

NE 1/4 Sec. 31, Twp. 48 N. Rge. 31 W.

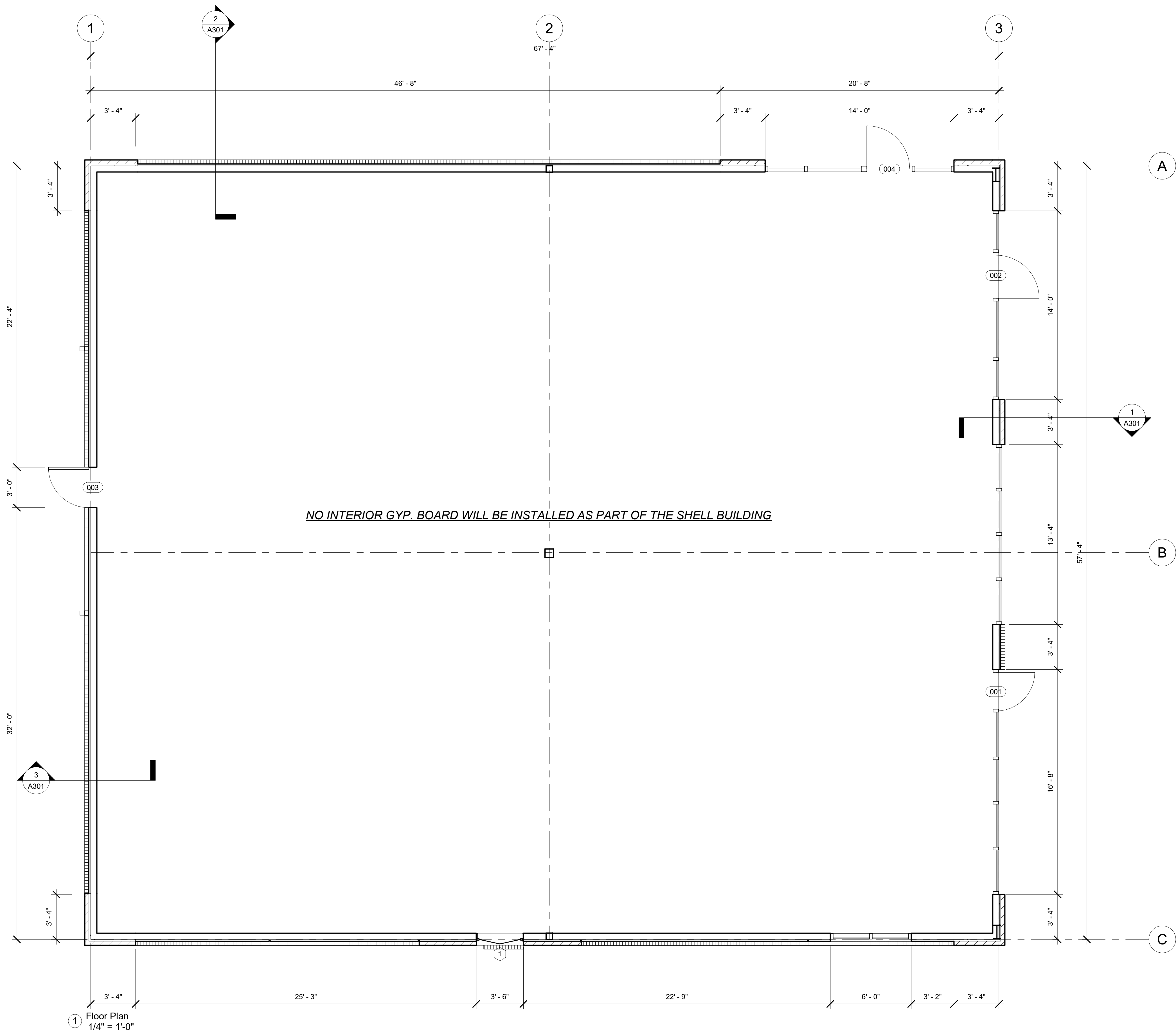
(IN FEET)
1 inch = 60 ft.

BY	REVISION	DATE
RC/ACA	FOR REVIEW	7-10-20

AGC Engineers, INC.

www.agcengineers.com

<p style="text-align: center;"><i>OAKVIEW - LOTS 2, 3 AND 4</i></p> <p style="text-align: center;"><i>LEE'S SUMMIT, JACKSON COUNTY, MISSOURI</i></p>	
<p>PRELIMINARY DEVELOPMENT PLANS</p> <p style="text-align: center;">SITE PLAN</p>	C1.0



BUILDING CODE ANALYSIS

APPLICABLE CODES
2018 INTERNATIONAL BUILDING CODE
2018 INTERNATIONAL MECHANICAL CODE
2018 INTERNATIONAL PLUMBING CODE
2018 INTERNATIONAL FIRE CODE
2018 INTERNATIONAL ENERGY CONSERVATION CODE
2017 NATIONAL ELECTRICAL CODE
2009 ICC/ANSI A117.1

SUMMARY OF WORK
NEW SHELL BUILDING FOR PANERA BREAD. THIS APPLICATION DOES NOT REQUEST A C.O., JUST A FINAL INSPECTION. SEPARATE TENANT FINISH PLANS WILL BE SUBMITTED AT A LATER DATE FOR INTERIOR BUILD OUT.

OCCUPANCY CLASSIFICATION
A-3 (RESTAURANT)

TYPE OF CONSTRUCTION
V-B, SPRINKLED

FLOOR AREA
TOTAL AREA: 3,860 SQ.FT.

OCCUPANT LOAD
TO BE DETERMINED

EXITS REQUIRED
TO BE DETERMINED

EXITS PROVIDED
FOUR

TOILET FACILITIES REQUIRED
TO BE DETERMINED

TOILET FACILITIES PROVIDED
NONE WITH SHELL

DEFERRED SUBMITTALS TO BE COMPLETED BY OTHERS
FIRE SPRINKLER PLANS (PLANS BY SUBCONTRACTOR)
FIRE ALARM PLANS (PLANS BY SUBCONTRACTOR)
ROOF TRUSS PLANS (PLANS BY SUBCONTRACTOR)

EGRESS DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT. (THUMBTURN IS ACCEPTABLE)

PREMISES SHALL BE IDENTIFIED ON BOTH FRONT AND REAR DOORS, WITH NUMBERS AND/OR LETTERS. EACH CHARACTER SHALL BE NOT LESS THAN 6" HIGH WITH A MINIMUM STROKE WIDTH OF 0.5 INCHES. THEY SHOULD BE INSTALLED ON A CONTRASTING BACKGROUND AND BE PLAINLY LEGIBLE AND VISIBLE FROM THE STREE OR ROAD FRONTING THE PROPERTY. ADDRESS NUMBERS AND/OR LETTERS SHALL BE ARABIC NUMBERS OR ALPHABETIC LETTERS.

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NEW BUILDING FOR

DOUGLAS ROAD CENTER Lot 2

NE VICTORIA DRIVE & NE DOUGLAS ST.

J. Jeffrey Schroeder Mo. License A-4226
Herman Scharhag Co., Arch. Firm, of Authority A-22

No.	Description	Date
Revision Schedule		

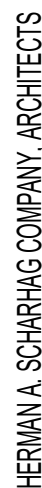
Floor Plan

Project number	2119
Date	05.04.2020

A101

Scale	1/4" = 1'-0"
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7/9/2020 11:39:32 AM



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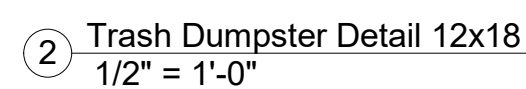
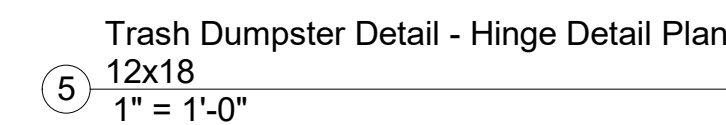
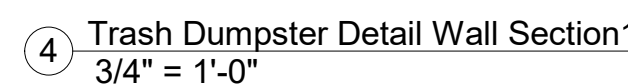
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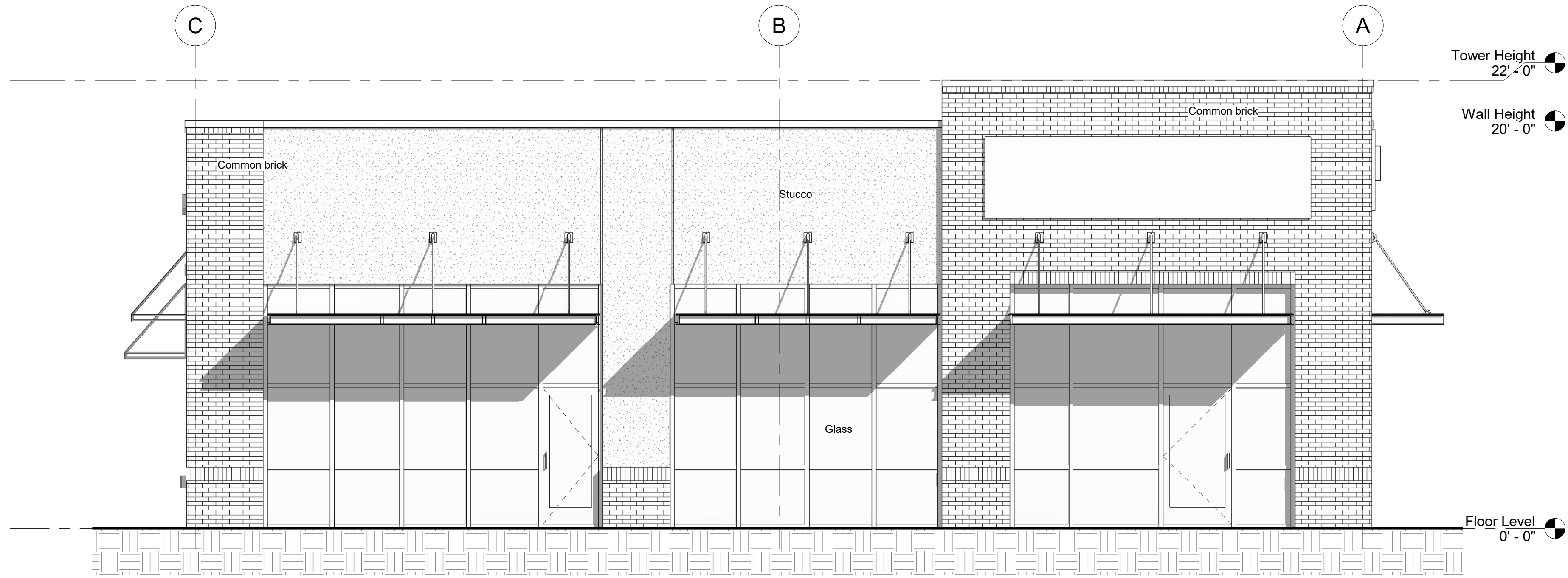
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Date 05.04.2020

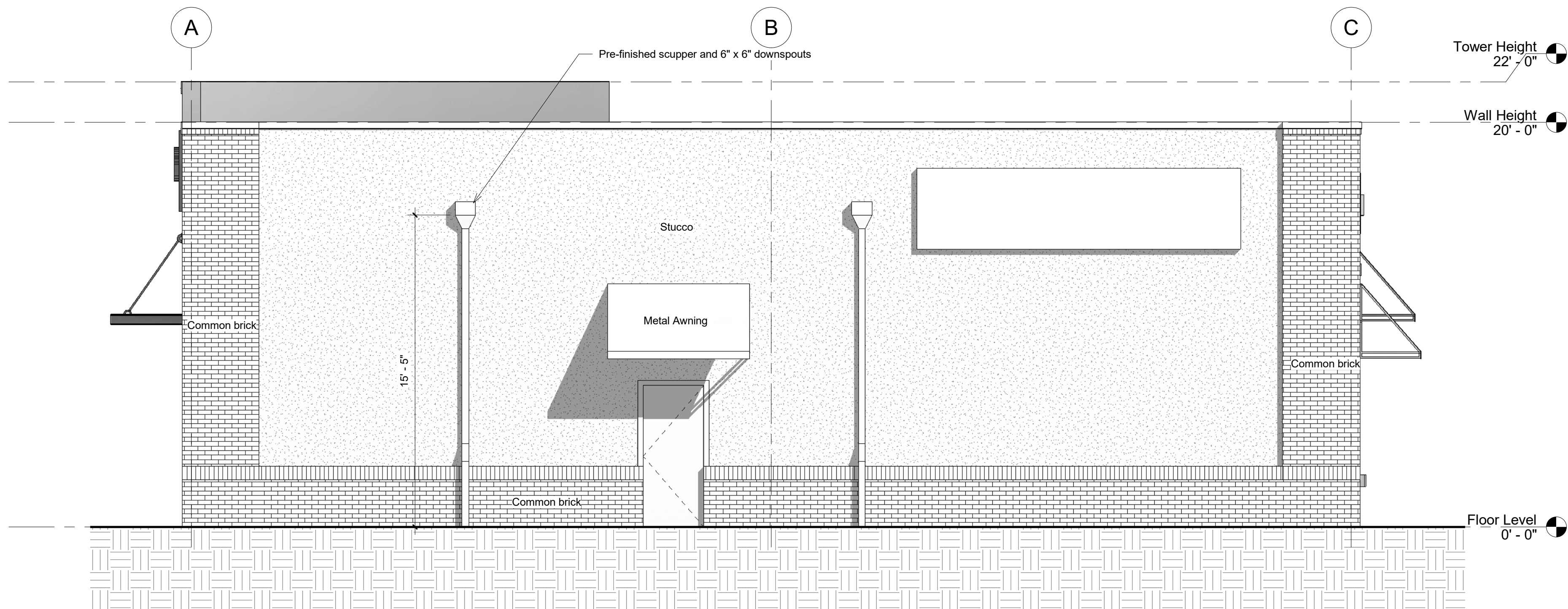
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9/2020 11:39:33 AM





① East
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④ West
1/4" = 1'-0"

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No.	Description	Date
Revision Schedule		

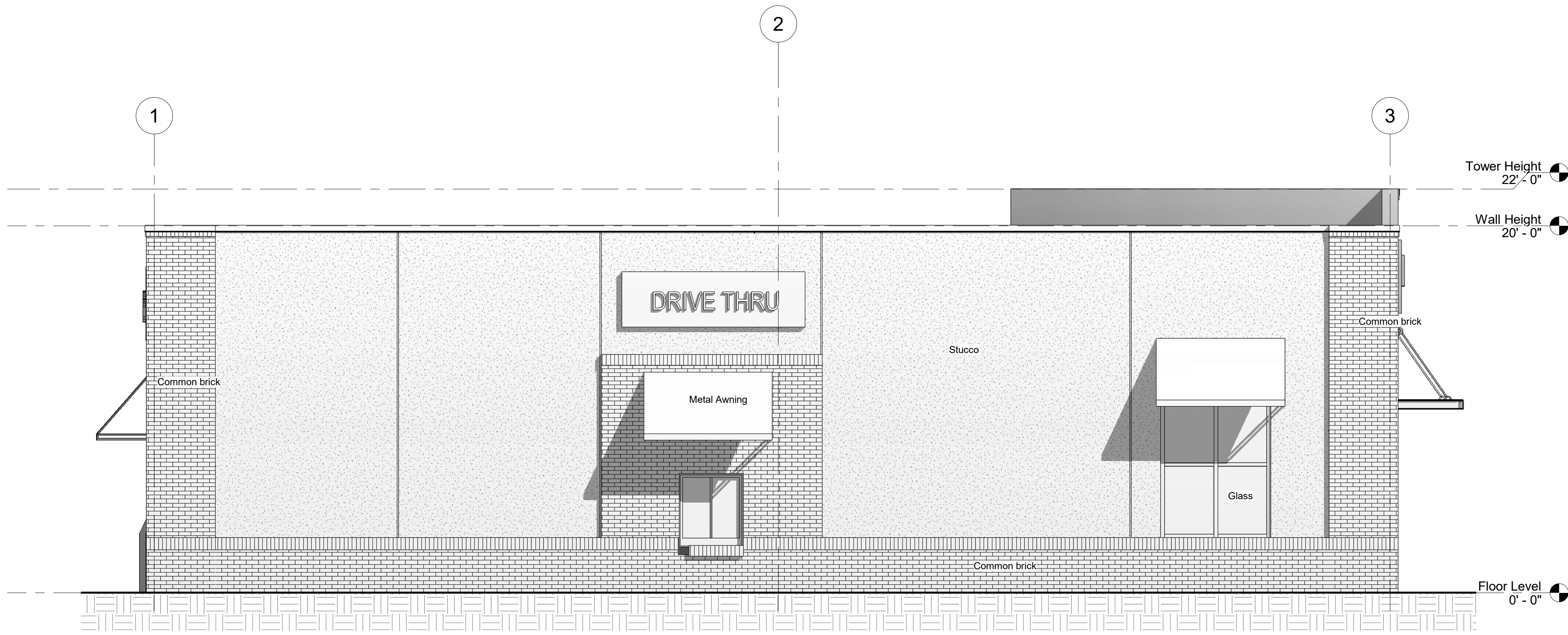
Elevations

Project number 2119
Date 05.04.2020

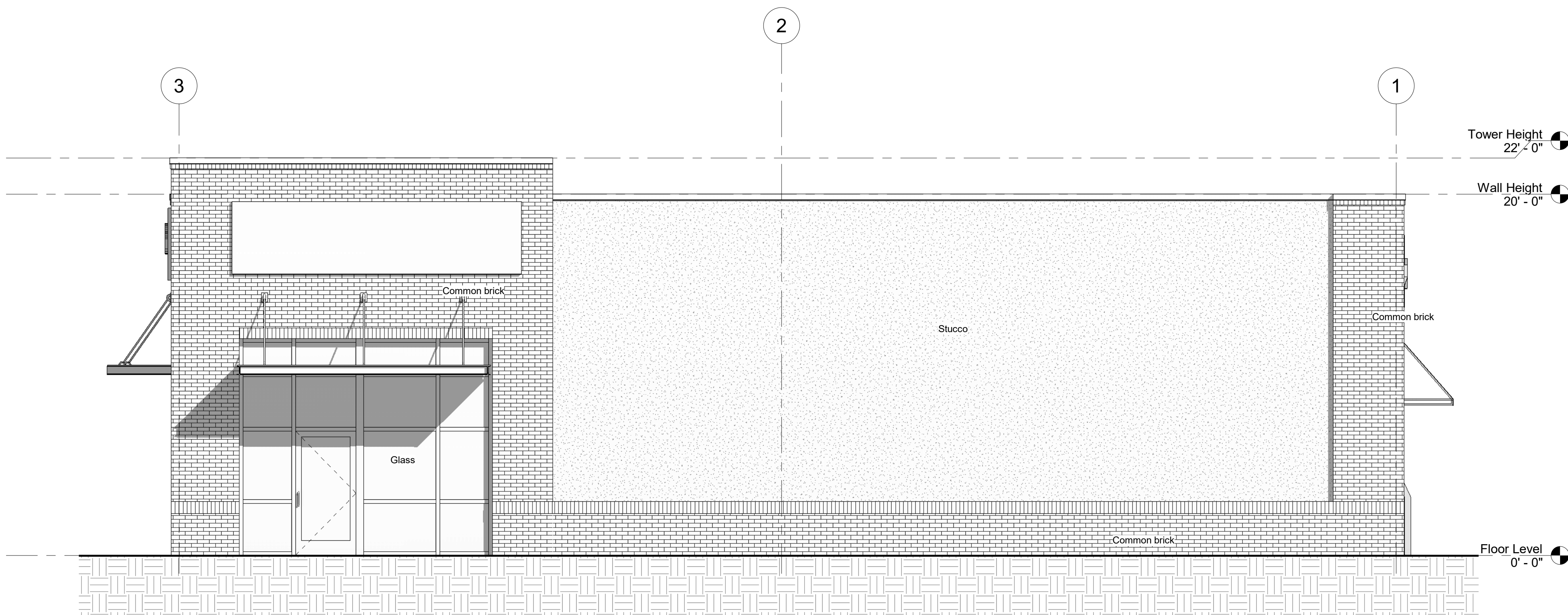
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Scale 1/4" = 1'-0"

7/9/2020 11:39:34 AM



① South
1/4" = 1'-0"



② North
1/4" = 1'-0"

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No.	Description	Date
Revision Schedule		

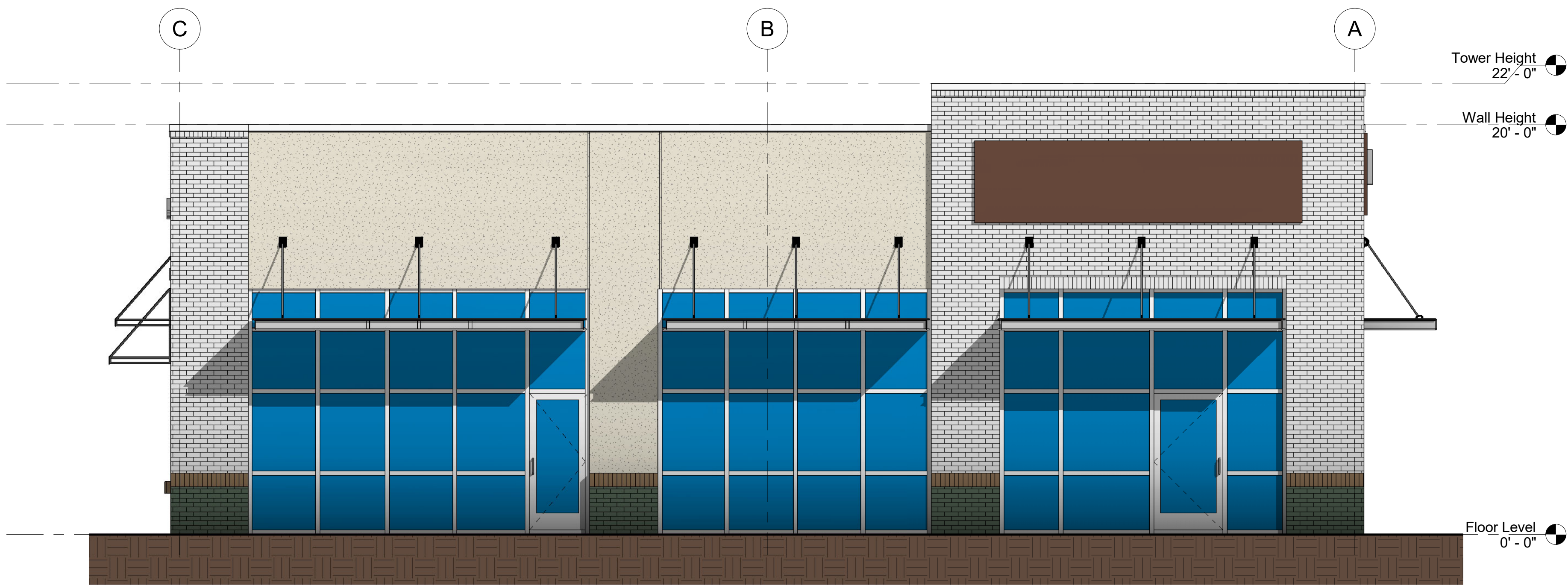
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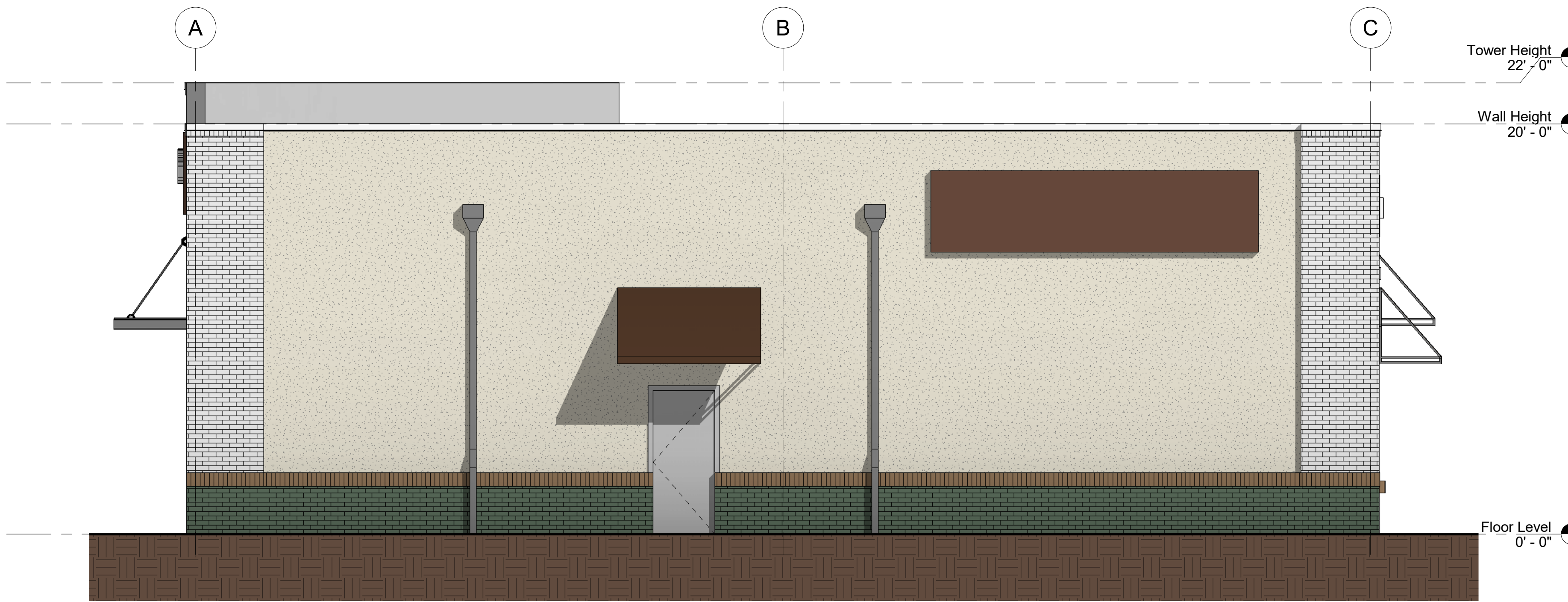
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7/9/2020 11:39:36 AM



1 East Color
1/4" = 1'-0"



2 West Color
1/4" = 1'-0"

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No.	Description	Date
Revision Schedule		

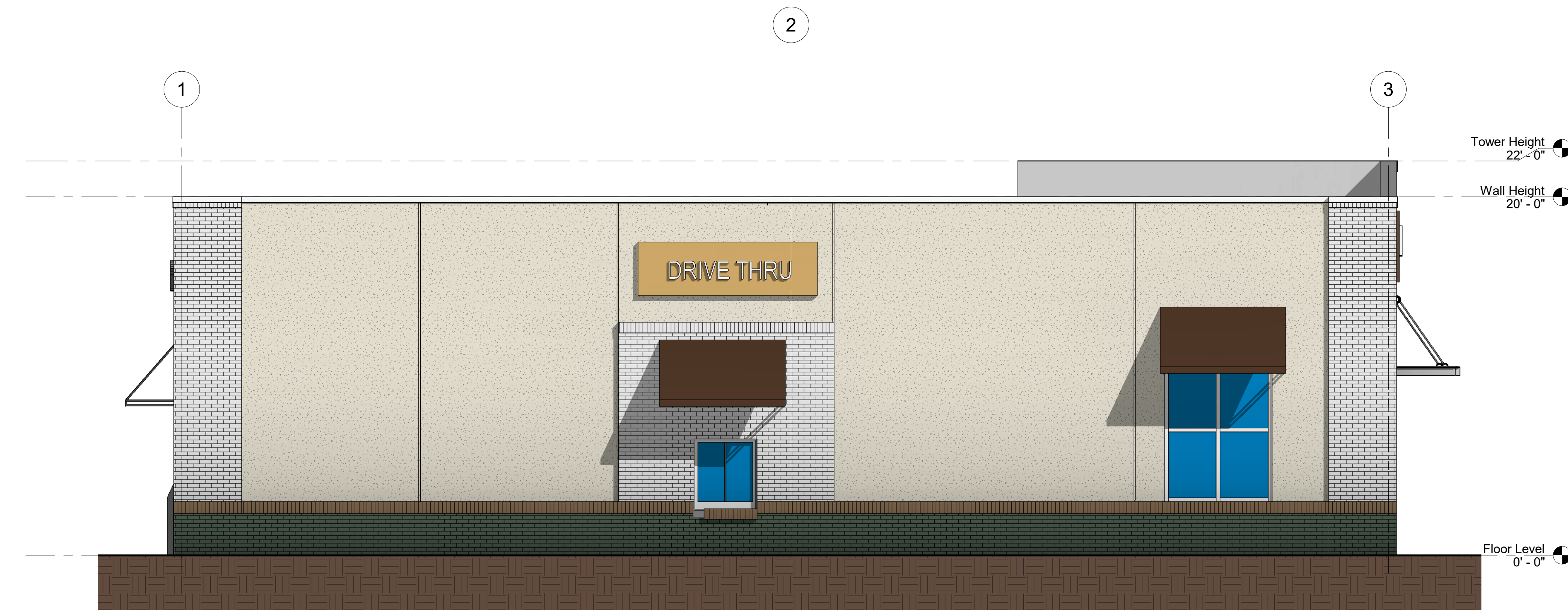
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Elevations

Project number	2119
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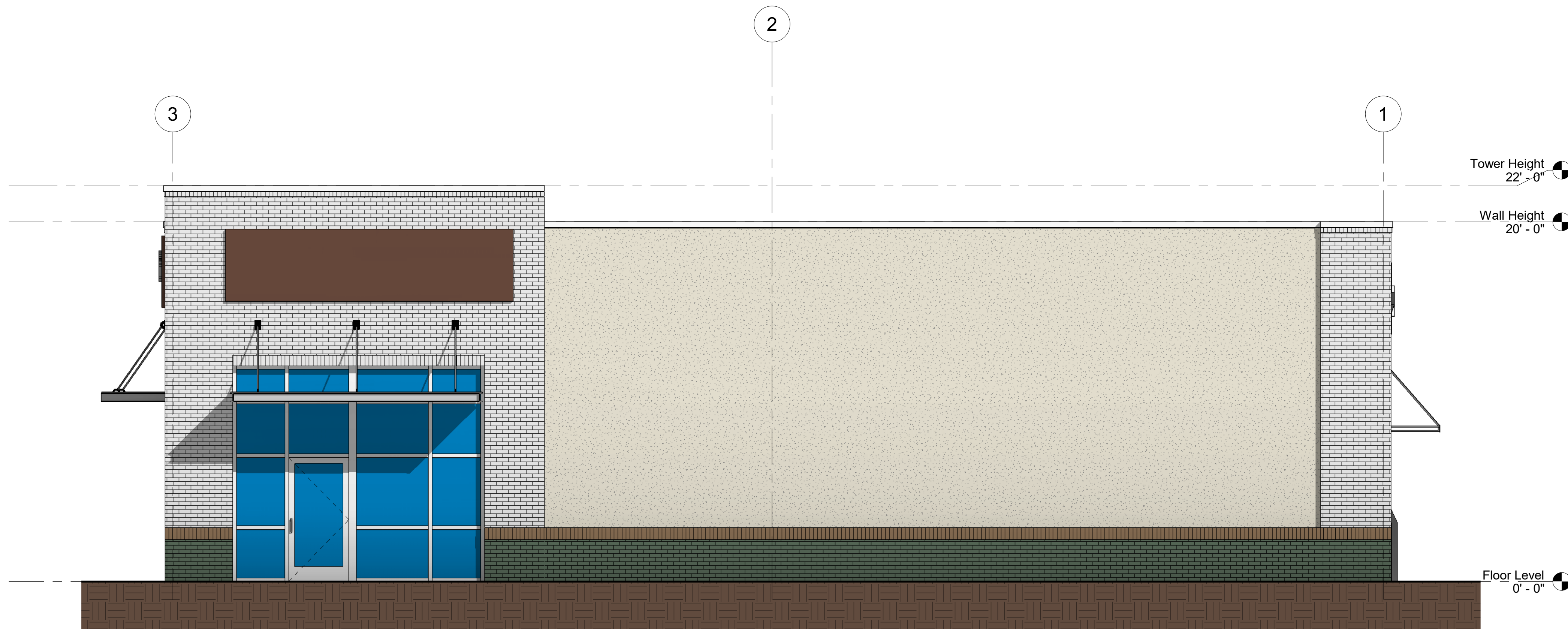
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7/9/2020 11:39:38 AM



① South Color
1/4" = 1'-0"



② North Color
1/4" = 1'-0"

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No.	Description	Date
Revision Schedule		

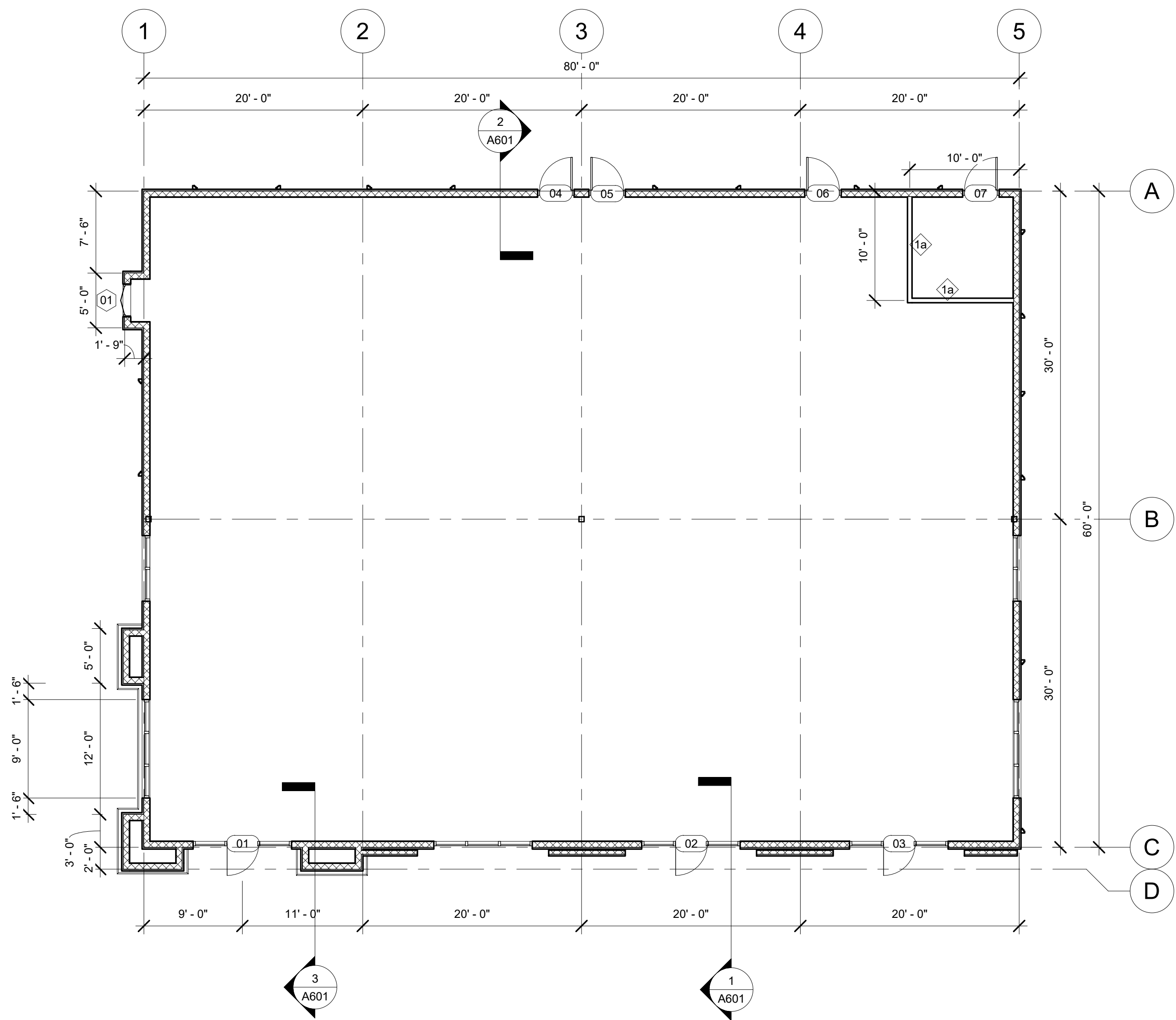
Colored
Elevations

Project number	2119
Date	05.04.2020

A204

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7/9/2020 11:39:41 AM



1 Floor Plan
1/8" = 1'-0"

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No.	Description	Date
Revision Schedule		

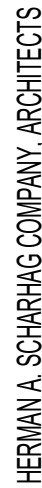
Floor Plan

Project number	2222
Date	04.14.2020

A101

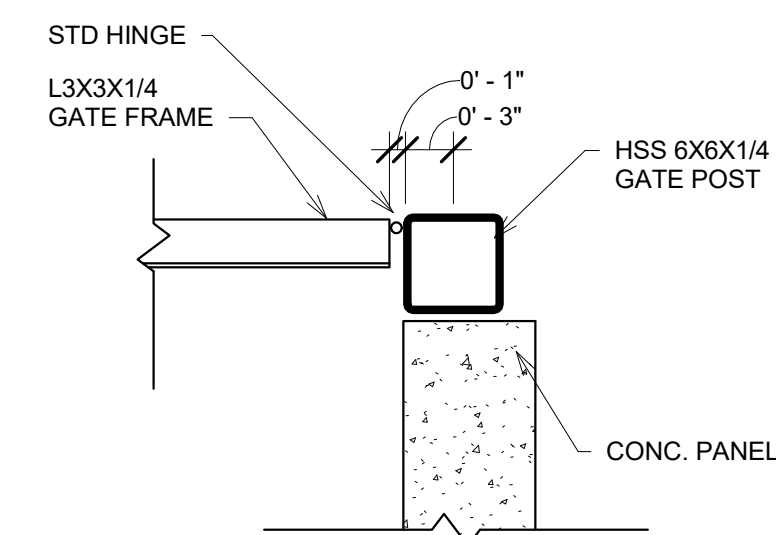
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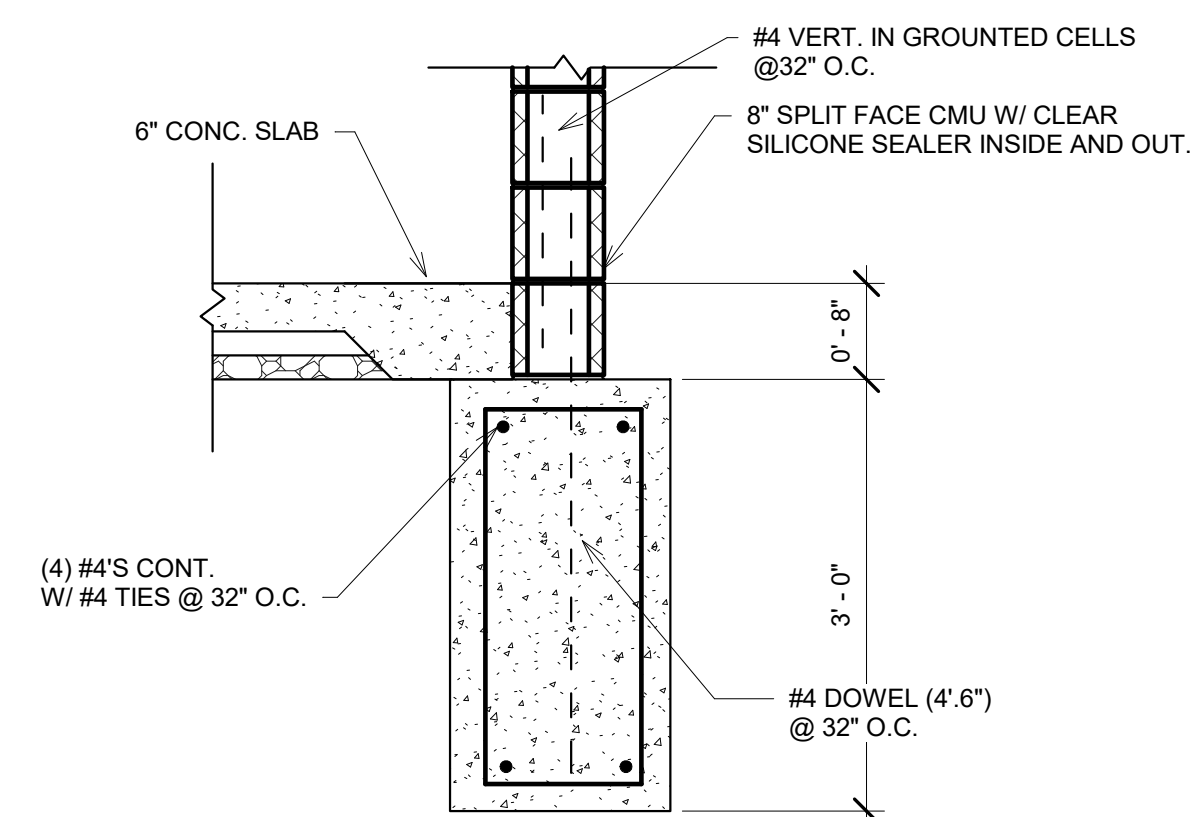


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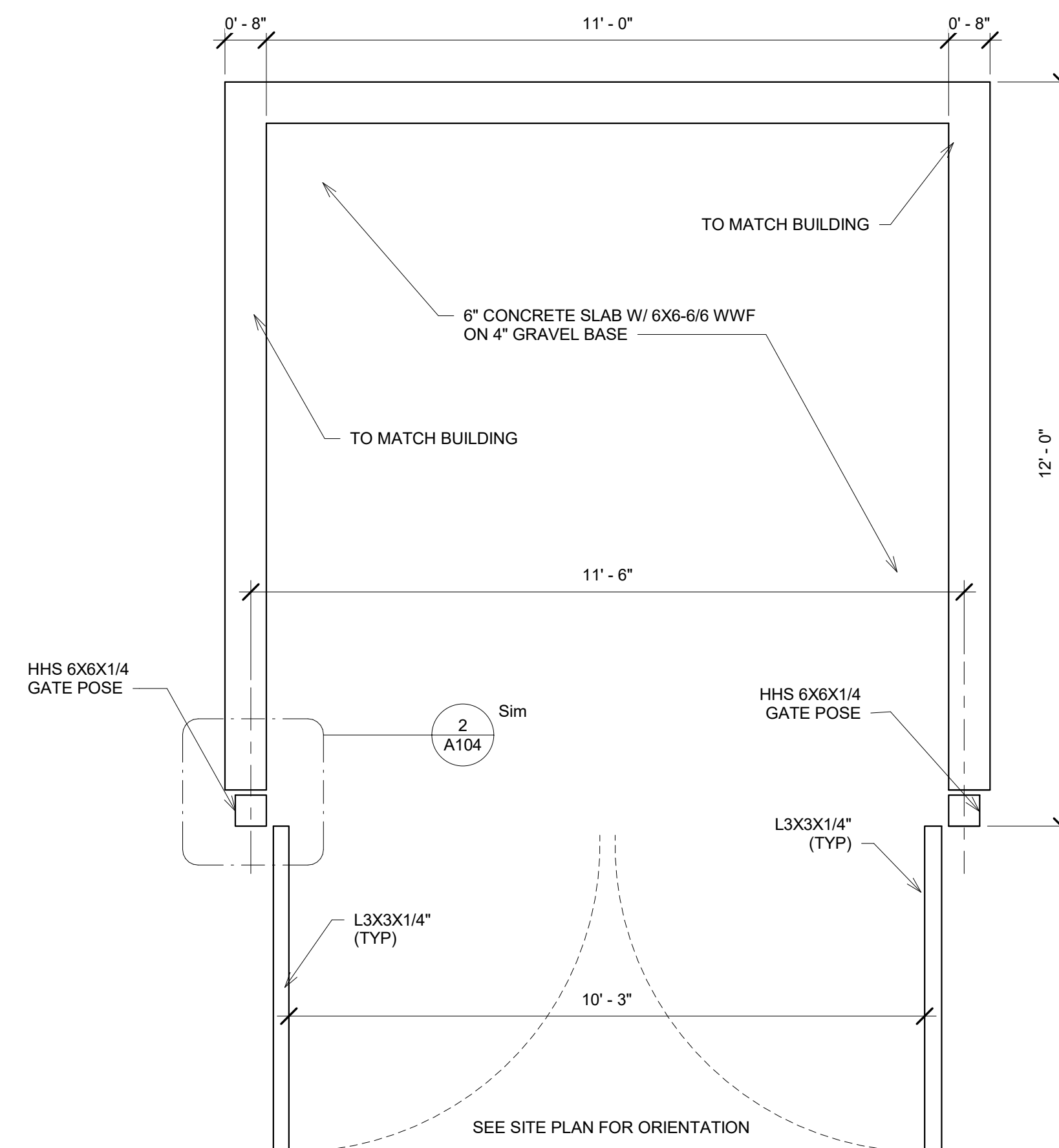
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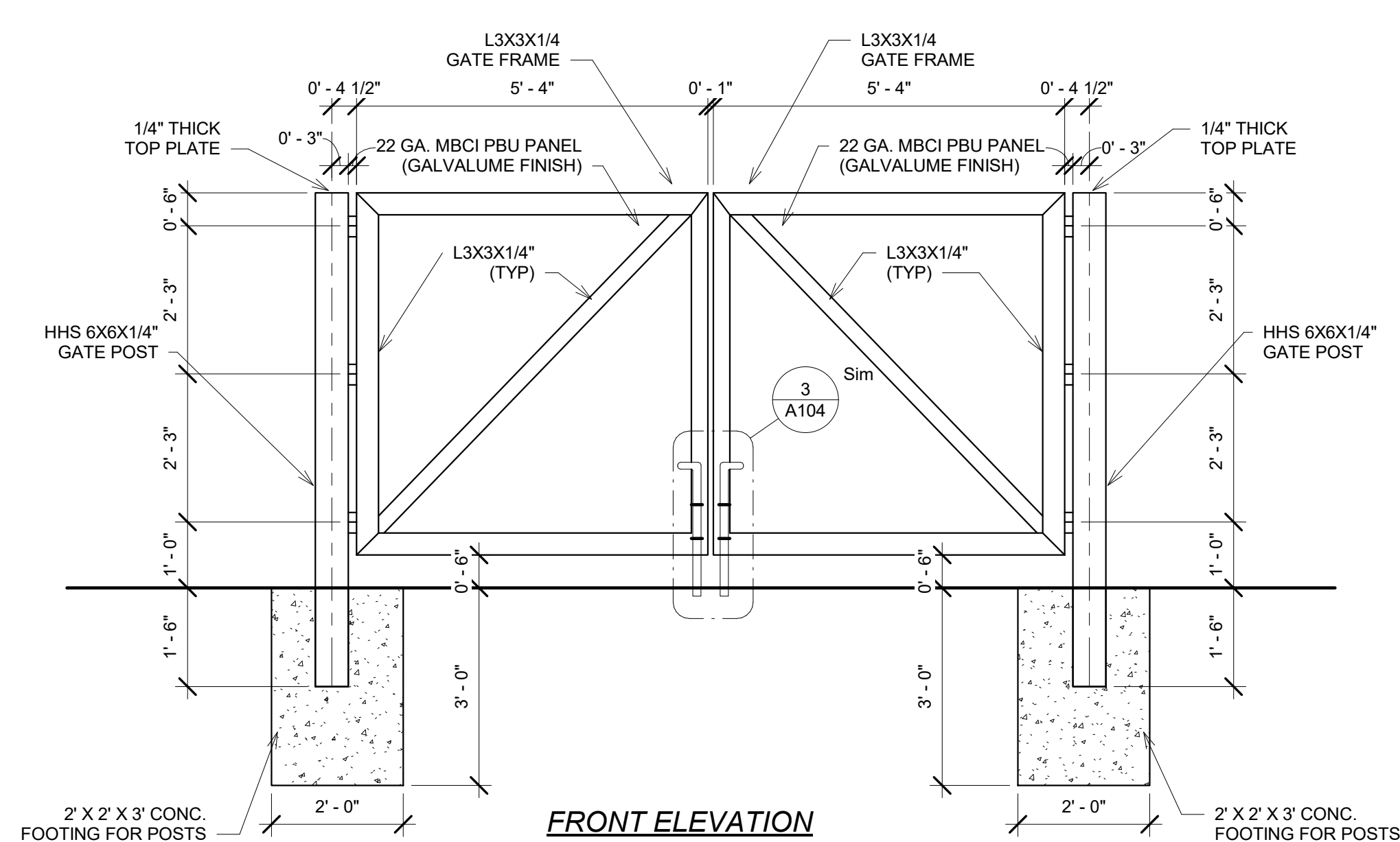
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1" = 1'-0"



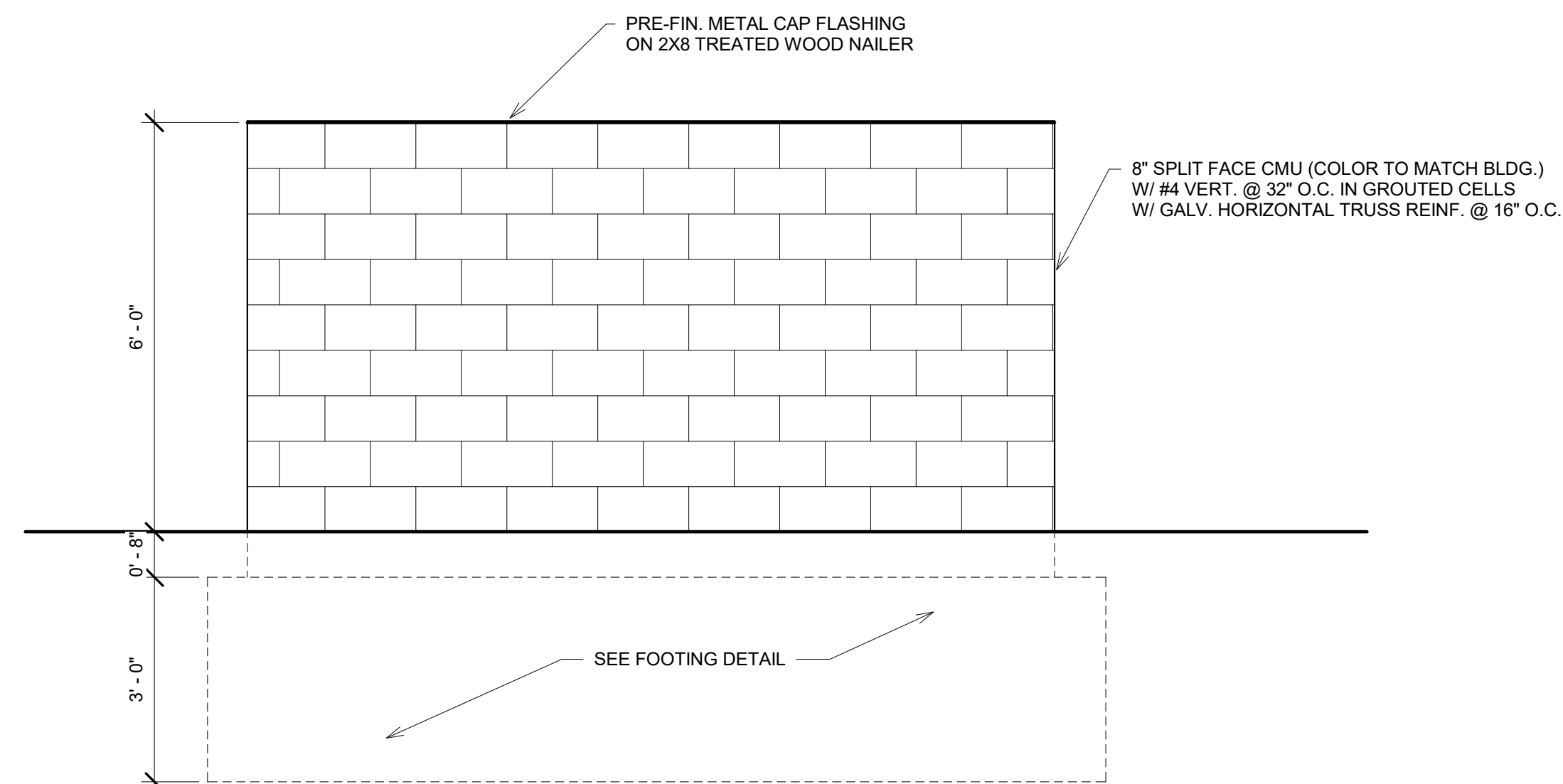
4 Trash Dumpster Detail Wall Section1
3/4" = 1'-0"



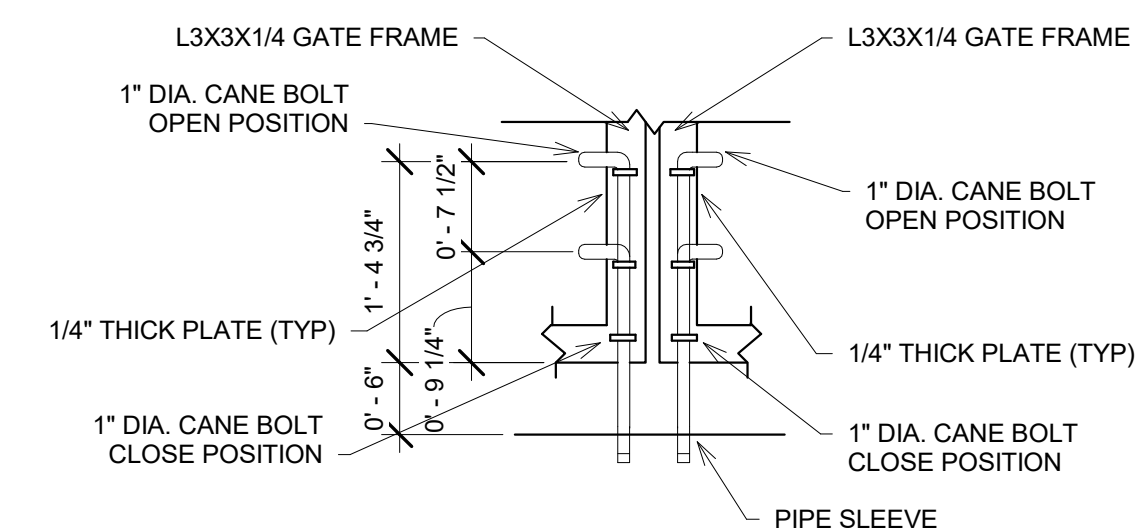
PLAN VIEW



① Trash Dumpster Detail1
1/2" = 1'-0"



SIDE ELEVATION



③ Trash Dumpster Detail - Hinge Detail1
3/4" = 1'-0"

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No.	Description	Date
Revision Schedule		

Dumpster Details

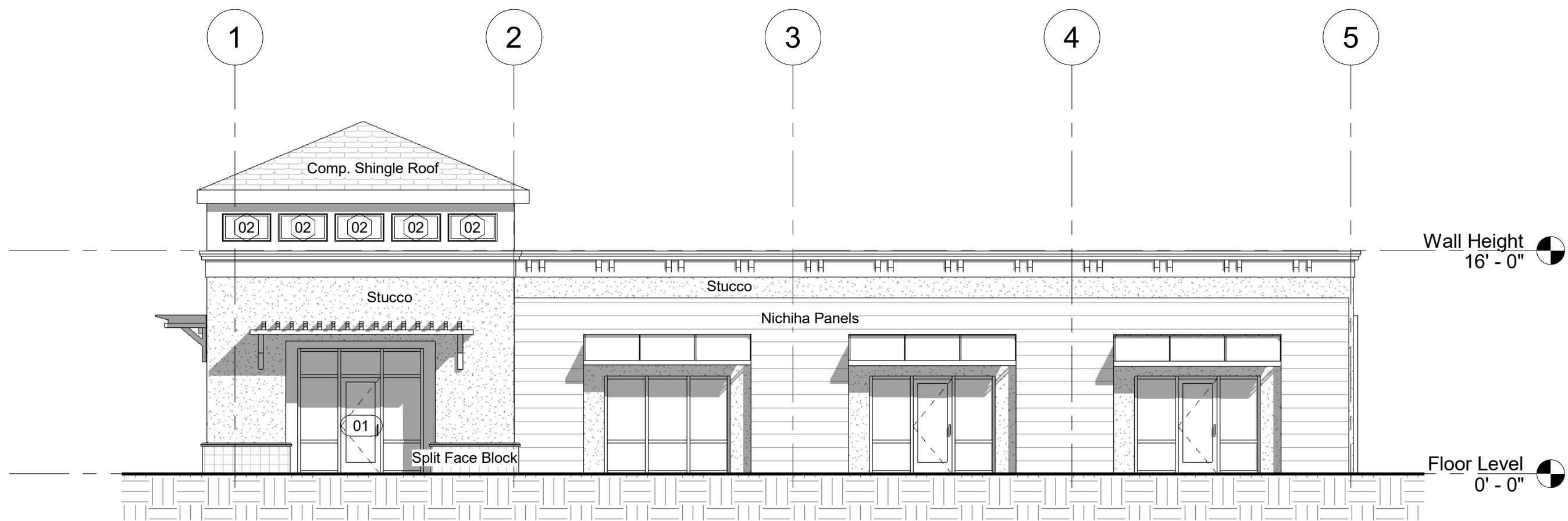
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Date 04.14.2020

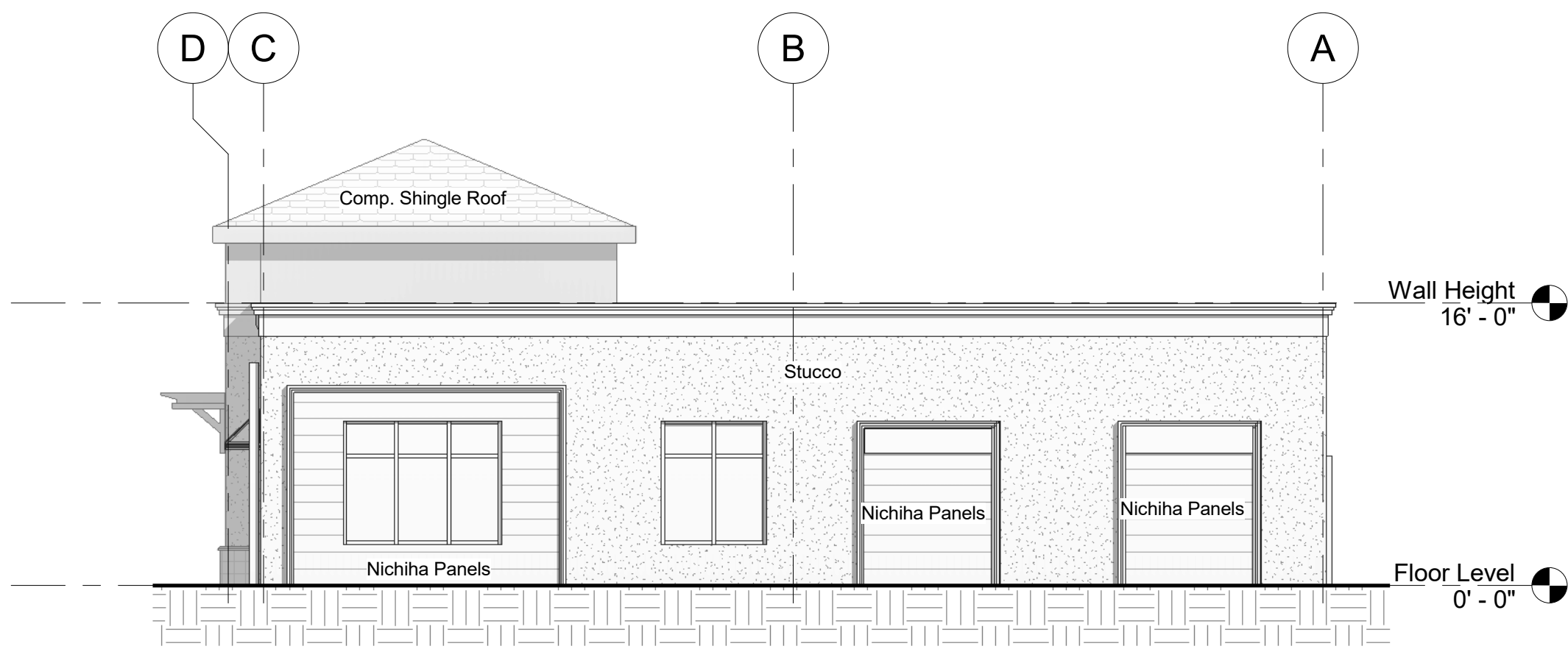
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Scale As indicated

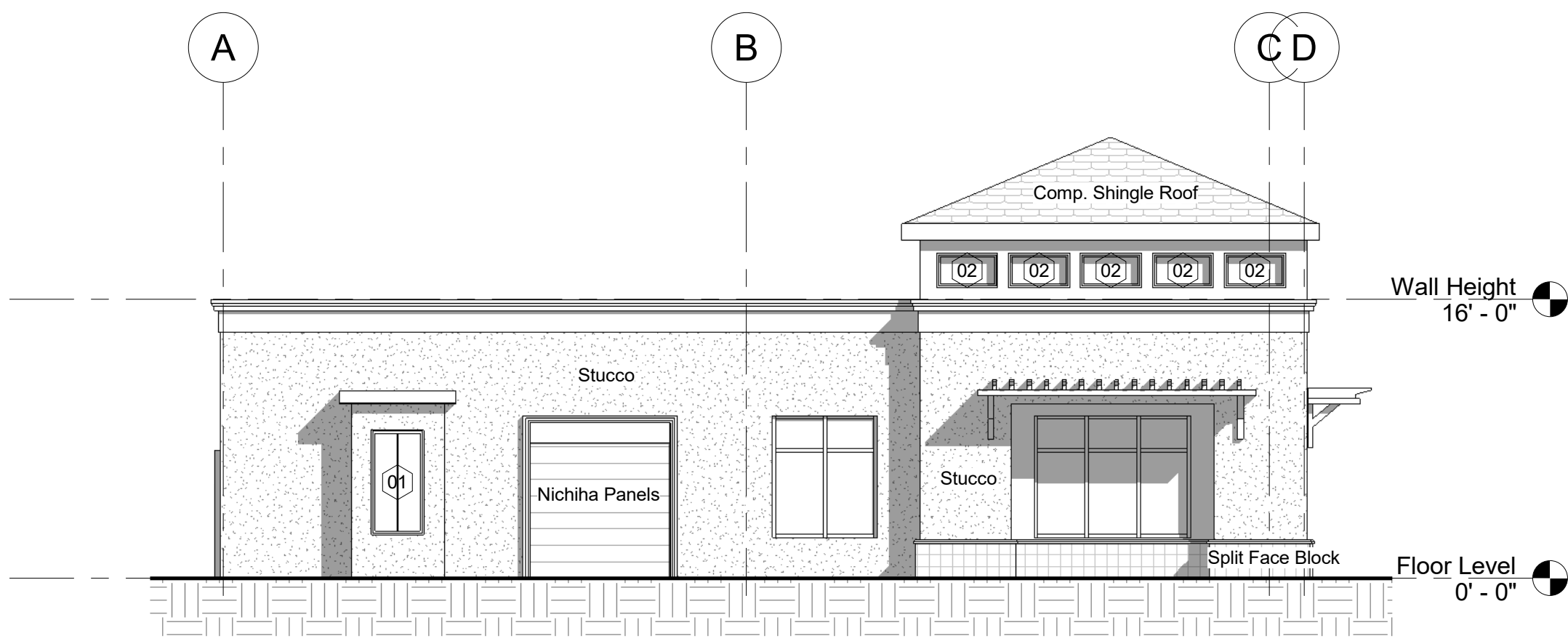
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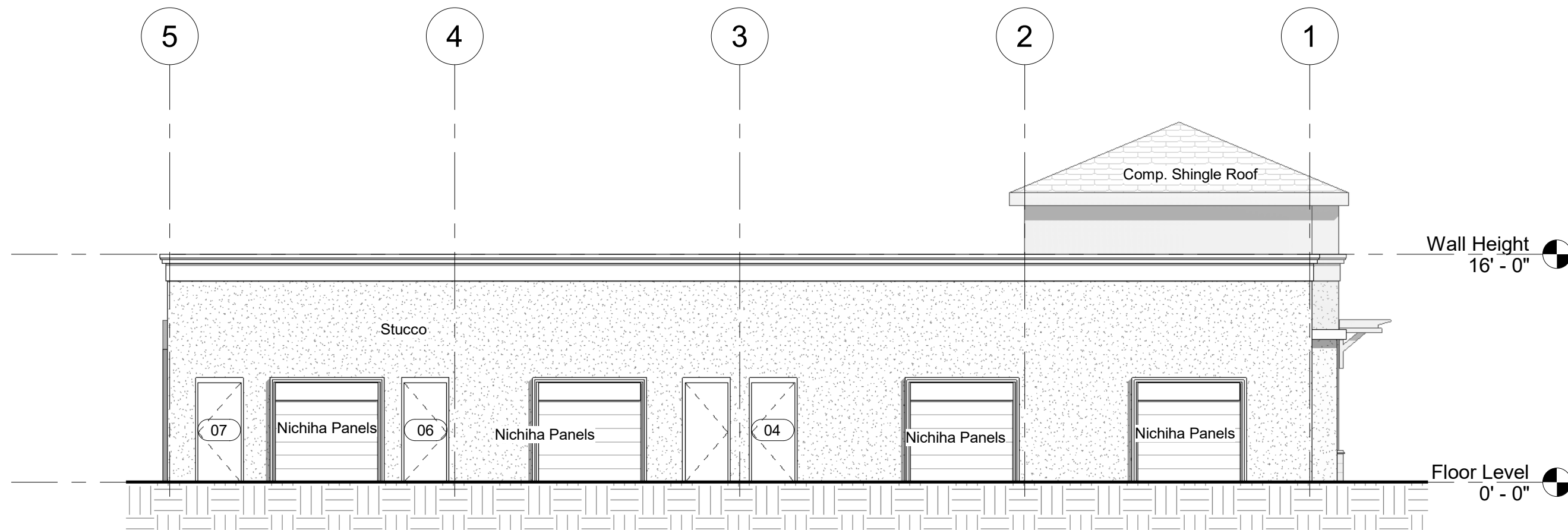
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1/8" = 1'-0"



2 North Elevation
1/8" = 1'-0"



3 South Elevation
1/8" = 1'-0"



4 West Elevation
1/8" = 1'-0"

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No.	Description	Date
Revision Schedule		

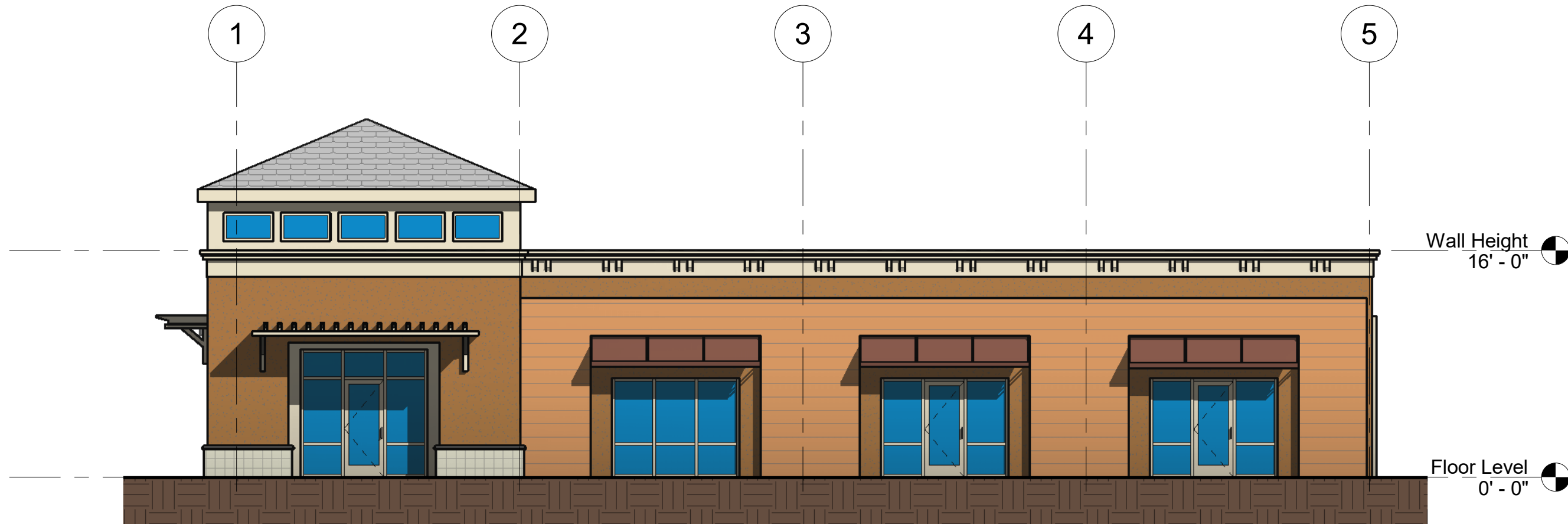
Elevations

Project number	2222
Date	04.14.2020

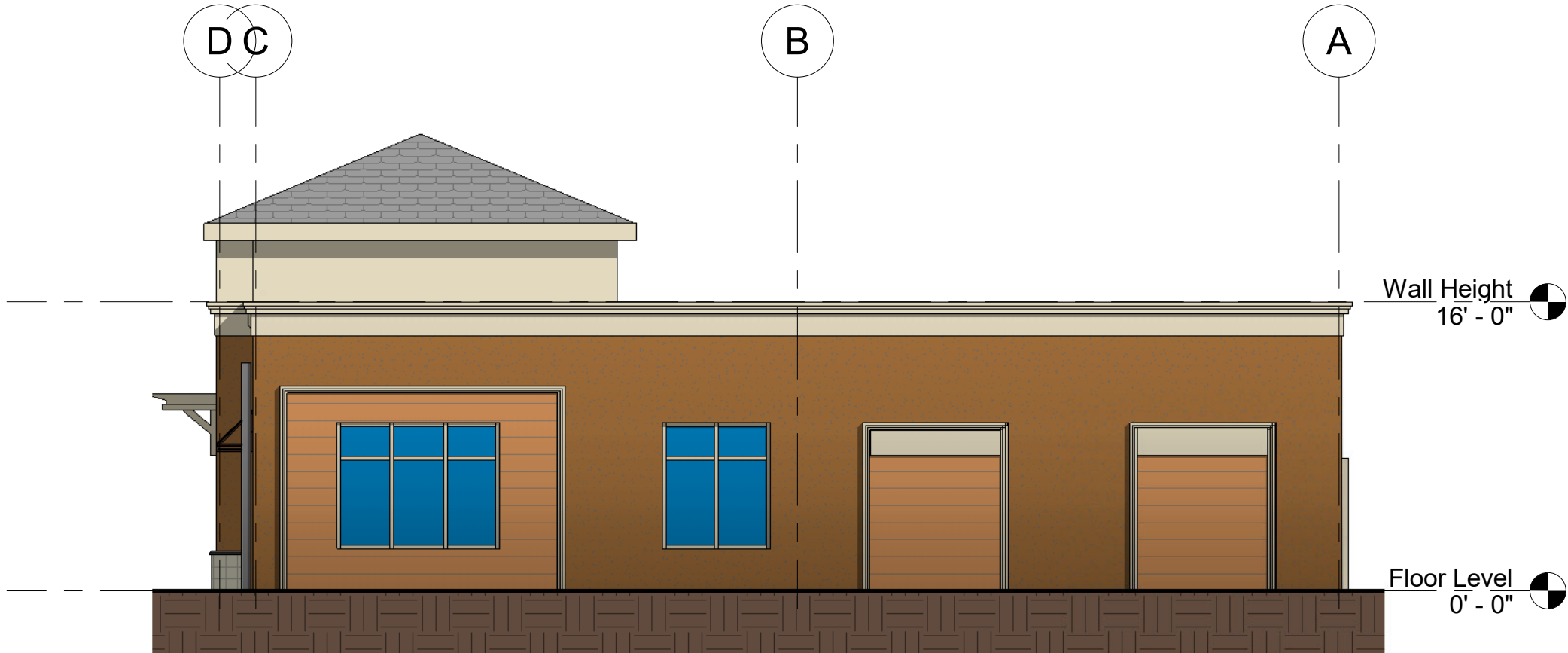
A201

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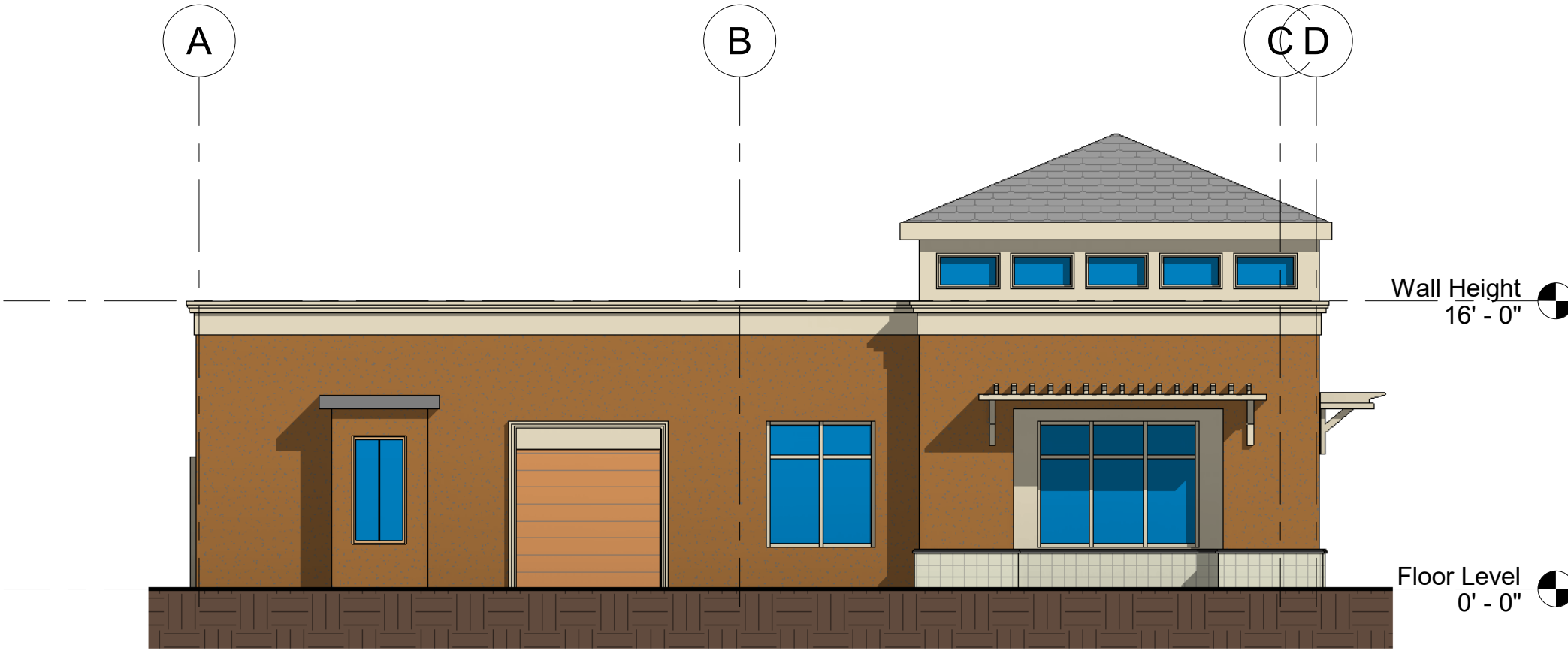
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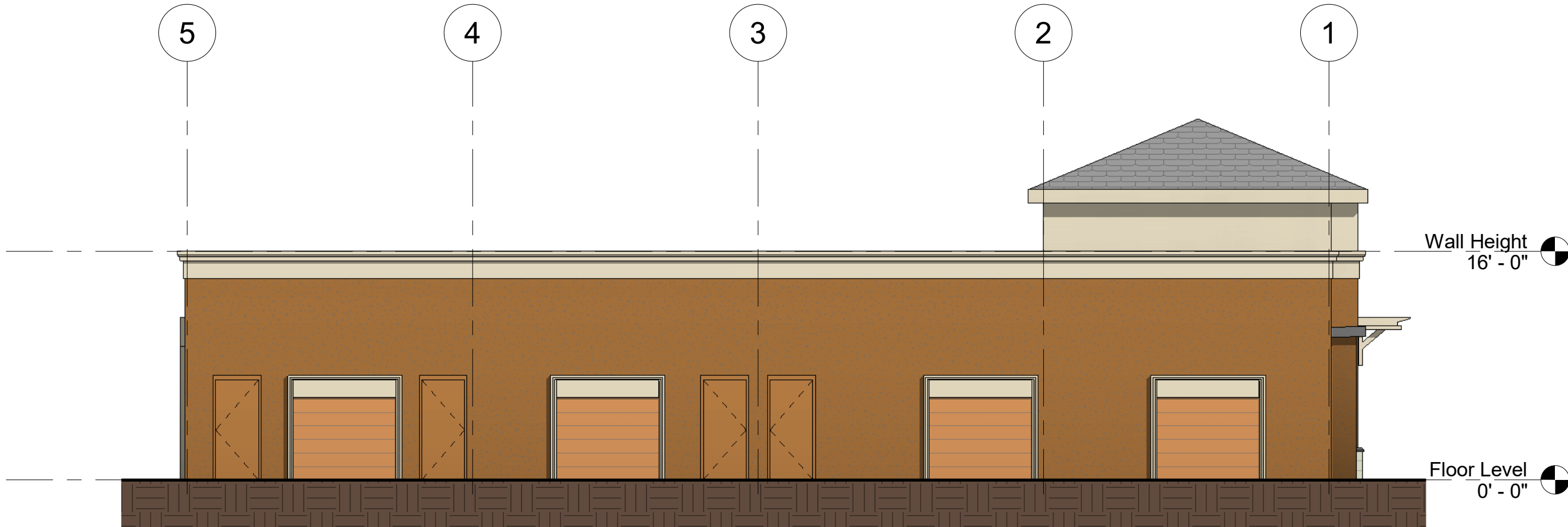
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1/8" = 1'-0"



② North Elevation Color
1/8" = 1'-0"



③ South Elevation Color
1/8" = 1'-0"



④ West Elevation Color
1/8" = 1'-0"

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No.	Description	Date
Revision Schedule		

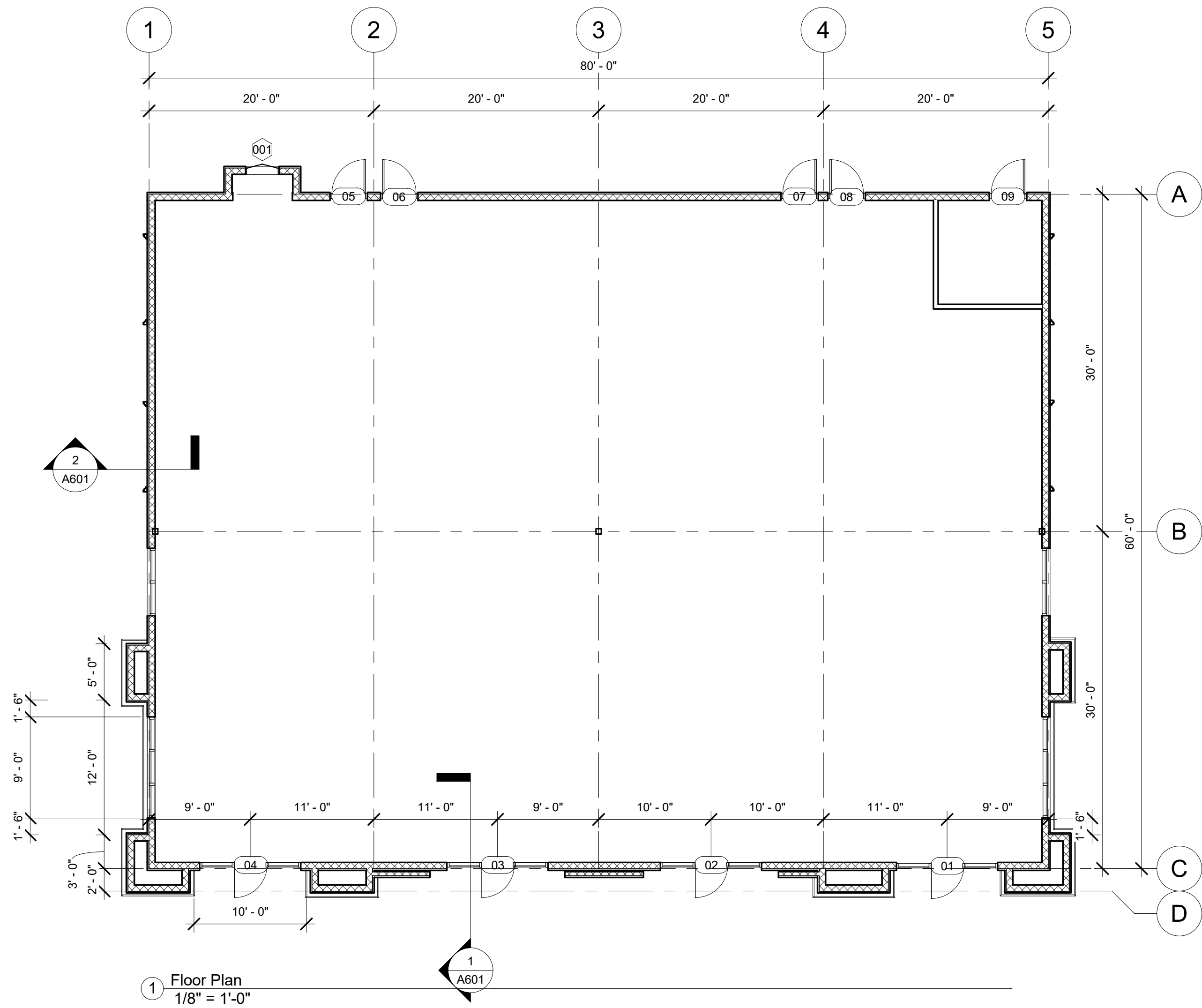
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Elevations

Project number	2222
Date	04.14.2020

A202

Scale	1/8" = 1'-0"
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7/9/2020 10:25:06 AM



Window Schedule					
Type Mark	Type	Height	Width	Sill Height	Count
					21

NEW BUILDING FOR

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No.	Description	Date
Revision Schedule		

Floor Plan

Project number	2222
Date	05.14.2020

A101

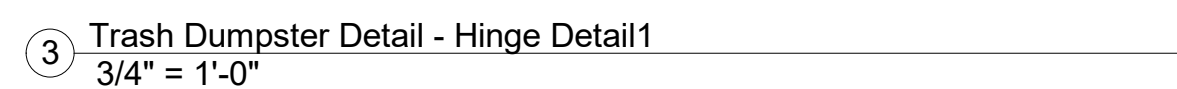
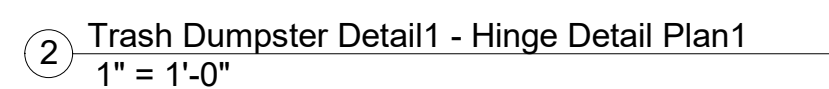
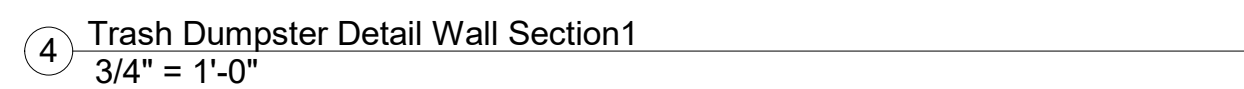
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7/9/2020 10:26:00 AM

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Dumpster Details

A104

Scale	As indicated
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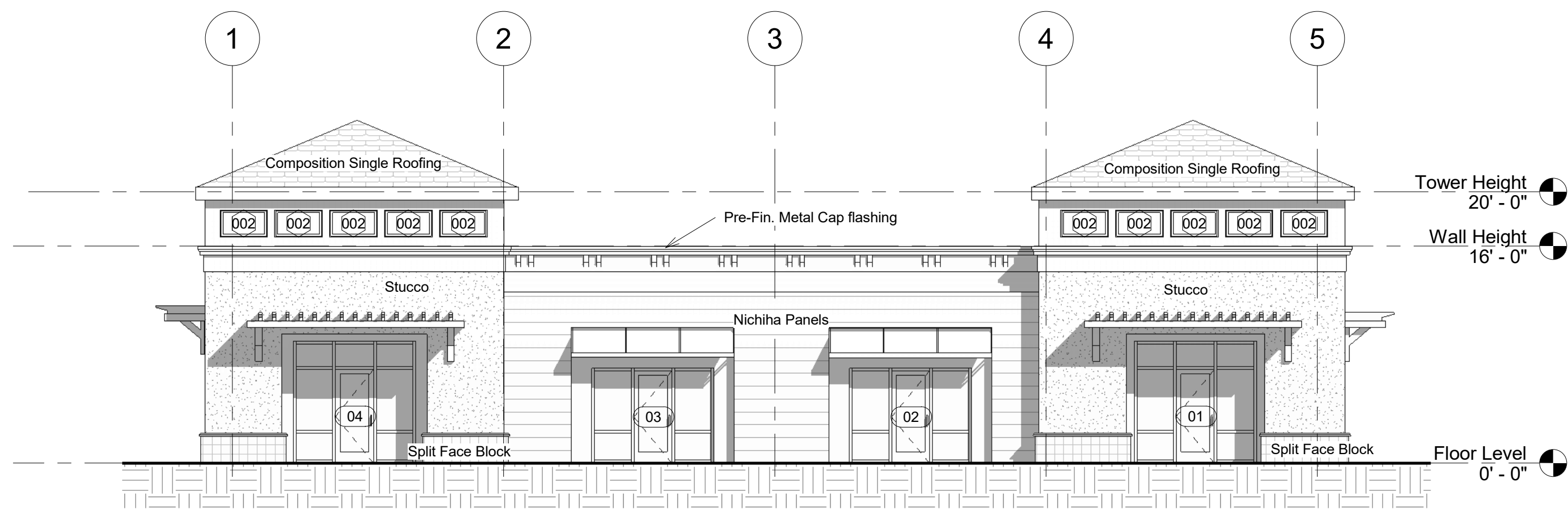
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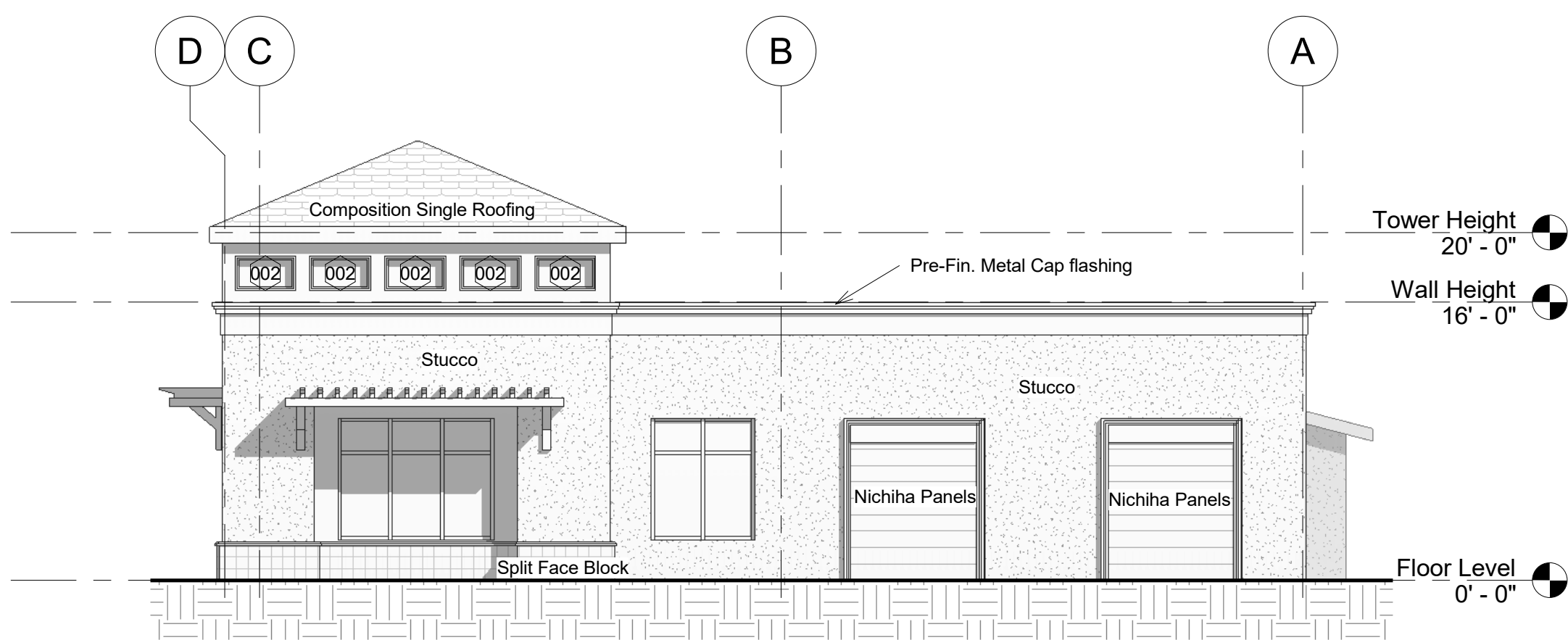
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HERMAN A. SCHARHAG COMPANY, ARCHITECTS

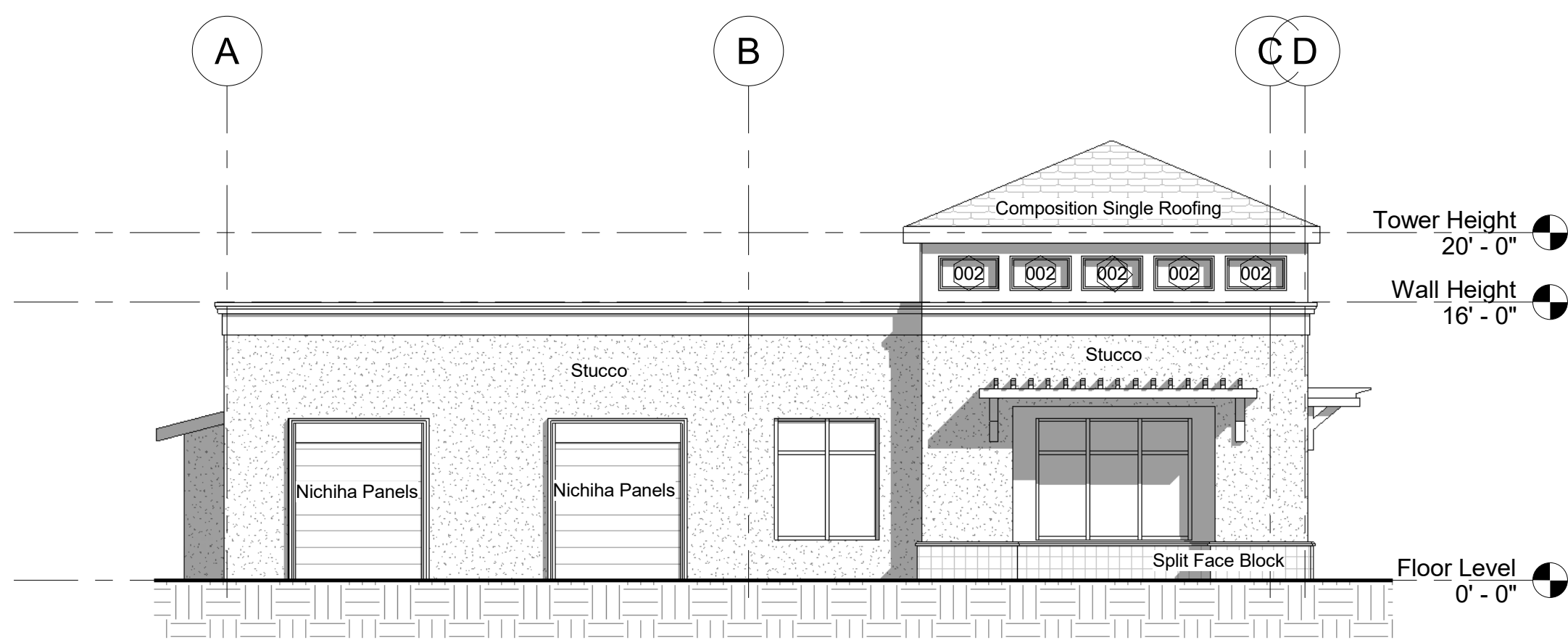
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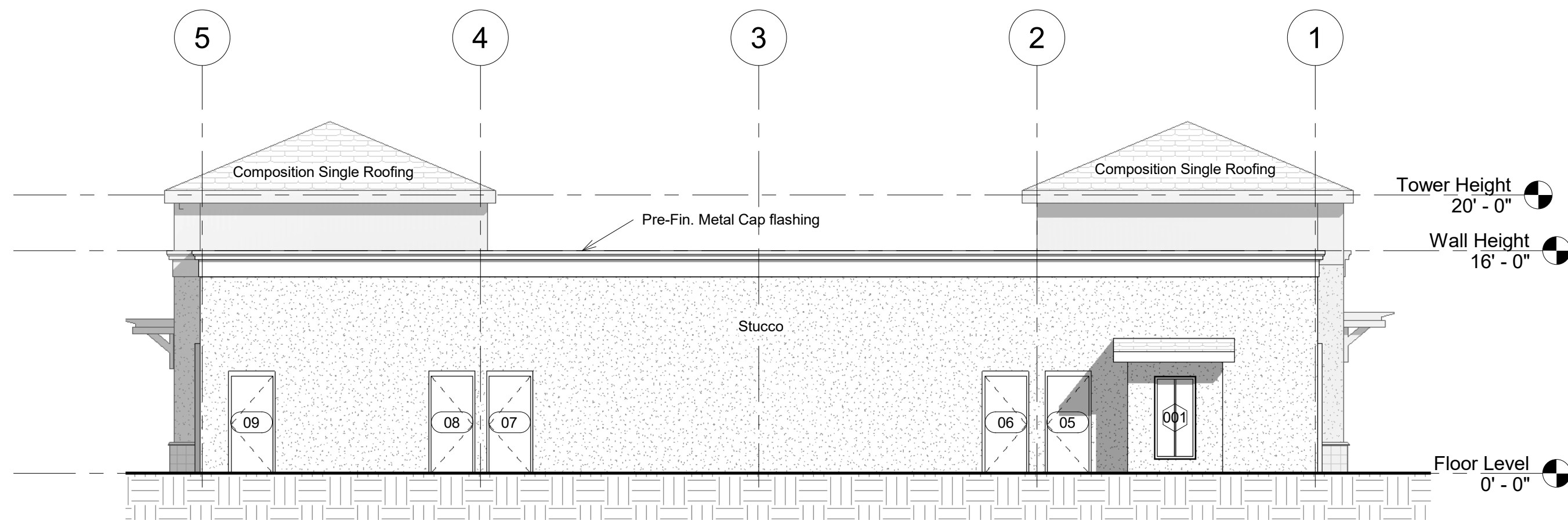
① East Elevation
1/8" = 1'-0"



② North Elevation
1/8" = 1'-0"



③ South Elevation
1/8" = 1'-0"



④ West Elevation
1/8" = 1'-0"

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No.	Description	Date
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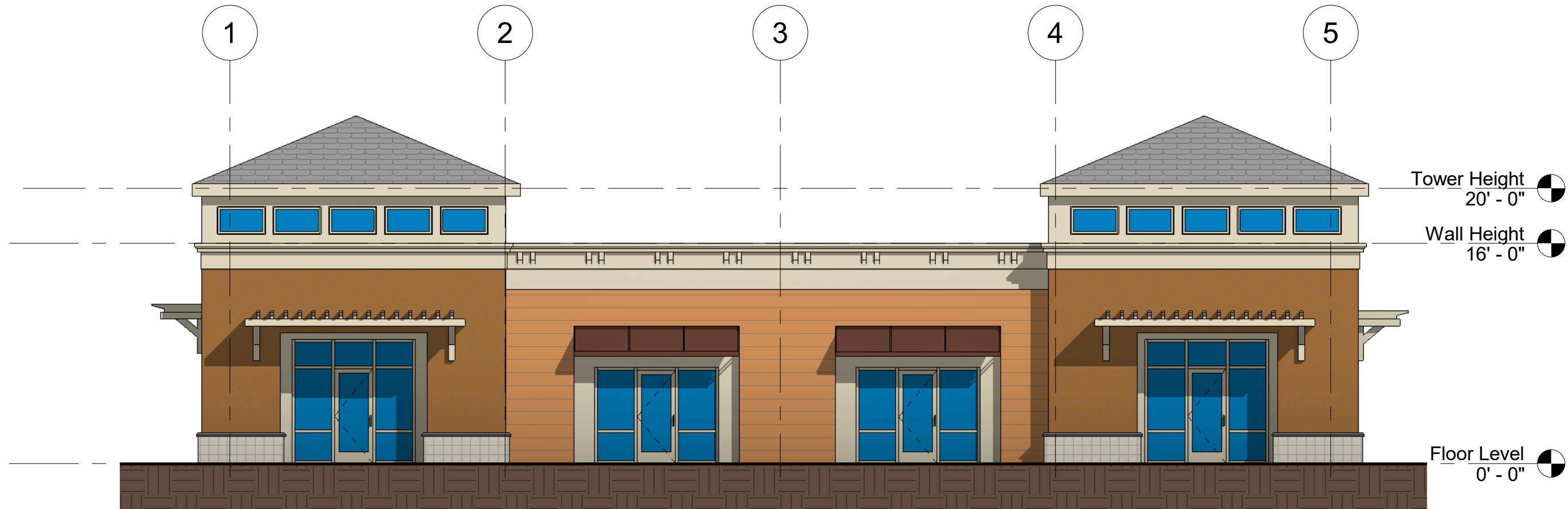
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Project number 2222
Date 05.14.2020

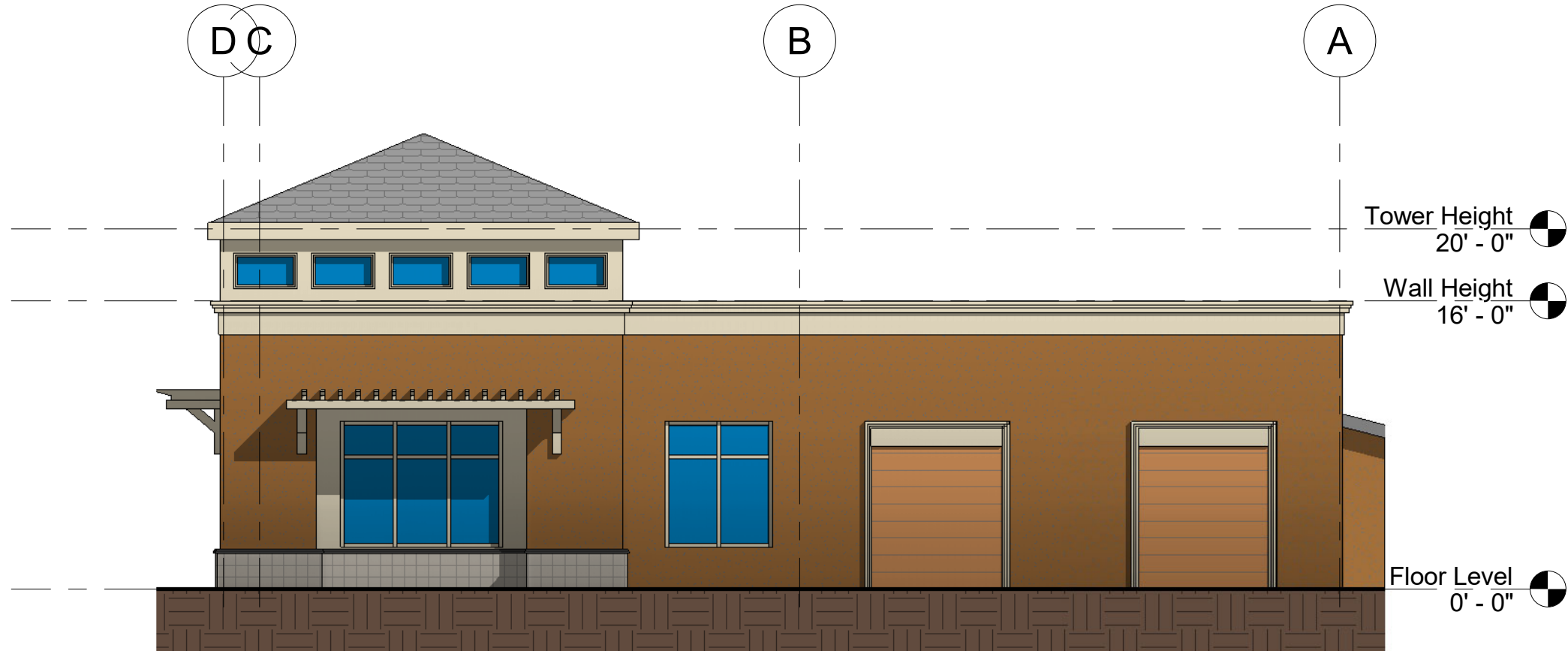
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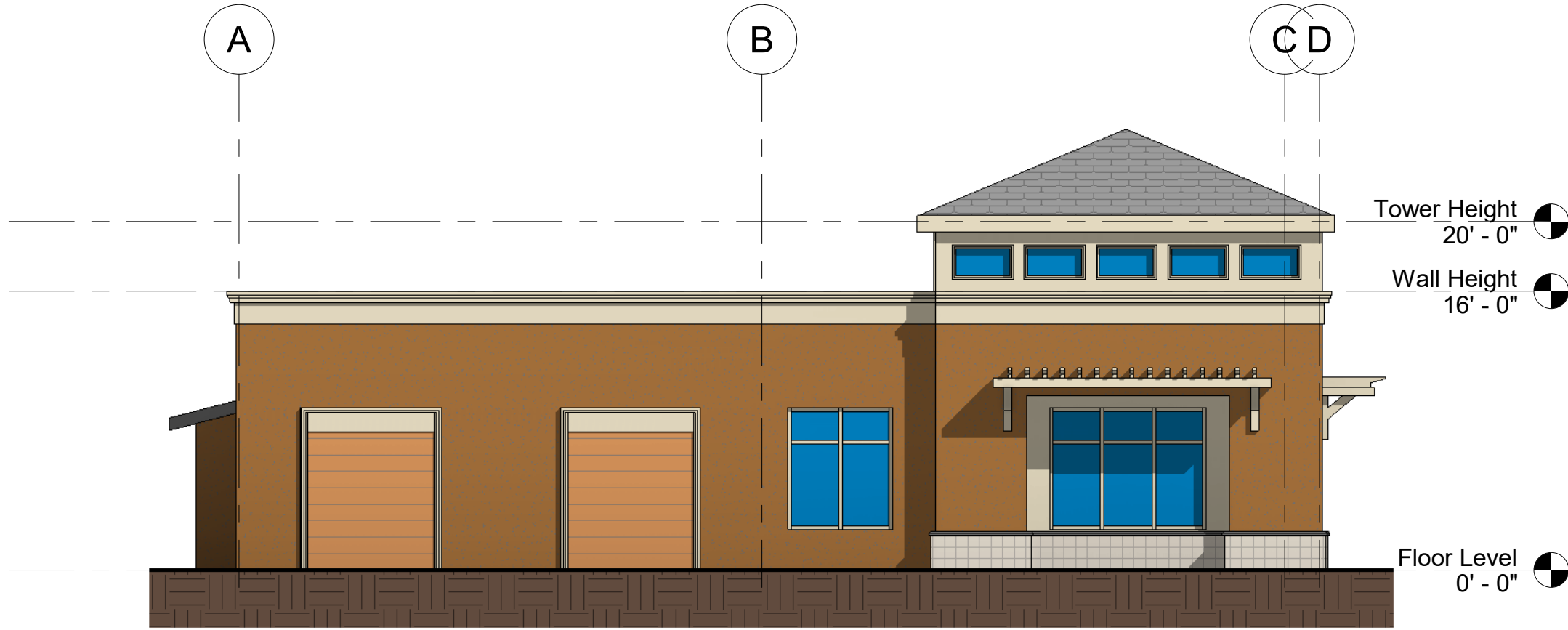
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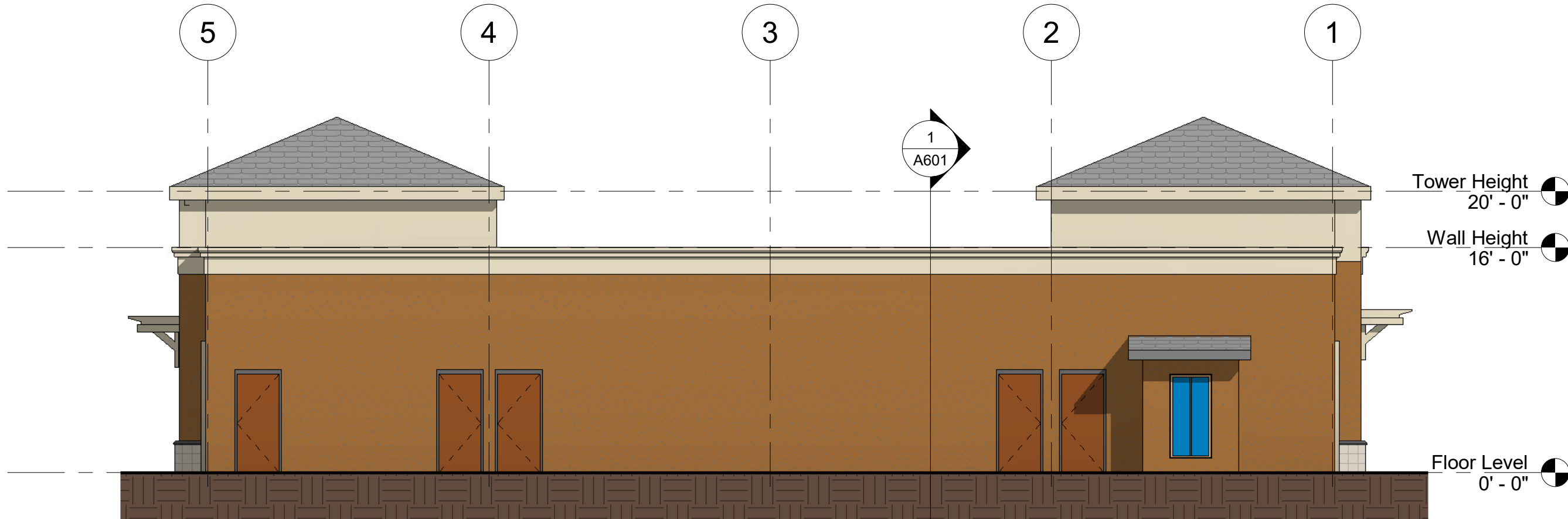
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2 North Elevation Color
1/8" = 1'-0"



3 South Elevation Color
1/8" = 1'-0"



4 West Elevation Color
1/8" = 1'-0"

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No.	Description	Date
Revision Schedule		

Colored
Elevations

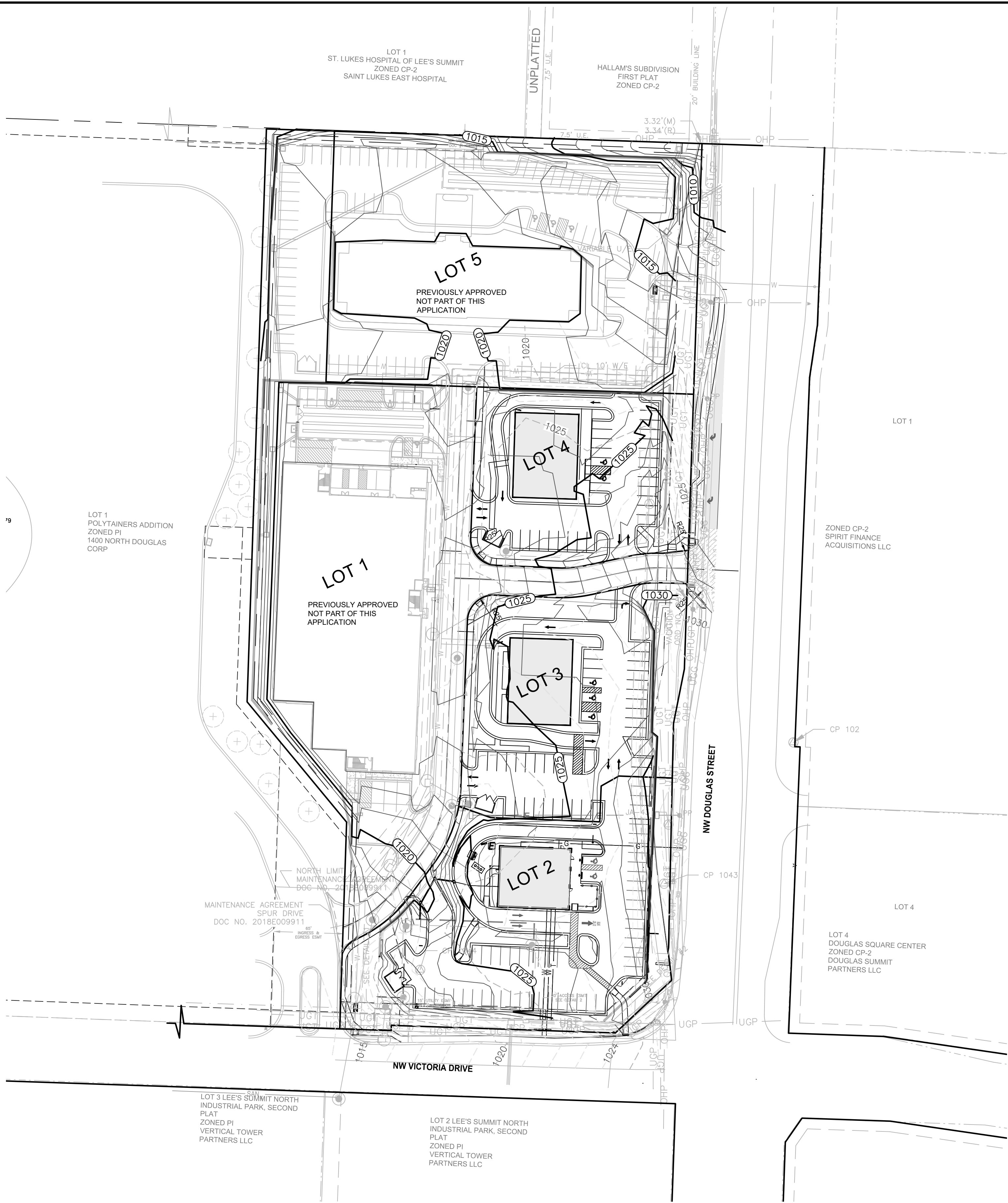
Project number	2222
Date	05.14.2020

A202

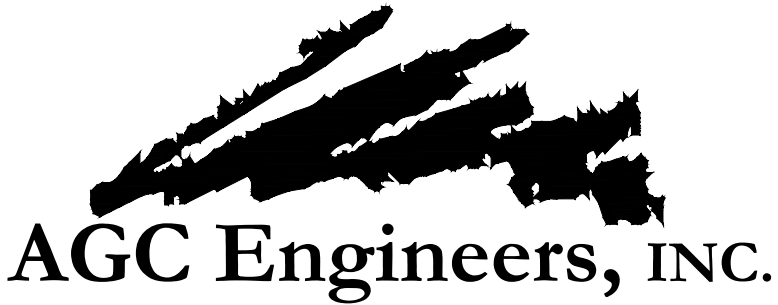
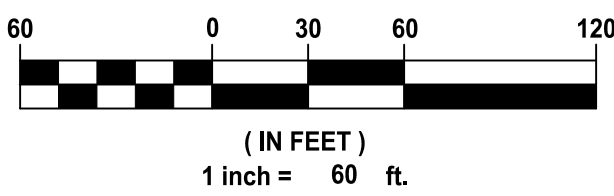
Scale	1/8" = 1'-0"
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7/9/2020 10:26:06 AM

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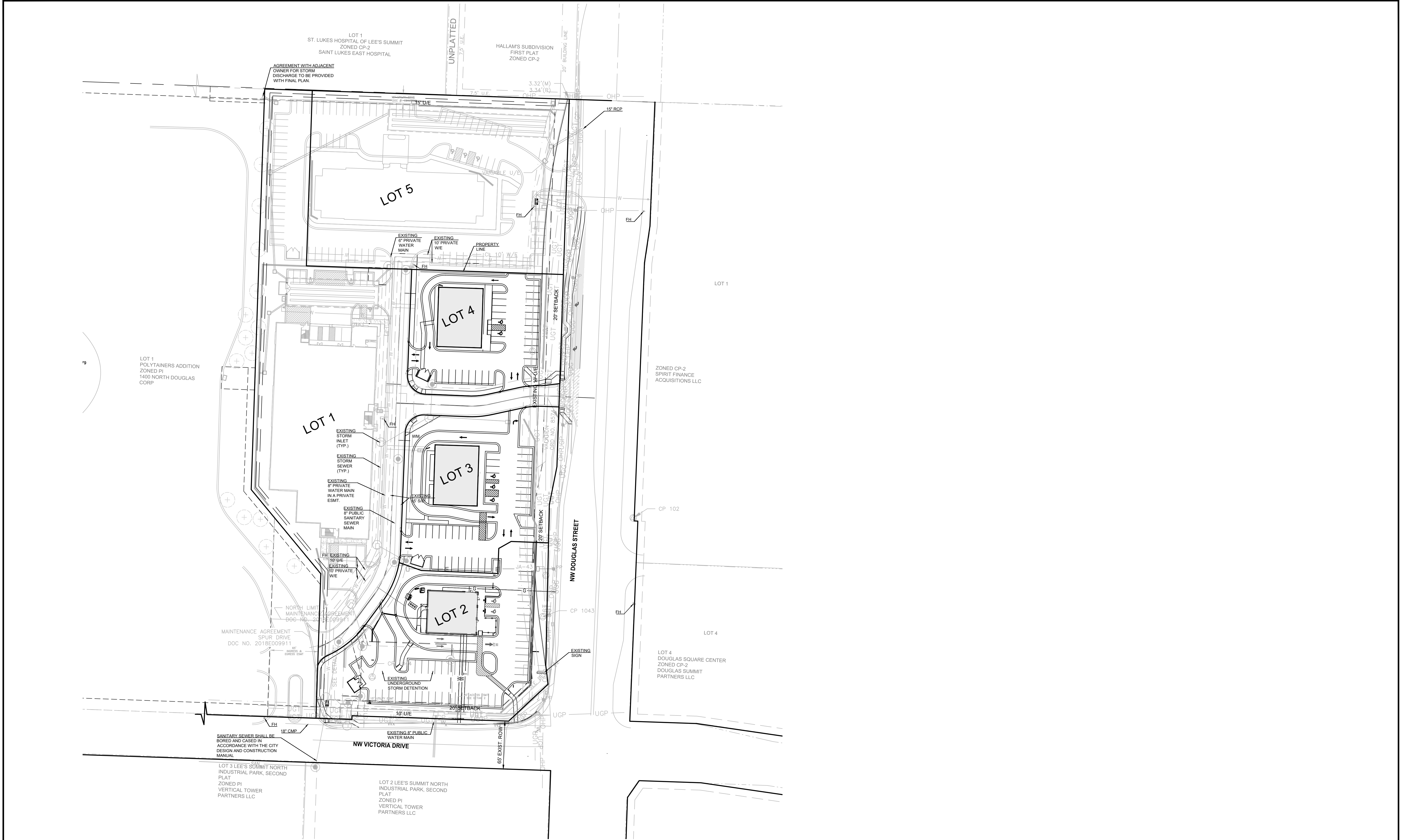
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OAKVIEW - LOTS 2, 3 AND 4
LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

PRELIMINARY DEVELOPMENT PLANS
GRADING PLAN

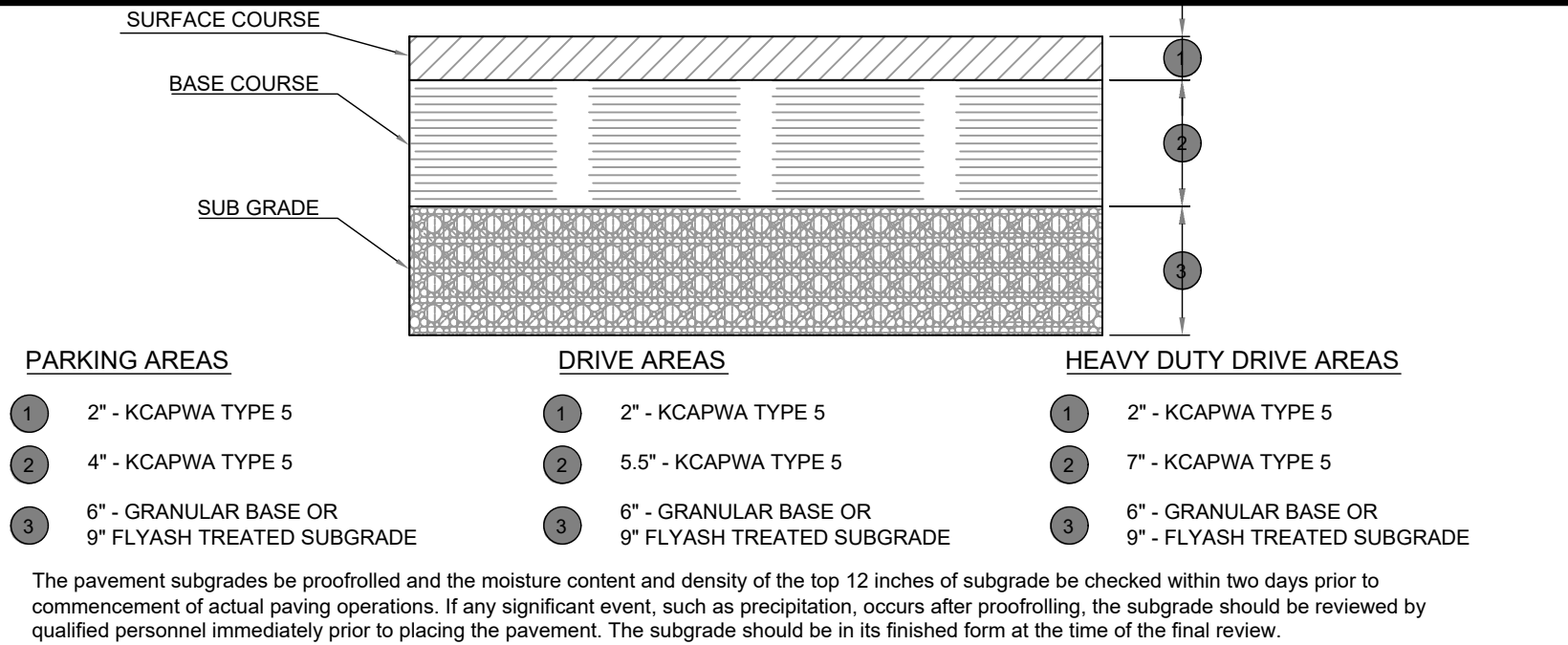
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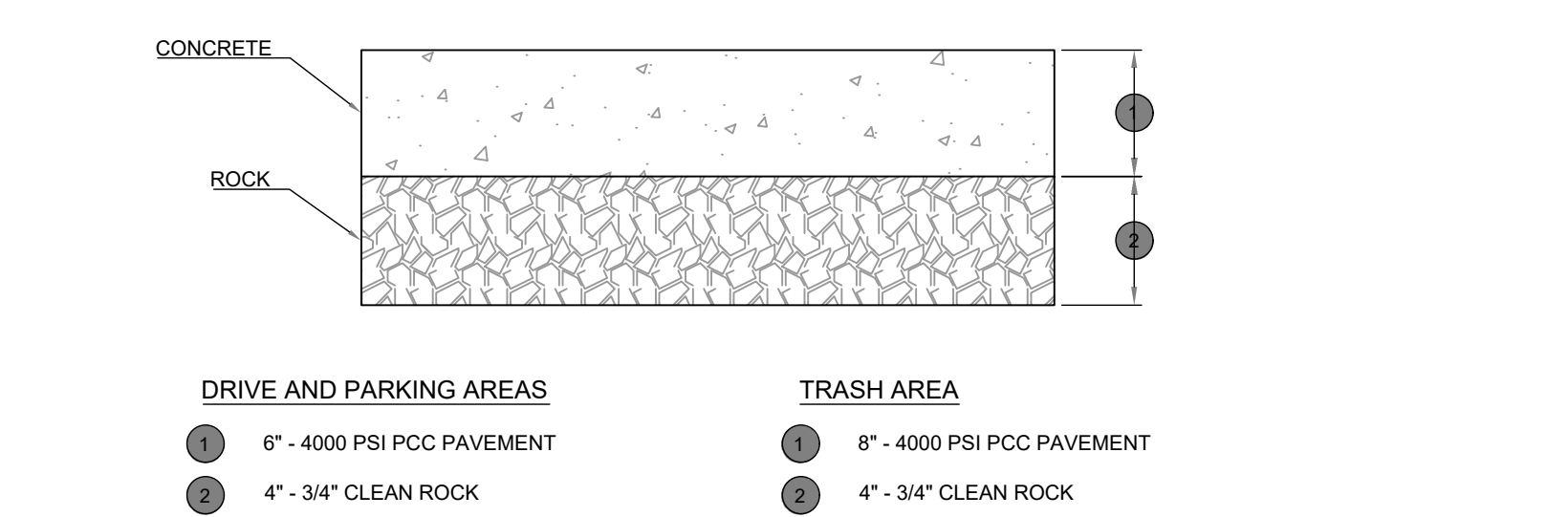


BY	REVISION	DATE	<div><div>AGC Engineers, INC.</div></div>			OAKVIEW - LOTS 2, 3 AND 4 LEE'S SUMMIT, JACKSON COUNTY, MISSOURI	
RC/ACA	FOR REVIEW	7-10-20				PRELIMINARY DEVELOPMENT PLANS UTILITY PLAN	C3.0

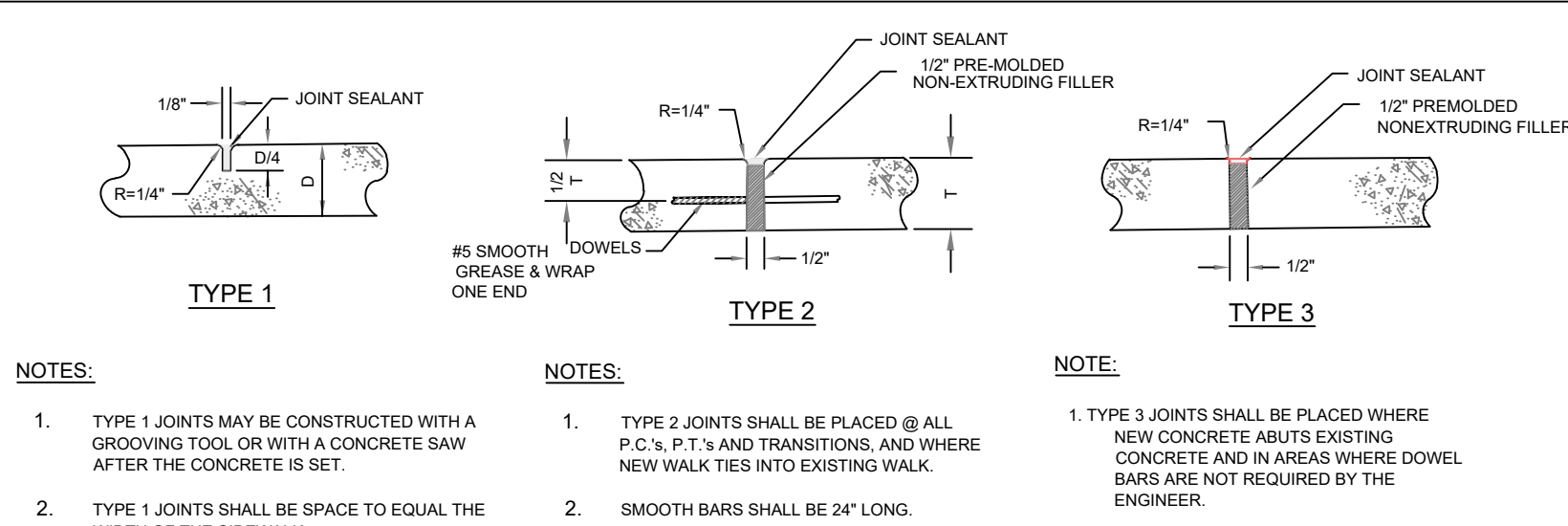
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7.0-1 TYPICAL - ASPHALT PAVEMENT SECTION NOT TO SCALE



7.0-2 TYPICAL - CONCRETE PAVEMENT SECTION NOT TO SCALE



7.0-3 TYPICAL - CONCRETE PAVEMENT JOINT DETAILS NOT TO SCALE



Cimarron LED

Applications

- Spaulding's most popular area site lighting fixture newly designed with the most advanced LED lighting technology to deliver energy efficiency, safety and security to meet today's outdoor site lighting needs.

Features

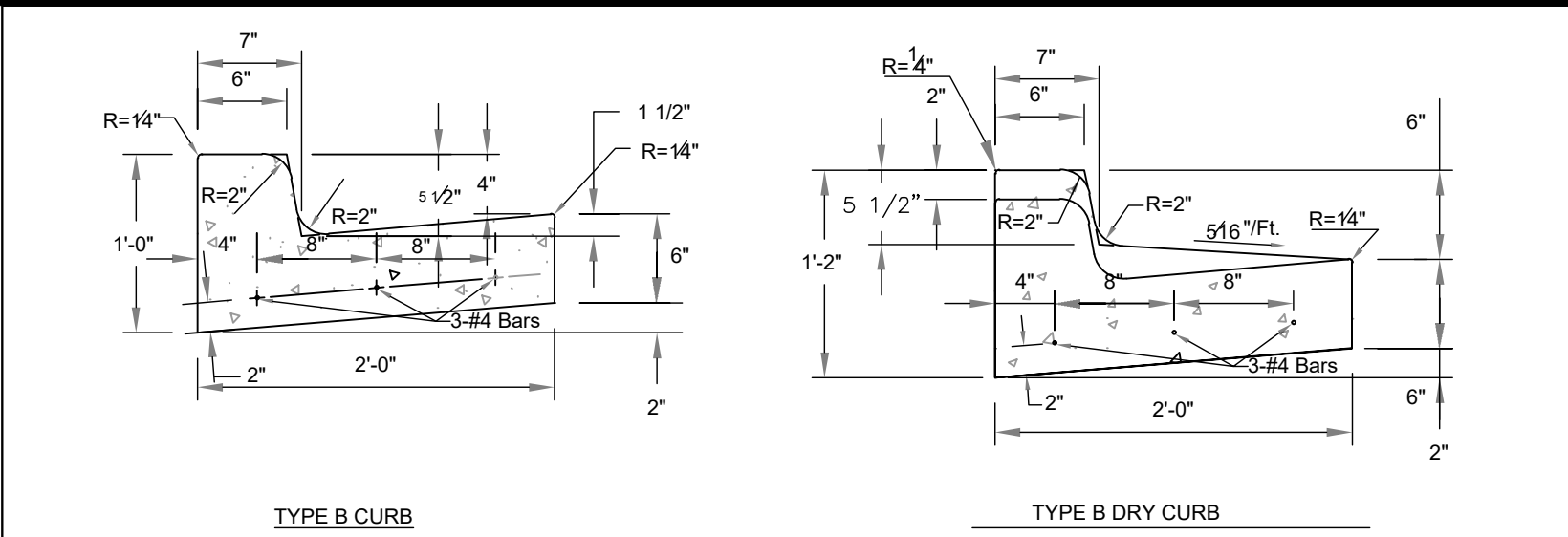
- Cimarron LED incorporates a unique vertically-finned die-cast housing that optimizes heat transfer to keep the fixture cool and maximize component life
- Multiple LED configurations with over 26,000 lumens
- DesignLights Consortium (DLC) listed
- Design flexibility is optimized with 32 high brightness LED light engine configurations in IES type II, III, IV and V distributions enables mounting heights from 15ft to over 35ft
- Maintenance free housing designed to IP65 and 60,000 hours life
- Energy control option uses less than 50% of the energy of an equivalent HID at full brightness
- Internal self-monitoring sensor detects above-tolerance temperatures and automatically reduces heat load to preserve LED life
- Mounting versatility with choice of traditional straight, architectural upswept die-cast aluminum or mast arm fitter designs
- Optional vandal resistant guard provides additional protection when necessary
- 20kA surge protection with an end of life LED indicator

Certifications

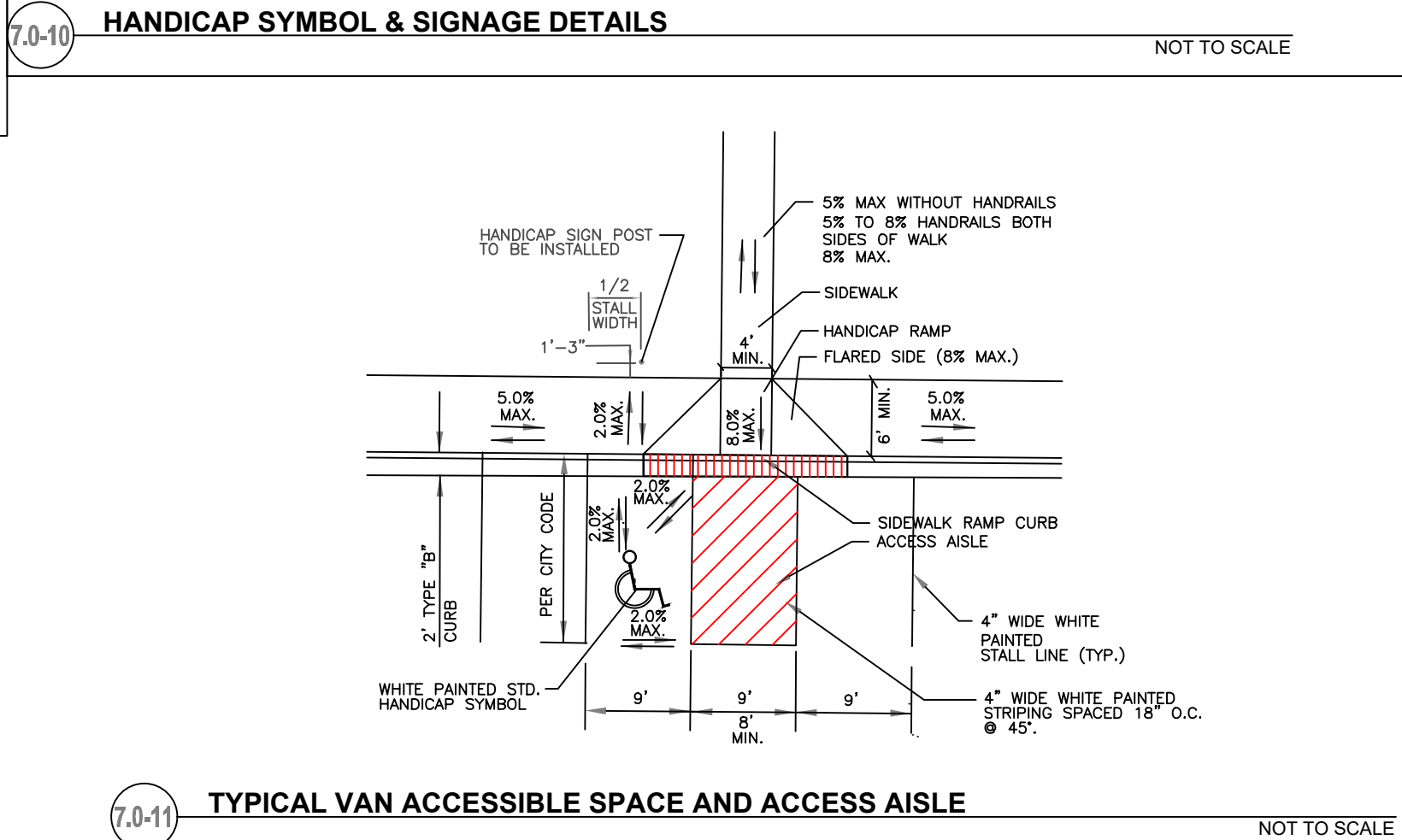
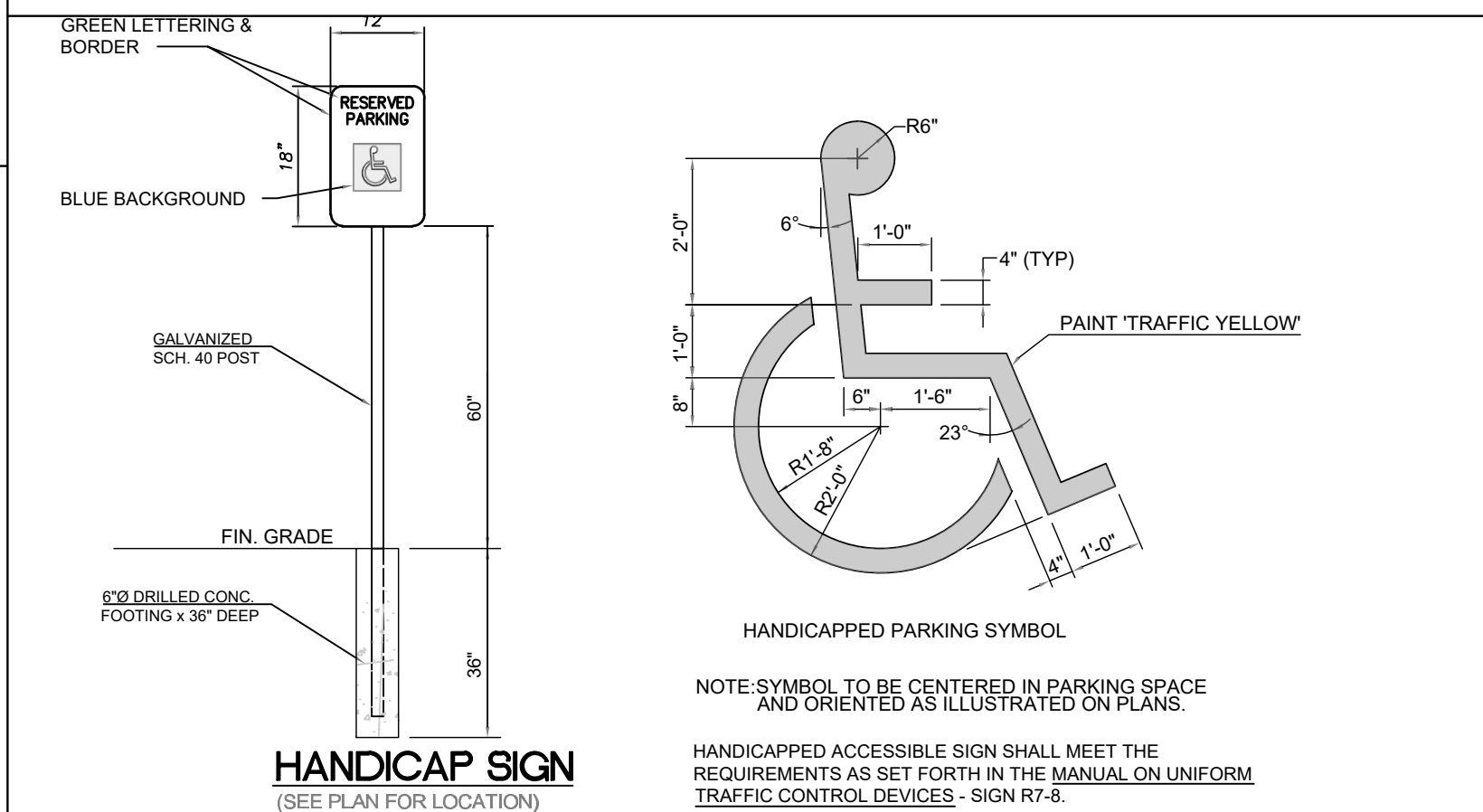
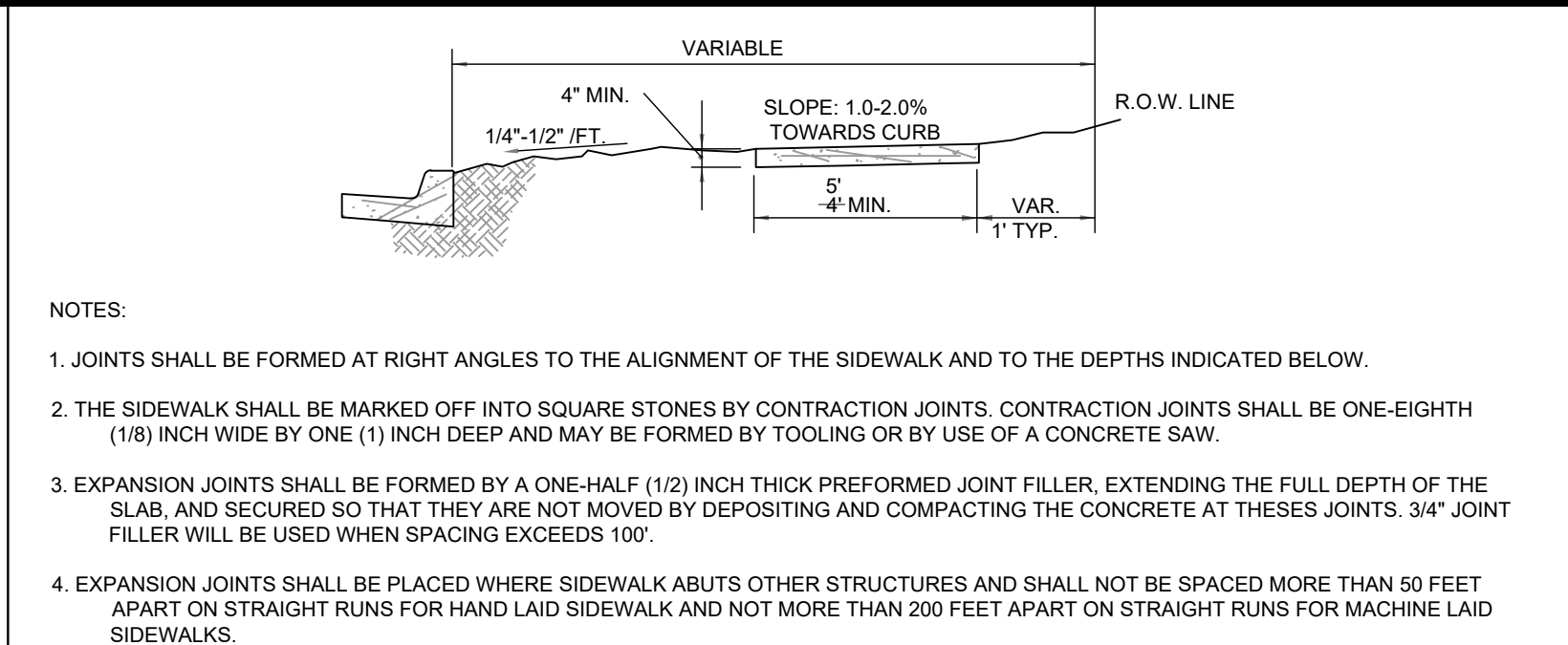
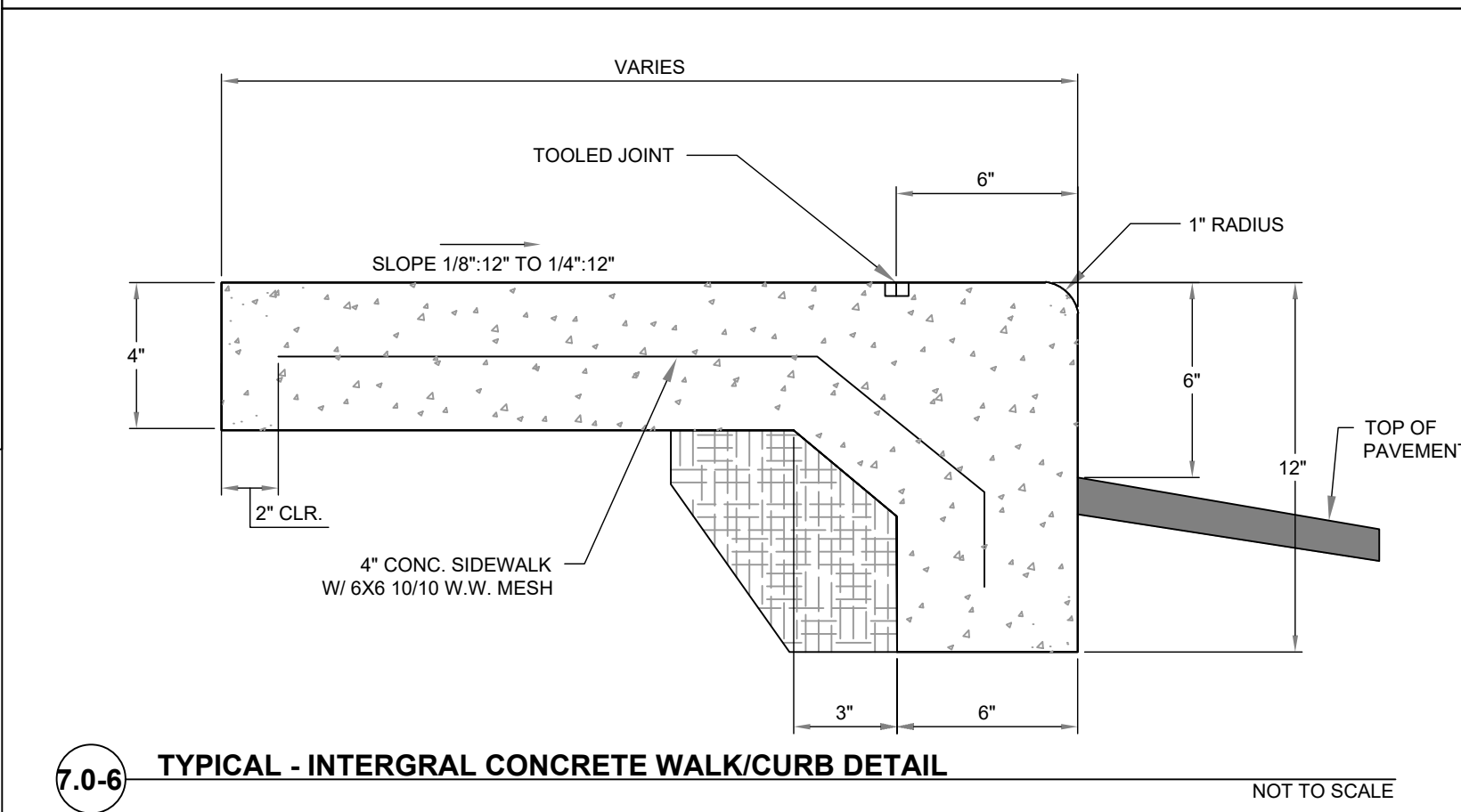
- DesignLights Consortium (DLC) qualified
- UL1598A
- CSA
- Wet listed
- IDA

FIXTURES MOUNTED AT 25'
FIXTURE TO MATCH LOT 1 FIXTURES

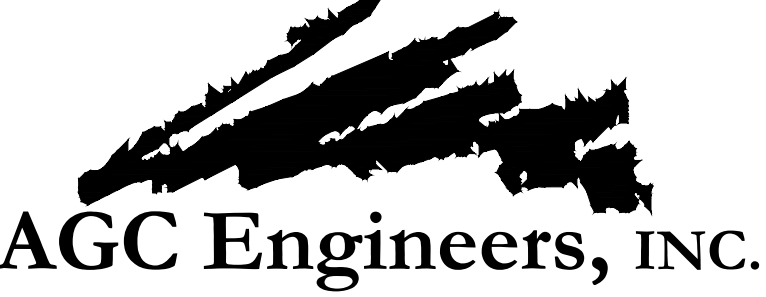
2 TYPICAL PARKING LOT LIGHT NOT TO SCALE



7.0-5 TYPICAL CONCRETE CURB DETAILS NOT TO SCALE



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OAKVIEW - LOTS 2, 3 AND 4 LEE'S SUMMIT, JACKSON COUNTY, MISSOURI	
PRELIMINARY DEVELOPMENT PLANS DETAILS	C4.0

D:_ACA HOMEWORK -Star Development- Oakview (Lee's Summit) Lot 2\Drawings\Drawings-Plans\Preliminary Development Plan\LANDSCAPE PLAN.dwg, 7/10/2020 10:29:30 AM, ANSI full based D (34.00 x 22.00 inches), 1:1



LANDSCAPE DATA

STREET FRONTAGE LANDSCAPE

DOUGLAS STREET TREES REQUIRED (1 PER 30')(795/30')	27 TREES
DOUGLAS STREET TREES PROVIDED	27 TREES
VICTORIA DRIVE TREES REQUIRED (1 PER 30')(260/30')	9 TREES
VICTORIA DRIVE TREES PROVIDED	9 NEW TREES
DOUGLAS STREET SHRUBS REQUIRED (1 PER 20')(795/20')	40 SHRUBS
DOUGLAS STREET SHRUBS PROVIDED	45 SHRUBS(PARKING LOT SCREEN)
VICTORIA DRIVE SHRUBS REQUIRED (1 PER 20')(260/20')	13 SHRUBS
VICTORIA DRIVE SHRUBS PROVIDED	13 SHRUBS

SITE LANDSCAPE REQUIRED

TREES REQUIRED (1 PER 5,000 S.F. OF LOT AREA EXCL BLDG.)(297,179.39-24,394/5000)	55 TREES
TREES PROVIDED	55 TREES
SHRUBS REQUIRED (2 PER 5,000 S.F. OF LOT AREA EXCL BLDG)(297,179.39-24,394/5000X2)	110 SHRUBS
SHRUBS PROVIDED	110 SHRUBS(58 FOR PARKING LOT SCREEN)

PARKING LOT LANDSCAPE

LANDSCAPE AREA REQUIRED (5% OF PARKING AREA) (122,703X.05)	6,135.15 S.F.
LANDSCAPE AREA PROVIDED	7,097.67 S.F.
TREES REQUIRED (1 PER ISLAND)	25 TREES
TREES PROVIDED	25 TREES
SCREENING (2.5 FT. HT ALONG ENTIRE FRONTAGE ADJ. TO STREET)	58 SHRUBS

MODIFICATIONS REQUESTED:

1. REDUCE THE CALIPER OF THE SHADE TREES FROM 3 INCHES TO 2.5 INCHES.
2. REDUCE THE HEIGHT OF THE EVERGREEN TREES FROM 8 FEET TO 5 FEET.
3. REDUCE THE CALIPER OF THE ORNAMENTAL TREES FROM 3 INCHES TO 2 INCHES.

NOTES:

1. UTILITY INFORMATION SHOWN IS DESIGNED LOCATION OR LOCATIONS BASED ON UTILITY LOCATES. AS BUILT LOCATIONS MAY VARY. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES PRIOR TO COMMENCING LANDSCAPE INSTALLATION. NOTIFY THE LANDSCAPE ARCHITECT OF ANY CONFLICTS OR OBSTRUCTIONS.
2. QUANTITIES INDICATED ON THE PLAN ARE FOR CONVENIENCE ONLY. CONTRACTOR SHALL VERIFY ALL PLANT QUANTITIES PRIOR TO PLANTING. NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES. THE PLAN QUANTITIES AND NUMBER OF SYMBOLS SHALL SUPERSEDE QUANTITIES IN THE SCHEDULE
3. ALL PLANT MATERIAL SHALL COMPLY WITH THE CITY OF LEE'S SUMMIT STANDARDS(EXCEPT SIZE MODIFICATIONS ALLOWED BY THE PLAN APPROVAL) AND ANSI A60.1 THE AMERICAN STANDARD FOR NURSERY STOCK.
4. ALL PLANTS SHALL MEET THE SIZE REQUIREMENTS OF THE LEE'S SUMMIT ORDINANCE EXCEPT AS ALLOWED BY MODIFICATION AS PART OF THIS PLAN APPROVAL. ALL TREES SHALL BE CALIPERED AND UNDERSIZED TREES SHALL BE REJECTED.
5. ALL SHRUBS TO BE UTILIZED FOR SCREENING SHALL BE 24" HEIGHT AT TIME OF PLANTING.
6. ALL PLANTING BEDS CONTAINING SHRUBS, GROUND COVER, PERENNIALS, ANNUALS SHALL BE IN A PLANTING BED WITH 3" MIN. DEPTH OF MULCH AND A "V-CUT" EDGE.
7. ALL TREES SHALL HAVE A MIN. 3 FT. DIA. AREA THAT HAS 3" MIN. DEPTH OF WOOD MULCH.
8. ALL TURF AREAS SHALL BE SODDED UNLESS INDICATED ON THE PLANS.
9. ANY DEVIATION FROM THE APPROVED LANDSCAPE PLAN SHALL REQUIRE WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT AND THE CITY OF LEE'S SUMMIT, PRIOR TO INSTALLATION.
10. THE LANDSCAPE ARCHITECT AND OWNER SHALL APPROVE GRADES AND CONDITION OF SITE PRIOR TO SODDING OPERATIONS.
11. INSTALLATION AND MAINTENANCE OF LANDSCAPING SHALL COMPLY WITH THE CITY OF LEE'S SUMMIT STANDARDS
12. ALL PLANT MATERIAL SHALL BE INSTALLED TO ALLOW A MINIMUM CLEARANCE BETWEEN PLANT AND ADJACENT PAVEMENT OF 1 FT. FOR PERENNIALS AND GROUND COVER AND 1.5 FT. FOR SHRUBS. A 2 FT. CLEARANCE(4 FEET FROM BACK OF CURB TO THE CENTER OF SHRUB)FOR CAR OVERHANG IS REQUIRED AT ALL PARKING ISLANDS AND PERIMETERS.
13. AFTER COMPLETE INSTALLATION OF ALL PLANT MATERIAL AND SOD THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT THAT THE WORK IS COMPLETE AND READY FOR REVIEW. THE LANDSCAPE ARCHITECT SHALL REVIEW THE LANDSCAPE INSTALLATION TO DETERMINE COMPLIANCE WITH THE APPROVED PLANS. WHEN THE LANDSCAPE INSTALLATION MEETS THE REQUIREMENTS OF THE APPROVED PLAN, THE LANDSCAPE ARCHITECT SHALL PROVIDE A SIGNED AND SEALED LETTER TO THE CITY STATING THAT ALL LANDSCAPE PLANTINGS HAVE BEEN INSTALLED PER THE APPROVED PLAN.
14. ALL EXTERIOR GROUND OR BUILDING MOUNTED EQUIPMENT (MECHANICAL, ELECTRICAL AND/OR TELEPHONE CABINETS), TRANSFORMERS, AIR CONDITIONING UNITS, ETC. SHALL BE SCREENED FROM PUBLIC VIEW BY INSTALLING FIVE SEA GREEN JUNIPERS EVENLY SPACED AROUND THE PERIMETER. FINAL LOCATION OF ANY EQUIPMENT SHALL BE DETERMINED AND VERIFIED WITH THE FINAL DESIGN AND PERMITTING OF THE PROJECT.
15. ALL ROOFTOP EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW WITH AN ARCHITECTURAL TREATMENT COMPATIBLE WITH THE BUILDING AND INTEGRAL TO THE OVERALL APPEARANCE OF THE BUILDING.

SHADE TREES

	ARA	10 EA.	Acer rubrum 'Armstrong'	Armstrong Red Maple	2.5" Cal.	B&B
	QPG	30 EA.	Quercus palustris Green Pillar	Green Pillar Oak	2.5" Cal.	B&B
	UXF	27 EA.	Ulmus x Frontier	Frontier Elm	2.5" Cal.	B&B
	ZSM	60 EA.	Zelkova serrata 'Musashino'	Musashino Columnar Zelkova	2.5" Cal.	B&B

ORNAMENTAL TREES

	CC	9 EA.	Cercis canadensis	Red Bud	2" Cal. & 8' ht.	B&B
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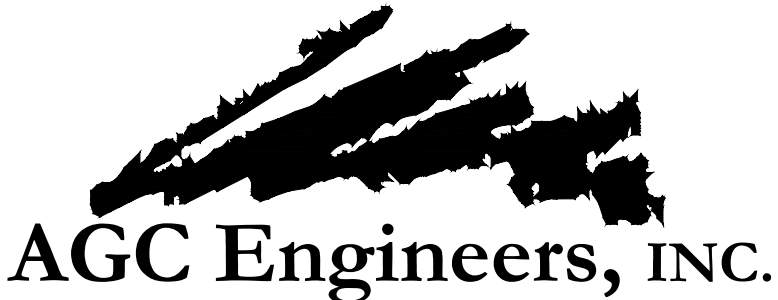
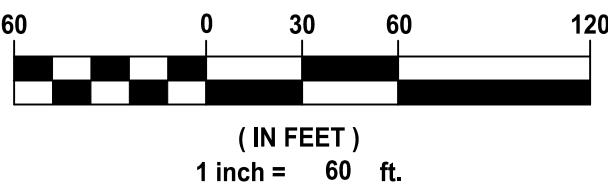
EVERGREEN TREES

	JCSP	60 EA.	Juniperus chinensis 'Spartan'	Spartan Juniper	5' ht.	B&B
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SHRUBS

o	BSW	57 EA.	Buxus sinica var. insularis 'Wintergreen' fka a microphylla var. Wintergreen Boxwood		5 gal.	Cont.
	JHH	192 EA.	Juniperus horizontalis 'Hughes'	Hughes Juniper	5 gal.	Cont.
Q	VCK	26 EA.	Viburnum carlesii 'Korean Spice'	Koreanspice Viburnum	5 gal.	Cont.

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OAKVIEW - LOTS 2, 3 AND 4
LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

PRELIMINARY DEVELOPMENT PLANS
LANDSCAPE PLAN

L1.0