

PRELIMINARY DEVELOPMENT PLAN Oakview - Lots 2, 3 and 4 A Subdivision in Lee's Summit, Jackson County, Missouri

OVERALL DESCRIPTION

LOTS 2, 3 AND 4, OAKVIEW - LOTS 1-5, A REPLAT OF LOT 2, MINOR PLAT, POLYTAINERS ADDITION, LOT 1 AND 2, AND PART OF DOUGLAS STREET, ALL IN THE NE ¹/₄ OF SEC. 31-48-31, A SUBDIVISION IN THE CITY OF LEE'S SUMMIT, JACKSON COUNTY, MISSOURI.

LOT SIZE PER RECORDED PLAT: LOT 2 1.27 AC LOT 3 0.939 AC LOT 4 0.764 AC 0.764 AC

CP-2 ZONING DESCRIPTION

Part of Lot 2, Minor Plat, "POLYTAINERS ADDITION LOTS 1 & 2" (a replat of Lot 1, Lee's Summit North Industrial Park, First Plat, a subdivision in Lee's Summit, Jackson County Missouri) and right-of-way for Northeast Douglas Street and Northwest Victoria Drive, in the Northeast One-Quarter of Section 31, Township 48, and Range 31, being more particularly described as follows.

Commencing at the Northwest corner of the said Northeast One-Quarter; thence South 88 degrees 04 minutes 20 seconds East (South 89 degrees 56 minutes 58 seconds East, Platted), along the North line of the said Northeast One-Quarter a distance of 1310.14 feet; thence South 01 degrees 47 minutes 43 seconds West a distance of 237.67 feet to the point of Beginning; thence continuing South 01 degrees 47 minutes 43 seconds West a distance of 642.20 feet; thence North 88 degrees 03 minutes 31 seconds West a distance of 363.40 feet; thence North 01 degrees 54 minutes 05 seconds East(North 00 degrees 03 minutes 02 seconds East, Platted), along the West line of said Lot 2 and its Southerly extension a distance of 124.22 feet to a point of curvature; thence along a curve to the left, having and initial tangent bearing of North 69 degrees 47 minutes 53 seconds East, a radius of 115.00 feet, a central angle of 33 degrees 18 minutes 24 seconds and an arc length of 66.85 feet; thence North 36 degrees 29 minutes 29 seconds East a distance of 39.14 feet to a point of curvature; thence along a curve to the left, tangent to the previous course and having a radius of 115.00 feet, a central angle of 34 degrees 12 minutes 47 seconds and an arc length of 68.67 feet; thence North 02 degrees 16 minutes 42 seconds East a distance of 379.85 feet; thence South 88 degrees 04 minutes 14 seconds East a distance of 265.76 feet, said point being the Point of Beginning, and containing 4.3134 acres, more or less.

NOTES:

- 1. THIS IS AN AMENDMENT OF THE PREVIOUSLY APPROVED PRELIMINARY DEVELOPMENT PLAN FOR LOTS 2, 3, AND 4. 2. BOUNDARY INFORMATION, SITE AREA INFORMATION, ADJACENT PROPERTY LINES AND UTILITY INFORMATION IS FROM MCLAUGHLIN MUELLER, INC. AND THE FINAL PLAT RECORDED AS INSTRUMENT NO. 2019E0038352 AT BOOK 183 / PAGE 78-80 ON 5-24-19.
- 3. TOPOGRAPHY IS FROM MCLAUGHLIN MUELLER, INC. SURVEY CONDUCTED PRIOR TO JANUARY 6, 2020 4. THE USE OF ALL TRACTS, LOTS, UNITS AND PROPERTIES IN THIS SUBDIVISION SHALL HEREAFTER BE SUBJECT TO THE COVENANTS AND RESTRICTIONS, WHICH INSTRUMENTS ARE TO BE RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF JACKSON COUNTY, MISSOURI, AS PROVIDED ABOVE, AND WHICH WILL BECOME A PART OF THE DEDICATION OF THE PLAT.
- 5. BUILDING LINES (BL) OR SETBACK LINES WILL ESTABLISHED AS SHOWN ON THE PLAT AND NO BUILDING OR PORTION THEREOF SHALL BE CONSTRUCTED BETWEEN THIS LINE AND STREET RIGHT-OF-WAY.
- 6. ALL CONSTRUCTION MUST COMPLY WITH THE MOST RECENT ADOPTED CITY CODE, ORDINANCES, AND DESIGN STANDARDS. 7. ALL PARKING LOTS SHALL HAVE CG-1 CURB AS REQUIRED BY CODE. ALL DRIVES AND PARKING TO BE ASPHALT
- UNLESS OTHERWISE NOTED ON THE PLAN. 8. ALL DRIVE AISLES, DRIVEWAYS, AND STREETS ARE DIMENSIONED FROM BACK OF CURB TO BACK OF CURB ON
- THIS PLAN. 9. ALL ACCESSIBLE PARKING SHALL COMPLY WITH THE ADA REQUIREMENTS. 10. ALL LIGHTING SHALL COMPLY WITH THE LIGHTING STANDARDS CONTAINED WITHIN ARTICLE 8 OF THE UDO.

FLOODPLAIN NOTE

ACCORDING TO THE FEMA FLOOD INSURANCE RATE MAP 29095C0409G DATED JANUARY 20, 2017, THIS PROJECT LIES OUTSIDE OF ANY IDENTIFIED FEMA FLOODPLAIN.

SITE DATA

						Land Area (sf)						
Lot No.	Address	Existing Zoning	Proposed Zoning	Proposed Use	Anticiapted Schedule	Gross	R/W	POS ⁽¹⁾	POS ⁽²⁾	Parkland	Net	Proposed Building Area (sf)
2	1410 NE Douglas St	CP-2	CP-2	restaurant/retail	2020-2022	55,341.55	0.000	0.000	0.000	0.000	55,341.55	3,860
3	1430 NE Douglas St	CP-2	CP-2	restaurant/retail	2020-2022	40,893.46	0.000	0.000	0.000	0.000	40,893.46	4,800
4	1440 NE Douglas St	CP-2	CP-2	restaurant/retail	2020-2022	33,292.26	0.000	0.000	0.000	0.000	33,292.26	4,800
	totals 129,527.27											
		Legend Notes:	POS ⁽¹⁾ POS ⁽²⁾ FAR	= Private Open Space not intended to be counted toward parkland dedication = Private Open Space to be counted toward parkland dedication = Floor Area Ratio								
		NOLES:	1. At the election of the Developer the units may be FOR SALE or FOR RENT/LEASE.									

- REQUESTED MODIFICATIONS TO CITY CODE AND STANDARDS
- TO ALLOW THE REQUIRED PARKING STALL CALCULATIONS AS LISTED IN THE SITE DATA TABLE, ABOVE.
- . TO ALLOW CONSTRUCTION OF A RETAINING WALL WITHIN THE 20' SETBACK ALONG NW DOUGLAS STREET AND NW VICTORIA DRIVE
- ALONG NW VICTORIA DRIVE BY NO MORE THAN 6 FEET.
- TO MEET THE SITE LAYOUT REQUESTED BY THE DEVELOPER, CITY CODE SECTION 8.620.B.3 WILL NOT BE 6 FEET BETWEEN THE SIDE YARDS OF LOTS 2 AND 3 AND LOTS 4 AND 5; HOWEVER, SHARED PARKING AND/OR CROSS ACCESS WILL BE ALLOWED.

OWNER/DEVELOPER

816-781-3322

- TIM HARRIS
- STAR ACQUISITIONS AND DEVELOPMENT LLC 244 WEST MILL ST, STE 107 LIBERTY, MO 64068

405 S. Leonard St., Suite D Liberty, Missouri 64068

816.781.4200 ■ fax 792.3666

www.agcengineers.com

NE 1/4 Sec. 31, Twp. 48 N. Rge. 31 W.

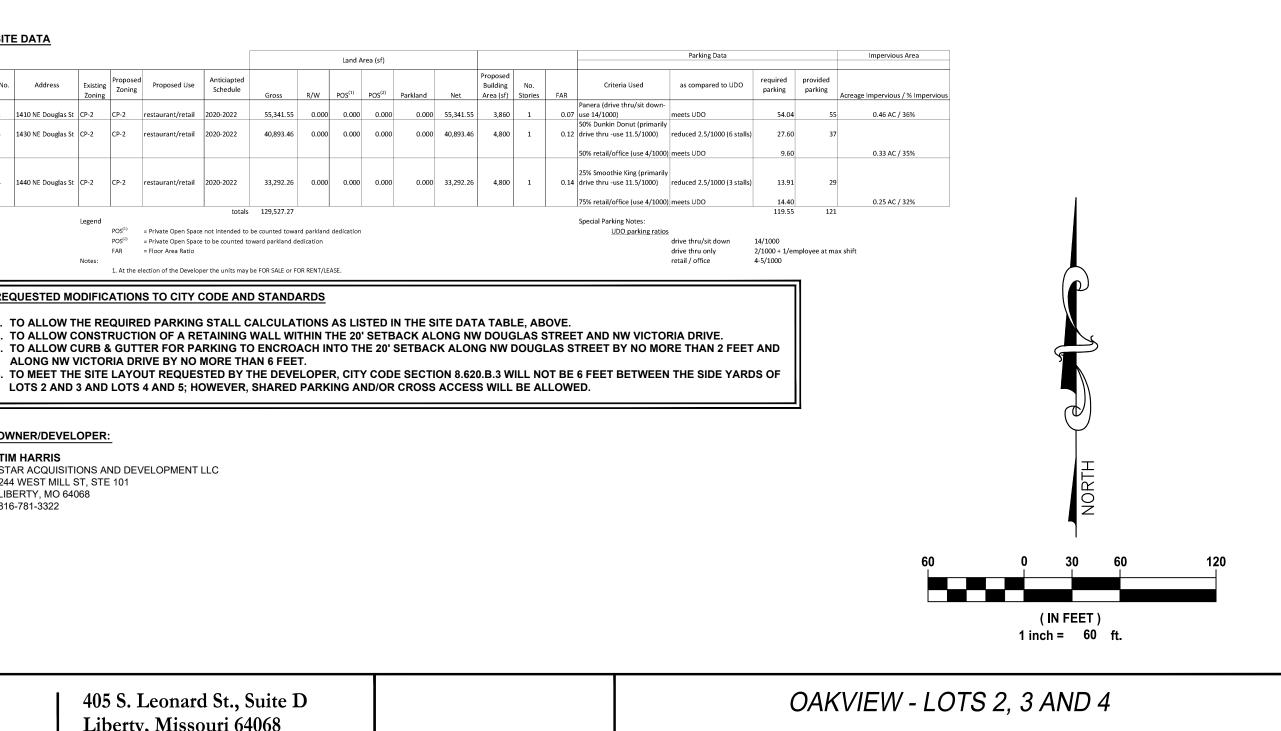
PROJECT **LOCATION** LOCATION MAP NOT TO SCALE

> LOT DATA LOT 1 (2.16 AC.) CLIMATE CONTROLLED STORAGE 3 STORY NO CHANGE PROPOSED FROM PREVIOUSLY APPROVED PRELIMINARY DEVELOPMENT PLAN

LOT 2 (1.27 AC.) RETAIL /RESTAURANT 1 STORY 3,860 S.F. LOT 3 (0.939 AC.) RETAIL / RESTAURANT 1 STORY 4,800 S.F.

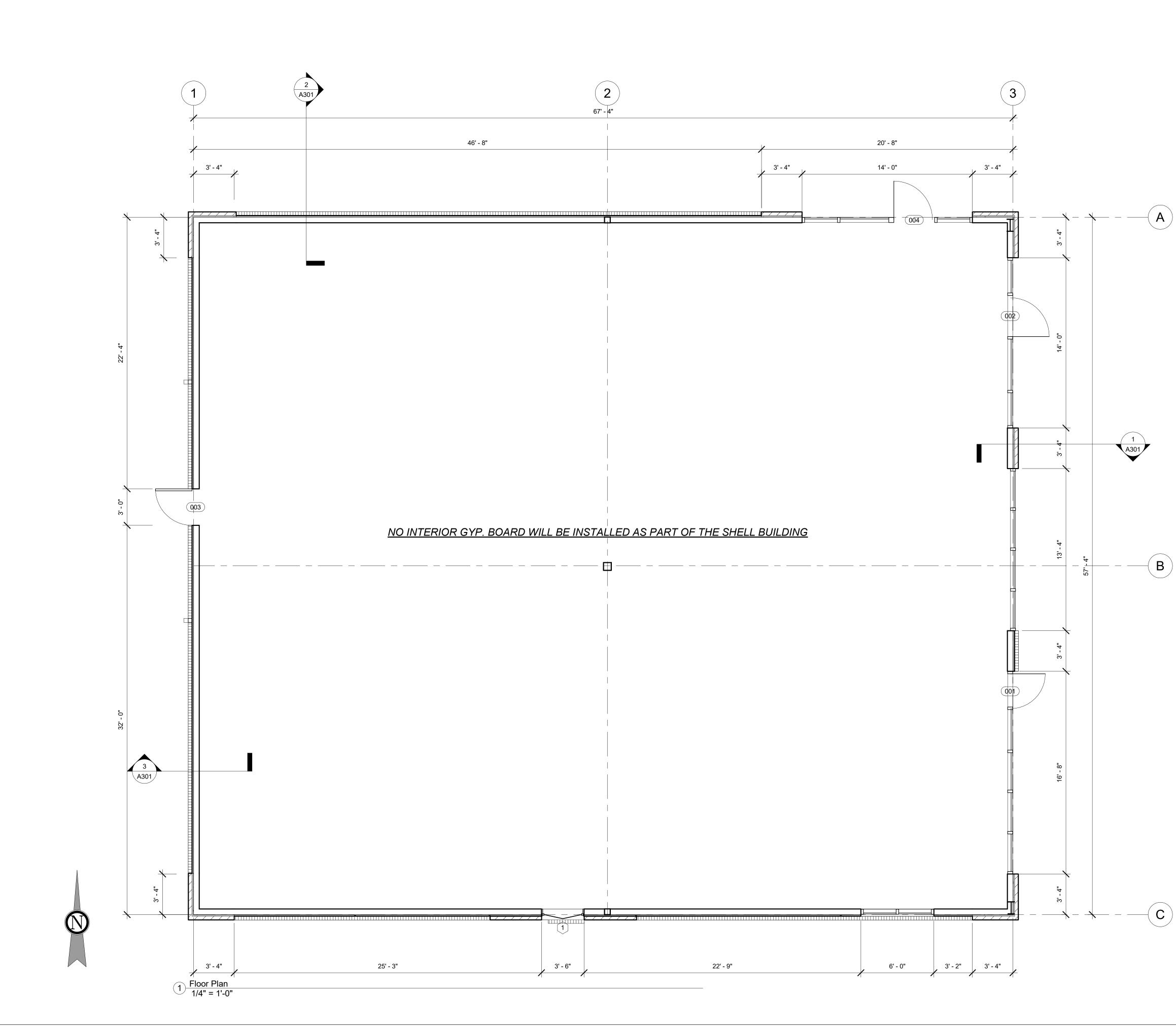
LOT 4 (0.764 AC.) RETAIL/ RESTAURANT 1 STORY 4,800 S.F.

LOT 5 (2.25 AC.) **HOTEL 4 STORY** NO CHANGE PROPOSED FROM PREVIOUSLY APPROVED PRELIMINARY DEVELOPMENT PLAN



LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

PRELIMINARY DEVELOPMENT PLANS



Ĭ	
DOUGLAS ROAD CENTER Lot 2	NEW BUILDING FOR
er Mo. Licence A-4226 ag Co., Arch. Cert. of Authorit Description evision Schedule	
evision Schedule	

Scale

1/4" = 1'-0"

BUILDING CODE ANALYSIS

APPLICABLE CODES 2018 INTERNATIONAL BUILDING CODE 2018 INTERNATIONAL MECHANICAL CODE 2018 INTERNATIONAL PLUMBING CODE 2018 INTERNATIONAL FIRE CODE

A LATER DATE FOR INTERIOR BUILD OUT.

OCCUPANCY CLASSIFICATION A-3 (RESTAURANT)

TYPE OF CONSTRUCTION V-B, SPRINKLED

FLOOR AREA TOTAL AREA: 3,860 SQ.FT.

OCCUPANT LOAD TO BE DETERMINED

<u>EXITS REQUIRED</u> TO BE DETERMINED

TOILET FACILITIES REQUIRED TO BE DETERMINED

TOILET FACILITIES PROVIDED

DEFERRED SUBMITTALS TO BE COMPLETED BY OTHERS FIRE SPRINKLER PLANS (PLANS BY SUBCONTRACTOR)

FIRE ALARM PLANS (PLANS BY SUBCONTRACTOR) ROOF TRUSS PLANS (PLANS BY SUBCONTRACTOR)

EGRESS DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT. (THUMBTURN IS

PREMISES SHALL BE IDENTIFIED ON BOTH FRONT AND REAR DOORS, WITH NUMBERS AND/OR LETTERS. EACH CHARACTER SHALL BE NOT LESS THAN 6" HIGH WITH A MINIMUM STROKE WIDTH OF 0.5 INCHES. THEY SHOULD BE INSTALLED ON A CONTRASTING BACKGROUND AND BE PLAINLY LEGIBLE AND VISIBLE FROM THE STREE OR ROAD FRONTING THE PROPERTY. ADDRESS NUMBERS AND/OR LETTERS SHALL BE ARABIC NUMBERS OR

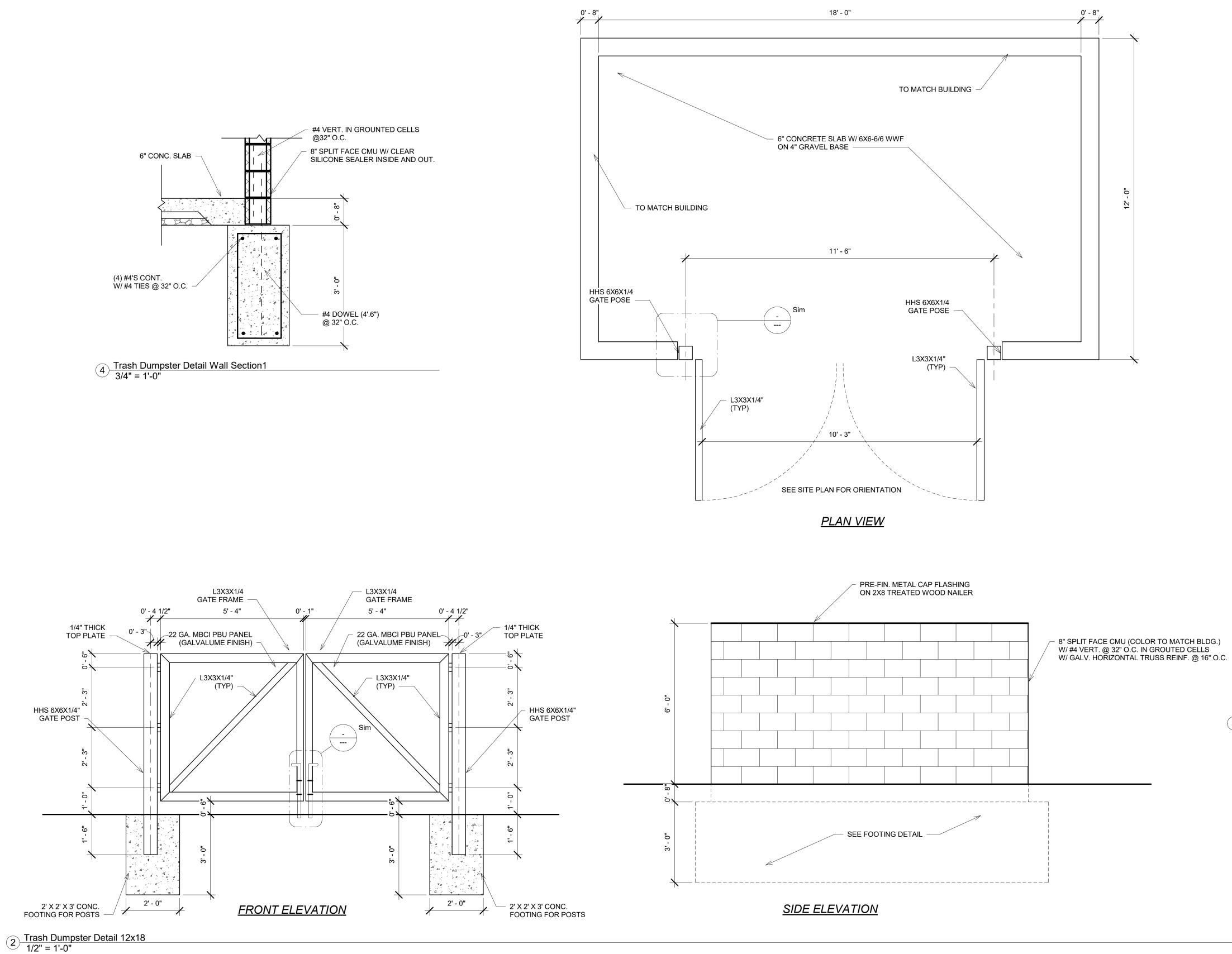
EXITS PROVIDED FOUR

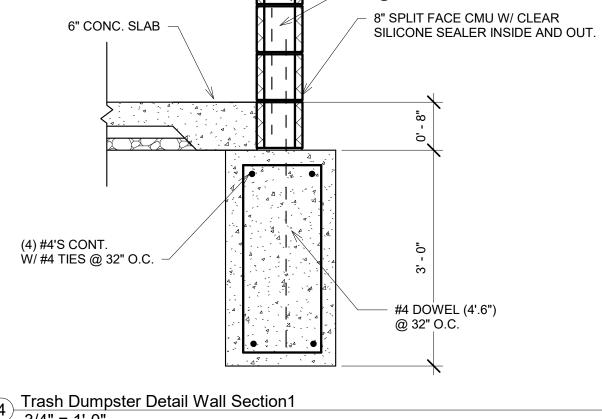
ACCEPTABLE)

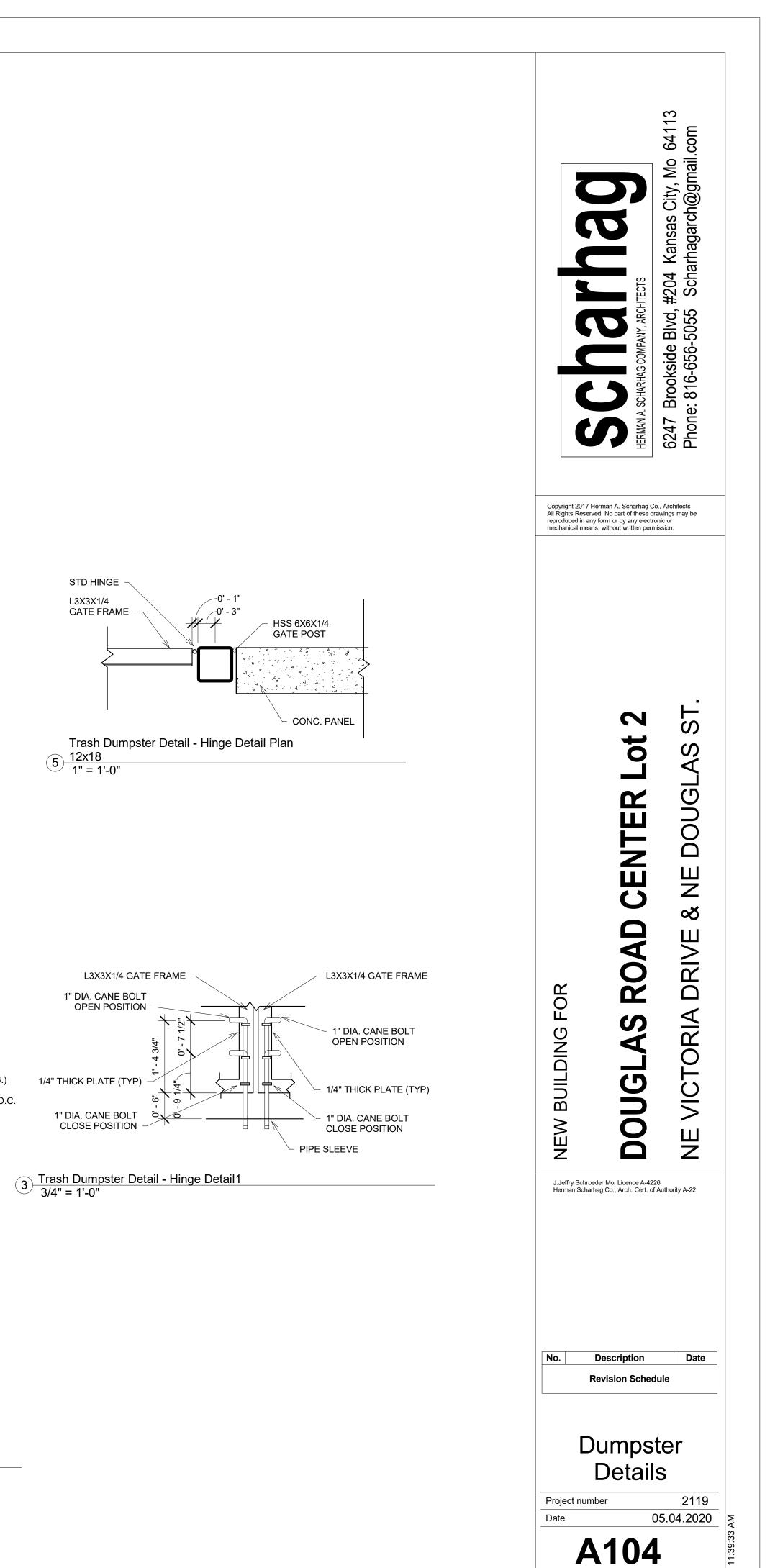
ALPHABETIC LETTERS.

2018 INTERNATIONAL FIRE CODE 2018 INTERNATIONAL ENERGY CONSERVATION CODE 2017 NATIONAL ELECTRICAL CODE 2009 ICC/ANSI A117.1

SUMMARY OF WORK NEW SHELL BUILDING FOR PANERA BREAD. THIS APPLICATION DOES NOT REQUEST A C.O., JUST A FINAL INSPECTION. SEPARATE TENANT FINISH PLANS WILL BE SUBMITTED AT

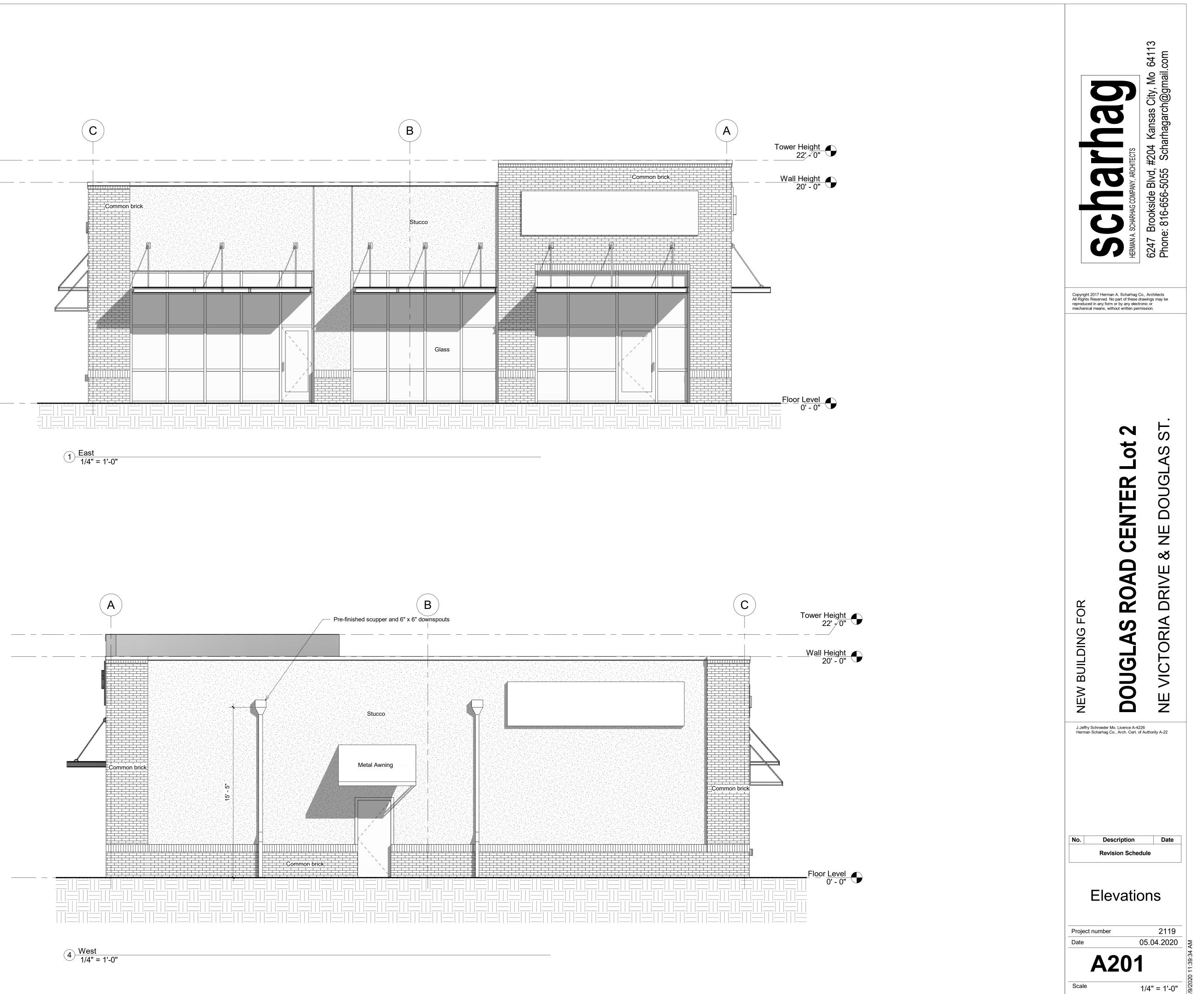


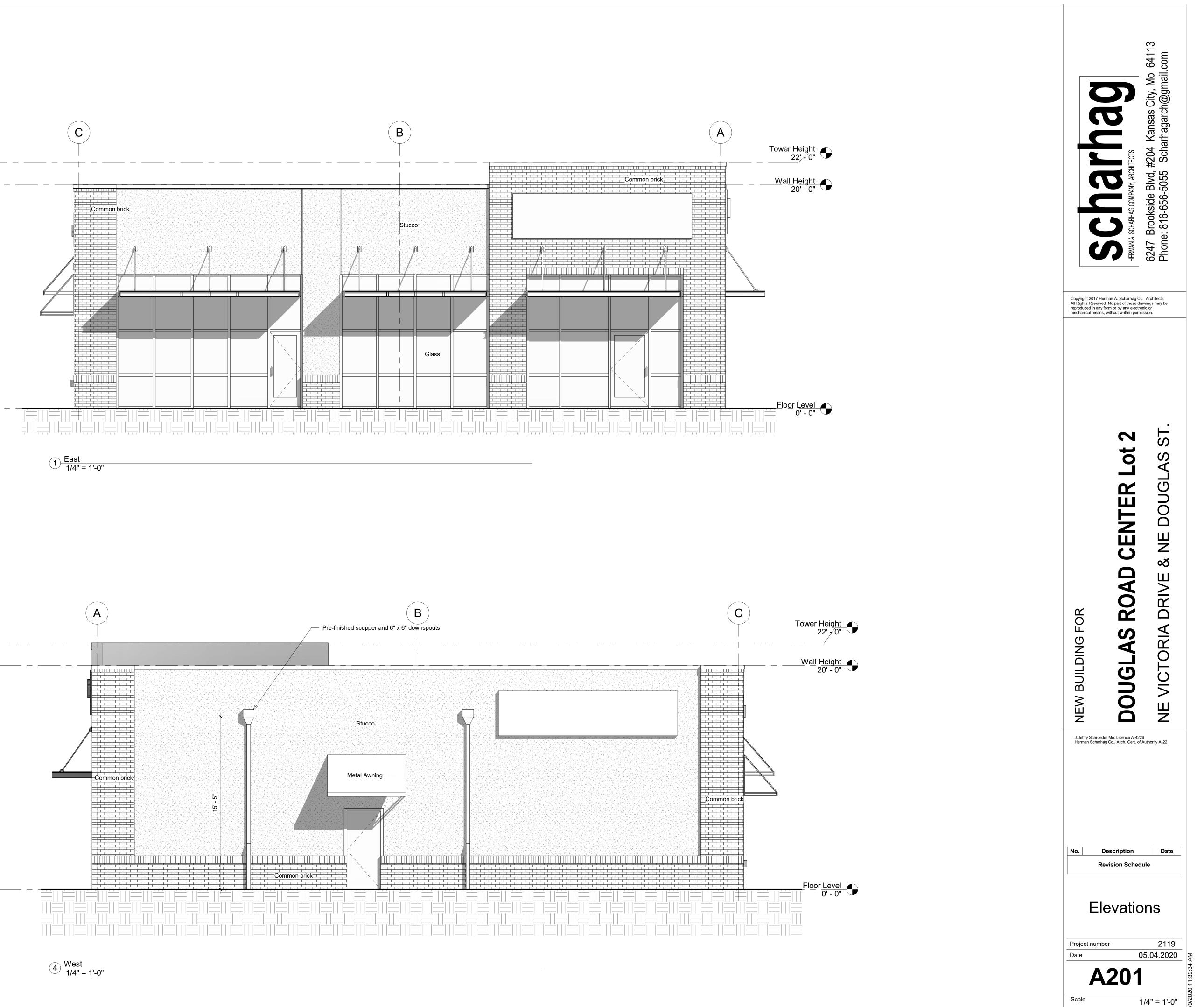


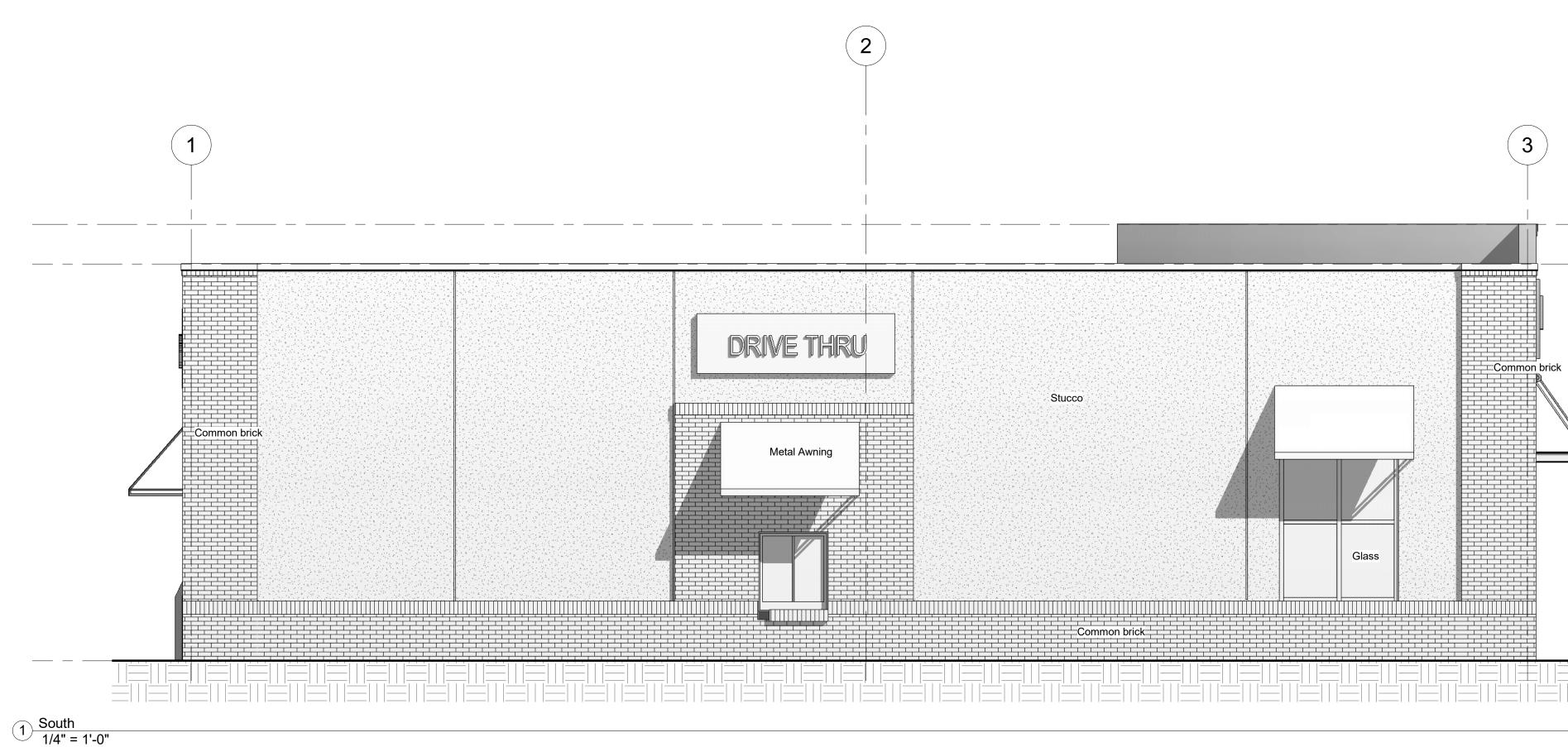


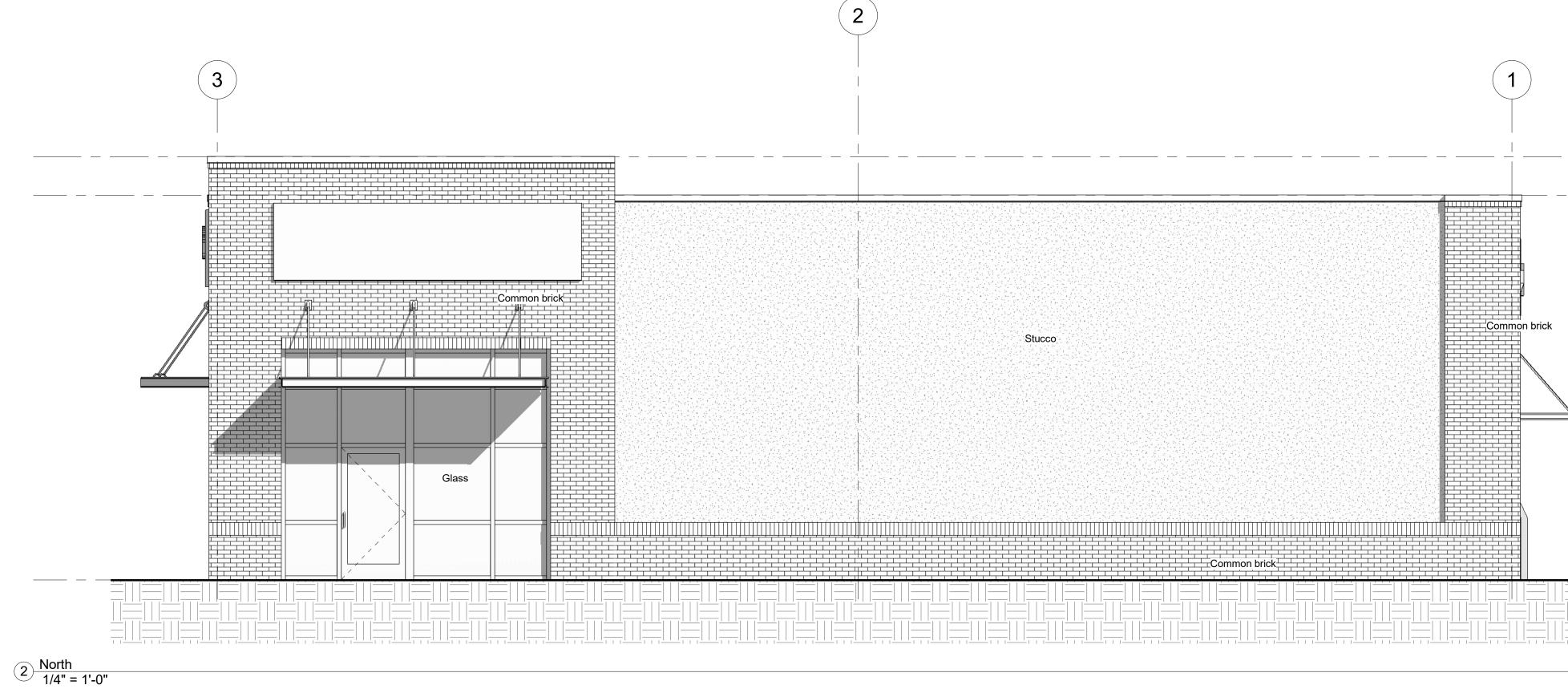
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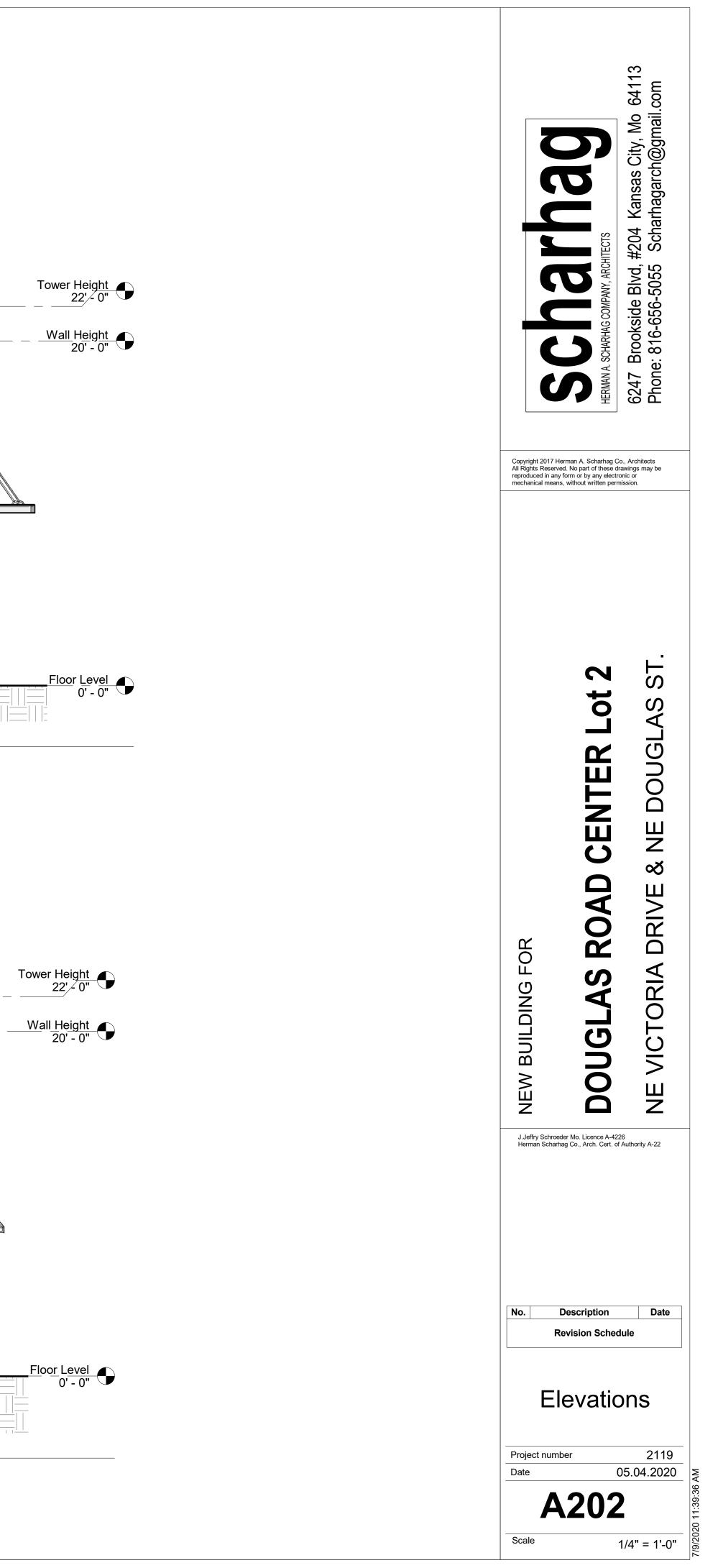
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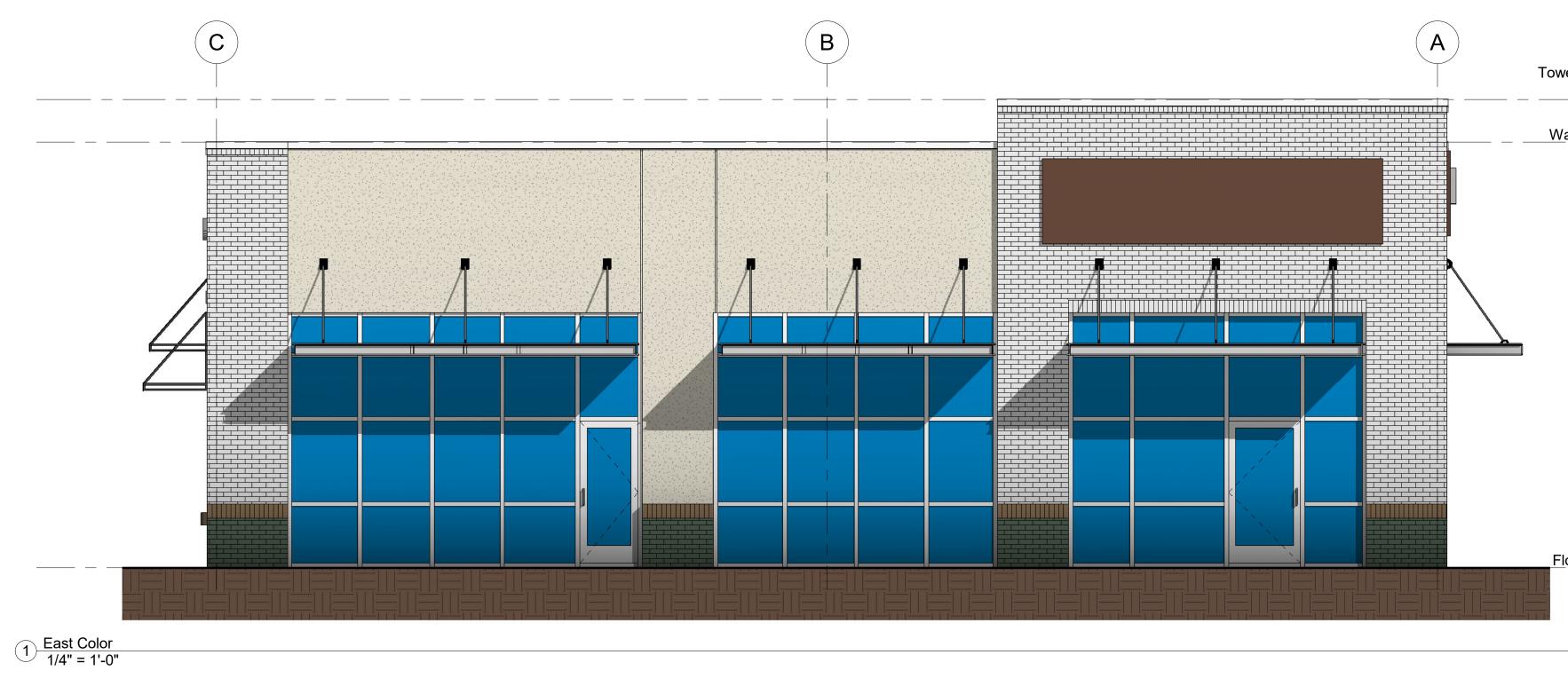


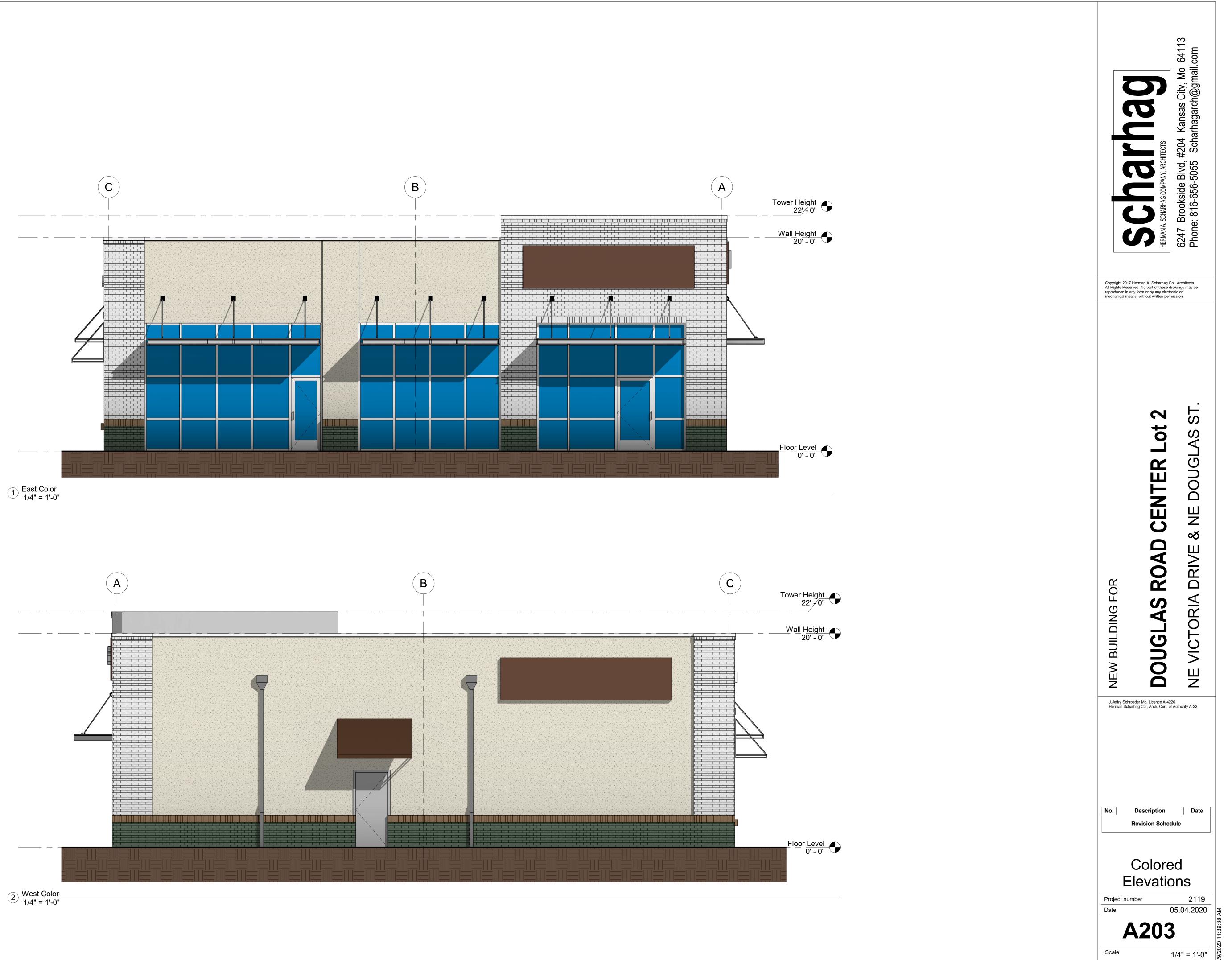


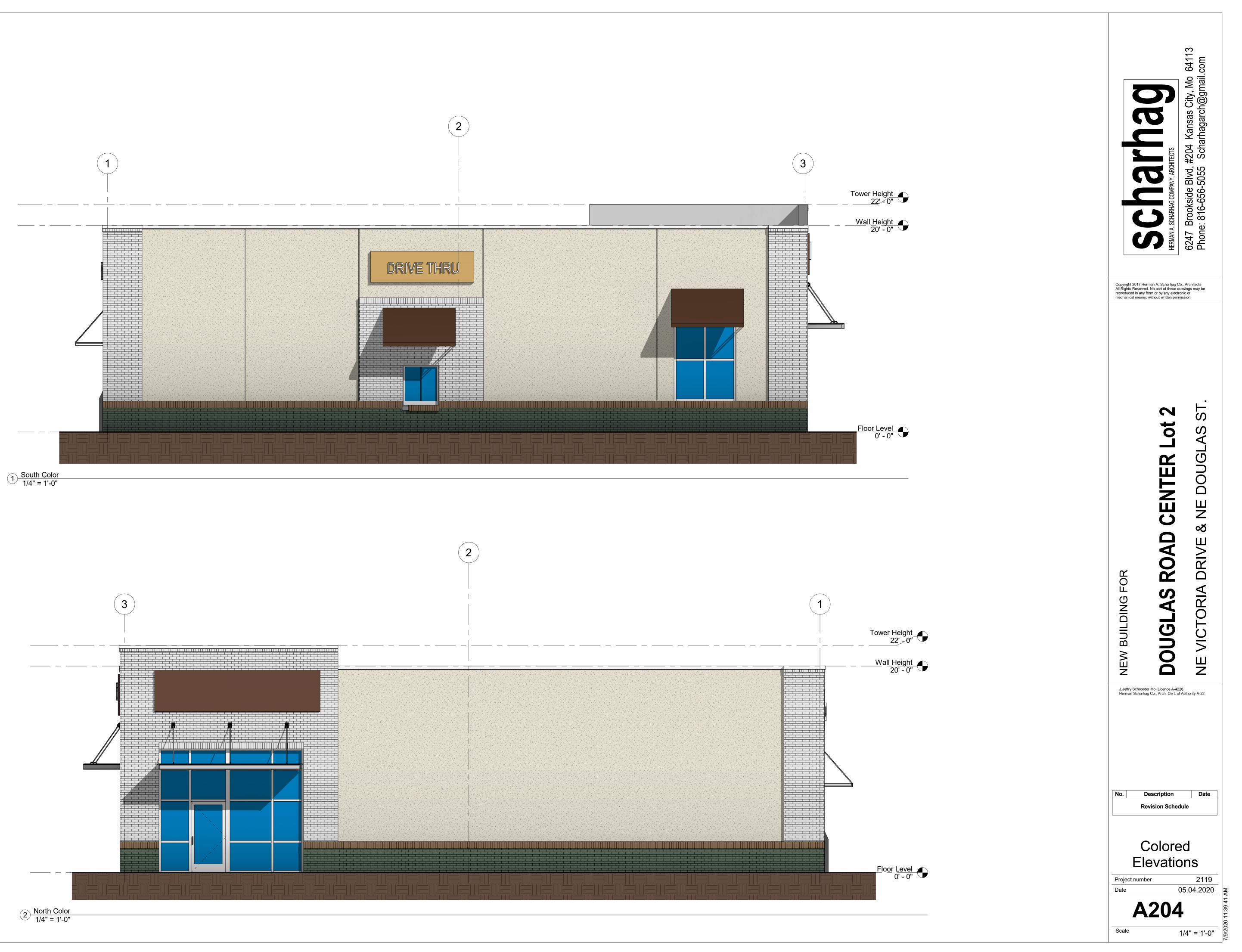


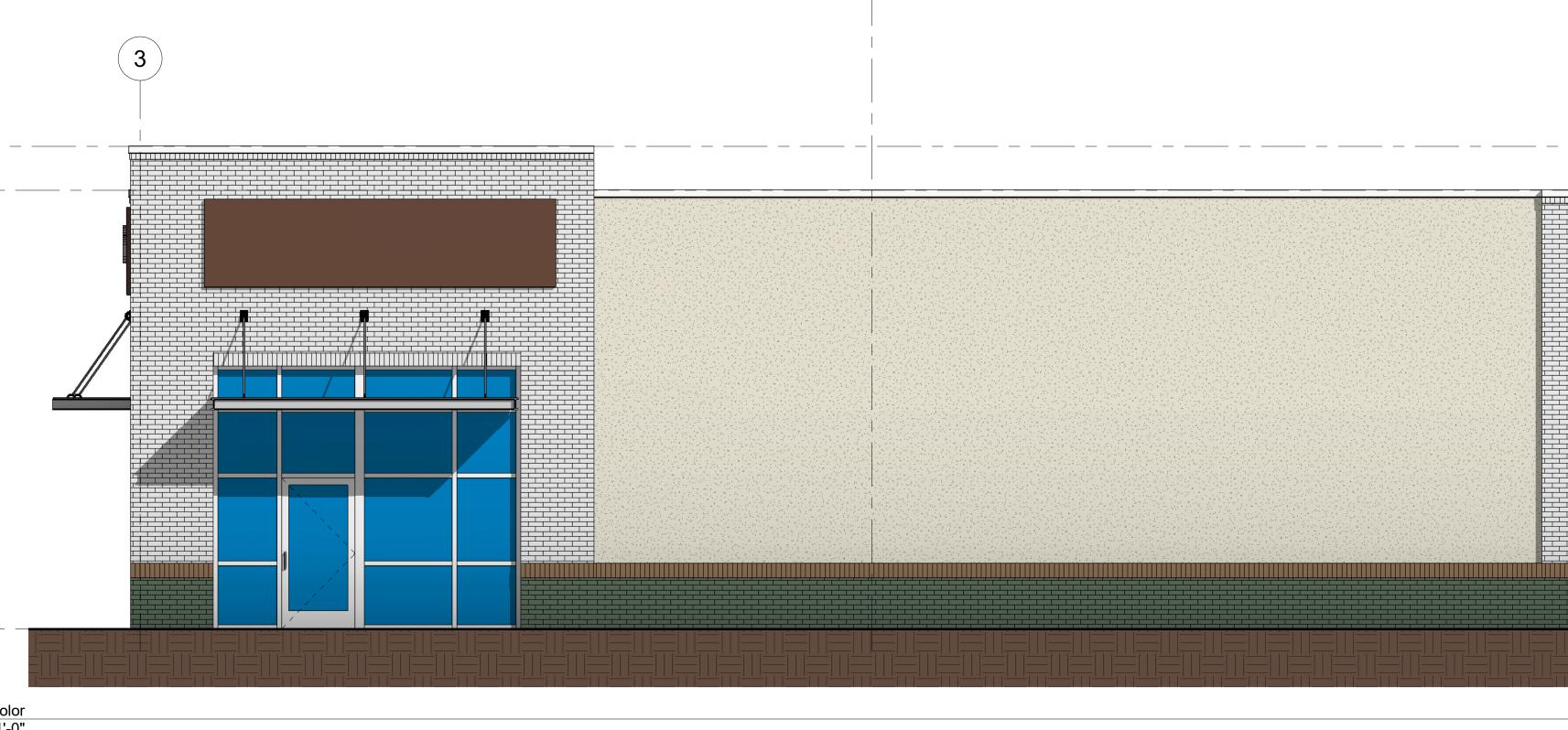


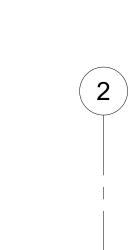


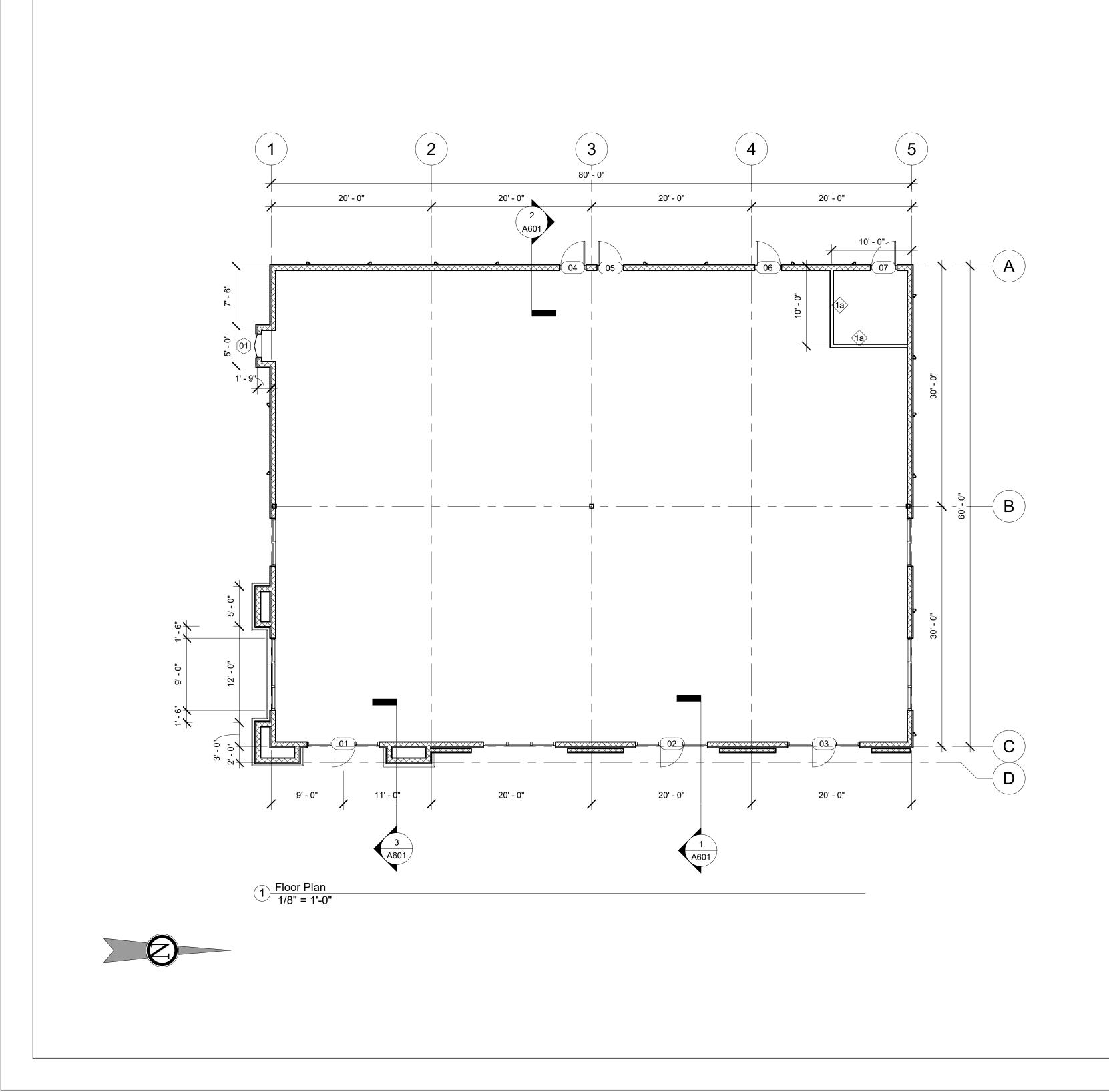






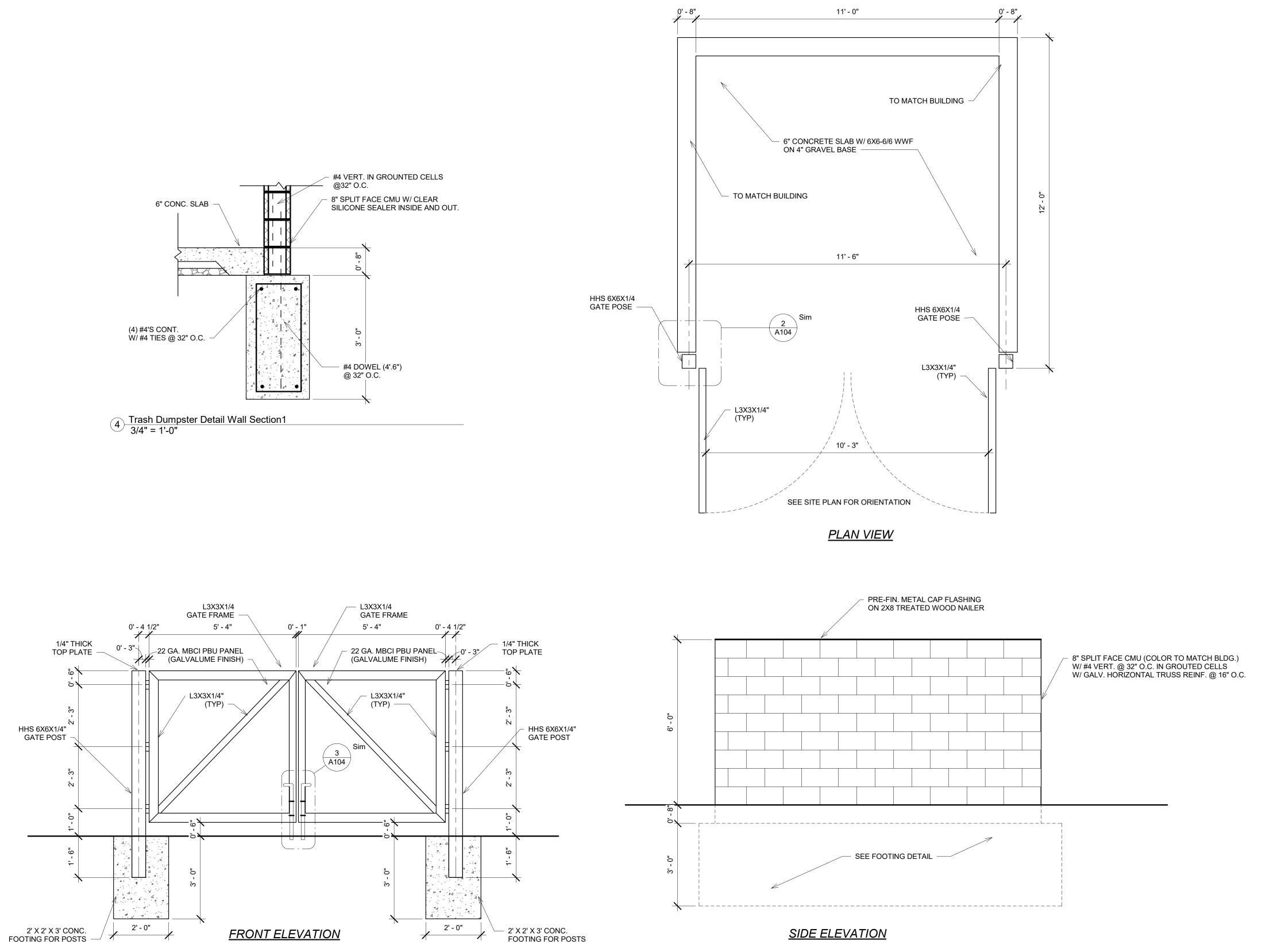


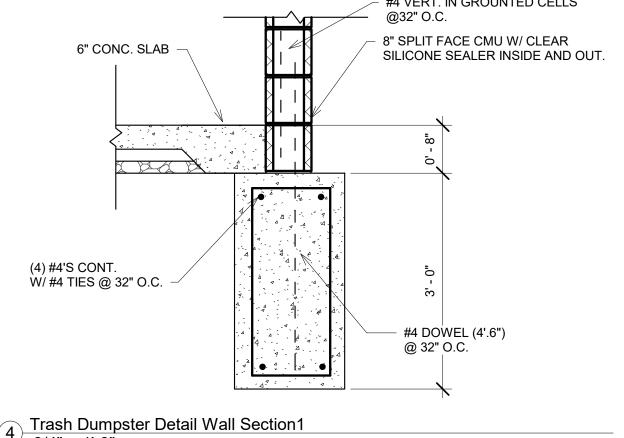


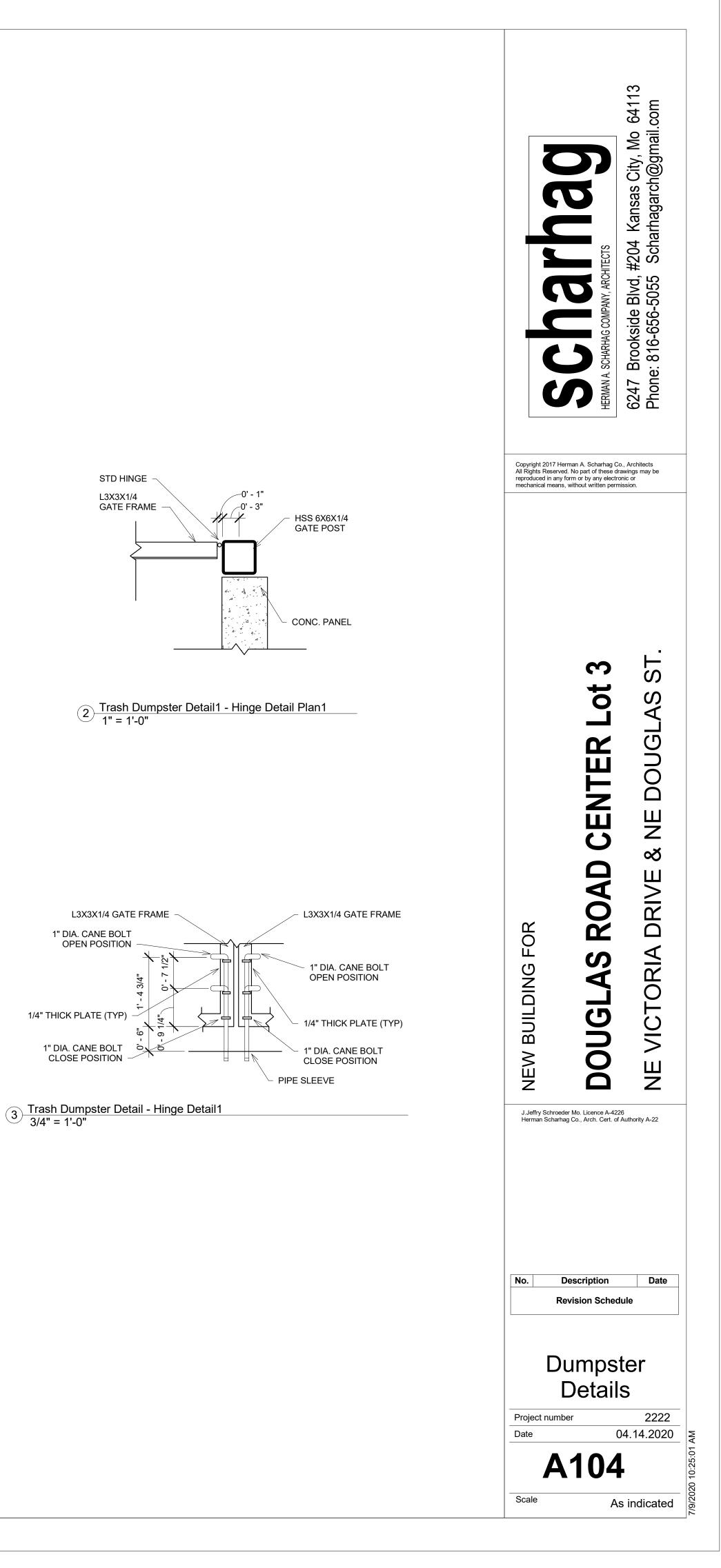


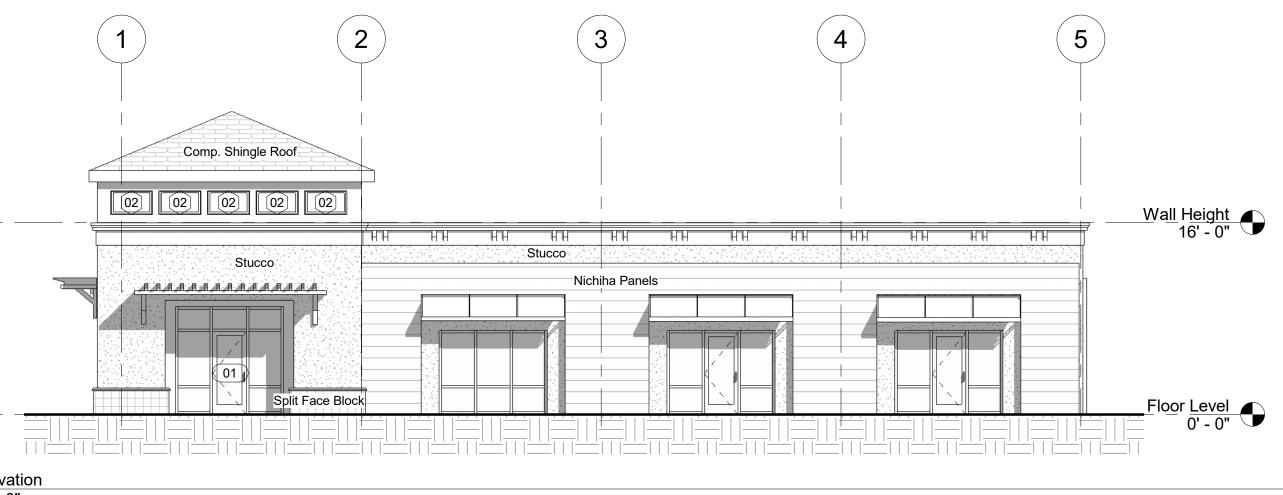


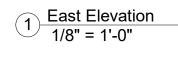
1 Trash Dumpster Detail1 1/2" = 1'-0"

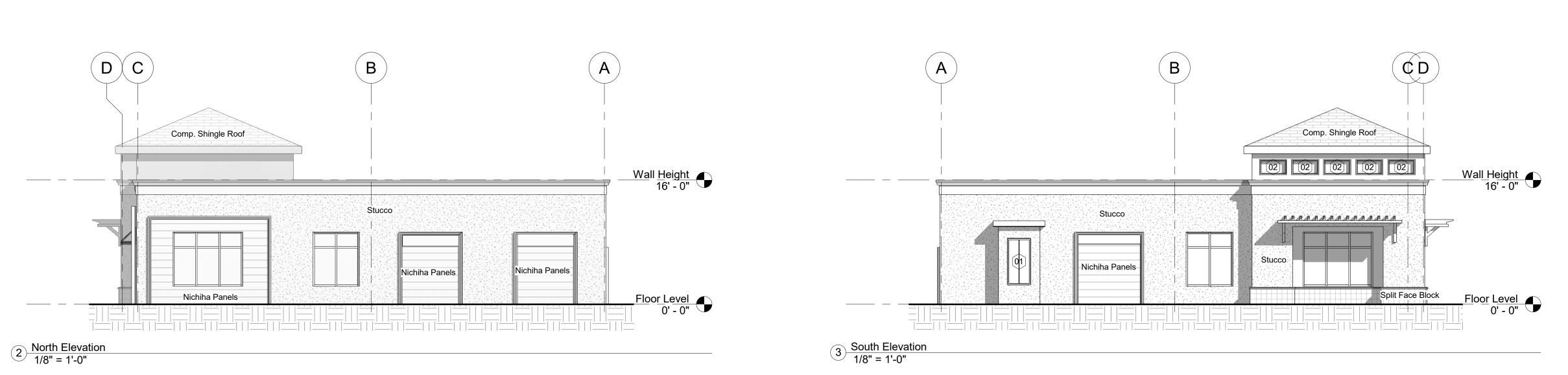


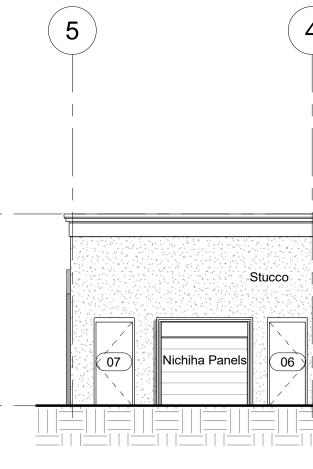




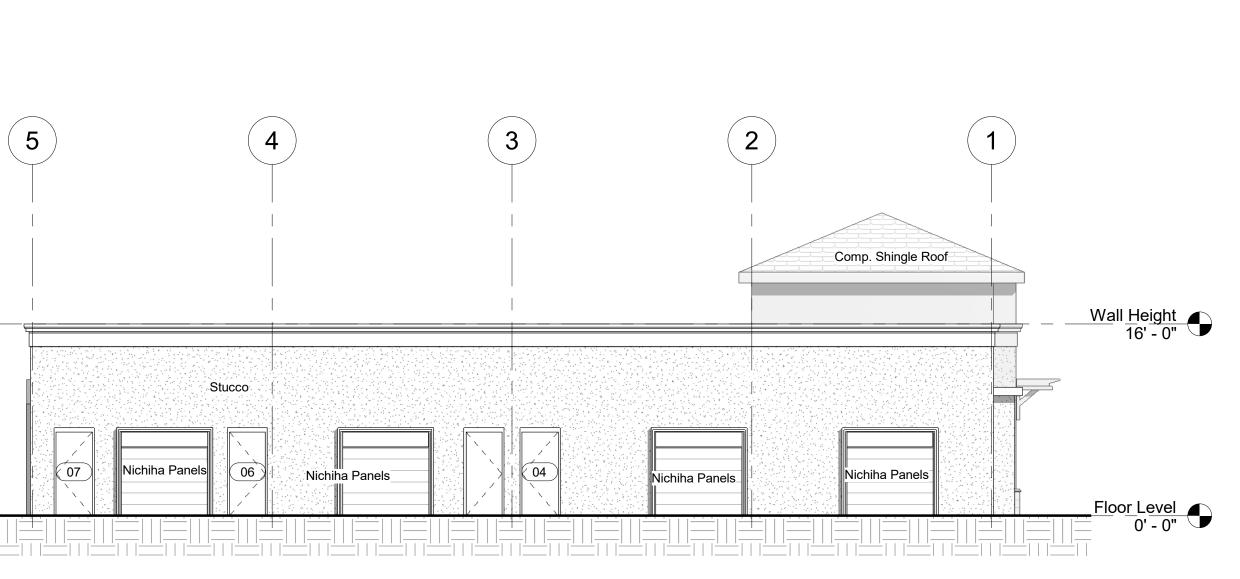




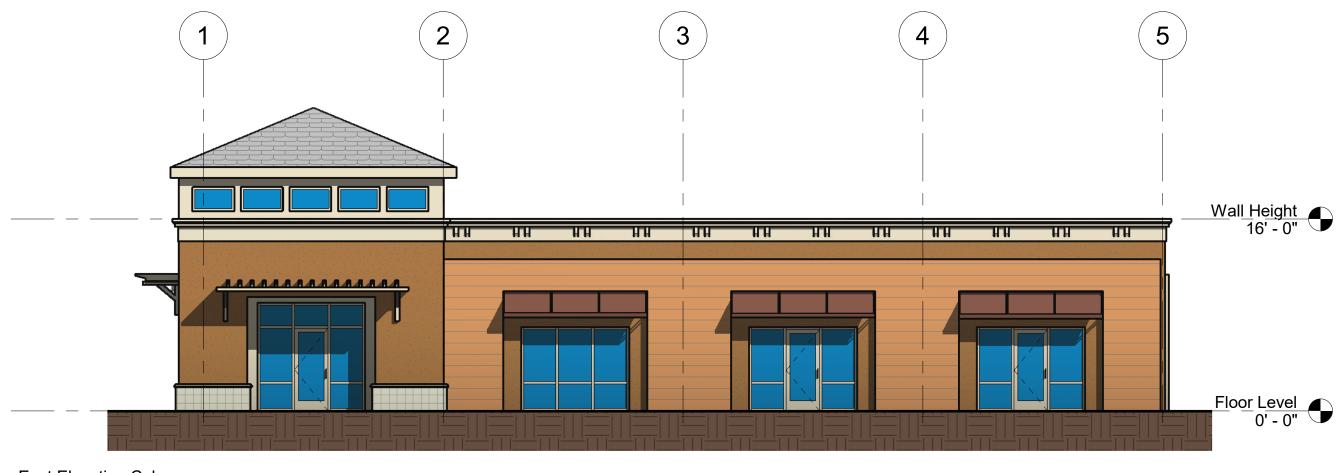




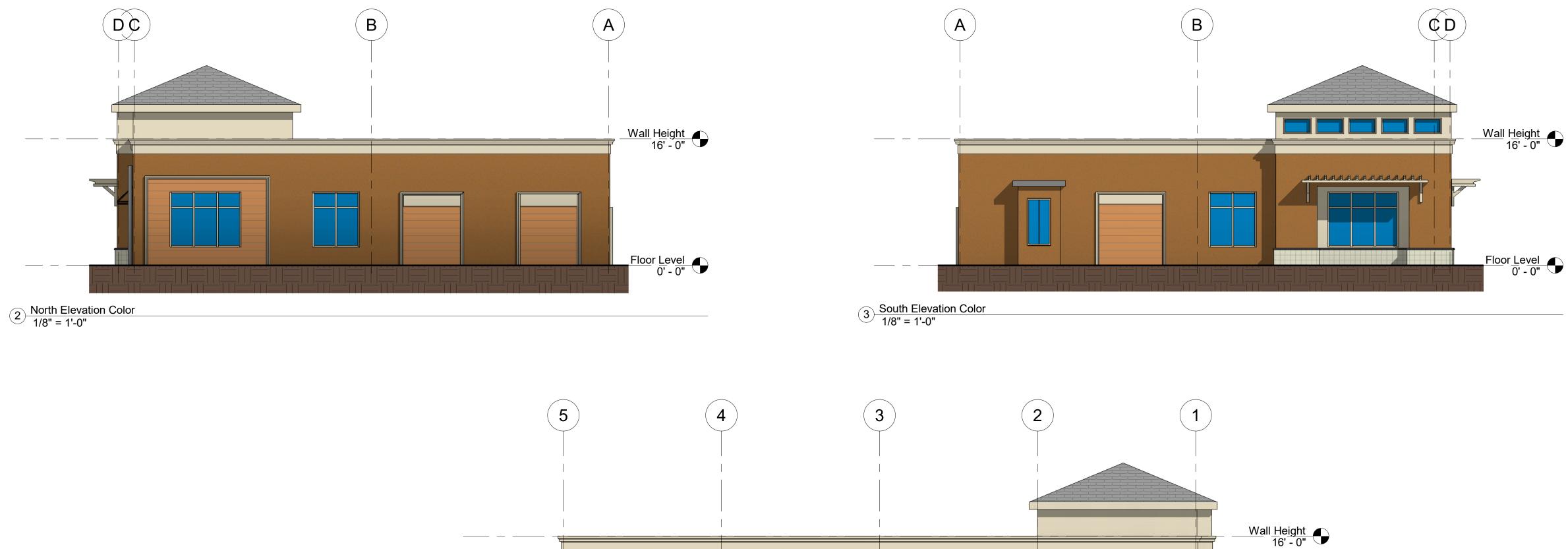
4 West Elevation 1/8" = 1'-0"



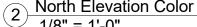
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NEW BUILDING FOR	DOUGLAS ROAD CENTER Lot 3	NE VICTORIA DRIVE & NE DOUGLAS ST.
Herman Scharf	der Mo. Licence A-4226 hag Co., Arch. Cert. of A Description Revision Schedu	Date lle
Project num Date		2222 4.14.2020



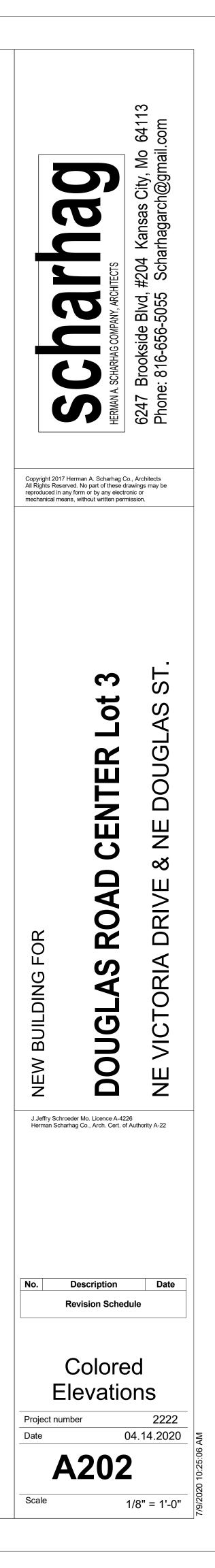
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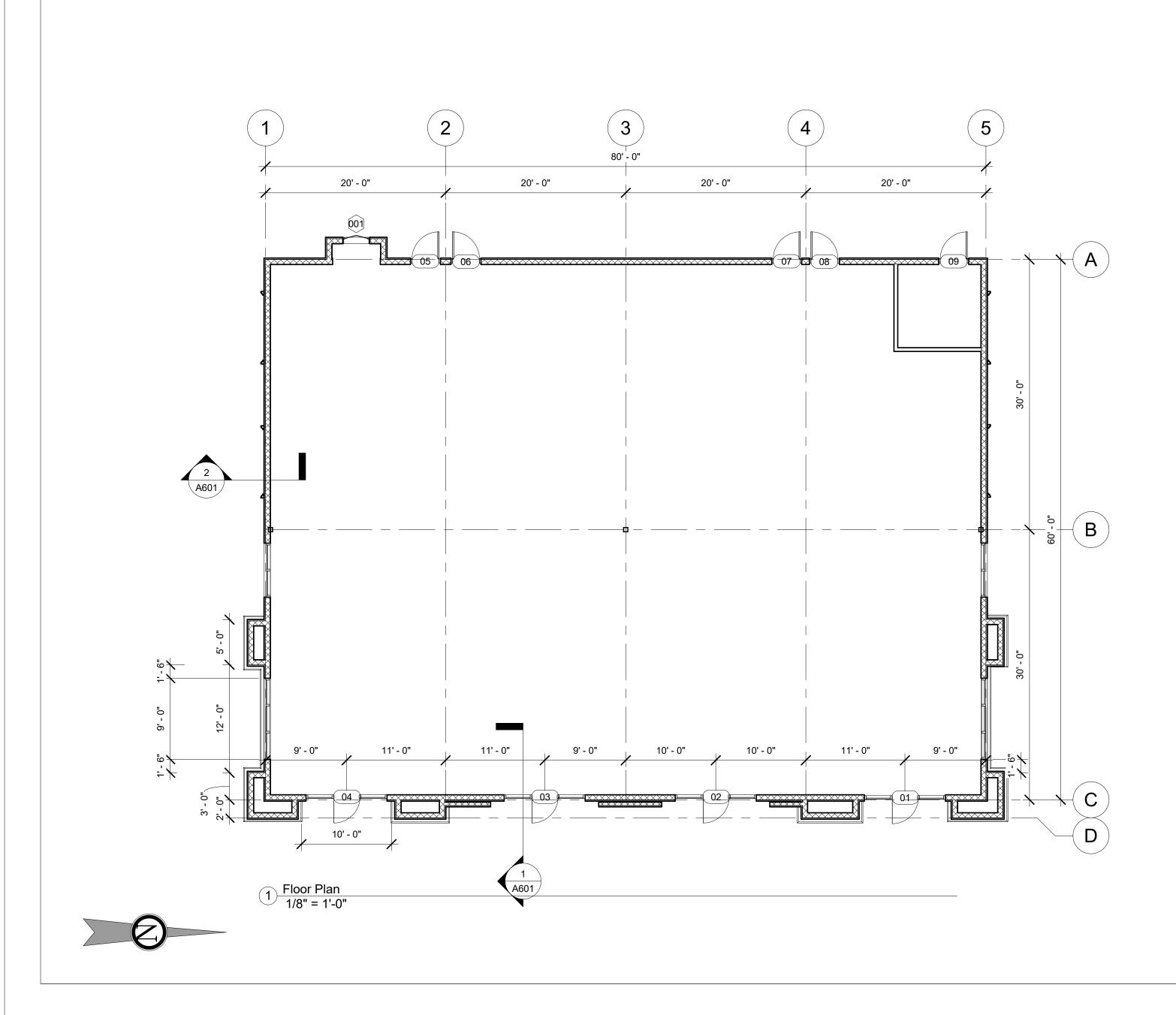


Floor Level 0' - 0"



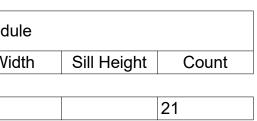
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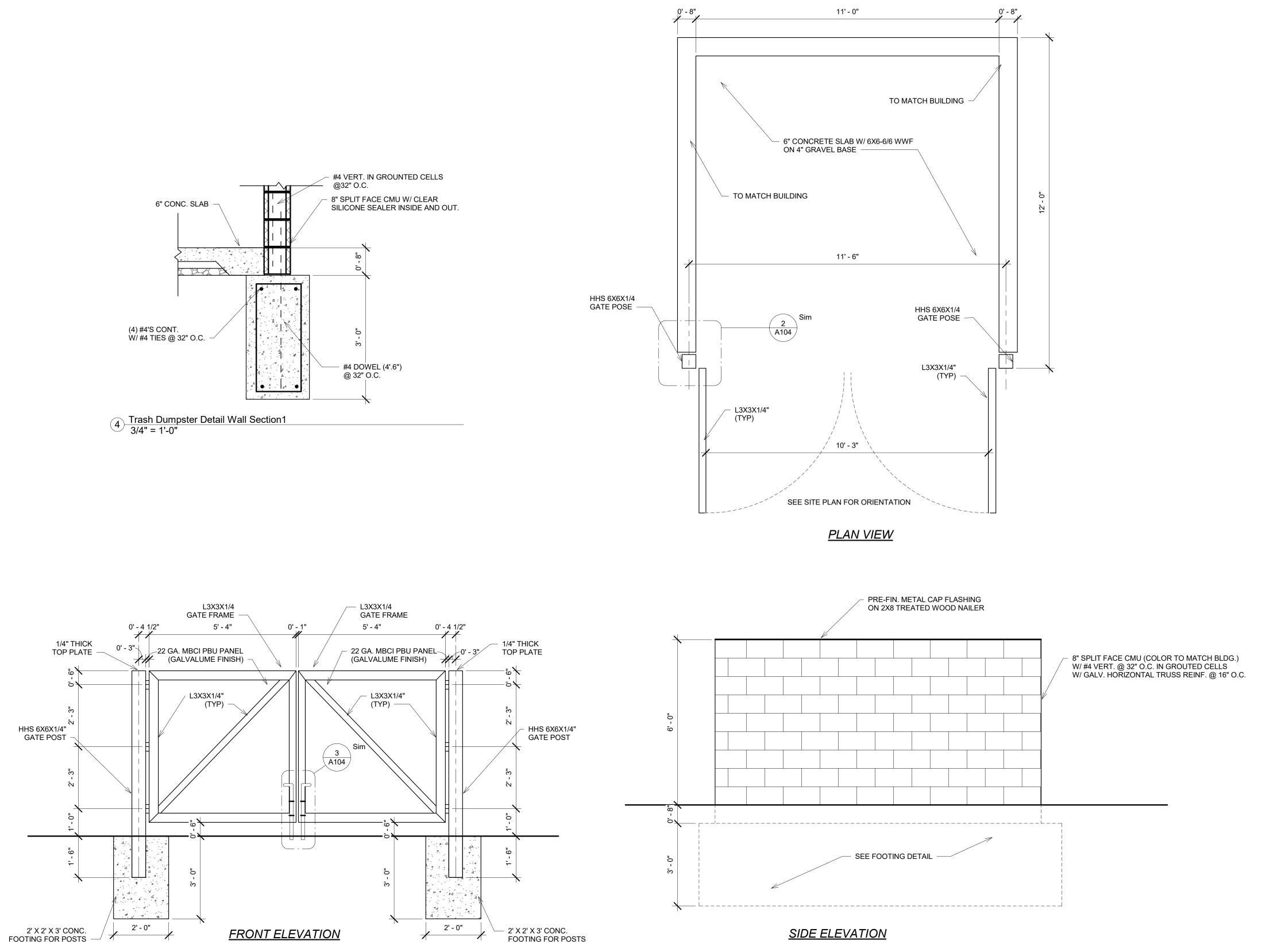


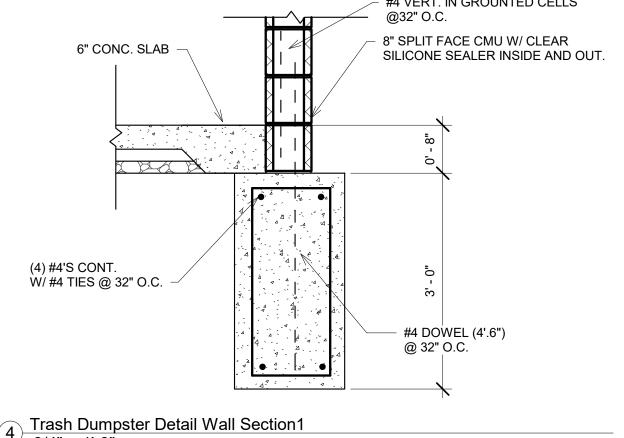
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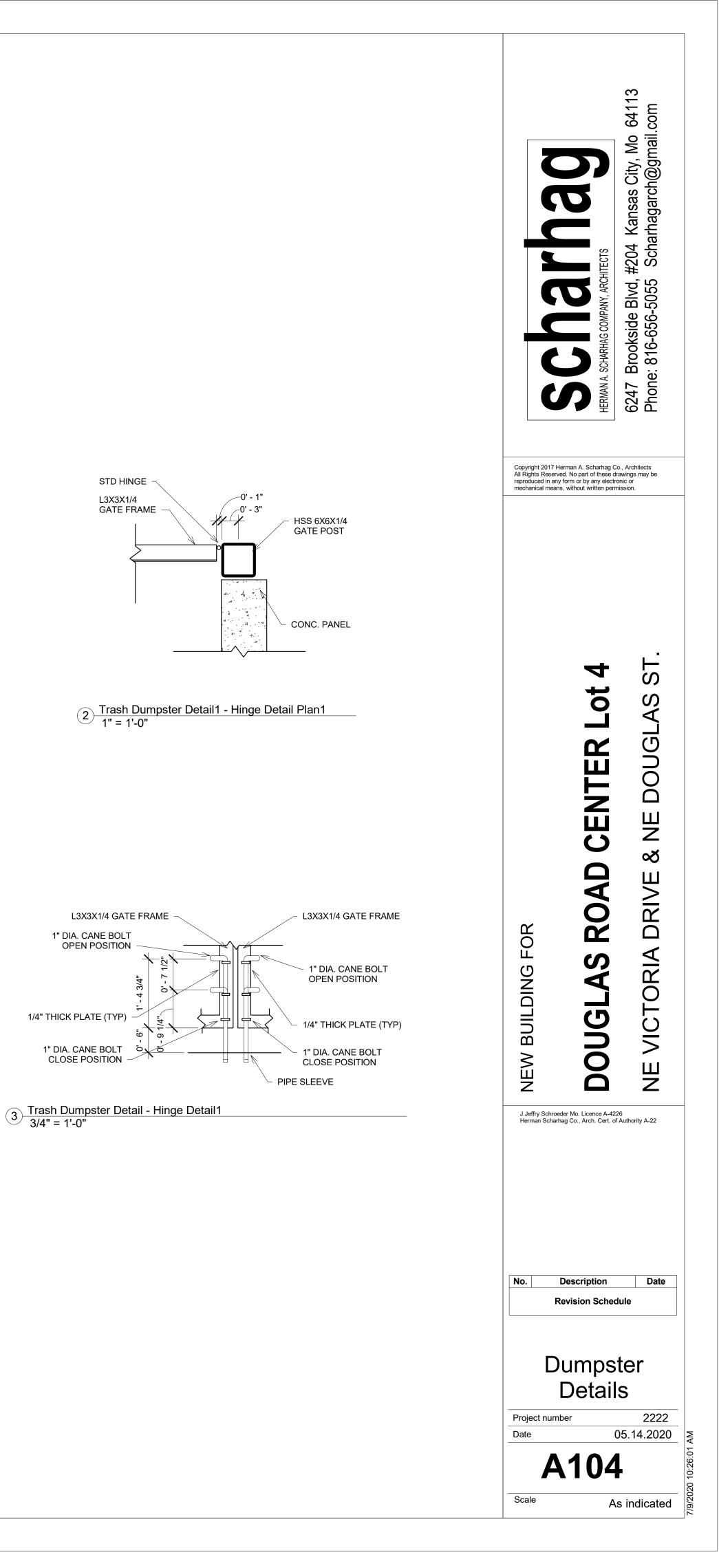


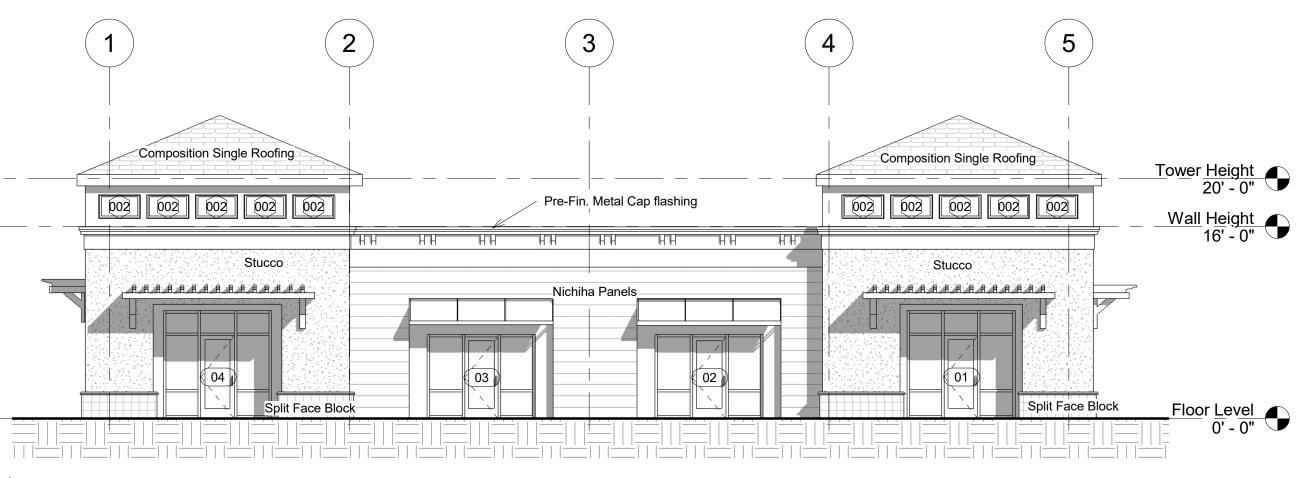


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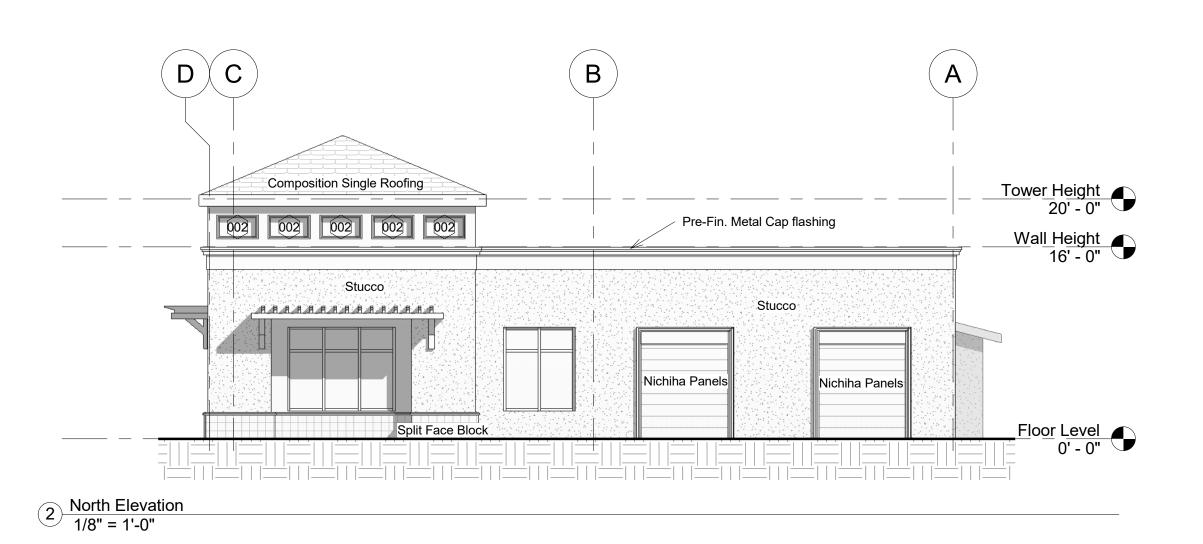


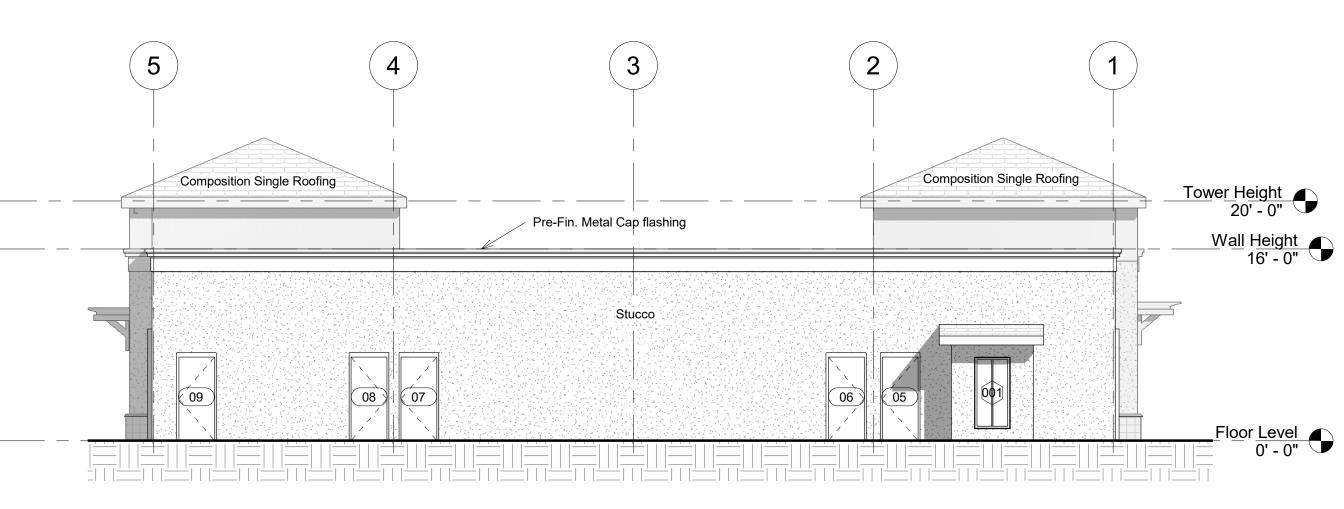




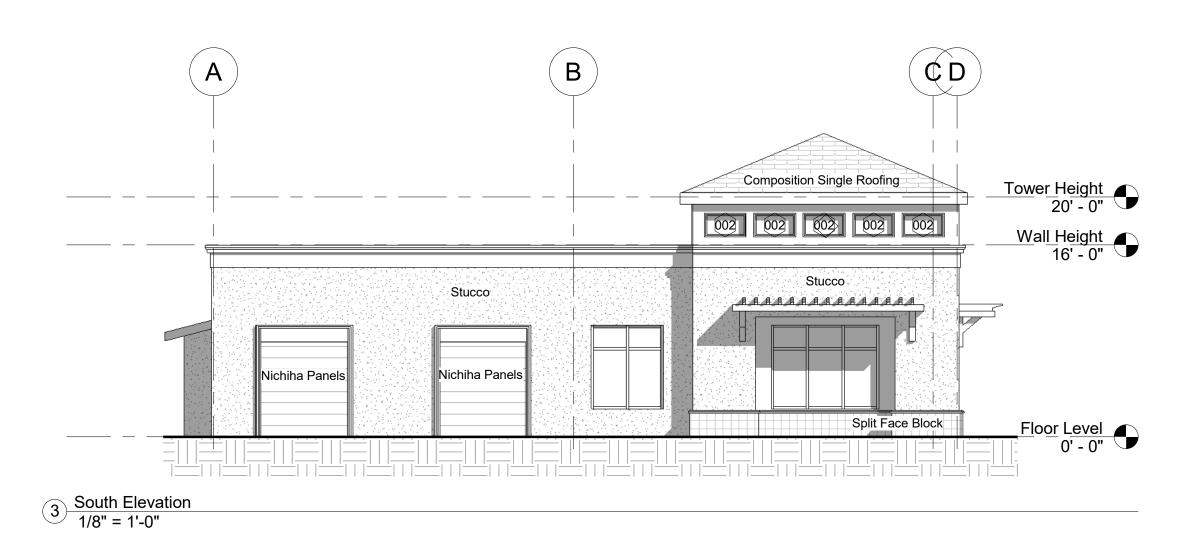


1 East Elevation 1/8" = 1'-0"

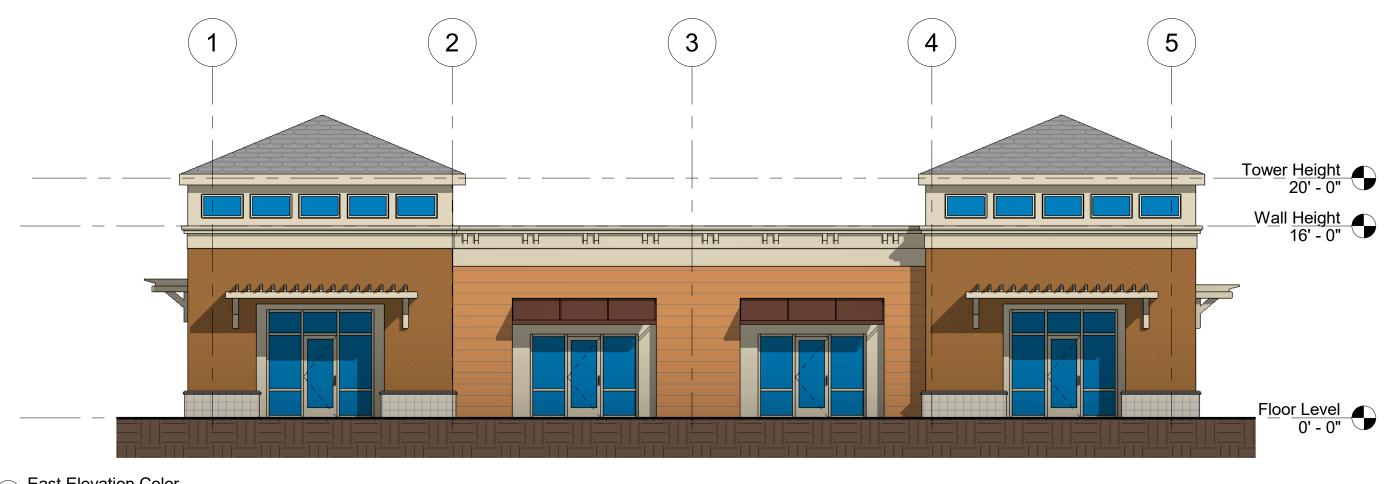




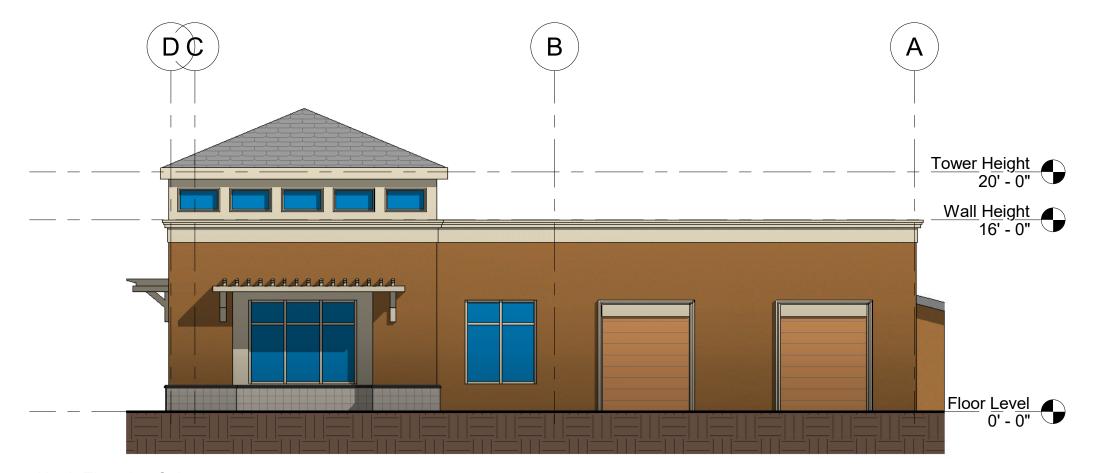
4 West Elevation 1/8" = 1'-0"

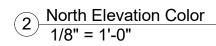


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NEW BUILDING FOR	DOUGLAS ROAD CENTER Lot 4	NE VICTORIA DRIVE & NE DOUGLAS ST.
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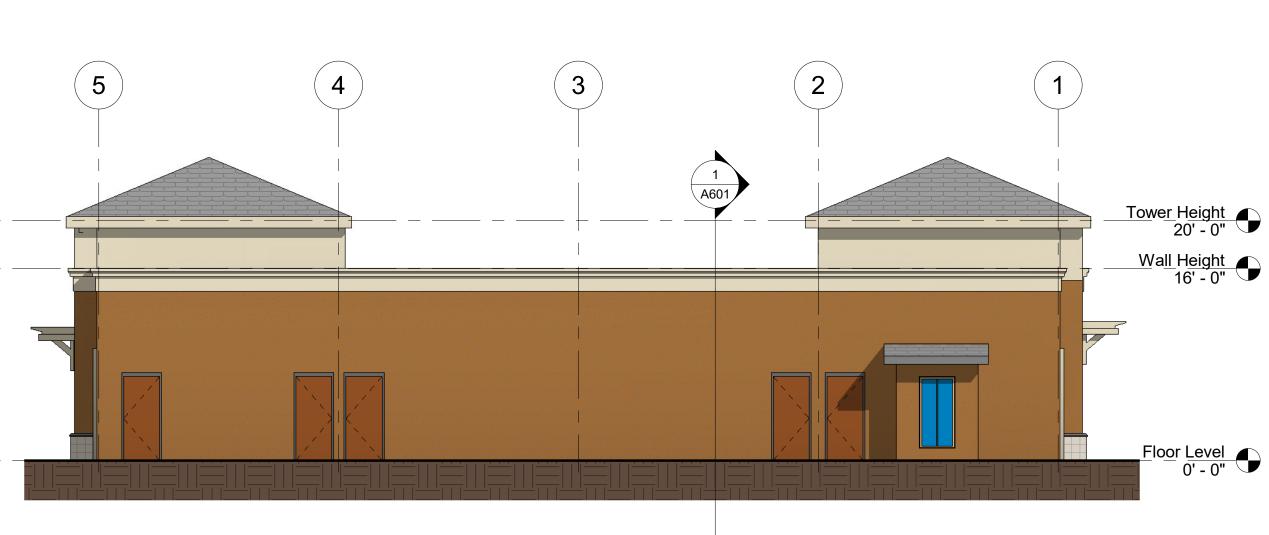


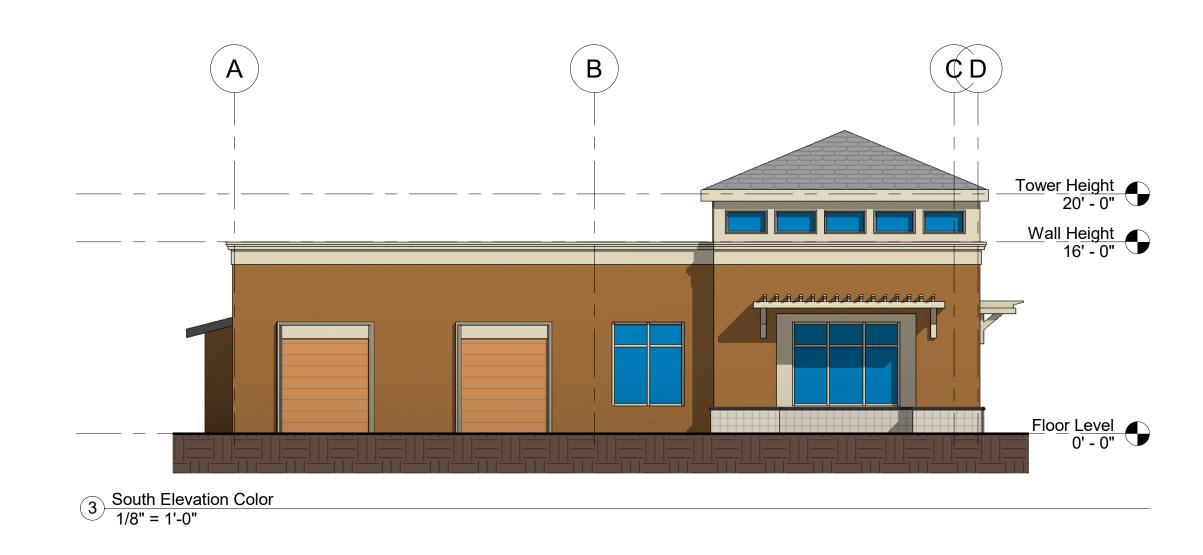
1) East Elevation Color 1/8" = 1'-0"



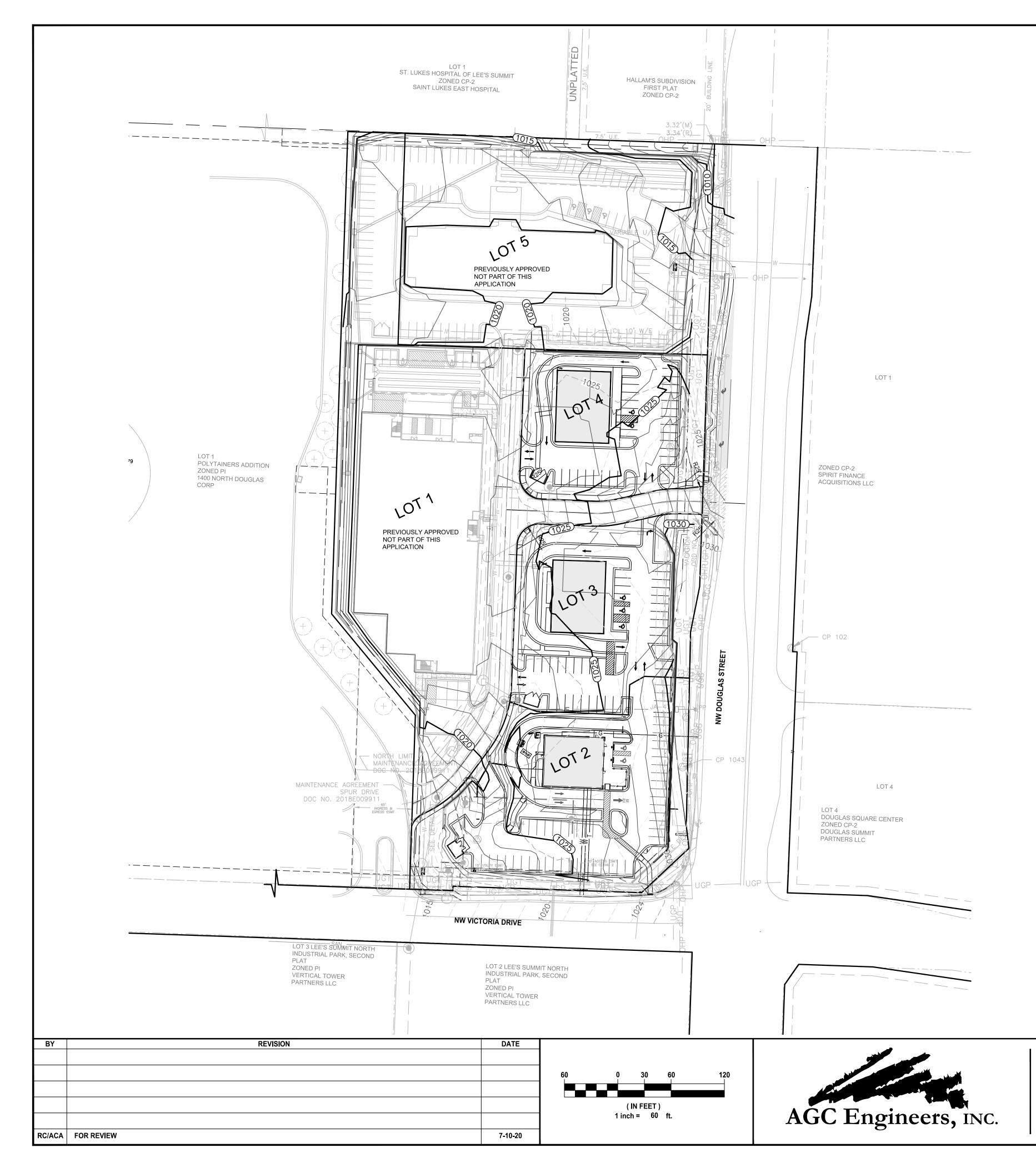


4 West Elevation Color 1/8" = 1'-0"









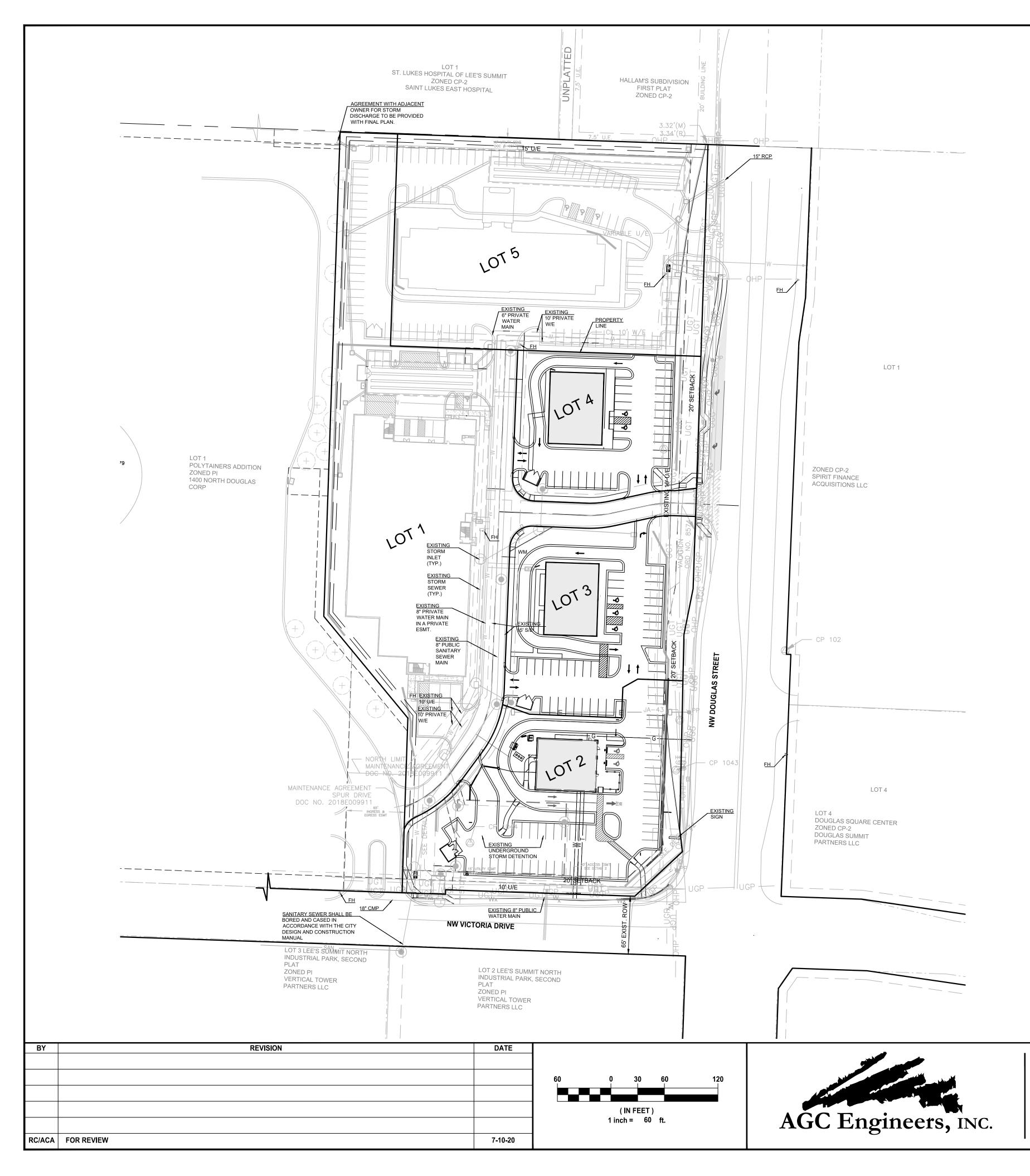
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OAKVIEW - LOTS 2, 3 AND 4 LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

PRELIMINARY DEVELOPMENT PLANS GRADING PLAN



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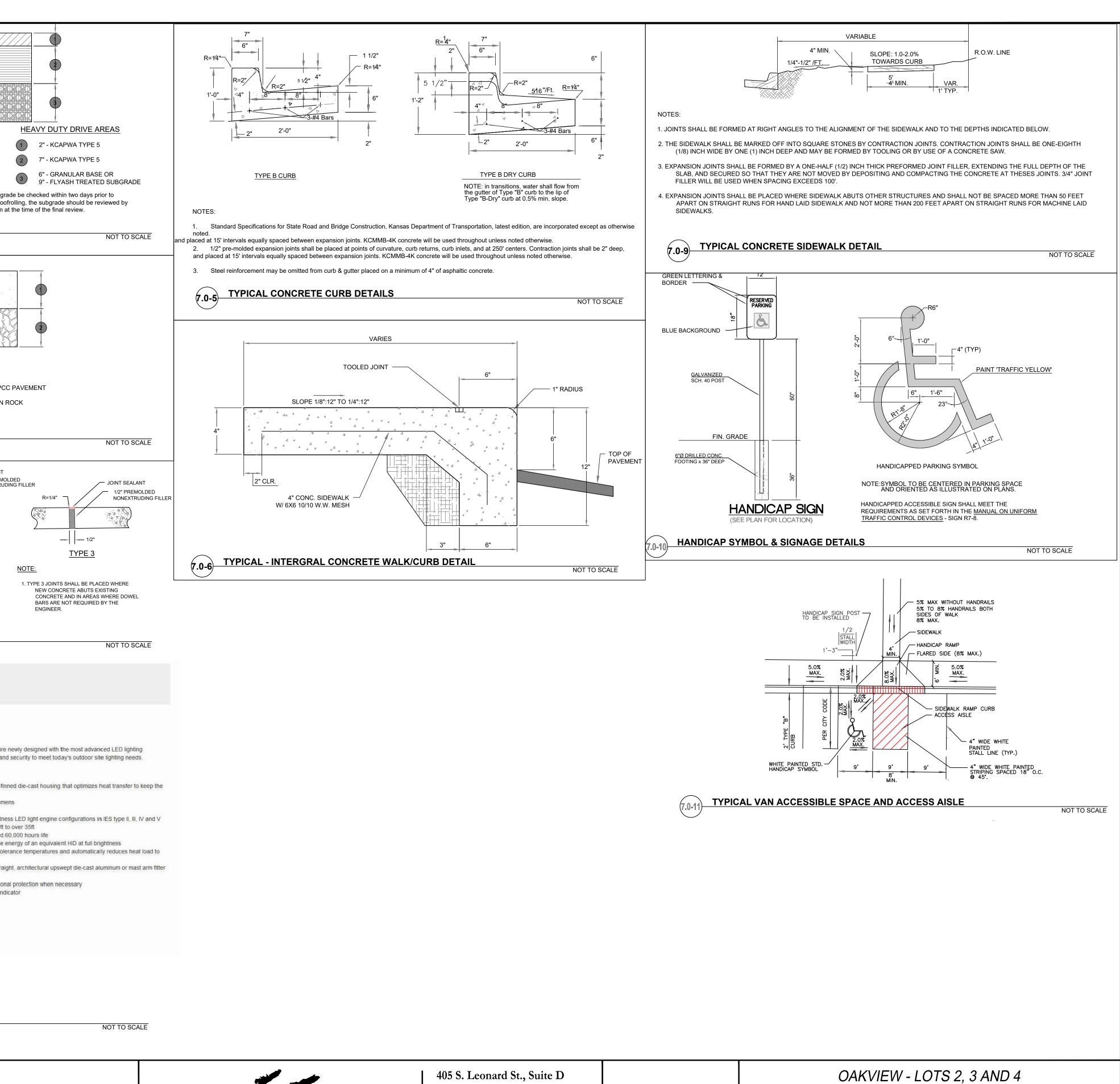
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OAKVIEW - LOTS 2, 3 AND 4 LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

PRELIMINARY DEVELOPMENT PLANS UTILITY PLAN

	SURFACE COURSE	
	BASE COURSE	
		0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0
	PARKING AREAS	DRIVE AREAS
	1 2" - KCAPWA TYPE 5	DRIVE AREAS 1 2" - KCAPWA TYPE 5
	2 4" - KCAPWA TYPE 5	2 5.5" - KCAPWA TYPE 5
	6" - GRANULAR BASE OR 9" FLYASH TREATED SUBGRADE	6" - GRANULAR BASE OR 9" FLYASH TREATED SUBGRADE
	The pavement subgrades be proofrolled and the mois	sture content and density of the top 12 inches of subgra
	qualified personnel immediately prior to placing the p	ignificant event, such as precipitation, occurs after proo avement. The subgrade should be in its finished form a
	7.0-1 TYPICAL - ASPHALT P	AVEMENT SECTION
	CONCRETE	· · · · · · · · · · · ·
	· . · 4 · ·	
	ROCK	NKONKONKONKONK
	DRIVE AND PARKING ARE	
	2 4" - 3/4" CLEAN ROCK	ent 1 8" - 4000 PSI PCI
	7.0-2 TYPICAL - CONCRETE	PAVEMENT SECTION
	1/8" JOINT SEALANT	JOINT SEALANT 1/2" PRE-MO NON-EXTRUE
	R=1/4"	
	#5 SMOO GREASE TYPE 1 ONE EN	OTH DOWELS 1/2" E & WRAP D TIZT
		<u>TYPE 2</u>
	NOTES:	
	1. TYPE 1 JOINTS MAY BE CONSTRUCTED WITH A GROOVING TOOL OR WITH A CONCRETE SAW AFTER THE CONCRETE IS SET.	 TYPE 2 JOINTS SHALL BE PLACED @ ALL P.C.'s, P.T.'s AND TRANSITIONS, AND WHERE NEW WALK TIES INTO EXISTING WALK.
	2. TYPE 1 JOINTS SHALL BE SPACE TO EQUAL THE WIDTH OF THE SIDEWALK.	2. SMOOTH BARS SHALL BE 24" LONG.
		PAVEMENT JOINT DETAILS
		Cimarron LED
	PROGRESS Report	Cimarron LED
	Normal Andrews	Applications Spaulding's most popular area site lighting fixture
		 Spaulding's most popular area site lighting lixture technology to deliver energy efficiency, safety and
	Contraction of the second	 Features Cimarron LED incorporates a unique vertically-fin
		 Cimarron LED incorporates a unique vertically-fin fixture cool and maximize component life Multiple LED configurations with over 26,000 lume
		 Multiple LED configurations with over 26,000 turne DesignLights Consortium (DLC) listed Design flexibility is optimized with 32 high brightne
		 Design nexisting is optimized with 32 high brightne distributions enables mounting heights from 15ft t Maintenance free housing designed to IP65 and 6
		Energy control option uses less than 50% of the e Internal self-monitoring sensor detects above-tole
		preserve LED life Mounting versatility with choice of traditional straig
		designs Optional vandal resistant guard provides addition
		20KA surge protection with an end of life LED ind
		Certifications DesignLights Consortium (DLC) qualified
		• UL1598A • CSA
		Wet listedIDA
	FIXTURES MOUNTED AT 25'	
	FIXTURE TO MATCH LOT 1 FIXTURES	
	2 TYPICAL PARKING LOT	LIGHT
REVISION		DATE
		<u> </u>

RC/ACA FOR REVIEW

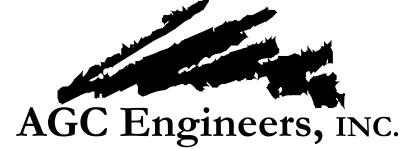


e newly designed with the most advanced LED lighting nd security to meet today's outdoor site lighting needs.

inned die-cast housing that optimizes heat transfer to keep the

60,000 hours life energy of an equivalent HID at full brightness

7-10-20

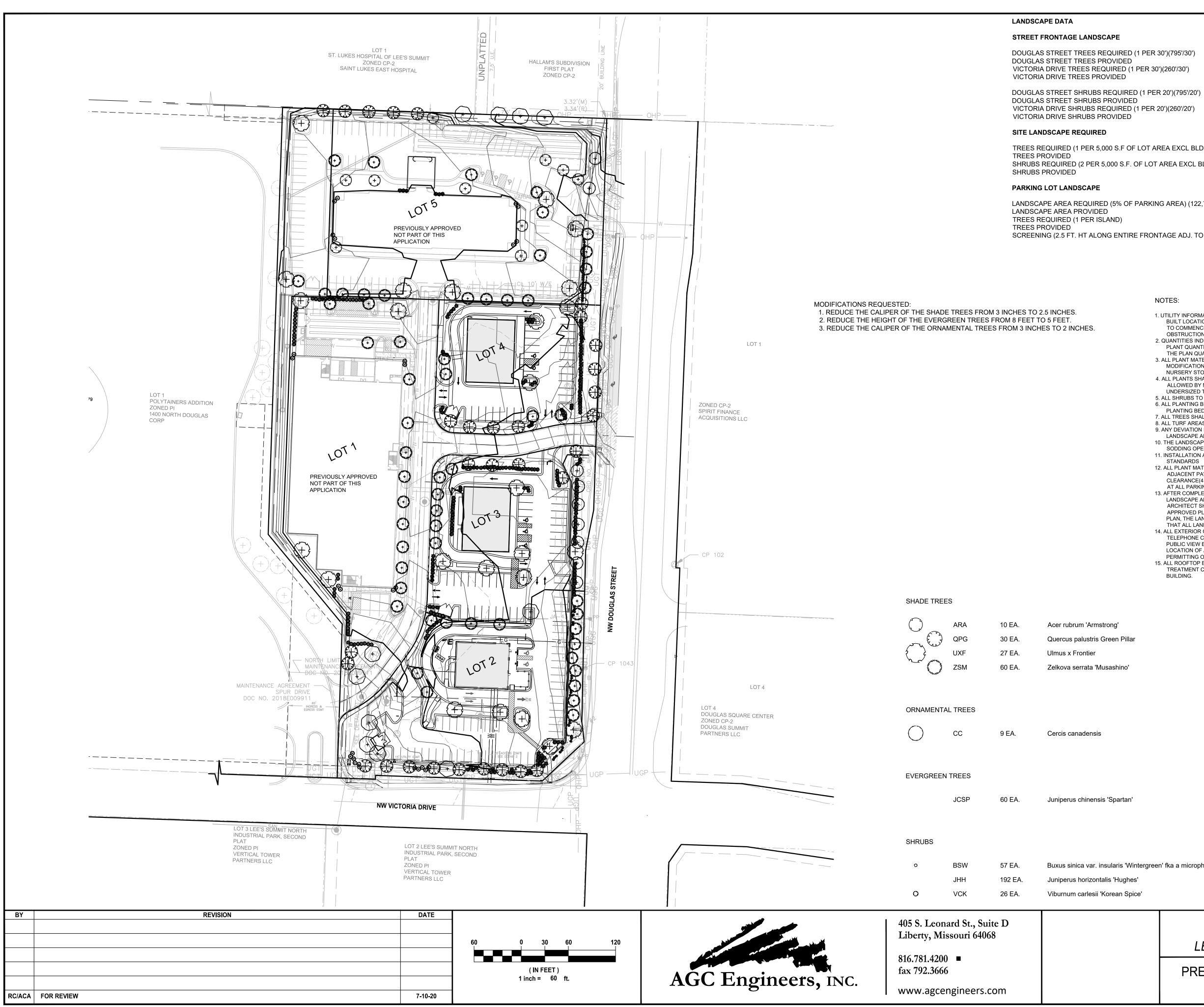


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LEE'S SUMMIT, JACKSON COUNTY, MISSOURI PRELIMINARY DEVELOPMENT PLANS



27 TREES 27 TREES 9 TREES 9 NEW TREES

6,135.15 S.F.

7,097.67 S.F.

25 TREES

25 TREES

58 SHRUBS

40 SHRUBS 45 SHRUBS(PARKING LOT SCREEN) 13 SHRUBS 13 SHRUBS

0 S.F OF LOT AREA EXCL BLDG.)(297,179.39-24,394/5000)	55 TREES
	55 TREES
00 S.F. OF LOT AREA EXCL BLDG)(297,179.39-24,394/5000X2	2) 110 SHRUBS
	110 SHRUBS(58 FOR PARKING LOT SCREEN)

5%	OF	PARKING	AREA)) (122,703X.05)	

SCREENING (2.5 FT. HT ALONG ENTIRE FRONTAGE ADJ. TO STREET)

NOTES:

- 1. UTILITY INFORMATION SHOWN IS DESIGNED LOCATION OR LOCATIONS BASED ON UTILITY LOCATES. AS BUILT LOCATIONS MAY VARY. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES PRIOR TO COMMENCING LANDSCAPE INSTALLATION. NOTIFY THE LANDSCAPE ARCHITECT OF ANY CONFLICTS OR OBSTRUCTIONS.
- 2. QUANTITIES INDICATED ON THE PLAN ARE FOR CONVENIENCE ONLY. CONTRACTOR SHALL VERIFY ALL PLANT QUANTITIES PRIOR TO PLANTING. NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES. THE PLAN QUANTITIES AND NUMBER OF SYMBOLS SHALL SUPERSEDED QUANTITIES IN THE SCHEDULE 3. ALL PLANT MATERIAL SHALL COMPLY WITH THE CITY OF LEE'S SUMMIT STANDARDS(EXCEPT SIZE
- MODIFICATIONS ALLOWED BY THE PLAN APPROVAL) AND ANSI A60.1 THE AMERICAN STANDARD FOR NURSERY STOCK. 4. ALL PLANTS SHALL MEET THE SIZE REQUIREMENTS OF THE LEE'S SUMMIT ORDINANCE EXCEPT AS
- ALLOWED BY MODIFICATION AS PART OF THIS PLAN APPROVAL. ALL TREES SHALL BE CALLIPERED AND UNDERSIZED TREES SHALL BE REJECTED.
- 5. ALL SHRUBS TO BE UTILIZED FOR SCREENING SHALL BE 24" HEIGHT AT TIME OF PLANTING. 6. ALL PLANTING BEDS CONTAINING SHRUBS, GROUND COVER, PERENNIALS, ANNUALS SHALL BE IN A PLANTING BED WITH 3" MIN. DEPTH OF MULCH AND A "V-CUT" EDGE.
- 7. ALL TREES SHALL HAVE A MIN. 3 FT. DIA. AREA THAT HAS 3" MIN. DEPTH OF WOOD MULCH. 8. ALL TURF AREAS SHALL BE SODDED UNLESS INDICATED ON THE PLANS.
- 9. ANY DEVIATION FROM THE APPROVED LANDSCAPE PLAN SHALL REQUIRE WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT AND THE CITY OF LEE'S SUMMIT, PRIOR TO INSTALLATION.
- 10. THE LANDSCAPE ARCHITECT AND OWNER SHALL APPROVE GRADES AND CONDITION OF SITE PRIOR TO SODDING OPERATIONS.
- 11. INSTALLATION AND MAINTENANCE OF LANDSCAPING SHALL COMPLY WITH THE CITY OF LEE'S SUMMIT STANDARDS 12. ALL PLANT MATERIAL SHALL BE INSTALLED TO ALLOW A MINIMUM CLEARANCE BETWEEN PLANT AND
- ADJACENT PAVEMENT OF 1 FT. FOR PERENNIALS AND GROUNDCOVER AND 1.5 FT. FOR SHRUBS. A 2 FT. CLEARANCE(4 FEET FROM BACK OF CURB TO THE CENTER OF SHRUB)FOR CAR OVERHANG IS REQUIRED AT ALL PARKING ISLANDS AND PERIMETERS. 13. AFTER COMPLETE INSTALLATION OF ALL PLANT MATERIAL AND SOD THE CONTRACTOR SHALL NOTIFY THE
- LANDSCAPE ARCHITECT THAT THE WORK IS COMPLETE AND READY FOR REVIEW. THE LANDSCAPE ARCHITECT SHALL REVIEW THE LANDSCAPE INSTALLATION TO DETERMINE COMPLIANCE WITH THE APPROVED PLANS. WHEN THE LANDSCAPE INSTALLATION MEETS THE REQUIREMENTS OF THE APPROVED PLAN, THE LANDSCAPE ARCHITECT SHALL PROVIDE A SIGNED AND SEALED LETTER TO THE CITY STATING THAT ALL LANDSCAPE PLANTINGS HAVE BEEN INSTALLED PER THE APPROVED PLAN.

14. ALL EXTERIOR GROUND OR BUILDING MOUNTED EQUIPMENT (MECHANICAL, ELECTRICAL AND/OR TELEPHONE CABINETS), TRANSFORMERS, AIR CONDITIONING UNITS, ETC. SHALL BE SCREENED FROM PUBLIC VIEW BY INSTALLING FIVE SEA GREEN JUNIPERS EVENLY SPACED AROUND THE PERIMETER. FINAL LOCATION OF ANY EQUIPMENT SHALL BE DETERMINED AND VERIFIED WITH THE FINAL DESIGN AND PERMITTING OF THE PROJECT.

15. ALL ROOFTOP EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW WITH AN ARCHITECTURAL TREATMENT COMPATIBLE WITH THE BUILDING AND INTEGRAL TO THE OVERALL APPEARANCE OF THE BUILDING.

ong'		Armstrong Red Maple	2.5" Cal.	B&B			
een Pillar		Green Pillar Oak	2.5" Cal.	B&B			
		Frontier Elm	2.5" Cal.	B&B			
ashino'		Musashino Columnar Zelkova	2.5" Cal.	B&B			
		Red Bud	2" Cal. & 8' ht.	B&B			
			2 001.000 11.	Dab			
Spartan'		Spartan Juniper	5' ht.	B&B			
ularis 'Wintergreer	n' fka a microphylla var. V	Vintergreen Boxwood	5 gal.	Cont.			
s 'Hughes'		Hughes Juniper	5 gal.	Cont.			
rean Spice'		Koreanspice Viburnum	5 gal.	Cont.			
	OAKVIEW - LOTS 2, 3 AND 4						
	LEE'S SUMMIT, JACKSON COUNTY, MISSOURI						
	PRELIMI	NARY DEVELOPMENT PL	ANS				

LANDSCAPE PLAN