

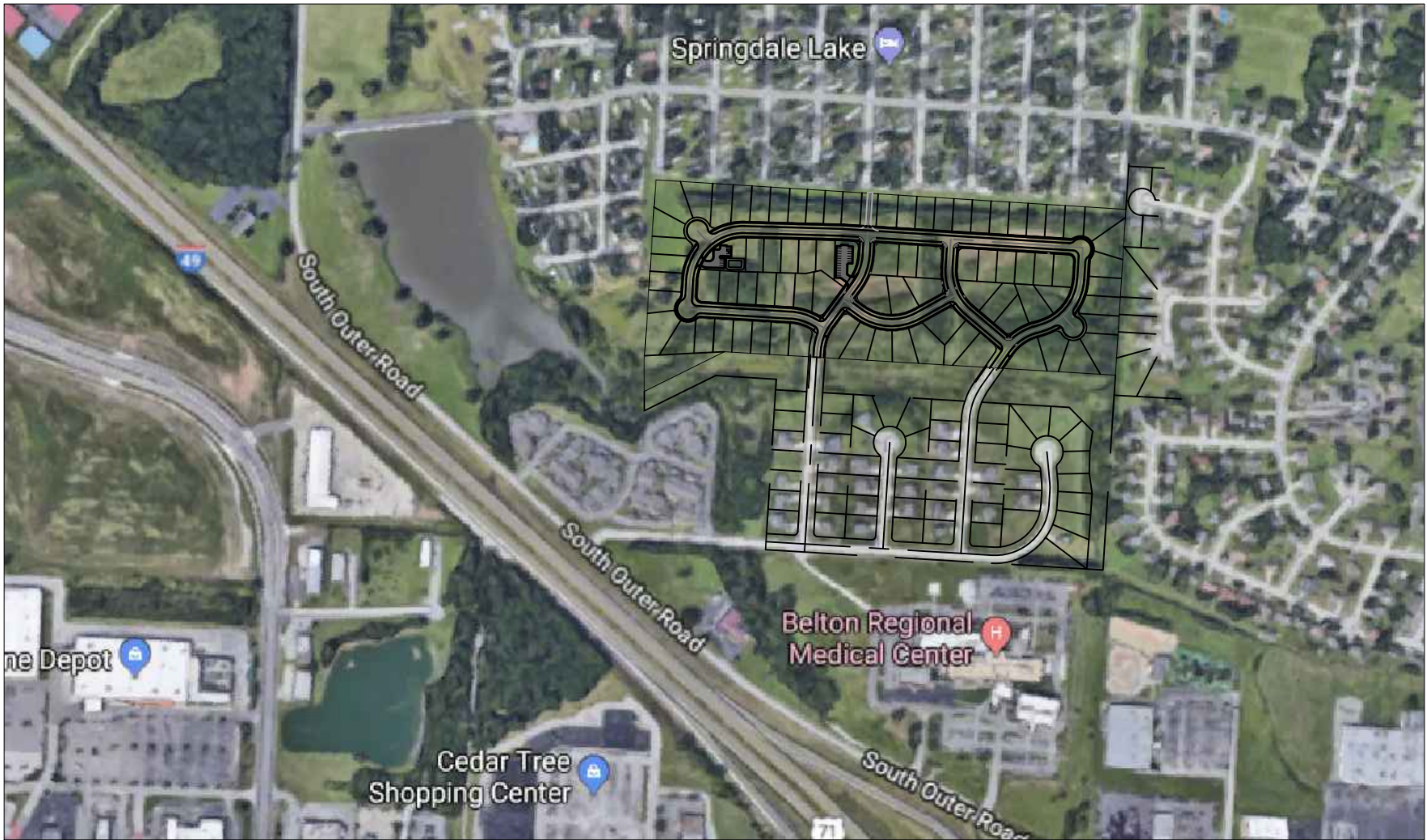
This architectural elevation drawing shows a single-story house with a gabled roof covered in dark grey shingles. The main body of the house is finished with light beige stucco. A central gabled section features two large, side-by-side garage doors with a tan and white paneled design. This central section is flanked by two windows, each with a dark frame and a four-pane grid. The lower portion of the house, including the base of the walls and the area around the windows and garage doors, is finished with a grey stone veneer. The entire house sits on a light grey concrete foundation.

ISSUED FOR:  
BID SET - 07/06/2018

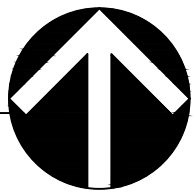
## CONSTRUCTION NOTES

1. ALL WORK PERFORMED SHALL BE IN ACCORDANCE WITH THE BUILDING CODE OF THE AUTHORITY HAVING JURISDICTION AND THE RULES AND REGULATIONS OF ALL AGENCIES, DEPARTMENTS AND COMMISSIONS HAVING JURISDICTION. WHERE DISCREPANCIES OCCUR AND/OR WHERE THERE ARE CONFLICTS OR OMISSIONS IN THE DRAWINGS AND APPLICATIONS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY AND STOP WORK UNTIL THE ARCHITECT IS CONSULTED CONCERNING SUCH WORK, OR DEFENDANT WORK, UNTIL TOLD BY THE ARCHITECT TO PROCEED.
2. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS IN THE FIELD PRIOR TO COMMENCING WORK, AND SHALL REPORT TO THE ARCHITECT ANY CONDITION OR DISCREPANCY BETWEEN DRAWINGS AND FIELD CONDITIONS REQUIRING MODIFICATIONS BEFORE PROCEEDING WITH THE WORK.
3. MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT NECESSARY FOR PROPER CONSTRUCTION OF ANY PART OF THE WORK SHALL BE INCLUDED AS IF THEY WERE INDICATED IN THE DRAWINGS.
4. REFERENCING OF DRAWINGS IS FOR CONVENIENCE ONLY AND DOES NOT LIMIT APPLICATION OF ANY DRAWING.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL CONDITIONS AND MATERIALS WITHIN THE PROPOSED CONSTRUCTION AREAS. THE CONTRACTOR SHALL DESIGN AND INSTALL ADEQUATE SHORING AND BRACING FOR ALL STRUCTURAL OR REMOVAL TASKS. THE CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY FOR ANY DAMAGE TO OR INJURY TO PERSONS OR PROPERTY DURING THE EXECUTION OF THE WORK.
6. NOTES APPEAR ON VARIOUS SHEETS FOR VARIOUS SYSTEMS AND MATERIALS. SHEETS ARE TO BE OWNED REVIEWED AND NOTES ON ANY ONE SHEET ARE TO BE APPLIED TO RELATED SYSTEMS AND MATERIALS DEPICTED ON OTHER DRAWINGS.
7. DETAILS NOT SHOWN ARE SIMILAR IN CHARACTER TO THOSE THAT ARE. WHERE SPECIFIC DIMENSIONS, DETAILS, OR DESIGN INTENT CANNOT BE DETERMINED, CONSULT THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
8. THE CONTRACTOR SHALL MAINTAIN AT HIS OWN WORK, AND SHALL PROVIDE ALL DIMENSION REQUIREMENTS FOR OTHER TRADES.
9. THE CONTRACTOR SHALL DO ALL CUTTING, PATCHING AND REPAIRING AS REQUIRED TO PERFORM ALL OF THE WORK INDICATED ON THE DRAWINGS, AND ALL OTHER WORK THAT MAY BE REQUIRED TO COMPLETE THE JOB.

1. THE INTENT OF THE SET OF CONTRACT DOCUMENTS IS TO INCLUDE ALL ITEMS NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK BY THE CONTRACTOR AS BINDING PERFORMANCE. THE CONTRACTOR SHALL BE REQUIRED ONLY TO THE EXTENT CONSISTENT WITH THE CONTRACT DOCUMENTS AND SPECIFICATIONS REASONABLY INFERRABLE FROM THEM AS BEING NECESSARY TO PRODUCE THE INDICATED RESULTS.
2. ORGANIZATION OF THE SPECIFICATIONS INTO DIVISIONS, SECTIONS AND ARTICLES, AND SEQUENCE OF PARAGRAPHS SHALL NOT CONTROL THE CONTRACTOR, IN DIVIDING THE WORK AMONG SUBCONTRACTORS OR IN ESTABLISHING THE EXTENT OF WORK TO BE PERFORMED BY ANY TRADE.
3. UNLESS OTHERWISE STATED IN THE CONTRACT DOCUMENTS, WORDS WHICH HAVE WELL-KNOWN TECHNICAL OR CONSTRUCTION INDUSTRY MEANINGS ARE USED IN THE CONTRACT DOCUMENTS IN ACCORDANCE WITH SUCH RECOGNIZED MEANINGS.
4. GENERAL CONTRACTOR AND ELECTRICAL SUBCONTRACTOR TO FULLY COORDINATE ALL ELECTRICAL DEVICE BODIES AND COVER PLATES PER THE SPECIFICATIONS, DEVICE BODIES AND COVER PLATES ARE COLOR COORDINATED WITH SPECIALTY FINISHES. PROVIDE DEVICE BODY AND COVER PLATES TO THE ARCHITECT FOR OWNER REVIEW AND APPROVAL.
5. GENERAL CONTRACTOR TO FULLY COORDINATE WITH MECHANICAL/PLUMBING SUBCONTRACTORS, ALL FIXTURE/DEVICE COLORES WHERE FIXTURE/DEVICE UNITS ARE PLACED WITHIN WALLS AND CEILING ASSEMBLIES VS ADJACENT MATERIAL FINISH COLOR.
6. PROVIDE SUBMITTAL OF ALL SPRINKLER HEADS w/ESCUTCHEON COVERS TO THE ARCHITECT FOR OWNER REVIEW AND APPROVAL.



VICINITY PLAN  
N.T.S



**POWELL**  
C W M  
ARCHITECTURE / ENGINEERING / SURVEYING

SHEET LIST		BID SET - 07/06/2018							
SHEET NUMBER	SHEET NAME								
ARCHITECTURAL									
A-100	FOUNDATION PLAN AND DETAILS	●							
A-110	FLOOR PLAN	●							
A-120	ROOF PLAN	●							
A-130	WALL SECTIONS	●							
A-140	SECTION DETAILS	●							
A-150	EXTERIOR ELEVATIONS	●							

NATHAN KENT BOEN, R.A.  
A-2017009063

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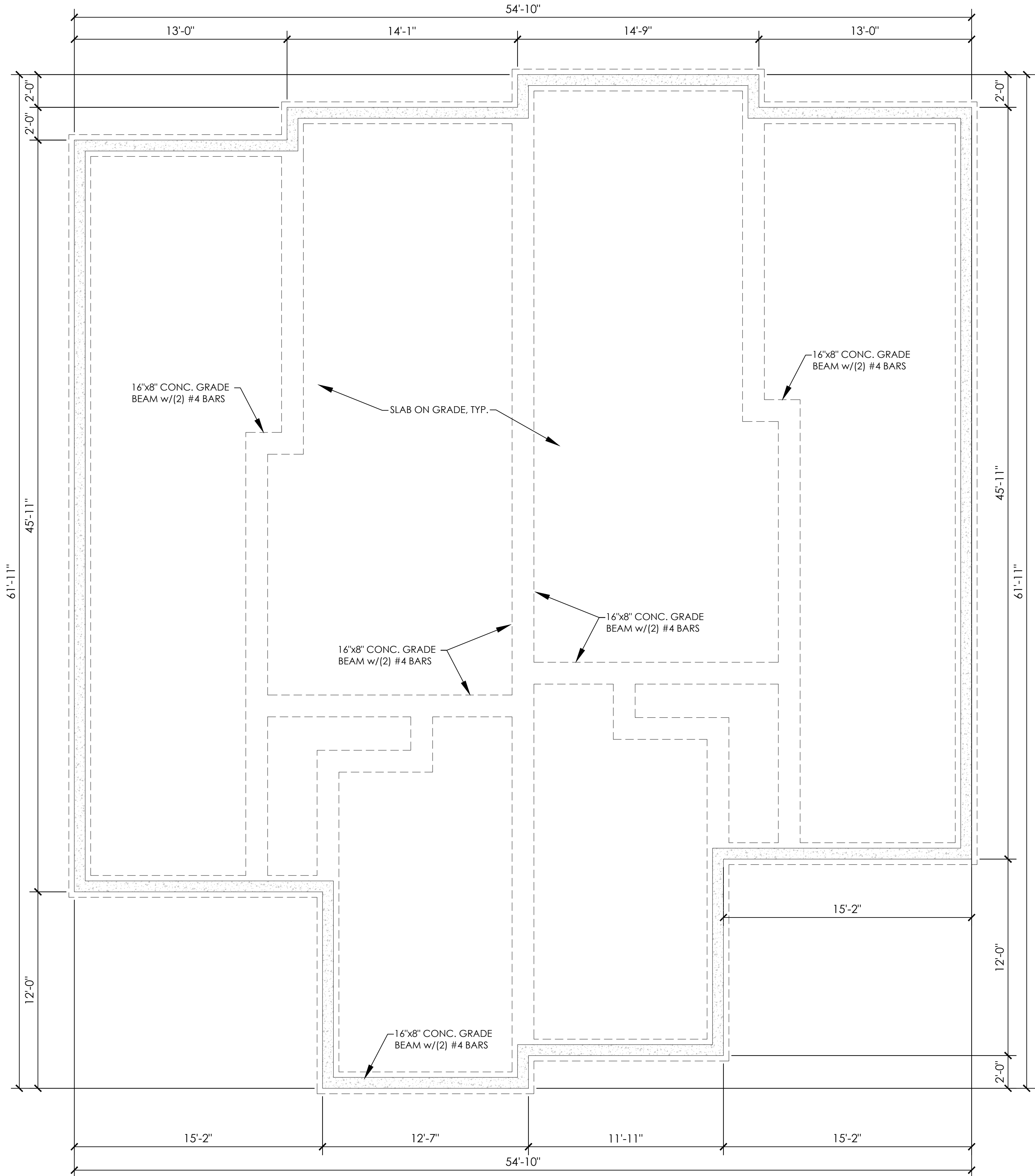
PREPARED FOR:  
THIRD AXIS  
INVESTMENTS, LLC  
3352 SW MARKET ST.  
LEE'S SUMMIT, MO 64082  
816.215.4184

DUPLEX TYPE "C"  
MEADOW CREEK, PHASE 2  
BELTON, CASS COUNTY, MISSOURI

[illegible]

COVER





- FOUNDATION PLAN NOTES**
1. ALL LUMBER TO BE #2 GRADE OR BETTER DOUGLAS FIR.
  2. ALL CEILING JOISTS TO BE 2x6 @ 16" O.C. DFL #2 WITHOUT ATTIC STORAGE OR 2x6 @ 12" O.C. DFL #2 WITH ATTIC STORAGE.
  3. ALL HEADERS TO HAVE A 3" MIN. END BEARING.
  4. ALL DIMS ARE TO OUTSIDE OF CONCRETE FOUNDATION WALL.

**1 FOUNDATION PLAN**  
SCALE 1/2"=1' - 0"

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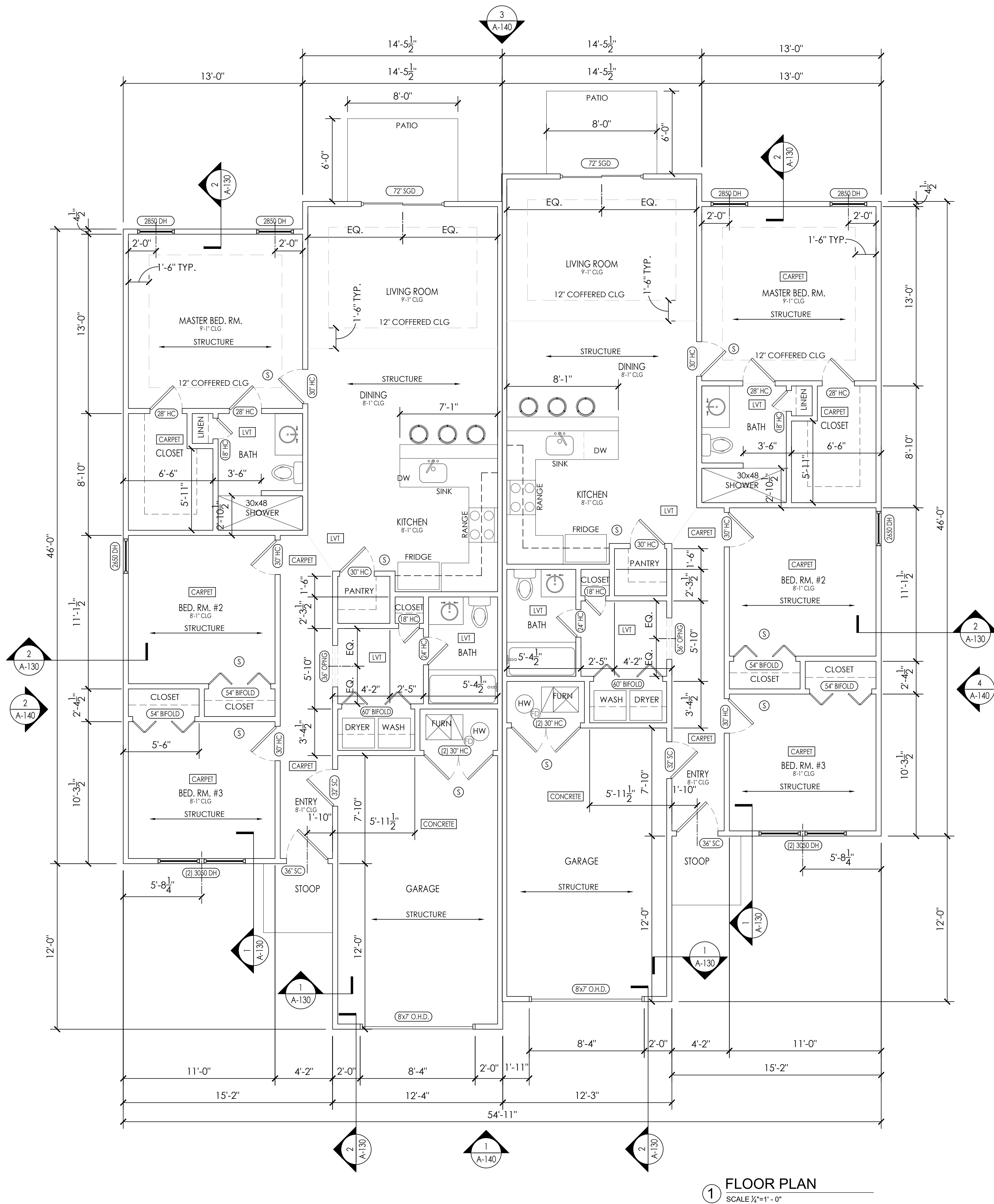
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BELTON, CASS COUNTY, MISSOURI

REVISIONS	NO.	DATE	DESCRIPTION

PROJECT #: 17-1245  
ISSUE DATE: 07/06/2018  
ISSUED FOR: BID

FOUNDATION PLAN





- FLOOR PLAN NOTES**
- ALL INTERIOR WALLS TO BE 2"x4" DFL #2 OR GREATER WITH (1) 1/2" TYPE "X" GYP. BD. ON BOTH SIDES UNLESS NOTED OTHERWISE.
  - ALL EXTERIOR DIMENSIONS ARE TO EXTERIOR SHEATHING. REFER TO ELEVATIONS AND SECTIONS FOR EXTERIOR FINISH.

- FLOOR PLAN LEGEND**
- SMOKE DETECTOR
  - DOOR/WINDOW TAG
  - HC = HOLLOW CORE
  - SC = SOLID CORE
  - BIFOLD = BIFOLD LOUVERED DOOR
  - SGD = SLIDING GLASS DOOR
  - WIDTH
  - STRUCTURE DIRECTION
  - ROOM FINISH TAG
  - FINISH TRANSITION

**1 FLOOR PLAN**  
SCALE 1/2"=1' - 0"

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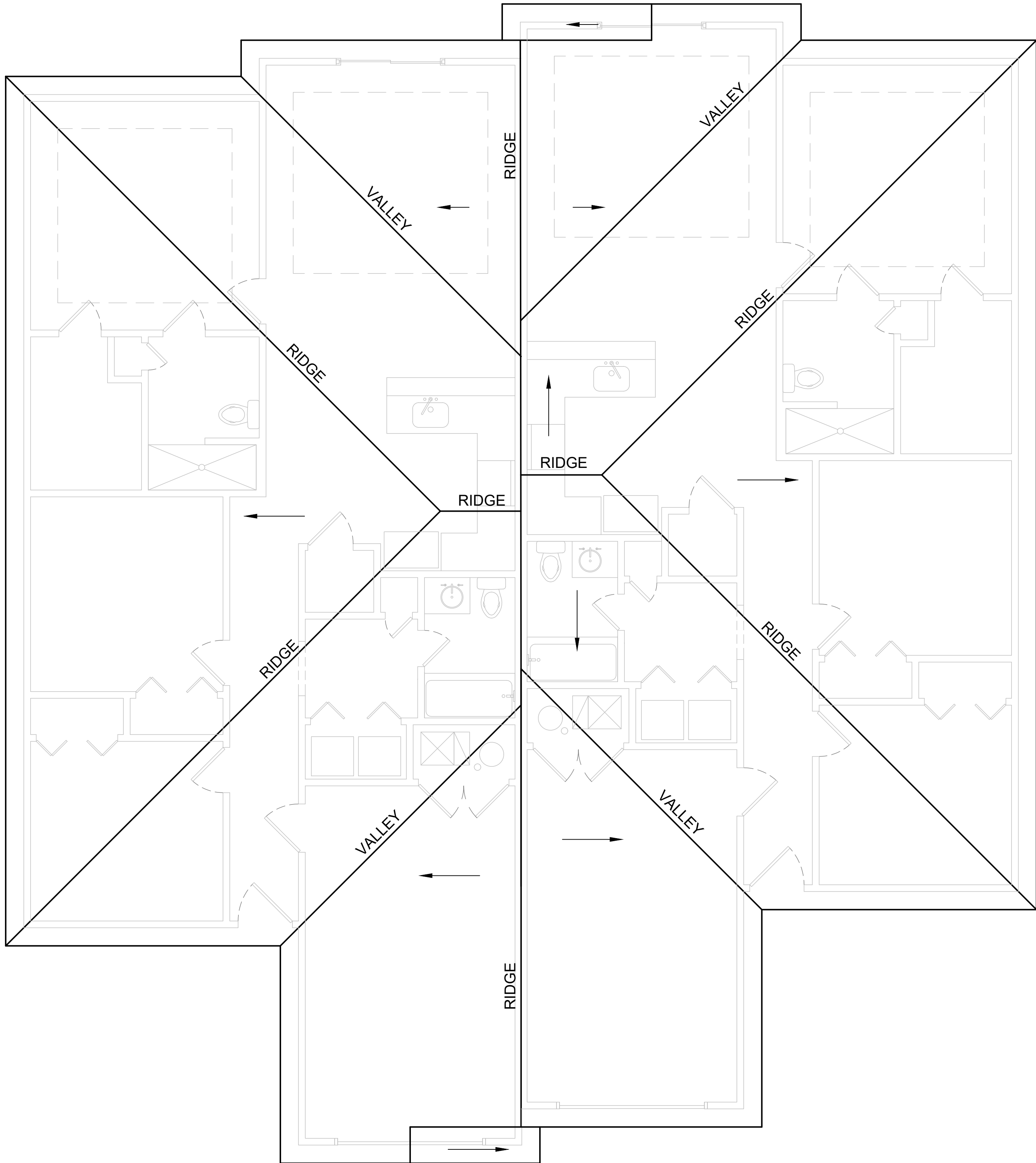
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FLOOR PLAN





1 ROOF PLAN  
SCALE 1/2"=1' - 0"

ROOF PLAN NOTES

1. INSTALL ROOF AND SOFFIT VENTS PER CODE.
2. REFER TO EXTERIOR ELEVATIONS FOR ROOF SLOPE.
3. ROOF EAVES SHALL EXTEND 12" FROM OUTSIDE OF BUILDING SHEATHING TO OUTSIDE OF SOFFIT PANEL. TYP.
4. WOOD PANEL SIDING ON SIDE AND REAR WALLS.
5. COMPOSITE ROOF SHINGLES.
6. LOCATE ROOF AND SOFFIT VENTS PER CODE.
7. ADJUST FOUNDATION TO GRADE.
8. DECK CONSTRUCTION TO COMPLY WITH THE CITY RESIDENTIAL DECK STANDARD.

RAFTER SPAN AND ADJUSTMENT FACTOR

Z/Q	
2/3 OR GREATER	0.50
1/2	0.58
1/3	0.67
1/4	0.76
1/5	0.83
1/6	0.90
1/7.5 OR LESS	1.00
Z = DISTANCE FROM RAFTER SUPPORT WALL TO TIES	
Q = DISTANCE FROM RAFTER SUPPORT WALL TO RIDGE	

RAFTERS AND CEILING JOISTS

RAFTER TIES 1x4 @ 48" O.C.  
RIDGE BOARDS MUST BE FULL DEPTH OF CUT RAFTER  
HIP AND VALLEY RAFTER FULL DEPTH OF CUT RAFTER  
HEADERS AND TRIMMERS >48" MUST BE DOUBLES  
HEADERS AND TRIMMERS <48" MUST BE HUNG WITH HARDWARE

ATTIC VENTILATION

VENT EACH ENCLOSED ATTIC SPACE  
NET AREA OPENINGS = 1/150TH OF VENTED AREA OR 1/300TH IF 50-80% OF VENTING NEAR TOP

RAFTER SPANS ASSUME THAT CEILING JOISTS AREA LOCATED AT THE BOTTOM OF THE ATTIC SPACE OR THAT SOME OTHER METHOD OF RESISTING OUTWARD PUSH OF THE RAFTERS ON THE BEARING WALL, SUCH AS RAFTER TIES, ARE PROVIDED. WHEN LOCATED HIGH SEE RAFTER SPAN ADJUSTMENT FACTOR CHART.

ROOF DESIGNED FOR LIGHT ROOF COVERING

30 PSI TOTAL LOAD [10PSI DL, 20PSI LL(SL)]

RAFTERS (HEM-FIR, DOUG-FIR, OR EQUAL)

SEE SPAN CHARTS BELOW

CODE MINIMUM		
RAFTER	SPACING	MAX HORIZONTAL CLEARSPAN
#2-10S	8"X 16S	17'-0"
#2-24S	8"X 16S	12'-0" TYP
#2-10S	8"X 16S	14'-0"
#2-24S	8"X 16S	11'-0"
#2-20S	8"X 16S	17'-0"
#2-24S	8"X 16S	21'-0"

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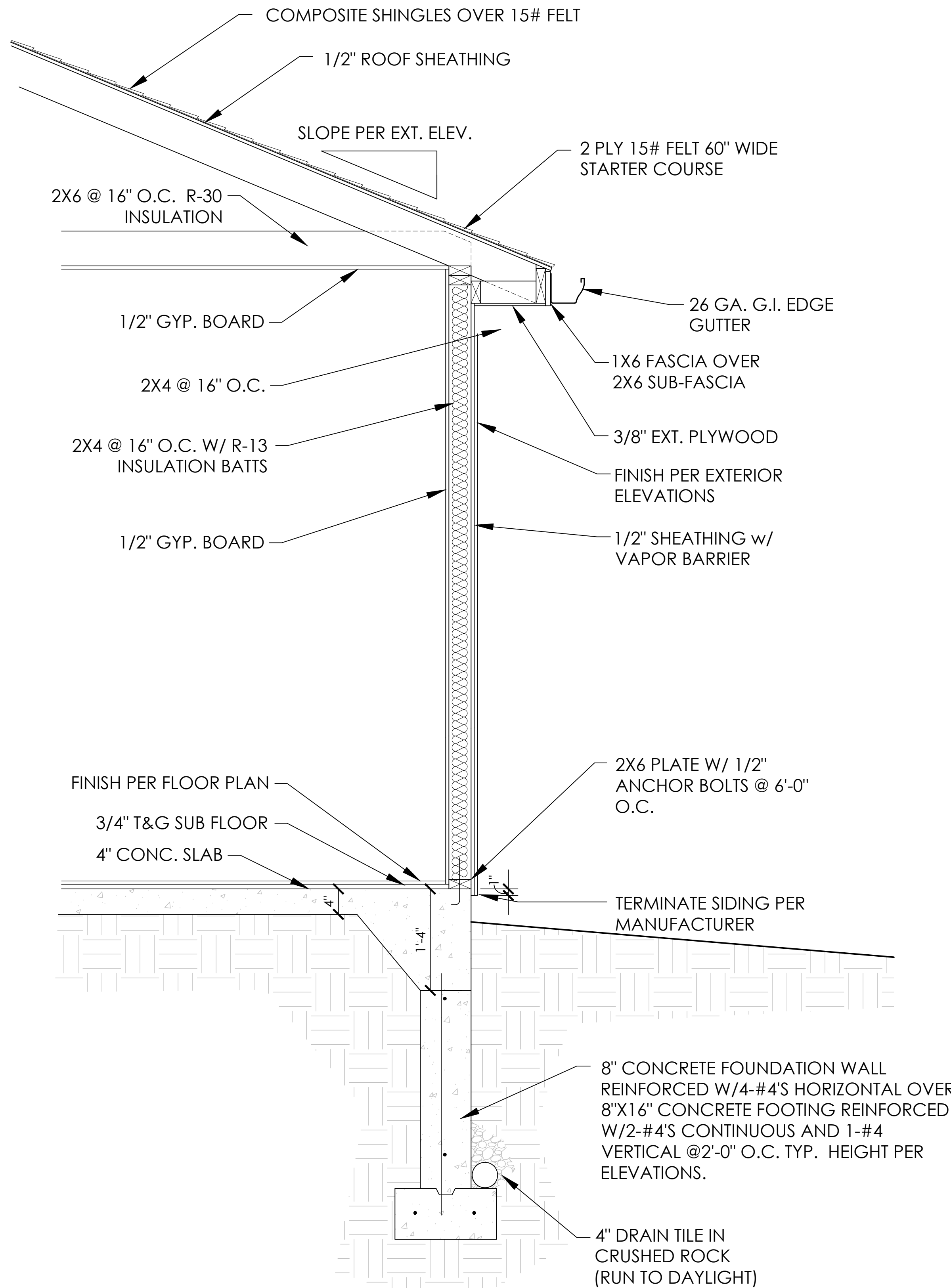
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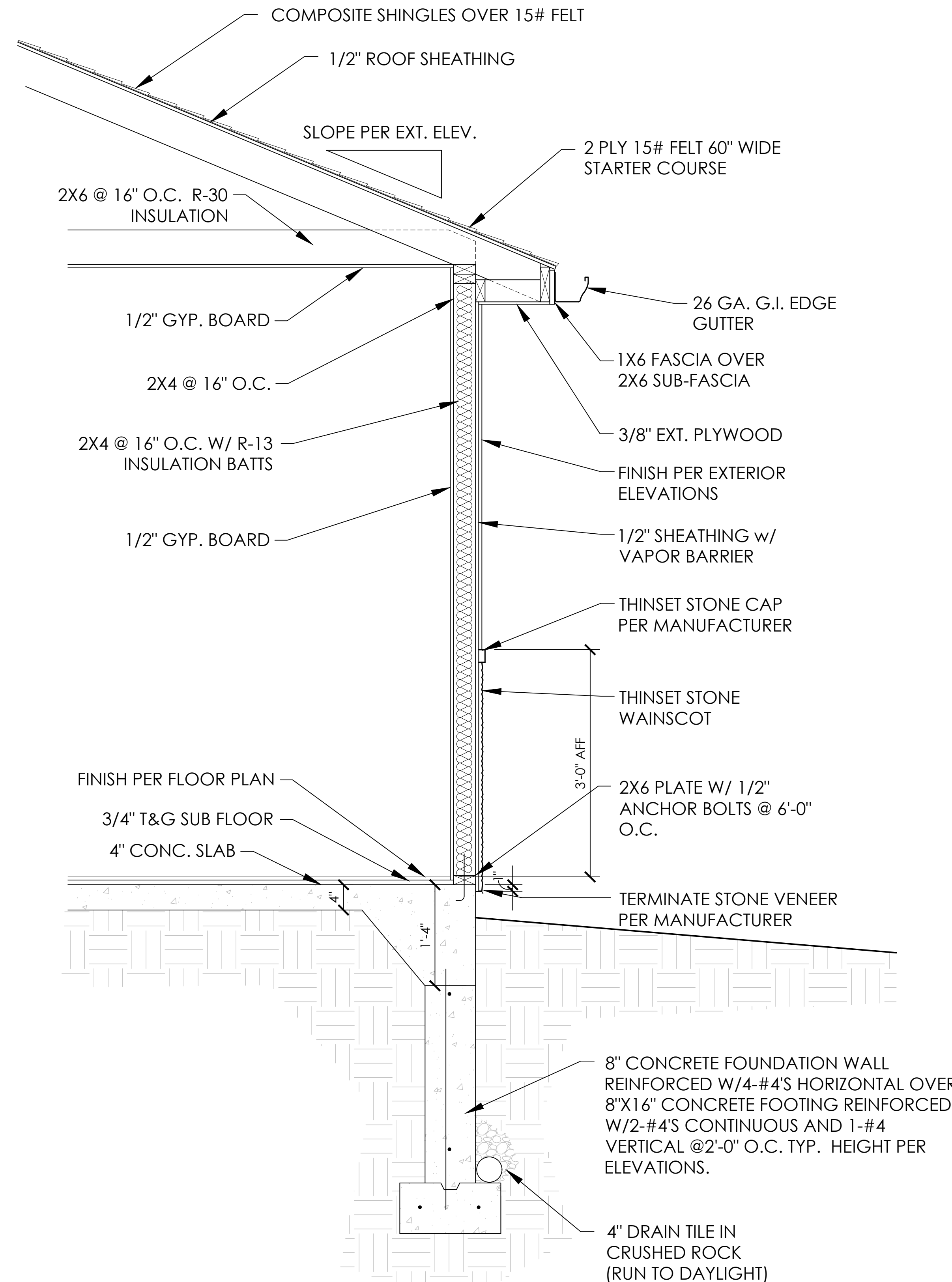
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ROOF PLAN





② WALL SECTION  
SCALE 1"=1'-0"



① WALL SECTION  
SCALE 1"=1'-0"

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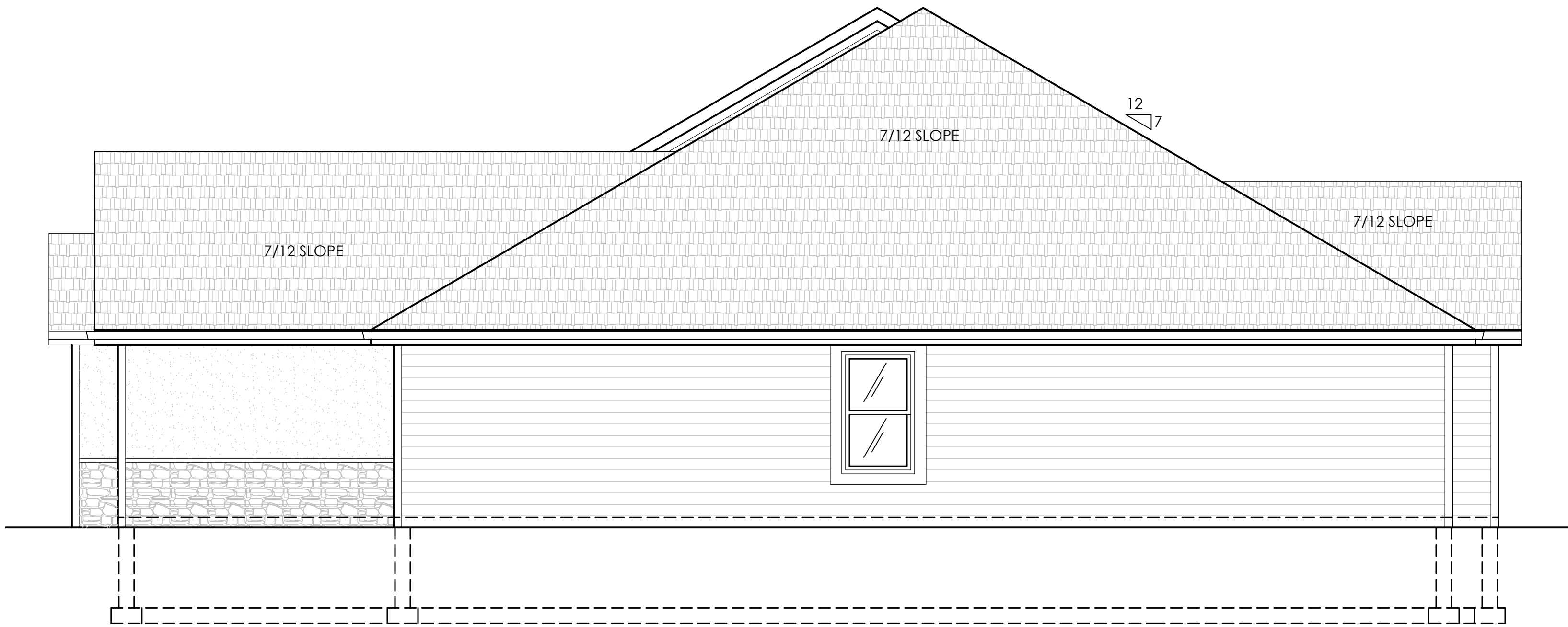
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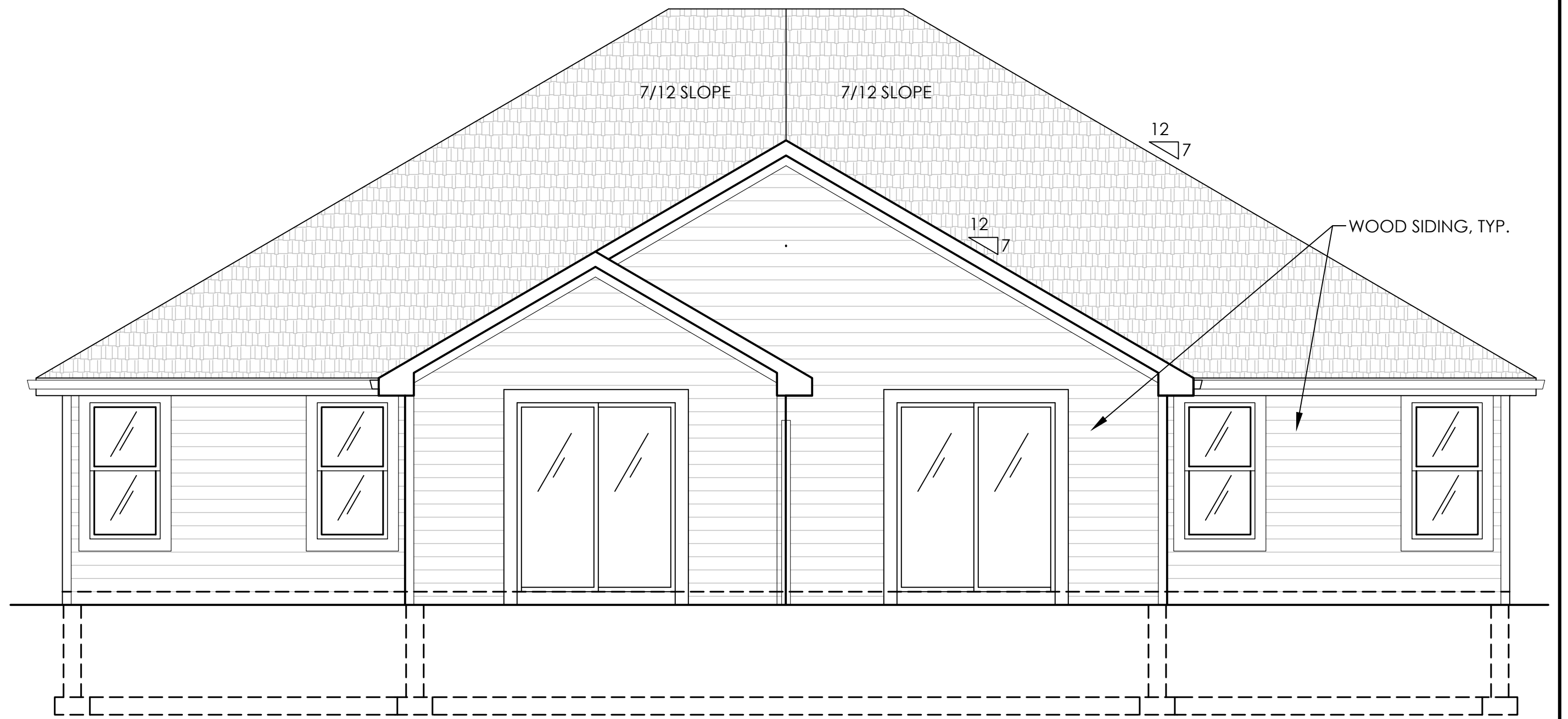
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WALL SECTIONS

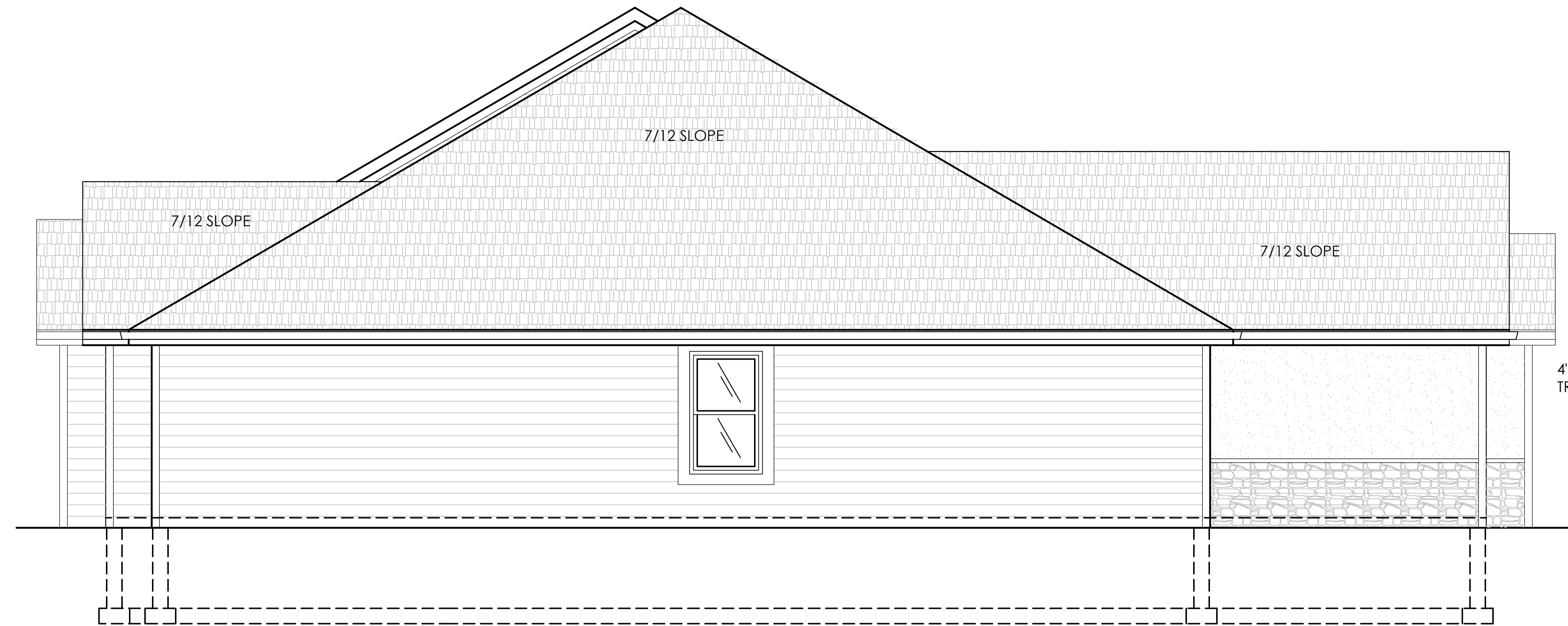




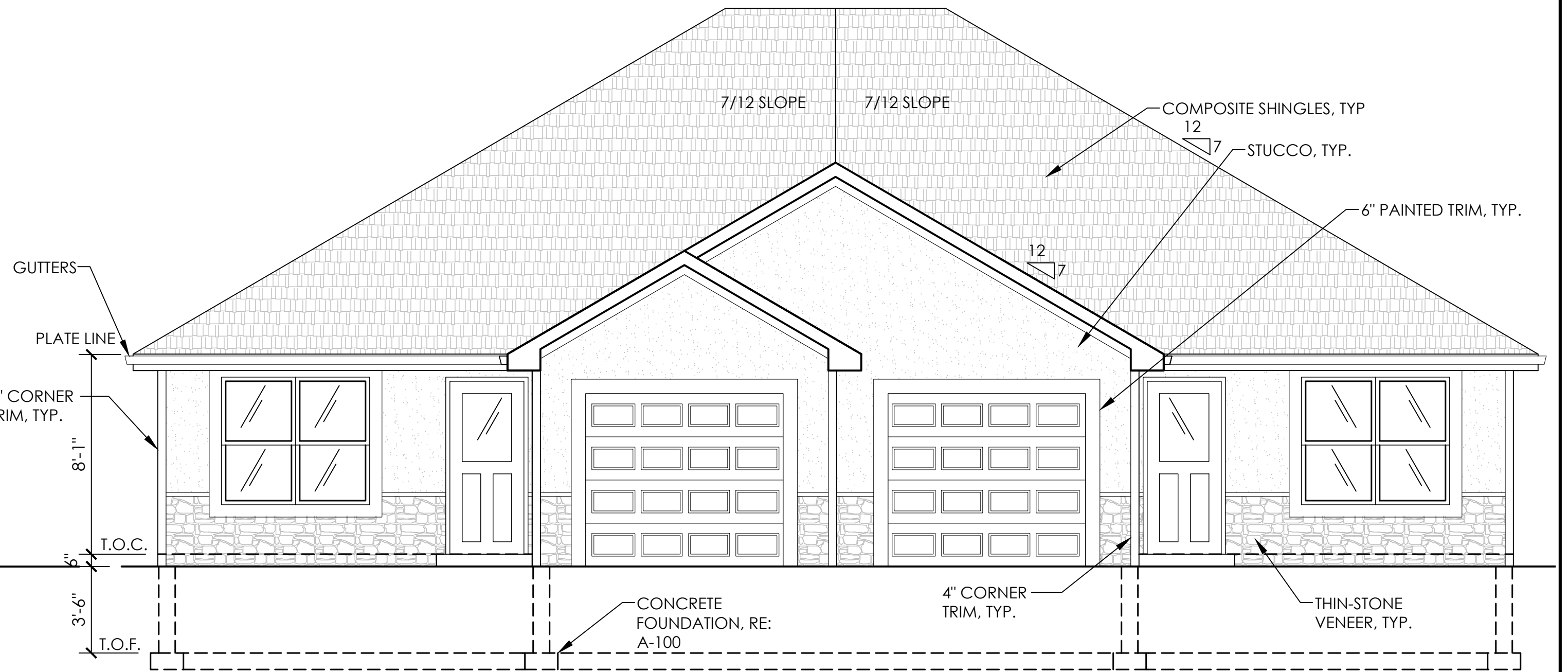
④ RIGHT SIDE ELEVATION  
SCALE 1/4"=1' - 0"



③ REAR ELEVATION  
SCALE 1/4"=1' - 0"



② LEFT SIDE ELEVATION  
SCALE 1/4"=1' - 0"



① FRONT ELEVATION  
SCALE 1/4"=1' - 0"

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