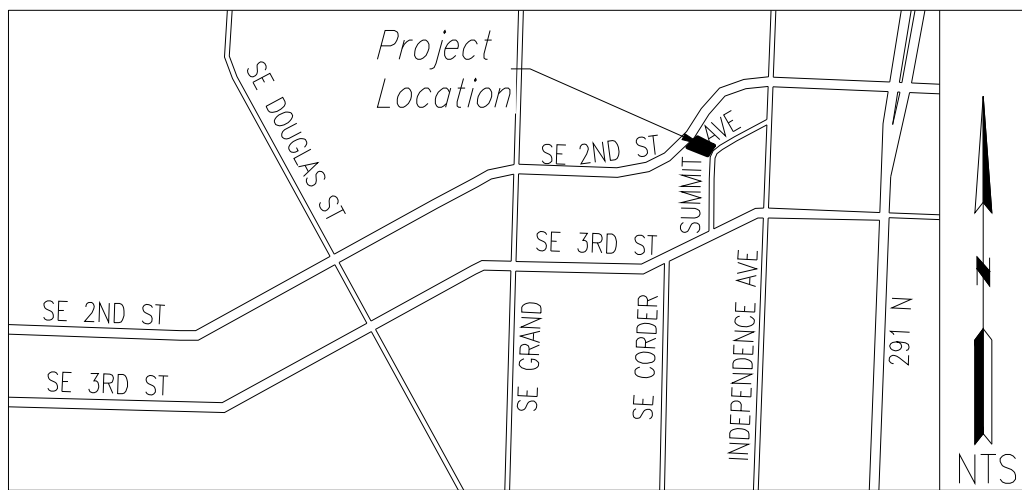


INDEX
CIVIL SUBMITTAL

1. FINAL DEVELOPMENT PLAN
2. LANDSCAPE PLAN
3. MASTER DRAINAGE PLAN
4. EROSION CONTROL PLAN AND FINAL RESTORATION PLAN
5. FINAL DEVELOPMENT DETAIL SHEET

VICINITY MAP



LEGAL DESCRIPTION OF RECORD:

All of Lots 18, 19, 20, 21 and 22, Block 2, Lowe's Addition, a subdivision in Lee's Summit, Jackson County, Missouri, according to the recorded plat thereof.

SURVEYORS DESCRIPTION:

All of Lots 18, 19, 20, 21 and 22, Block 2, Lowe's Addition, a subdivision in Lee's Summit, Jackson County, Missouri, according to the recorded plat thereof, more particularly described as:
Beginning of the Southwest corner of said Lot 22, said point also being on the East line of Lot 3, Westbrooke Business Center, a subdivision of record in said city; thence South 87 degrees 58 minutes 32 seconds East, along the South line of said Lot 22, a distance of 210.51 feet, to the Southeast corner of said Lot 22; thence North 02 degrees 01 minutes 28 seconds East, along the East line of said Lots 22, 21, 20 & 19, a distance of 89.89 feet; thence continuing along the East line of said Lots 19 & 18, along a curve to the right (said curve having a radius of 166.90 feet) and arc distance of 34.55 feet, to the Northeast corner of said Lot 18, said point also being the Southeast corner of Lot 17A of the Replat of Lowe's Addition, Lots 15, 16 & 17, a subdivision of record in said city; thence North 75 degrees 59 minutes 44 seconds West, along the North line of said Lot 18, said line also being the South line of said Lot 17A, a distance of 218.39 feet, to the Northwest corner of said Lot 18, said point also being the Southwest corner of said Lot 17A, said point also being on the East line of said Lot 3, Westbrooke Business Center; thence South 02 degrees 10 minutes 22 seconds West, along the West line of said Lots 18, 19, 20, 21 & 22, said line also being the East line of said Lot 3, a distance of 169.52 feet, to the Point of Beginning.

SITE INFORMATION:

PROPERTY DESCRIPTION: LOTS 18-22, BLOCK 2 LOWE'S ADDITION
(PROPOSED SUMMIT AVENUE ADDITION, LOTS 1 AND 2)
SITE ADDRESS: 114 AND 200 SE SUMMIT AVENUE
ZONED: RP2
PROPERTY AREA: 31,007.9 SF (0.71 ACRES)
NUMBER OF LOTS: 2
BUILDING AREA/UNIT: 1242 SF (GFA)
DENSITY: 2.82/AC
ANTICIPATED USE: DUPLEX (SHOWN) OR SINGLE FAMILY
ANTICIPATED CONSTRUCTION: FALL 2019 (PENDING SALE OF LOTS)

NOTES:

1. BUILDING AREA AND DENSITY INDICATED IS BASED ON THE FOOTPRINT SHOWN. THIS MAY VARY BASED ON THE ACTUAL FOOTPRINT AND BUILDING PLAN SUBMITTED FOR BUILDING PERMIT BY BUILDER.
2. SLAB/FINISH FLOOR ELEVATIONS ARE SURROUNDING GRADES SHALL BE ADHERED TO WHEN PLOT PLANS FOR BUILDING PERMIT ARE PREPARED BY BUILDER.
3. A SIX (6) FOOT WIDE SIDEWALK IS SHOWN FROM THE EDGE OF THE EXISTING PAVEMENT. A FEE FOR THE COST OF THE SIDEWALK CONSTRUCTION WILL BE REQUIRED PRIOR TO THE RELEASE OF OCCUPANCY FOR ANY OF THE UNITS.
4. STRUCTURE ROOF DRAINAGE TO BE PIPED TO DISCHARGE TO THE WEST DRAINAGE SWALE.
5. FOOTPRINT SHOWN IS FOR POTENTIAL LAYOUT ONLY. ACTUAL FOOTPRINT TO BE PROVIDED AT PERMIT STAGE PER PLOTPLAN PREPARED.

PLANS PREPARED FOR
GEORGE AND PEGGY NIE
30 NE SHOREVIEW DRIVE
LEE'S SUMMIT, MO 64064
CONTACT - PEGGY NIE
816-547-6408

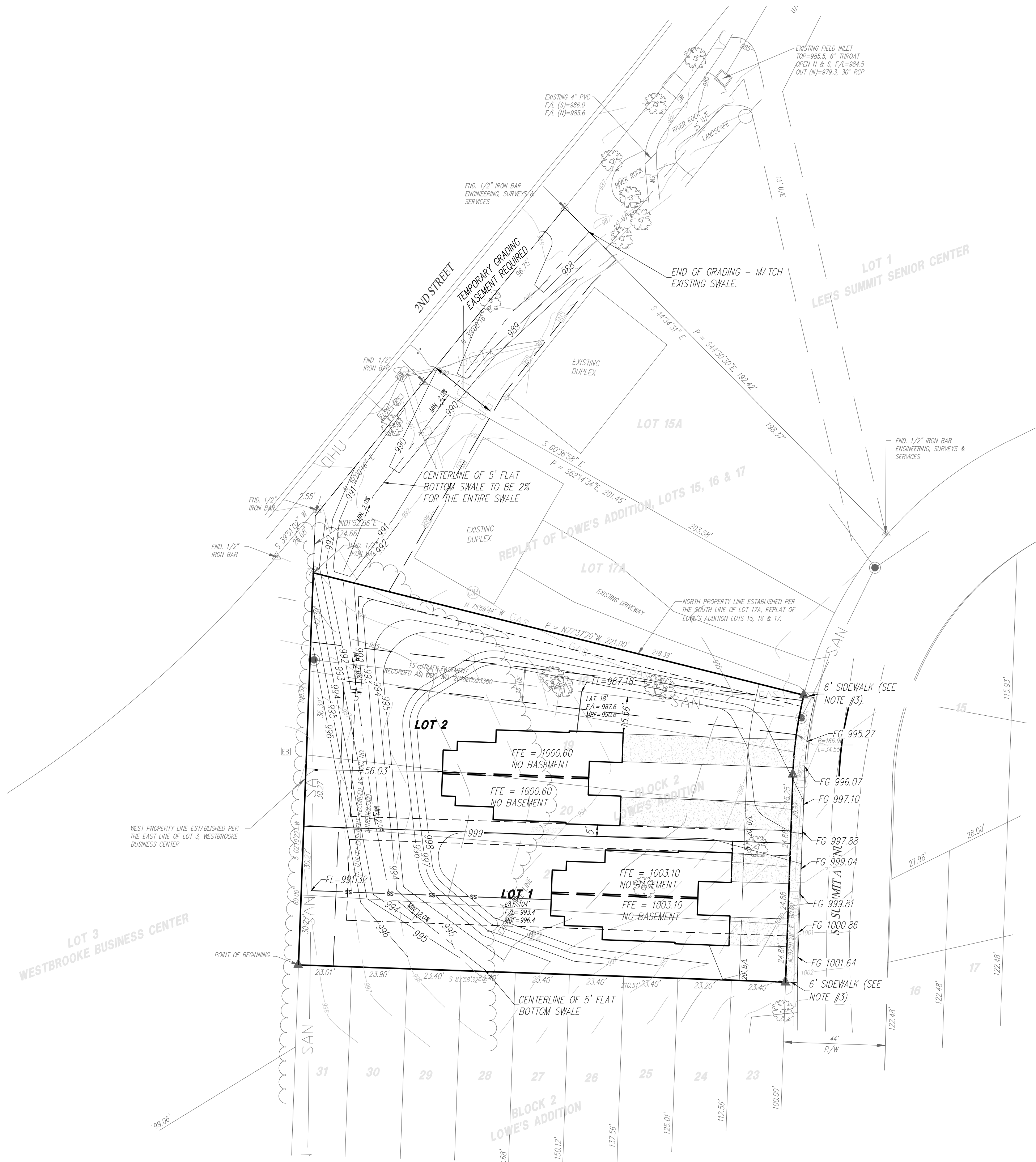
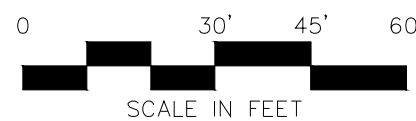
PLANS PREPARED BY
HG CONSULT
11010 HASKELL ST. #210,
KANSAS CITY, KS 66109
CONTACT: KEVIN STERRETT
816-703-7098

SUMMIT AVENUE ADDITION, LOTS 1 AND 2

REPLAT OF LOWES ADDITION, LOTS 18-22, BLOCK 2

LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

MASTER DRAINAGE PLAN



DATE	REVISION	NO.	BY	CHK/APP
7/15/19	CITY COMMENTS	7/17/19		
6/19/20	CITY COMMENTS	10/21/19		



07/16/2020

R. KEVIN STERRETT, NO. E-26440

Consult Inc engineers planners

CORPORATE LICENSE No. E200005873

FINAL DEVELOPMENT PLAN

SUMMIT AVENUE ADDITION, LOTS 1 AND 2
(REPLAT OF LOWE'S ADDITION LOTS
18, 19, 20, 21 & 22, BLOCK 2)

LEE'S SUMMIT - JACKSON COUNTY - MISSOURI

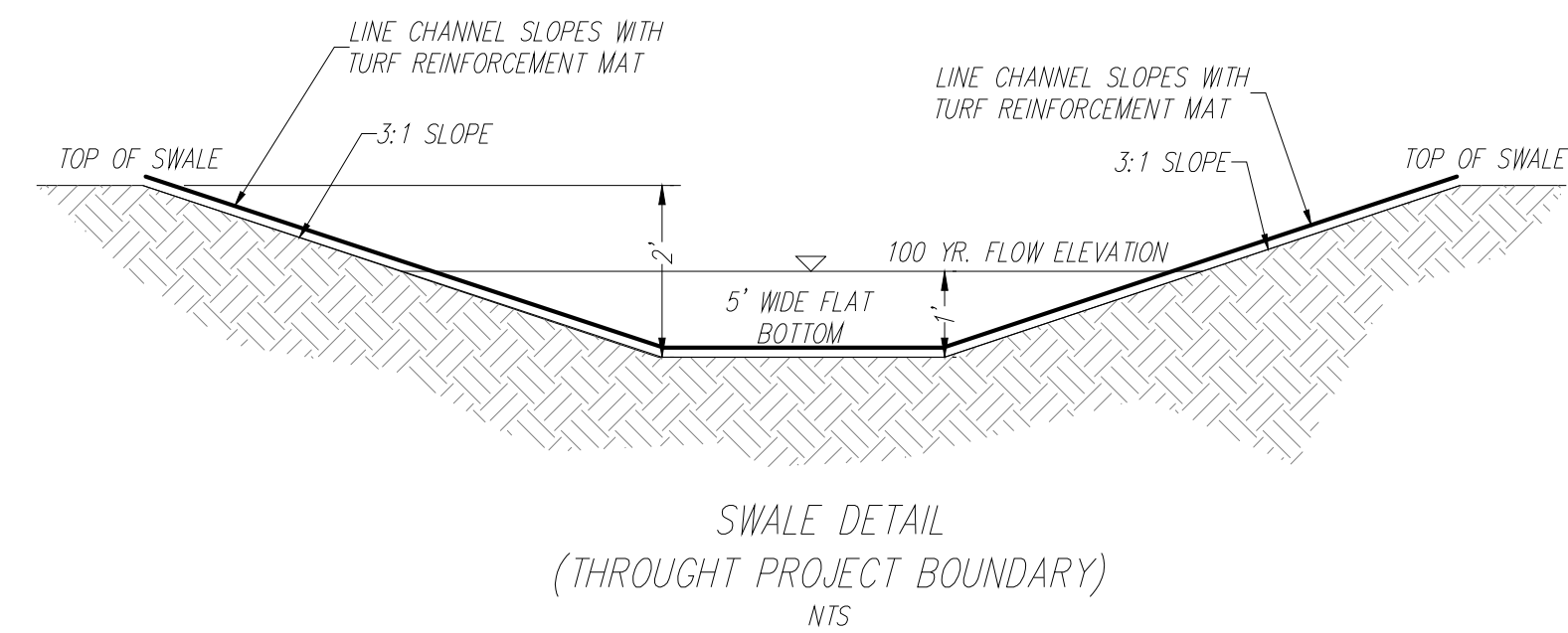
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DRAWING NO.
19017

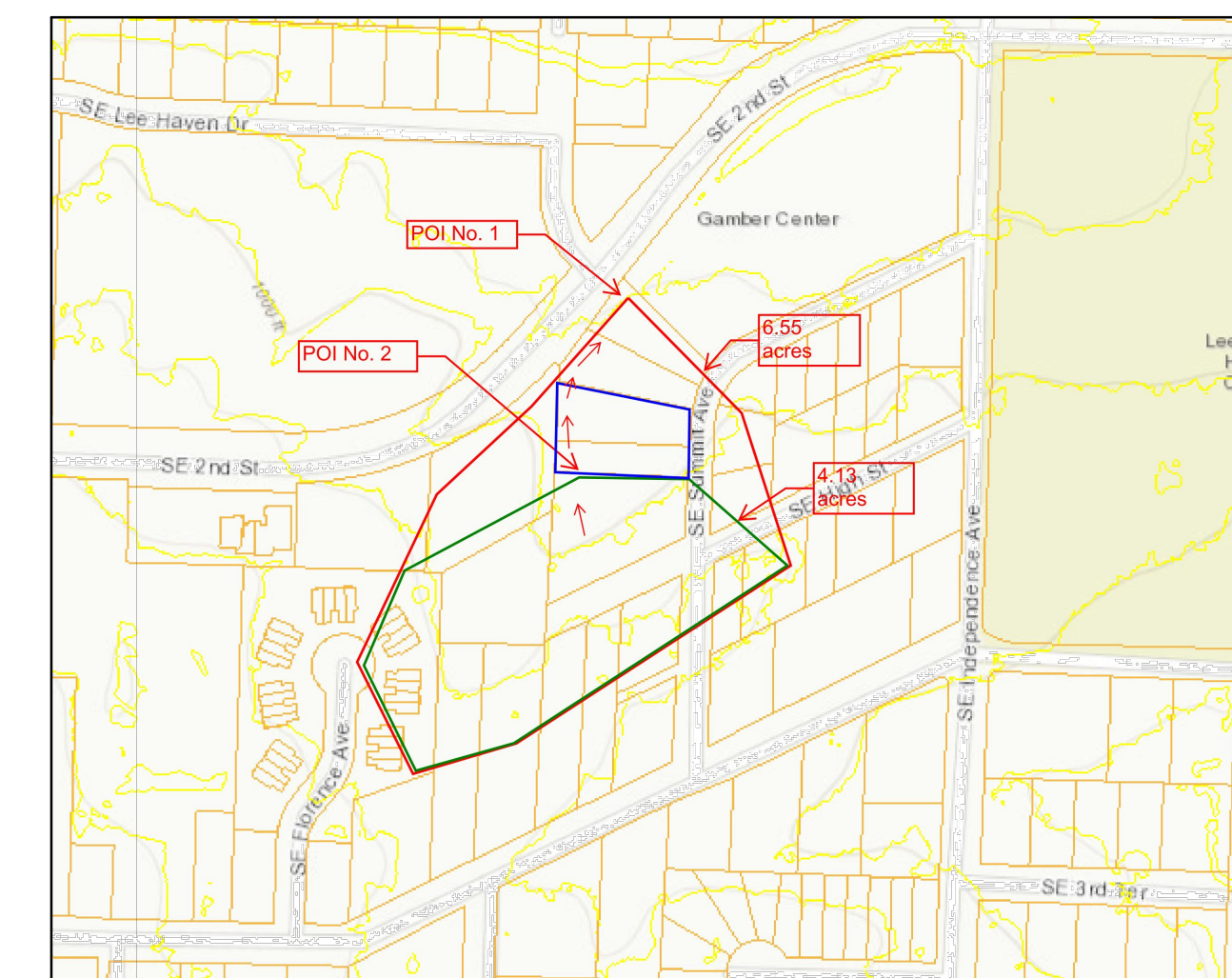
DATE
MARCH 14, 2019

JOB NO.
19017

1 SHEET OF 5



- BOTTOM OF SWALE TO BE 5' IN WIDTH
- CHANNEL SLOPE=2%
- MBOE OF BUILDING FOR LOT 1 = 1003.10 (Slab on Grade)
- MBOE OF BUILDING FOR LOT 2 = 1000.60 (Slab on Grade)

DRAINAGE AREA MAP
NTS

DATE	REVISION	NO.	BY	CX/APPR
7/15/19	CITY COMMENTS 7/12/19			
10/24/19	CITY COMMENTS 10/27/19			



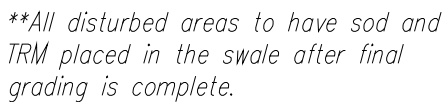
**Consult
Inc** **engineers
planners**
CORPORATE LICENSE No. E2010005873

MASTER DRAINAGE PLAN

SUMMIT AVENUE ADDITION, LOTS 1 AND 2
(REPLAT OF LOWE'S ADDITION LOTS
18, 19, 20, 21 & 22, BLOCK 2)
LEE'S SUMMIT - JACKSON COUNTY - MISSOURI

	<i>X-REF NO.</i> XXXXXX
	<i>DRAWING NO.</i> 19017
	<i>DATE</i> MARCH 14, 2019
	<i>JOB NO.</i> 19017

3 SHEET OF 5



The plan view shows a rectangular structure labeled "PROPOSED" on the left and "EXISTING" on the right. The structure is divided into two sections: "SF" (Silt Fence) on the left and "Grades" on the right. The "SF" section is labeled "979" and the "Grades" section is labeled "960". The structure is labeled "Proposed Silt Fence" and "Inlet protection".

Contractor shall install, repair and add stone to the stone construction wherever it becomes saturated with mud to insure that functions as it was intended. The contractor shall be responsible to protect in drain and seeded with a temporary seed mix. All erosion and sediment control devices shall be inspected, cleaned regularly in accordance with the Storm Water Pollution Prevention Plan.

Temporary sediment control measures (silt fence, construction enclosure, etc.) shall be maintained until all construction is completed and stabilized.

A complete plan for maintenance of control devices is contained within the Storm Water Pollution Prevention Plan which is part of the site work specifications.

Oil and grease shall be minimized by spraying water on dry areas of the site, the use of oils and other petroleum based or toxic liquids for dust suppression is strictly prohibited. If the majority of mud or dirt is not removed from exiting traffic, contractor shall establish a wash area for exiting vehicles. The wash area shall be located down-drain and shall be intercepted and trapped before wash water is allowed to be discharged offsite. rinse-off will not be allowed outside the project construction limits.

After the project is completed, regularly, reseed necessary to maintain good vegetative cover. Provide mulch cover to maintain a maximum depth of six inches, and remove trash as needed.

Inspect and repair the collection system (i.e. catch basins, piping, sewers, rap, etc.) as needed.

All existing structures, fencing, trees, etc., within the construction area shall be removed and disposed of off site per state and local ordinances. Any burning on site shall be in accordance with local ordinances.

All wash water (concrete truck, wheel cleaning, equipment cleaning, etc.) shall be disposed of in a manner that prevents contact with these materials and storm water that it is discharged from the site.

Control all sediment, silt, mud, or tracked from vehicles onto roadways or into storm drains must be removed immediately.

Contractor shall remove all temporary erosion control devices/ditches and dispose of per local ordinance once the site has been stabilized. Contractor shall refer to the grading plan for final grades.

Land disturbing activities shall not commence until approval to do so has been received by the local authority.

The general contractor shall strictly adhere to the SWPPP during construction operations.

No land clearing or grading shall begin until all erosion control measures have been installed.

Exposed areas shall be seeded as specified within 14 days of final grading.

Should construction stop for longer than 14 days, the site shall be seeded as specified.

After every significant runoff producing rainfall event of 1/2" or greater and at least once a week.

A. Fresh detention basin system for sediment accumulation, erosion, and trash accumulation, vegetated cover, and general condition.

B. Check after the outlet for erosion and sediment.

This plan shall not be considered all inclusive as the general contractor shall take all necessary precautions to prevent soil erosion from leaving the site.

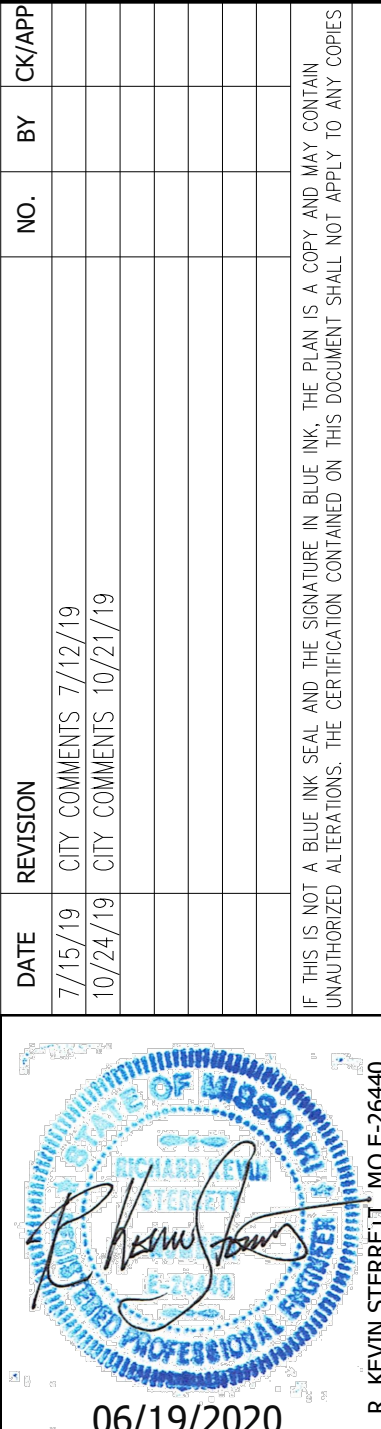
C. Check for erosion and sediment at all storm and local water courses that apply.

Additional erosion control devices and measures shall be installed as deemed necessary by site inspection.

If installation of storm drainage system should be interrupted by weather or nightfall, the plan shall be followed.

General Contractor shall be responsible to take whatever means necessary to establish permanent soil stabilization.

Additional erosion and sediment control methods and devices may be required as directed by the City or MWDNR.



EROSION CONTROL AND FINAL RESTORATION PLAN

SUMMIT AVENUE ADDITION, LOTS 1 AND 2
(REPLAT OF LOWE'S ADDITION LOTS
18, 19, 20, 21 & 22; BLOCK 2)

LEE'S SUMMIT - JACKSON COUNTY - MISSOURI

X-REF NO.	
XXXXXX	
DRAWING NO.	
19017	
DATE	
MARCH 14, 2019	
JOB NO.	
19017	
4	SHEET OF 5

