

AN ORDINANCE APPROVING A PRELIMINARY DEVELOPMENT PLAN LOCATED AT 2150 NE INDEPENDENCE AVE IN DISTRICT CP-2, PROPOSED AUTOMOTIVE SALES AND DETAIL CENTER, ALL IN ACCORDANCE WITH THE PROVISIONS OF CHAPTER 33, THE UNIFIED DEVELOPMENT ORDINANCE, OF THE CODE OF ORDINANCES FOR THE CITY OF LEE'S SUMMIT, MISSOURI.

WHEREAS, Application #PL2020-044 submitted by Lee's Summit Town Center, LLC, requesting approval of a preliminary development plan in District CP-2 (Planned Community Commercial District) on land located at 2150 NE Independence Ave was referred to the Planning Commission to hold a public hearing; and,

WHEREAS, the Unified Development Ordinance provides for the approval of a preliminary development plan by the City following public hearings by the Planning Commission and City Council; and,

WHEREAS, after due public notice in the manner prescribed by law, the Planning Commission held a public hearing for the request on May 14, 2010, and rendered a report to the City Council containing findings of fact and a recommendation that the preliminary development plan be approved; and,

WHEREAS, after due public notice in the manner prescribed by law, the City Council held a public hearing on June 9, 2020, and approved a motion for a second ordinance reading to approve the preliminary development plan for said property; and

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF LEE'S SUMMIT, MISSOURI, as follows:

SECTION 1. That a preliminary development plan is hereby approved in District CP-2 on the following described property:

A part of the Northeast Quarter of the Northwest Quarter, Section 29, Township 48 North, Range 31 West, Lee's Summit, Jackson County, Missouri, described as follows:

Commencing at the Northeast corner of the Northwest Quarter of said Section 29; thence S 1°35'52" W along the East line of the Northeast Quarter of the Northwest Quarter for 991.63 feet for the Point of Beginning; thence S 1°35'52" W continuing along said East line for 330.00 feet to the Southeast corner of the Northeast Quarter of the Northwest Quarter; thence N 88°15'22" W along the South line of the Northeast Quarter of Northwest Quarter for 561.55 feet to the Southeast corner of LEE'S SUMMIT TOWN CENTRE, LOT 1 & LOT 2, a subdivision of record; thence N 1°42'31" E along the East line of said subdivision for 330.00 feet; thence S 88°15'22" E for 560.91 feet to the Point of Beginning. Subject to the road right-of-way of Independence Avenue. Containing 4.25 acres more or less.

SECTION 2. That the following conditions of approval apply:

1. Submittal of a geotechnical report to the City for the reclaimed pond site shall be required prior to the issuance of any building permit.
2. The prefinished, corrugated, architectural horizontal rib metal panel shall be an allowed accent material on the south, north and east facades as shown on the building elevations dated March 24, 2020.

3. The non-insulated stucco-finished metal wall panels shown on the building elevations dated March 24, 2020, shall not be allowed on the proposed building. Said metal wall panels shall be replaced with an approved material for commercial/retail buildings listed under UDO Section 8.170.A.

SECTION 3. That development shall be in accordance with the preliminary development plan, date stamped March 24, 2020, as described in the staff report.

SECTION 4. Nonseverability. All provisions of this ordinance are so essentially and inseparably connected with, and so dependent upon, each other that no such provision would be enacted without all others. If a court of competent jurisdiction enters a final judgment on the merits that is not subject to appeal and that declares any provision or part of this ordinance void, unconstitutional, or unenforceable, then this ordinance, in its collective entirety, is invalid and shall have no legal effect as of the date of such judgment.

SECTION 5. That failure to comply with all of the provisions contained in this ordinance shall constitute violations of both this ordinance and Chapter 33, the City's Unified Development Ordinance, of the Code of Ordinances for the City of Lee's Summit.

SECTION 6. That this ordinance shall be in full force and effect from and after the date of its passage and adoption, and approval by the Mayor.

PASSED by the City Council of the City of Lee's Summit, Missouri, this 16th day of June, 2020.



Mayor William A. Baird

ATTEST:



City Clerk Trisha Fowler Arcuri

APPROVED by the Mayor of said city this 17th day of June, 2020.



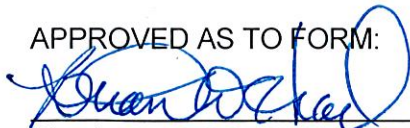
Mayor William A. Baird

ATTEST:



City Clerk Trisha Fowler Arcuri

APPROVED AS TO FORM:



City Attorney Brian W. Head

LIVABLE STREETS (*Resolution 10-17*)

COMPLIANT

EXCEPTIONS

The proposed development includes all Livable Streets elements identified in the City's adopted Comprehensive Plan, associated Greenway Master Plan and Bicycle Transportation Plan attachments, and elements otherwise required by ordinances and standards in full compliance with the Livable Streets Policy adopted by Resolution 10-17. Sidewalk will be constructed along Town Center Drive and Independence Avenue in accordance with code requirements.

RECOMMENDATION:

APPROVAL

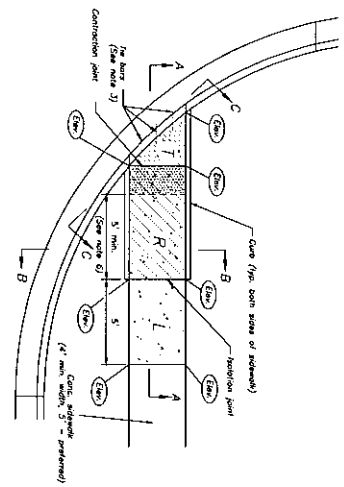
DENIAL

N/A

STIPULATIONS

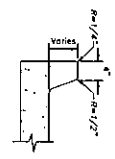
Recommendations for Approval refer only to the transportation impact and do not constitute an endorsement from City Staff.

Staff recommends approval of the proposed preliminary development plan.



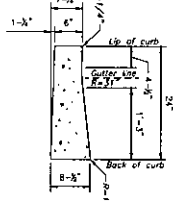
TYPE A SIDEWALK RAMP
NOT TO SCALE

RAMP CURB DETAIL
NOT TO SCALE

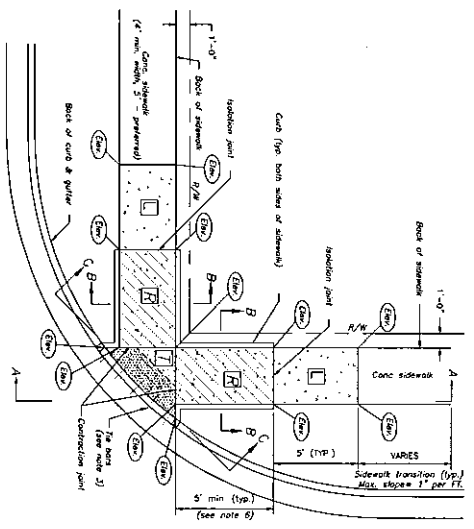
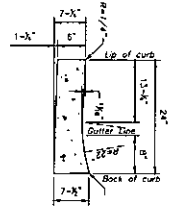


STREET CURB DETAIL AT RAMP

USE WITH TYPE CC-2 CURB

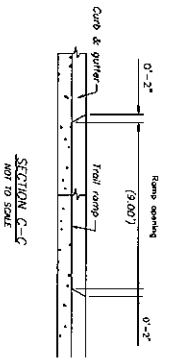
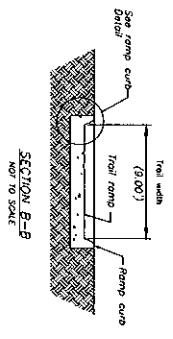
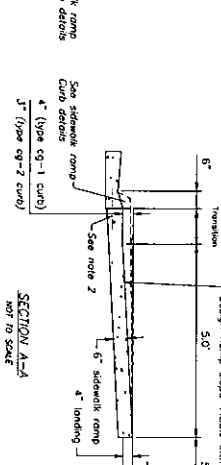
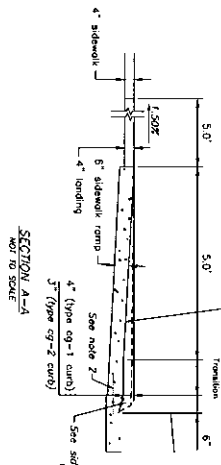


USE WITH TYPE CC-1 CURB



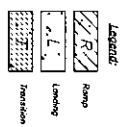
TYPE B SIDEWALK RAMP
NOT TO SCALE

Design Ramp cross slope=1.50% with a 2.00% max.
 Design Ramp slope=7.50% with a 1 1/4" Max.



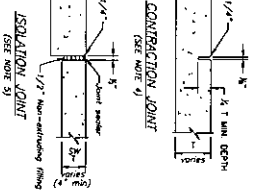
SIDEWALK & SIDEWALK RAMP NOTES:

1. Sidewalk ramp location determined from the intersection of the intersection of back of pavement and curb.
2. Top of construction joints or use the back of Ebbay coated 1/2" o.c.
3. Completed joint spacing to match width of sidewalk.
4. Transition joint shall be placed between curb, gutter, driveway and similar structures, and 200' max.
5. Install 1/2" by 1/2" Ebbay coated 1/2" o.c. compliance slope but shall not exceed 15'.
6. ADA maximum cross slope = 1 1/4".
7. ADA maximum cross slope = 2%.
8. See separate turning detail sheet for the installation requirements.



Dimensions with Dispositions Act (ADA) Notes:

- The running and cross slopes for all sidewalks, streets, paths, ramps, disabled parking stalls, etc., shall be in accordance with the ADA Standards for Accessible Design, to any necessary tolerance dictated by the governing authority. Prior to installation/Construction, it may be necessary to adjust the slopes of the sidewalks, ramps, paths, etc., to meet the ADA requirements.





Local Benchmarks **Bl-7**

BL-1: Storm Structure, Marker Corner
 Elevation: 1129.0
 N: 101384.1129
 E: 282746.6554

BL-2: Storm Structure, Marker Corner
 Elevation: 1129.0
 N: 101384.2154
 E: 282739.0101

Proprietary Note:
 The site plan is a 2D plan view of a 3D terrain. All elevations are based on the 1984 Mean Sea Level (MSL) datum. The site plan is not to be used for any other purpose without the written consent of Davidson Engineering, Inc.

Symbol Legend

- ① sanitary manhole
- ② sanitary disposal
- ③ force main release valve
- ④ rectangular structure
- ⑤ circular structure
- ⑥ fire hydrant
- ⑦ water valve
- ⑧ water meter
- ⑨ backflow preventer
- ⑩ natural gas meter
- ⑪ service transformer (feet mark)
- ⑫ primary service gas
- ⑬ light pole
- ⑭ catch/primary/force junction box
- ⑮ street light
- ⑯ pedestrian street light
- ⑰ electric pole
- ⑱ gas valve
- ⑲ and section

Drainage Legend

- drainage one
- existing flow direction

Property Legend

- right of way
- property lines
- easements
- setbacks

Grading Legend

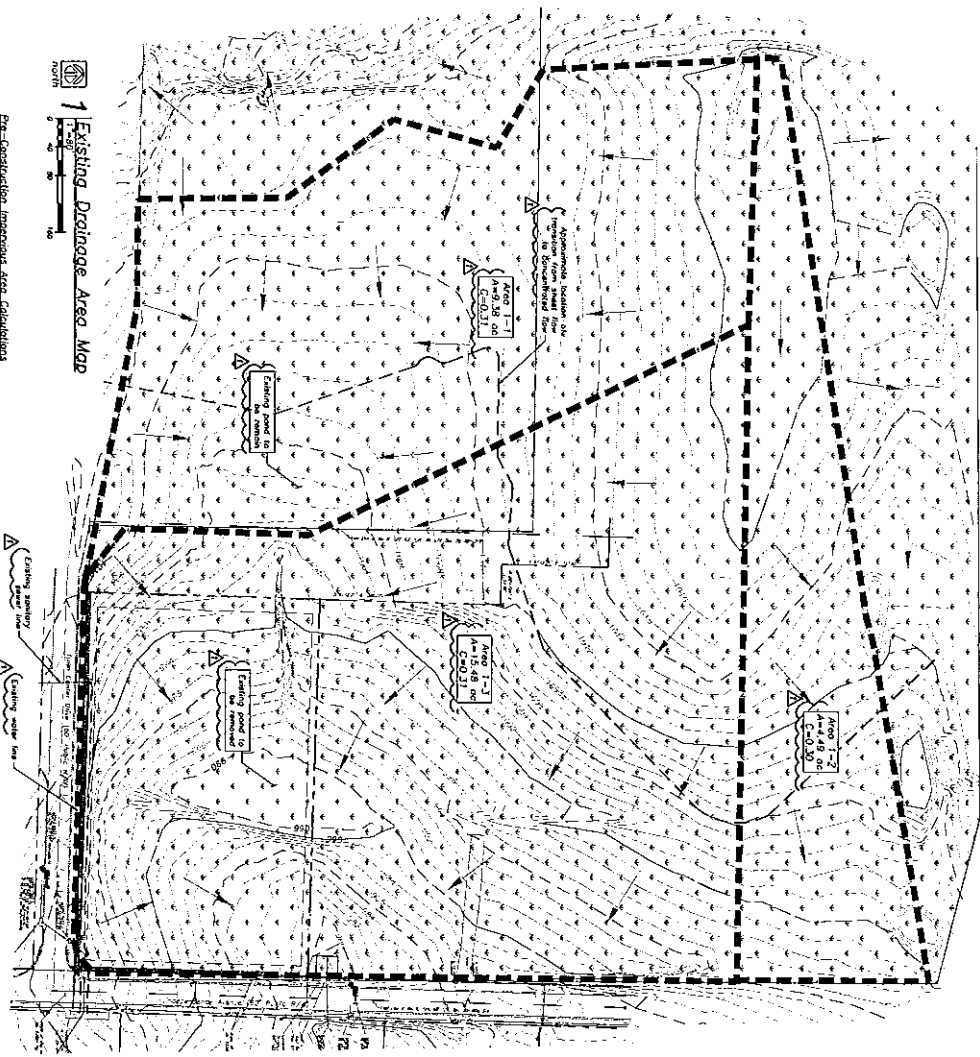
- existing minor contour
- existing major contour
- proposed minor contour
- proposed major contour

Utility Legend

- existing
- proposed

Landmarks

- existing manhole
- existing structure
- storm sewer (existing)
- storm sewer (proposed)
- sanitary sewer (existing)
- sanitary sewer (proposed)
- storm sewer (catch/primary/force)
- water service (existing)
- water service (proposed)
- natural gas (existing)
- natural gas (proposed)
- natural gas service schematic
- underground primary electric
- underground secondary electric
- overhead electric
- underground catch/primary/force
- fire hydrant
- fire riser
- fire alarm
- fire alarm



Existing Drainage Area Map

Prop. Construction, Impervious Area, Calculations

Area of Site	1,272,646 sq. ft.
Impervious Area	272,486 sq. ft.
Runoff Coefficient	0.05
Impervious Area	0.272,486
Runoff Coefficient	0.05
Area of Site	64,627 sq. ft.
Impervious Area	7,617 sq. ft.



Commercial Preliminary Development Plan for
Automotive Detail Center
 2150 NE Independence Ave
 Lee's Summit, Missouri 64064

Drawn by: SLM
 SLM
 P.N.
 03.24.2020

Sheet Number:
C3.1
 Drawing Date:
 Preliminary
 Proposed Revision:



LEE'S SUMMIT MISSOURI
 SUBDIVISION/SHARED USE PART DETAIL
 GEN-2

LEE'S SUMMIT MISSOURI
 BUILDING SERVICE SHADE AND BENCH
 SAN-1

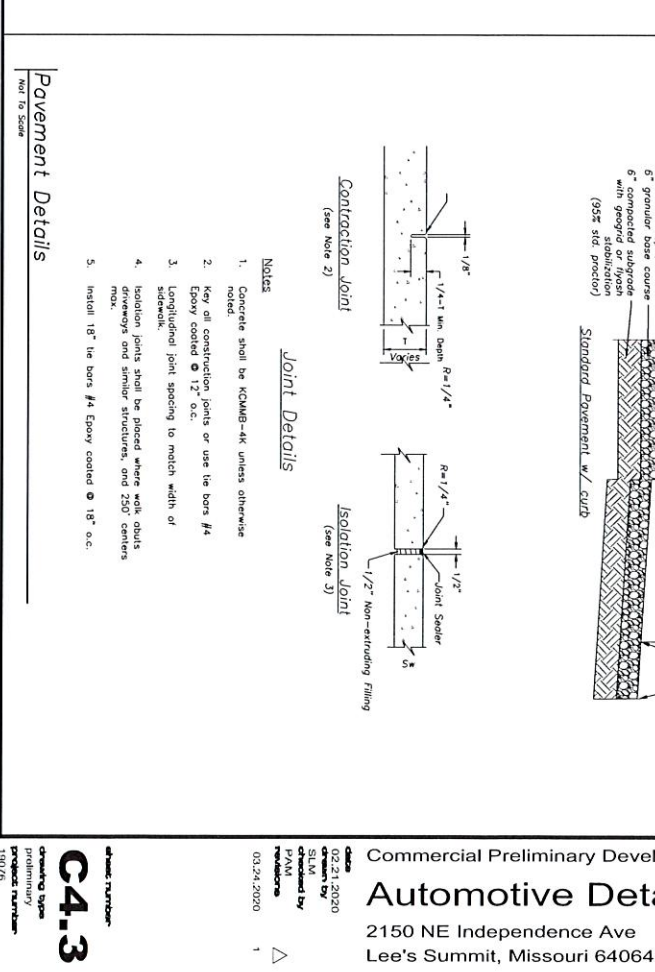
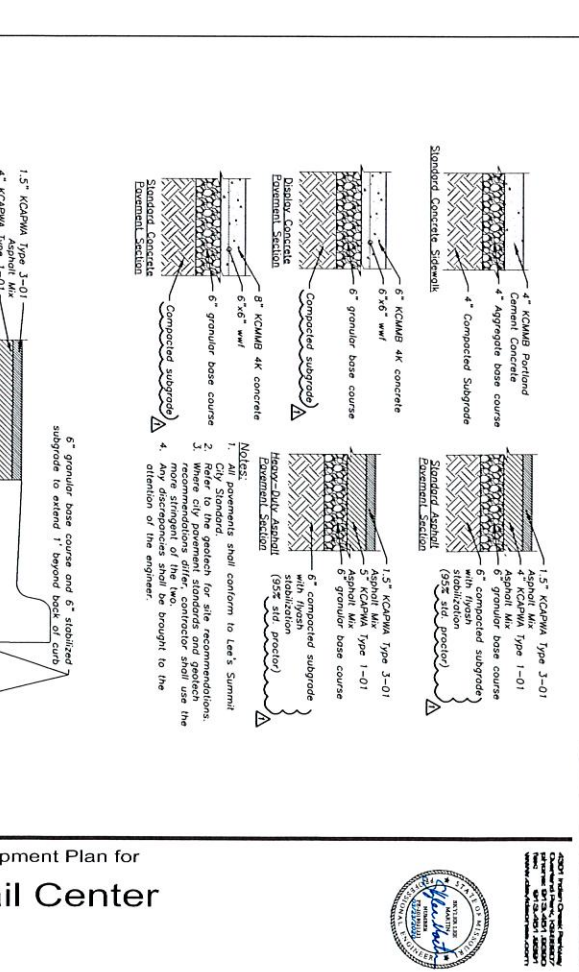
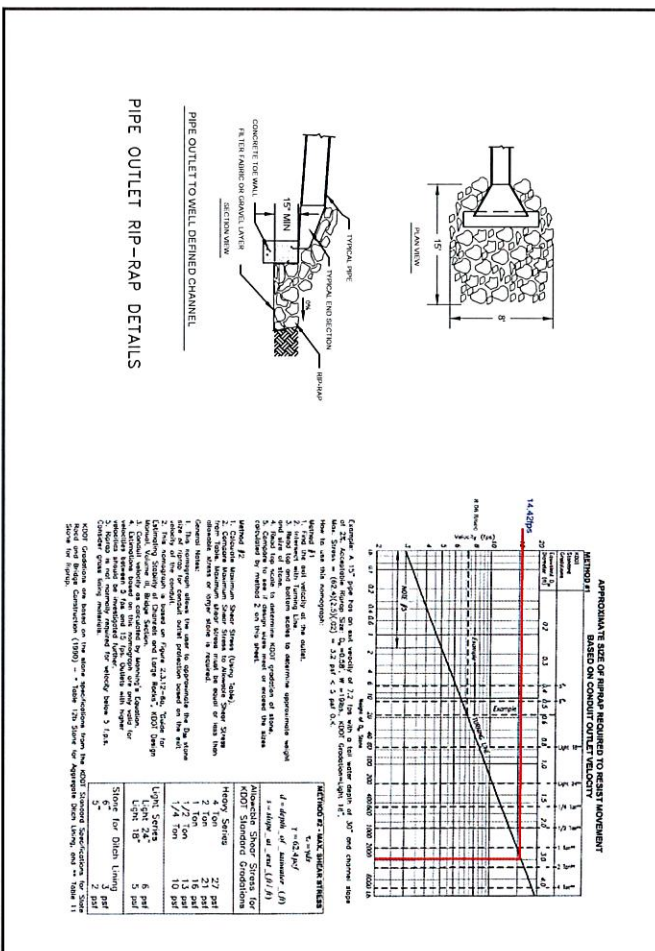
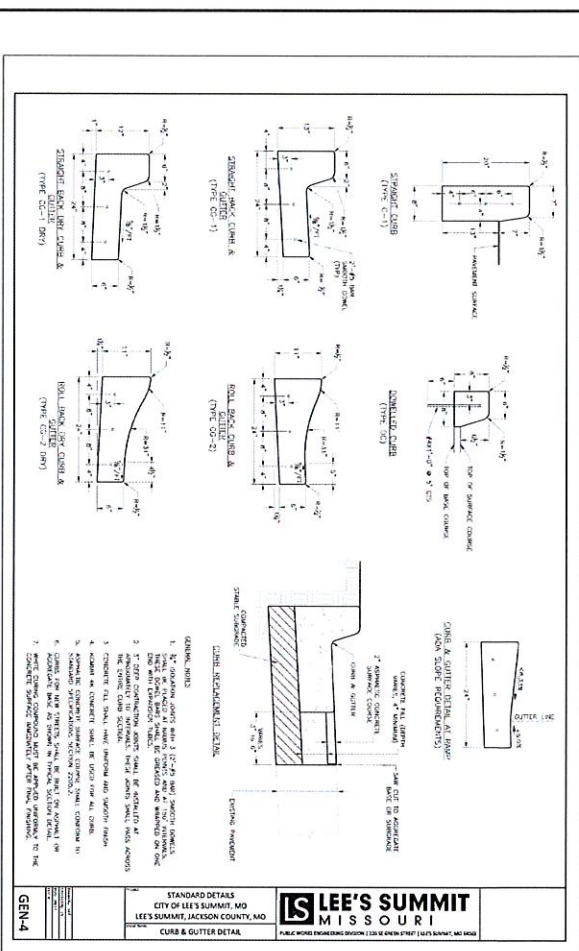
LEE'S SUMMIT MISSOURI
 SERVICE CONNECTION AFTER WELL

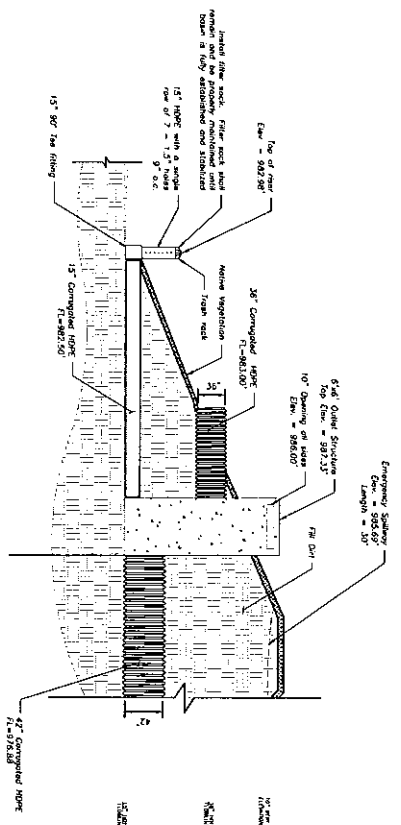
4 HDPE Pipe Embedment
 PER D SHEET

LEE'S SUMMIT MISSOURI
 STANDARD DETAILS
 CITY OF LEE'S SUMMIT, MO
 LEE'S SUMMIT, JACKSON COUNTY, MO
 CURE INLET DETAIL
 STM-1

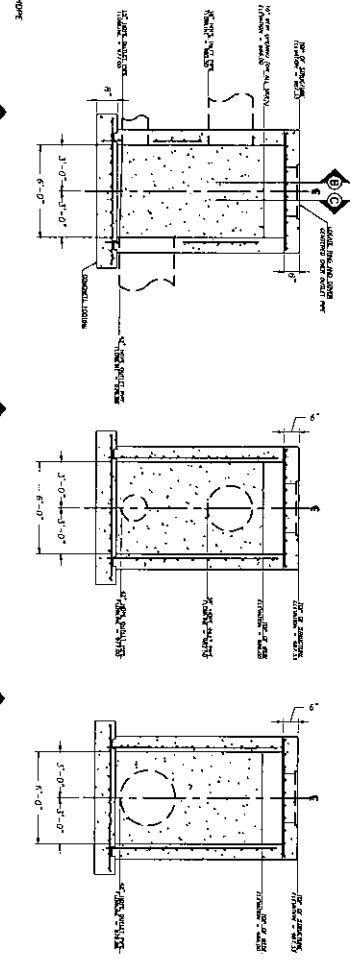
3 Sanitary Clean-out
 PER D SHEET

DAVIDSON CONSULTING ENGINEERS
 1000 N. GARDNER STREET
 SUITE 100
 OMAHA, NE 68102

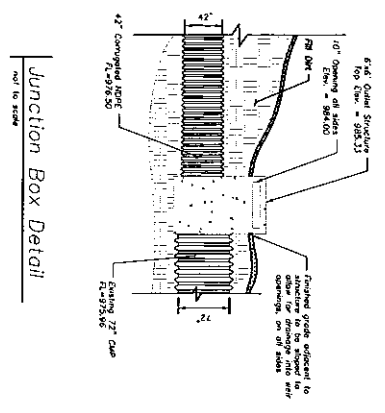




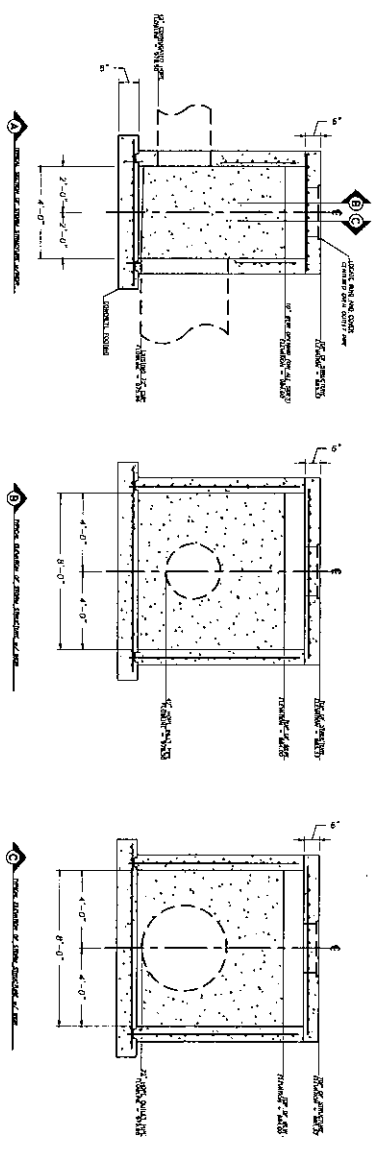
Detention Basin Outlet Detail
not to scale



Detention Basin Outlet Structure (Str. 3-2)
not to scale



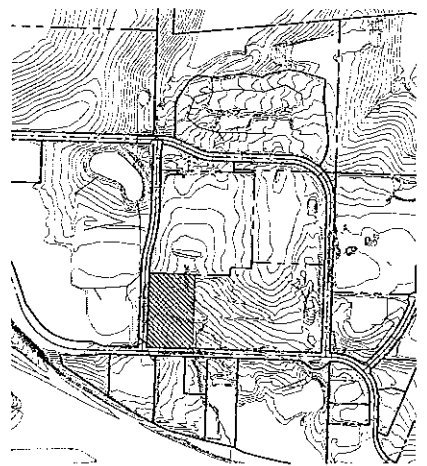
Junction Box Detail
not to scale



Junction Box Structure (Str. 3-3)
not to scale

Davidson Engineering & Construction
 1000 N. 10th Street
 Independence, MO 64050
 Phone: 816-835-4000
 Fax: 816-835-4001

davidson
 ENGINEERING & CONSTRUCTION



2 Vicinity Plan
 NORTH

PROJECT INFORMATION

Job No: 15075
 Project Name: Lee's Summit
 Project Location: Lee's Summit, MO
 Project Date: 03/21/2020

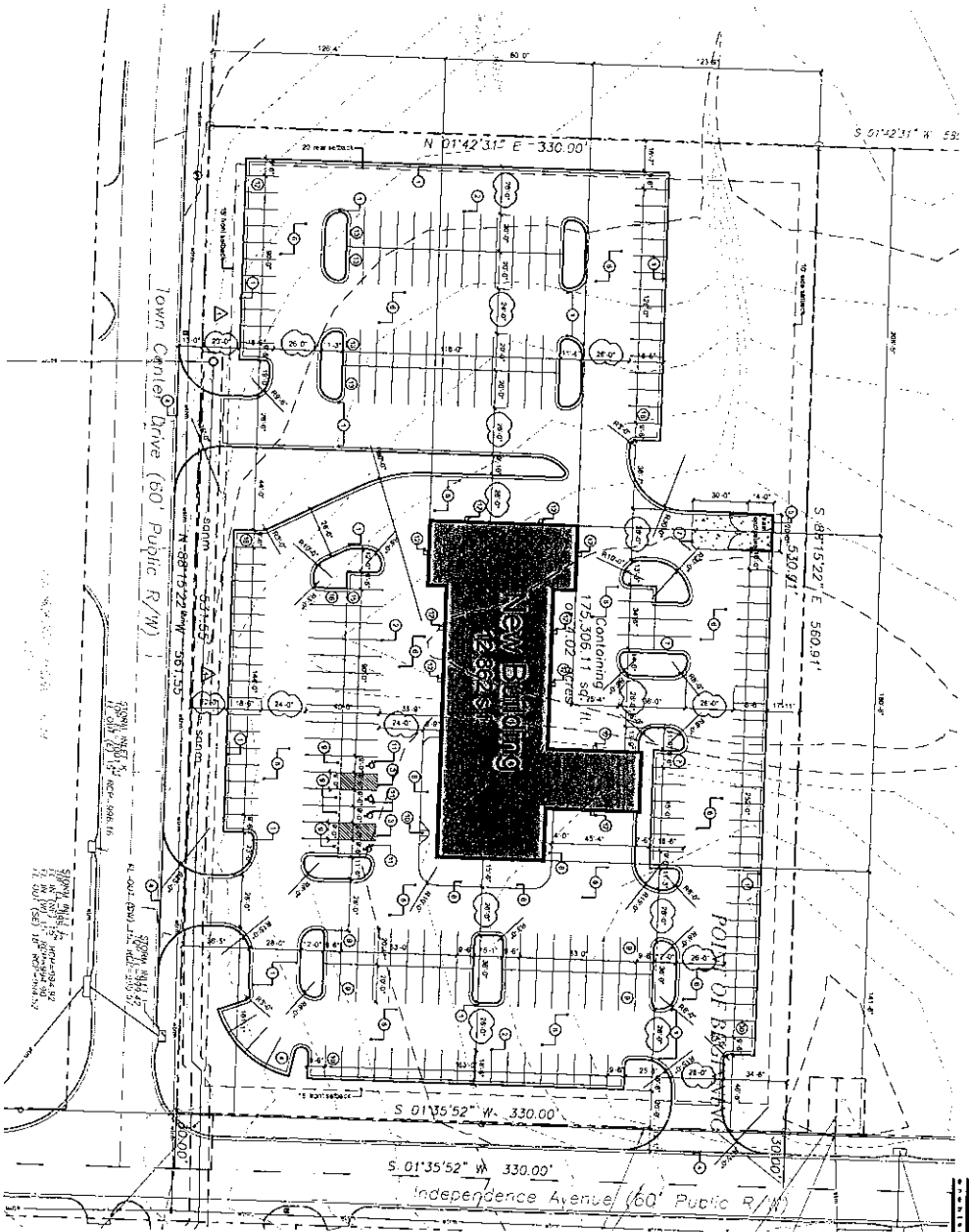
CLIENT INFORMATION

Client Name: Lee's Summit
 Client Address: 15075 Lee's Summit Blvd
 Client Phone: 816-835-4000

DESIGNER INFORMATION

Designer Name: Davidson Engineering & Construction
 Designer Address: 1000 N. 10th Street
 Designer Phone: 816-835-4000

- CONSTRUCTION NOTES**
1. See notes on sheet 15075-1 for general information.
 2. All construction shall be in accordance with the approved plans.
 3. All materials shall be of the highest quality.
 4. All work shall be completed in accordance with the approved plans.
 5. All work shall be completed in accordance with the approved plans.
 6. All work shall be completed in accordance with the approved plans.
 7. All work shall be completed in accordance with the approved plans.
 8. All work shall be completed in accordance with the approved plans.
 9. All work shall be completed in accordance with the approved plans.
 10. All work shall be completed in accordance with the approved plans.
 11. All work shall be completed in accordance with the approved plans.
 12. All work shall be completed in accordance with the approved plans.



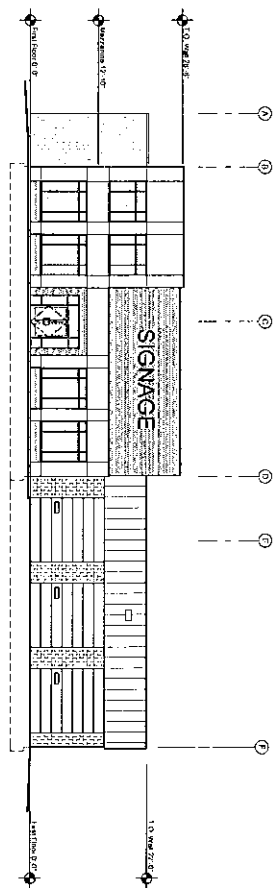
1 Preliminary Site Plan
 NORTH

A Preliminary Concept for
Detail Center
 Town Center Drive and Independence Ave.
 Lee's Summit, Missouri

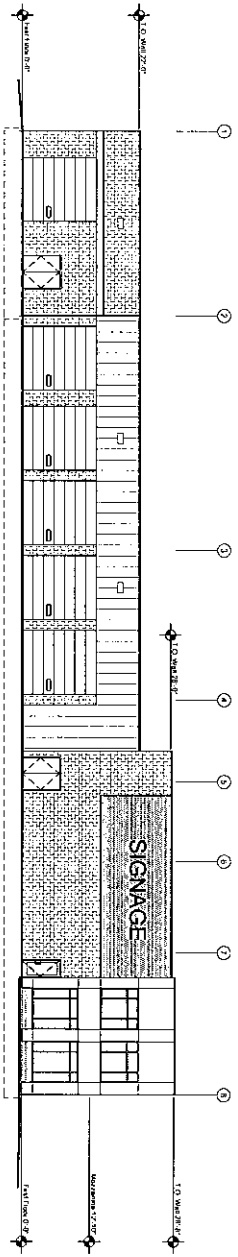
DATE: 03/21/2020
 DRAWN BY: JAD
 CHECKED BY: JAD
 REVISIONS:
 03/10/2019
 01/17/2020
 02/21/2020
 03/24/2020

A1.1

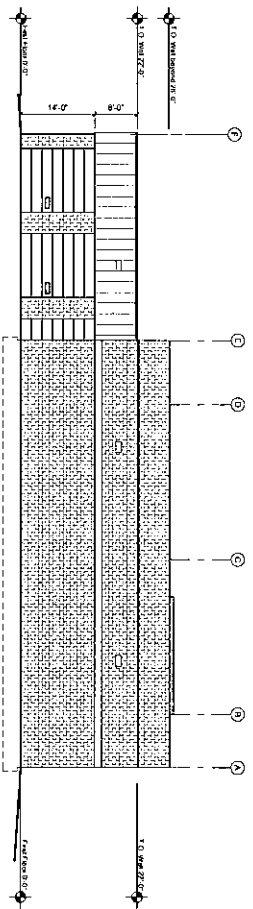
Davidson Engineering & Construction
 1000 N. 10th Street
 Independence, MO 64050
 Phone: 816-835-4000
 Fax: 816-835-4001



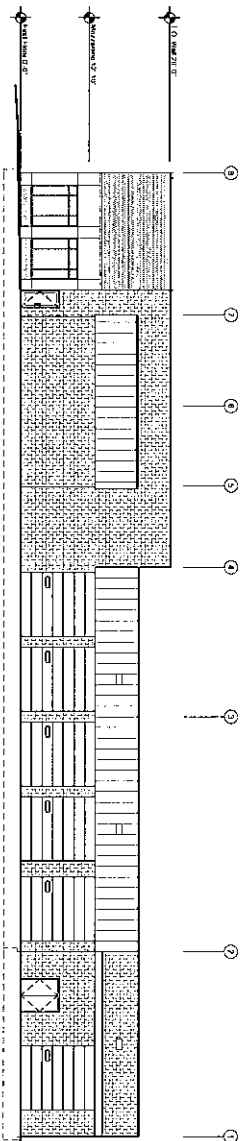
1 East Elevation
 Scale: 3/32" = 1'-0"



2 South Elevation
 Scale: 3/32" = 1'-0"



3 West Elevation
 Scale: 3/32" = 1'-0"

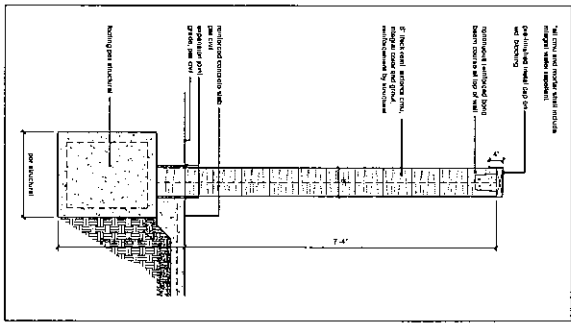


4 North Elevation
 Scale: 3/32" = 1'-0"

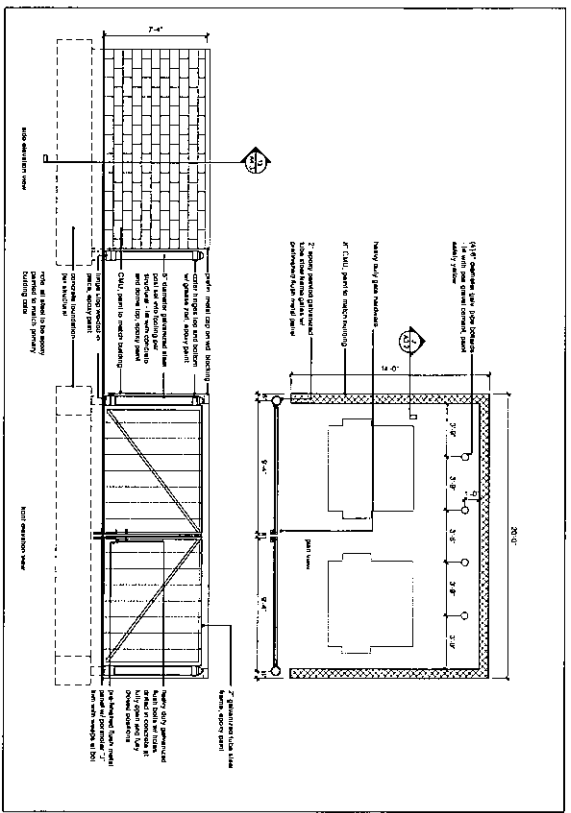
Exterior Materials and Colors:

- SFR
- 7' Concrete CMU blocks, tan brick color w/ grey (Common Name: SFR/20 - Standard)
- Polychrome stone with stone color (Common Name: SFR/20 - Standard)
- Polychrome stone with stone color and dark mortar (Common Name: SFR/20 - Standard)
- 2x4 wood framing, grey, medium tan (Common Name: SFR/20 - Standard)
- 2x4 wood framing with stone color (Common Name: SFR/20 - Standard)
- 2x4 wood framing with stone color and dark mortar (Common Name: SFR/20 - Standard)
- 2x4 wood framing with stone color and dark mortar and dark mortar (Common Name: SFR/20 - Standard)

10231 Lyndon, Omaha, Nebraska
 402-478-1234
 402-478-1235
 402-478-1236
 402-478-1237
 402-478-1238
 402-478-1239
 402-478-1240



2 Section @ trash end
 Scale: 3/4" = 1'-0"



1 Trash enclosure
 Scale: 3/4" = 1'-0"

A New Facility for
Detail Center
 Independence Street
 Lee's Summit, Missouri

02.21.2020
 Drawn by
 JAD
 Checked by
 DAE
 15076

Sheet Number
A3.2

Project Name
 Detail Center
 15076

STORMWATER REPORT

Detail Center Town Center Drive & Independence Avenue Lee's Summit, Missouri 64064

Prepared For:

City of Lee's Summit
220 SE Green St
Lee's Summit, MO 64063

Prepared by:

DAVIDSON ARCHITECTURE & ENGINEERING, LLC
Skyler Martin, P.E.
4301 Indian Creek Parkway
Overland Park, Kansas 66207
913.451.9390 (phone)
913.451.9391 (fax)
www.davidsonae.com

Prepared: 02.20.2020
Revised: 03.23.2020
Project No. 19076



Table of Contents

General Information.....	1
Methodology.....	1
Existing Condition Analysis.....	2
Proposed Condition Analysis.....	3
Summary.....	3

Appendices

Appendix A – Supporting Data

- Hydrological Soil Group
- FEMA FIRM
- Sheet C3.1 – Existing Drain Area Map
- Sheet C3.2 – Proposed Drain Area Map
- Sheet C3.3 – Storm Plan & Profile

Appendix B – Existing Conditions Hydraflow Hydrographs Output Data

Appendix C – Proposed Conditions Hydraflow Hydrographs Output Data



GENERAL INFORMATION

The proposed commercial development for Lee's Summit Town Center, LLC is located northwest of the intersection of Town Center Drive and Independence Avenue. The total area for the development is this property is approximately 4.02 acres.

The current site soil condition for this property is classified as "Greenton-Urban, 5 to 9 percent Slopes", with a Map Unit Symbol of '2qky4'. The hydrological soil group for this site is Class D. The site lies entirely within 'Zone X', areas determined to be outside the 0.2% annual chance floodplain as depicted on the FEMA Flood Insurance Rate Map (FIRM) no. 29095C0430G, Revision Date: January 20, 2017.



Figure 1 – Location Map (no scale)

METHODOLOGY

KCAPWA IDF curves were used to determine the rainfall intensity for 2, 10, and 100-year storm events. Hydraflow Hydrographs Extension for AutoCAD 2020 was used to determine runoff flow amounts for existing and proposed site conditions. Hydraflow computes the rational method runoff hydrographs by convoluting a rainfall hyetograph through a unit hydrograph. Convolution is known as linear superpositioning where each ordinate of the rainfall hyetograph is multiplied by each ordinate of the unit hydrograph, thus creating a series of hydrographs. These hydrographs are then summed to form the final runoff hydrograph.

EXISTING CONDITIONS

The existing project site location is 4.02 acres, with the entirety of the property being impervious area. Runoff from this site flows from the northwest of the property to east. For analysis the majority of the undeveloped area, encompassed by NE Town Center Boulevard was taken into consideration for runoff volume contribution. The resulting area is approximately 29.35 acres of impervious area. The area for the two existing ponds was added to the overall impervious area contributing to runoff. The total runoff, including the areas for the existing ponds will be taken into account for the detention ponds design.

An existing storm inlet at the east end of the property along NE Independence Avenue allows runoff to be conveyed east toward an existing dedicated drainage area. Refer to Sheet C3.1 “Existing Drainage Map” in Appendix A for the existing drainage patterns for the property.

Table 1 below shows the peak discharges for the 2, 10, and 100-year rainfall events. Refer to Appendix B for Complete Hydraflows Report and results for the existing site conditions.

Table 1 – Existing Site Runoff Hydraflow Results	
Storm Event	Pre-developed Peak Flow (cfs)
2-Yr	35.95
10-Yr	50.20
100-Yr	75.61

PROPOSED CONDITIONS

The existing property will undergo development for a proposed commercial area for Lee's Summit Town Center LLC. The proposed development will increase the impervious area from 0.00 acres to 2.85 acres, with the remaining 29.35 acres as open grass area. Refer to sheet C3.2 "Proposed Drainage Map" in Appendix A for the proposed drainage patterns for the property. The runoff will be collected and conveyed to a detention pond where the existing storm inlet, at the eastern edge of the property, will further convey the runoff towards the existing dedicated drainage area.

Table 2 shows the increase in peak discharge rates for the 2, 10, and 100-year storms rainfall events, due to the increase in impervious area.

Table 2 – Proposed Site Runoff Hydraflow Results without Detention	
Storm Event	Pre-developed Peak Flow (cfs)
2-Yr	41.40
10-Yr	57.80
100-Yr	87.07

In order to mitigate the increase in discharge rates from the site due to the increase in impervious area created by the proposed development, two separate storm networks are proposed to direct runoff to the existing drainage area via the existing storm inlet at the east edge of the property.

Table 3 shows the resulting discharge rates for the 2, 10, and 100-year rainfall events with the proposed storm networks and detention pond.

Table 3 – Proposed Site Runoff Hydraflow Results with Detention	
Storm Event	Post-developed Peak Flow (cfs)
2-Yr	4.49
10-Yr	14.43
100-Yr	32.14

Hydraflow Hydrographs Extension for AutoCAD civil 3D was used to model the post developed site with the proposed storm system. A complete hydrograph can be found in Appendix C.



The above mentioned methodology was used to design the proposed detention pond to effectively capture and discharge the total runoff from the contributing drainage area. The discharge rates are controlled by a proposed storm structure to control peak discharge rates less than the rates yielded by existing conditions. Elevations for different rainfall events were used to set outlet pipe inverts and storm structure openings to effectively discharge the collected runoff while meeting water quality requirements.

For water quality design consideration, a perforated riser is proposed to reach the water quality rainfall event elevation. Perforations within the riser allow for a controlled discharge from the detention pond through the proposed storm network, meeting the minimum forty hour draw down.

Any overflow from the existing pond to the west will be collected and routed via a proposed earthen drainage swale to the north of the proposed development, and then to the detention pond. Outlet pipes convey storm water to existing infrastructure leading to an existing detention area.

A spillway for the proposed detention pond was designed using the 100-yr water surface elevation of 985.19'. Manipulating the design within the Hydrflows program to simulate clogged conditions and zero available storage the spillway crest elevation was set at 985.69' and is 30' in length along the eastern edge of the detention pond. The maximum water elevation under clogged conditions and zero storage is 986'. One foot of freeboard is available as the proposed top of the dam is 987'. The emergency spillway will allow the overflow to drain towards NE Independence Ave, and into the existing storm infrastructure.

SUMMARY

The proposed commercial development for Lee's Summit Town Center, LLC is located northwest of the intersection of Town Center Drive and Independence Avenue increases the amount of impervious area within the property. To account for the increase in runoff, storm networks and a detention basin have been designed to maintain the discharge rates below existing conditions flow rates.

Off-site contributions to runoff have been taken into account for the detention pond design. Outlet pipes and structures control peak discharge rates to less than that of existing conditions, while also meeting water quality requirements for the water quality rainfall event.

Table 4 below provides the discharge rates for the existing and post developed conditions for the 2, 10, and 100-year rainfall events for this site.

Storm Event (yr)	Pre-development Discharge (cfs)	Post-development Discharge (cfs)	Difference (cfs)
2	35.95	4.49	31.46
10	50.20	14.43	35.77
100	75.61	32.14	43.47





MBCI 7.2 deep ribbed panel horizontally oriented, in a metallic silver finish. Panels used on an implement dealership.

MBCI 7.2 panel ribs are 1 1/2" deep creating deep shadows. Ribs are spaced 7.2" on center.



MBCI 7.2 deep ribbed panel horizontally oriented, in a metallic silver finish. Panels used on an office building to create contrast with the adjacent flat metal wall panels.

Corners are cleanly mitered. Vertical joints are finished with trim to match wall panels.



**Appl. #PL2020-044 – PDP and Appl. #PL2020-045 – SUP
automotive sales and detailing center
2150 NE Independence Ave**

