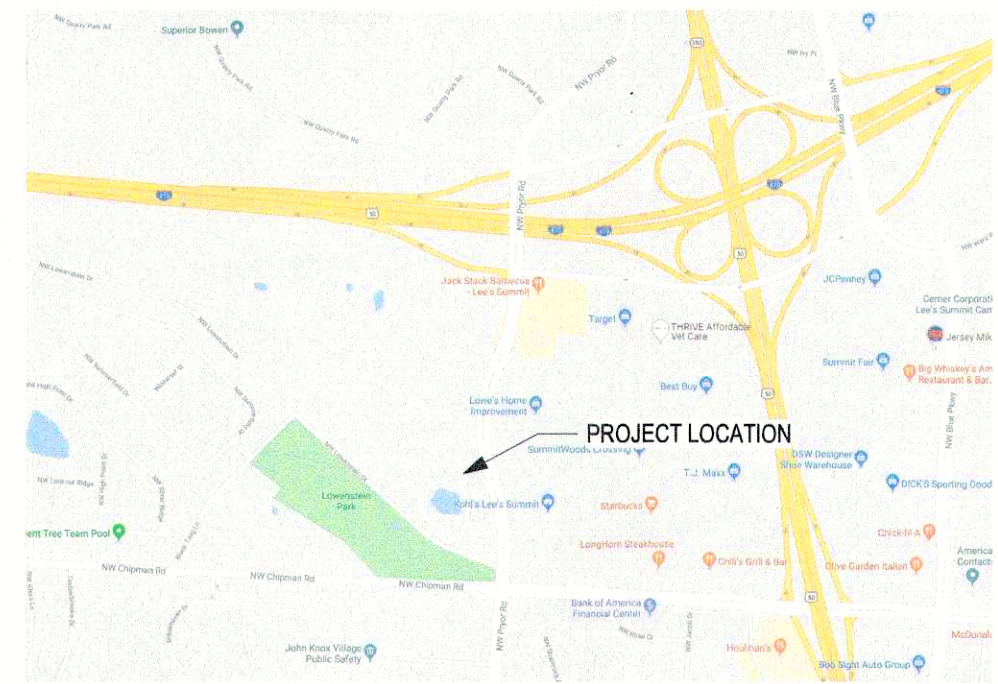


FILEPATH: F:\Projects\SDG\190224 Streets of West Pryor - Lot #305 Drawings\Revit\190224 West Pryor Lot 3 V7.rvt
DATE: 6/13/2020 12:36:24 PM
DRAWN BY: AJD



A1 LOCATION MAP
SCALE: NOT TO SCALE

MATERIAL LEGEND

PLAN OR SECTION		RIGID INSULATION
ACOUSTIC TILE (SECTION)		SAND, GRAVEL, PLASTER, DRYWALL, CUT STONE, GROUT
BATT INSULATION		WOOD BLOCKING
BRICK		WOOD MEMBER (CONTINUOUS)
CARPET		WOOD STUDS, PARALAM, FINISHED
CONCRETE		WOOD STUDS
CONCRETE MASONRY UNITS		ELEVATION
CONCRETE, PLASTER CUT STONE, STUCCO		BRICK
EARTH COMPACTED/DISTURBED		GLASS
METAL		WOOD
METAL STUDS		
PLYWOOD (LARGE SIZE)		

ABBREVIATIONS

A	ABOVE FINISH FLOOR
ACS PNL	ACCESS PANEL
ACC	ACCESSIBLE
ACT	ACOUSTICAL CEILING TILE
ACOUS PNL	ACOUSTICAL PANEL
ADMIN	ADMINISTRATION
APC	ACOUSTICAL PANEL CEILING
AWT	ACOUSTICAL WALL TREATMENT
ADJ	ADJUSTABLE
AHU	AIR HANDLING UNIT
ALT	ALTERNATE
ALUM	ALUMINUM
AB	ANCHOR BOLT
L	ANGLE
ANOD	ANODIZE / ANODIZED
APPROX	APPROXIMATE
ARCH	ARCHITECTURAL
ASPH	ASPHALT
BSMT	BASEMENT
BM	BEAM
BRG	BEARING
BRG PL	BEARING PLATE
BR	BEDROOM
BLW	BELOW
BTWN	BETWEEN
BTUM	BITUMINOUS
BD	BOARD
BF	BOTH FACES
BS	BOTH SIDES
BW	BOTH WAYS
BOT	BOTTOM
BRKT	BRACKET
BLDG	BUILDING
BUR	BUILT-UP ROOFING
CAB	CABINET
CUH	CABINET UNIT HEATER
CPT	CARPET
CIP	CAST-IN-PLACE
CS	CAST STONE
CLG	CEILING
CEM	CEMENT
CTR	CENTER
CL	CENTER LINE
C TO C	CHALKBOARD CHANNEL
CH BD	CHALKBOARD
C	CLEAR
CLR	CLEAR
CLO	CLOSET
COL	COLUMN
CONC	CONCRETE
CMU	CONCRETE MASONRY UNIT
D	DEAD LOAD
DEMO	DEMOLITION
DEPT	DEPARTMENT
D	DEPTH
DET	DETAIL
DIA	DIAGONAL
DIAZ	DIAMETER
DIM	DIMENSION

D	CONTINUED
DW	DISHWASHER
DR	DOOR
DBL	DOUBLE
DN	DOWN
DNST	DOWNSPOUT
DWG	DRAWING
DF	DRINKING FOUNTAIN
E	EACH
EA	EACH WAY
ESMT	EASEMENT
E	EAST
ELEC	ELECTRIC, ELECTRICAL
ELEV	ELEVATION
EQ	EQUAL
EQUIP	EQUIPMENT
EXH FN	EXHAUST FAN
EXIST	EXISTING
EXP	EXPANSION
EJ	EXPANSION JOINT
EXT	EXTERIOR
EIFS	EXTERIOR INSULATION & FINISH SYSTEM
F	FACE BRICK
FC BRK	FACE BRICK
FOF	FACE OF FINISH
FGL	FIBERGLASS
FIN	FINISH
FF EL	FINISH FLOOR ELEVATION
FE	FIRE EXTINGUISHER
FE	FIRE EXTINGUISHER CABINET
FX	FIXTURE
FLSH	FLASHING
FLR	FLOOR
FOO	FLOOR CLEANOUT
FD	FLOOR DRAIN
FLUOR	FLUORESCENT
FLUOR	FLOW LINE
FT	FOOT
FTG	FOOTING
FDTN	FOUNDATION
FR	FRAME
FR	FRESH AIR
FURN	FURNACE
FURG	FURRING
FS	FULL SIZE
G	GAUGE
GA	GALV
GA	GALVANIZED STEEL
GC	GENERAL CONTRACTOR
GL	GLASS
GB	GRAB BAR
GYP BD	GYP SUM BOARD
H	HANDICAPPED
HCP	HANDICAPPED
HDW	HARDWARE
HVAC	HEATING, VENTILATION & AIR CONDITIONING
HT	HEIGHT
H	HIGH
HVY	HIGHWAY
HM	HOLLOW METAL
HORIZ	HORIZONTAL
HP	HORSEPOWER

H	CONTINUED
HW	HOT WATER
HYD	HYDRANT
I	INCLUDED
ID	INSIDE DIAMETER
INSUL	INSULATION
INT	INTERIOR
J	JANITOR
K	KITCHEN
L	LABORATORY
LAB	LABORATORY
LAM	LAMINATE
LAU	LAUNDRY
LAV	LAVATORY
LCMU	LIGHTWEIGHT CONCRETE
LCMU	LIGHTWEIGHT CONCRETE MASONRY
LF	LINEAR FOOT
LL	LIVE LOAD
LR	LIVING ROOM
LLH	LONG LEG HORIZONTAL
LLV	LONG LEG VERTICAL
M	MAINTENANCE
MAINT	MAINTENANCE
MH	MANHOLE
MFD	MANUFACTURED
MFR	MANUFACTURER
MFG	MANUFACTURING
MO	MASONRY OPENING
MBR	MASTER BEDROOM
MATL	MATERIAL
MAX	MAXIMUM
MECH	MECHANICAL
METAL	METAL
MW	MICROWAVE
MIN	MINIMUM, MINUTE
MISC	MISCELLANEOUS
MISC	MISCELLANEOUS RESISTANT
MTD	MOUNTED
MULL	MULLION
N	NOISE REDUCTION COEFFICIENT
NRC	NOISE REDUCTION COEFFICIENT
NOM	NOMINAL
N	NORTH
N	NOT IN CONTRACT
NTS	NOT TO SCALE
O	OFFICE
OFF	OFFICE
OC	ON CENTER
OPNG	OPENING
OPP	OPPOSITE
OD	OUTSIDE DIAMETER
O/O	OUT TO OUT
OA	OVERALL
ORD	OVERFLOW ROOF DRAIN
OH	OVERHANG
OF	OWNER FURNISHED
OF/CI	CONTRACTOR INSTALLED
OF/OI	OWNER FURNISHED/ OWNER INSTALLED

P	PAINT
PR	PAIR
PNL	PANEL
PTD	PAPER TOWEL DISPENSER
PBD	PARTICLE BOARD
PTN	PARTITION
PVG	PAVING
PERF	PERFORATED
PERIM	PERIMETER
PLAS	PLASTER
PERP	PERPENDICULAR
PLM	PLASTIC LAMINATE
PLYWD	PLYWOOD
PVC	POLYVINYL CHLORIDE
LB	POUND
PCF	POUNDS PER CUBIC FOOT
PLF	POUNDS PER LINEAR FOOT
PSF	POUNDS PER SQUARE FOOT
PSI	POUNDS PER SQUARE INCH
PCC	PRECAST CONCRETE
PREFAB	PREFABRICATE
PREFIN	PREFINISH
PROJ	PROJECT
PL	PROPERTY LINE
Q	QUARRY TILE
QT	QUARRY TILE
R	REFERENCE, REFRIGERATOR
REF	REFERENCE, REFRIGERATOR
RCP	REFLECTED CEILING PLAN
REIN	REINFORCE
REQD	REQUIRED
RESIL	RESILIENT
REST	RESTROOM
RA	RETURN AIR
REV	REVISION
R	RISER, RADIUS, RANGE
RD	ROUGH OPENING
RFG	ROUGH OPENING
RM	ROUGH OPENING
RO	ROUGH OPENING
RS	ROUGH SAWN
S	SANITARY NAPKIN DISPENSER
SNU	SANITARY NAPKIN DISPOSAL UNIT
SNDU	SANITARY SEWER
SS	SCHEDULE
SCHED	SCHEDULE
SECT	SECTION
SH	SHEET
SVT	SHEET VINYL
SHV	SHELVING
SHR	SHOWER
SIM	SIMILAR
SCWD	SOLID CORE WOOD
STC	SOUND TRANSMISSION CLASS
S	SOUTH
SPEC	SPECIFICATION
SB	SPLASH BLOCK
SF	SQUARE FOOT
SQ IN	SQUARE INCH
SQ YD	SQUARE YARD
SST	STAINLESS STEEL
STD	STANDARD
STL	STEEL JOIST
STL JST	STORAGE
STOR	STORAGE
SD	STORM DRAIN
ST	STREET

S	CONTINUED
STRUC	STRUCTURAL
SUSP CLG	SUSPENDED CEILING
SW	SWITCH
T	TACKBOARD
TK BD	TELEPHONE
TEL	TELEVISION
TV	TEMPERED
TMPO	TERRAZZO
TER	THICKNESS
THK	TOILET PAPER HOLDER
TPD	TONGUE AND GROOVE
T&G	TOP AND BOTTOM
T&B	TOP OF CURB
TOC	TOP OF CONCRETE
TOF	TOP OF FOOTING
TOM	TOP OF MASONRY
TOS	TOP OF STEEL
TOW	TOP OF WALL
TB	TOWEL BAR
TRANS	TRANSPARENT
*TF	TRANSPARENT WOOD FINISH
TYP	TYPICAL
U	UNFINISHED
UH	UNIT HEATER
UNO	UNLESS NOTED OTHERWISE
V	VAPOR RETARDER
VR	VENEER
VNR	VENT
VENT	VENTILATION
VERT	VERTICAL
VEST	VESTIBULE
VB	VINYL BASE
VCT	VINYL COMPOSITION TILE
VWC	VINYL WALL COVERING
VWF	VINYL WALL FABRIC
V	VOLT
W	WAINSCOT
WSC	WALL COVERING
WC	WATER CLOSET
WH	WATER HEATER
WP	WORKING POINT
WT	WEIGHT
WWF	WELDED WIRE FABRIC
W	WEST, WIDE
WDW	WINDOW
WGL	WIRED GLASS
W	WITH
W/O	WITHOUT
WD	WOOD

GRAPHIC SYMBOLS

ELEVATION TAG	B3	BEARING ELEVATION MARK	100'-0"
MATCHLINE	A-101 / 1	DESCRIPTIVE ARROW	NEW EXISTING
WALL SECTION TAG	B5	CENTERLINE MARK	
DETAIL CALLOUT	A2	SPOT ELEVATION	
SMALL REFERENCE NOTE	A-101/A1	DEMOLITION MARK	1
PARTITION TYPE TAG	P2	GENERAL NOTE MARK	1
WINDOW TAG	11	NEW CONSTRUCTION MARK	1
DOOR TAG	D101B	REVISION MARK	1
ROOM TAG	101	EQUIPMENT TAG	11

CODE SUMMARY

JURISDICTIONAL BUILDING CODES:	
INTERNATIONAL BUILDING CODE	2018
INTERNATIONAL MECHANICAL CODE	2018
NATIONAL ELECTRICAL CODE	2017
INTERNATIONAL PLUMBING CODE	2018
INTERNATIONAL FIRE CODE	2018
INTERNATIONAL FUEL GAS CODE	2018
ICC/ANSI A117.1-2017, ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES	
BUILDING TYPE:	
OCCUPANCY TYPE:	NEW CONSTRUCTION
CONSTRUCTION TYPE:	A2.1 & M
ALLOWABLE HEIGHT:	5B
ACTUAL HEIGHT:	40 FT = 1 STORIES
	25 FT = 1 STORIES
ALLOWABLE FLOOR AREA:	
ALLOWABLE FLOOR AREA:	6,000 SF
FRONTAGE INCREASE: $I = (F / P - .25) W / 30$	
$I = (344.5 / 344.5 - .25) 30 / 30 = .75$	$6,000 \times .75 = 4,500$ SF
TOTAL ALLOWABLE FLOOR AREA:	10,000 SF

STATEMENT OF WORK

<u>GROSS BUILDING AREA:</u>				
(PER IBC 2018)				
TENANT A:			2198 SF	
TENANT C:			2257 SF	
TENANT E:			2456 SF	
TOTAL AREA:			6911 SF	
<u>OCCUPANT LOAD CALCULATIONS:</u>				
SPACE	AREA	EXITS REQUIRED	EXITS PROVIDED	ESTIMATED OCCUPANT LOAD
TENANT A SEATING BACK OF HOUSE	894 SF 814 SF	2 1	2 2	@ 15 PSF = 60 @ 200 PSF = 5
TENANT C	2257 SF	2	3	@ 60 PSF = 38
TENANT E SEATING BACK OF HOUSE	1228 SF 1228 SF	2 1	2 1	@ 15 PSF = 82 @ 200 PSF = 7
TOTAL	6421 SF			OCCUPANTS = 192

GROSS BUILDING AREA:

(PER LEE'S SUMMIT UDO)	
TENANT A:	2080 SF
TENANT C:	2212 SF
TENANT E:	2330 SF
TOTAL AREA:	6622 SF

PLUMBING FIXTURES:

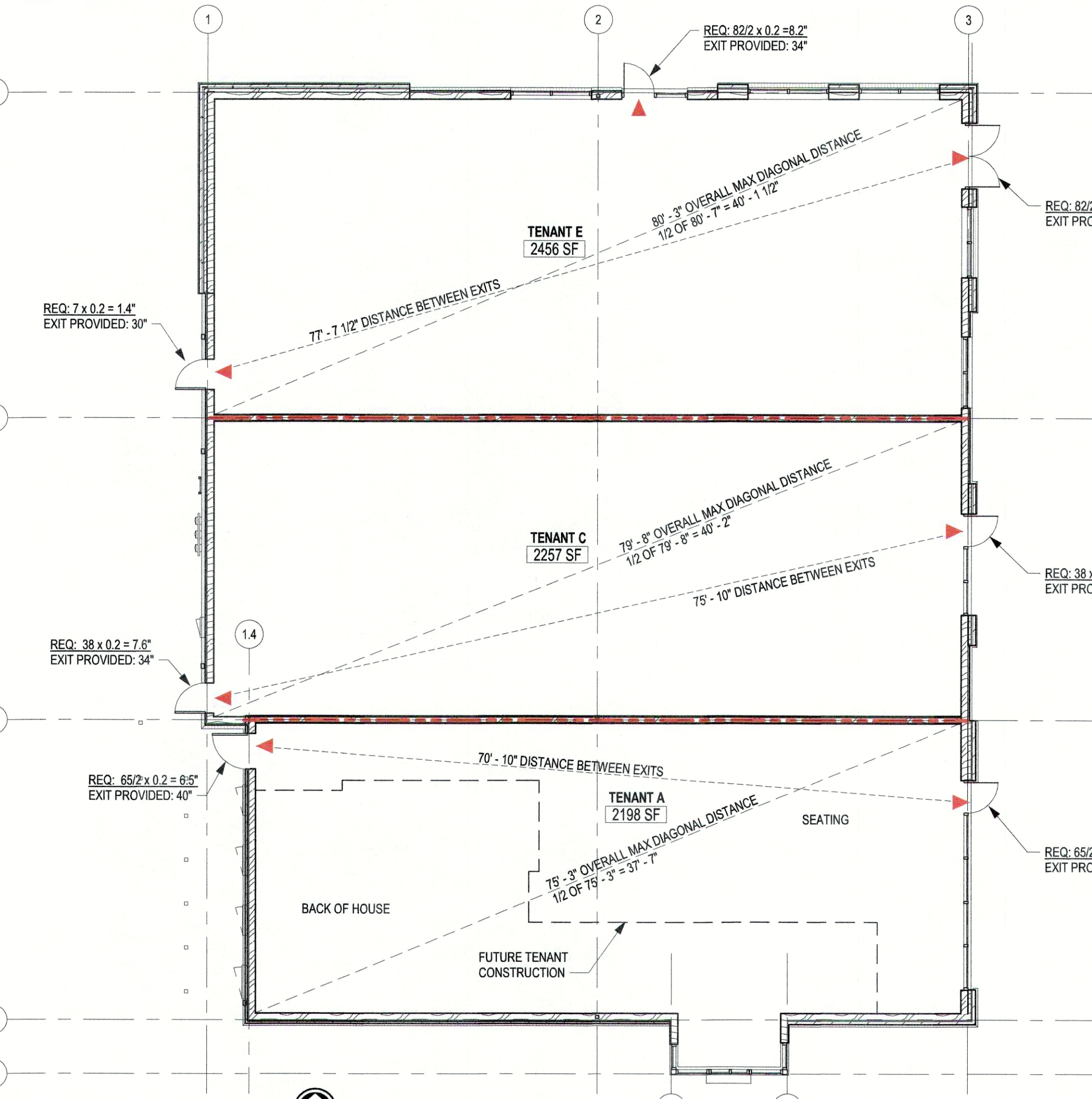
PLUMBING FIXTURES TO BE INCLUDED IN INDIVIDUAL TENANT FINISH SUBMITTALS

MISCELLANEOUS:

AUTOMATIC SPRINKLER SYSTEM (NO)

CODE PLAN LEGEND

2-HR SEPARATION
EXIT



A3 CODE PLAN
SCALE: 1" = 10'-0"

DESIGN TEAM

ARCHITECTURAL DESIGN	
SCHWERTDT DESIGN GROUP 2231 SW WANAMAKER RD SUITE 303 TOPEKA, KANSAS 66614	CONTACT: MIKE HAMPTON, AIA BETH VALDIVIA PHONE: 785-273-7540 E-MAIL: MKH@SDGARCH.COM BETH@SDGARCH.COM
MECHANICAL & ELECTRICAL DESIGN	
PEARSON KENT MCKINLEY RAUF ENGINEERS, LLC 2933 SW WOODSIDE DR., SUITE C TOPEKA, KANSAS 66614	CONTACT: BRIAN LEINWETTER, PE PHONE: 785-273-2447 EXT 200 FAX: 785-273-0456 E-MAIL: BRYAN.LEINWETTER@PKMRENG.COM
STRUCTURAL DESIGN	
CERTUS STRUCTURAL ENGINEERS 900 S KANSAS AVE, SUITE 400 TOPEKA, KANSAS 66614	CONTACT: AARON SCOTT, PE PHONE: 785-291-0400 E-MAIL: AARON.SCOTT@CERTUSSE.COM
CIVIL DESIGN	
SM ENGINEERING 919 W STEWART RD COLUMBIA, MO 65203	CONTACT: SAM MALINOWSKI, PE PHONE: 785-241-9747 E-MAIL: SMCIVLENGR@GMAIL.COM

SHEET INDEX

GENERAL	
G-001	COVER SHEET
G-002	UL DESIGNATIONS
CIVIL	
C-1	COVER SHEET
C-1.1	PLAT
C-1.2	PLAT
C-2	SITE PLAN
C-3	UTILITY PLAN & WATERLINE A PLAN & PROFILE
C-4	GRADING PLAN & STORM LINE A PROFILE
C-4.1	ADA RAMP DETAILS
C-5	EROSION CONTROL PLAN
C-6	EROSION CONTROL DETAILS
C-7	DETAILS
C-8	DETAILS
C-9	DETAILS
C-10	LANDSCAPE PLAN

ARCHITECTURAL

A-100	SITE PLAN & TRASH ENCLOSURE DETAILS
A-101	FLOOR PLAN
A-102	ROOF PLAN
A-201	BUILDING ELEVATIONS
A-302	TENANT A WALL SECTIONS
A-303	TENANT C WALL SECTIONS & LADDER DETAILS
A-304	TENANT E WALL SECTIONS
A-401	ARCHITECTURAL DETAILS
A-402	CANOPY & SCREEN WALL DETAILS
A-601	DOOR SCHEDULES AND DETAILS

STRUCTURAL

S-001	GENERAL NOTES
S-101	FOUNDATION & WALL FRAMING PLANS
S-102	ROOF FRAMING PLAN
S-201	FRAMING ISOMETRIC
S-301	CONCRETE DETAILS & SECTIONS I
S-601	FRAMING DETAILS & SECTIONS I
S-602	FRAMING DETAILS & SECTIONS II

MEP

ME-101	COVER SHEET
ME-102	PHOTOMETRIC PLAN

MECHANICAL

M-101	PLUMBING PLAN
M-102	HVAC PLAN

ELECTRICAL

E-101	POWER PLAN
E-102	LIGHTING PLAN



architecture | interiors | planning
2231 sw wanamaker rd
topeka, kansas 66614-4275
phone: 785.273.7540

SCHWERTDT DESIGN GROUP
MISSOURI STATE CERTIFICATE OF AUTHORITY
#F0003876



MULTI-TENANT BUILDING, CORE & SHELL
STREETS OF WEST PRYOR, LOT 3
2050 NW LOWENSTEIN DR. LEE'S SUMMIT, JACKSON CO, MO

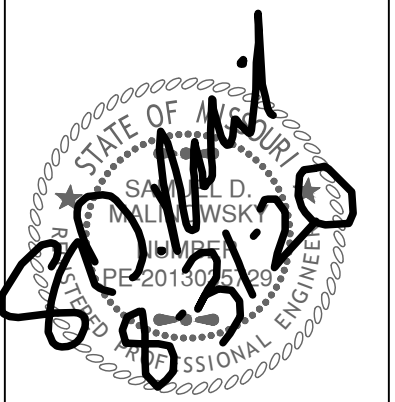
SUBMISSION DATES	
04/07/2020	
ADD-1	4/23/20
ASH-5	7/13/20
ASH-9	8/31/20

SHEET TITLE
COVER SHEET

PROJECT NUMBER
190224

SHEET NUMBER
G-001

Drawings and/or Specifications are original proprietary work and property of the Engineer and intended specifically for this project. Use of items contained herein without consent of the Engineer is prohibited. Drawings illustrate best information available to the Engineer. Field verification of actual elements, conditions, and dimensions is required.



Revisions
5-1-20 PER STARBUCKS
5-4-20 CITY COMMENTS
6-22-20 ADA RAMPS
7-27-20 PER CLIENT
8-12-20 SPOT GRADES
8-31-20 PER CITY COMMENTS

LOT 3 OF WEST PRYOR
LEE'S SUMMIT, MISSOURI

SITE DATA

TOTAL SITE	1.75ac (76,230sf)
TOTAL IMPERVIOUS AREA	32,403sf
OPEN SPACE	43,827sf (30.3%)
TOTAL BUILDING	16,622sf
FAR	0.09
TOTAL REQUIRED	
4,410 @ 14/1000 =	62
2,212 @ 5/1000 =	11
TOTAL =	73
PARKING PROVIDED	75

CONSTRUCTION NOTES:

- COORDINATE START-UP AND ALL CONSTRUCTION ACTIVITIES WITH OWNER.
 - CONSTRUCTION METHODS AND MATERIALS NOT SPECIFIED IN THESE PLANS ARE TO MEET OR EXCEED THE STANDARD SPECIFICATIONS.
 - ALL CONSTRUCTION WORK AND UTILITY WORK OUTSIDE OF PROPERTY BOUNDARIES SHALL BE PERFORMED IN COOPERATION WITH AND IN ACCORDANCE WITH REGULATIONS OF THE AUTHORITIES CONCERNED.
 - PUBLIC CONVENIENCE AND SAFETY: THE CONTRACTOR SHALL CONDUCT THE WORK IN A MANNER THAT WILL INSURE, AS FAR AS PRACTICABLE, THE LEAST OBSTRUCTION TO TRAFFIC, AND SHALL PROVIDE FOR TI-1E CONVENIENCE AND SAFETY OF THE GENERAL PUBLIC AND RESIDENTS ALONG AND ADJACENT TO STREETS IN THE CONSTRUCTION AREA.
 - ALL DIMENSIONS SHOWN ARE TO THE BACK OF CURB UNLESS OTHERWISE NOTED.
 - ACCESSIBLE STALLS SHOWN WITH A "VAN" SHALL BE 16'-0" MIN. AND SHALL HAVE A SIGN DESIGNATING "VAN-ACCESSIBLE". SEE DETAIL102.
- NOTE:**
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRANCE. SLOPED PAVING, EXIT PORCHES AND RAMPS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
 - THESE PLANS HAVE NOT BEEN VERIFIED WITH FINAL ARCHITECTURAL CONTRACT DRAWINGS. CONTRACTOR SHALL VERIFY AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES. CONTRACTOR IS FULLY RESPONSIBLE FOR REVIEW AND COORDINATION OF ALL DRAWINGS AND CONTRACTOR DOCUMENTS.
 - ALL DIMENSIONS ARE PERPENDICULAR TO PROPERTY LINE.
 - ACTUAL SIGN LOCATIONS TO BE COORDINATED WITH CONSTRUCTION MANAGER.

- SEE DETAIL SHEET FOR THE FOLLOWING DETAILS:
- PK-1 96" ACCESSIBLE & VAN ACCESSIBLE SPACE STRIPING
 - PK-2 ACCESSIBLE SIGN
 - CG-1 CURB AND GUTTER
 - CW1 CURB WALK AT BUILDING
 - PV1 REGULAR DUTY PAVEMENT
 - PV2 HEAVY DUTY ASPHALT PAVEMENT
 - PV3 HEAVY DUTY CONCRETE PAVEMENT
 - CW2 SIDEWALK
 - ADA-1-7 HANDICAP RAMP SEE GEN-3A DETAIL SHEET C9.0 AND ADA RAMPS SHEET C4.1
 - XS EXIT SIGN "THANK YOU"
 - 64 MOBILE ORDER PAY PARKING ONLY SIGNAGE
 - SG1 BOLLARD -SEE SHEET 2.1 FOR SPACING

- NOTES:**
- 8A DOOR (SEE ARCH. PLANS)
 - 12K YELLOW PARKING LOT STRIPING (SHERWIN-WILLIAMS TM 2160 LEAD FREE OR APPROVED EQUAL)
 - 12N 4" YELLOW STRIPES 3'-0" O.C.
 - CO CLEAN-OUT (SEE GRADING PLAN)
 - 11 PAINT CURB RED "NO PARKING FIRE LANE"
 - 12 "DO NOT ENTER" WHITE PAVEMENT MARKING
 - 13 UTILITY SCREEN WALL PER LLWL REQUIREMENTS

