AN ORDINANCE APPROVING A PRELIMINARY DEVELOPMENT PLAN LOCATED AT 2150 NE INDEPENDENCE AVE IN DISTRICT CP-2, PROPOSED AUTOMOTIVE SALES AND DETAIL CENTER, ALL IN ACCORDANCE WITH THE PROVISIONS OF CHAPTER 33, THE UNIFIED DEVELOPMENT ORDINANCE, OF THE CODE OF ORDINANCES FOR THE CITY OF LEE'S SUMMIT, MISSOURI.

WHEREAS, Application #PL2020-044 submitted by Lee's Summit Town Center, LLC, requesting approval of a preliminary development plan in District CP-2 (Planned Community Commercial District) on land located at 2150 NE Independence Ave was referred to the Planning Commission to hold a public hearing; and,

WHEREAS, the Unified Development Ordinance provides for the approval of a preliminary development plan by the City following public hearings by the Planning Commission and City Council; and,

WHEREAS, after due public notice in the manner prescribed by law, the Planning Commission held a public hearing for the request on May 14, 2010, and rendered a report to the City Council containing findings of fact and a recommendation that the preliminary development plan be approved; and,

WHEREAS, after due public notice in the manner prescribed by law, the City Council held a public hearing on June 9, 2020, and approved a motion for a second ordinance reading to approve the preliminary development plan for said property; and

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF LEE'S SUMMIT, MISSOURI, as follows:

SECTION 1. That a preliminary development plan is hereby approved in District CP-2 on the following described property:

A part of the Northeast Quarter of the Northwest Quarter, Section 29, Township 48 North, Range 31 West, Lee's Summit, Jackson County, Missouri, described as follows:

Commencing at the Northeast corner of the Northwest Quarter of said Section 29; thence S 1°35′52″ W along the East line of the Northeast Quarter of the Northwest Quarter for 991.63 feet for the Point of Beginning; thence S 1°35′52″ W continuing along said East line for 330.00 feet to the Southeast corner of the Northeast Quarter of the Northwest Quarter; thence N 88°15′22″ W along the South line of the Northeast Quarter of Northwest Quarter for 561.55 feet to the Southeast corner of LEE'S SUMMIT TOWN CENTRE, LOT 1 & LOT 2, a subdivision of record; thence N 1°42′31″ E along the East line of said subdivision for 330.00 feet; thence S 88°15′22″ E for 560.91 feet to the Point of Beginning. Subject to the road right-of-way of Independence Avenue. Containing 4.25 acres more or less.

SECTION 2. That the following conditions of approval apply:

- 1. Submittal of a geotechnical report to the City for the reclaimed pond site shall be required prior to the issuance of any building permit.
- 2. The prefinished, corrugated, architectural horizontal rib metal panel shall be an allowed accent material on the south, north and east facades as shown on the building elevations dated March 24, 2020.

3. The non-insulated stucco-finished metal wall panels shown on the building elevations dated March 24, 2020, shall not be allowed on the proposed building. Said metal wall panels shall be replaced with an approved material for commercial/retail buildings listed under UDO Section 8.170.A.

SECTION 3. That development shall be in accordance with the preliminary development plan, date stamped March 24, 2020, as described in the staff report.

SECTION 4. Nonseverability. All provisions of this ordinance are so essentially and inseparably connected with, and so dependent upon, each other that no such provision would be enacted without all others. If a court of competent jurisdiction enters a final judgment on the merits that is not subject to appeal and that declares any provision or part of this ordinance void, unconstitutional, or unenforceable, then this ordinance, in its collective entirety, is invalid and shall have no legal effect as of the date of such judgment.

SECTION 5. That failure to comply with all of the provisions contained in this ordinance shall constitute violations of both this ordinance and Chapter 33, the City's Unified Development Ordinance, of the Code of Ordinances for the City of Lee's Summit.

1

City Clerk Trisha Fowler Arcuri

APPROVED AS TO FORM:

City Attorney *Brian W. Head*



LEE'S SUMMIT MISSOURI

DEVELOPMENT REVIEW FORM Transportation Impact

DATE:

May 4, 2020

CONDUCTED BY: Brad Cooley, Staff Engineer

SUBMITTAL DATE:

March 23, 2020

PHONE: 816.969.1800

APPLICATION #:

PL2020044

EMAIL: Brad.Cooley@cityofls.net

PROJECT NAME:

AUTOMOTIVE DETAIL CENTER

PROJECT TYPE: Prel Dev Plan (PDP)

SURROUNDING ENVIRONMENT (Streets, Developments)

The proposed development is located to the northwest of the intersection of Town Center Drive and Independence avenue. The surrounding property is undeveloped Planned Community Commercial Zoning to the north and west with existing auto dealerships located to the east and State facilities located to the south.

ALLOWABLE ACCESS

Access to the site is proposed at two locations around the site; one along Town Center Drive to the south and one along Independence Avenue to the east.

EXISTING STREET CHARACTERISTICS (Lanes, Speed limits, Sight Distance, Medians)

Town Center Drive is a two-lane, undivided, commercial local with a posted speed limit of 35 mph. Independence Avenue is two-lane, undivided, commercial collector with a posted speed limit of 35 mph. There is adequate sight distance at the existing intersection of Town Center Drive and Independene Avenue and adequate sight distance at the proposed private driveway locations along Town Center Drive and Independence Avenue.

ACCESS	MANAGEMENT	CODE	COMPLIANCE	?
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YES 🖂

No

Both proposed drive entrances comply with the access management code.

TRIP GENERATION

Time Period	Total	In	Out
Weekday	416	208	208
A.M. Peak Hour	25	19	6
P.M. Peak Hour	34	13	21

TRANSPORTATION IMPACT STUDY REQUIRED?

YES

No 🖂

The proposed development will not likely generate more than 100 vehicle trips during a weekday peak hour; the minimum condition for traffic impact study requirements.

LIVABLE STREETS (Resolut	ion 10-17)	COMPLIANT 🔀	EXCEPTION	ONS
Comprehensive attachments, a with the Livable	e Plan, associated Gree nd elements otherwise e Streets Policy adopte	enway Master Plan a e required by ordina ed by Resolution 10-:	ements identified in the and Bicycle Transportati nces and standards in f 17. Sidewalk will be co ce with code requireme	on Plan ull compliance nstructed along
RECOMMENDATION: Recommendations for Applicity Staff.	APPROVAL 🔀 proval refer only to the tr	DENIAL ansportation impact a	N/A nd do not constitute an er	STIPULATIONS

Staff recommends approval of the proposed preliminary development plan.

davidsor



2 Vicinity Map

BH-1: Storm Structure, Elevation: 982.05* N: 1013823.1378 E: 2827361.8656 M-2: Storm ⊕BM-1

Sanitary - City of Lee's Summit - phone (816) 969-1900 oter - City of Lee's Summit - phone (816) 969-1900 - Spire - phone (816) 756-5252 hone - Al&T - phone (800) 464-7928 Sewer - City of Lee's Summit - phone (816) 969-1900 Spectrum - phone (816) 358-8833 Evergy - phone (888) 471-5275



s site lies entirely within "Zone X", oreas determined to outside the 0.2% annual chance floodplain as depicted the FEMA Flood Insurance Rate Map (FIRM) no. 095C04J0G, Revision Date: January 20, 2017.

® § a O 🛮 🔓 8 Ø ectangular structure

water valve water meter circular structure

right of way

imary switch gear rvice transformer (pad mount) itural gas meter

existing minor contour existing major contour

proposed major contour proposed minor contour

light

tility Legend

sonitor main sonitor service statem seere (existing) stom seere (existing) stom seere (solid wall, proposed) stom seere (solid wall, proposed) stom seere (servicoted, proposed) stom seere (servicoted, proposed) stom seere (servicoted, proposed) waller service (domestic) waller service (domestic) waller service (domestic)

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notural gas main notural gas service schematic



fence-chainlink fence-wood fence-barbed wire treeline

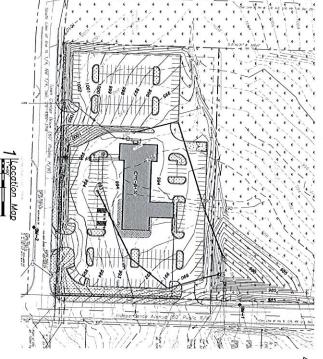
underground cable/phone/data underground cable/phone/data



- All work within the road right-of-way shall projects of the city of Lee's Summit, MO.
- Any change or
- The contractor shall be required to provide a stabilized construction adjacent roads. entrance to prevent mud from being deposited onto

- contractor shall sad all disturbed areas within the public street right-of-way.
- aving shall conform to the soils report, and these drawings, any identified discrepancies shall be brought to the attention of the angineer.
- notification to the city engineering division to schedule all required inspections.
- III concrete for public improvements shall comply with the Standards and board (KCMMB). Structural concrete shall be 5,000 psi and nonstructural
- \ right-of-way work permit and/or street exception the public street right-of-way. Specifications of the Kansas City Metropolitan Materials concrete shall be 4,000 psi.

Commercial Preliminary City of Lee's Summit, Jackson County, Missouri Section 29, Township 48 North, Range 31 West Detail Facility Development Balderston Plan for



The contractor shall be responsible for any damage to any utilities or their structures during excavation/construction activities.

contractor shall coordinate and be responsible for connection fees, system opened fees, fores, etc. for all main connections and/or extensions with and the city and/or responsible will be unless otherwise coordinated with the Green services for this project shall be coordinated with respective utility company octor.

contractor shall be responsible for adjusting all at-grade utilities such as hhole covers, when box covers, etc. to finish grade, whether specifically indicated these pions or not. its shown on the plan with specific elevations and/or structure locations are by level 19, let storm sever, softlary sever, water hydrants & valves, utility s, etc. All other estings utility information shown is SUE quality level "D", orally retracement of one—call and city records.

parking on

232 parking spaces

parking spaces per 1,000 s.f. x 16,000 s.f. = 80 parking s

All work and materials shall be subject to inspection and approval by the owner or the owner's representative, deviation from these plans must be authorized by the owner or the owner's representative, Erasion Control shall be per the Erasion and Sediment Control Program Manual of the City of Lee's Summit, MO.

All traffic control in con Control Devices. action with construction in the right-of-way shall be in conformance with the Manual of Uniform Traffic

he contractor shall be responsible for obtaining all required permits, paying all fees, and otherwise camplying with all applications governing the project.

the contractor shall be responsible for the restoration of the right-of-way and for demograd improvements such as curts, interwisks, attent light and taffic signal junction beaut, traffic spind tops lead-ins, signal poles, etc. Demograd improvements that be repaired in conformance with the latest city standards and to the city's satisfaction.

and at the informent charter of the informent charter, Section 22, Temptop 48 bittin, it met, Less Samma, Lestano Carolt, Massind, steedbard on Gleen and Carolt and Steedbard on Steedbard Steedbar continuing along said East line 31 'E along the East line of

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C16 - Eth Plan
C17 - Eth Plan
C18 - Eth Plan
C18 - Eth Plan
C18 - Eth Plan
C18 - Eth Plan
C19 - Eth Plan
C10 - Phase

Davidson Architecture & Engine Mr. Paul A. Miller, P.E. 4301 Indian Creek Pkwy. Overland Park, KS 66207 Phone: (913) 451-9390 Email: Paul@davidsonae.com

Lee's Summit Town Center, Li Bob Balderston 3200 NW South Outer Road Lee's Summit, MO 64105

Commercial Preliminary Development Plan for Automotive Detail Center

site area: impervious area: green area: total building area.

~175,306 s.f. or ~4.02 ocres 124,303 s.f. 71% < 80% 51,003 s.f. 29% > 20%

15,993 s.f.

governing municipality Project Information

Loo's Summit,

- The Contractor shall be responsible for obtaining all required applicable regulations governing the project. permits, paying all fees, and otherwise complying with a
- All materials, workmanship, and construction shall meet or exceed the city standards. Where these plans and standards, the higher quality standard as determined by the angineer shall inspected and approved by contractor. apply. All work shall be
- subject to the requirements of, and conform to, the specifications in current use. The standards, ore hereby incorporated by reference.
- No geological information is shown in these plans
- Prior to commencement of work, the contractor shall notify all utility companies which have facilities in the neor vicinity of the construction to be performed.
- waste material resulting from the project shall be disposed of off-site in an approved landfill. All excevation shall unclassified. No separate payment will be made for rock excevation. Contractor is responsible for all hauf off
- All mud, dirt, and debris tracked anto the parking lot or any roadway The Contractor shall be required to provide a stabilized construction entrance to prevent mud from being deposited onto adjacent roads. shall be removed immediately by the contro
- Contractor shall be responsible for keeping the public streets in the vicinity of the job site clean and free of s, soil and debris. Streets and/or parking areas will be scraped and swept on a daily basis by the general ractor.
- Paying shall conform to the geolechical report and these drawings, any identified discrepancies shall be brought to the attention of the engineer immediately. If no postech, report is provided for the project, the contractor shall use the minimum design standards as required by the city. The Contractor shall protect from domage all survey manuments, property markers, benchmarks, etc. Items damaged shall be reset by a professional land surveyor licensed in the state of Missouri, at the contractor's expanse.

The Contractor shall provide 48-hour natification to the city engineering division or proper city staff to schedule all required inspections.

- The contracts shall be responsible for the restoration of the right-of-way and but demands immovements tax the contract shall be responsible for the restoration of the right-of-way and but demands immovements and call this contract shall be reported in conformance with the latest city standards and to the city's and contractice with the latest city standards and to the city's All concrete for public improvements shall comply with the city standards and specifications, it is not only standards and specifications are provided than the confector shall enough with the standards and specifications of the knowled Cyty Authorities on the confector shall enough with the standards and sections of the ALODO psi and constructural concrete shall be 4,000 psi and constructural concrete shall be 4,000 psi and constructural concrete shall be 4,000 psi.
- All each while the road right-of-way shall conform to the deshical specifications and despin chains for public improvement projects of the city of Lets Summit, Lud on the transportation despinishment of Massaul. A right-of-way waxis permit aduly or street securations parmit that the ablanced by the confrontor if required to complete oil work within the public right-of-way.
- All folfic control in connection with construction in the right-of-way shall be in conformance with the Manual of Uniform Traffic Control Devices and/or the jurisdictional authority. It is the contractor's responsibility to obtain a traffic control permit if required: in dumpsters. No construction waste manner specified by local, state and construction manager shall be
- site materials, trash and construction debris shall be collected and stored in be buried on site. All hazardous wate moterials will be disposed of in the strengthions. Site parannel shall be natiructed in these practices, and the nable for seeing that these practices are followed.
- Recommendations made by the geotechnical engineer, to be retained by the armer, and contained in the geotechnical report shall sparem project conditions unless noted otherwise. Periorg shall conform to the geotechnical report. Any discrepancies shall be brought to the attention of the engineer.
- shall grade areas to provide positive drainage
- The contractor shall be responsible for the coordination of work between project, including staging of construction details. suppliers and subcontractors
- All disturbed areas shall be maintained for dust control. Sprinkling tank trucks shall be available at all times & used on on—site disturbed areas, and other areas where dust becomes a problem as a result of construction activity.
- Utility Notes: Nothing indicated on these drawings shall relieve the contractor from complying with appropriate safety regulations.

Boundary information, existing utilities and topographic features shown are based on information supplied by owner surveyor, and others.

- The easting all tilly treations shown on these plans are approximate and may not include all utility lines present. The contractor shall be reportable for entroit. One Cell and coordinate field location of all existing undergound utilities prior to beginning exception/construction activities.
- The controller shall be responsible for any damage to any utilities or their structures sturing excenditor/construction octivities. Utilities include but or an of limited to a savicer such out a destrictly, communication, water, public transportation (including traffic signals), storm systems, and items provided by a public utility.
- The contractor shall be responsible for adjusting all at-grade utilities such as manhole covers, volve box covers, etc. to finish grade, whether specifically indicated in these plans or not. The controller shall coordinate and be responsible for connection from, system development feats, torses, etc. for all main connections and/or entensions with and from the objection from consection utility unless atherwise accordinated with the Chees. All utility families for this project shall be coordinated with respective utility company by contractor.
- s them on the plan with specific elevations and/or structure locations are SUE quality level "D", is: storm spinlary sever, well-hydrosts & when, utility beliefs, etc. All other existing utility information sharen is SUE level "D", primarily retracement of one-coil and city records.
- Refer to mechanical, electrical, and plumbing (MEP) plans for utility service sizes and exact locations. Refer to site electric plans for electric construction details.
- Bockfill all utility trenches according to the most recent edition of the jurisdictional standards. Provide temporary support for existing utility lines that are encountered during construction
- All utilities shall be brought within 5' of the building to connect to plumbing contractors work unless specified.
- ractor shall adjust all utility fixtures, manholes and inlets to finished grade as required
- The Contractor shall maintain 18" minimum vertical clearance between storm sewer and sanitary sewer pipes and minimum vertical clearance between sanitary sewer and water main unless otherwise specified.
- sto new and existing storm sewer systems. clean at contractor's expense. Upon and structures shall be cleaned out.
- Electrical, lighting, and data conduit layout shown is for graphical only. See MEP plans for more detail

Erosion Control Notes:

- The satablesion of the still femots, the mointenance of the denotes seeds, and the contraction of the states of entropes and the combinated prior to any cleaning and ground of any potential of the state. Extends prior to any cleaning of the prior of the state of t

- Crosion and any sadimentation from early on this site shall be contained on the site and not allowed to collect on any offsite areas or in externoys. Waternoys include both natural and man-made open ditches, streams, storm ditains, lokes and ponds. Refer to erosion control plans for more information.
- The contractor shall implement and monitoni Ecosion Control Devices as shown in the desimitary and popiet immunal believe, and at all times during the construction of this project, they modifications to the devices are construction or changed conditions shall be compiled with an required or as directed by the City of Lee's Summit, UD.

- Grades on the areas to be topsoiled which have been previously established shall be maintained.
- Banding = Immediately prior to dumping and spreading of tapsal, loasen the subgrade by discing or scarifying to a depth of at least 4°, to permit banding of the tapsall and subsoil.
- Inside self sond, held filters, and other Ension Counts Decision and indicated in the deminist, per JPM, and authority inquisions, and at distillated effected orace an exercisor. Bilding of estimated shall be amoveded propriety per outhorities regulations if all filtered electropisses or becomes self-terms and effective provide to the self-of-ensional period of the self-of-ensional tops of bedays when design copoolly has been reduced to SCK. Contractor shall filter the ends of the self-of-ensional tractor of the self-of-ensional tractor of bedays reduced to SCK.
- faut to the predictional actinosity for temporary great construction actions admits. If not specifies, most public to be a prediction action of the production of the production of the prediction of the production of the producti

- Temporary Seading Protect topsoil stockpiles by temporarily seeding as soon as possible, not to exceed 14 days, earther permitting, after the formation of the stockpile,
- site. Silt fence

- The contractor shall be responsible for installation and remarkenate of all Ecosin Cantral Cherica Thesis, the providing sarris, still force, or other memors to prevent received from resolution the right of early and offsits and boundaries, in the exert the prevention measures are not efficient, the confractor shall remove any debria erosen, restoring the resolution.

- Sirip lopabil only from those areas that will be disturbed by excevation, filling, road building, or compaction by equipment. Refer to the gentechnical report for depths of stripping. Put sediment basins, diversions, and other controls into piece before stripping.

- The general contractor shell integed the Epoino Control Devices notes every 14 days unles any committees the fine general contractor shell integed the Epoino Control Devices notes every 14 days unles and control the SSEPP or 84 manufacture of the SSEPP or 14 section of the SSEPP of the SS
- Certime terms shall be repulsyly inspected, and inspected after aboth models each. Reports to extreme that it is also made in a certification of the certification o

- Select stockpile location to avoid stopas and natural drainageways, avoiding traffic routes. On large sites, re-spreading is easier and more economical where topsoil is stockpiled in small piles located near areas where they will be used.
- Barriers Use sediment fences or other barriers

- where
- Permonent Vegelation If stockpiles will not be used within 12 months, they must be stablikzed with permonent regelation to control erosion and weed growth.

- This pojules shall be constructed in compliance with the sail ension and sedimentation control permit, and conform to the standards and specifications of the city of Lee's Summit, MO, prior to any land disturbance changes.
- The controller shall be responsible to control demonstroom review and sillation during all phases of controlletion Crospin Control werk out practifier and bit has place prior to be physiolog secondary/Constructions certifiers. In some progressive allostication of disturbed event. Does provingly because and the shallow controlled and controlled throughout does disturbed event that are present in the develop, project manual and an acceptance with all federal, state and local standards until the site is stabilized.

- Contractor is to provide erosion protection for all starm sewer inlets. If any of the Erosian Control Devices on the site are deemed inodequate or ineffective, the city of Lee's Summi MO has the right to require additional Erosian Control measures at the expense of the general contractor.
- If any pump-driven devotaring is needed, it shall be discharged though a filter bag over a well-wegetaled area the pump must discharge at a non-erosive velocity. If necessary, on approved energy dissipater may be used.
- fermant Bur's (or any distinguish land area shall be completed by the general controller within 5 classifiers days after final profess or the load with brokes has been considered, then it is not possible to permanently days after final profess or the load with brokes has been considered, and it is not possible to permanently days after the controller of the control force of the controller of the contro
- When topsolling, maintain needed erosion control practices such as diversions, grade stabilization structures, dikes, level spreaders, waterwoys and sediment basins.

- Discope seals, and its inspecied regulary and after early could seast discore in descript seals shall be made immediately. If the channels of seals are about and of the channel of the channel of seals and the channel of seals are channels. In deficion, the demograd expedit part is extended and research, as needed, to prevent further demograf in deficional measures are needed to defined the channels.
- Richaing will design drawings and specifications shall be provided to the owner and awner's representative for review and approval. All relations were designer shall be signed and separate the protested Protessional Displace licensed in the state of Massouri, Design services shall be included in retaining will pricing.
- Refer to Retaining Wall drawings for wall spot elevations.
- The Contractor is responsible for coordinating all inspections, certifications, permits, tess and experiments of members for final inspection. So the contractor shall notify experiment for final inspection include in construction cost for all of the above items related to the installation of the retaining
- If the wall is greater than 30" and is in an accessible area, guard rails are required per code.

The number and cross stopes for all sidentities, accessible paths, comps, designated pathing stats, sic., said in compliance with literal Federic ALA judditimes, in addition to any accessibility shared society by the governing municipality. Prior to installation/construction, if any discrepances are found within the plans, the Caphese shall be notified.

Seeding shall be as follows unless otherwise stated in the landscape plans.

davidsor

Annual rye grass, wheat, or oats should be used for temporary seeding. Apply rye grass at 120bs, per or oats at 100bs, per acre.

Seadad prepartion-install nessayry metonical resion and settlementation control procises before setting, and complete grating according to the approved plan, time and fertiliser, needs should be determined by sail list. Apply the time and fertilizer evenly and incorporate into the top 4"-6" of sail by discing or other suitable means. A mixture of 65% kentucky bluegrass and 35% cheming fescue or creeping red fescue should be used for permanen seading, Apply the mixture at 20s. per 1000/th

All seeding shall be performed during formable sealths conditions and only during natmal and according libriding seasons when scalificating younge conditions each. The building seasons when scalificating younge conditions each The building seasons when scalificating younge conditions were seasons described seasons. The seasons described seasons are seasons described seasons of the seasons of t

Sand should be libeled in occordance with U.S. Department of Agriculture rules and regulators under the fideral seesand comply with the requirement of the Massian seed law. Labels continue motivated incomposition and seed purity, permination, and presence of weeds. Weed seed should not exceed 1.0% by weight of the mixture.

Apply seed uniformly with a cyclone seeder, drill, cultipacker seeder, or hydroseeder. Small grains should be planted more than 1° deep, and grasses and legumes no more than 1½°.

flemently, a permanent stand of vegetation cannot be determined to be fully established until soil cover has been maintained for one tilly year from plotting, inspect seeded areas for failure and make necessary repairs and re−seedings within the some season, if possible.

The Contractor shall send all disturbed great unhas otherwise noted by landscape plans, immediately after seading, mulci of seeded pross with unwesthered and grans store, speed uniformly of the rate of 1-2 fore par acre or (100th; (2)-5 bank) per 1000H. The mulch should be analysed with this city per mulch analysing lool or other mean as obspread by the jurisdictational substancy, which method many be used in the of loose mulcin. Refer to city and state standards

Contractor shall said all disturbed areas within the public street right-of-way, proper installation.

- At the site, the Controctor shall maintain the required documents for immediate review, included but not limited to: Site Shely Pillon, Mamilian Permits, Street Claure Permits, Contract Documents, Demoilton Pians, Salvage Verification Forms, SwiPPP Etc.
- This contractor shall notify all utility componess for field welfclador and deconvection of utilities price to any work. Cookindents in required for both interporty and permanent utility services that services that serve the site included both real initial is waiter lines, power, lesiphone, cobie, storm sever, solicity sever with the city and/or respective utility.
- The Controller is specificary condensed that the locations and/or sendation of sesting utilists on shore no the serious parts of or services of the services utility components and where possible, measurements (show in the parts of the services of the ser
- Remaining building structures and remaining utility services shall be protected from damage, existing features to remain will be replaced at the Contractor's expense. Damage to any
- disturbed during demolition shall be throughly evaluated by the geolectrical expinear responsible for the tration prior to placement of structural fit. All disturbed axis shall be undersail prior to placement of until fit, per the geolectrical recommendations. Contractor shall notify the geolectrical engineer of least it prior to placement of structural fit.
- Econdions credied by the removal of any existing utility lines that extend below design grades shall be cut wide enough to allow use of heavy construction equipment to compact the III. Bass of the excendious of throughly evaluated by the geotechnoics engagene prior to procurent of ICI. I existing utilities on to be left in-space, existing trench bookfill shall be evaluated in accordance with the recommendations of evaluation of existing ICI.
- Contractor shall be responsible for obtaining all Federal, State, and local permits, obtaining all inspections shall conform to all operating costs and regulators required to perform necessary obtainent during soliton, should hazardous materials be encountered.
- For Irea & stump removal, the Controctor stall remove oil root systems from the site and despinated to be sowed, believe the districted during removal of stumps shall be undersed out replaced with structured fill. A zone of descooled soils may east in the visibly of the freet. The desiccoled soils have a higher seell potential and soil be undersaid and replaced with structural fill.
- Retaining Wall Notes: No construction waste shall be buried on site. All hazardous specified by local, state and federal regulations.

- retaining will improvements shall be designed by a ficensed professional engineer retained by the contracts will engineer and contractor shall satisfy themselves of the conditions of the surrounding site features and interactions with the proposed improvements.







Any wall shown is a schematic representation of the are provided on the site grading plan. proposed walls.

Lee's Summit, Missouri 64064

Contractor is responsible for legally disposing of all materials and associated cost of interim storage facilities

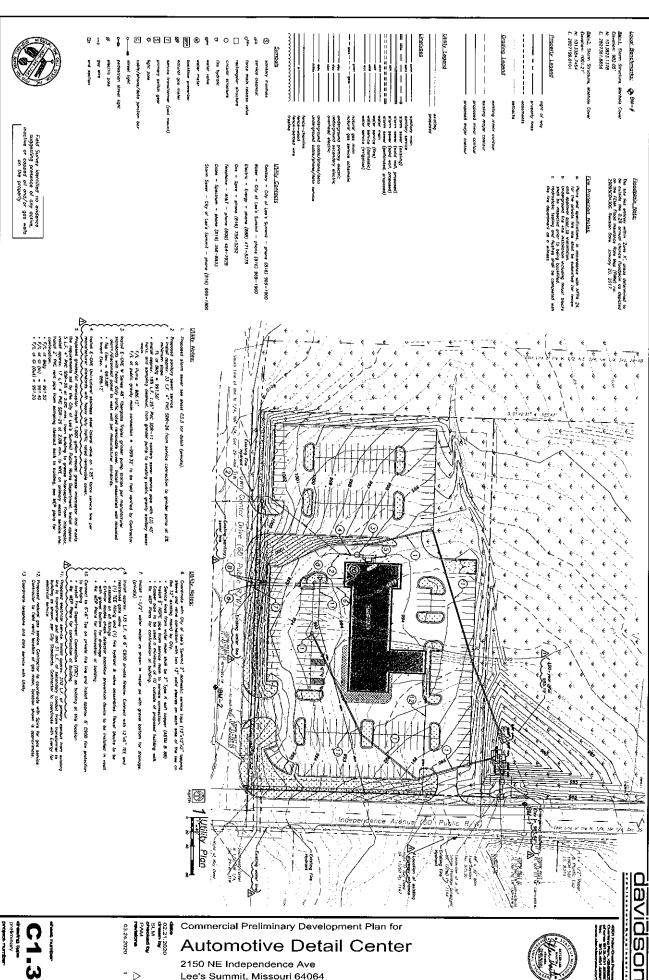
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project running	as the colors and in the plant, the try		, ; ; ;		
drashe spe	The numbry and cross shope for all sidewolks, accessible paths, comps, designated pathing stats, atc, shall be in compliance with lotest facent ALM guidelines, in addition to any accessibility standards adopted by the powering manuspality. Prior to installation/construction,		proposed minor contour		
(sobilities Act (ADA) Notes:	29. Construct drainage swale Re: C2.4	~~		
)	public great right-of-may.		existing minor contaur		
diest rurber	while named and on actual particles books? The profession and the contractor to complete off cities were within		-	Grading Legend	
	All conceils for public Improvements shot comply with the Standards and Specifications of the Konsos City Metropolian Midwals Board				and section
	Contractor shall provide 48-hour notification to the city engineering division to schedule oil required inspections.	 Proposed striping: parking, etc., typ., per arch plans. Trash enclasura Re: Arch. Plans 	governandy		_
	Pointy shall conform to the soils report, and these stressings, any dentified decrepancies shall be brought to the ottention of the engineer.	ci. Proposed private sometry sewer services lines, see sheet trib for details.	property lines		gr electric pale
	The contractor shall and all disturbed areas within the public street right-of-way.				nam padestrion street light
	MgN and traffic signal junction bases, traffic agoet loop Add-inst, agoet bokes, afc. Obmopped improvements stad be responsed in conference—ask the latest City standards and to the City's seatestation.			Property Levend	o
	s confractor shall be responsible for the restanction of the right-of-way and for demaged improvements such as curbs, sidnmaks, street	 Construct ADA accessible sidewalk ramp, ramps shall comply with City Standards and Details. Re: C2.2. 		anetion box	C cable/phone/data junction
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03.24,2020

2150 NE Independence Ave Lee's Summit, Missouri 64064









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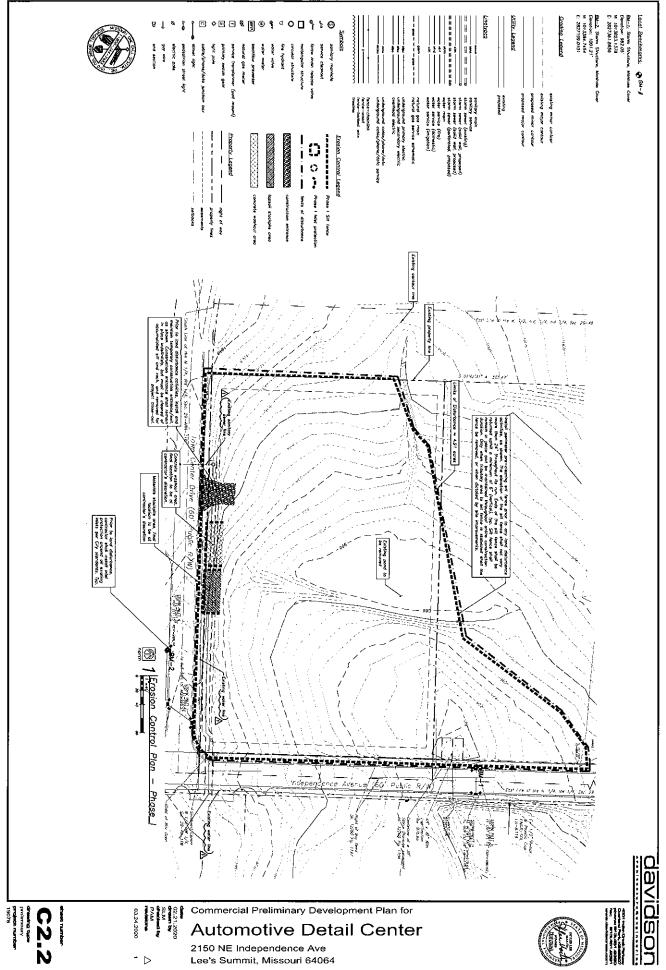
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Commercial Preliminary Development Plan for







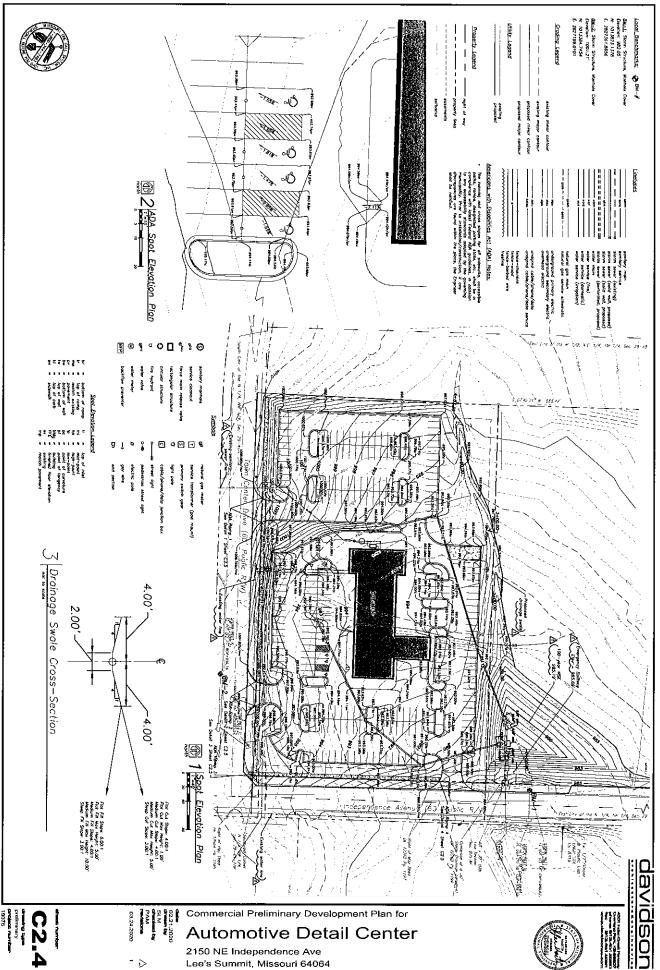




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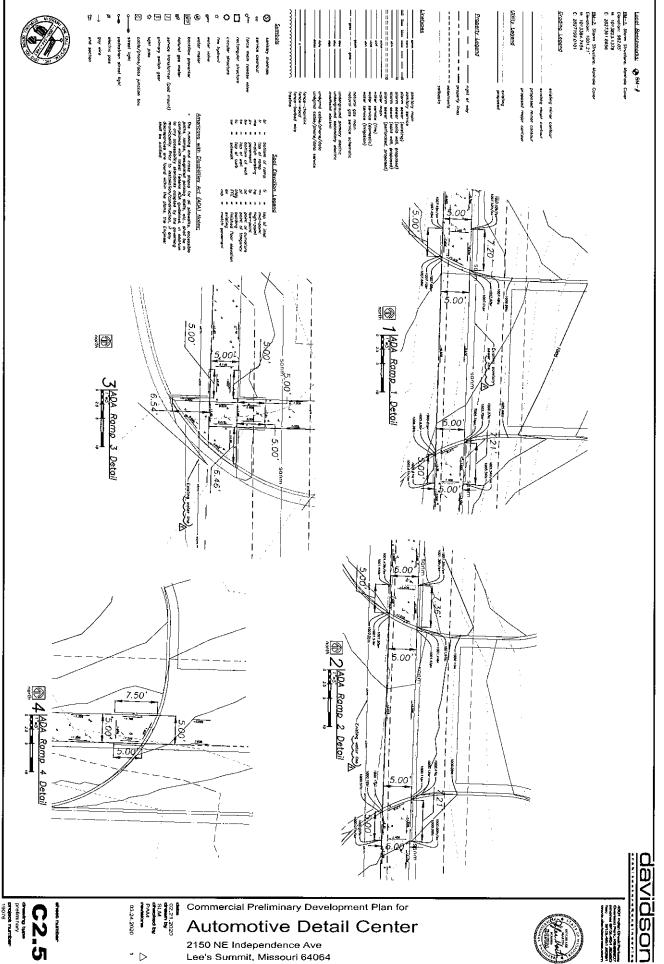


Automotive Detail Center

2150 NE Independence Ave Lee's Summit, Missouri 64064





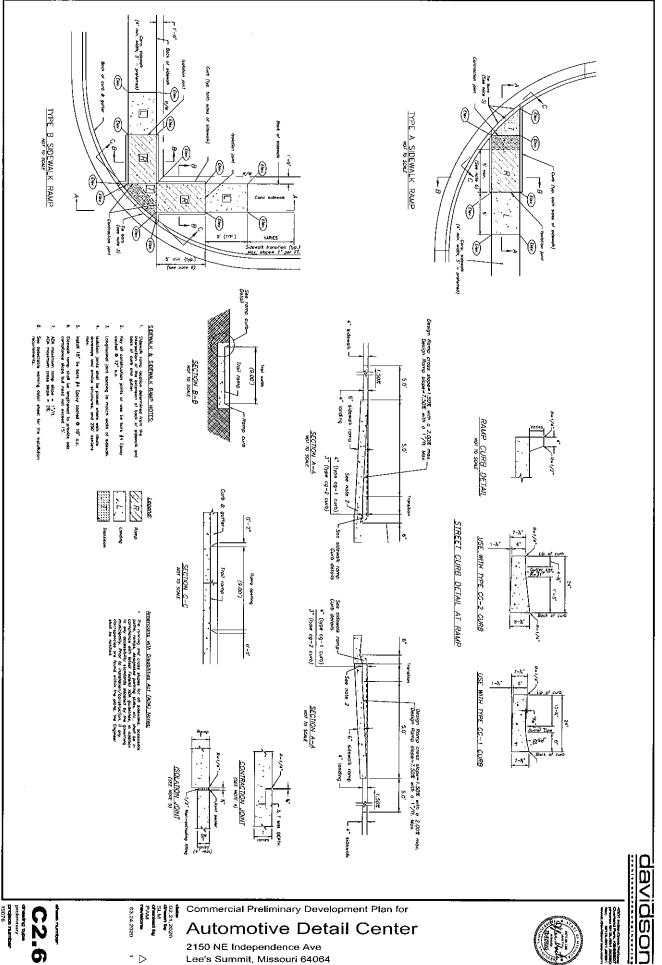










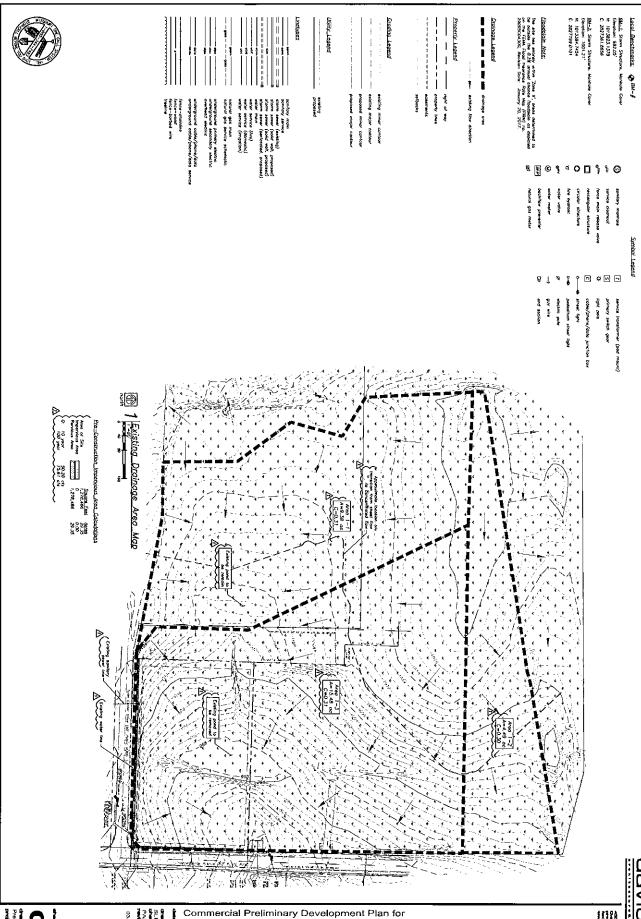






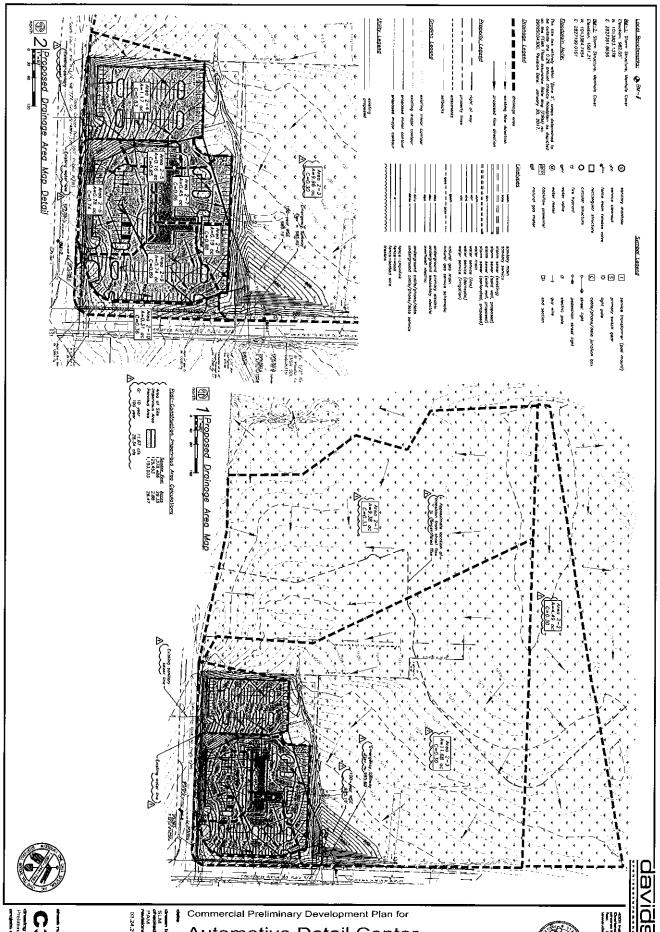








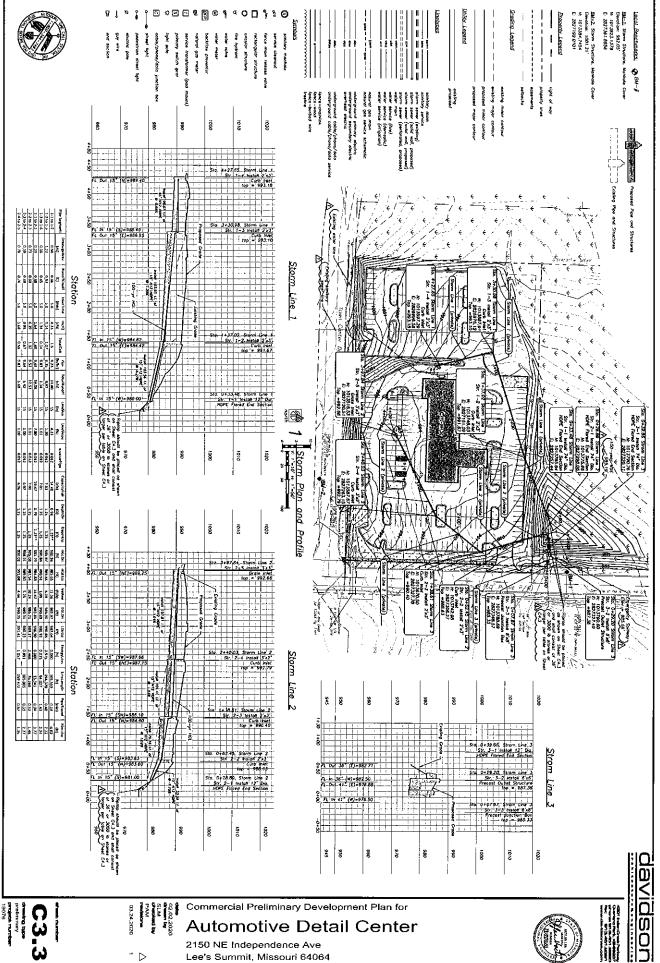










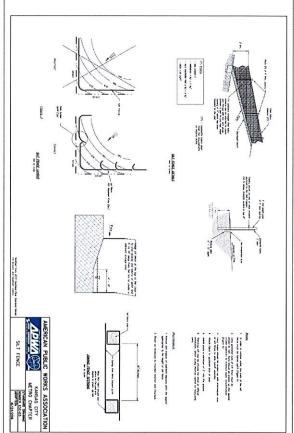


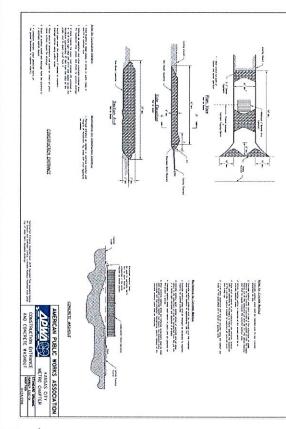


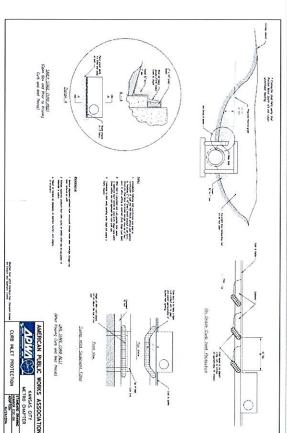


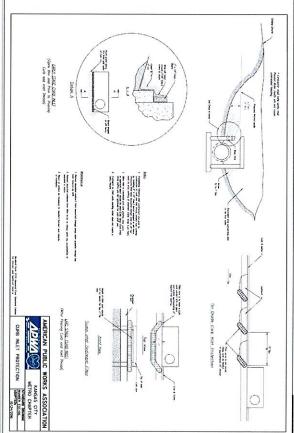








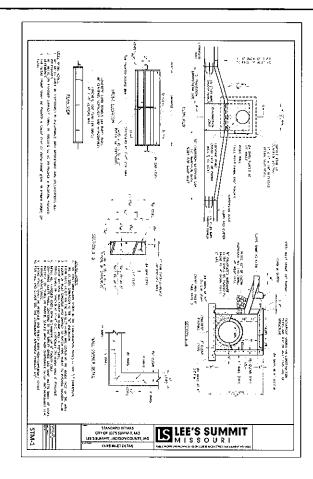


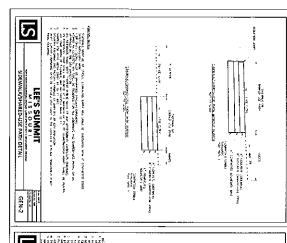


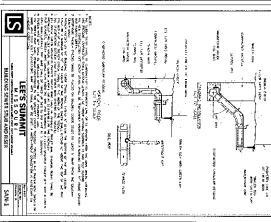
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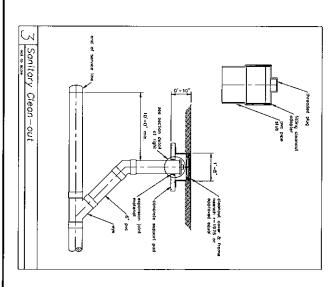
Commercial Preliminary Development Plan for



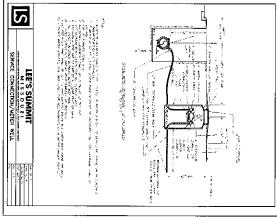


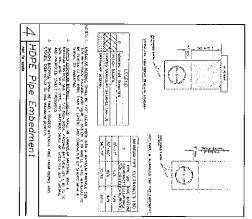






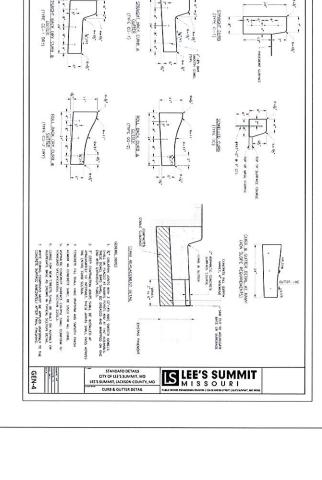
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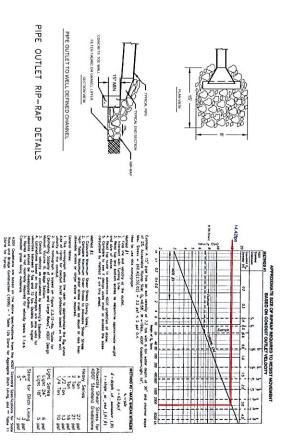




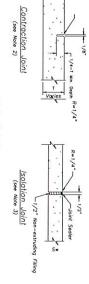
Commercial Preliminary Development Plan for







Pavement Details





- Concrete shall be KCMMB-4K unless otherwise noted.
- Key all construction joints or use tie bars #4 Epoxy coated 12" o.c.
- Longitudinal joint spacing to match width of sidewalk. Isolation joints shall be placed where walk abuts driveways and similar structures, and 250° centers
- Install 18" tie bars #4 Epoxy coated @ 18" o.c.

Commercial Preliminary Development Plan for

1.5" KCAPWA Type 3-01Asphalt Mix
4" KCAPWA Type 1-01Asphalt Mix
6" granular base course "compacted subgrade with geogrid or flyash stabilization

6" granular base course and 6" stabilized ubgrade to extend 1' beyond back of curb

(95% std. proctor)

Standard Pavement w/ curb

- 6" KCMMB 4K

Asphalt Mix

Compacted subgrade

- 6" compacted subgrade
with flyash
stabilization
1 (95% std. proctor)

-6" granular base course - 8" KCMMB 4K concrete

Notes:

1. All powements shall conform to Lee's Summit City Standard.
City Standard to site recommendations.

3. Where city powement standards and goolech recommendations differ, confroctor shall use the more stringent of the two.

4. Any discrepancies shall be brought to the ottention of the engineer.

Compacted subgrade

— 4" KCMMB Portland Cement Concrete — 4" Aggregate base c

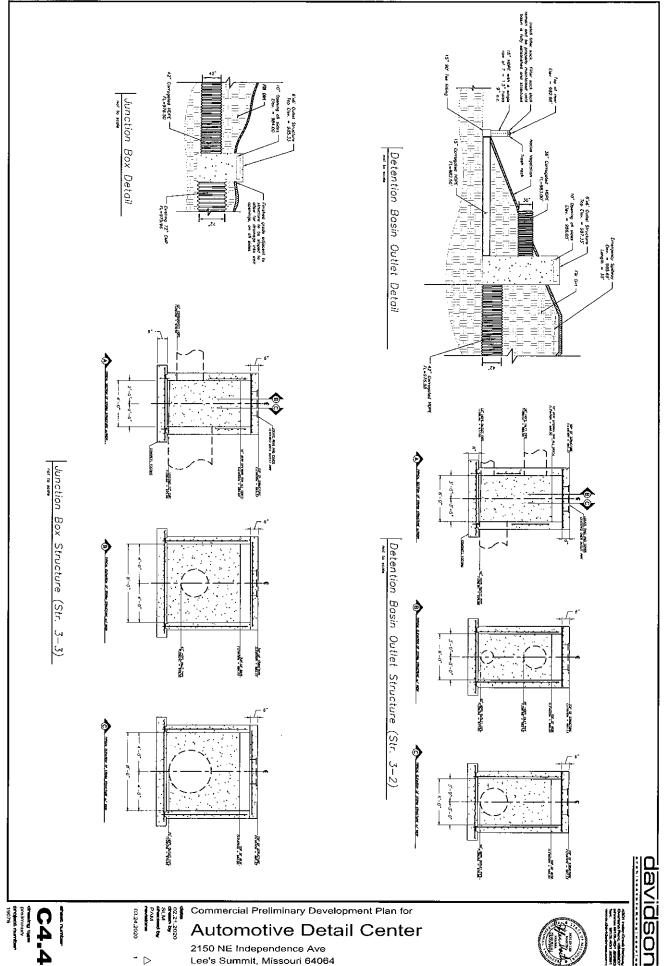
4" Compacted Subgrade

6" compacted subgrade with flyash stabilization (95% std. proctor)

- 1.5" KCAPWA Type 3-01
Aspholt Mix
- 4" KCAPWA Type 1-01
Aspholt Mix
- 6" granular base course

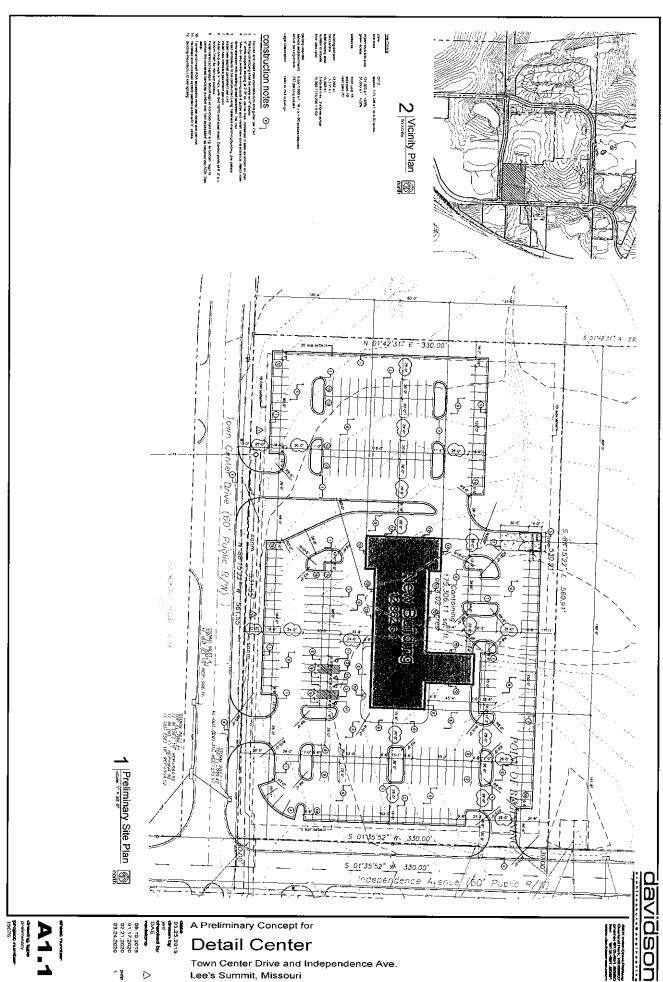


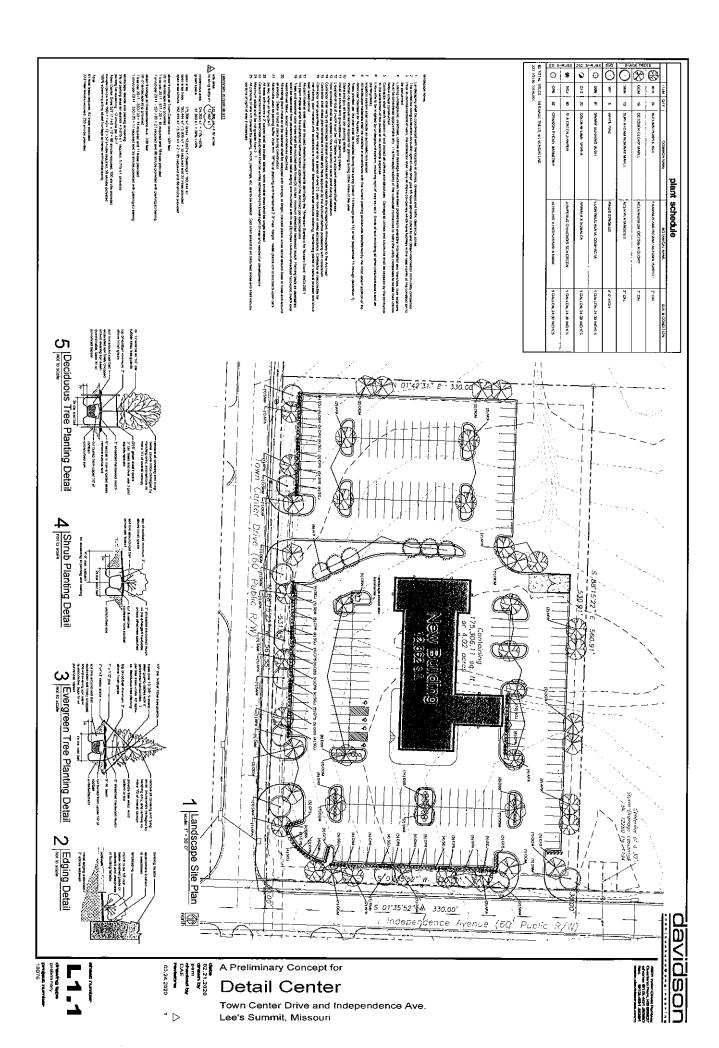
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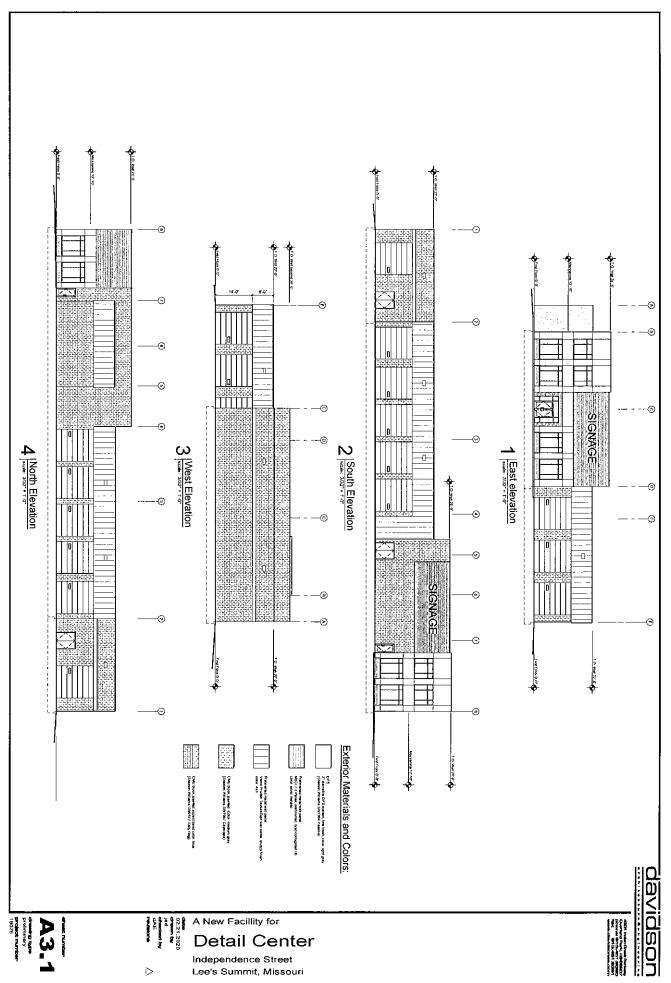




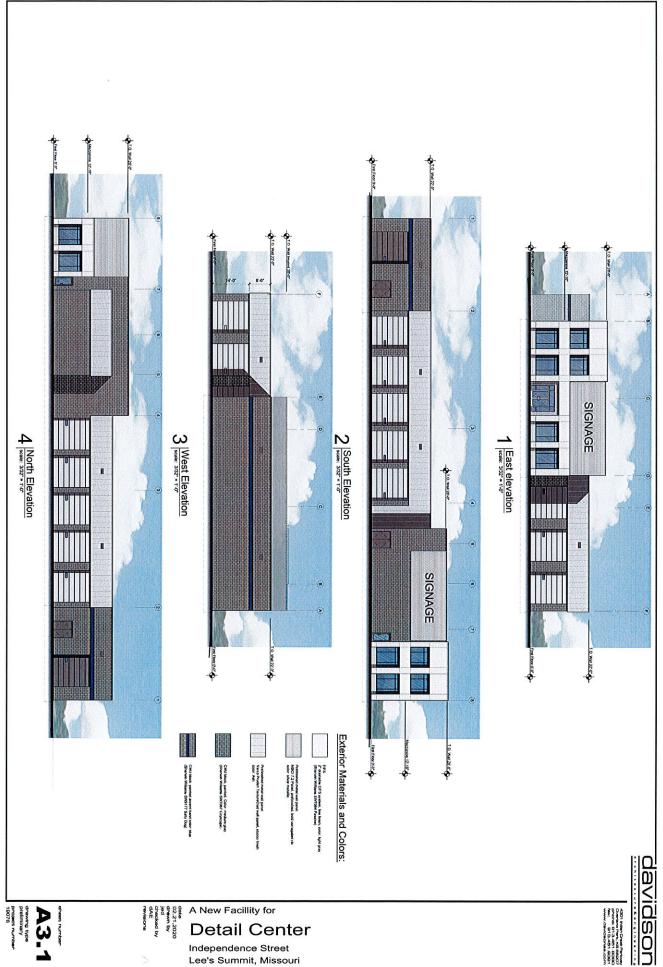






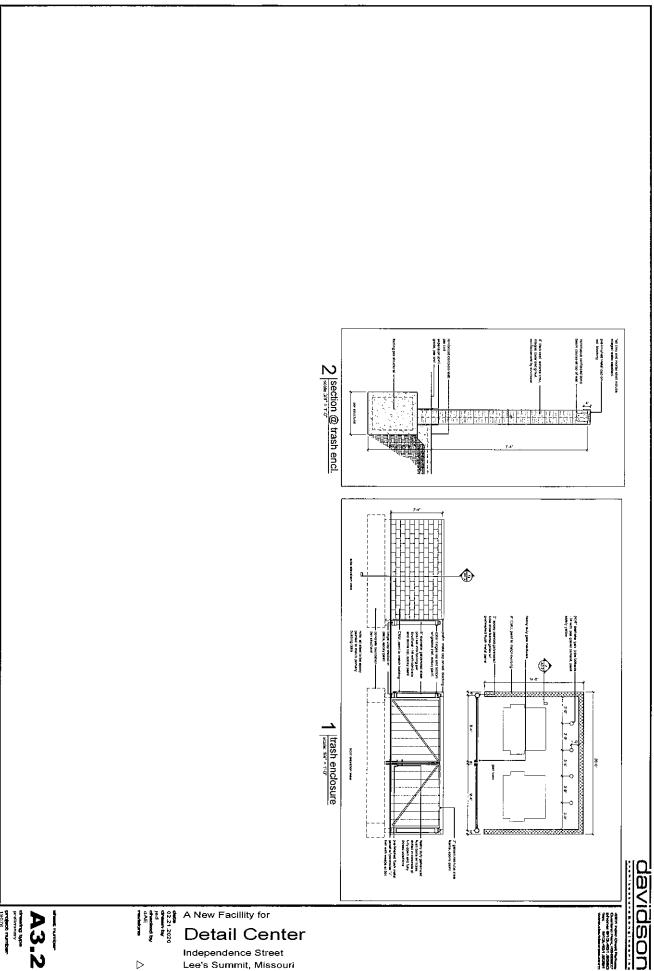


Independence Street Lee's Summit, Missouri

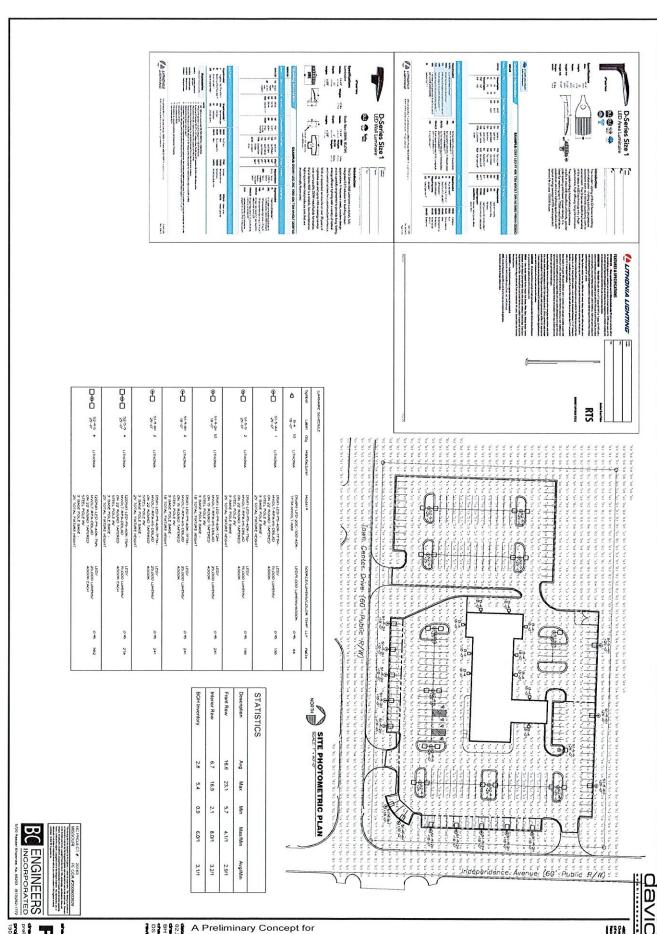


Detail Center

Independence Street Lee's Summit, Missouri



Independence Street Lee's Summit, Missouri







Town Center Drive and Independence Ave. Lee's Summit, Missouri





STORMWATER REPORT

Detail Center Town Center Drive & Independence Avenue Lee's Summit, Missouri 64064

Prepared For:

City of Lee's Summit 220 SE Green St Lee's Summit, MO 64063

Prepared by:

DAVIDSON ARCHITECTURE & ENGINEERING, LLC

Skyler Martin, P.E. 4301 Indian Creek Parkway Overland Park, Kansas 66207 913.451.9390 (phone) 913.451.9391 (fax) www.davidsonae.com

Prepared: 02.20.2020 Revised: 03.23.2020 Project No. 19076

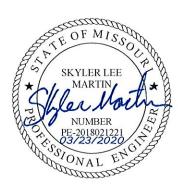






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General Information	1
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Existing Condition Analysis	
Proposed Condition Analysis	
Summary	

Appendices

Appendix A – Supporting Data

- Hydrological Soil Group
- FEMA FIRM
- Sheet C3.1 Existing Drain Area Map
- Sheet C3.2 Proposed Drain Area Map
- Sheet C3.3 Storm Plan & Profile

Appendix B – Existing Conditions Hydraflow Hydrographs Output Data

Appendix C - Proposed Conditions Hydraflow Hydrographs Output Data





GENERAL INFORMATION

The proposed commercial development for Lee's Summit Town Center, LLC is located northwest of the intersection of Town Center Drive and Independence Avenue. The total area for the development is this property is approximately 4.02 acres.

The current site soil condition for this property is classified as "Greenton-Urban, 5 to 9 percent Slopes", with a Map Unit Symbol of '2qky4'. The hydrological soil group for this site is Class D. The site lies entirely within 'Zone X', areas determined to be outside the 0.2% annual chance floodplain as depicted on the FEMA Flood Insurance Rate Map (FIRM) no. 29095C0430G, Revision Date: January 20, 2017.



Figure 1 – Location Map (no scale)



METHODOLOGY

KCAPWA IDF curves were used to determine the rainfall intensity for 2, 10, and 100-year storm events. Hydraflow Hydrographs Extension for AutoCAD 2020 was used to determine runoff flow amounts for existing and proposed site conditions. Hydraflow computes the rational method runoff hydrographs by convoluting a rainfall hyetograph through a unit hydrograph. Convolution is known as linear superpositioning where each ordinate of the rainfall hyetograph is multiplied by each ordinate of the unit hydrograph, thus creating a series of hydrographs. These hydrographs are then summed to form the final runoff hydrograph.

EXISTING CONDITIONS

The existing project site location is 4.02 acres, with the entirety of the property being impervious area. Runoff from this site flows from the northwest of the property to east. For analysis the majority of the undeveloped area, encompassed by NE Town Center Boulevard was taken into consideration for runoff volume contribution. The resulting area is approximately 29.35 acres of impervious area. The area for the two existing ponds was added to the overall impervious area contributing to runoff. The total runoff, including the areas for the existing ponds will be takin into account for the detention ponds design.

An existing storm inlet at the east end of the property along NE Independence Avenue allows runoff to be conveyed east toward an existing dedicated drainage area. Refer to Sheet C3.1 "Existing Drainage Map" in Appendix A for the existing drainage patterns for the property.

Table 1 below shows the peak discharges for the 2, 10, and 100-year rainfall events. Refer to Appendix B for Complete Hydraflows Report and results for the existing site conditions.

Table 1 – Existing Site Runoff Hydraflow Results					
Storm Event	Pre-developed Peak Flow				
	(cfs)				
2-Yr	35.95				
10-Yr	50.20				
100-Yr	75.61				





PROPOSED CONDITIONS

The existing property will undergo development for a proposed commercial area for Lee's Summit Town Center LLC. The proposed development will increase the impervious area from 0.00 acres to 2.85 acres, with the remaining 29.35 acres as open grass area. Refer to sheet C3.2 "Proposed Drainage Map" in Appendix A for the proposed drainage patterns for the property. The runoff will be collected and conveyed to a detention pond where the existing storm inlet, at the eastern edge of the property, will further convey the runoff towards the existing dedicated drainage area.

Table 2 shows the increase in peak discharge rates for the 2, 10, and 100-year storms rainfall events, due to the increase in impervious area.

Table 2 – Prop	osed Site Runoff Hydraflow Results without Detention
Storm Event	Pre-developed Peak Flow
8 50 1 8 00 8	(cfs)
2-Yr	41.40
10-Yr	57.80
100-Yr	87.07

In order to mitigate the increase in discharge rates from the site due to the increase in impervious area created by the proposed development, two separate storm networks are proposed to direct runoff to the existing drainage area via the existing storm inlet at the east edge of the property.

Table 3 shows the resulting discharge rates for the 2, 10, and 100-year rainfall events with the proposed storm networks and detention pond.

Table 3 – Propose	ed Site Runoff Hydraflow Results with Detention
Storm Event	Post-developed Peak Flow
	(cfs)
2-Yr	4.49
10-Yr	14.43
100-Yr	32.14

Hydraflow Hydrographs Extension for AutoCAD civil 3D was used to model the post developed site with the proposed storm system. A complete hydrograph can be found in Appendix C.



The above mentioned methodology was used to design the proposed detention pond to effectively capture and discharge the total runoff from the contributing drainage area. The discharge rates are controlled by a proposed storm structure to control peak discharge rates less than the rates yielded by existing conditions. Elevations for different rainfall events were used to set outlet pipe inverts and storm structure openings to effectively discharge the collected runoff while meeting water quality requirements.

For water quality design consideration, a perforated riser is proposed to reach the water quality rainfall event elevation. Perforations within the riser allow for a controlled discharge from the detention pond through the proposed storm network, meeting the minimum forty hour draw down.

Any overflow from the existing pond to the west will be collected and routed via a proposed earthen drainage swale to the north of the proposed development, and then to the detention pond. Outlet pipes convey storm water to existing infrastructure leading to an existing detention area.

A spillway for the proposed detention pond was designed using the 100-yr water surface elevation of 985.19'. Manipulating the design within the Hydraflows program to simulate clogged conditions and zero available storage the spillway crest elevation was set at 985.69' and is 30' in length along the eastern edge of the detention pond. The maximum water elevation under clogged conditions and zero storage is 986'. One foot of freeboard is available as the proposed top of the dam is 987'. The emergency spillway will allow the overflow to drain towards NE Independence Ave, and into the existing storm infrastructure.

SUMMARY

The proposed commercial development for Lee's Summit Town Center, LLC is located northwest of the intersection of Town Center Drive and Independence Avenue increases the amount of impervious area within the property. To account for the increase in runoff, storm networks and a detention basin have been designed to maintain the discharge rates below existing conditions flow rates.

Off-site contributions to runoff have been taken into account for the detention pond design. Outlet pipes and structures control peak discharge rates to less than that of existing conditions, while also meeting water quality requirements for the water quality rainfall event.

Table 4 below provides the discharge rates for the existing and post developed conditions for the 2, 10, and 100-year rainfall events for this site.

	Table 4 – Total Runof	f Volume Comparison	
Storm Event	Pre-development	Post-development	Difference
(yr)	Discharge (cfs)	Discharge (cfs)	(cfs)
2	35.95	4.49	31.46
10	50.20	14.43	35.77
100	75.61	32.14	43.47

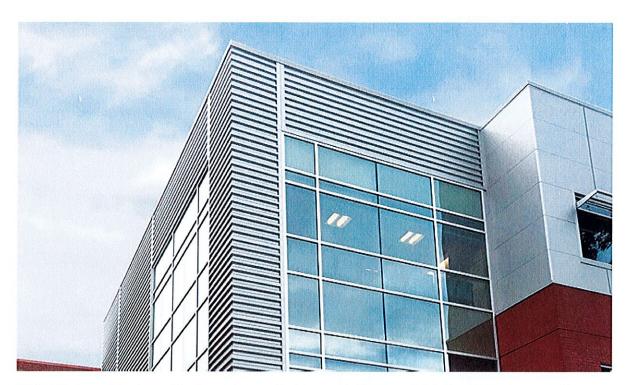






MBCI 7.2 deep ribbed panel horizontally oriented, in a metallic silver finish. Panels used on an implement dealersip.

MBCI 7.2 panel ribs are 1 ½" deep creating deep shadows. Ribs are spaced 7.2" on center.



MBCI 7.2 deep ribbed panel horizontally oriented, in a metallic silver finish. Panels used on an office building to create contrast with the adjacent flat metal wall panels.

Corners are cleanly mitered. Vertical joints are finished with trim to match wall panels.



Appl. #PL2020-044 – PDP and Appl. #PL2020-045 – SUP automotive sales and detailing center 2150 NE Independence Ave



