURB INLET #30  
AT NORTHWEST INTERSECTION OF SW. TOWER  
PARK DRIVE AND SW. LONGVIEW BOULEVARD.

NORTHING: 998893.4148  
EASTING: 2803318.5413

ELEV. 1004.09

GRADING LEGEND:

- EX.XX EXTG. SPOT ELEVATION  
• XX.XX PROPOSED TOP OF CURB ELEV.  
• XX.XX PROPOSED PAVEMENT GRADE ELEV.  
OR LIP OF CURB ELEVATION  
F.F.E. FINISHED FLOOR ELEVATION  
- - - 1023 - - - EXISTING CONTOUR  
— 1023 — PROPOSED CONTOUR

\* - ALL SIDEWALKS TO BE INSTALLED WITH A 1.5% MAXIMUM  
CROSS SLOPE.

PAVEMENT LEGEND:

- PROPOSED ASPHALT PAVEMENT  
EXISTING ASPHALT PAVEMENT  
PROPOSED 4" CONCRETE SIDEWALK  
PROPOSED CONCRETE PAVEMENT  
EXISTING CONCRETE SIDEWALK  
TYPE CG-1 CURB & GUTTER  
TYPE CG-1 CURB & GUTTER - DRY  
CONC. RIBBON CURB  
EXISTING CURB & GUTTER  
REMOVE EXISTING ASPHALT PAVEMENT  
X=X=X=X=X=X REMOVE EXISTING CONC. CURB AND GUTTER

GRADING NOTES:

- NO EDGE DRAINS OR UNDERDRAINS ARE INDICATED BEHIND THE CURBS. OWNER SHOULD CONSIDER THE INSTALLATION OF UNDERDRAINS DUE TO THE IRRIGATION OF GREENSPACE AREAS OF THE SITE.
- RECOMMEND A GEOTECHNICAL ENGINEER REVIEW ALL EARTHWORK ACTIVITY TO MAKE SURE RECOMMENDATIONS IN GEOTECHNICAL REPORT ARE FOLLOWED.
- PRIOR TO PLACEMENT OF CURB AND GUTTER AND PAVEMENT, GEOTECHNICAL ENGINEER MUST APPROVE SUBGRADE IN WRITTEN FORM TO THE OWNER AND PROJECT ENGINEER.
- ALL UTILITY INSTALLATIONS UNDER PAVED AREAS MUST BE COMPACTED AS PER THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER AND/OR GEOTECHNICAL REPORT.
- ALL CONSTRUCTION SHALL COMPLY WITH THE CITY OF LEE'S SUMMIT TECHNICAL SPECIFICATIONS.
- EXISTING TOPOGRAPHY SHOWN AS ESTABLISHED FROM BASE SURVEY PREPARED BY SCHLAGEL AND ASSOCIATES, P.A. - VERIFY GRADES PRIOR TO COMMENCEMENT OF GRADING AND CONSTRUCTION ACTIVITIES. NO ADDITIONAL MONEY WILL BE PAID FOR HAUL-IN OR HAUL-OFF OF MATERIAL.
- ALL ROCK, CONCRETE, ASPHALT, TREE, BRUSH, ETC. TO BE REMOVED AS A PART OF THE PROJECT CONSTRUCTION SHALL BE DISPOSED OF BY THE GRADING CONTRACTOR AND SHALL BE A SUBSIDIARY OBLIGATION OF THE CONTRACT. THE GRADING CONTRACTOR IS ALSO RESPONSIBLE FOR ALL GRADING ON THE SITE INCLUDING THE MANIPULATION OF THE EXCESS DIRT MATERIAL THAT WAS LEFT ALONG THE SEWER TRENCHES. THE COST FOR THIS WORK WILL BE INCLUDED IN THE LUMP SUM FEE FOR GRADING.
- ENTIRE PROJECT SHALL BE LEFT IN A MOWABLE CONDITION. ALL DISTURBED AREAS SHALL BE SEEDED & MULCHED AS PER PROJECT REQUIREMENTS. ALL DISTURBED AREAS WITHIN THE PUBLIC STREET RIGHT-OF-WAY SHALL BE SODDED IN COMPLIANCE WITH THE CITY OF LEE'S SUMMIT TECHNICAL SPECIFICATIONS AND MUNICIPAL CODE.
- THE CONTRACTOR SHALL PROVIDE FOR POSITIVE DRAINAGE AWAY FROM BUILDINGS AND SIDEWALKS AT ALL TIMES.
- THE CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL PROPERTY CORNERS. ANY PROPERTY CORNERS DISTURBED OR DAMAGED BY GRADING ACTIVITIES SHALL BE RESET BY A PROFESSIONAL LAND SURVEYOR LICENSED IN THE STATE OF MISSOURI, AT THE CONTRACTOR'S EXPENSE.



PREPARED BY:

SCHLAGEL & ASSOCIATES, P.A.

TOWER PARK COMM. - LOT 7 - NORTH BLDG.  
PRELIMINARY DEVELOPMENT PLANS  
420 SW LONGVIEW LEE'S SUMMIT, MISSOURI

REVISION DATE	DESCRIPTION
8-25-2020	City Planning - PDP Review
8-25-2020	City Planning - PDP Review
8-25-2020	City Planning - PDP Review
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GRADING PLAN

SHEET

C2.0



LOT 3  
COMMERCIAL-PHASE 2  
E COMMUNITIES INC

LOT 5  
COMMERCIAL-PHASE 2  
TRACTS A&B  
TOWER PARK DRIVE  
NEW LONGVIEW LLC

NOTE:  
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FLOOD INSURANCE RATE MAP NUMBER 29095C0414G DATED JANUARY 20, 2017.



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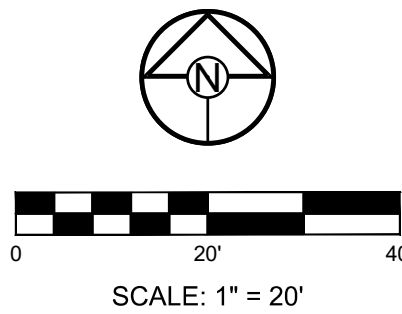
ELEV. 1004.09



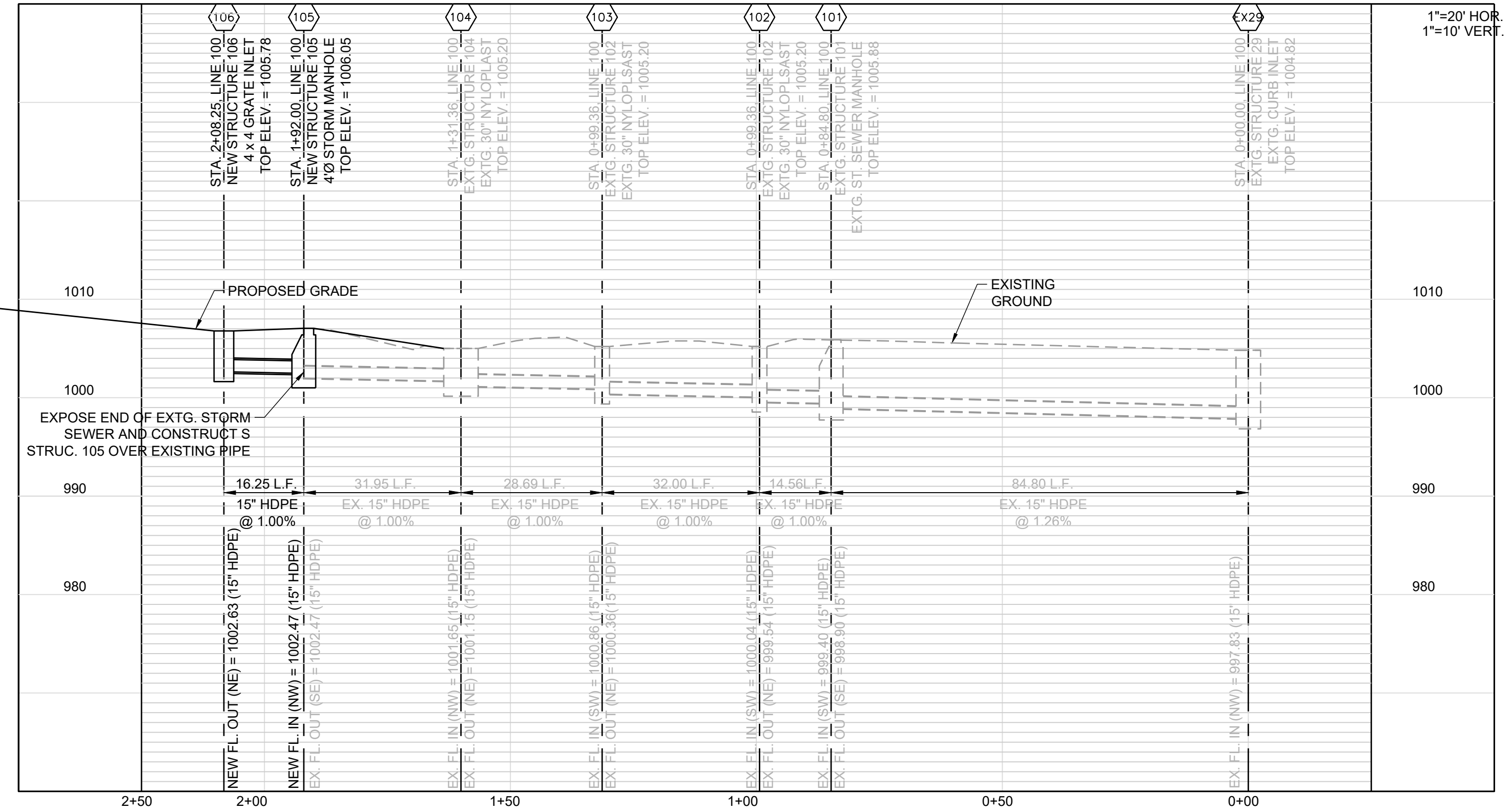
Schlagel & Associates, P.A.

Project Name:	Tower Park - Lot 7 - Phase 2	Curb Type:	CG-1
Project #:	20-106	City:	Lee's Summit
Time:	6/23/2020 12:51		
Design Storm:	100		
"K" Value:	1.25		
"F" Factor:	1.00		

Runoff Calculations											Pipe Properties																
Inlet #	Area (acres)	"C" Value	Cumul. Area (acres)	Cumul. Cx/A	To	Intensity	Runoff To Inlet	Cumul. Runoff	Pipe Cap.	Pipe Vel.	Up Piped Inlet 1	Up Piped Inlet 2	Up Area (acres)	Up Cx/A	Up Inlet	Down Inlet	Pipe Type	"n" Value	Pipe Size	Length	Slope %	Drop In Inlet	FL Up	FL Down	Inlet Top	HGL Elev.	
LINE 100																											
101	0.00	0.81	0.62	0.50	5.4	10.17	0.00	6.39	7.86	6.40			0.00	0.00	101		PEP	0.012	15	84.80	1.26	0.50	998.90	997.63	1005.58	1000.19	FREE
102	0.03	0.81	0.62	0.50	5.3	10.19	0.31	6.40	7.00	5.70			0.00	0.00	102	101	PEP	0.012	15	14.56	1.00	0.50	999.54	999.40	1005.20	1000.84	
103	0.03	0.81	0.59	0.48	5.2	10.23	0.31	6.11	7.00	5.70			0.00	0.00	103	102	PEP	0.012	15	32.00	1.00	0.50	1000.36	1000.04	1005.20	1001.63	
104	0.24	0.81	0.56	0.45	6.1	10.26	3.49	5.83	7.00	5.70			0.00	0.00	104	103	PEP	0.012	15	28.69	1.00	0.50	1001.15	1000.86	1005.00	1003.38	
105	0.00	0.81	0.32	0.26	5.0	10.30	0.00	3.34	7.00	5.70			0.00	0.00	105	104	PEP	0.012	15	31.95	1.00	0.50	1001.97	1001.65	1006.05	1002.86	
106	0.32	0.81	0.32	0.26	5.0	10.32	3.34	3.34	7.00	5.70			0.00	0.00	106	105	PEP	0.012	15	16.25	1.00	N/A	1002.63	1002.47	1005.75	1003.52	



STORM LINE 100 PROFILE



PREPARED BY:

SCHLAGEL & ASSOCIATES, P.A.

TOWER PARK COMM. - LOT 7 - NORTH BLDG.  
PRELIMINARY DEVELOPMENT PLANS  
420 SW LONGVIEW LEE'S SUMMIT, MISSOURI

REVISION DATE	DESCRIPTION	DRAWN BY	CHECKED BY	DATE PREPARED	PROJ. NUMBER
8-25-2020	City Planning - PDP Review	###	###	07/28/2020	20-106
STORM SEWER PLAN AND PROFILE					
SHEET					
C3.0					



**LOT 3**  
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**UTILITY INFORMATION & CONTACTS:**

Missouri Gas Energy  
Attn: Lucas Walls  
3025 Southeast Clover Drive  
Lee's Summit, Missouri 64082  
Phone: (816) 969-2218  
Email: lucas.walls@sug.com

Kansas City Power & Light  
Attn: Phillip Ingram  
1300 Hamblen Road  
Lee's Summit, Missouri 64081  
Phone: (816) 347-4339  
Email: phillip.ingram@kcpl.com

Sewer and Water - City of Lee's Summit  
220 SE Green Street  
Lee's Summit, Missouri 64063  
Phone: (816) 969-1900  
Email: publicworks@cityofls.net

AT&T  
Attn: Herb Upshaw  
9444 Nall Avenue  
Overland Park, Kansas 66207  
Phone: (913) 383-4929  
Email: hu4112@att.com

811  
Missouri One Call - 1-800-344-7483

**UTILITY STATEMENT:**

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDON. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.

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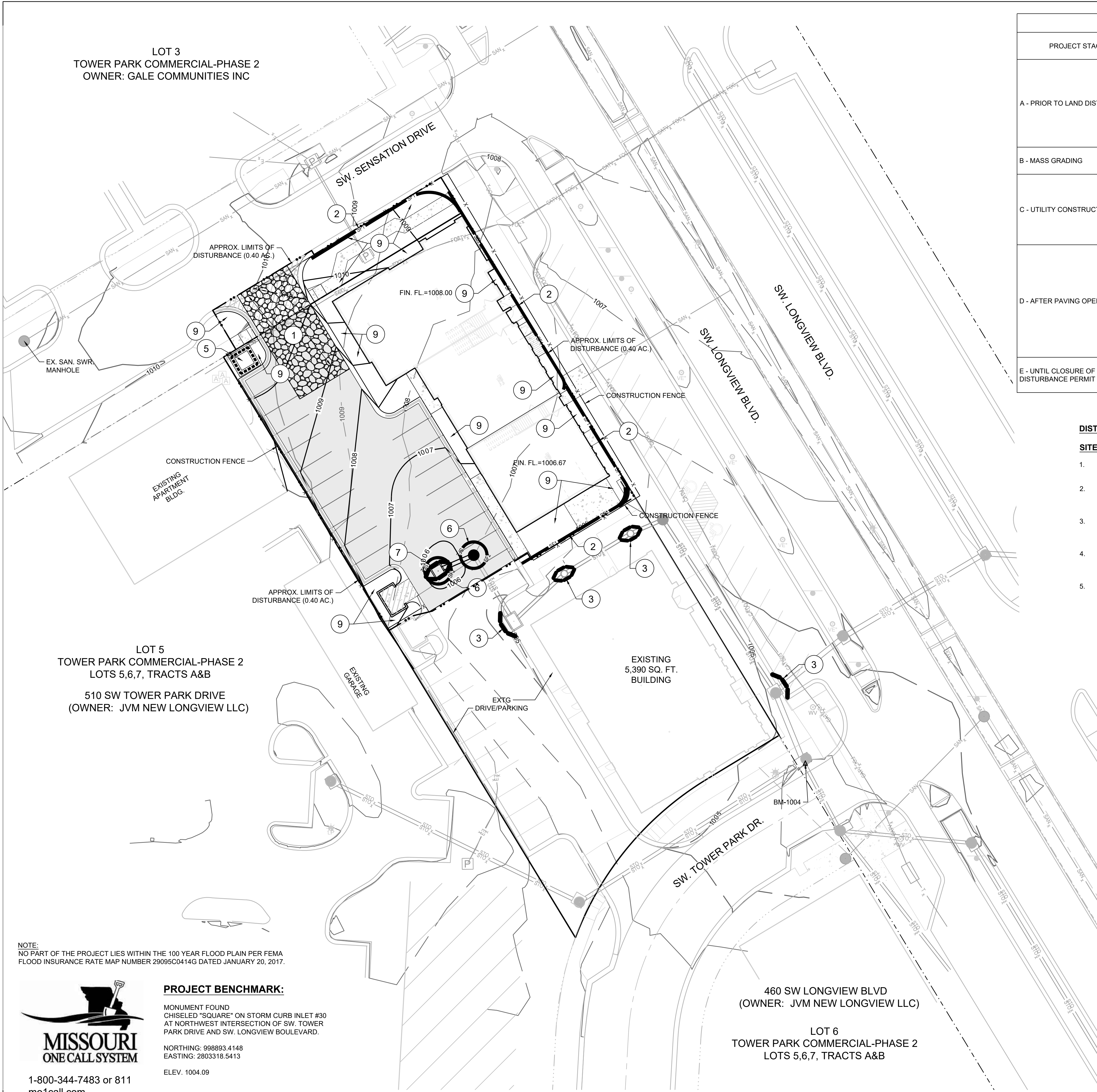
**MISSOURI ONE CALL SYSTEM**  
1-800-344-7483 or 811  
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SCALE: 1" = 20'

# C4.0







EROSION AND SEDIMENT CONTROL STAGING CHART				
PROJECT STAGE	BMP PLAN REF. NO	BMP DESCRIPTION	REMOVE AFTER STAGE	NOTES:
A - PRIOR TO LAND DISTURBANCE	1	CONSTRUCTION ENTRANCE & STAGING AREA	D	MAINTAIN, REPAIR, OR REPLACE AS NECESSARY
	2	SILT FENCE (PRIOR TO LAND DISTURBANCE)	E	PLACE WHERE INDICATED, REPAIR OR REPLACE AS NECESSARY AND REMOVE ONLY WHEN GRADED AREAS HAVE SUFFICIENT GROUND COVER ESTABLISHED
	3	EXISTING INLET PROTECTION (GRAVEL CURB INLET SEDIMENT TRAP)	E	PLACE WHERE INDICATED, REPAIR OR REPLACE AS NECESSARY AND REMOVE ONLY WHEN GRADED AREAS HAVE SUFFICIENT GROUND COVER ESTABLISHED
B - MASS GRADING	4	SILT FENCE (DURING CONSTRUCTION)	E	PLACE WHERE INDICATED, REPAIR OR REPLACE AS NECESSARY AND REMOVE ONLY WHEN GRADED AREAS HAVE SUFFICIENT GROUND COVER ESTABLISHED
C - UTILITY CONSTRUCTION	5	CONCRETE WASHOUT AREA	E	MAINTAIN, REPAIR, OR REPLACE AS NECESSARY
	6	INLET PROTECTION (SILT FENCE)	D/E	PLACE SILT FENCE AROUND ALL STORM SEWER STRUCTURES / YARD AREA STORM STRUCTURES PRIOR TO TOPS BEING PLACED SILT FENCE REMOVED & REPLACE WITH #7 BELOW WITH PLACEMENT OF TOPS AND/OR STABILIZATION OF DRAINAGE AREAS.
D - AFTER PAVING OPERATIONS	7	INLET PROTECTION (GRAVEL FILTER BAGS)	E	BOARDS SHALL BE PLACED IN FRONT OF INLET OPENING FROM THE TIME SILT FENCE IS REMOVED UNTIL SUCH TIME THAT THE CURB / THROAT IS POURED. PLACE GRAVEL FILTER BAGS AT THE OPENING OF ALL CURB INLETS IMMEDIATELY AFTER THE INLET THROATS ARE POURED
	8	SILT FENCE (AFTER CURB CONSTRUCTION)	E	PLACE WHERE INDICATED, REPAIR OR REPLACE AS NECESSARY AND REMOVE ONLY WHEN GRADED AREAS HAVE SUFFICIENT GROUND COVER ESTABLISHED
	9	SEEDING AND MULCHING	E	ALL DISTURBED AREAS AFTER 14 DAYS OF CONSTRUCTION INACTIVITY
E - UNTIL CLOSURE OF LAND DISTURBANCE PERMIT	10			ADDITIONAL SEDIMENT AND EROSION CONTROL MEASURES MAY BE REQUIRED ANY TIME CURRENT MEASURES ARE FOUND TO BE INEFFECTIVE.

**DISTURBED AREA = 0.40 A.C.**

**SITE SPECIFIC NOTES:**

1.

THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL EXISTING UTILITY LOCATIONS PRIOR TO EXCAVATION.
2.

THERE ARE NO WETLANDS, NATURAL OR ARTIFICIAL WATER STORAGE DETENTION AREAS IN THE PROJECT AREA.
3.

NO PART OF THE PROJECT LIES WITHIN THE 100 YEAR FLOOD PLAIN PER FEMA FLOOD INSURANCE RATE MAP NUMBER 29095C0414G DATED JANUARY 20, 2017.
4.

ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE IMPLEMENTED ACCORDING TO THE BMP STAGING CHART.
5.

ADDITIONAL EROSION CONTROL MAY BE REQUIRED BY THE CITY ENGINEER AT ANY TIME EXISTING MEASURES ARE FOUND TO BE INEFFECTIVE OR PROBLEMATIC AREAS ARE NOTED IN THE FIELD.
6.

STABILIZATION OF DISTURBED AREAS MUST, AT A MINIMUM, BE INITIATED IMMEDIATELY WHENEVER ANY CLEARING, GRADING, EXCAVATING, OR OTHER SOIL DISTURBING ACTIVITIES HAVE PERMANENTLY CEASED ON ANY PORTION OF THE SITE, OR TEMPORARILY CEASED ON ANY PORTION OF THE SITE AND WILL NOT RESUME FOR A PERIOD EXCEEDING 14 CALENDAR DAYS. THE DISTURBED AREAS SHALL BE PROTECTED FROM EROSION BY STABILIZING THE AREA WITH MULCH OR OTHER SIMILARLY EFFECTIVE SOIL STABILIZING BMPs. INITIAL STABILIZATION ACTIVITIES MUST BE COMPLETED WITHIN 14 DAYS AFTER SOIL DISTURBING ACTIVITIES CEASE.
7.

ALL PERIMETER SILT FENCE, EARTH DIKES, SEDIMENT BASINS, AND ROCK CONSTRUCTION ENTRANCES WILL BE INSTALLED BEFORE GRADING OPERATIONS BEGIN.
8.

SILT FENCE AND EARTH DIKES THAT ARE PLACED BEFORE GRADING BEGINS WILL BE MAINTAINED BY THE GRADING CONTRACTOR.
9.

AREAS WITHIN PUBLIC RIGHT-OF-WAY SHALL BE SODDED IMMEDIATELY AFTER CONSTRUCTION IS COMPLETE.

LEGEND	
	TEMPORARY STORAGE AREA FOR EXCESS MATERIAL
	TEMP. CONSTRUCTION ENTRANCE AND STAGING AREA
	CONCRETE WASHOUT AREA
	SILT FOAM DIKE - STAKED & INSTALL PER MFR'S RECOMMENDATIONS
	ROCK DITCH CHECK
	GRAVEL CURB INLET SEDIMENT TRAP
	SILT SOCK / ROCK SOCK / SOCK WATTLE
	BMP PLAN REF. NO.
	SILT FENCE (PRIOR TO LAND DISTURBANCE)
	SILT FENCE (DURING CONSTRUCTION)
	CONSTRUCTION FENCE
	LIMITS OF DISTURBANCE
	EXISTING CONTOURS
	PROPOSED CONTOURS
	STRAW BALE DITCH CHECK
	GRAVEL FILTER FOR STORM SEWER STRUCTURES ONLY

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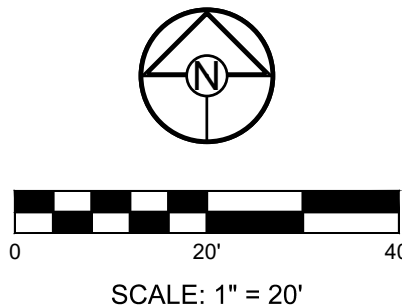
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420 SW LONGVIEW LEE'S SUMMIT, MISSOURI

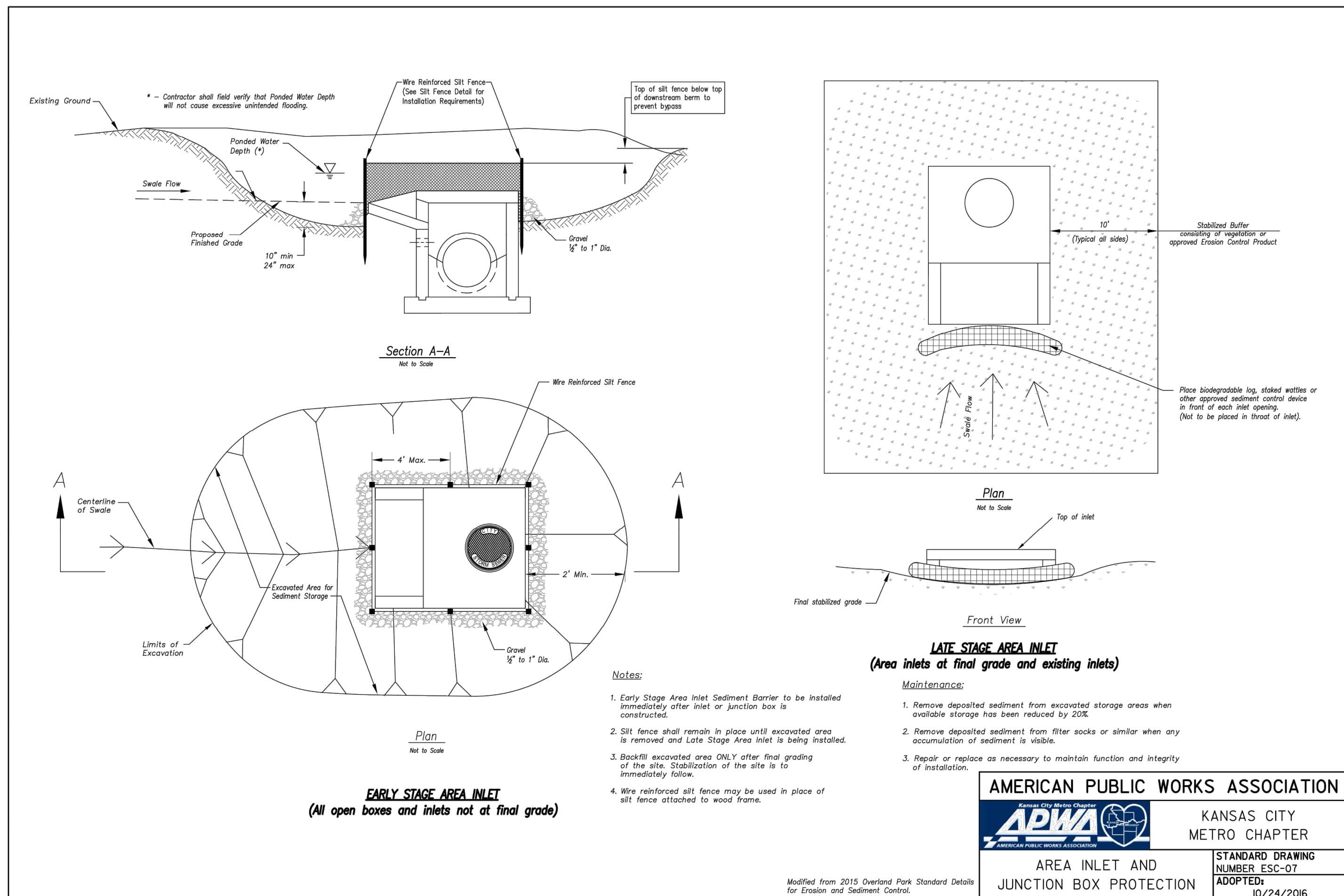
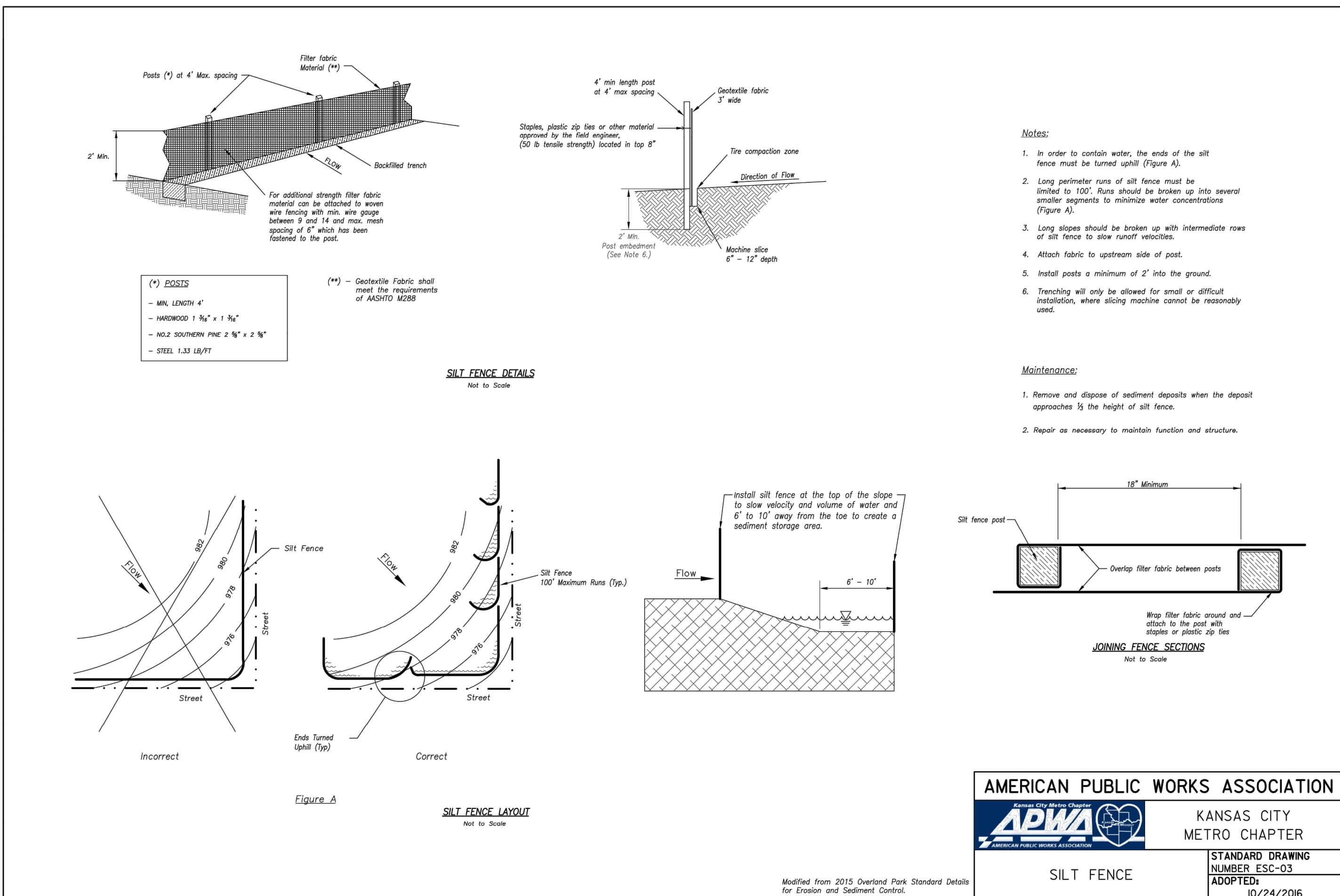
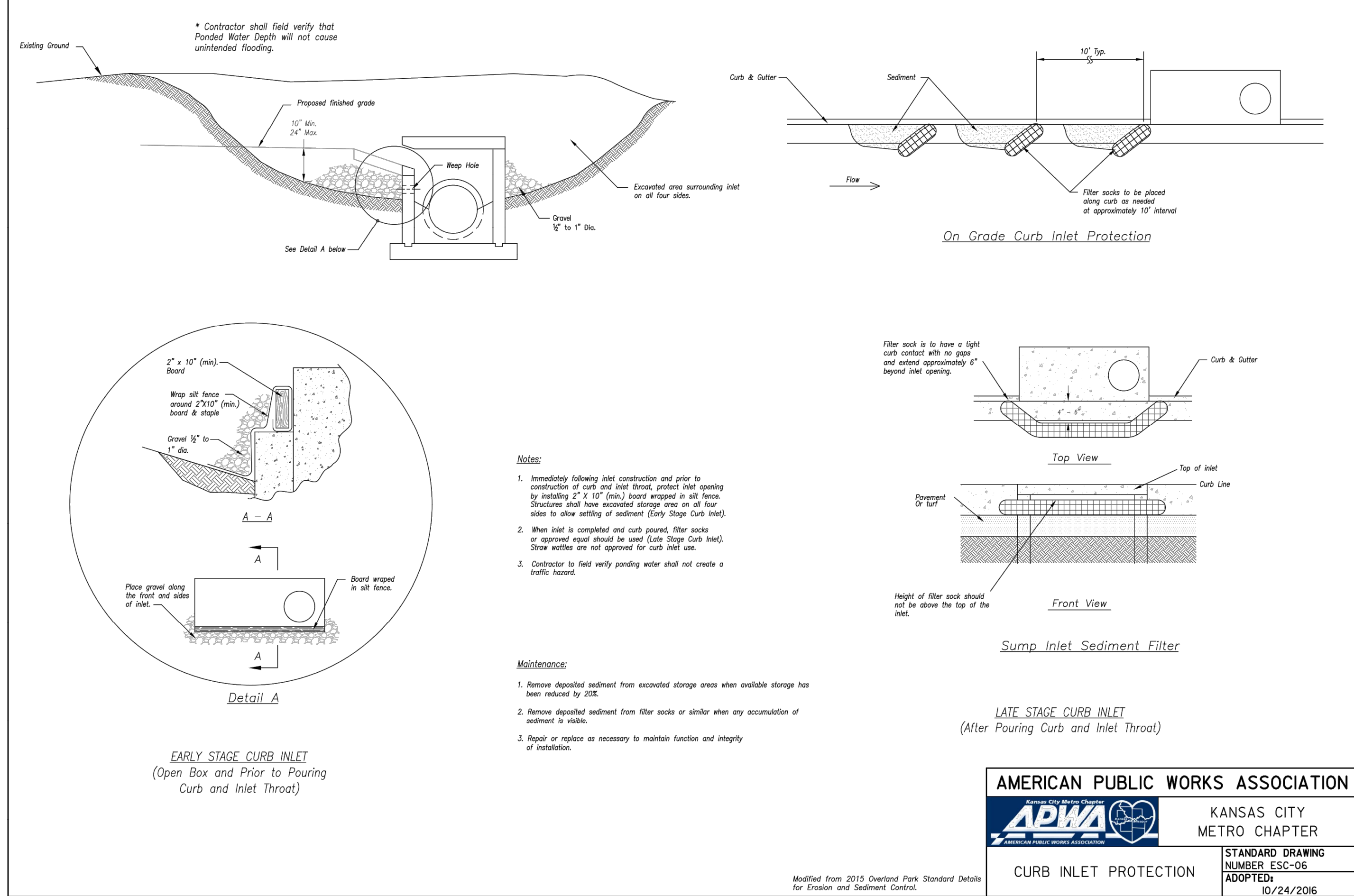
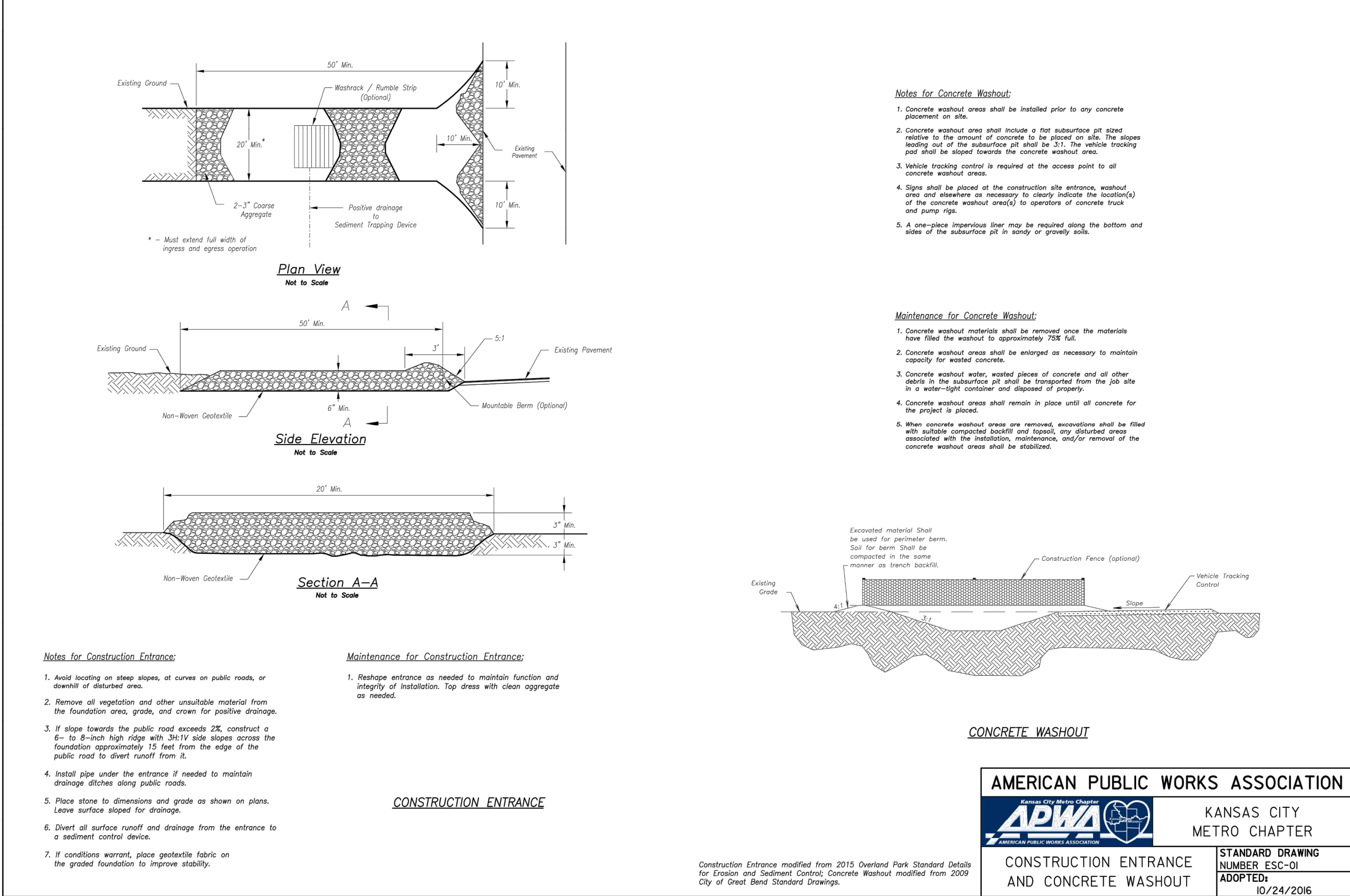
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EROSION  
CONTROL PLAN

SHEET

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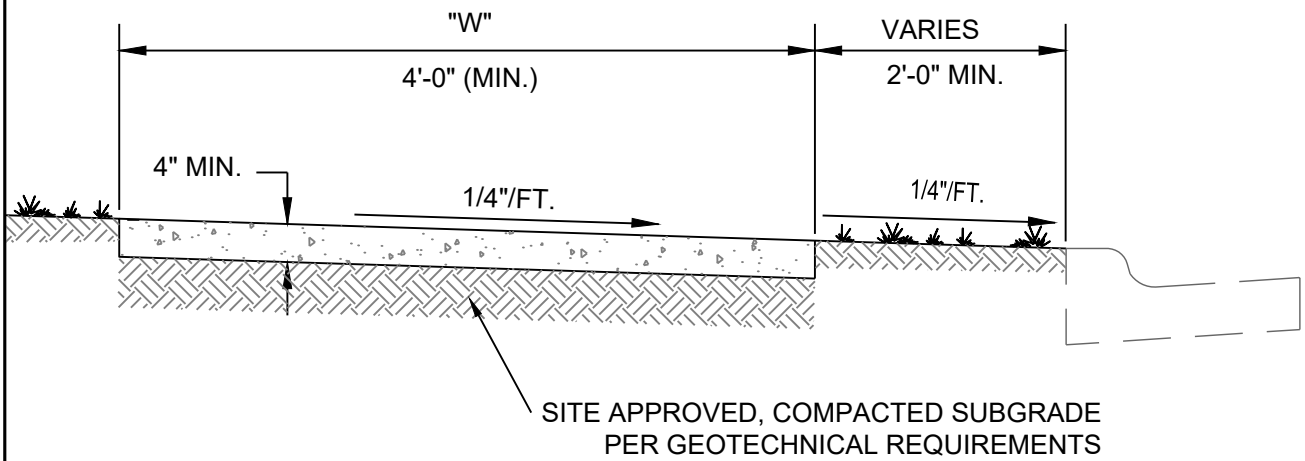
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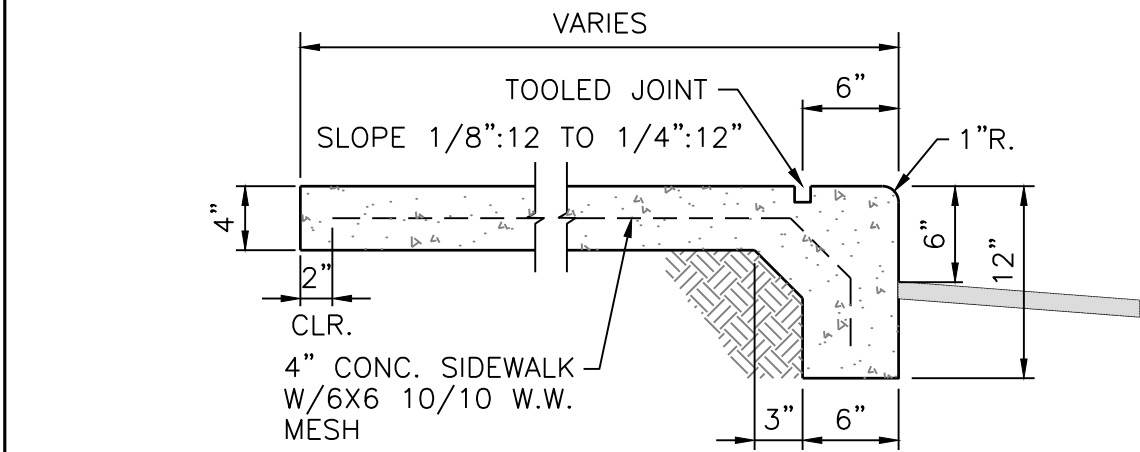
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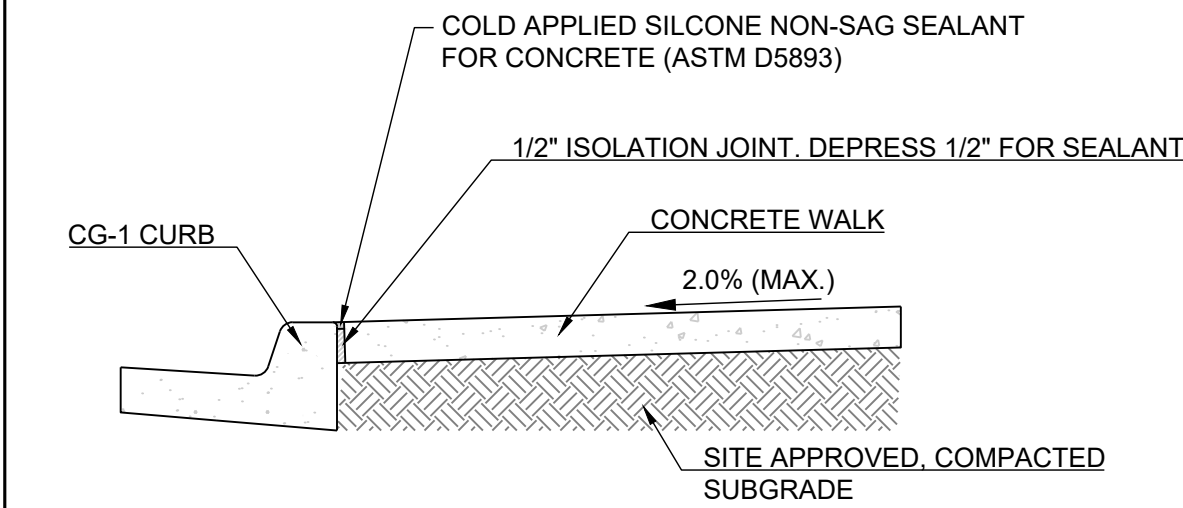


- NOTES:
- TYPE 1 JOINTS SHALL BE PLACED "W" CENTERS.
  - TYPE THREE JOINTS SHALL BE PLACED AT 250' CENTERS AND WHERE WALK ABUTS EXISTING CONCRETE.
  - ALL CONCRETE SHALL BE KCMMB-4K.
  - WHEN UTILITY SERVICE BOXES, METER BOXES, ETC. WHICH MEASURE LESS THAN 1 FT. SQUARE MUST BE PLACED IN THE SIDEWALK, THE UTILITY SERVICE BOXES, ETC. SHALL BE NO CLOSER TO ANY EDGE OF THE SIDEWALK PANEL THAN 1 FT.
  - WHEN UTILITY BOXES, METER BOXES, ETC. GREATER THAN 1 FT. IN ANY DIMENSION MUST BE PLACED IN THE SIDEWALK, THEY SHALL BE PLACED IN THE CORNER OF THE SIDEWALK PANEL.
  - AN ISOLATION JOINT SHALL BE PLACED BETWEEN THE CONCRETE AND ANY UTILITY BOX, ETC. WHICH IS PLACED IN THE SIDEWALK.
  - NO SECTION OF SIDEWALK LESS THEN 12" IN ANY DIMENSION. (HORIZONTAL)
  - AB-3 MAY BE USED AS A LEVELING COURSE. AB-3 MUST BE MOIST (MIN. 5% MOISTURE) AND COMPACTED. DEPTH OF LEVELING COURSE SHALL NOT EXCEED 6". CLEAN ROCK WILL NOT BE ALLOWED.

## TYPICAL CONCRETE SIDEWALK DETAILS

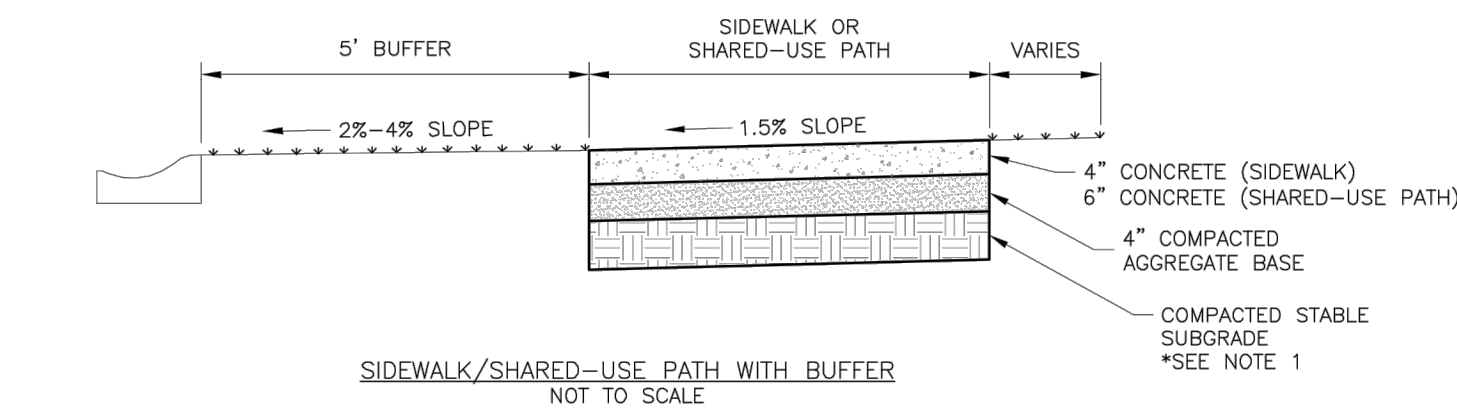
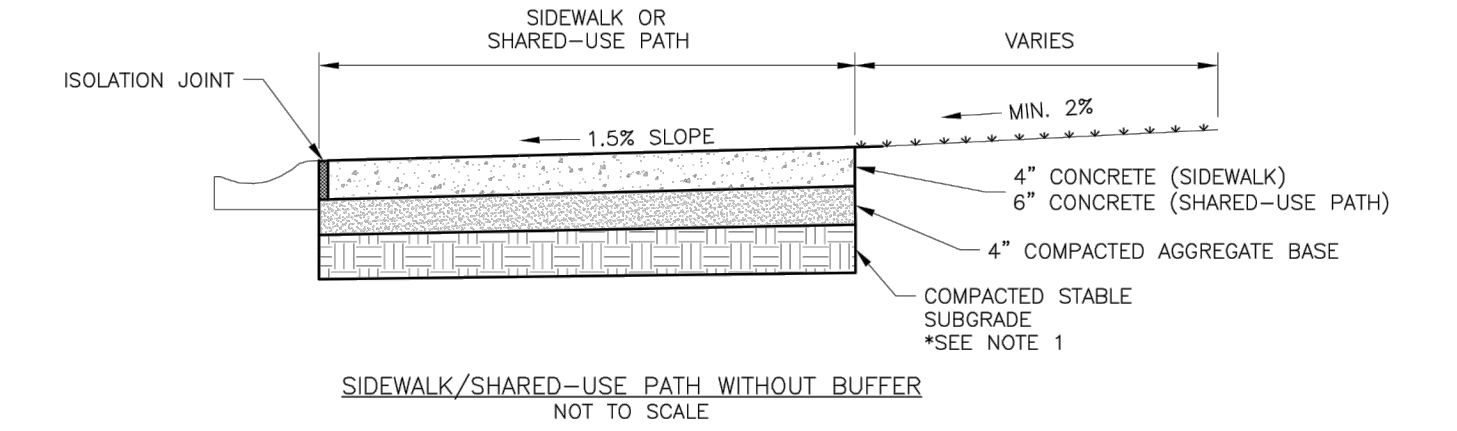


## INTEGRAL CURB/SIDEWALK DETAIL



- A. Expansion- and Isolation-Joint-Filler Strips: ASTM D994, D1751 or D1752.
- B. Cold Applied Joint Sealant : Single Component, Nonsag, Silicone Joint Sealant for Concrete: ASTM D5893, Type NS

## SIDEWALK @ BACK OF CURB DETAIL



- GENERAL NOTES:
- SUBGRADE MUST BE OF STABLE, COMPACTED EARTH AND SHALL BE OVERLAYED WITH 4" COMPACTED DENSE GRADED AGGREGATE BASE.
  - 1.5% CROSS SLOPE MUST BE MAINTAINED THROUGH DRIVEWAYS.
  - KCMMB 4K CONCRETE MIX SHALL BE REQUIRED FOR ALL SIDEWALKS AND SHARED-USE PATHS OR AS APPROVED BY THE CITY INSPECTOR.
  - ALL SIDEWALKS SHALL MEET CURRENT PUBLIC RIGHT OF WAY ACCESSIBILITY GUIDELINES (PROWAG).
  - AN EXPANSION JOINT SHALL BE PLACED AT A MAXIMUM OF 150 FT. CONSTRUCTION JOINTS SHALL BE PLACED THE SAME WIDTH OF SIDEWALK, BUT NO GREATER THAN 10 FT.
  - SHARED-USE PATH WIDTH SHALL BE 10 FT. WIDE.
  - SIDEWALK FINISHING (NO PICTURE FRAMING) AS DIRECTED BY CITY INSPECTOR.
  - WHITE CURING COMPOUND MUST BE APPLIED UNIFORMLY TO THE CONCRETE SURFACE IMMEDIATELY AFTER FINAL FINISHING.

LS

LEE'S SUMMIT

MISSOURI

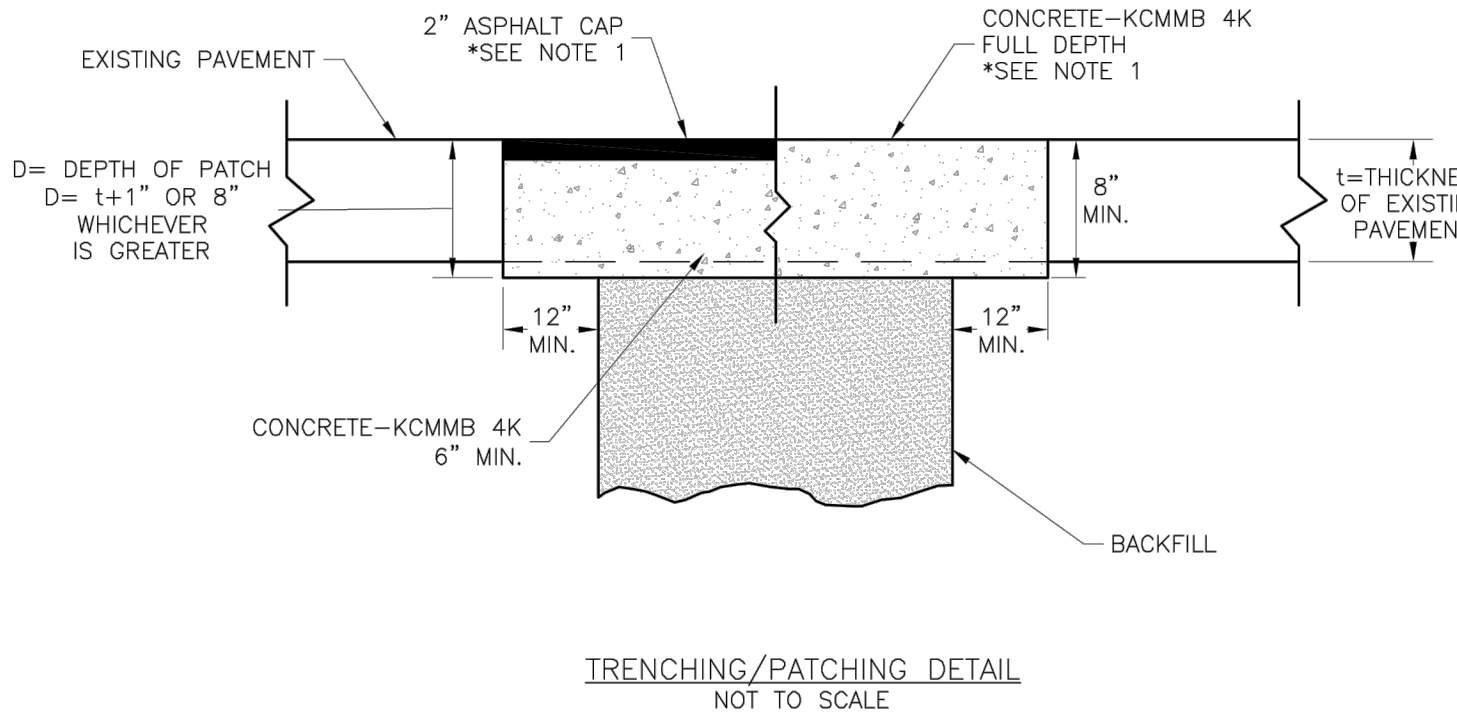
PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64063

Date: 04/17

Drawn By: MJF

Checked By: DL

GEN-2



- NOTE:
- ASPHALT CAP OR FULL DEPTH CONCRETE SHALL BE DETERMINED BY CITY INSPECTOR.

LS

LEE'S SUMMIT

MISSOURI

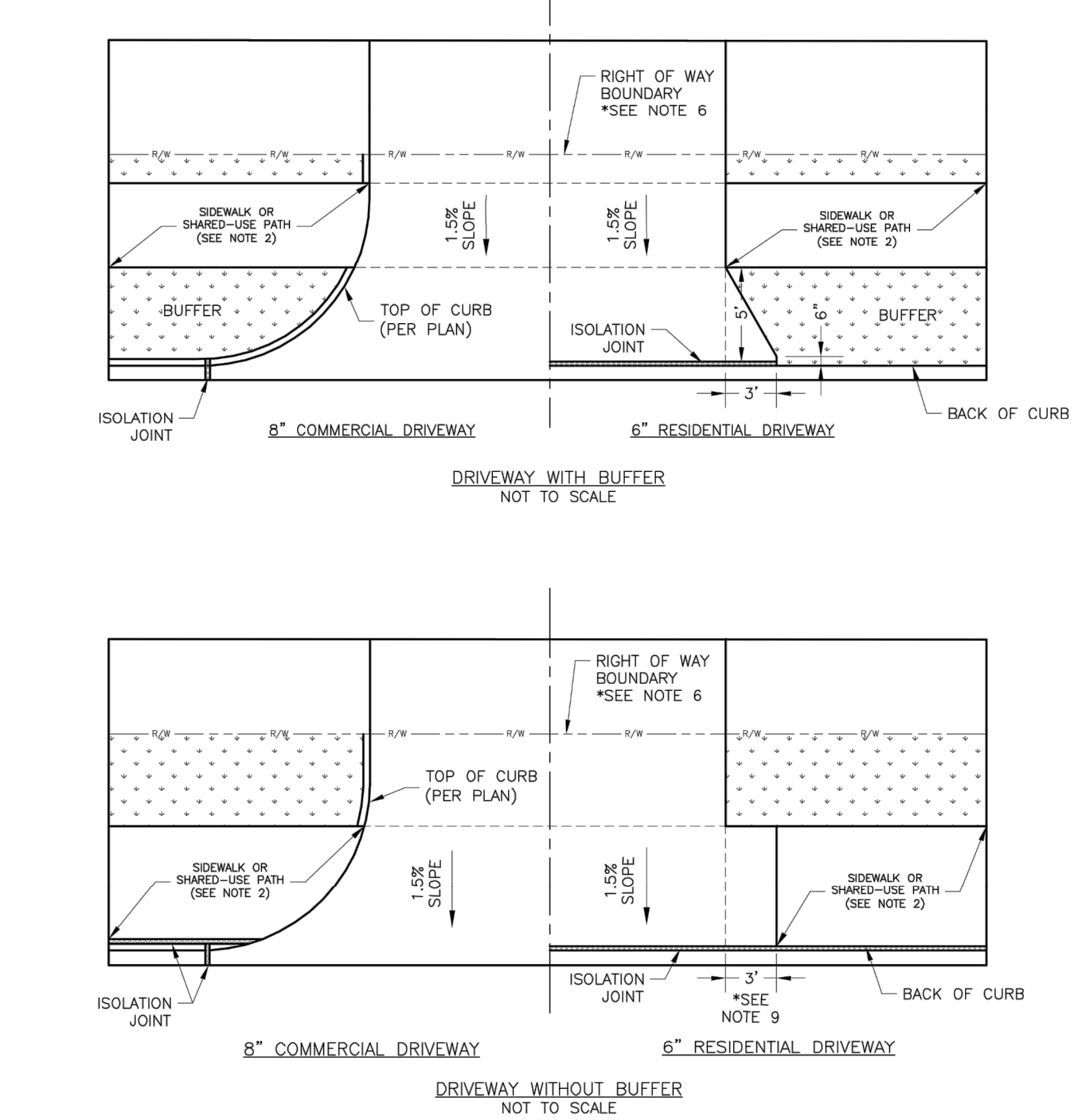
PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64063

Date: 04/17

Drawn By: MJF

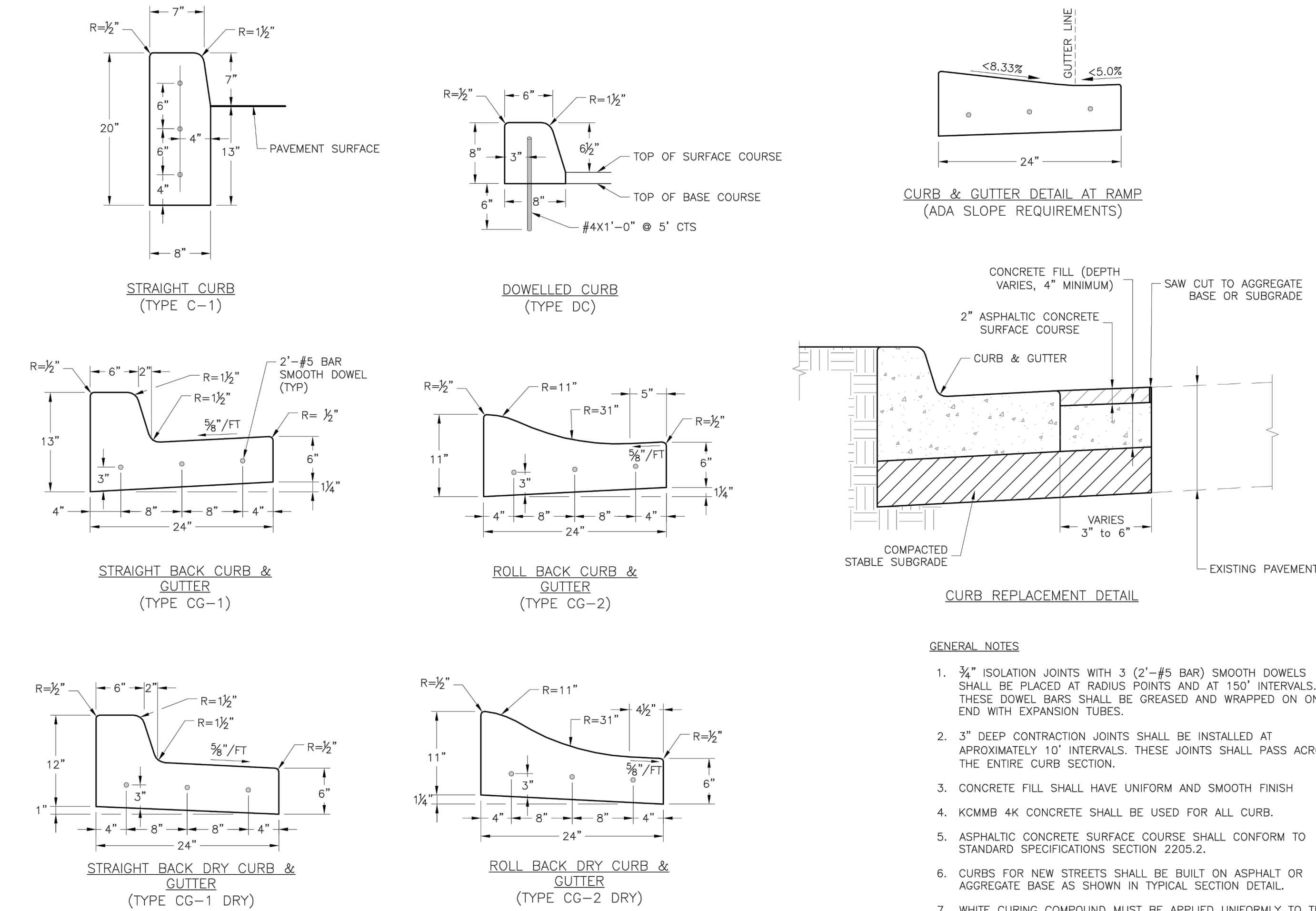
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GEN-5



- GENERAL NOTES:
- SUBGRADE SHALL BE STABLE, COMPACTED EARTH AND SHALL BE OVERLAYED WITH 4" COMPACTED DENSE GRADED AGGREGATE BASE.
  - ALL DRIVE APPROACHES SHALL MEET CURRENT PUBLIC RIGHT OF WAY ACCESSIBILITY GUIDELINES (PROWAG) FOR SLOPE REQUIREMENTS WHEN SIDEWALK IS REQUIRED (SEE ADA RAMP RETROFIT DETAIL).
  - JOINT AT BACK OF CURB LINE SHALL BE AN ISOLATION JOINT FOR RESIDENTIAL DRIVEWAYS.
  - KCMMB 4K CONCRETE MIX IS REQUIRED FOR ALL CURBS.
  - COMMERCIAL DRIVEWAYS AND DRIVEWAY APPROACHES, IN THE PUBLIC RIGHT OF WAY, SHALL BE KCMMB 4K CONCRETE MIX.
  - A JOINT MUST BE INSTALLED AT THE RIGHT OF WAY BOUNDARY FOR PROPERTY DELINEATION.
  - WHITE CURING COMPOUND MUST BE APPLIED UNIFORMLY TO THE CONCRETE SURFACE IMMEDIATELY AFTER FINAL FINISHING.
  - 3/4" FROM TOP OF CURB TO FLOWLINE AT DRIVEWAY (TYPE CG-1 CURB ONLY). MUST MAINTAIN ORIGINAL FLOWLINE OF CURB.
  - SIDEWALK ADJOINING CURB SHALL BE 6" THICK, EXTENDING 3' FROM THE DRIVEWAY.
  - THE MAXIMUM WIDTH OF A RESIDENTIAL DRIVEWAY IS 36 FEET WITHIN THE RIGHT OF WAY.

- GENERAL NOTE:
- ALL NEW CURB AND GUTTER SHALL BE INSTALLED ON AN AGGREGATE BASE, A STABILIZED SUBGRADE OR GEOGRID EXTENDING A MINIMUM OF 1 FOOT (1.0') BEHIND THE BACK OF CURB.



- GENERAL NOTES:
- 3/4" ISOLATION JOINTS WITH 3 (2'-#5 BAR) SMOOTH DOWELS SHALL BE PLACED AT RADIUS POINTS AND AT 150' INTERVALS. THESE DOWEL BARS SHALL BE GREASED AND WRAPPED ON ONE END WITH EXPANSION TUBES.
  - 3" DEEP CONTRACTION JOINTS SHALL BE INSTALLED AT APPROXIMATELY 10' INTERVALS. THESE JOINTS SHALL PASS ACROSS THE ENTIRE CURB SECTION.
  - CONCRETE FILL SHALL HAVE UNIFORM AND SMOOTH FINISH
  - KCMMB 4K CONCRETE SHALL BE USED FOR ALL CURB.
  - ASPHALTIC CONCRETE SURFACE COURSE SHALL CONFORM TO STANDARD SPECIFICATIONS SECTION 2205.2.
  - CURBS FOR NEW STREETS SHALL BE BUILT ON ASPHALT OR AGGREGATE BASE AS SHOWN IN TYPICAL SECTION DETAIL.
  - WHITE CURING COMPOUND MUST BE APPLIED UNIFORMLY TO THE CONCRETE SURFACE IMMEDIATELY AFTER FINAL FINISHING.

LS

LEE'S SUMMIT

MISSOURI

PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64063

STANDARD DETAILS

CITY OF LEE'S SUMMIT, MO

LEE'S SUMMIT, JACKSON COUNTY, MO

Drawn By: MJF

Checked By: DL

Date: 04/17

Proj. #:

GEN-1

LS

LEE'S SUMMIT

MISSOURI

PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64063

STANDARD DETAILS

CITY OF LEE'S SUMMIT, MO

LEE'S SUMMIT, JACKSON COUNTY, MO

Drawn By: MJF

Checked By: DL

Date: 04/17

Proj. #:

GEN-4

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ENGINEERS

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LANDSCAPE ARCHITECTS

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Missouri State Certificates of Authority

#E2002003600-F #LAC2001005237 #LS2002008659-F

PREPARED BY:

SCHLAGEL & ASSOCIATES, P.A.

# TOWER PARK COMM. - LOT 7 - NORTH BLDG. PRELIMINARY DEVELOPMENT PLANS 420 SW LONGVIEW LEE'S SUMMIT, MISSOURI

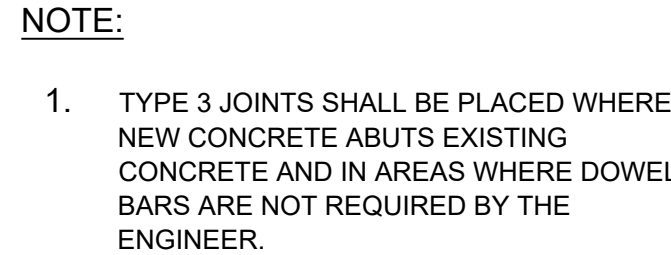
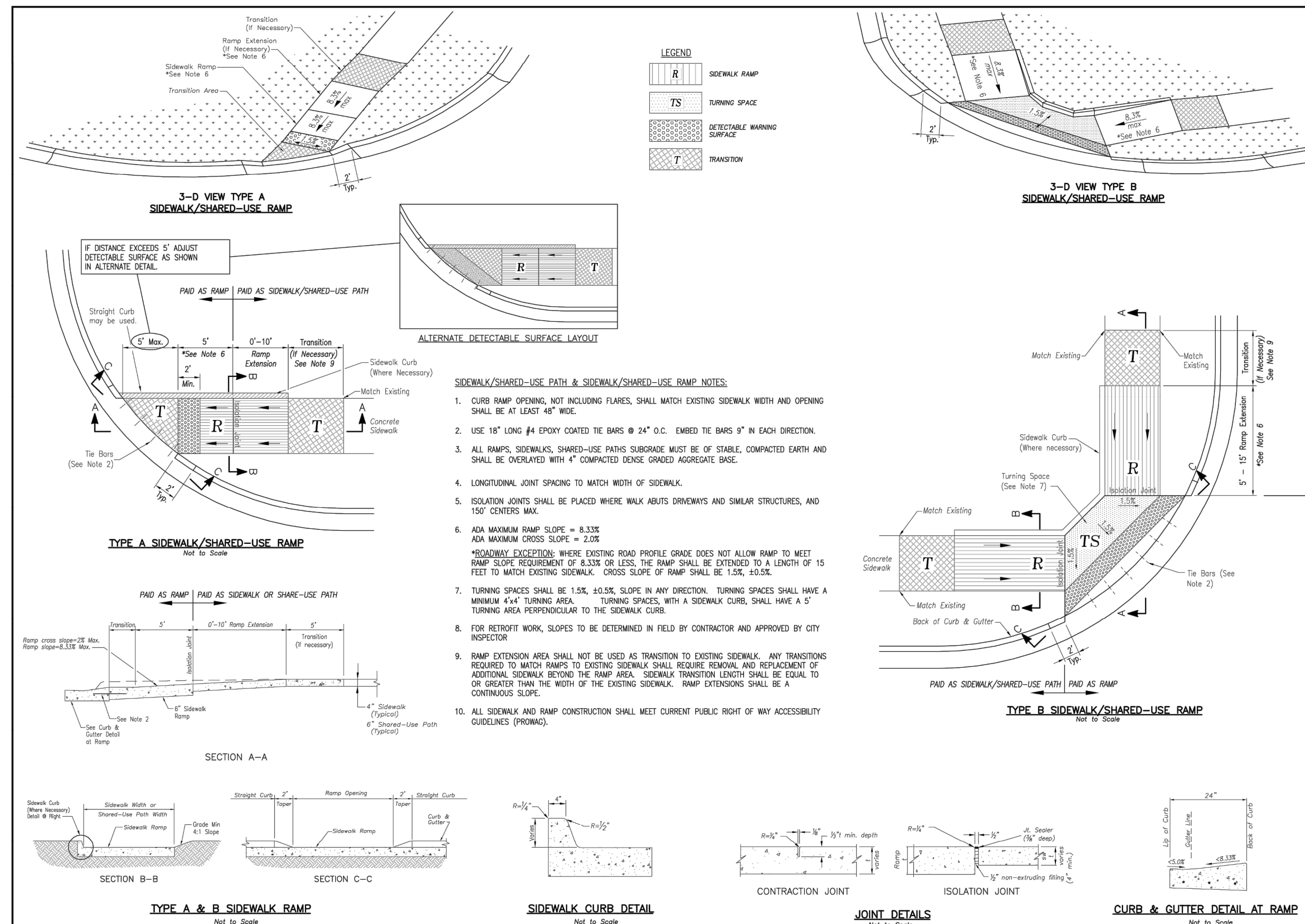
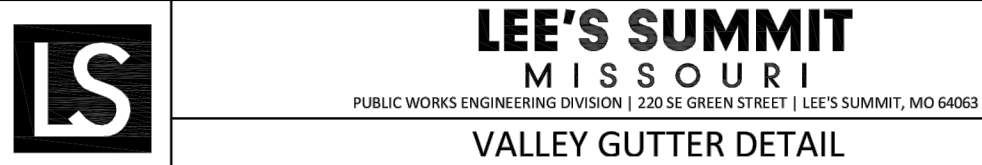
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8-25-2020	City Planning - PDP Review
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## SIDEWALK & CURB DETAILS

SHEET

C7.0





PREPARED BY:

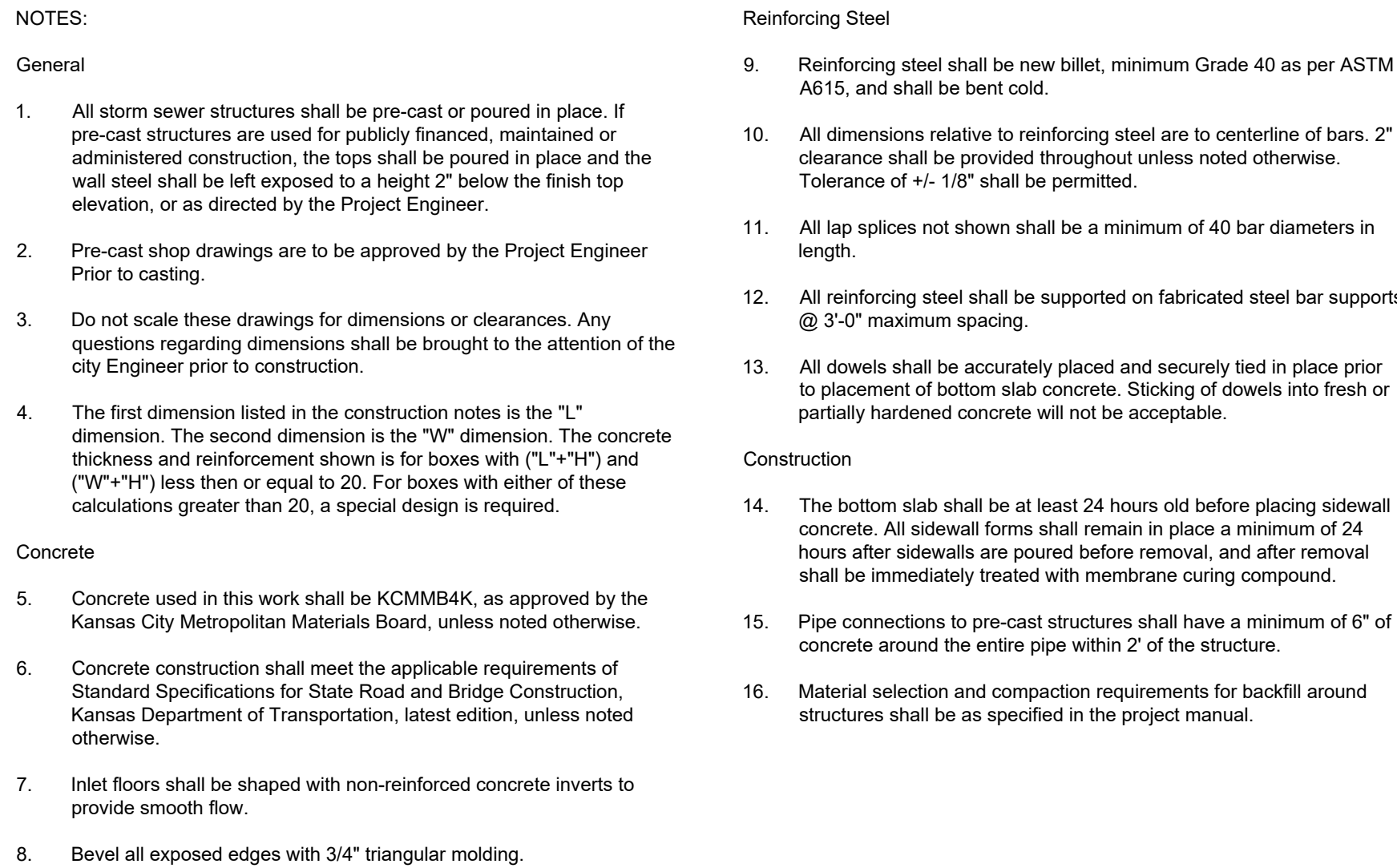
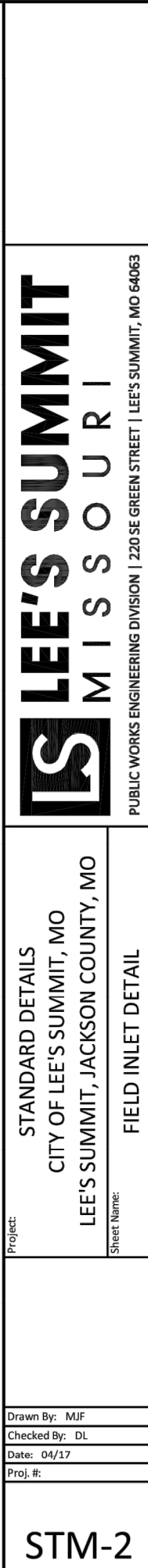
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TOWER PARK COMM. - LOT 7 - NORTH BLDG.  
PRELIMINARY DEVELOPMENT PLANS

420 SW LONGVIEW LEE'S SUMMIT, MISSOURI

<div> <div>PAVEMENT DETAILS</div> <div>SHEET</div> <div>C8.0</div> </div>	DRAWN BY:	REVISION DATE	DESCRIPTION
	####	A 8-25-2020	City Planning - PDP Review
	CHECKED BY:	A	
	####	A	
	DATE PREPARED:	A	
	07/25/2020	A	
PROJ. NUMBER:	A		
200-106	A		





GENERAL NOTES:

All manhole rings shall be set in a minimum of two of 3/4 to 1 inch pre-formed bitumastic joint sealer.

All manhole rings to be placed in pavement or in areas to be subsequently paved shall have "Machined Horizontal Bearing Surfaces" and shall comply with Class #25 as established in ASTM A-48.

The inside diameter of the manhole shall be 4'-0" for pipe diameters from 8" thru 24" and shall be 5'-0" for pipe diameters from 27" thru 36".

All manhole bases (pre-cast or poured-in-place) shall have No. 4 reinforcing bars placed on 12" centers both ways.

All standard manhole rings and covers to be Deeter 1315-jcs, Neenah NF-15360009/B (frame) and NF-15360010/B (cover), or approved equal.

All manhole rings and covers shown in plans to be "bolt-down" to be Clay & Bailey Manufacturing Co. No. 20140R, Neenah R-1915-F2 or approved equal. An extra payment for furnishing "bolt-down" ring and cover as shown in plans will not be made, but shall be considered as subsidiary to the item, "Standard Manhole -6".

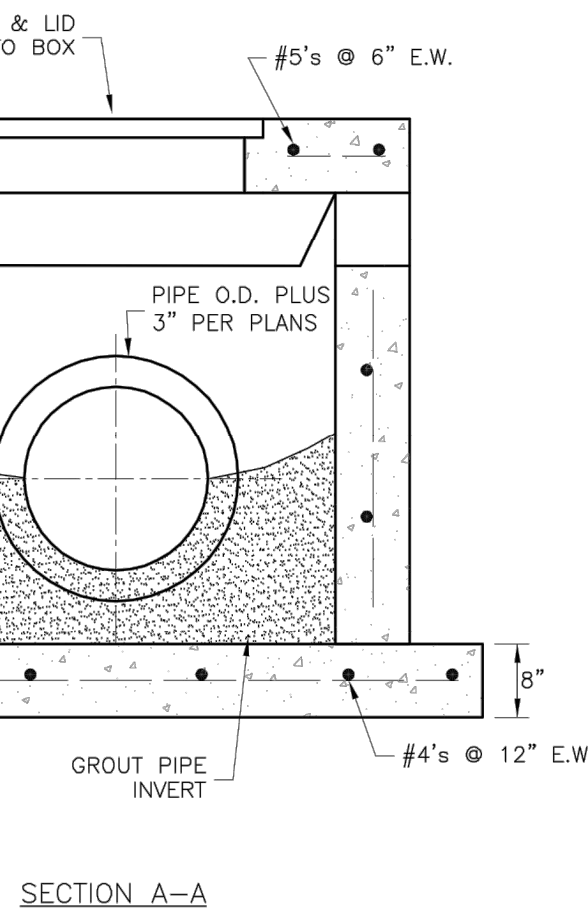
Standard cast iron manhole steps to be Clay & Bailey Manufacturing Co. No. 2102 or approved equal. Steel core, plastic coated steps may be used (M.A. Ind., Inc. No. PS1-PF, PS2-PF, or approved equal).

Maximum grade adjustment allowable is 12". Minimum allowable vertical thickness for precast concrete grade adjustment ring is 2"

Concrete used in this work shall be KCMMB4K, as approved by the Kansas City Metropolitan Materials Board.

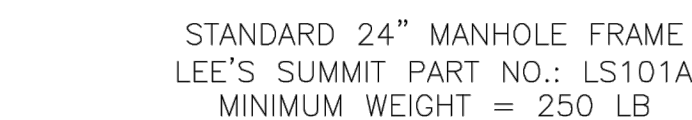
### GENERAL NOTES FOR PRE-CAST MANHOLES

1. Reinforcement in all sections shall equal or exceed A.S.T.M. C-478 specifications.
2. Mastic material to be used at all sections joints.  
O-Rings may be used for joints below the cone section, but the cone section itself shall not have O-ring joints.
3. Approved gasket and concrete mortar to be used around pipe in knock-outs.

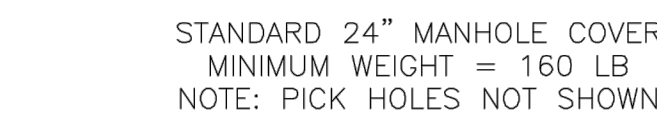


GENERAL NOTES:

1. LOCATE RING AND COVER OVER OUTLET ON BLANK WALL.
2. USE  $\frac{3}{8}$ " CHAMFER ON ALL EXPOSED CONCRETE CORNERS.
3. FLOOR OF INLET GROUDED AND SHAPED TO MATCH PIPE INVERT TO PROVIDE SMOOTH FLOW.
4. STEPS REQUIRED AT 16' O.C. WHEN DEPTH FROM TOP OF CASTING TO INVERT EXCEEDS 3' ON BLANK WALL IF POSSIBLE.
5. BOXOUTS WILL NOT BE ALLOWED TO PROJECT THROUGH THE CORNERS OF THE STRUCTURE.
6. THE MINIMUM REINFORCING SHALL BE 1 H-BAR OVER A CAST-IN-PLACE PIPE AND 2 H-BARS OVER A PRECAST BOXOUT.
7. SHOW FIELD INLET ORIENTATION ON PLANS PLUS NUMBER AND SIZE OF OPENINGS.
8. PRECAST LIDS SHALL BE PINNED, SEALED WITH NON-SHRINKABLE GROUT AND REMOVABLE FOR FUTURE MAINTENANCE.
9. FOR RING AND COVER SEE THE STORMWATER APPROVED PRODUCT LIST.



\*COVER AND FRAME MODEL INFORMATION REFER TO THE STORMWATER APPROVED PRODUCTS LIST.



\*COVER AND FRAME MODEL INFORMATION REFER TO THE STORMWATER APPROVED PRODUCT LIST.

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PREPARED BY:

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TOWER PARK COMM. - LOT 7 - NORTH BLDG.  
PRELIMINARY DEVELOPMENT PLANS

420 SW LONGVIEW LEE'S SUMMIT, MISSOURI

DRAWN BY:	REVISION DATE	DESCRIPTION
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DATE PREPARED:	6	
07/28/2020	7	
	8	
PROJ. NUMBER	9	
20-106		

## STORM SEWER DETAILS

SHEET

# C9.0





- NOTES:
1. METER INSTALLATION SHALL NOT BE LOCATED IN AREAS SUBJECT TO VEHICULAR TRAFFIC OR IN CONCRETE PAVEMENT WITHOUT CITY APPROVAL.
  2. IF METER IS TO BE LOCATED OTHER THAN IN FRONT OF PROPERTY LINE, CITY APPROVAL SHALL BE OBTAINED.
  3. CITY TO FURNISH ITEMS A-K.
  4. NO OTHER EQUIPMENT SHALL BE INSTALLED IN THIS PIT.
  5. 42" MINIMUM BURY DEPTH FOR ALL SERVICE LINES.
  6. EXCAVATION FOR TAP TO EXPOSE 4 LINEAR FEET OF MAIN.
  7. NO SPLICES ALLOWED BETWEEN METER AND MAIN.
  8. SERVICE CONNECTION TAP AT APPROXIMATELY 45 DEGREES.
  9. 80 AND RISER RING SHALL BE SET SO THAT GROUND WATER WILL DRAIN AWAY FROM THE WELL.
  10. CONTACT WATER UTILITIES, 816-969-1900, FOR REQUIREMENTS OF A METER LARGER THAN 2"

	<p align="center"><b>LEE'S SUMMIT</b> <b>MISSOURI</b></p> <p align="center">PUBLIC WORKS ENGINEERING DIVISION   220 SE GREEN STREET   LEE'S SUMMIT, MO 64063</p>	<p>Date: 02/13</p> <p>Drawn By: JN</p> <p>Checked By: DL</p> <p>FILE: WAT-11</p>
	<p align="center"><b>SERVICE CONNECTION/METER WELL</b></p>	<p>Rev: 1/14</p> <p>Rev:</p>

**TOWER PARK COMM. - LOT 7 - NORTH BLDG.  
PRELIMINARY DEVELOPMENT PLANS**

420 SW LONGVIEW LEE'S SUMMIT, MISSOURI

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PREPARED BY:

SCHLAGEL &amp; ASSOCIATES, P.A.

REVISION	DATE	DESCRIPTION
1	8-25-2020	City Planning - PDP Review
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## UTILITY DETAILS

SHEET

# C10.0



LOT 3  
TOWER PARK COMMERCIAL-PHASE 2  
OWNER: GALE COMMUNITIES INC

LOT 5  
TOWER PARK COMMERCIAL-PHASE 2  
LOTS 5,6,7, TRACTS A&B  
  
510 SW TOWER PARK DRIVE  
(OWNER: JVM NEW LONGVIEW LLC)

NOTE:  
NO PART OF THE PROJECT LIES WITHIN THE 100 YEAR FLOOD PLAIN PER FEMA  
FLOOD INSURANCE RATE MAP NUMBER 29095C0414G DATED JANUARY 20, 2017.



1-800-344-7483 or 811  
mo1call.com

PROJECT BENCHMARK:

MONUMENT FOUND  
CHISELED "SQUARE" ON STORM CURB INLET #30  
AT NORTHWEST INTERSECTION OF SW. TOWER  
PARK DRIVE AND SW. LONGVIEW BOULEVARD.

NORTHING: 998893.4148  
EASTING: 2803318.5413

ELEV. 1004.09

460 SW LONGVIEW BLVD  
(OWNER: JVM NEW LONGVIEW)

LOT 6  
TOWER PARK COMMERCIAL-PHA  
LOTS 5,6,7, TRACTS A&B

SHADE TREES



ZSM 6 EA.

Zelkova serrata 'Musashino'

Musashino Columnar Zelkova

2.5" Cal.

B&B

ORNAMENTAL TREES



PSK 1 EA.

Prunus serrulata 'Kwansan'

Kwansan Flowering Cherry

1.5" Cal.

B&B

EVERGREEN TREES



JCSP 3 EA.

Juniperus chinensis 'Spartan'

Spartan Juniper

6' ht.

B&B

SHRUBS



BGV 27 EA.

Buxus x 'Green Velvet'

Green Velvet Boxwood

5 gal.

Cont.



BSM 8 EA.

Buxus sempervirens 'Monrue' Plant Patent #15,243

Green Tower Boxwood

5 gal.

Cont.



CCJ 7 EA.

Caryopteris x clandonensis 'Janice' PPAF

Lil Miss Sunshine™ Bluebeard

5 gal.

Cont.



VPS 5 EA.

Viburnum plicatum tomentosum 'Summer Snowflake'

Summer Snowflake Viburnum

5 gal.

Cont.

NOTES:

- UTILITY INFORMATION SHOWN IS DESIGNED LOCATION OR LOCATIONS BASED ON UTILITY LOCATES. AS BUILT LOCATIONS MAY VARY. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES PRIOR TO COMMENCING LANDSCAPE INSTALLATION. NOTIFY THE LANDSCAPE ARCHITECT OF ANY CONFLICTS OR OBSTRUCTIONS.
- QUANTITIES INDICATED ON THE PLAN ARE FOR CONVENIENCE ONLY. CONTRACTOR SHALL VERIFY ALL PLANT QUANTITIES PRIOR TO PLANTING. NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES. THE PLAN QUANTITIES AND NUMBER OF SYMBOLS SHALL SUPERSEDE QUANTITIES IN THE SCHEDULE.
- ALL PLANT MATERIAL SHALL COMPLY WITH THE CITY OF LEE'S SUMMIT STANDARDS AND ANSI A60.1 THE AMERICAN STANDARD FOR NURSERY STOCK.
- ALL TREES SHALL MEET THE SIZE REQUIREMENTS OF THE LEE'S SUMMIT ORDINANCE. ALL TREES SHALL BE CALLIPERED AND UNDERSIZED TREES SHALL BE REJECTED.
- ALL SHRUBS TO BE UTILIZED FOR SCREENING SHALL BE 24" HEIGHT AT TIME OF PLANTING.
- ALL PLANTING BEDS CONTAINING SHRUBS, GROUND COVER, PERENNIALS, ANNUALS SHALL BE IN A PLANTING BED WITH 3" MIN. DEPTH OF MULCH AND A "V-CUT" EDGE.
- ALL TREES SHALL HAVE A MIN. 3 FT. DIA. AREA THAT HAS 3" MIN. DEPTH OF WOOD MULCH.
- ALL TURF AREAS SHALL BE SOODED UNLESS INDICATED ON THE PLANS.
- ANY DEVIATION FROM THE APPROVED LANDSCAPE PLAN SHALL REQUIRE WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT AND THE CITY OF LEE'S SUMMIT, PRIOR TO INSTALLATION.
- THE LANDSCAPE ARCHITECT AND OWNER SHALL APPROVE GRADES AND CONDITION OF SITE PRIOR TO SOODING OPERATIONS.
- INSTALLATION AND MAINTENANCE OF LANDSCAPING SHALL COMPLY WITH THE CITY OF LEE'S SUMMIT STANDARDS.
- ALL PLANT MATERIAL SHALL BE INSTALLED TO ALLOW A MINIMUM CLEARANCE BETWEEN PLANT AND ADJACENT PAVEMENT OF 1 FT. FOR PERENNIALS AND GROUND COVER AND 1.5 FT. FOR SHRUBS. A 2 FT. CLEARANCE (4 FEET FROM BACK OF CURB TO THE CENTER OF SHRUB) FOR CAR OVERHANG IS REQUIRED AT ALL PARKING ISLANDS AND PERIMETERS.
- AFTER COMPLETE INSTALLATION OF ALL PLANT MATERIAL AND SOD THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT THAT THE WORK IS COMPLETE AND READY FOR REVIEW. THE LANDSCAPE ARCHITECT SHALL REVIEW THE LANDSCAPE INSTALLATION TO DETERMINE COMPLIANCE WITH THE APPROVED PLANS. WHEN THE LANDSCAPE INSTALLATION MEETS THE REQUIREMENTS OF THE APPROVED PLAN, THE LANDSCAPE ARCHITECT SHALL PROVIDE A SIGNED AND SEALED LETTER TO THE CITY STATING THAT ALL LANDSCAPE PLANTINGS HAVE BEEN INSTALLED PER THE APPROVED PLAN.
- ALL EXTERIOR GROUND OR BUILDING MOUNTED EQUIPMENT (MECHANICAL, ELECTRICAL AND/OR TELEPHONE CABINETS), TRANSFORMERS, AIR CONDITIONING UNITS, ETC. SHALL BE SCREENED FROM PUBLIC VIEW BY INSTALLING FIVE SEA GREEN JUNIPERS EVENLY SPACED AROUND THE PERIMETER. FINAL LOCATION OF ANY EQUIPMENT SHALL BE DETERMINED AND VERIFIED WITH THE FINAL DESIGN AND PERMITTING OF THE PROJECT.
- ALL ROOFTOP EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW WITH AN ARCHITECTURAL TREATMENT COMPATIBLE WITH THE BUILDING AND INTEGRAL TO THE OVERALL APPEARANCE OF THE BUILDING.



PREPARED BY:

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TOWER PARK COMM. - LOT 7 - NORTH BLDG.  
PRELIMINARY DEVELOPMENT PLANS  
  
420 SW LONGVIEW LEE'S SUMMIT, MISSOURI

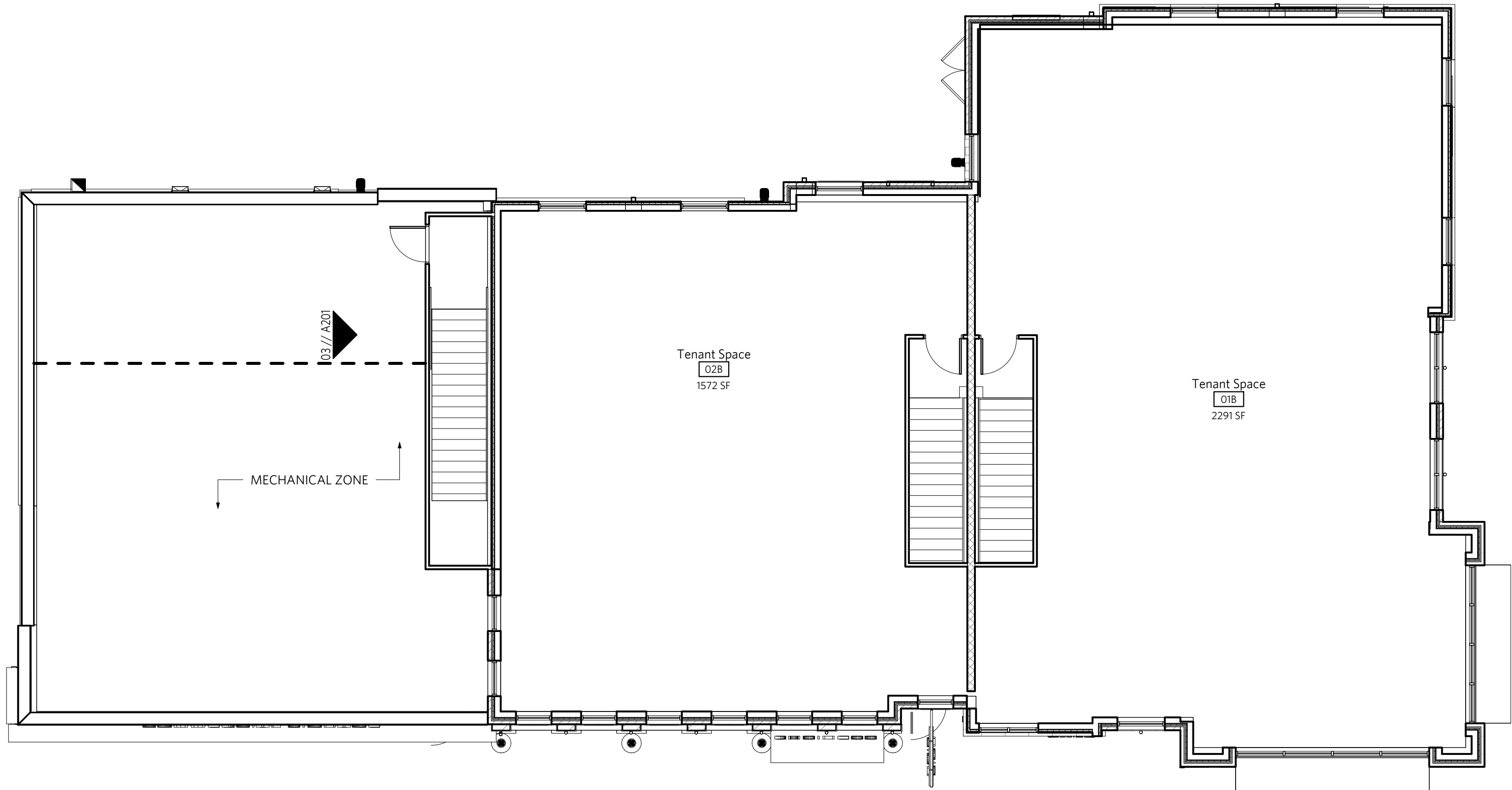
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LANDSCAPE  
PLAN  
  
SHEET  
  
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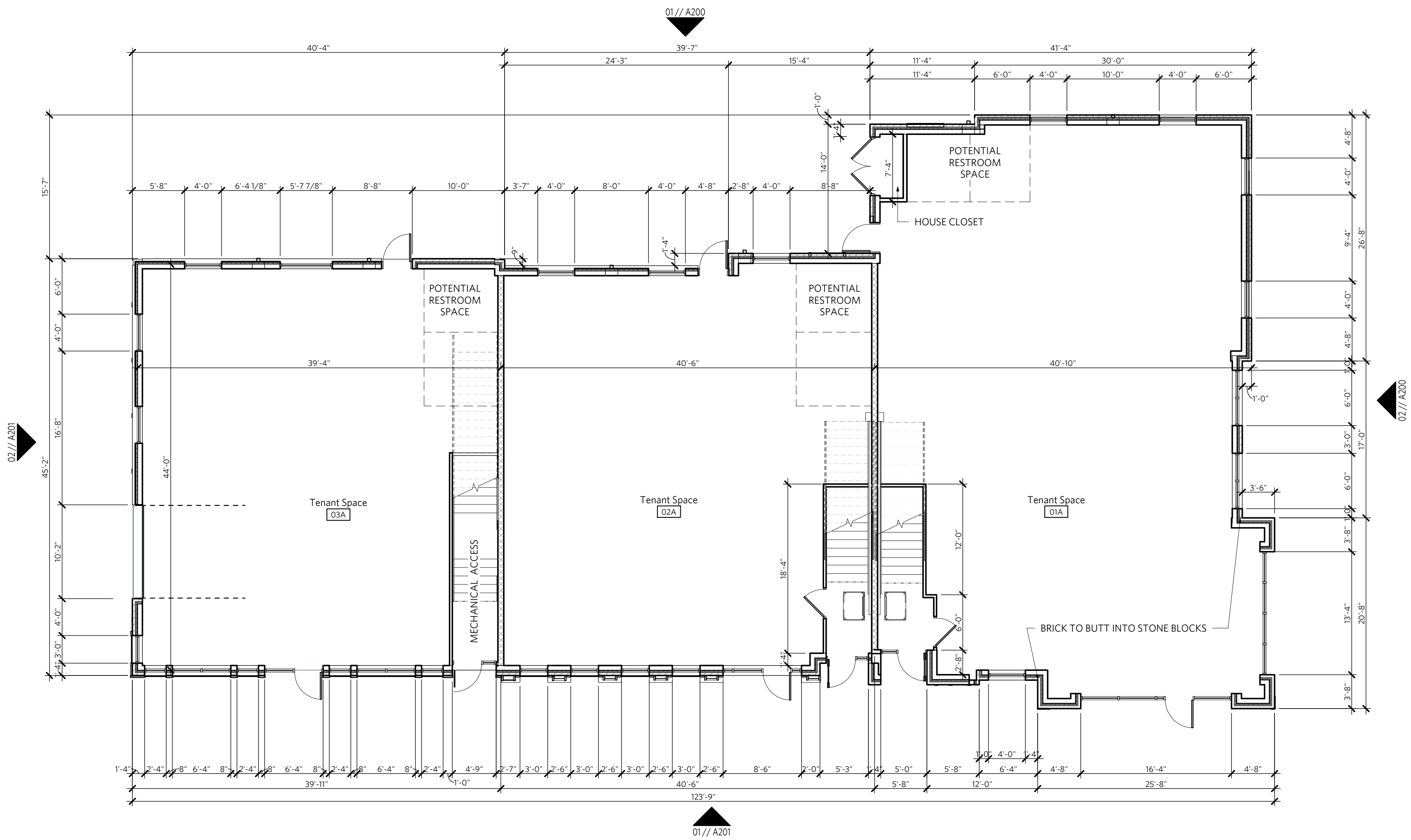


GENERAL NOTES-FLOOR PLAN

1. CONTRACTOR TO COORDINATE ALL MEP AND STRUCTURAL REQUIREMENTS.
2. CONTRACTOR IS RESPONSIBLE FOR COORDINATING AND PROVIDING ALL BLOCKING AS REQUIRED FOR KITCHEN EQUIPMENT, TENANT PROVIDED TV, LIGHT FIXTURES, RESTROOM ACCESSORIES, ETC.
3. CONFIRM DIMMERS AND SWITCHING WITH MEP.
4. PROVIDE CONDUIT AND PULL STRING FOR IT/AV/SECURITY WORK AS REQUIRED. COORDINATE WITH MEP & IT/AV/SECURITY.
5. WINDOWS ARE TO BE CENTERED UNLESS DIMENSIONED OTHERWISE.
6. EGRESS DOORS TO HAVE MINIMUM WIDTH 32" BETWEEN THE FACE OF DOOR AND THE STOP WHEN OPEN 90°.
7. ALL WALLS TO BE P WALL TYPE UNLESS TAGGED OTHERWISE.
8. ALL FLOOR PLAN DIMENSIONS ARE FROM FINISH FACE.



2 SECOND FLOOR PLAN  
1/8" = 1'-0"



01 FIRST FLOOR PLAN  
1/8" = 1'-0"

LOT 7, BUILDING 31

3140 SW LONGVIEW BLVD  
LEES SUMMIT, MO 64081

REV	ISSUE	DATE
	PDP SUBMITTAL	08.06.2020

FLOOR PLANS

A101



GENERAL NOTES-EXTERIOR ELEVATION

1. CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS AND REPORT TO ARCHITECT ANY CONFLICTS THAT MAY AFFECT DESIGN INTENTIONS SHOWN ON PROJECT DOCUMENTS.
2. SEAL AROUND PERIMETER OF ALL EXTERIOR OPENINGS - AS RECOMMENDED BY THE SYSTEM MANUFACTURERS RECOMMENDATIONS. CONFIRM PENETRATION WATER MANAGEMENT SYSTEM AND LOCATION OF WEEPS, IF PRESENT, PRIOR TO APPLYING SEALANT. SEALANT TO MATCH ADJACENT FINISH.
3. PROVIDE FLASHING AT ALL HEADERS (DOOR + WINDOW). RUN BENEATH WALL SYSTEM MINIMUM OF 8" ABOVE OPENING AND ATTACH WITH NON-GALVANIC MECHANICAL FASTENERS.
4. REFER TO CIVIL FOR FILL AND GRADING REQUIREMENTS.
5. MATCH OPENINGS @ BRICK VENEER TO MODULE. ADJUST TRIM ACCORDINGLY.
6. COORDINATE CLADDING DETAILS WITH MANUFACTURER'S BEST PRACTICES. COORDINATE WITH ARCHITECT PRIOR TO PROCUREMENT AND INSTALLATION.
7. USE PRESSURE TREATED LUMBER WHERE IN CONTACT WITH CONCRETE OR MASONRY.
8. ROUGH OPENING HEIGHTS ARE FROM TOP OF SUB FLOOR, NOT FINISHED FLOOR.

EXTERIOR MATERIAL LEGEND

- A** PAINTED SYNTHETIC CLADDING  
CONTRACTOR OPTION  
USED TO RECREATE TRADITIONAL WOOD CLADDING  
COLOR TBD
- B** FACE BRICK  
AS MANUFACTURED BY ENDICOTT CLAY PRODUCTS  
& DISTRIBUTED BY KC BRICK.  
COLOR TO BE:  
B1 - SARAH SANDS  
B2 - BURGANDY SANDS  
B3 - LIGHT GREY BLEND  
B4 - SIENNA IRONSPOT
- C** ARCHITECTURAL MASONRY UNIT  
CORDOVA STONE AS MANUFACTURED BY TRENWYTH.  
C1 - ALABASTER - COMBO GROUNDFACE / CHISEL FACE.  
SIZE TO BE: 4"x16"x24"  
C2 - BUFF - GROUND FACE  
SIZE TO BE: 4"x16"x24"  
C3 - MIDNIGHT - GROUND FACE  
SIZE TO BE: 4"x8"x24"
- D** FIBER CEMENT PANELS  
SIM TO NICHHA - ILLUMINATION  
COLORS BASED ON SHERWIN WILLIAMS  
TAN - SW 7038 BALANCED BEIGE  
BLACK - SW 7069 IRON ORE
- E** FIBER CEMENT SIDING  
SIM TO NICHHA - SAVANAH SMOOTH  
COLORS BASED ON SHERWIN WILLIAMS  
BLACK - SW 7069 IRON ORE  
GREY - SW 7017 DORIAN GRAY  
GREEN - SW 6179 ARTICHOKE
- F** FIBER CEMENT SIDING  
SIM TO NICHHA - VINTAGE WOOD  
COLOR TO BE CEDAR
- G** CAST STONE DETAILING  
COLOR SELECTED FROM SAMPLES
- H** METAL COPING  
COLOR TO BE DARK BRONZE & PARCHMENT  
NOTE: COLOR BASED ON STANDARD BERRIDGE  
COLORS. ACTUAL COPING COLOR NAME MAY  
DIFFER
- J** CANOPY SOFFIT  
V-PANEL AS MANUFACTURED BY BERRIDGE.  
COLOR TO BE CHARCOAL  
(OR SIM)
- K** METAL PANEL  
B-6 AS MANUFACTURED BY BERRIDGE.  
COLOR TO BE MATTE BLACK  
(OR SIM)
- NOTE:  
ALL PRE-FINISHED METAL FLASHING, SHEET  
METAL, & OTHER FLASHING REQ'D BETWEEN  
MATERIAL CHANGES OR CANOPY OR ROOF  
TRANSITIONS TO BE SIMILAR IN COLOR TO  
BERRIDGE'S DARK BRONZE - UNO
- SUBMIT SAMPLES ON ALL EXTERIOR  
MATERIALS LISTED ABOVE FOR ARCHITECTS  
APPROVAL.



02 | DD - NORTH ELEVATION  
1/4" = 1'-0"

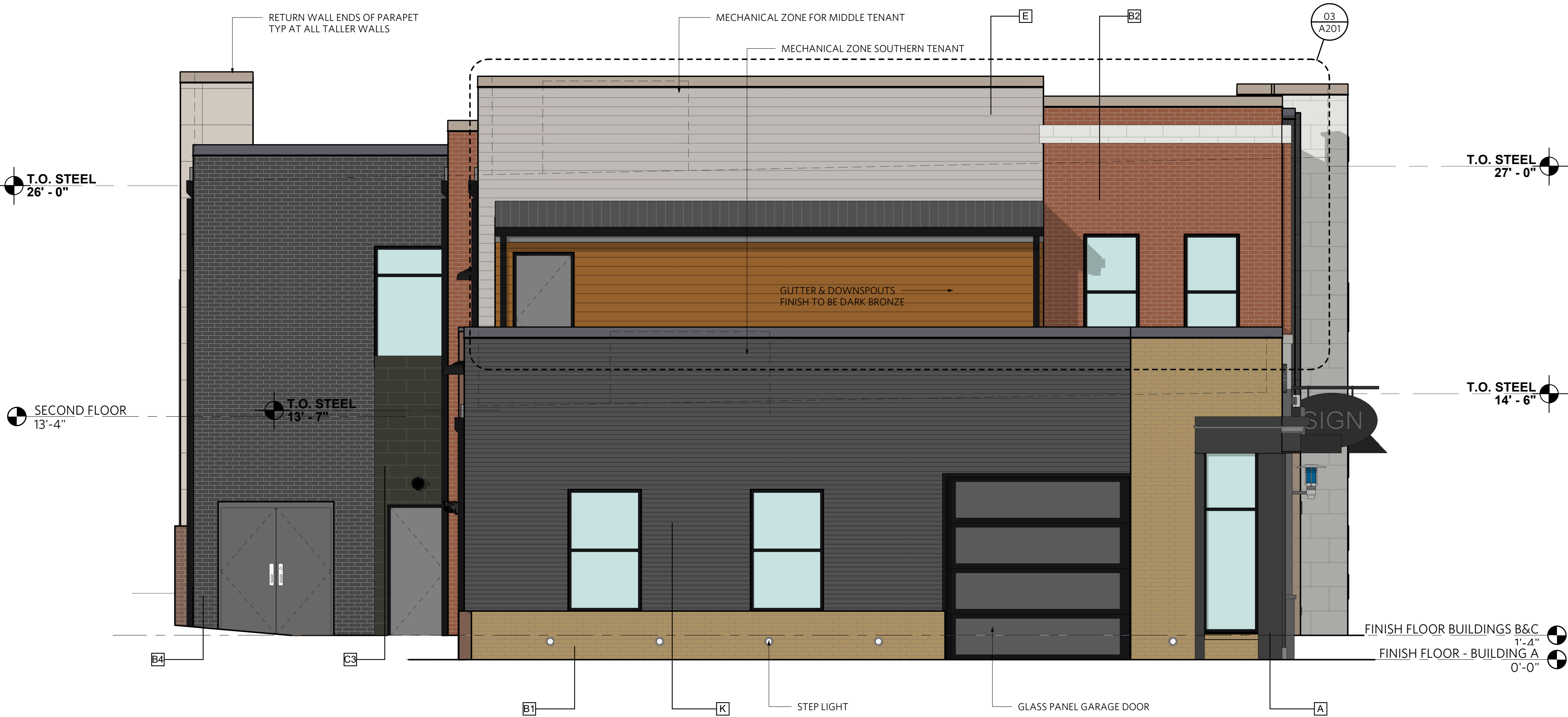
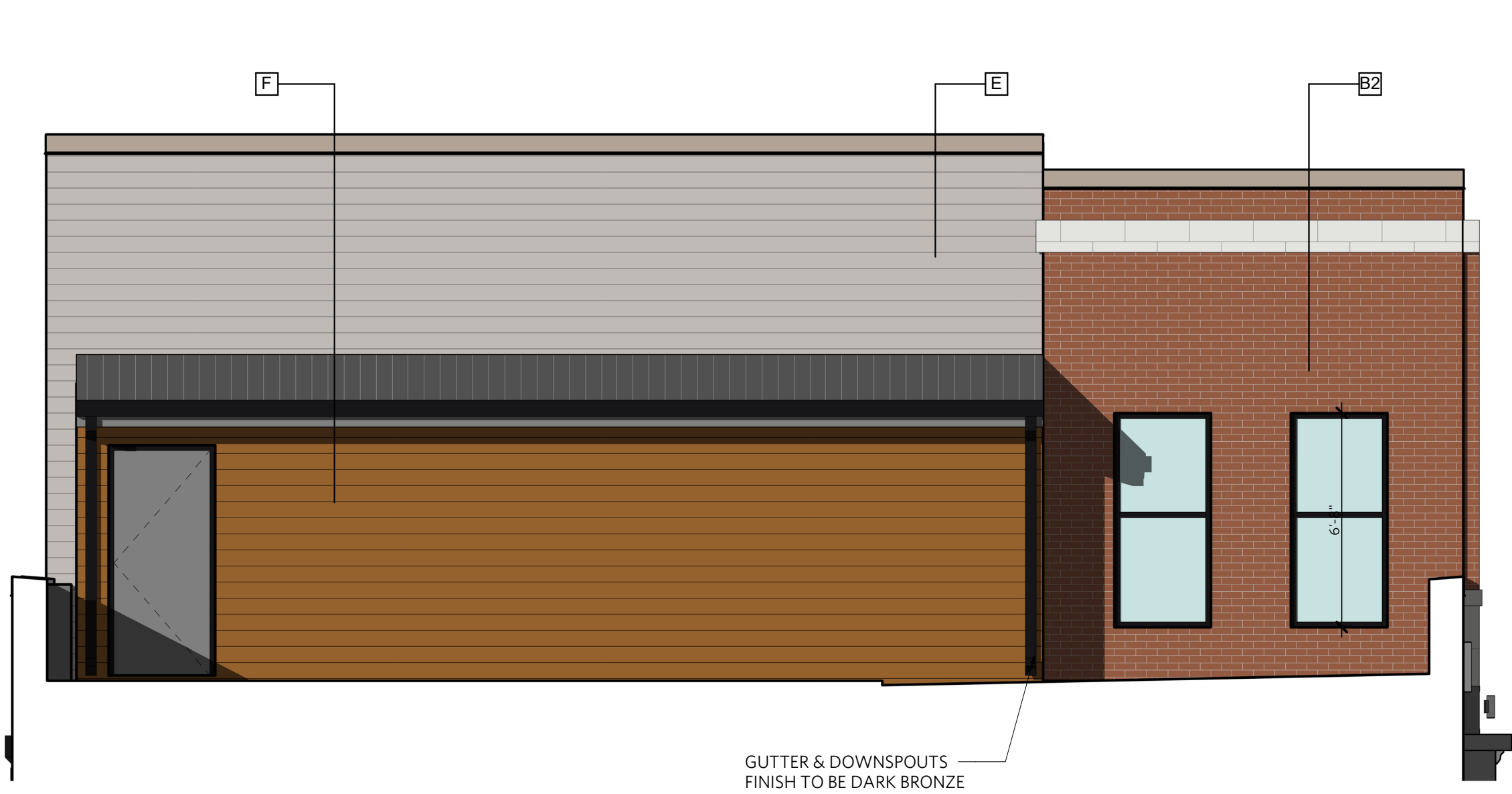
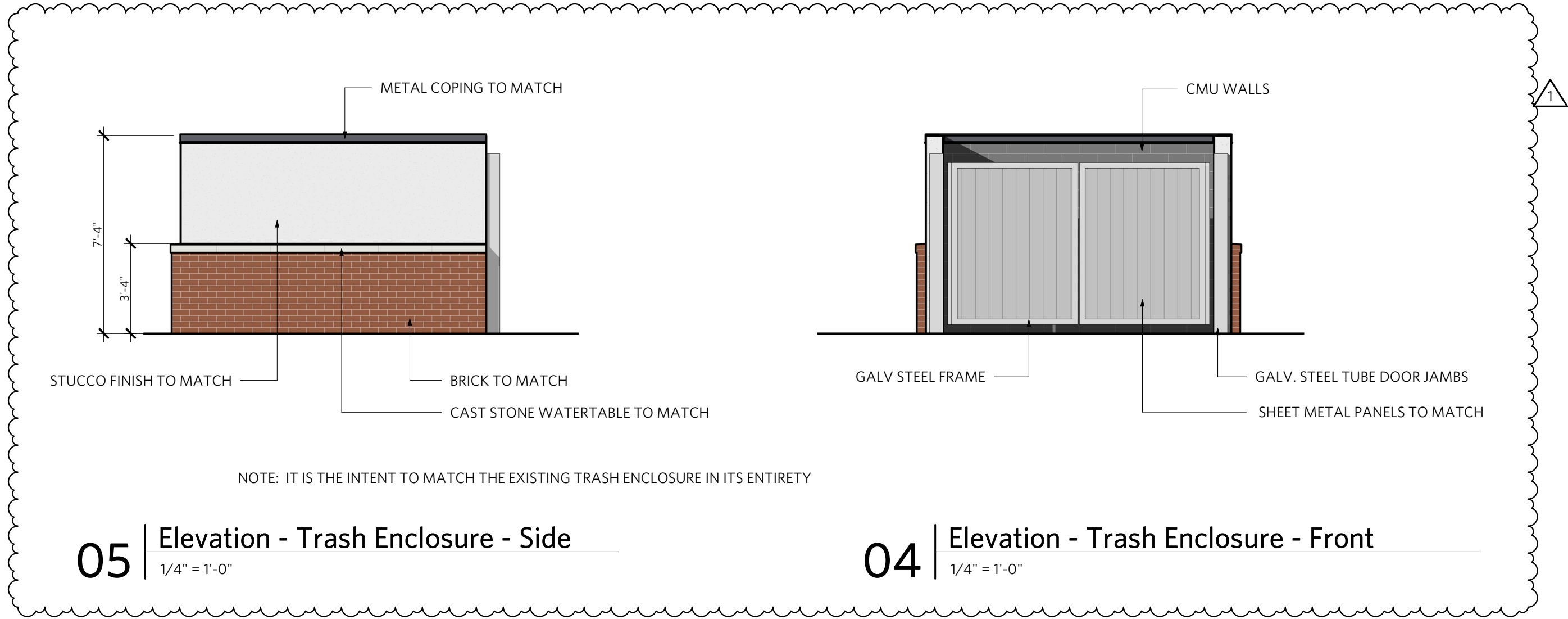


01 | DD - WEST ELEVATION  
1/4" = 1'-0"



GENERAL NOTES-EXTERIOR ELEVATION

1. CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS AND REPORT TO ARCHITECT ANY CONFLICTS THAT MAY AFFECT DESIGN INTENTIONS SHOWN ON PROJECT DOCUMENTS.
  2. SEAL AROUND PERIMETER OF ALL EXTERIOR OPENINGS - AS RECOMMENDED BY THE SYSTEM MANUFACTURERS RECOMMENDATIONS. CONFIRM FENETRATION WATER MANAGEMENT SYSTEM AND LOCATION OF WEEPS, IF PRESENT, PRIOR TO APPLYING SEALANT. SEALANT TO MATCH ADJACENT FINISH.
  3. PROVIDE FLASHING AT ALL HEADERS (DOOR + WINDOW). RUN BENEATH WALL SYSTEM MINIMUM OF 8" ABOVE OPENING AND ATTACH WITH NON-GALVANIC MECHANICAL FASTENERS.
  4. REFER TO CIVIL FOR FILL AND GRADING REQUIREMENTS.
  5. MATCH OPENINGS @ BRICK VENEER TO MODULE, ADJUST TRIM ACCORDINGLY.
  6. COORDINATE CLADDING DETAILS WITH MANUFACTURER'S BEST PRACTICES.
  7. COORDINATE WITH ARCHITECT PRIOR TO PROCUREMENT AND INSTALLATION.
  8. USE PRESSURE TREATED LUMBER WHERE IN CONTACT WITH CONCRETE OR MASONRY.
- ROUGH OPENING HEIGHTS ARE FROM TOP OF SUB FLOOR, NOT FINISHED FLOOR.



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EXTERIOR  
ELEVATIONS

A201





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	PDP SUBMITTAL	08.06.2020

EXTERIOR IMAGERY

A210