

LOT 3
TOWER PARK COMMERCIAL-PHASE 2
OWNER: GALE COMMUNITIES INC

LOT 5
TOWER PARK COMMERCIAL-PHASE 2
LOTS 5,6,7, TRACTS A&B
510 SW TOWER PARK DRIVE
(OWNER: JVM NEW LONGVIEW LLC)

460 SW LONGVIEW BLVD
(OWNER: JVM NEW LONGVIEW LLC)

LOT 6
TOWER PARK COMMERCIAL-PHASE 2
LOTS 5,6,7, TRACTS A&B

NOTE:
NO PART OF THE PROJECT LIES WITHIN THE 100 YEAR FLOOD PLAIN PER FEMA
FLOOD INSURANCE RATE MAP NUMBER 29095C0414G DATED JANUARY 20, 2017.

PROJECT BENCHMARK:

MONUMENT FOUND
CHISELED "SQUARE" ON STORM CURB INLET #30
AT NORTHWEST INTERSECTION OF SW. TOWER
PARK DRIVE AND SW. LONGVIEW BOULEVARD.

NORTHING: 998893.4148
EASTING: 2803318.5413

ELEV. 1004.09



1-800-344-7483 or 811
mo1call.com

SITE DATA TABLE		
LOT AREA:	29,886 SQ. FT. (0.69 AC)	
	EXISTING	PROPOSED
BUILDING AREA	5,390 S.F. (18.03%)	11,535 S.F. (38.60%)
PAVEMENT/DRIVE AREA	6,407 S.F. (21.44%)	13,437 S.F. (44.96%)
OPEN/LANDSCAPE AREA	18,089 S.F. (60.53%)	4,914 S.F. (16.44%)

Site Information:

Legal Description:

Lot 7, TOWER PARK COMMERCIAL-PHASE 2, Lots 5, 6, 7, Tracts A and B, a
subdivision in Lees's Summit, Jackson County, Missouri.

Lot Area: 29,886 Square Feet (0.69 Ac.)

Property Address (North Building):
No Address Assigned
Lee's Summit, Missouri

Existing Floor Area Ratio (F.A.R.) = 0.18
Proposed Floor Area Ratio (F.A.R.) = 0.52

Current Zoning: PMIX - Planned Mixed Use

Proposed Zoning: PMIX - Planned Mixed Use - No Change

Current Use: Commercial (Extg. Vet-Clinic South) - Vacant (North)

Proposed Use: Commercial - (Extg. Vet-Clinic South) - Commercial/Retail (North)

Required Parking: Veterinary Clinic

2.5 Stalls / 1000 Sq. Ft.
Office Area = 5,390 / 1,000 x 2.5 = 13.48
Total Parking Required: = 14 Stalls

Required Parking: Retail Space

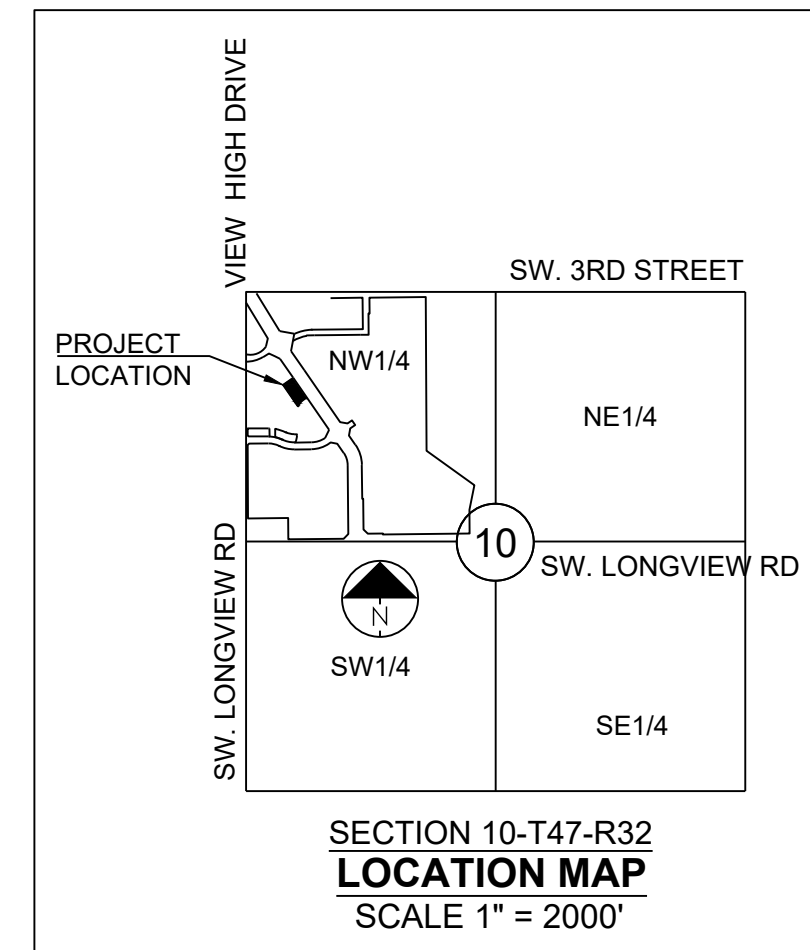
2.5 Stalls / 1000 Sq. Ft.
Floor Area = 10,235 / 1,000 x 2.5 = 25.59
Retail Parking Required: = 26 Stalls

Total Parking Required: = 40 Stalls

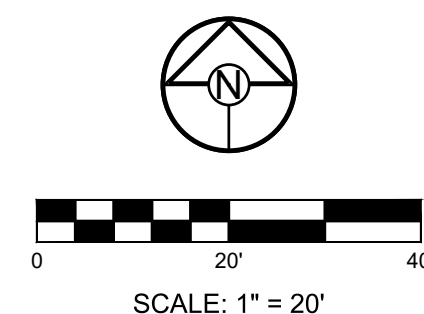
Proposed Parking: 49 Stalls (2 handicap-accessible stalls)
Includes 18 Stalls at Adjacent Street Frontage

PAVEMENT LEGEND:

	PROPOSED ASPHALT PAVEMENT
	EXISTING ASPHALT PAVEMENT
	PROPOSED 4" CONCRETE SIDEWALK
	PROPOSED CONCRETE PAVEMENT
	EXISTING CONCRETE SIDEWALK
	TYPE CG-1 CURB & GUTTER
	TYPE CG-1 CURB & GUTTER - DRY
	CONC. RIBBON CURB
	EXISTING CURB & GUTTER
	REMOVE EXISTING ASPHALT PAVEMENT
	REMOVE EXISTING CONC. CURB AND GUTTER



Parcel ID:
62-420-29-09-00-0-00-000



TOWER PARK COMM. - LOT 7 - NORTH BLDG.
FINAL DEVELOPMENT PLANS

420 SW LONGVIEW LEE'S SUMMIT, MISSOURI



PREPARED BY:

SCHLAGEL & ASSOCIATES, P.A.

REVISION DATE	DESCRIPTION
1	
2	
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SITE PLAN

SHEET

C1.0

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LOT 6
TOWER PARK COMMERCIAL-PHASE 2
LOTS 5,6,7, TRACTS A&B

GRADING LEGEND:

- EX.XX EXTG. SPOT ELEVATION
• XX.XX PROPOSED TOP OF CURB ELEV.
• XX.XX PROPOSED PAVEMENT GRADE ELEV. OR LIP OF CURB ELEVATION
F.F.E. FINISHED FLOOR ELEVATION
- - - 1023 - - - EXISTING CONTOUR
— 1023 — PROPOSED CONTOUR

* - ALL SIDEWALKS TO BE INSTALLED WITH A 2.0% MAXIMUM CROSS SLOPE.

PAVEMENT LEGEND:

- PROPOSED ASPHALT PAVEMENT
EXISTING ASPHALT PAVEMENT
PROPOSED 4" CONCRETE SIDEWALK
PROPOSED CONCRETE PAVEMENT
EXISTING CONCRETE SIDEWALK
TYPE CG-1 CURB & GUTTER
TYPE CG-1 CURB & GUTTER - DRY
CONC. RIBBON CURB
EXISTING CURB & GUTTER
REMOVE EXISTING ASPHALT PAVEMENT
X=X=X=X=X=X REMOVE EXISTING CONC. CURB AND GUTTER

GRADING NOTES:

- NO EDGE DRAINS OR UNDERDRAINS ARE INDICATED BEHIND THE CURBS. OWNER SHOULD CONSIDER THE INSTALLATION OF UNDERDRAINS DUE TO THE IRRIGATION OF GREENSPACE AREAS OF THE SITE.
- RECOMMEND A GEOTECHNICAL ENGINEER REVIEW ALL EARTHWORK ACTIVITY TO MAKE SURE RECOMMENDATIONS IN GEOTECHNICAL REPORT ARE FOLLOWED.
- PRIOR TO PLACEMENT OF CURB AND GUTTER AND PAVEMENT, GEOTECHNICAL ENGINEER MUST APPROVE SUBGRADE IN WRITTEN FORM TO THE OWNER AND PROJECT ENGINEER.
- ALL UTILITY INSTALLATIONS UNDER PAVED AREAS MUST BE COMPACTED AS PER THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER AND/OR GEOTECHNICAL REPORT.
- ALL CONSTRUCTION SHALL COMPLY WITH THE CITY OF LEE'S SUMMIT TECHNICAL SPECIFICATIONS.
- EXISTING TOPOGRAPHY SHOWN AS ESTABLISHED FROM BASE SURVEY PREPARED BY SCHLAGEL AND ASSOCIATES, P.A. - VERIFY GRADES PRIOR TO COMMENCEMENT OF GRADING AND CONSTRUCTION ACTIVITIES. NO ADDITIONAL MONEY WILL BE PAID FOR HAUL-IN OR HAUL-OFF OF MATERIAL.
- ALL ROCK, CONCRETE, ASPHALT, TREE, BRUSH, ETC. TO BE REMOVED AS A PART OF THE PROJECT CONSTRUCTION SHALL BE DISPOSED OF BY THE GRADING CONTRACTOR AND SHALL BE A SUBSIDIARY OBLIGATION OF THE CONTRACT. THE GRADING CONTRACTOR IS ALSO RESPONSIBLE FOR ALL GRADING ON THE SITE INCLUDING THE MANIPULATION OF THE EXCESS DIRT MATERIAL THAT WAS LEFT ALONG THE SEWER TRENCHES. THE COST FOR THIS WORK WILL BE INCLUDED IN THE LUMP SUM FEE FOR GRADING.
- ENTIRE PROJECT SHALL BE LEFT IN A MOWABLE CONDITION. ALL DISTURBED AREAS SHALL BE SEEDED & MULCHED AS PER PROJECT REQUIREMENTS. ALL DISTURBED AREAS WITHIN THE PUBLIC STREET RIGHT-OF-WAY SHALL BE SODDED IN COMPLIANCE WITH THE CITY OF LEE'S SUMMIT TECHNICAL SPECIFICATIONS AND MUNICIPAL CODE.
- THE CONTRACTOR SHALL PROVIDE FOR POSITIVE DRAINAGE AWAY FROM BUILDINGS AND SIDEWALKS AT ALL TIMES.
- THE CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL PROPERTY CORNERS. ANY PROPERTY CORNERS DISTURBED OR DAMAGED BY GRADING ACTIVITIES SHALL BE RESET BY A PROFESSIONAL LAND SURVEYOR LICENSED IN THE STATE OF MISSOURI, AT THE CONTRACTOR'S EXPENSE.

NOTE:
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FLOOD INSURANCE RATE MAP NUMBER 29095C0414G DATED JANUARY 20, 2017.

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SCHLAGEL & ASSOCIATES, P.A.

TOWER PARK COMM. - LOT 7 - NORTH BLDG.
FINAL DEVELOPMENT PLANS
420 SW LONGVIEW LEE'S SUMMIT, MISSOURI

REVISION DATE	DESCRIPTION
1	
2	
3	
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5	
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7	
8	
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10	

DRAWN BY:	###
CHECKED BY:	###
DATE PREPARED:	07/26/2020
PROJ. NUMBER:	20-106

GRADING PLAN

SHEET

C2.0

LOT 3
COMMERCIAL-PHASE 2
E COMMUNITIES INC

LOT 5
COMMERCIAL-PHASE 2
TRACTS A&B
TOWER PARK DRIVE
NEW LONGVIEW LLC

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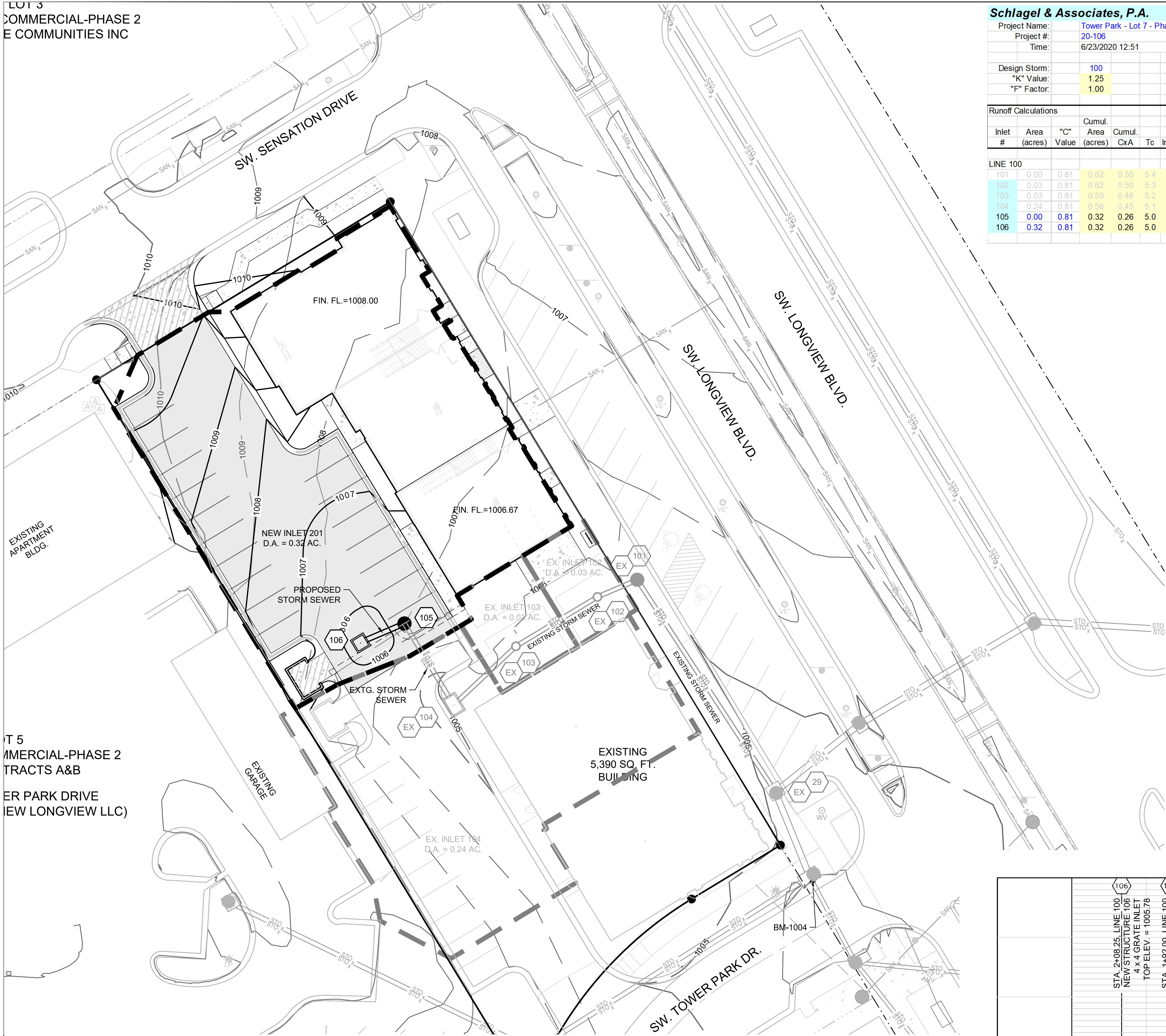
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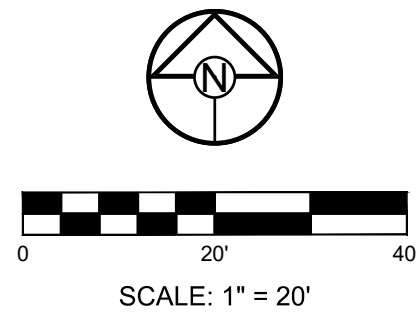
ELEV. 1004.09



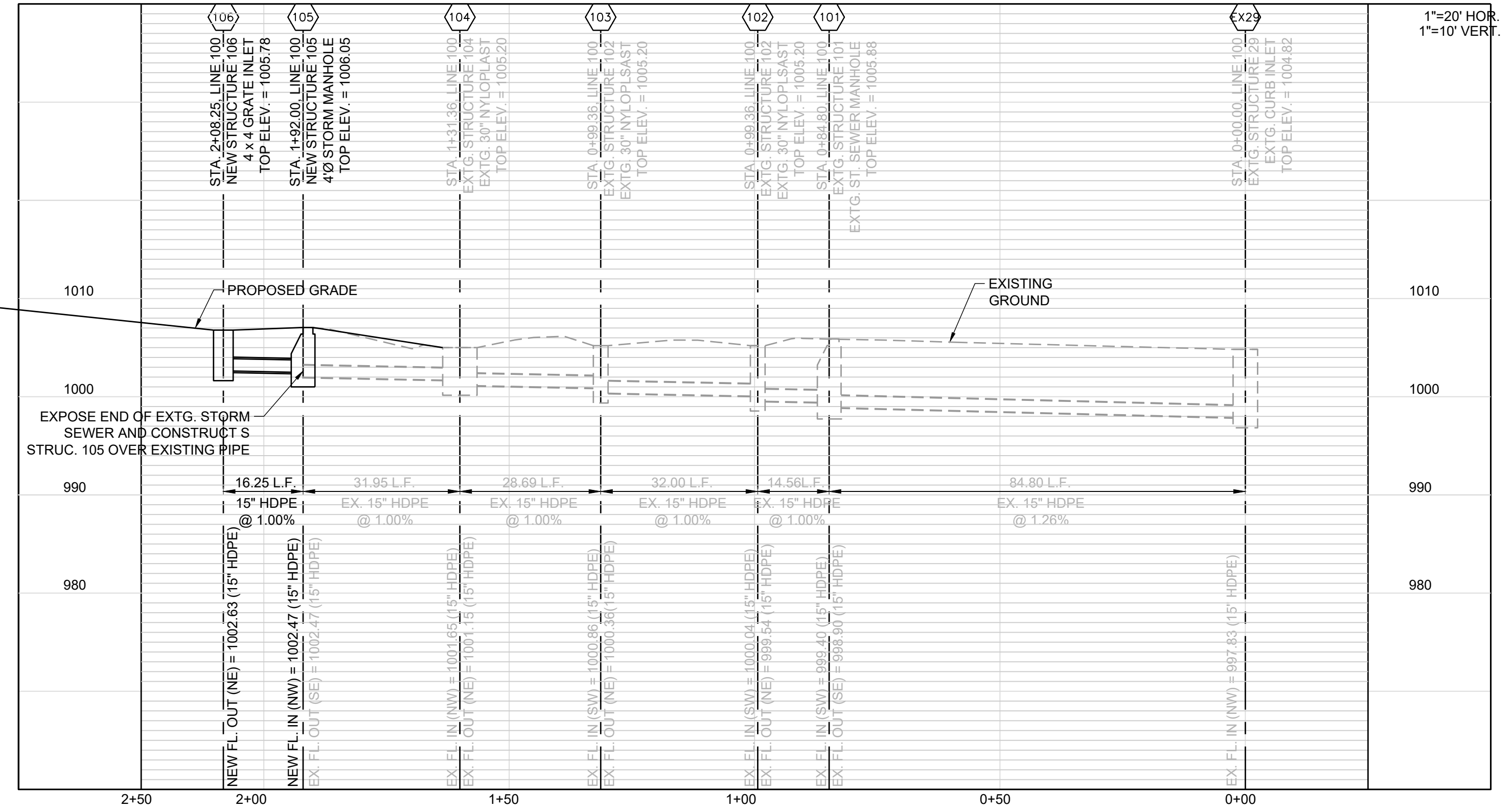
Schlagel & Associates, P.A.

Project Name:	Tower Park - Lot 7 - Phase 2	Curb Type:	CG-1
Project #:	20-106	City:	Lee's Summit
Time:	6/23/2020 12:51		
Design Storm:	100		
"K" Value:	1.25		
"F" Factor:	1.00		

Runoff Calculations														Pipe Properties															
Inlet #	Area (acres)	"C" Value	Cumul. Area (acres)	Cumul. Cx	To	Intensity	Runoff To Inlet	Cumul. Runoff	Pipe Cap.	Pipe Vel.	Up Piped Inlet 1	Up Piped Inlet 2	Up Area (acres)	Up Cx	Up Inlet	Down Inlet	Pipe Type	"n"	Pipe Size	Length	Slope %	Drop In Inlet	FL Up	FL Down	Inlet Top	HGL Elev.			
LINE 100																													
101	0.00	0.81	0.62	0.50	5.4	10.17	0.00	6.39	7.86	6.40			0.00	0.00	101		PEP	0.012	15	84.80	1.26	0.50							
102	0.03	0.81	0.62	0.50	5.3	10.19	0.31	6.40	7.00	5.70			0.00	0.00	102	101	PEP	0.012	15	14.56	1.00	0.50	998.90	997.63	1005.58	1000.19			
103	0.03	0.81	0.59	0.48	5.2	10.23	0.31	6.11	7.00	5.70			0.00	0.00	103	102	PEP	0.012	15	32.00	1.00	0.50	999.54	999.40	1005.20	1000.84			
104	0.24	0.81	0.56	0.45	5.1	10.26	2.49	5.87	7.00	5.70			0.00	0.00	104	103	PEP	0.012	15	28.69	1.00	0.50	1000.36	1000.04	1005.20	1001.63			
105	0.00	0.81	0.32	0.26	5.0	10.30	0.00	3.34	7.00	5.70			0.00	0.00	105	104	PEP	0.012	15	31.95	1.00	0.50	1001.15	1000.86	1005.00	1003.38			
106	0.32	0.81	0.32	0.26	5.0	10.32	3.34	3.34	7.00	5.70			0.00	0.00	106	105	PEP	0.012	15	16.25	1.00	N/A	1001.97	1001.65	1006.05	1002.86			
																							1002.63	1002.47	1005.75	1003.52			
																							DS TAILWATER @ STR #					FREE	



STORM LINE 100 PROFILE



PREPARED BY:

SCHLAGEL & ASSOCIATES, P.A.

TOWER PARK COMM. - LOT 7 - NORTH BLDG.
FINAL DEVELOPMENT PLANS
420 SW LONGVIEW LEE'S SUMMIT, MISSOURI

REVISION DATE	DESCRIPTION
1/23/2020	1.00
2/10/2020	2.00
3/10/2020	3.00
4/10/2020	4.00
5/10/2020	5.00
6/10/2020	6.00
7/10/2020	7.00
8/10/2020	8.00
9/10/2020	9.00
10/10/2020	10.00
11/10/2020	11.00
12/10/2020	12.00
1/10/2021	13.00
2/10/2021	14.00
3/10/2021	15.00
4/10/2021	16.00
5/10/2021	17.00
6/10/2021	18.00
7/10/2021	19.00
8/10/2021	20.00
9/10/2021	21.00
10/10/2021	22.00
11/10/2021	23.00
12/10/2021	24.00
1/10/2022	25.00
2/10/2022	26.00
3/10/2022	27.00
4/10/2022	28.00
5/10/2022	29.00
6/10/2022	30.00
7/10/2022	31.00
8/10/2022	32.00
9/10/2022	33.00
10/10/2022	34.00
11/10/2022	35.00
12/10/2022	36.00
1/10/2023	37.00
2/10/2023	38.00
3/10/2023	39.00
4/10/2023	40.00
5/10/2023	41.00
6/10/2023	42.00
7/10/2023	43.00
8/10/2023	44.00
9/10/2023	45.00
10/10/2023	46.00
11/10/2023	47.00
12/10/2023	48.00
1/10/2024	49.00
2/10/2024	50.00
3/10/2024	51.00
4/10/2024	52.00
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6/10/2024	54.00
7/10/2024	55.00
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1/10/2028	97.00
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3/10/2028	99.00
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1/10/2029	109.00
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2/10/2045	302.00
3/10/2045	303.00
4/10/2045	304.00
5/10/2045	305.00
6/10/2045	306.00
7/10/2045	307.00
8/10/2045	308.00</

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NORTHING: 998893.4148
EASTING: 2803318.5413
ELEV. 1004.09

UTILITY INFORMATION & CONTACTS:

Missouri Gas Energy
Attn: Lucas Walls
3025 Southeast Clover Drive
Lee's Summit, Missouri 64082
Phone: (816) 969-2218
Email: lucas.walls@sug.com

Kansas City Power & Light
Attn: Phillip Ingram
1300 Hamblen Road
Lee's Summit, Missouri 64081
Phone: (816) 347-4339
Email: phillip.ingram@kcpl.com

Sewer and Water - City of Lee's Summit
220 SE Green Street
Lee's Summit, Missouri 64063
Phone: (816) 969-1900
Email: publicworks@cityofs.net

AT&T
Attn: Herb Upshaw
9444 Nall Avenue
Overland Park, Kansas 66207
Phone: (913) 383-4929
Email: hu4112@att.com

811
Missouri One Call - 1-800-344-7483

UTILITY STATEMENT:

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM
FIELD SURVEY INFORMATION. THE SURVEYOR MAKES NO
GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE
ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDON.
THE SURVEYOR FURTHER DOES NOT WARRANTY THAT THE
UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION
INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED
AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE
SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND
UTILITIES.



PREPARED BY:

SCHLAGEL & ASSOCIATES, P.A.

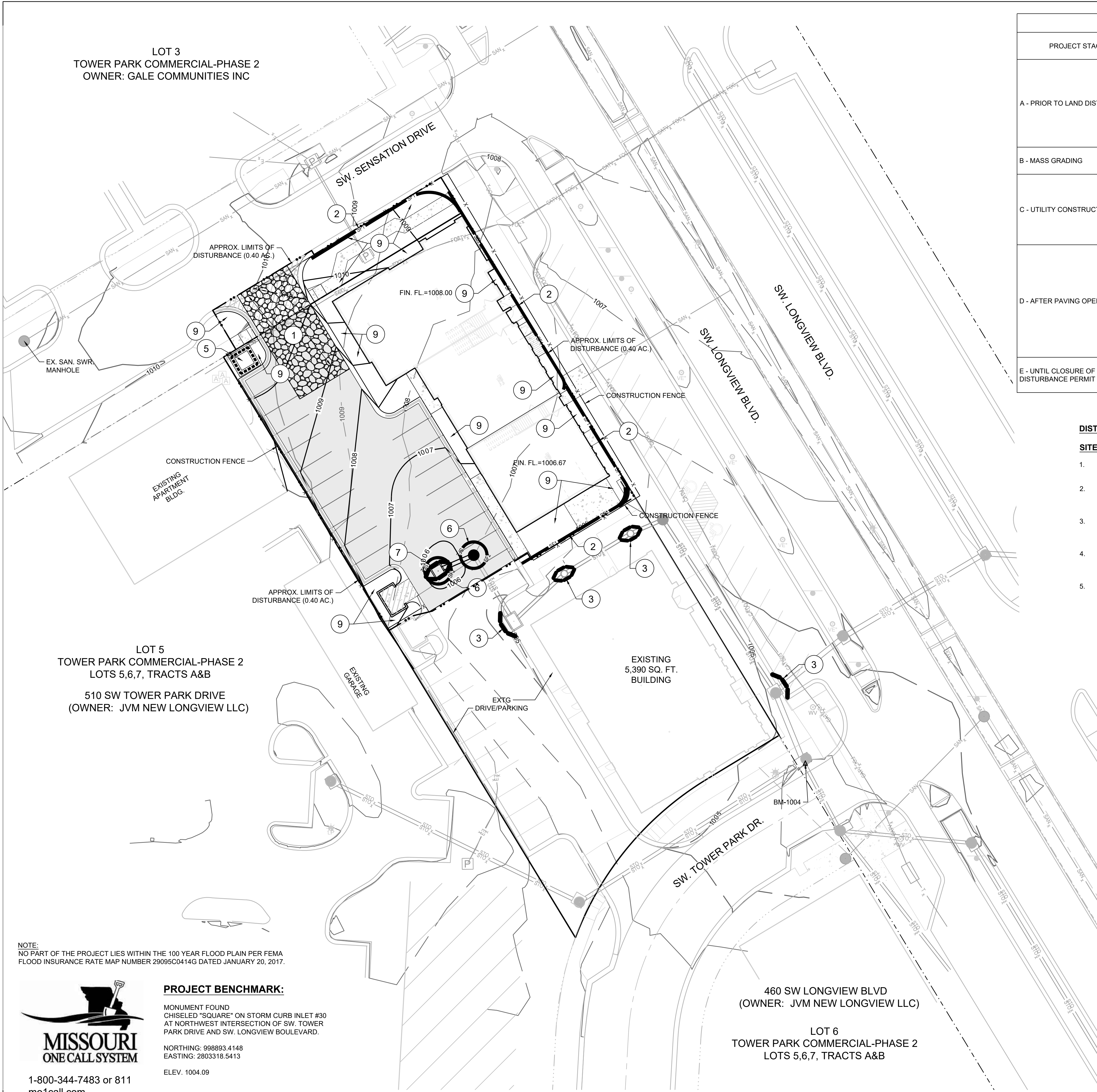
TOWER PARK COMM. - LOT 7 - NORTH BLDG.
FINAL DEVELOPMENT PLANS
420 SW LONGVIEW LEE'S SUMMIT, MISSOURI

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SITE UTILITY
PLAN

SHEET

C4.0



EROSION AND SEDIMENT CONTROL STAGING CHART				
PROJECT STAGE	BMP PLAN REF. NO	BMP DESCRIPTION	REMOVE AFTER STAGE	NOTES:
A - PRIOR TO LAND DISTURBANCE	1	CONSTRUCTION ENTRANCE & STAGING AREA	D	MAINTAIN, REPAIR, OR REPLACE AS NECESSARY
	2	SILT FENCE (PRIOR TO LAND DISTURBANCE)	E	PLACE WHERE INDICATED, REPAIR OR REPLACE AS NECESSARY AND REMOVE ONLY WHEN GRADED AREAS HAVE SUFFICIENT GROUND COVER ESTABLISHED
	3	EXISTING INLET PROTECTION (GRAVEL CURB INLET SEDIMENT TRAP)	E	PLACE WHERE INDICATED, REPAIR OR REPLACE AS NECESSARY AND REMOVE ONLY WHEN GRADED AREAS HAVE SUFFICIENT GROUND COVER ESTABLISHED
B - MASS GRADING	4	SILT FENCE (DURING CONSTRUCTION)	E	PLACE WHERE INDICATED, REPAIR OR REPLACE AS NECESSARY AND REMOVE ONLY WHEN GRADED AREAS HAVE SUFFICIENT GROUND COVER ESTABLISHED
C - UTILITY CONSTRUCTION	5	CONCRETE WASHOUT AREA	E	MAINTAIN, REPAIR, OR REPLACE AS NECESSARY
	6	INLET PROTECTION (SILT FENCE)	D/E	PLACE SILT FENCE AROUND ALL STORM SEWER STRUCTURES / YARD AREA STORM STRUCTURES PRIOR TO TOPS BEING PLACED SILT FENCE REMOVED & REPLACE WITH #7 BELOW WITH PLACEMENT OF TOPS AND/OR STABILIZATION OF DRAINAGE AREAS.
D - AFTER PAVING OPERATIONS	7	INLET PROTECTION (GRAVEL FILTER BAGS)	E	BOARDS SHALL BE PLACED IN FRONT OF INLET OPENING FROM THE TIME SILT FENCE IS REMOVED UNTIL SUCH TIME THAT THE CURB / THROAT IS POURED. PLACE GRAVEL FILTER BAGS AT THE OPENING OF ALL CURB INLETS IMMEDIATELY AFTER THE INLET THROATS ARE POURED
	8	SILT FENCE (AFTER CURB CONSTRUCTION)	E	PLACE WHERE INDICATED, REPAIR OR REPLACE AS NECESSARY AND REMOVE ONLY WHEN GRADED AREAS HAVE SUFFICIENT GROUND COVER ESTABLISHED
	9	SEEDING AND MULCHING	E	ALL DISTURBED AREAS AFTER 14 DAYS OF CONSTRUCTION INACTIVITY
E - UNTIL CLOSURE OF LAND DISTURBANCE PERMIT	10			ADDITIONAL SEDIMENT AND EROSION CONTROL MEASURES MAY BE REQUIRED ANY TIME CURRENT MEASURES ARE FOUND TO BE INEFFECTIVE.

DISTURBED AREA = 0.40 A.C.

SITE SPECIFIC NOTES:

1.

THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL EXISTING UTILITY LOCATIONS PRIOR TO EXCAVATION.
2.

THERE ARE NO WETLANDS, NATURAL OR ARTIFICIAL WATER STORAGE DETENTION AREAS IN THE PROJECT AREA.
3.

NO PART OF THE PROJECT LIES WITHIN THE 100 YEAR FLOOD PLAIN PER FEMA FLOOD INSURANCE RATE MAP NUMBER 29095C0414G DATED JANUARY 20, 2017.
4.

ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE IMPLEMENTED ACCORDING TO THE BMP STAGING CHART.
5.

ADDITIONAL EROSION CONTROL MAY BE REQUIRED BY THE CITY ENGINEER AT ANY TIME EXISTING MEASURES ARE FOUND TO BE INEFFECTIVE OR PROBLEMATIC AREAS ARE NOTED IN THE FIELD.
6.

STABILIZATION OF DISTURBED AREAS MUST, AT A MINIMUM, BE INITIATED IMMEDIATELY WHENEVER ANY CLEARING, GRADING, EXCAVATING, OR OTHER SOIL DISTURBING ACTIVITIES HAVE PERMANENTLY CEASED ON ANY PORTION OF THE SITE, OR TEMPORARILY CEASED ON ANY PORTION OF THE SITE AND WILL NOT RESUME FOR A PERIOD EXCEEDING 14 CALENDAR DAYS. THE DISTURBED AREAS SHALL BE PROTECTED FROM EROSION BY STABILIZING THE AREA WITH MULCH OR OTHER SIMILARLY EFFECTIVE SOIL STABILIZING BMPs. INITIAL STABILIZATION ACTIVITIES MUST BE COMPLETED WITHIN 14 DAYS AFTER SOIL DISTURBING ACTIVITIES CEASE.
7.

ALL PERIMETER SILT FENCE, EARTH DIKES, SEDIMENT BASINS, AND ROCK CONSTRUCTION ENTRANCES WILL BE INSTALLED BEFORE GRADING OPERATIONS BEGIN.
8.

SILT FENCE AND EARTH DIKES THAT ARE PLACED BEFORE GRADING BEGINS WILL BE MAINTAINED BY THE GRADING CONTRACTOR.
9.

AREAS WITHIN PUBLIC RIGHT-OF-WAY SHALL BE SODDED IMMEDIATELY AFTER CONSTRUCTION IS COMPLETE.

LEGEND	
	TEMPORARY STORAGE AREA FOR EXCESS MATERIAL
	TEMP. CONSTRUCTION ENTRANCE AND STAGING AREA
	CONCRETE WASHOUT AREA
	SILT FOAM DIKE - STAKED & INSTALL PER MFR'S RECOMMENDATIONS
	ROCK DITCH CHECK
	GRAVEL CURB INLET SEDIMENT TRAP
	SILT SOCK / ROCK SOCK / SOCK WATTLE
	BMP PLAN REF. NO.
	SF1 SILT FENCE (PRIOR TO LAND DISTURBANCE)
	SF2 SILT FENCE (DURING CONSTRUCTION)
	X CONSTRUCTION FENCE
	.. LIMITS OF DISTURBANCE
	965 EXISTING CONTOURS
	965 PROPOSED CONTOURS
	STRAW BALE DITCH CHECK
	GRAVEL FILTER FOR STORM SEWER STRUCTURES ONLY

NOTE:
NO PART OF THE PROJECT LIES WITHIN THE 100 YEAR FLOOD PLAIN PER FEMA FLOOD INSURANCE RATE MAP NUMBER 29095C0414G DATED JANUARY 20, 2017.



1-800-344-7483 or 811
mo1call.com

PROJECT BENCHMARK:

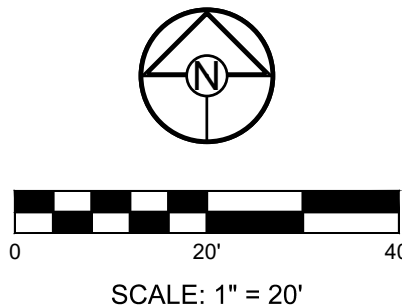
MONUMENT FOUND
CHISELED "SQUARE" ON STORM CURB INLET #30
AT NORTHWEST INTERSECTION OF SW. TOWER
PARK DRIVE AND SW. LONGVIEW BOULEVARD.

NORTHING: 998893.4148
EASTING: 2803318.5413

ELEV. 1004.09

460 SW LONGVIEW BLVD
(OWNER: JVM NEW LONGVIEW LLC)

LOT 6
TOWER PARK COMMERCIAL-PHASE 2
LOTS 5,6,7, TRACTS A&B



PREPARED BY:

SCHLAGEL & ASSOCIATES, P.A.

TOWER PARK COMM. - LOT 7 - NORTH BLDG.
FINAL DEVELOPMENT PLANS
420 SW LONGVIEW LEE'S SUMMIT, MISSOURI

REVISION DATE	DESCRIPTION
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DRAWN BY: ###	CHECKED BY: ###	DATE PREPARED: 07/26/2020	PROJ. NUMBER: 20-106
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EROSION
CONTROL PLAN

SHEET

C5.0

PREPARED BY:

SCHLAGEL & ASSOCIATES, P.A.

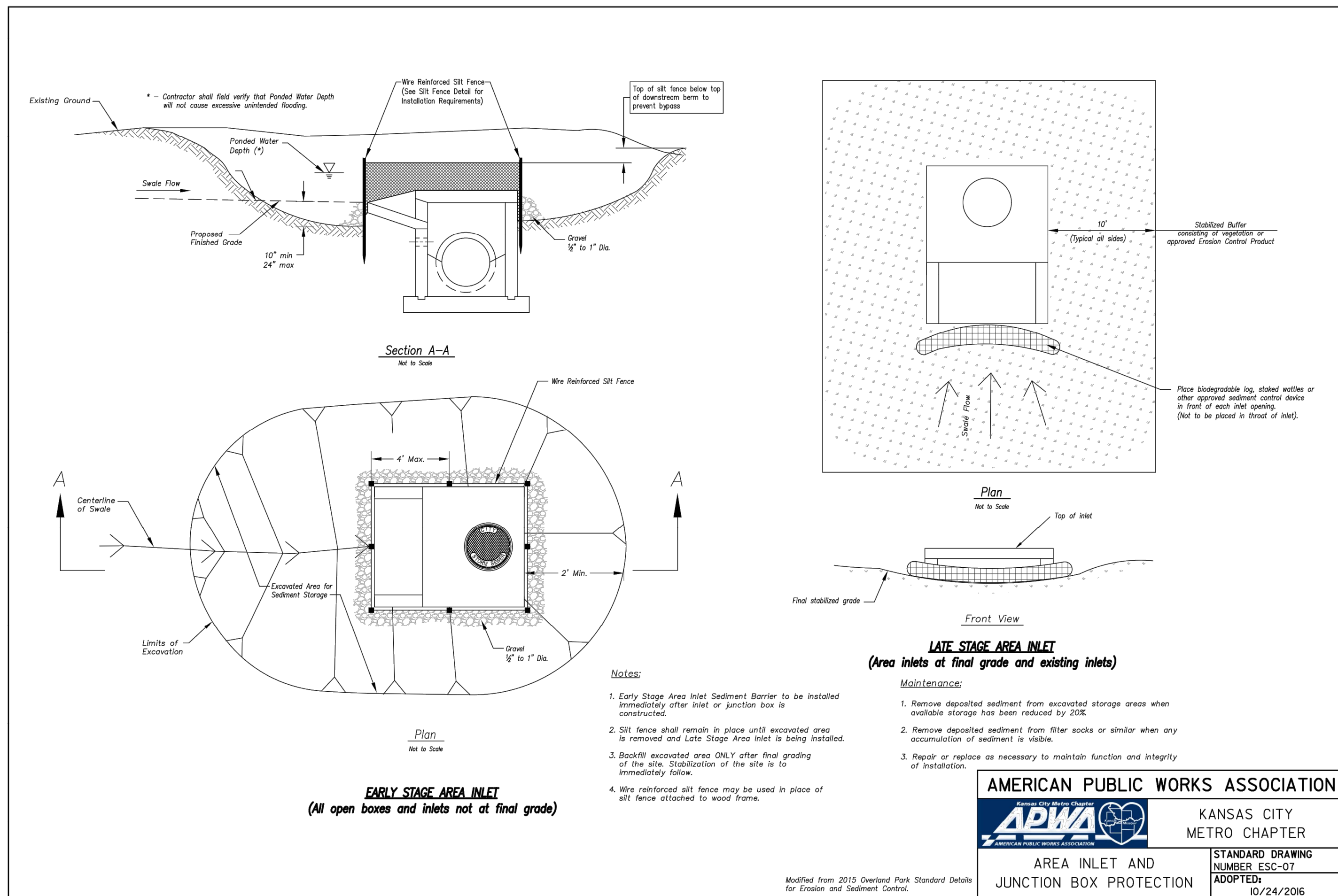
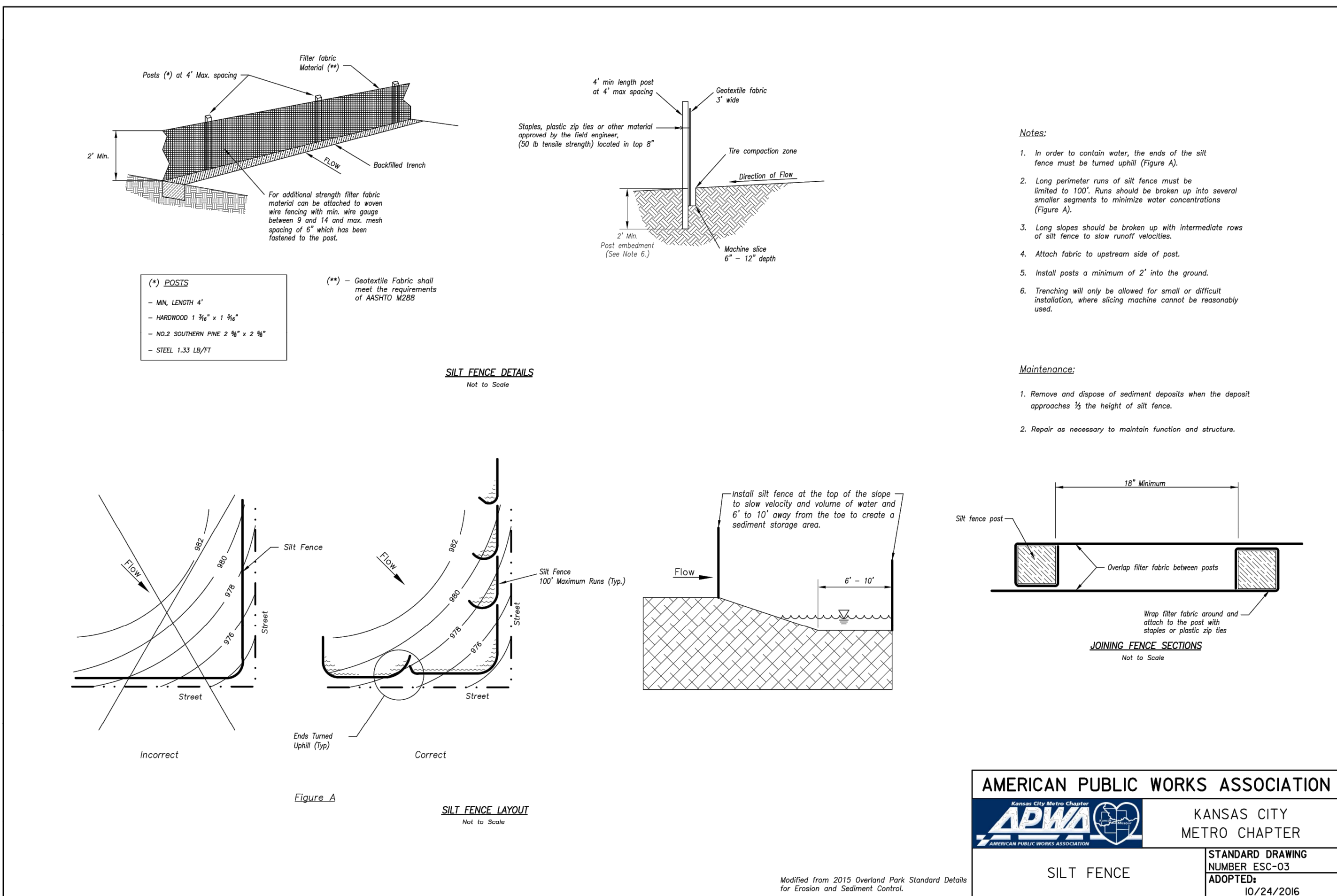
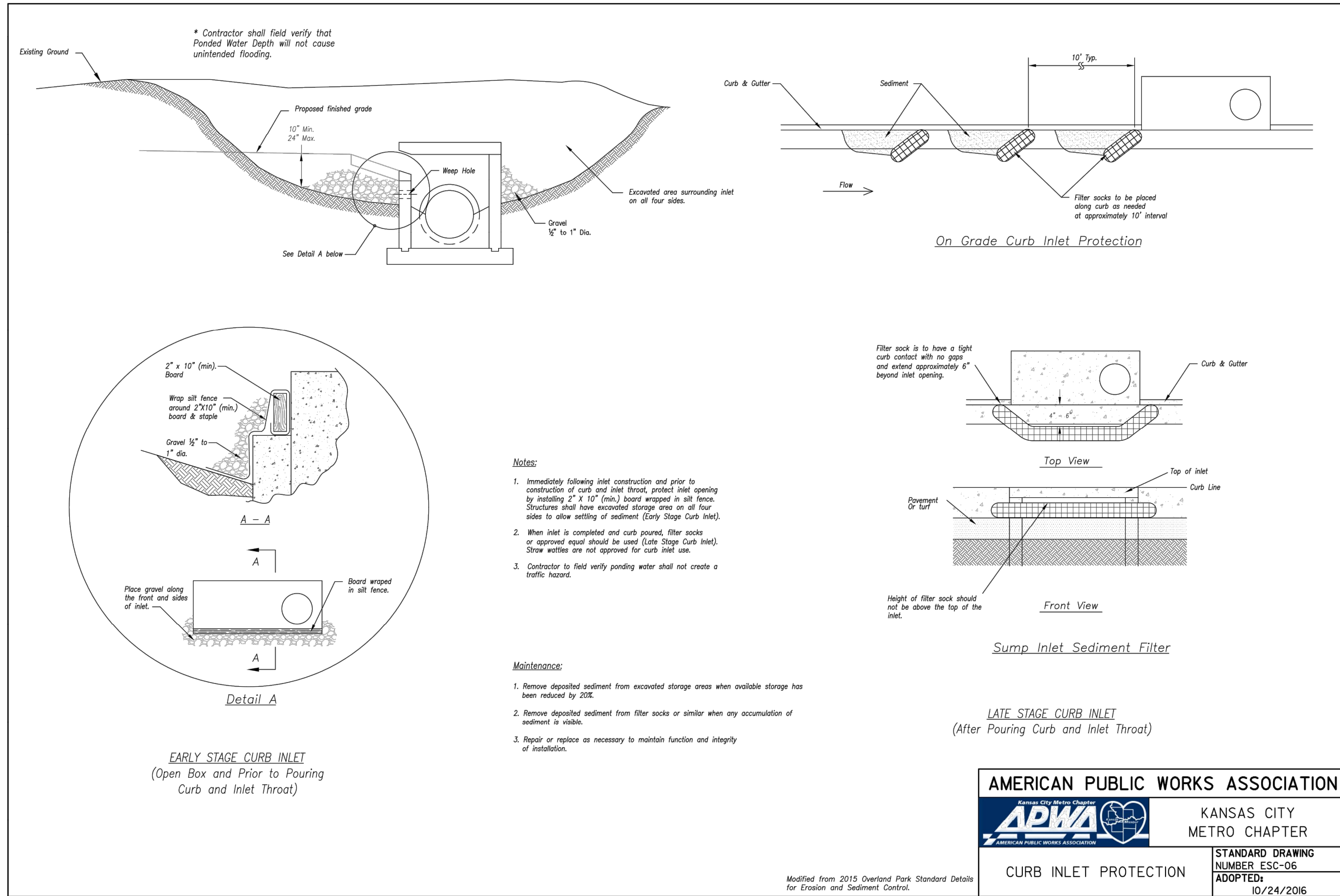
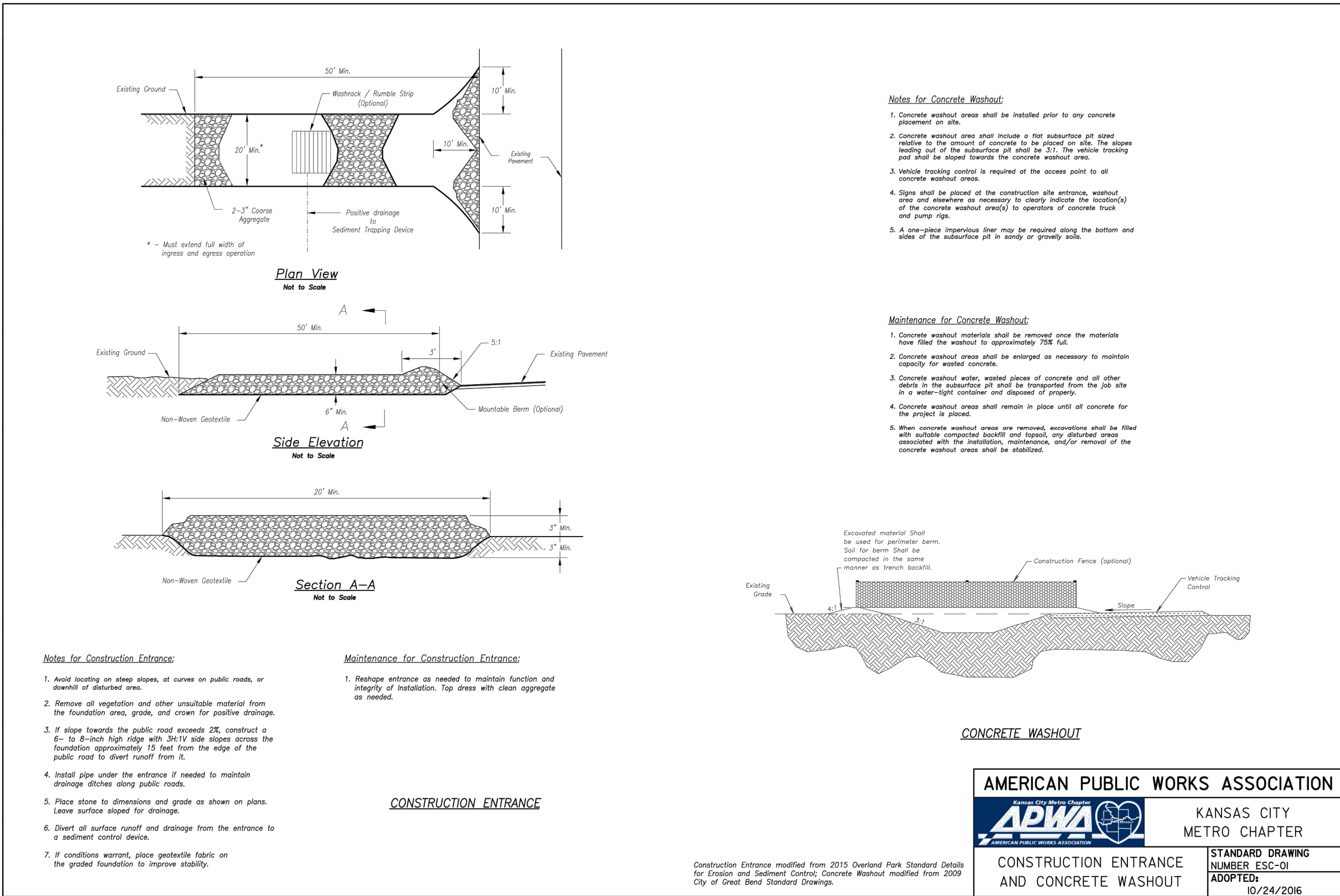
TOWER PARK COMM. - LOT 7 - NORTH BLDG.
FINAL DEVELOPMENT PLANS
420 SW LONGVIEW LEE'S SUMMIT, MISSOURI

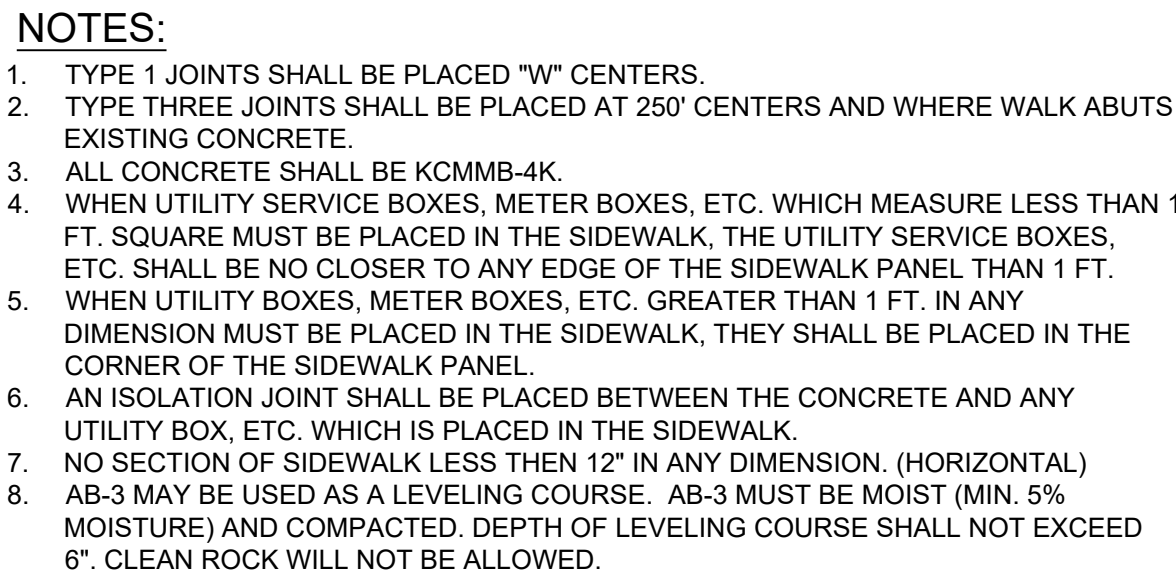
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EROSION
CONTROL
DETAILS

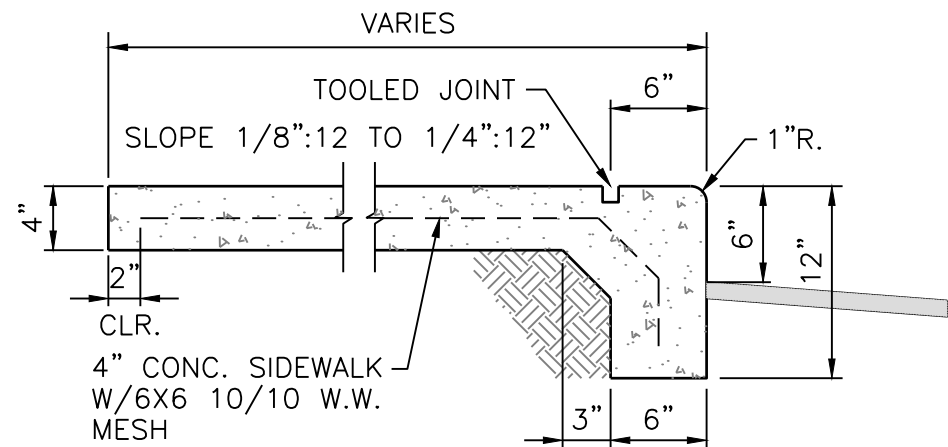
SHEET

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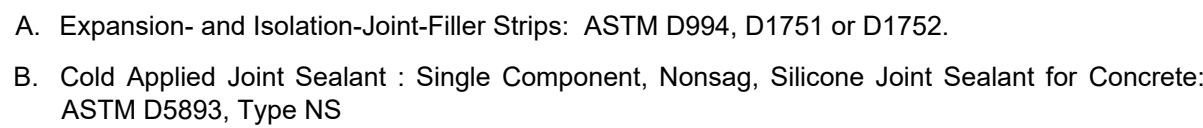




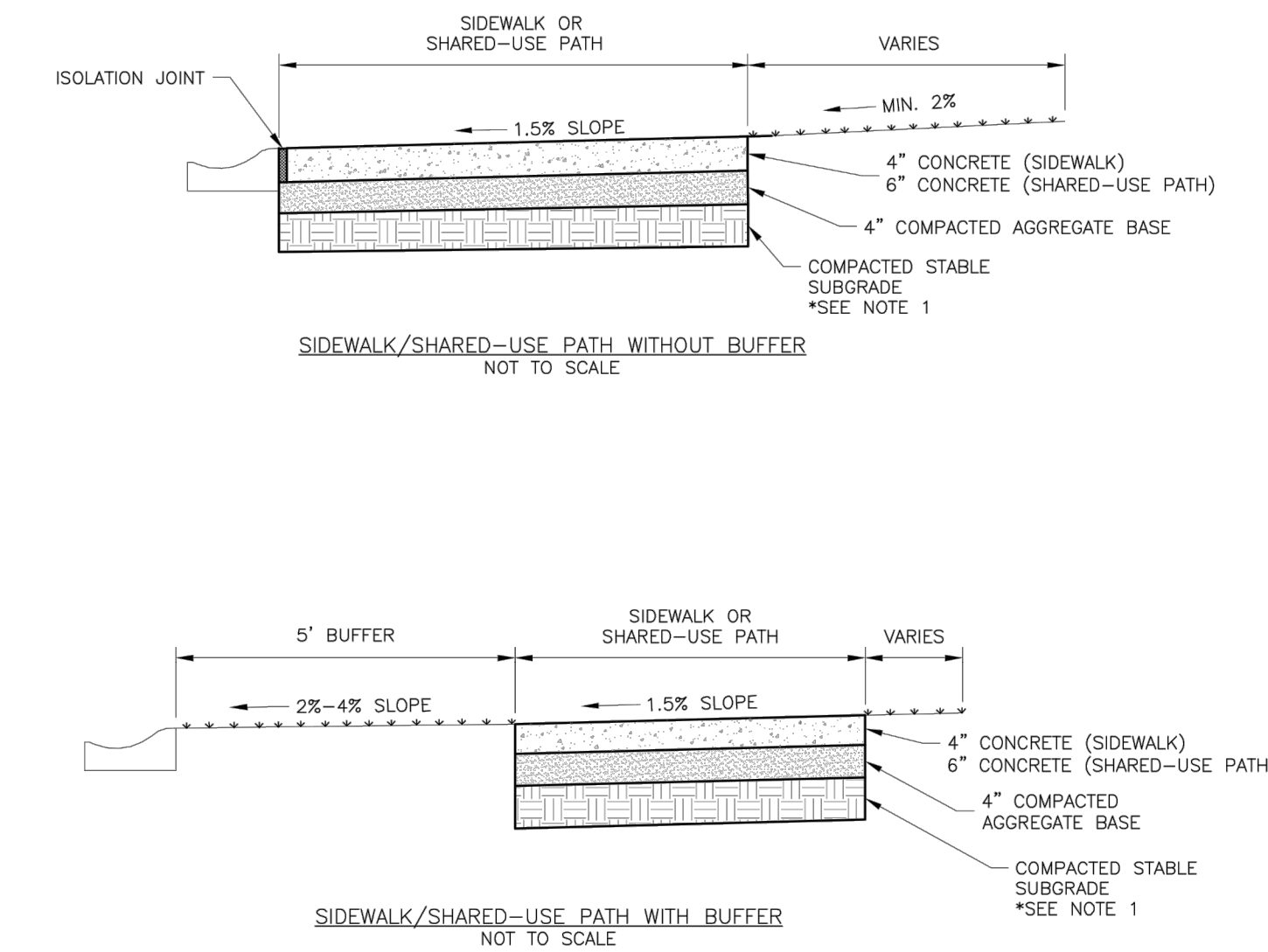
TYPICAL CONCRETE SIDEWALK DETAILS



INTEGRAL CURB/SIDEWALK DETAIL



SIDEWALK @ BACK OF CURB DETAIL



GENERAL NOTES:

1. SUBGRADE MUST BE OF STABLE, COMPACTED EARTH AND SHALL BE OVERLAYED WITH 4" COMPACTED DENSE GRADE AGGREGATE BASE.
2. 5% CROSS SLOPE MUST BE MAINTAINED THROUGH DRIVEWAYS.
3. KCMCB 4"X4 CONCRETE MIX SHALL BE REQUIRED FOR ALL SIDEWALKS AND SHARED-USE PATHS OR AS APPROVED BY THE CITY INSPECTOR.
4. ALL SIDEWALKS SHALL BE INSTALLED WITH PUBLIC RIGHT OF WAY ACCESSIBILITY GUIDELINES (PROWAG).
5. AN EXPANSION JOINT SHALL BE PLACED AT A MAXIMUM OF 150 FT. CONSTRUCTION JOINTS SHALL BE PLACED AT THE SAME WIDTH OF SIDEWALK, BUT NO GREATER THAN 10 FT.
6. SHARED-USE PATH WIDTH SHALL BE 10 FT. WIDE.
7. SIDEWALK FINISHING (NO PICTURE FRAMING) AS DIRECTED BY CITY INSPECTOR.
8. CURB AND GUTTER COMPOUND MUST BE APPLIED UNIFORMLY TO THE CONCRETE SURFACE IMMEDIATELY AFTER FINAL FINISHING.

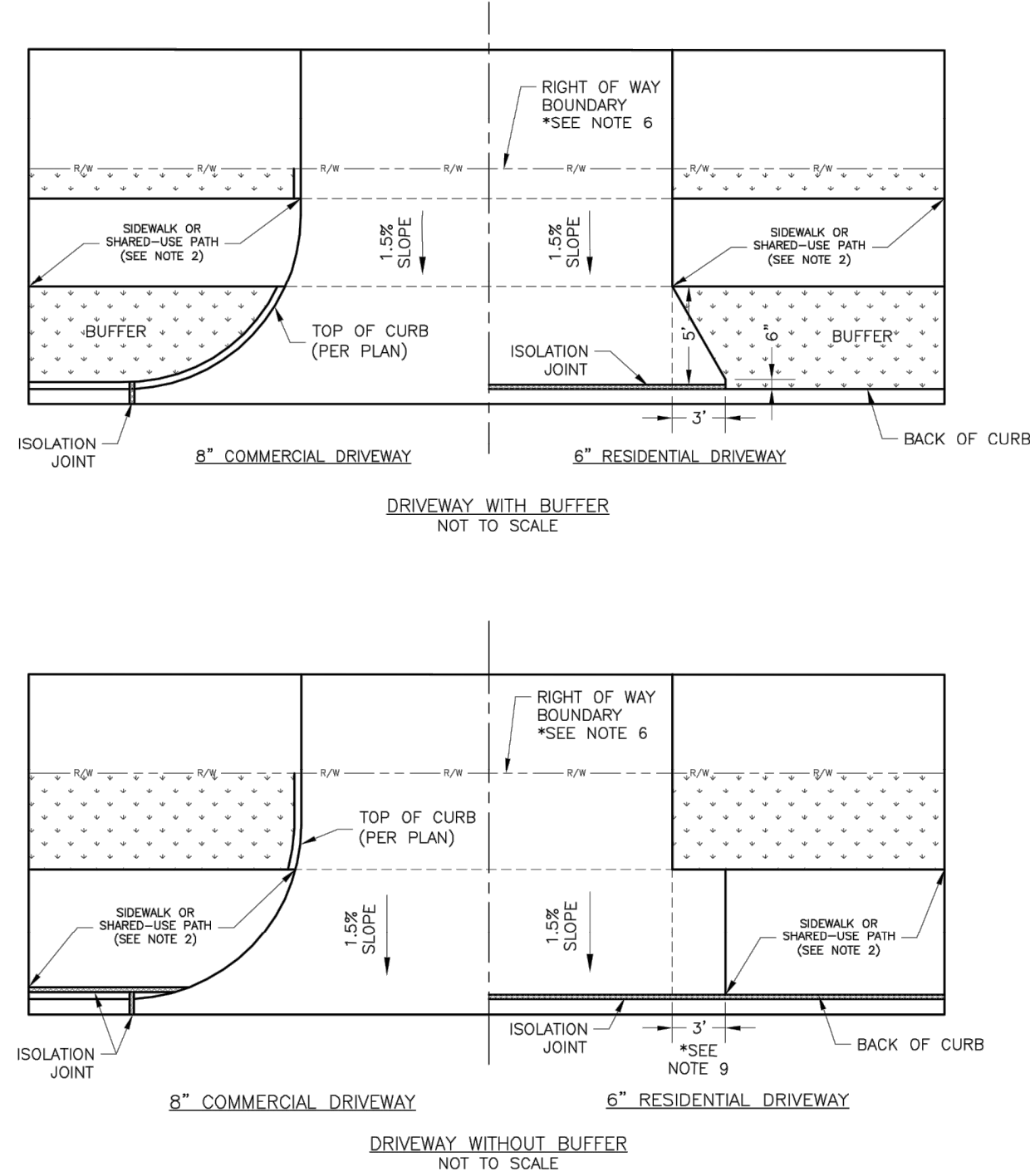


LEE'S SUMMIT MISSOURI

PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64063

SIDEWALK/SHARED-USE PATH DETAIL

Date: 04/17
Drawn By: MJF
Checked By: DL
GEN-2

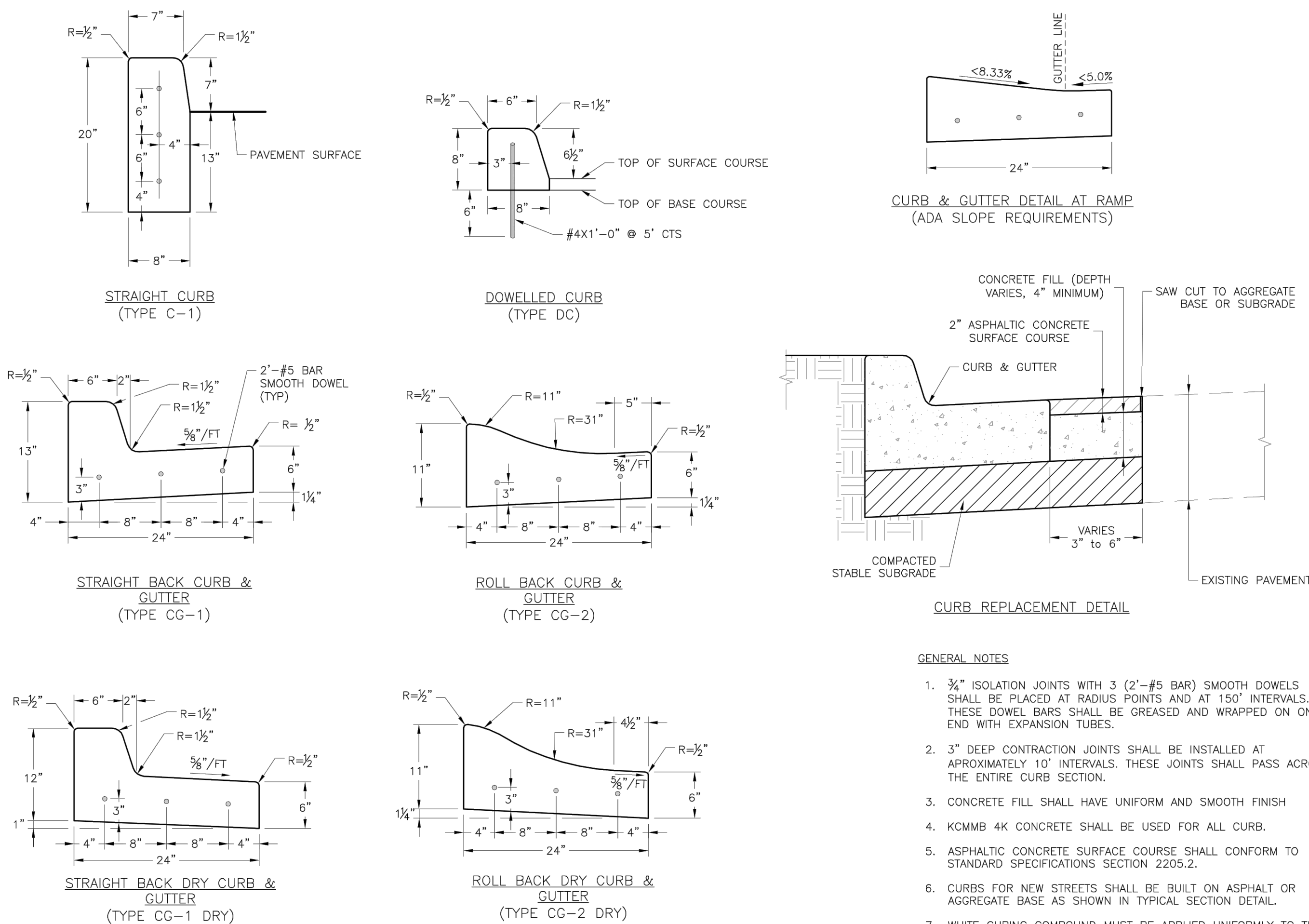


GENERAL NOTES

1. SUBGRADE SHALL BE STABLE, COMPACTED EARTH AND SHALL BE OVERLAYED WITH 4" COMPACTED DENSE GRADED AGGREGATE BASE.
2. ALL DRIVE APPROACHES SHALL MEET CURRENT PUBLIC RIGHT OF WAY ACCESSIBILITY GUIDELINES (PROWAG) FOR SLOPE.
3. REQUIREMENT FOR JOINTS: JOINTS ARE REQUIRED AT THE DRIVEWAY AND DRIVEWAY APPROACH RAMP. JOINT AT BACK OF CURB LINE SHALL BE AN ISOLATION JOINT FOR RESIDENTIAL DRIVEWAYS.
4. KCMWB 4K CONCRETE MIX IS REQUIRED FOR ALL CURBS.
5. REQUIREMENT FOR JOINTS: JOINTS ARE REQUIRED AT THE DRIVEWAY AND DRIVEWAY APPROACH RAMP. JOINT AT BACK OF CURB LINE SHALL BE AN ISOLATION JOINT FOR RESIDENTIAL DRIVEWAYS.
6. A JOINT MUST BE INSTALLED AT THE RIGHT OF WAY BOUNDARY FOR PROPERTY DELINEATION.
7. WHITE CURING COMPOUND MUST BE APPLIED UNIFORMITY TO THE CONCRETE SURFACE IMMEDIATELY AFTER FINAL FINISHING.
8. 3/4" FROM TOP OF CURB TO FLOWLINE AT DRIVEWAY (TYPE CG-1 CURB ONLY). MUST MAINTAIN ORIGINAL FLOWLINE OF CURBS.
9. THE MAXIMUM WIDTH OF A RESIDENTIAL DRIVEWAY SHALL BE 36 FEET (33' TO 37' MAXIMUM).
10. THE MAXIMUM WIDTH OF A RESIDENTIAL DRIVEWAY IS 36 FEET WITHIN THE RIGHT OF WAY.

GENERAL NOTE:

ALL NEW CURB AND GUTTER SHALL BE INSTALLED ON AN AGGREGATE BASE, A STABILIZED SUBGRADE OR GEOGRID EXTENDING A MINIMUM OF 1 FOOT (1.0') BEHIND THE BACK OF CURB.



GENERAL NOTES

1. $\frac{3}{4}$ " ISOLATION JOINTS WITH 3 (2" #5 BAR) SMOOTH DOWELS SHALL BE PLACED AT RADIUS POINTS AND AT 150' INTERVALS. THESE DOWEL BARS SHALL BE GREASED AND WRAPPED ON ONE END WITH EXPANSION TUBES.
2. 3" DEEP CONTRACTION JOINTS SHALL BE INSTALLED AT APPROXIMATELY 10' INTERVALS. THESE JOINTS SHALL PASS ACROSS THE ENTIRE CURB SECTION.
3. CONCRETE FILL SHALL HAVE UNIFORM AND SMOOTH FINISH
4. KOMMB 4K CONCRETE SHALL BE USED FOR ALL CURB.
5. ASPHALTIC CONCRETE SURFACE COURSE SHALL CONFORM TO STANDARD SPECIFICATIONS SECTION 2205.2.
6. CURBS FOR NEW STREETS SHALL BE BUILT ON ASPHALT OR AGGREGATE BASE AS SHOWN IN TYPICAL SECTION DETAIL.
7. WHITE CURING COMPOUND MUST BE APPLIED UNIFORMLY TO THE CONCRETE SURFACE IMMEDIATELY AFTER FINAL FINISHING.



LEE'S SUMMIT
MISSOURI
PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64063
TRENCHING/PATCHING ROADWAYS DETAIL

Date: 04/17
Drawn By: MJF
Checked By: DL



Project: STANDARD DETAILS
CITY OF LEE'S SUMMIT, MO
LEE'S SUMMIT, JACKSON COUNTY
Sheet Name: DRIVEWAY DETAIL

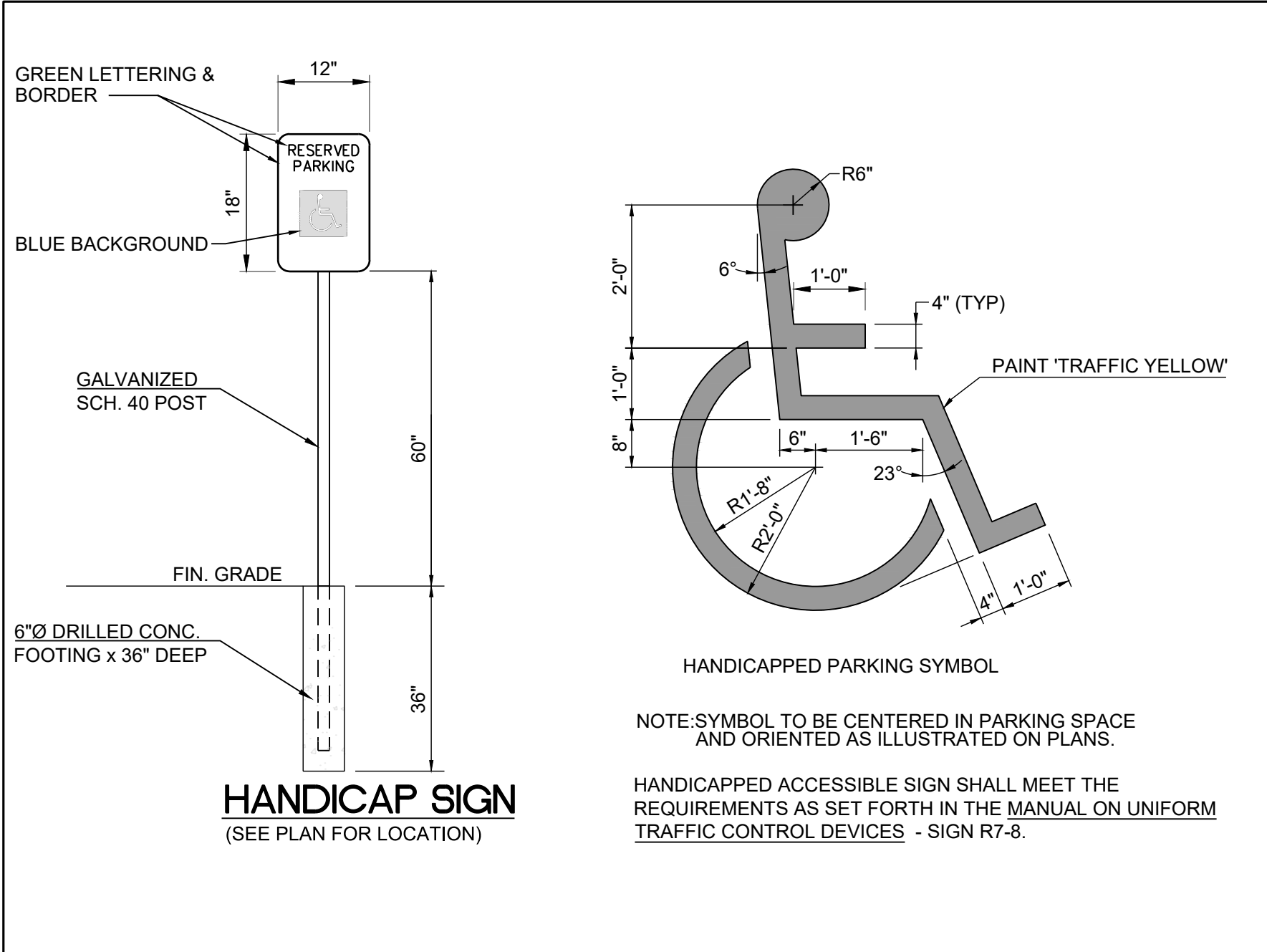
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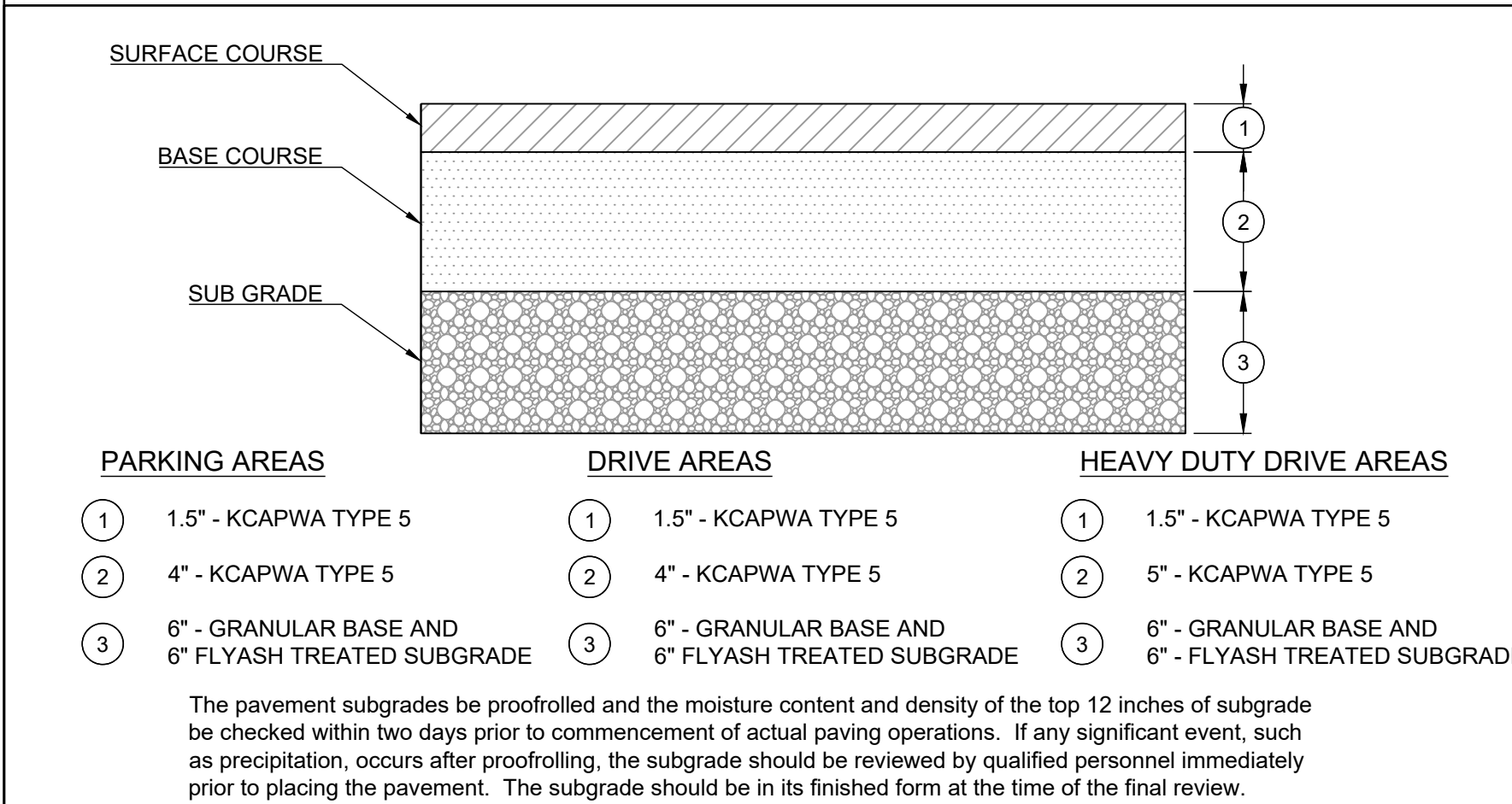
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CITY OF LEE'S SUMMIT, MO
LEE'S SUMMIT, JACKSON COUNTY
Sheet Name: CURB & GUTTER DETAIL

GEN-4

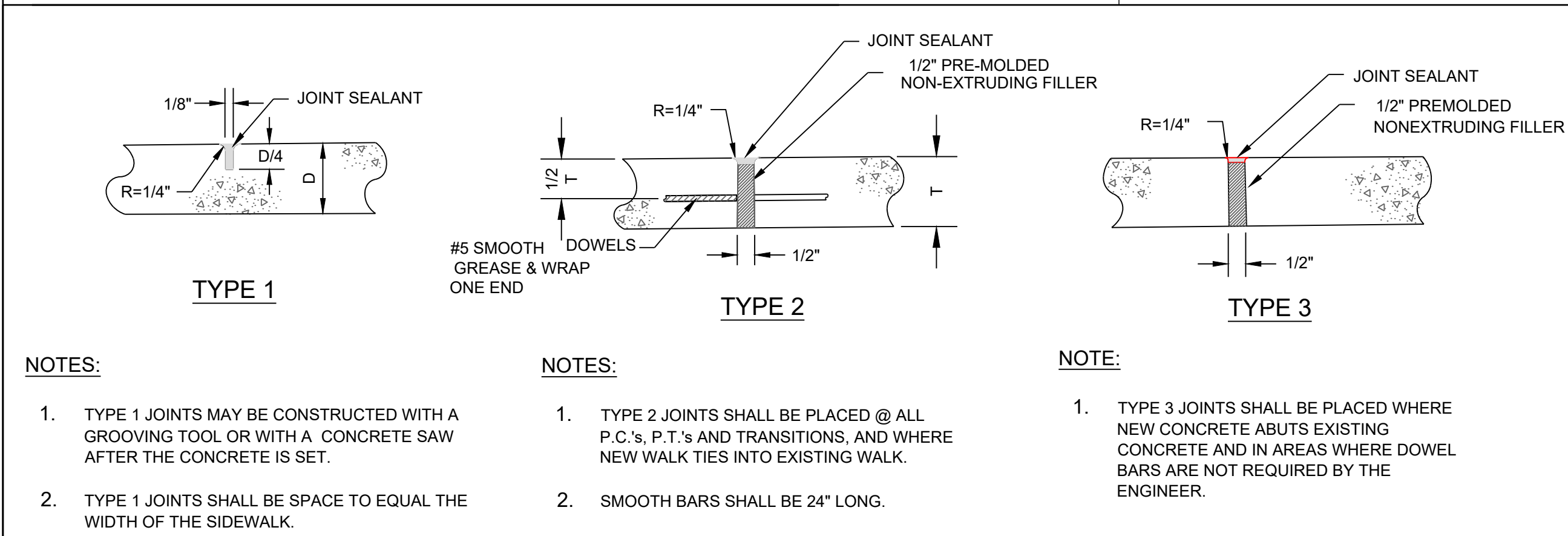
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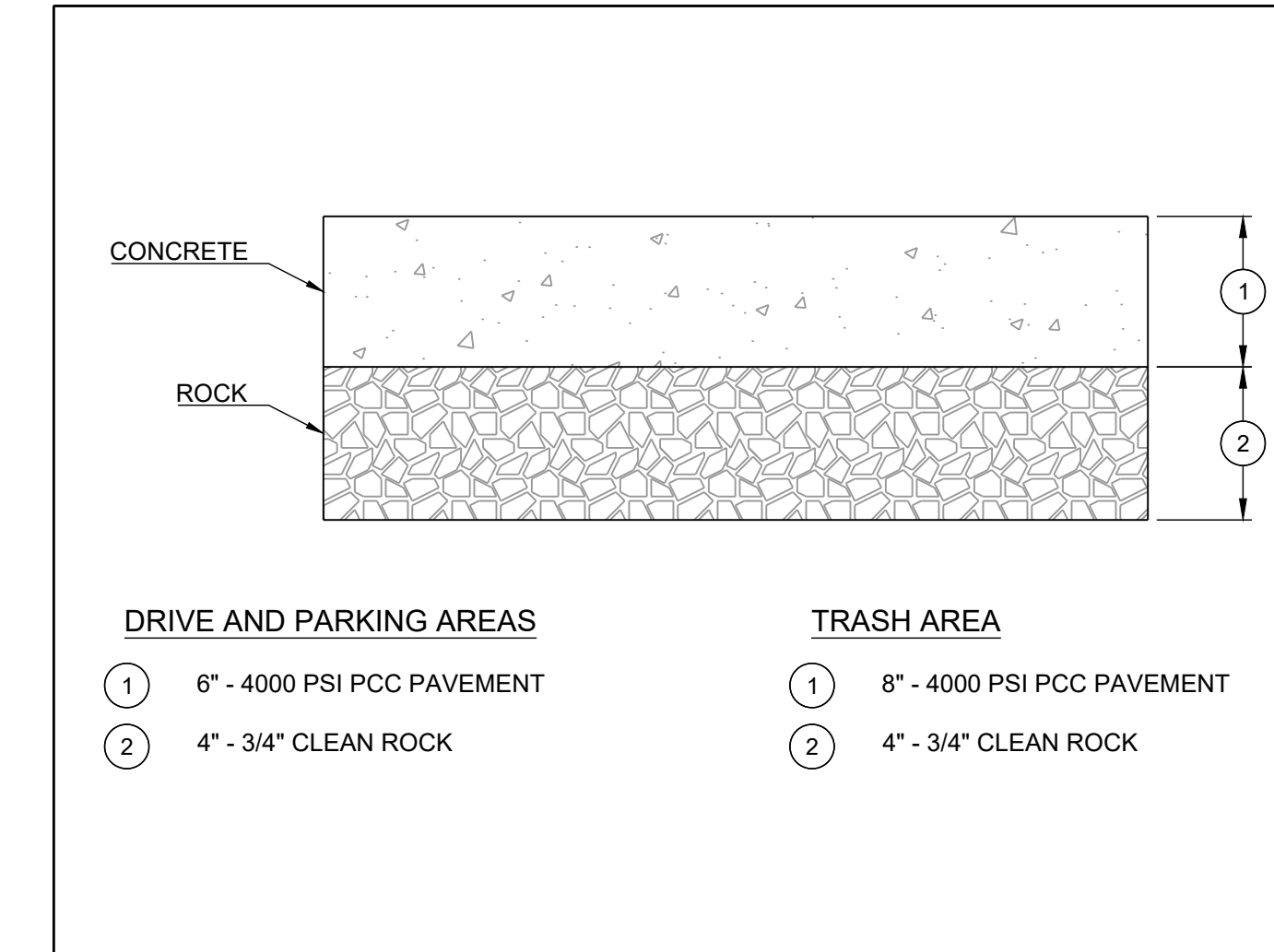
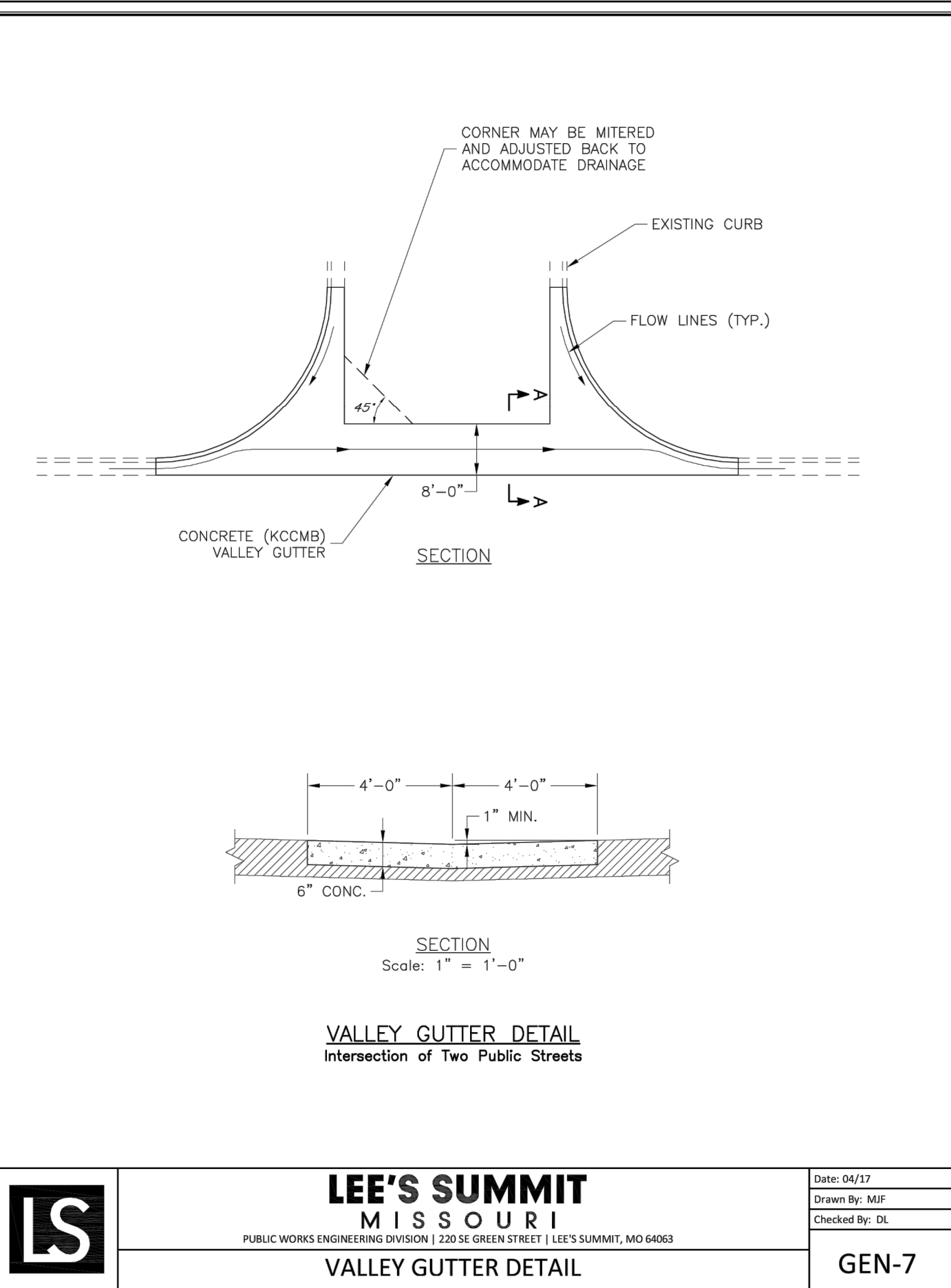
TYPICAL HANDICAPPED PARKING DETAILS



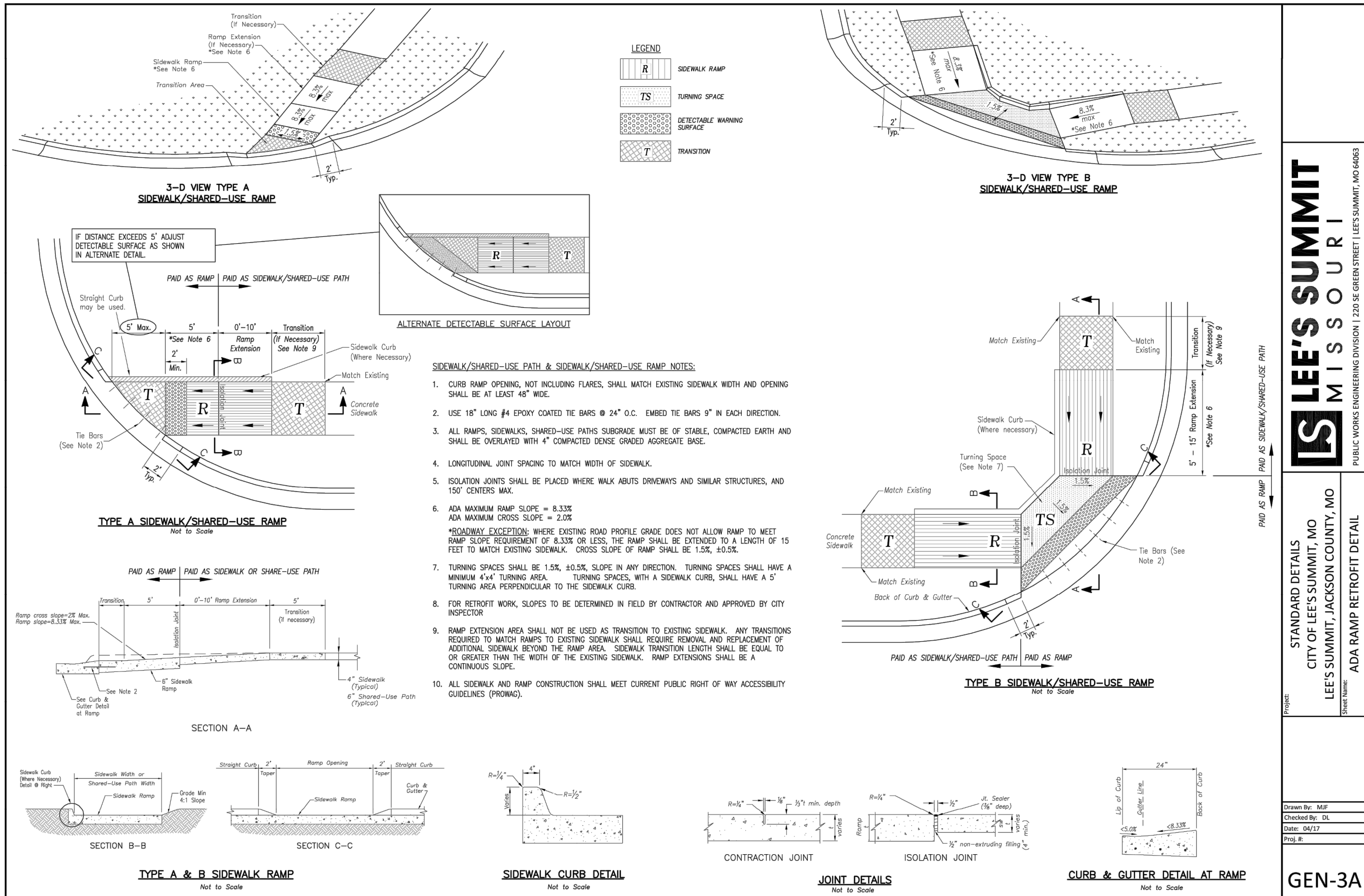
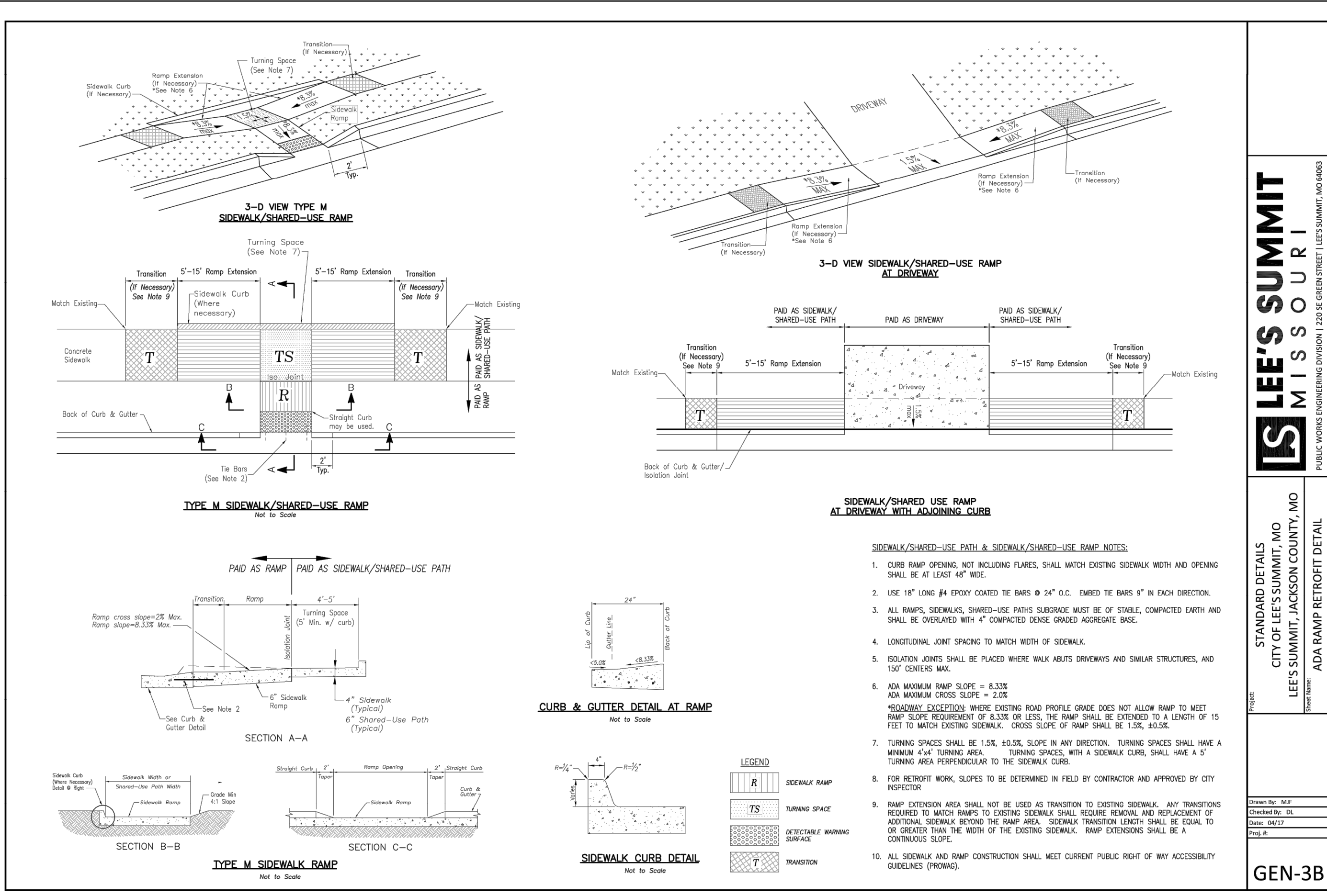
ASPHALT PAVEMENT SECTION



TYPICAL CONCRETE PAVEMENT - JOINT DETAILS

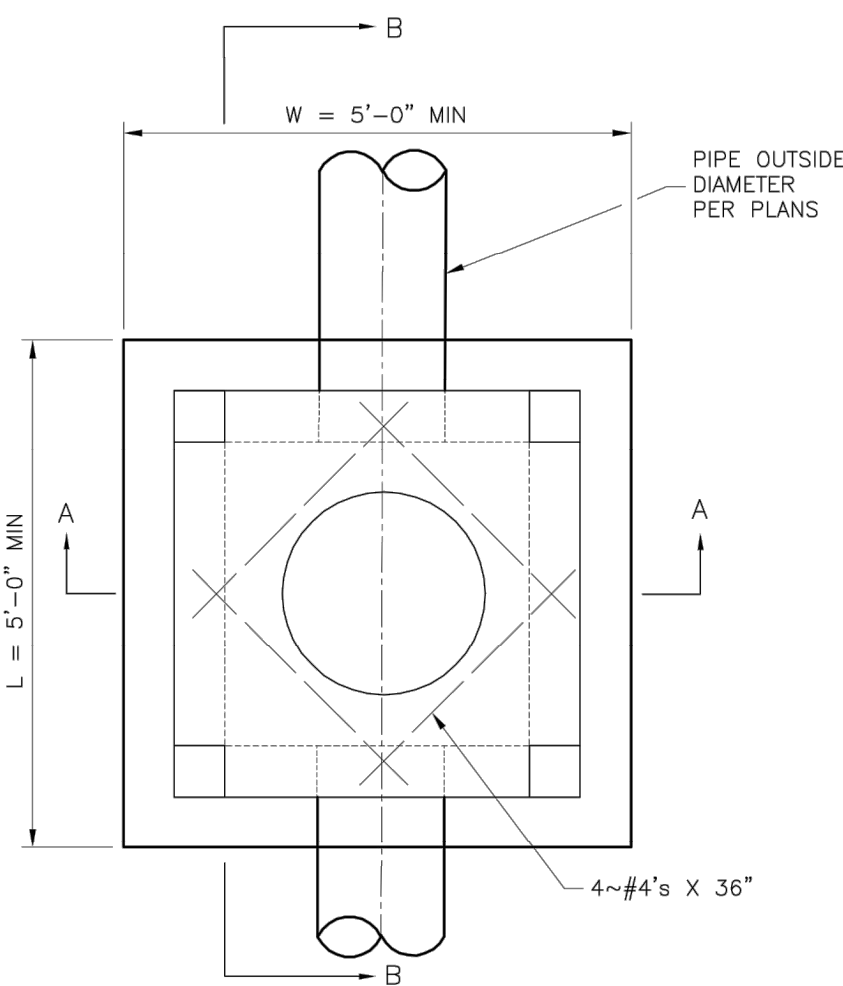


CONCRETE PAVEMENT SECTION

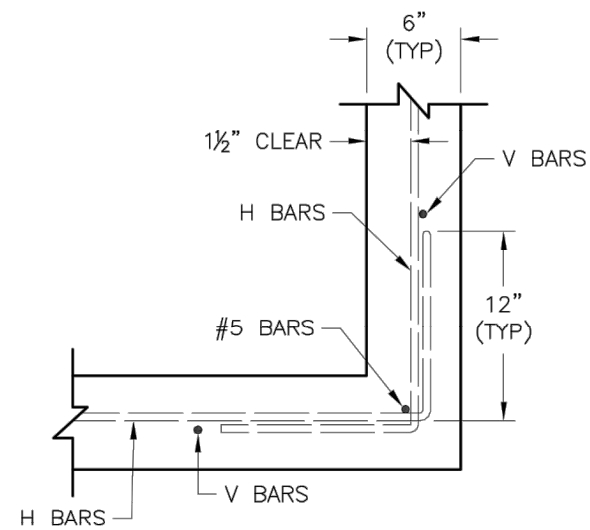


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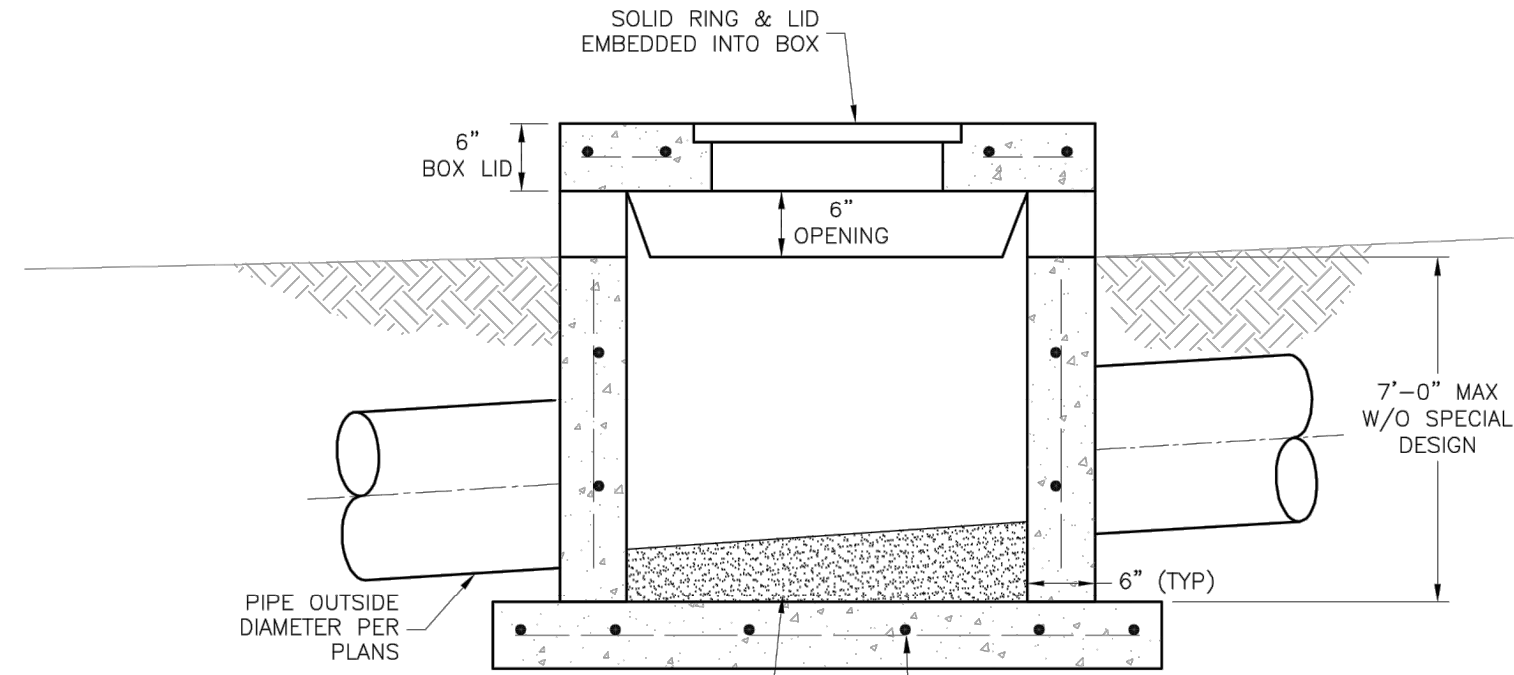
DRAWN BY: ###	CHECKED BY: ###	DATE PREPARED: 07/28/2020	PROJ. NUMBER: 200-106
PAVEMENT DETAILS			
SHEET			
C8.0			



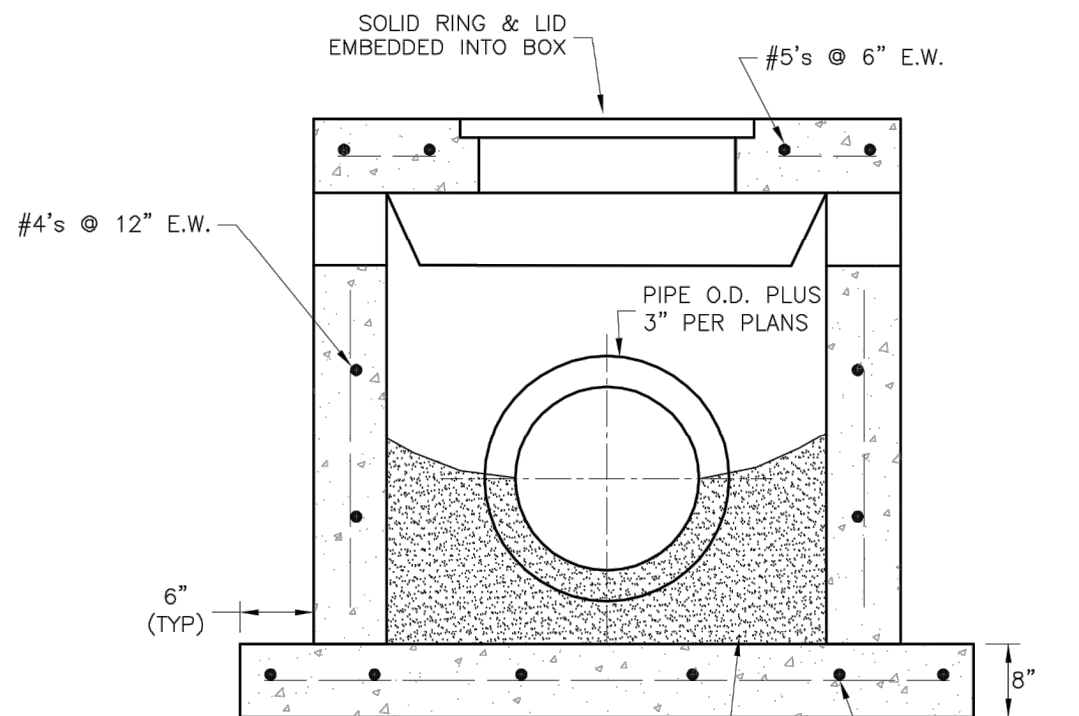
PLAN VIEW



WALL CORNER DETAIL



SECTION B-B



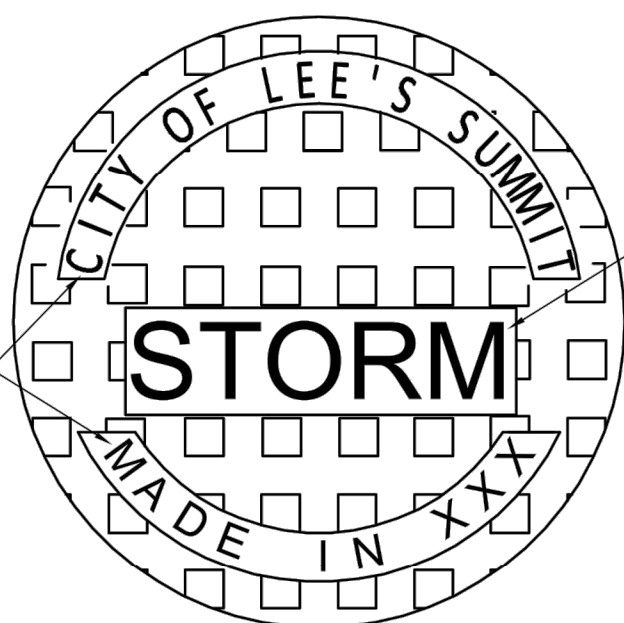
SECTION A-A

GENERAL NOTES:

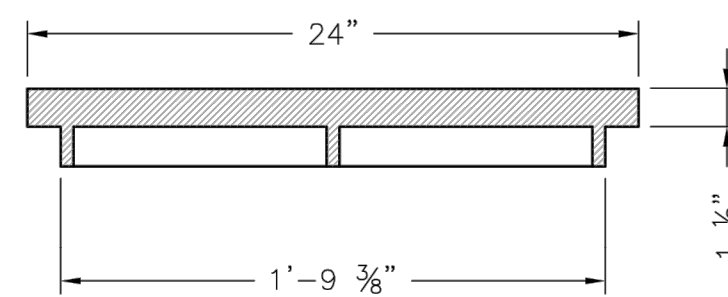
1. LOCATE RING AND COVER OVER OUTLET ON BLANK WALL.
2. USE 3/4" CHAMFER ON ALL EXPOSED CONCRETE CORNERS.
3. FLOOR OF INLET GROUTED AND SHAPED TO MATCH PIPE INVERT TO PROVIDE SMOOTH FLOW.
4. STEPS REQUIRED AT 16" O.C. WHEN DEPTH FROM TOP OF CASTING TO INVERT EXCEEDS 3' ON BLANK WALL IF POSSIBLE.
5. BOXOUTS WILL NOT BE ALLOWED TO PROJECT THROUGH THE CORNERS OF THE STRUCTURE.
6. THE MINIMUM REINFORCING SHALL BE 1 H-BAR OVER A CAST-IN-PLACE PIPE AND 2 H-BARS OVER A PRECAST BOXOUT.
7. SHOW FIELD INLET ORIENTATION ON PLANS PLUS NUMBER AND SIDE OF OPENINGS.
8. PRECAST LIDS SHALL BE PINNED, SEALED WITH NON-SHRINKABLE GROUT AND REMOVABLE FOR FUTURE MAINTENANCE.
9. FOR RING AND COVER SEE THE STORMWATER APPROVED PRODUCT LIST.

USE NON-SHRINKING GROUT TO SEAL BASE TO MANHOLE AND PIPES TO MANHOLE WALLS

GROUT PIPE INVERT

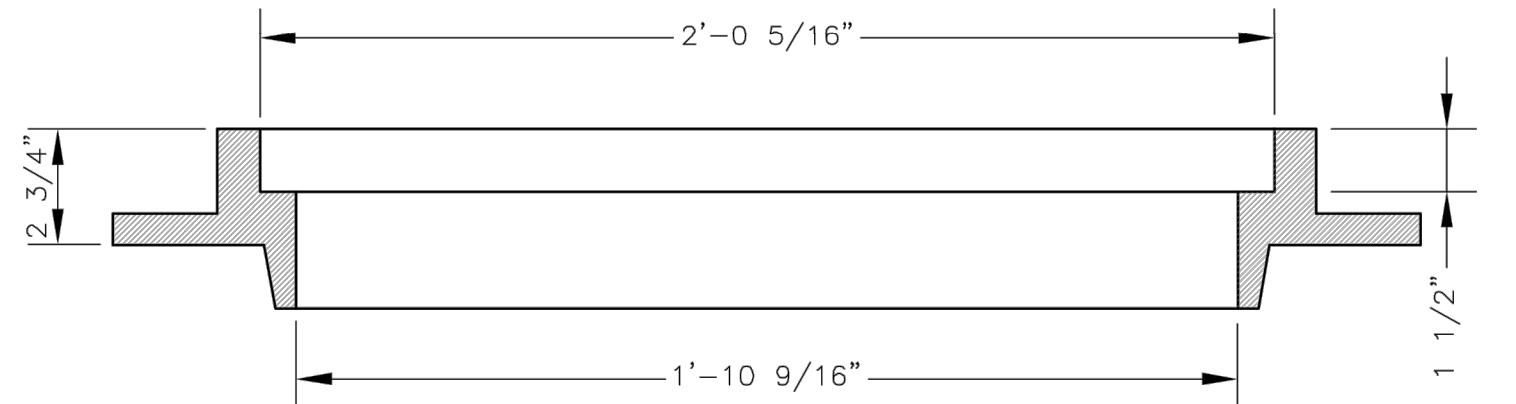


3" LETTERS EQUALLY PLACED

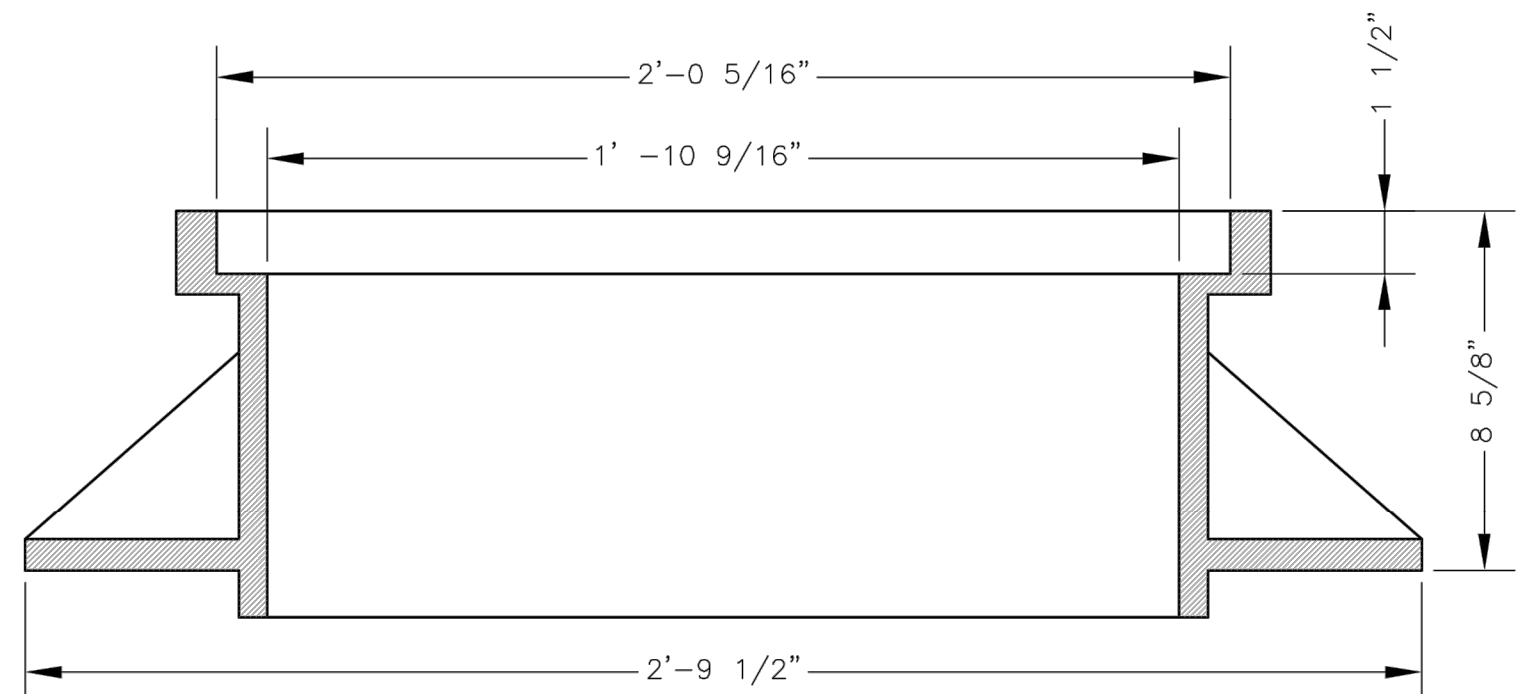


STANDARD 24" MANHOLE COVER
MINIMUM WEIGHT = 160 LB
NOTE: PICK HOLES NOT SHOWN

*COVER AND FRAME MODEL INFORMATION REFER TO THE STORMWATER APPROVED PRODUCT LIST.



SLAB MANHOLE FRAME
LEE'S SUMMIT PART NO.: LS103A
MINIMUM WEIGHT = 145 LB



STANDARD 24" MANHOLE FRAME
LEE'S SUMMIT PART NO.: LS101A
MINIMUM WEIGHT = 250 LB

*COVER AND FRAME MODEL INFORMATION REFER TO THE STORMWATER APPROVED PRODUCTS LIST.

LEE'S SUMMIT
MISSOURI

LS

STANDARD DETAILS
CITY OF LEE'S SUMMIT, MO
LEE'S SUMMIT, JACKSON COUNTY, MO

STM-2

Drawn By: MIF
Checked By: DL
Date: 04/17
Proj. #: STM-2

PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64063

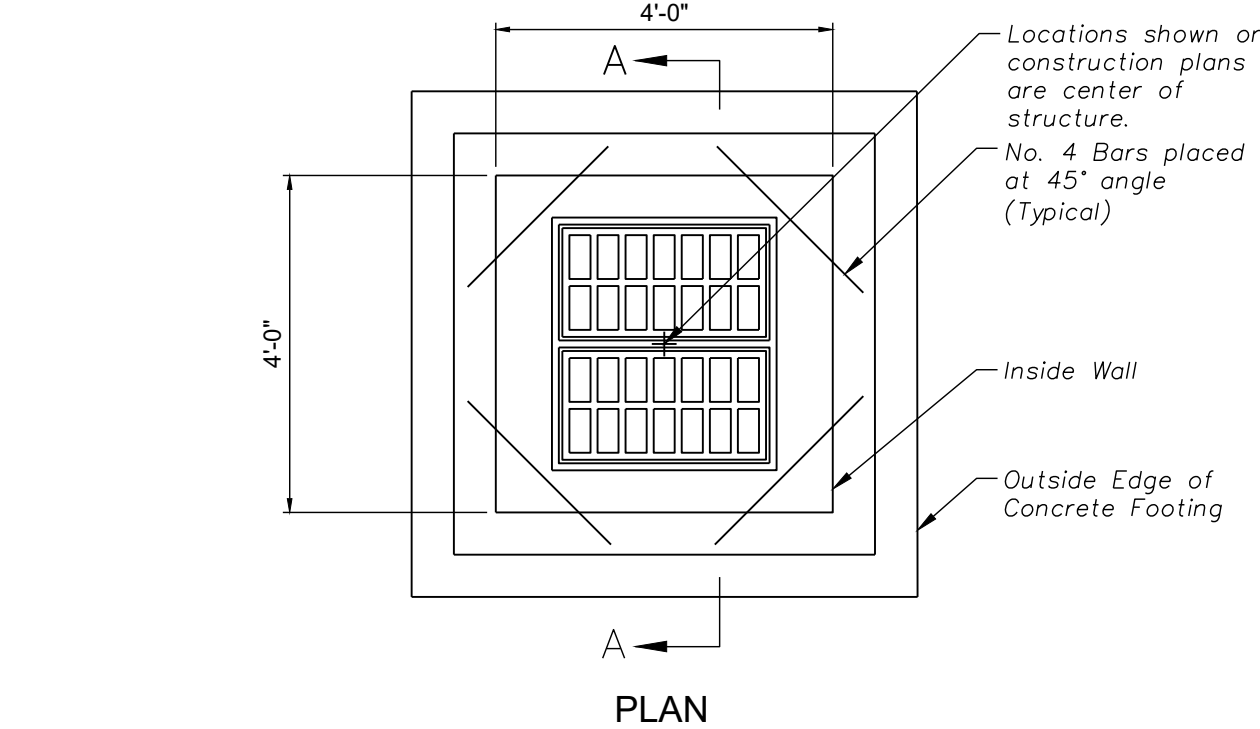
STANDARD DETAILS
CITY OF LEE'S SUMMIT, MO
LEE'S SUMMIT, JACKSON COUNTY, MO

STANDARD DETAILS
CITY OF LEE'S SUMMIT, MO
LEE'S SUMMIT, JACKSON COUNTY, MO

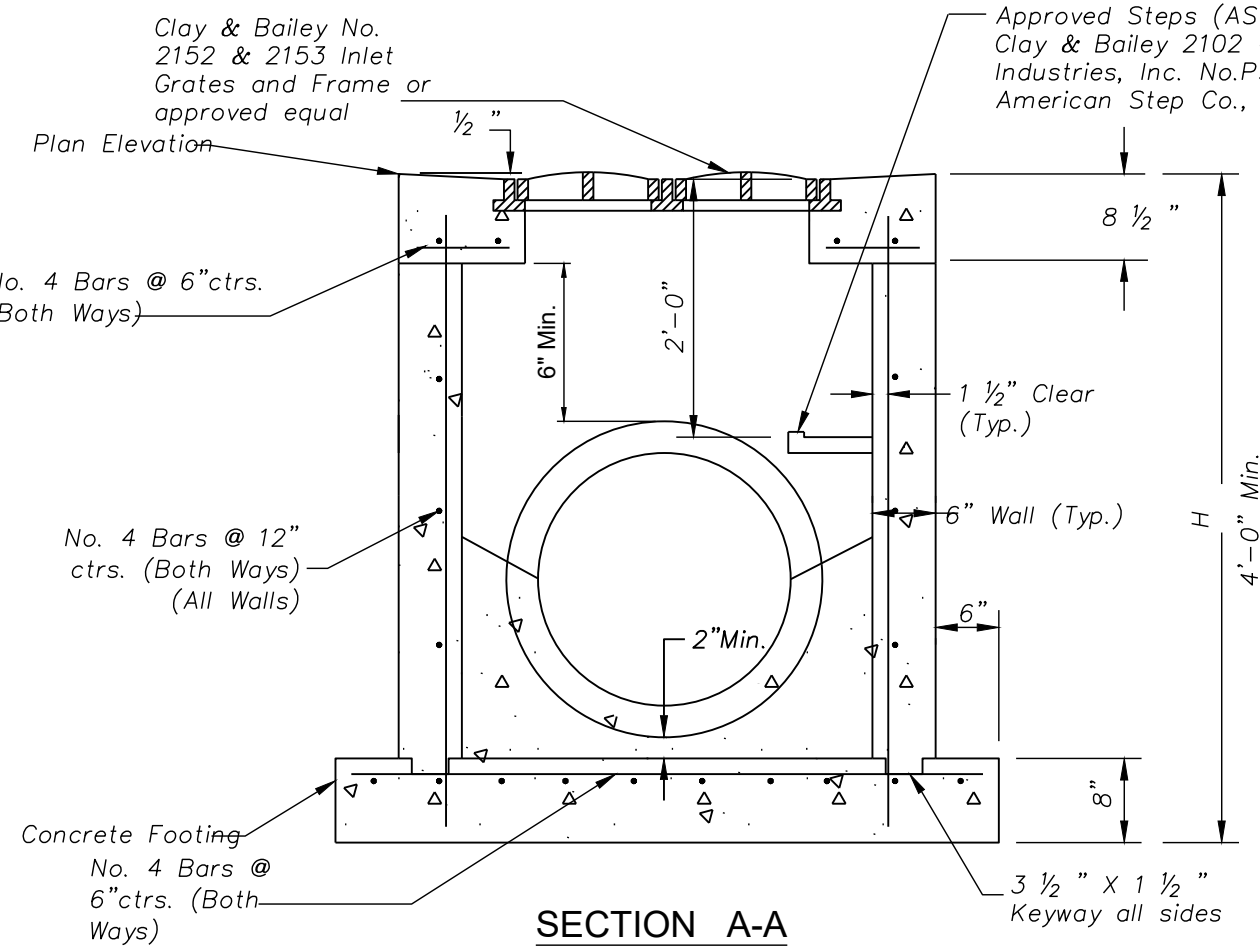
STM-2

Drawn By: MIF
Checked By: DL
Date: 04/17
Proj. #: STM-2

PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64063



PLAN



SECTION A-A

YARD/GRATE INLET DETAILS

NOTES:

General

1. All storm sewer structures shall be pre-cast or poured in place. If pre-cast structures are used for publicly financed, maintained or administered construction, the tops shall be poured in place and the wall steel shall be left exposed to a height 2" below the finish top elevation, or as directed by the Project Engineer.
2. Pre-cast shop drawings are to be approved by the Project Engineer Prior to casting.
3. Do not scale these drawings for dimensions or clearances. Any questions regarding dimensions shall be brought to the attention of the city Engineer prior to construction.
4. The first dimension listed in the construction notes is the "L" dimension. The second dimension is the "W" dimension. The concrete thickness and reinforcement shown is for boxes with (L*+*H") and (W*+*H") less than or equal to 20. For boxes with either of these calculations greater than 20, a special design is required.

Concrete

5. Concrete used in this work shall be KCMMB4K, as approved by the Kansas City Metropolitan Materials Board, unless noted otherwise.
6. Concrete construction shall meet the applicable requirements of Standard Specifications for State Road and Bridge Construction, Kansas Department of Transportation, latest edition, unless noted otherwise.
7. Inlet floors shall be shaped with non-reinforced concrete inverts to provide smooth flow.
8. Bevel all exposed edges with 3/4" triangular molding.

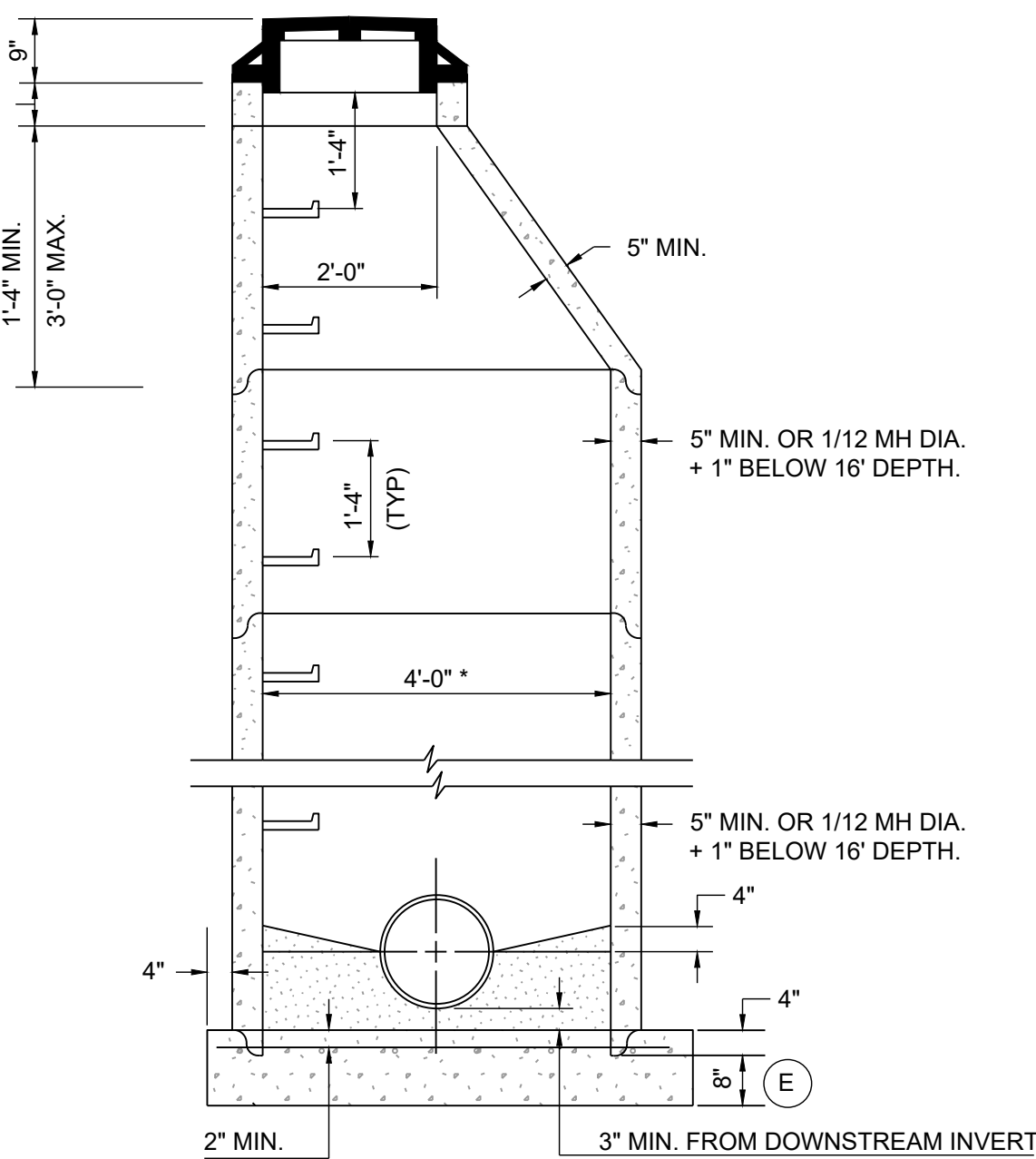
Reinforcing Steel

9. Reinforcing steel shall be new billet, minimum Grade 40 as per ASTM A615, and shall be bent cold.
10. All dimensions relative to reinforcing steel are to centerline of bars. 2" clearance shall be provided throughout unless noted otherwise. Tolerance of +/- 1/8" shall be permitted.
11. All lap splices not shown shall be a minimum of 40 bar diameters in length.
12. All reinforcing steel shall be supported on fabricated steel bar supports @ 3'-0" maximum spacing.
13. All dowels shall be accurately placed and securely tied in place prior to placement of bottom slab concrete. Sticking of dowels into fresh or partially hardened concrete will not be acceptable.

Construction

14. The bottom slab shall be at least 24 hours old before placing sidewall concrete. All sidewall forms shall remain in place a minimum of 24 hours after sidewalls are poured before removal, and after removal shall be immediately treated with membrane curing compound.
15. Pipe connections to pre-cast structures shall have a minimum of 6" of concrete around the entire pipe within 2' of the structure.
16. Material selection and compaction requirements for backfill around structures shall be as specified in the project manual.

STORM SEWER - GRATE INLET DETAIL



* UNLESS OTHERWISE NOTED ON PLANS

GENERAL NOTES:

All manhole rings shall be set in a minimum of two (2) rows of 3/4 to 1 inch pre-formed bitumastic joint sealer.

All manhole rings to be placed in pavement or in areas to be subsequently paved shall have "Machined Horizontal Bearing Surfaces" and shall comply with Class #25 as established in ASTM A-48.

The inside diameter of the manhole shall be 4'-0" for pipe diameters from 8" thru 24" and shall be 5'-0" for pipe diameters from 27" thru 36". All manhole bases (pre-cast or poured-in-place) shall have No. 4 reinforcing bars placed on 12" centers both ways.

All standard manhole rings and covers to be Deeter 1315-jcs. Neenah NF-1536009/B (frame) and NF-15360010/B (cover), or approved equal.

All manhole rings and covers shown in plans to be "bolt-down" to be Clay & Bailey Manufacturing Co. No. 20140R, Neenah R-1915-F2 or approved equal. An extra payment for furnishing "bolt-down" ring and cover as shown in plans will not be made, but shall be considered as subsidiary to the item, "Standard Manhole-6".

Standard cast iron manhole steps to be Clay & Bailey Manufacturing Co. No. 2102 or approved equal. Steel core, plastic coated steps may be used (M.A. Ind., Inc. No. PS1-PF, PS2-PF, or approved equal).

Maximum grade adjustment allowable is 12". Minimum allowable vertical thickness for precast concrete grade adjustment ring is 2".

Concrete used in this work shall be KCMMB4K, as approved by the Kansas City Metropolitan Materials Board.

GENERAL NOTES FOR PRE-CAST MANHOLES

1. Reinforcement in all sections shall equal or exceed A.S.T.M. C-478 specifications.
2. Mastec material to be used at all sections joints. O-Rings may be used for joints below the cone section, but the cone section itself shall not have O-ring joints.
3. Approved gasket and concrete mortar to be used around pipe in knock-outs.

STORM SEWER - MANHOLE DTL.



LEE'S SUMMIT
MISSOURI

PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64063

STORM MANHOLE COVER DETAIL

Date: 04/17

Drawn By: MIF

Checked By: DL

STM-6



LEE'S SUMMIT
MISSOURI

PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64063

STORM MANHOLE FRAME DETAIL

Date: 04/17

Drawn By: MIF

Checked By: DL

STM-7

SCHLAGEL

ENGINEERS PLANNERS SURVEYORS LANDSCAPE ARCHITECTS
14920 West 107th Street • Lenexa, Kansas 66215
(913) 492-5158 • Fax: (913) 492-8400
WWW.SCHLAGELASSOCIATES.COM
Missouri State Certificates of Authority
#E200200360-F #LAC2001005237 #LS200200859-F

PREPARED BY:

SCHLAGEL & ASSOCIATES, P.A.

TOWER PARK COMM. - LOT 7 - NORTH BLDG.

FINAL DEVELOPMENT PLANS

420 SW LONGVIEW LEE'S SUMMIT, MISSOURI

REVISION DATE	DESCRIPTION
1	
2	
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DRAWN BY: ###	CHECKED BY: ###	DATE PREPARED: 07/26/2020	PROJ. NUMBER: 20-106
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STORM SEWER
DETAILS

SHEET

C9.0



- NOTES:
1. METER INSTALLATION SHALL NOT BE LOCATED IN AREAS SUBJECT TO VEHICULAR TRAFFIC OR IN CONCRETE PAVEMENT WITHOUT CITY APPROVAL.
 2. IF METER IS TO BE LOCATED OTHER THAN IN FRONT OF PROPERTY LINE, CITY APPROVAL SHALL BE OBTAINED.
 3. CITY TO FURNISH ITEMS A-K.
 4. NO OTHER EQUIPMENT SHALL BE INSTALLED IN THIS PIT.
 5. 42" MINIMUM BURY DEPTH FOR ALL SERVICE LINES.
 6. EXCAVATION FOR TAP TO EXPOSE A LINEAR FEET OF LINE.
 7. NO SPLICES ALLOWED BETWEEN METER AND MAIN.
 8. SERVICE CONNECTION TAP AT APPROXIMATELY 45 DEGREES.
 9. 80 AND RISER RING SHALL BE SET SO THAT GROUND WATER WILL DRAIN AWAY FROM THE WELL.
 10. CONTACT WATER UTILITIES, 816-969-1900, FOR REQUIREMENTS OF A METER LARGER THAN 2"

	LEE'S SUMMIT MISSOURI PUBLIC WORKS ENGINEERING DIVISION 220 SE GREEN STREET LEE'S SUMMIT, MO 64063	Date: 02/13 Drawn By: JN Checked By: DL FILE: WAT-11
	SERVICE CONNECTION/METER WELL	Rev: 1/14 Rev:

**TOWER PARK COMM. - LOT 7 - NORTH BLDG.
FINAL DEVELOPMENT PLANS**

420 SW LONGVIEW LEE'S SUMMIT, MISSOURI

SCHLAGEL
ENGINEERS PLANNERS SURVEYORS LANDSCAPE ARCHITECTS
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#E200200200889-F #A20011005237 #LS2002008899-F

PREPARED BY:

SCHLAGEL & ASSOCIATES, P.A.

REVISION	DATE	DESCRIPTION
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DRAWN BY: ### CHECKED BY: ### DATE PREPARED: 07/28/2020 PROJ. NUMBER: 20-1-006		

UTILITY DETAILS

SHEET

C10.0

LOT 3
TOWER PARK COMMERCIAL-PHASE 2
OWNER: GALE COMMUNITIES INC

LOT 5
TOWER PARK COMMERCIAL-PHASE 2
LOTS 5,6,7, TRACTS A&B

510 SW TOWER PARK DRIVE
(OWNER: JVM NEW LONGVIEW LLC)

NOTE:
NO PART OF THE PROJECT LIES WITHIN THE 100 YEAR FLOOD PLAIN PER FEMA
FLOOD INSURANCE RATE MAP NUMBER 29095C0414G DATED JANUARY 20, 2017.



1-800-344-7483 or 811
mo1call.com

PROJECT BENCHMARK:

MONUMENT FOUND
CHISELED "SQUARE" ON STORM CURB INLET #30
AT NORTHWEST INTERSECTION OF SW. TOWER
PARK DRIVE AND SW. LONGVIEW BOULEVARD.

NORTHING: 998893.4148
EASTING: 2803318.5413

ELEV. 1004.09

460 SW LONGVIEW BLVD
(OWNER: JVM NEW LONGVIEW)

LOT 6
TOWER PARK COMMERCIAL-PHA
LOTS 5,6,7, TRACTS A&B

SHADE TREES



ZSM 6 EA.

Zelkova serrata 'Musashino'

Musashino Columnar Zelkova

2.5" Cal.

B&B

ORNAMENTAL TREES



PSK 1 EA.

Prunus serrulata 'Kwansan'

Kwansan Flowering Cherry

1.5" Cal.

B&B

EVERGREEN TREES



JCSP 3 EA.

Juniperus chinensis 'Spartan'

Spartan Juniper

6' ht.

B&B

SHRUBS



BGV 27 EA.

Buxus x 'Green Velvet'

Green Velvet Boxwood

5 gal.

Cont.



BSM 8 EA.

Buxus sempervirens 'Monrue' Plant Patent #15,243

Green Tower Boxwood

5 gal.

Cont.



CCJ 7 EA.

Caryopteris x clandonensis 'Janice' PPAF

Lil Miss Sunshine™ Bluebeard

5 gal.

Cont.



VPS 5 EA.

Viburnum plicatum tomentosum 'Summer Snowflake'

Summer Snowflake Viburnum

5 gal.

Cont.

NOTES:

- UTILITY INFORMATION SHOWN IS DESIGNED LOCATION OR LOCATIONS BASED ON UTILITY LOCATES. AS BUILT LOCATIONS MAY VARY. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES PRIOR TO COMMENCING LANDSCAPE INSTALLATION. NOTIFY THE LANDSCAPE ARCHITECT OF ANY CONFLICTS OR OBSTRUCTIONS.
- QUANTITIES INDICATED ON THE PLAN ARE FOR CONVENIENCE ONLY. CONTRACTOR SHALL VERIFY ALL PLANT QUANTITIES PRIOR TO PLANTING. NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES. THE PLAN QUANTITIES AND NUMBER OF SYMBOLS SHALL SUPERSEDE QUANTITIES IN THE SCHEDULE.
- ALL PLANT MATERIAL SHALL COMPLY WITH THE CITY OF LEE'S SUMMIT STANDARDS AND ANSI A60.1 THE AMERICAN STANDARD FOR NURSERY STOCK.
- ALL TREES SHALL MEET THE SIZE REQUIREMENTS OF THE LEE'S SUMMIT ORDINANCE. ALL TREES SHALL BE CALLIPERED AND UNDERSIZED TREES SHALL BE REJECTED.
- ALL SHRUBS TO BE UTILIZED FOR SCREENING SHALL BE 24" HEIGHT AT TIME OF PLANTING.
- ALL PLANTING BEDS CONTAINING SHRUBS, GROUND COVER, PERENNIALS, ANNUALS SHALL BE IN A PLANTING BED WITH 3" MIN. DEPTH OF MULCH AND A "V-CUT" EDGE.
- ALL TREES SHALL HAVE A MIN. 3 FT. DIA. AREA THAT HAS 3" MIN. DEPTH OF WOOD MULCH.
- ALL TURF AREAS SHALL BE SOODED UNLESS INDICATED ON THE PLANS.
- ANY DEVIATION FROM THE APPROVED LANDSCAPE PLAN SHALL REQUIRE WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT AND THE CITY OF LEE'S SUMMIT, PRIOR TO INSTALLATION.
- THE LANDSCAPE ARCHITECT AND OWNER SHALL APPROVE GRADES AND CONDITION OF SITE PRIOR TO SOODING OPERATIONS.
- INSTALLATION AND MAINTENANCE OF LANDSCAPING SHALL COMPLY WITH THE CITY OF LEE'S SUMMIT STANDARDS.
- ALL PLANT MATERIAL SHALL BE INSTALLED TO ALLOW A MINIMUM CLEARANCE BETWEEN PLANT AND ADJACENT PAVEMENT OF 1 FT. FOR PERENNIALS AND GROUND COVER AND 1.5 FT. FOR SHRUBS. A 2 FT. CLEARANCE (4 FEET FROM BACK OF CURB TO THE CENTER OF SHRUB) FOR CAR OVERHANG IS REQUIRED AT ALL PARKING ISLANDS AND PERIMETERS.
- AFTER COMPLETE INSTALLATION OF ALL PLANT MATERIAL AND SOD THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT THAT THE WORK IS COMPLETE AND READY FOR REVIEW. THE LANDSCAPE ARCHITECT SHALL REVIEW THE LANDSCAPE INSTALLATION TO DETERMINE COMPLIANCE WITH THE APPROVED PLANS. WHEN THE LANDSCAPE INSTALLATION MEETS THE REQUIREMENTS OF THE APPROVED PLAN, THE LANDSCAPE ARCHITECT SHALL PROVIDE A SIGNED AND SEALED LETTER TO THE CITY STATING THAT ALL LANDSCAPE PLANTINGS HAVE BEEN INSTALLED PER THE APPROVED PLAN.
- ALL EXTERIOR GROUND OR BUILDING MOUNTED EQUIPMENT (MECHANICAL, ELECTRICAL AND/OR TELEPHONE CABINETS), TRANSFORMERS, AIR CONDITIONING UNITS, ETC. SHALL BE SCREENED FROM PUBLIC VIEW BY INSTALLING FIVE SEA GREEN JUNIPERS EVENLY SPACED AROUND THE PERIMETER. FINAL LOCATION OF ANY EQUIPMENT SHALL BE DETERMINED AND VERIFIED WITH THE FINAL DESIGN AND PERMITTING OF THE PROJECT.
- ALL ROOFTOP EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW WITH AN ARCHITECTURAL TREATMENT COMPATIBLE WITH THE BUILDING AND INTEGRAL TO THE OVERALL APPEARANCE OF THE BUILDING.

PREPARED BY:

SCHLAGEL & ASSOCIATES, P.A.

TOWER PARK COMM. - LOT 7 - NORTH BLDG.
FINAL DEVELOPMENT PLANS

420 SW LONGVIEW LEE'S SUMMIT, MISSOURI

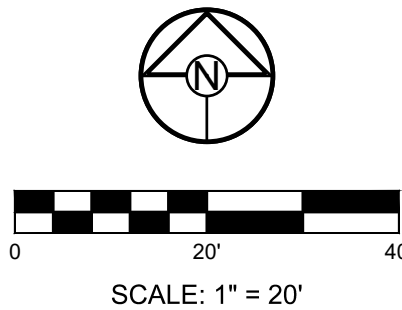
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LANDSCAPE
PLAN

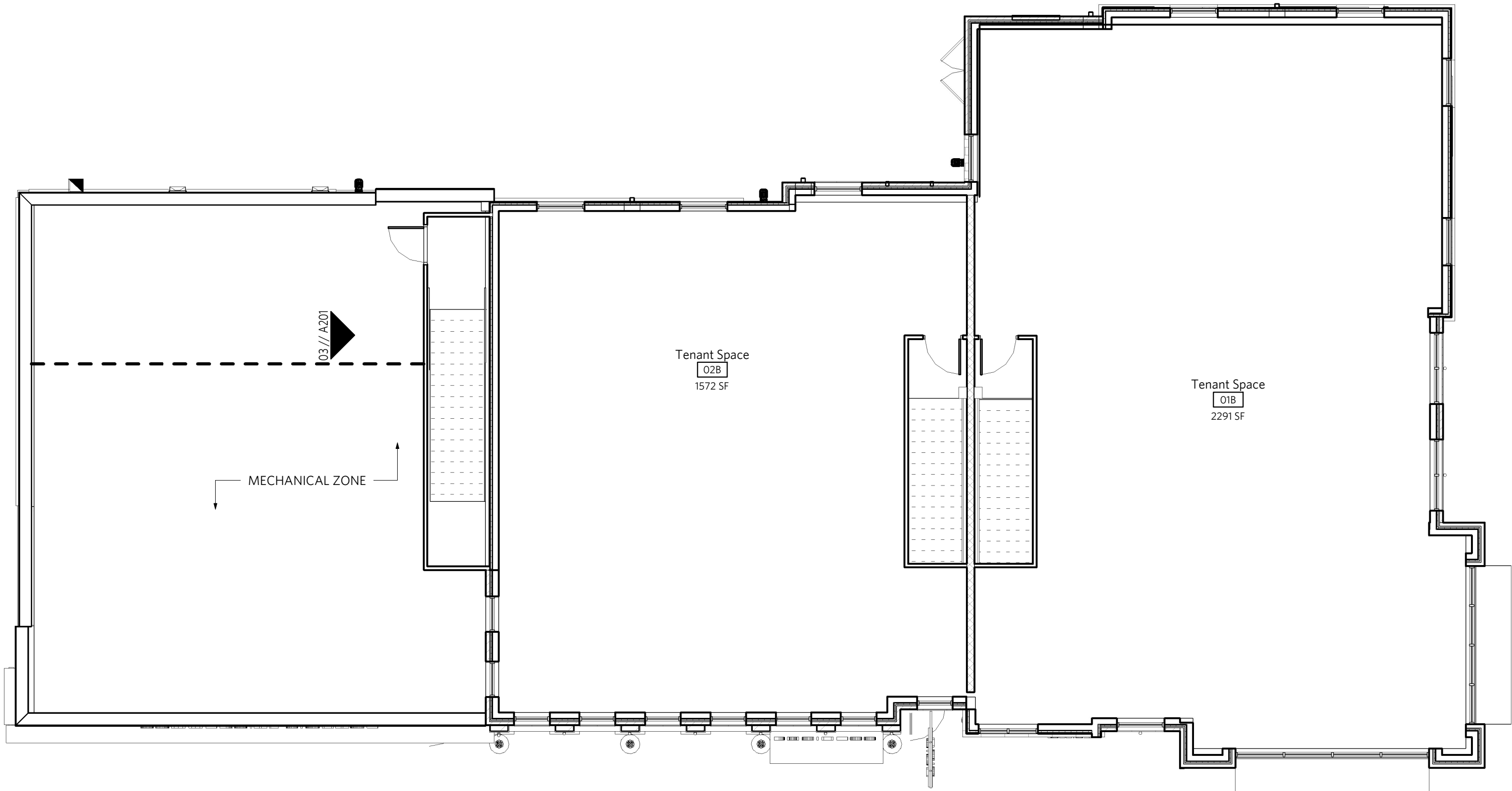
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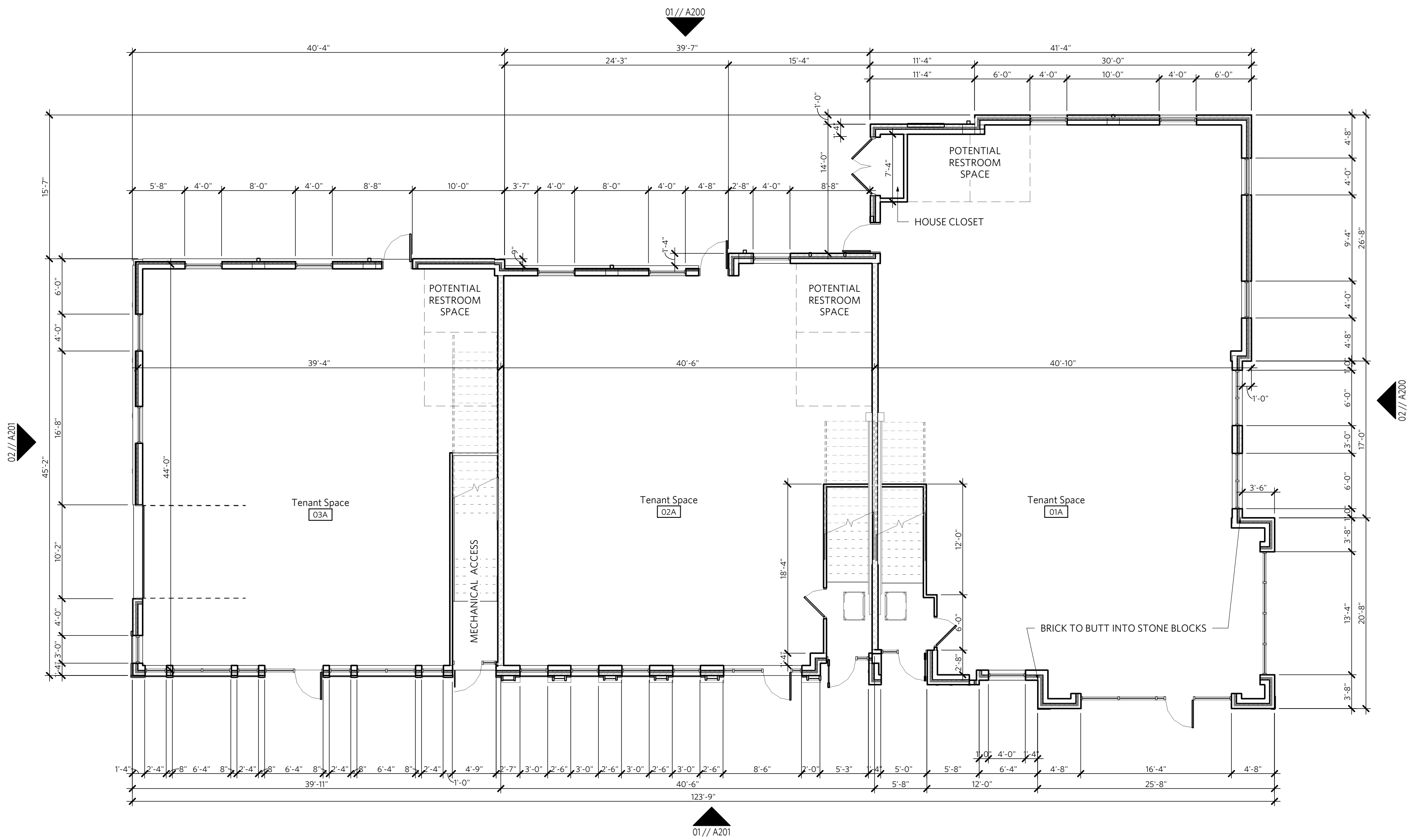


GENERAL NOTES-FLOOR PLAN

1. CONTRACTOR TO COORDINATE ALL MEP AND STRUCTURAL REQUIREMENTS.
2. CONTRACTOR IS RESPONSIBLE FOR COORDINATING AND PROVIDING ALL BLOCKING AS REQUIRED FOR KITCHEN EQUIPMENT, TENANT PROVIDED TV, LIGHT FIXTURES, RESTROOM ACCESSORIES, ETC.
3. CONFIRM DIMMERS AND SWITCHING WITH MEP.
4. PROVIDE CONDUIT AND PULL STRING FOR IT/AV/SECURITY WORK AS REQUIRED. COORDINATE WITH MEP & IT/AV/SECURITY.
5. WINDOWS ARE TO BE CENTERED UNLESS DIMENSIONED OTHERWISE.
6. EGRESS DOORS TO HAVE MINIMUM WIDTH 32" BETWEEN THE FACE OF DOOR AND THE STOP WHEN OPEN 90°.
7. ALL WALLS TO BE P WALL TYPE UNLESS TAGGED OTHERWISE.
8. ALL FLOOR PLAN DIMENSIONS ARE FROM FINISH FACE.



2 SECOND FLOOR PLAN
1/8" = 1'-0"



01 FIRST FLOOR PLAN
1/8" = 1'-0"

LOT 7, BUILDING 31

3140 SW LONGVIEW BLVD
LEES SUMMIT, MO 64081

REV	ISSUE	DATE
	PDP SUBMITTAL	08.06.2020

FLOOR PLANS

A101

GENERAL NOTES-EXTERIOR ELEVATION

- CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS AND REPORT TO ARCHITECT ANY CONFLICTS THAT MAY AFFECT DESIGN INTENTIONS SHOWN ON PROJECT DOCUMENTS.
- SEAL AROUND PERIMETER OF ALL EXTERIOR OPENINGS - AS RECOMMENDED BY THE SYSTEM MANUFACTURERS RECOMMENDATIONS. CONFIRM PENETRATION WATER MANAGEMENT SYSTEM AND LOCATION OF WEEPS, IF PRESENT, PRIOR TO APPLYING SEALANT. SEALANT TO MATCH ADJACENT FINISH.
- PROVIDE FLASHING AT ALL HEADERS (DOOR + WINDOW). RUN BENEATH WALL SYSTEM MINIMUM OF 8" ABOVE OPENING AND ATTACH WITH NON-GALVANIC MECHANICAL FASTENERS.
- REFER TO CIVIL FOR FILL AND GRADING REQUIREMENTS.
- MATCH OPENINGS @ BRICK VENEER TO MODULE. ADJUST TRIM ACCORDINGLY.
- COORDINATE CLADDING DETAILS WITH MANUFACTURER'S BEST PRACTICES. COORDINATE WITH ARCHITECT PRIOR TO PROCUREMENT AND INSTALLATION.
- USE PRESSURE TREATED LUMBER WHERE IN CONTACT WITH CONCRETE OR MASONRY.
- ROUGH OPENING HEIGHTS ARE FROM TOP OF SUB FLOOR, NOT FINISHED FLOOR.

EXTERIOR MATERIAL LEGEND

- A** PAINTED SYNTHETIC CLADDING
CONTRACTOR OPTION
USED TO RECREATE TRADITIONAL WOOD CLADDING
COLOR TBD
- B** FACE BRICK
AS MANUFACTURED BY ENDICOTT CLAY PRODUCTS
& DISTRIBUTED BY KC BRICK.
COLOR TO BE:
B1 - SARAH SANDS
B2 - BURGANDY SANDS
B3 - LIGHT GREY BLEND
B4 - SIENNA IRONSPOT
- C** ARCHITECTURAL MASONRY UNIT
CORDOVA STONE AS MANUFACTURED BY TRENWYTH.
C1 - ALABASTER - COMBO GROUNDFACE /
CHISEL FACE.
SIZE TO BE: 4"x16"x24"
C2 - BUFF - GROUND FACE
SIZE TO BE: 4"x16"x24"
C3 - MIDNIGHT - GROUND FACE
SIZE TO BE: 4"x8"x24"
- D** FIBER CEMENT PANELS
SIM TO NICHHA - ARCHITECTURAL BLOCK
COLORS BASED ON SHERWIN WILLIAMS
TAN - SW 7038 BALANCED BEIGE
BLACK - SW 7069 IRON ORE
- E** FIBER CEMENT SIDING
SIM TO NICHHA - SAVANAH SMOOTH
COLORS BASED ON SHERWIN WILLIAMS
BLACK - SW 7069 IRON ORE
GREY - SW 7017 DORIAN GRAY
GREEN - SW 6179 ARTICHOKE
- F** FIBER CEMENT SIDING
SIM TO NICHHA - VINTAGE WOOD
COLOR TO BE CEDAR
- G** CAST STONE DETAILING
COLOR SELECTED FROM SAMPLES
- H** METAL COPING
COLOR TO BE DARK BRONZE & PARCHMENT
NOTE: COLOR BASED ON STANDARD BERRIDGE
COLORS. ACTUAL COPING COLOR NAME MAY
DIFFER
- J** CANOPY SOFFIT
V-PANEL AS MANUFACTURED BY BERRIDGE.
COLOR TO BE CHARCOAL
(OR SIM)
- K** METAL PANEL
B-6 AS MANUFACTURED BY BERRIDGE.
COLOR TO BE MATTE BLACK
(OR SIM)
- NOTE:
ALL PRE-FINISHED METAL FLASHING, SHEET
METAL, & OTHER FLASHING REQ'D BETWEEN
MATERIAL CHANGES OR CANOPY OR ROOF
TRANSITIONS TO BE SIMILAR IN COLOR TO
BERRIDGE'S DARK BRONZE - UNO
- SUBMIT SAMPLES ON ALL EXTERIOR
MATERIALS LISTED ABOVE FOR ARCHITECTS
APPROVAL.



02 | DD - NORTH ELEVATION
1/4" = 1'-0"

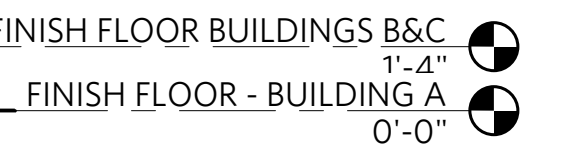


01 | DD - WEST ELEVATION
1/4" = 1'-0"

1. CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS AND REPORT TO ARCHITECT ANY CONFLICTS THAT MAY AFFECT DESIGN INTENTIONS SHOWN ON EXISTING DOCUMENTS.
2. SEAL AROUND PERIMETER OF ALL EXTERIOR OPENINGS - AS RECOMMENDED BY THE SYSTEM MANUFACTURER'S RECOMMENDATIONS. CONFIRM FENESTRATION WATER PENETRATION RESISTANCE SYSTEM (WPRS) RATIONALE, IF PRESENT, PRIOR TO APPLYING SEALANT. SEALANT TO MATCH ADJACENT FINISH.
3. PROVIDE FLASHING AT ALL HEADERS (DOOR + WINDOW). RUN BENEATH WALL TO PROVIDE MINIMUM OF 2" ABOVE OPENING AND ATTACH WITH NON-VOLCANIC MECHANICAL FASTENERS.
4. REFER TO CIVIL FOR FILL AND GRADING REQUIREMENTS.
5. PROVIDE FINISHES TO BE IDENTICAL TO EXISTING TRIM ACCORDINGLY.
6. COORDINATE CLADDING DETAILS WITH MANUFACTURER'S BEST PRACTICES.
7. COORDINATE WITH ARCHITECT PRIOR TO PROCUREMENT AND INSTALLATION. MAINTAIN PRESSURE TIGHT LUMBER WHERE IN CONTACT WITH CONCRETE OR MASONRY.
8. ROUGH OPENING HEIGHTS ARE FROM TOP OF SUB FLOOR, NOT FINISHED FLOOR.



03 | Elevation - Mechanical Access Stair
1/4" = 1'-0"



02 | SOUTH ELEVATION
1/4" = 1'-0"



01 | EAST ELEVATION
1/4" = 1'-0"

REV	ISSUE	DATE
	PDP SUBMITTAL	08.06.2020



LOT 7, BUILDING 31

3140 SW LONGVIEW BLVD
LEE'S SUMMIT, MO 64081

REV	ISSUE	DATE
PDP	SUBMITTAL	08.06.2020

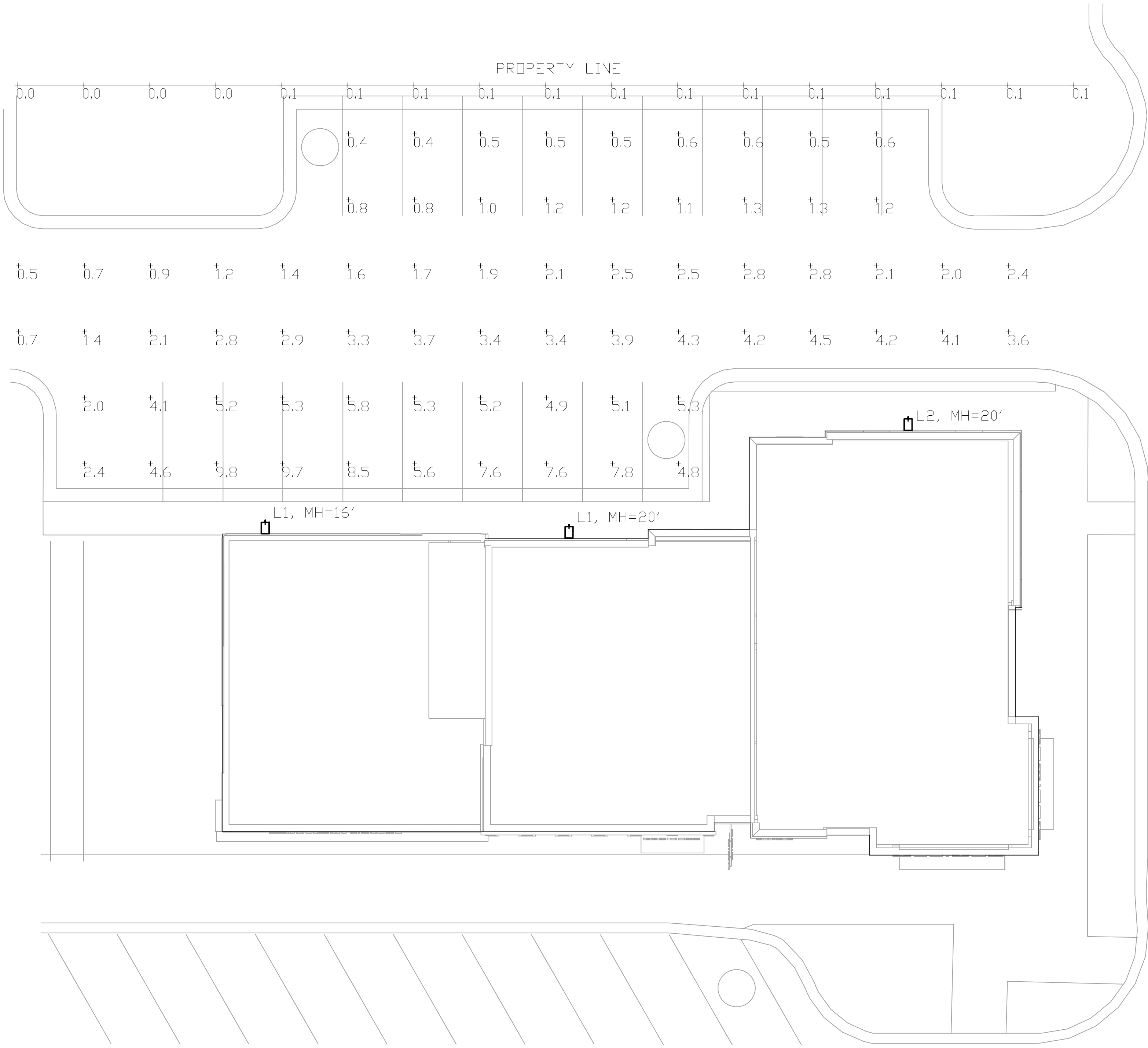
EXTERIOR IMAGERY

A210

Luminaire Schedule			
Symbol	Label	Qty	Label
	L1	2	ASW2_250S_SR4W_HS
	L2	1	ASW2_250M_SR3_HS

MH = MOUNTING HEIGHT. SEE PLAN.

Calculation Summary						
Label	Units	Avg	Max	Min	Max/Min	
Parking_Lot_1	Fc	3.04	9.8	0.4	24.50	
Property_Line	Fc	0.10	0.1	0.0	N.A.	




SITE LIGHTING PLAN

SCALE : 3/32" = 1'-0"

1





ASW1 LED
LED Wall Luminaire

Control System	Dimmer
Power	100W
Life	50,000 hours

Introduction

The *Aeris*™ family combines sleek, fluid forms and crisp edges into a striking architectural aesthetic that can be echoed throughout entire sites.

The ASW1 LED integrates the latest LED technology with the designer aesthetic of the *Aeris*™ family for stylish, high-performance illumination that lasts. The ASW1 LED is ideal for replacing 100-400W metal halide in area lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.

Specifications

Width: 15" (381mm)

Depth: 13.3/4" (340mm)

Height: 9.1/4" (235mm)

Weight (max): 5.6 lbs (2.5 kg)

Ordering Information

EXAMPLE: ASW1 LED 42C 700 40K SR4 MVOLT DOBTXD

Code	Size	Color Temp	Beam Spread	Beam Angle	Mounting	Options
ASW1 LED	42C	4200K (warm white)	40K	40°	SR4	DOBTXD

Control System

Shipped installed:

- PE: Photocell w/ dusk-to-dawn
- BLD: 0-10V dimming
- BLD: 0-10V dimming
- BLD: 0-10V dimming

Shipped separately:

- PE: Photocell w/ dusk-to-dawn
- BLD: 0-10V dimming
- BLD: 0-10V dimming
- BLD: 0-10V dimming

Drilling

Accessories

- ASW1-LED-00000: ASW1 LED luminaire
- ASW1-LED-00001: ASW1 LED luminaire
- ASW1-LED-00002: ASW1 LED luminaire
- ASW1-LED-00003: ASW1 LED luminaire

Performance Data

Lumen Output

Color Temp	Power (W)	Beam Angle	Beam Spread	Beam Angle	Beam Spread
40K	70W	40°	40°	40°	40°

Lumen Ambient Temperature (LAT) Multipliers

LAT	Multiplier
0-10°C	1.00
10-20°C	0.95
20-30°C	0.90
30-40°C	0.85
40-50°C	0.80

Projected LED Lumen Maintenance

Hours	LM-79 LM-80	LM-79 LM-80	LM-79 LM-80
10,000	0.95	0.90	0.85
20,000	0.90	0.85	0.80
30,000	0.85	0.80	0.75
40,000	0.80	0.75	0.70
50,000	0.75	0.70	0.65

Photometric Diagram

To see complete photometric reports or download, see this for the product, visit [Lithonia Lighting's LM79 LM80 Reports](#).

Features & Specifications

INTENDED USE: The ASW1 LED is a high-performance, high-efficiency lighting fixture that is ideally suited for area lighting applications in commercial and industrial settings.

CONSTRUCTION: The ASW1 LED is constructed from die-cast aluminum housing. The die-cast aluminum housing is powder coated in a matte black finish. The die-cast aluminum housing is powder coated in a matte black finish. The die-cast aluminum housing is powder coated in a matte black finish.

FINISH: The ASW1 LED is finished in a matte black finish. The matte black finish is a powder coat finish. The powder coat finish is a matte black finish. The powder coat finish is a matte black finish.

OPTICS: The ASW1 LED is equipped with a clear lens. The clear lens is made of polycarbonate. The polycarbonate lens is clear. The polycarbonate lens is clear. The polycarbonate lens is clear.

ELECTRICAL: The ASW1 LED is equipped with a 70W LED module. The 70W LED module is a surface-mount module. The surface-mount module is a 70W LED module. The surface-mount module is a 70W LED module.

INSTALLATION: The ASW1 LED is installed using the mounting bracket. The mounting bracket is made of steel. The steel mounting bracket is made of steel. The steel mounting bracket is made of steel.

WARRANTY: The ASW1 LED is covered by a 5-year warranty. The 5-year warranty is a limited warranty. The limited warranty is a 5-year warranty. The limited warranty is a 5-year warranty.

