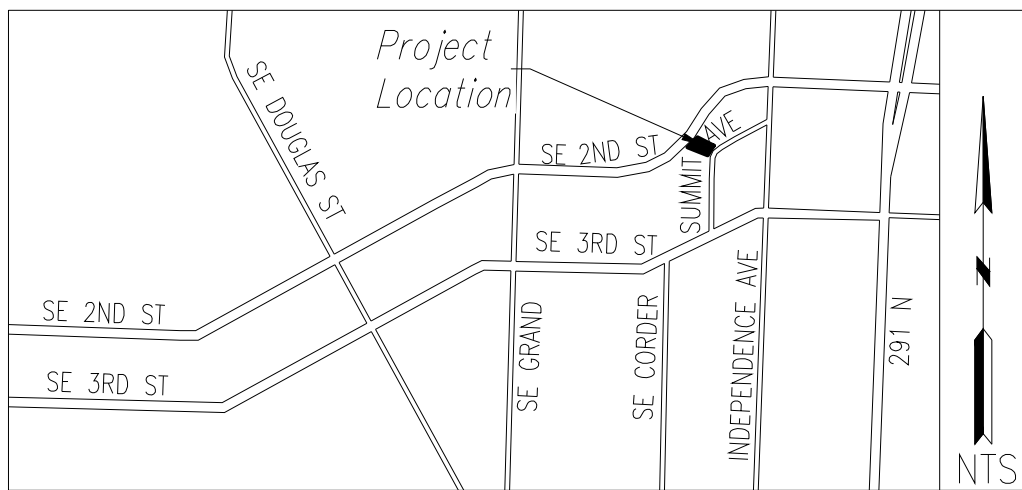


INDEX  
CIVIL SUBMITTAL

1. FINAL DEVELOPMENT PLAN
2. LANDSCAPE PLAN
3. MASTER DRAINAGE PLAN
4. EROSION CONTROL PLAN AND FINAL RESTORATION PLAN
5. FINAL DEVELOPMENT DETAIL SHEET

VICINITY MAP



LEGAL DESCRIPTION OF RECORD:

All of Lots 18, 19, 20, 21 and 22, Block 2, Lowe's Addition, a subdivision in Lee's Summit, Jackson County, Missouri, according to the recorded plat thereof.

SURVEYORS DESCRIPTION:

All of Lots 18, 19, 20, 21 and 22, Block 2, Lowe's Addition, a subdivision in Lee's Summit, Jackson County, Missouri, according to the recorded plat thereof, more particularly described as: Beginning of the Southwest corner of said Lot 22, said point also being on the East line of Lot 3, Westbrooke Business Center, a subdivision of record in said city; thence South 87 degrees 58 minutes 32 seconds East, along the South line of said Lot 22, a distance of 210.51 feet, to the Southeast corner of said Lot 22; thence North 02 degrees 01 minutes 28 seconds East, along the East line of said Lots 22, 21, 20 & 19, a distance of 89.89 feet; thence continuing along the East line of said Lots 19 & 18, along a curve to the right (said curve having a radius of 166.90 feet) and arc distance of 34.55 feet, to the Northeast corner of said Lot 18, said point also being the Southeast corner of Lot 17A of the Replat of Lowe's Addition, Lots 15, 16 & 17, a subdivision of record in said city; thence North 75 degrees 59 minutes 44 seconds West, along the North line of said Lot 18, said line also being the South line of said Lot 17A, a distance of 218.39 feet, to the Northwest corner of said Lot 18, said point also being the Southwest corner of said Lot 17A, said point also being on the East line of said Lot 3, Westbrooke Business Center; thence South 02 degrees 10 minutes 22 seconds West, along the West line of said Lots 18, 19, 20, 21 & 22, said line also being the East line of said Lot 3, a distance of 169.52 feet, to the Point of Beginning.

SITE INFORMATION:

PROPERTY DESCRIPTION: LOTS 18-22, BLOCK 2 LOWE'S ADDITION  
(PROPOSED SUMMIT AVENUE ADDITION, LOTS 1 AND 2)  
SITE ADDRESS: 114 AND 200 SE SUMMIT AVENUE  
ZONED: RP2  
PROPERTY AREA: 31,007.9 SF (0.71 ACRES)  
NUMBER OF LOTS: 2  
BUILDING AREA/UNIT: 1242 SF (GFA)  
DENSITY: 2.82/AC  
ANTICIPATED USE: DUPLEX (SHOWN) OR SINGLE FAMILY  
ANTICIPATED CONSTRUCTION: FALL 2019 (PENDING SALE OF LOTS)

NOTES:

1. BUILDING AREA AND DENSITY INDICATED IS BASED ON THE FOOTPRINT SHOWN. THIS MAY VARY BASED ON THE ACTUAL FOOTPRINT AND BUILDING PLAN SUBMITTED FOR BUILDING PERMIT BY BUILDER.
2. SLAB/FINISH FLOOR ELEVATIONS ARE SURROUNDING GRADES SHALL BE ADHERED TO WHEN PLOT PLANS FOR BUILDING PERMIT ARE PREPARED BY BUILDER.
3. A SIX (6) FOOT WIDE SIDEWALK IS SHOWN FROM THE EDGE OF THE EXISTING PAVEMENT. A FEE FOR THE COST OF THE SIDEWALK CONSTRUCTION WILL BE REQUIRED PRIOR TO THE RELEASE OF OCCUPANCY FOR ANY OF THE UNITS.
4. STRUCTURE ROOF DRAINAGE TO BE PIPED TO DISCHARGE TO THE WEST DRAINAGE SWALE.
5. FOOTPRINT SHOWN IS FOR POTENTIAL LAYOUT ONLY. ACTUAL FOOTPRINT TO BE PROVIDED AT PERMIT STAGE PER PLOTPLAN PREPARED.

PLANS PREPARED FOR  
**GEORGE AND PEGGY NIE**  
30 NE SHOREVIEW DRIVE  
LEE'S SUMMIT, MO 64064  
CONTACT - PEGGY NIE  
816-547-6408

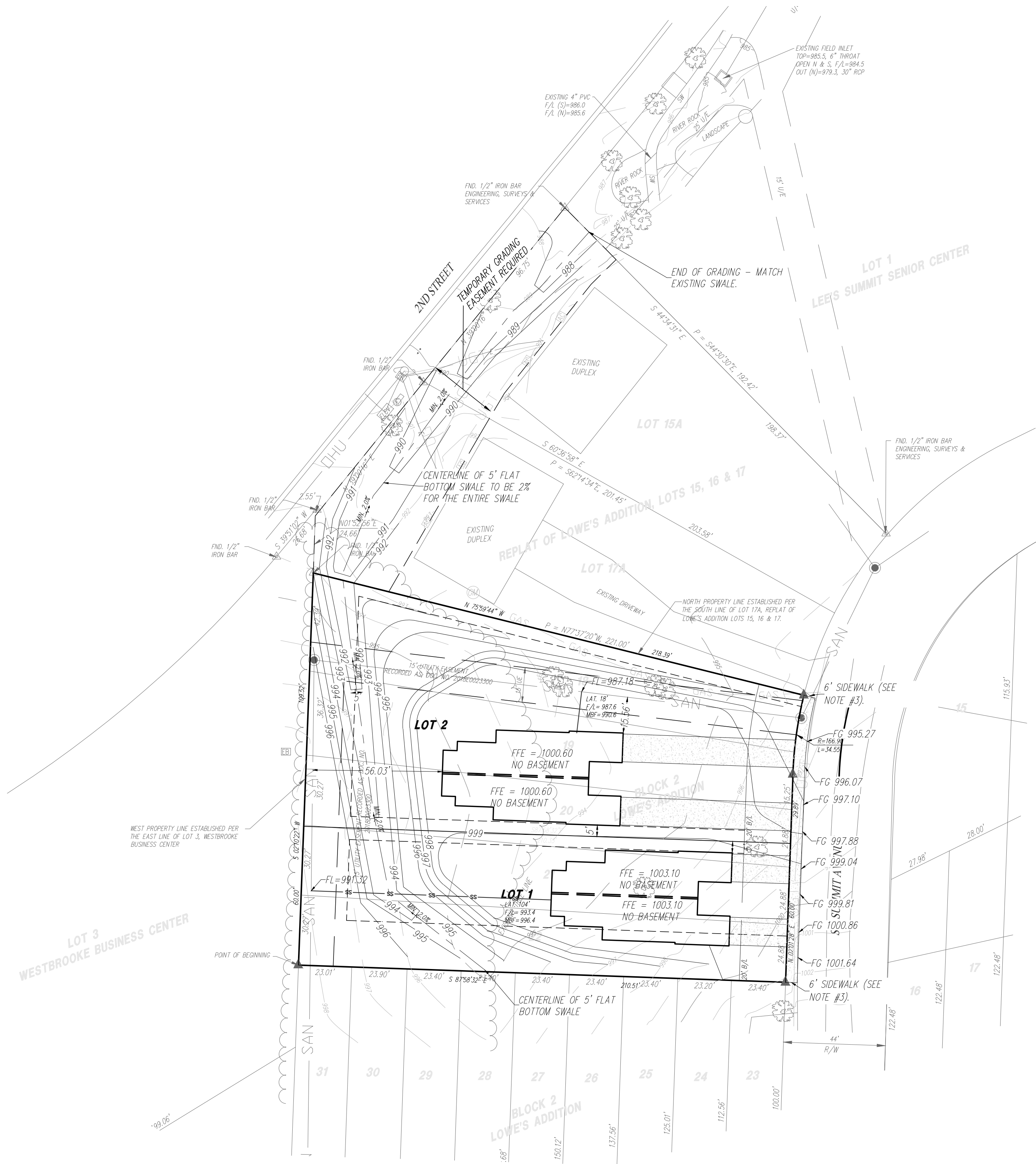
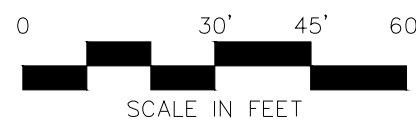
PLANS PREPARED BY  
**HG CONSULT**  
11010 HASKELL ST. #210,  
KANSAS CITY, KS 66109  
CONTACT: KEVIN STERRETT  
816-703-7098

# SUMMIT AVENUE ADDITION, LOTS 1 AND 2

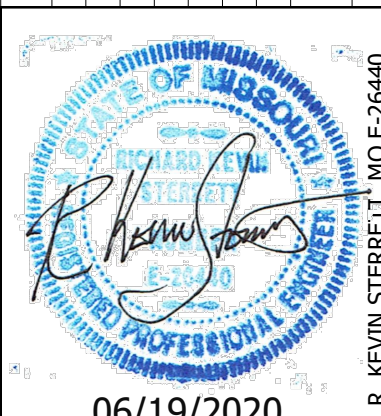
## REPLAT OF LOWES ADDITION, LOTS 18-22, BLOCK 2

### LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

## FINAL DEVELOPMENT PLAN



DATE	REVISION	NO.	BY	CHK/APP
7/15/19	CITY COMMENTS	7/17/19		
6/19/20	CITY COMMENTS	10/21/19		



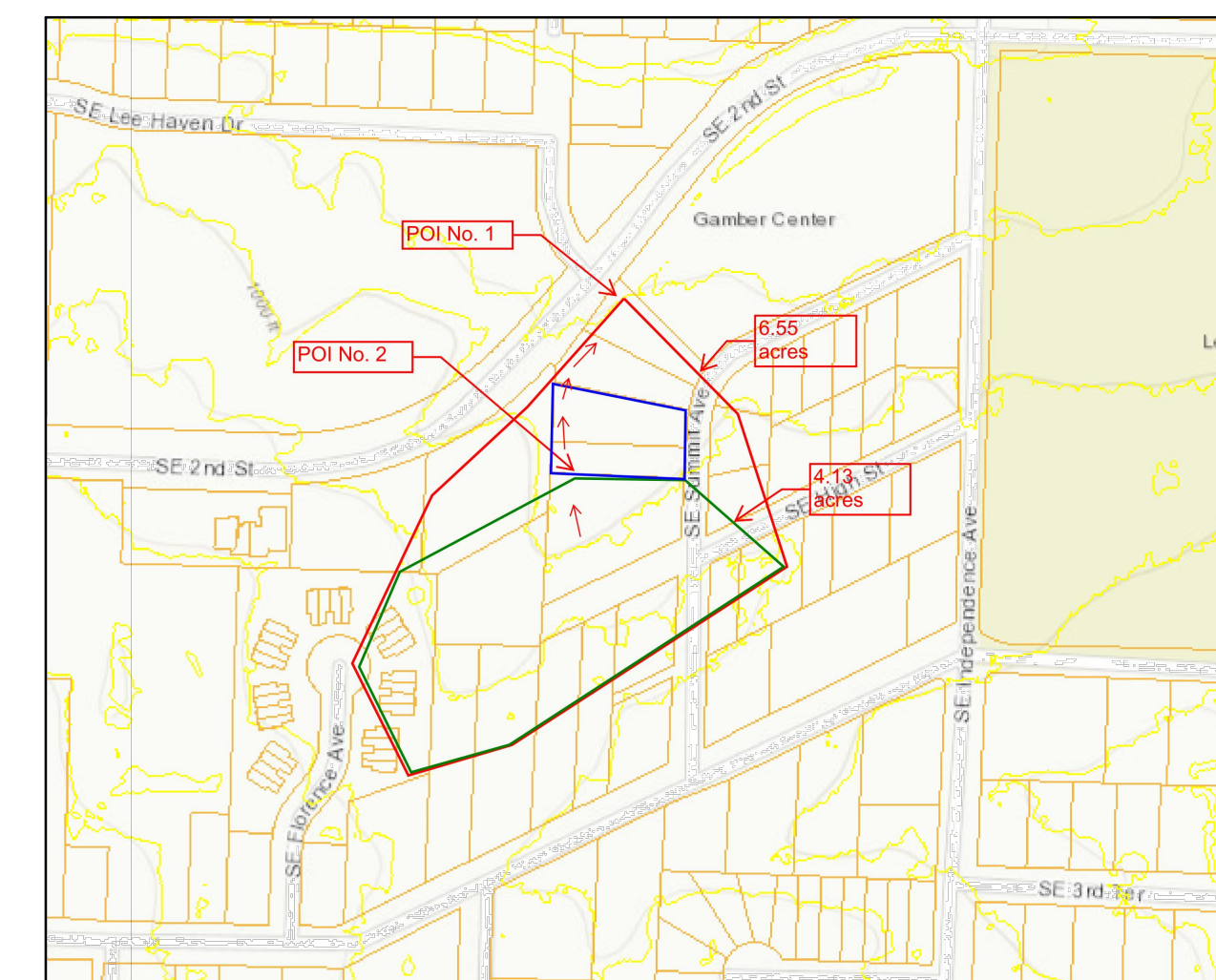
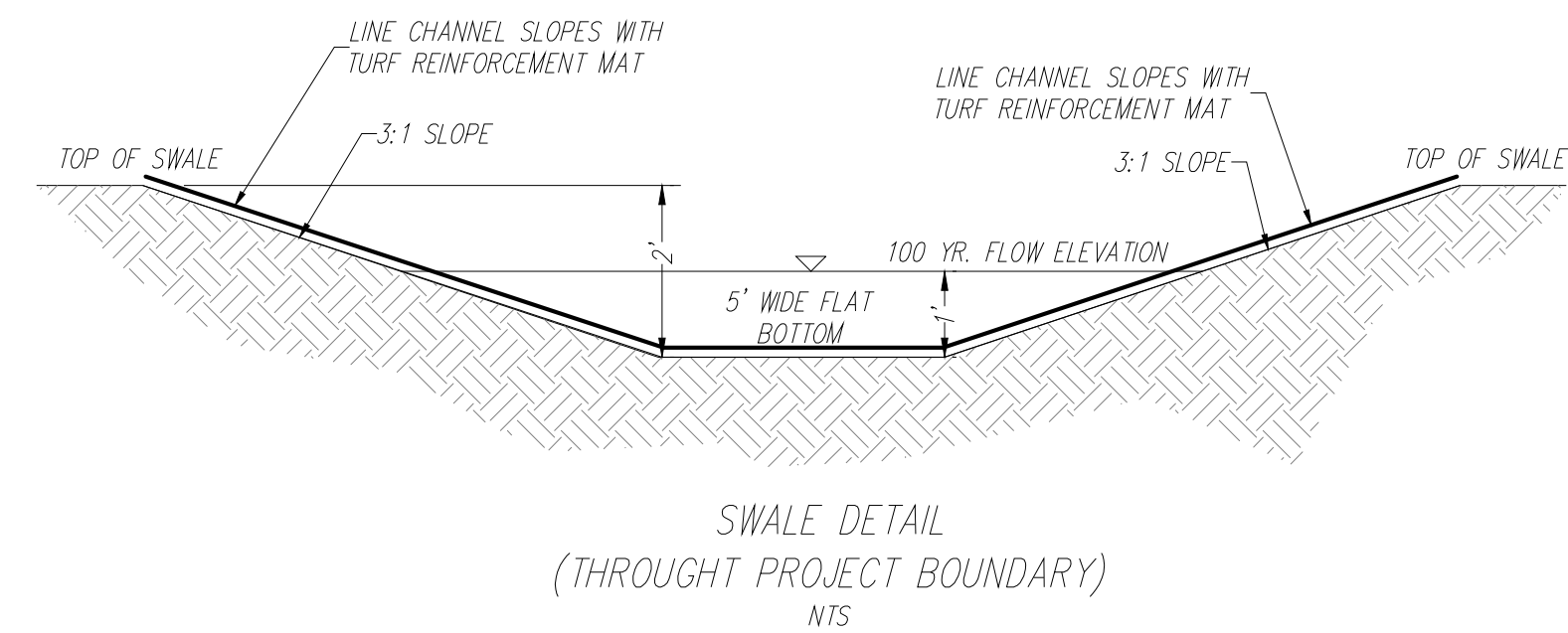
Consult  
Inc  
engineers  
planners

FINAL DEVELOPMENT PLAN	X-REF NO. XXXXXX
SUMMIT AVENUE ADDITION, LOTS 1 AND 2 (REPLAT OF LOWE'S ADDITION LOTS 18, 19, 20, 21 & 22, BLOCK 2)	DRAWING NO. 19017
LEE'S SUMMIT - JACKSON COUNTY - MISSOURI	DATE MARCH 14, 2019
	JOB NO. 19017
1	SHEET OF 5







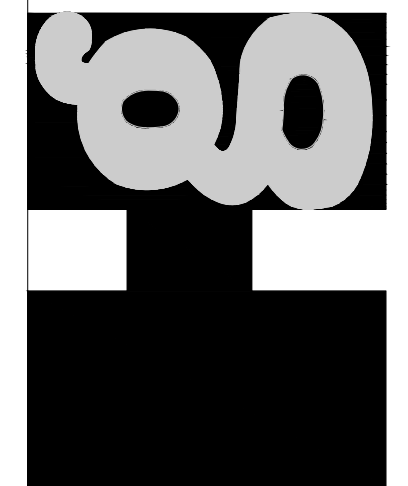


DRAINAGE AREA MAP  
NTS

[illegible]

**Consult  
Inc** engineers  
planners

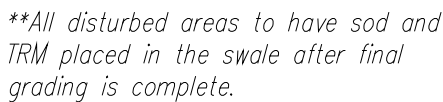
CORPORATE LICENSE No. E7010005873



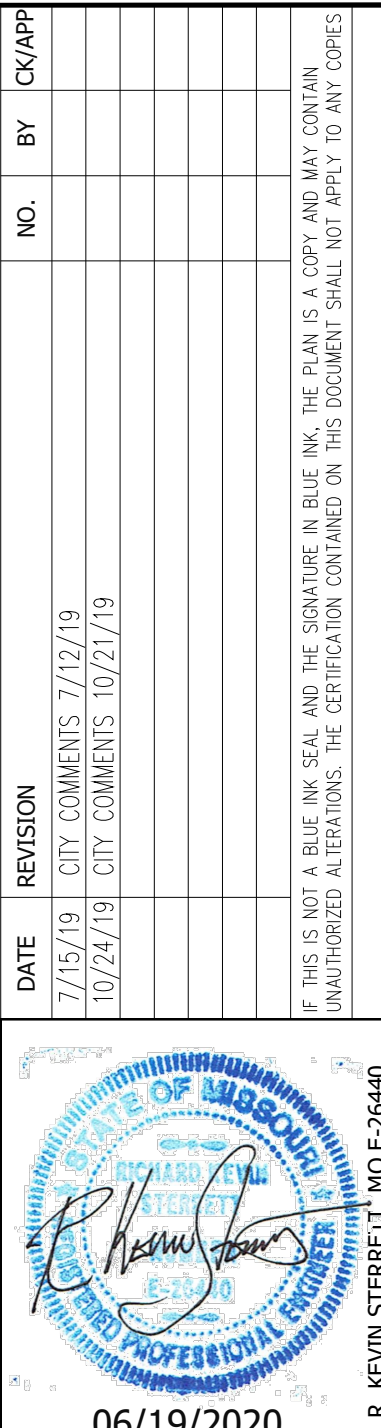
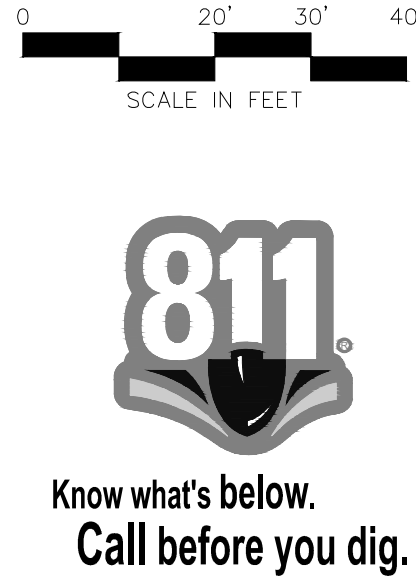
**SUMMIT AVENUE ADDITION, LOTS 1 AND 2  
(REPLAT OF LOWE'S ADDITION LOTS  
18, 19, 20, 21 & 22, BLOCK 2)  
LEE'S SUMMIT - JACKSON COUNTY - MISSOURI**

	<i>X-REF NO.</i> XXXXXX
	<i>DRAWING NO.</i> 19017
	<i>DATE</i> MARCH 14, 2019
	<i>JOB NO.</i> 19017
3	SHEET OF
	5





The plan view shows a rectangular structure labeled "PROPOSED" on the left and "EXISTING" on the right. The structure is divided into two sections: "SF" (Silt Fence) on the left and "Grades" on the right. The "SF" section is labeled "979" and the "Grades" section is labeled "960". The structure is labeled "Proposed Silt Fence" and "Inlet protection".



**Consult Inc**  
engineers  
planners  
CORPORATE LICENSE No. E201005873

EROSION CONTROL AND FINAL RESTORATION PLAN

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SUMMIT AVENUE ADDITION, LOTS 1 AND 2  
(REPLAT OF LOWE'S ADDITION LOTS  
18, 19, 20, 21 & 22; BLOCK 2)

LEE'S SUMMIT - JACKSON COUNTY - MISSOURI

X-REF NO. XXXXXX	
DRAWING NO. 19017	
DATE MARCH 14, 2019	
JOB NO. 19017	
4	SHEET OF 5



