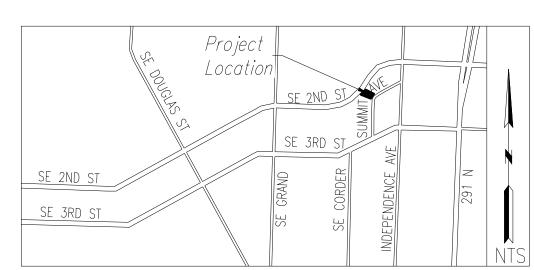
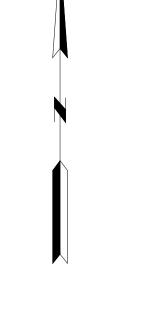
INDEX CIVIL SUBMITTAL SUMMIT A VENUE ADDITION, LOTS 1 AND 2

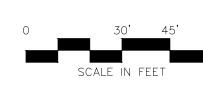
- LANDSCAPE PLAN
- EROSION CONTROL PLAN AND FINAL RESTORATION PLAN

VICINITY MAP



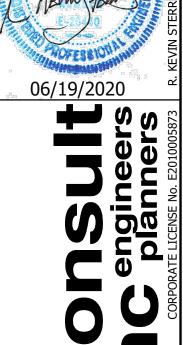
REPLAT OF LOWES ADDITION, LOTS 18-22, BLOCK 2 LEE'S SUMMIT, JACKSON COUNTY, MISSOURI FINAL DEVELOPMENT PLAN





Call before you dig.







DRAWING NO. MARCH 14, 2019 JOB NO.

SHEET OF

LEGAL DESCRIPTION OF RECORD

All of Lots 18, 19, 20, 21 and 22, Block 2, Lowe's Addition, a subdivision in Lee's Summit, Jackson County, Missouri, according to the recorded plat thereof.

SURVEYORS DESCRIPTION:

All of Lots 18, 19, 20, 21 and 22, Block 2, Lowe's Addition, a subdivision in Lee's Summit, Jackson County, Missouri, according to the recorded plat thereof, more particularly described as; Beginning at the Southwest corner of said Lot 22, said point also being on the East line of Lot 3 Westbrooke Business Center, a subdivision of record in said city; thence South 87 degrees 58 minutes 32 seconds East, along the South line of said Lot 22, a distance of 210.51 feet, to the Southeast corner of said Lot 22; thence North 02 degrees 01 minutes 28 seconds East, along the East line of said Lots 22, 21, 20 & 19, a distance of 89.89 feet; thence continuing along the East line of said Lots 17A of the Replat of Lowe's Addition, Lots 15, 16 & 17, a subdivision of record in said city; thence North 75 degrees 59 minutes 44 seconds West, along the North line of said Lot 18, said line also being the South line of said Lot 17A, a distance of 218.39 feet, to the Northwest corner of said Lot 18, said point also being the Southwest corner of said Lot 17A, said point also being on the East line of said Lot 3, Westbrooke Business Center; thence South 02 degrees 10 minutes 22 seconds West, along the West line of said Lots 18, 19, 20, 21 & 22, said line also being the East line of said Lot 3, a distance of 169.52 feet, to the Point of Beginning.

(PROPOSED SUMMIT AVENUE ADDITION, LOTS 1 AND 2) SITE ADDRESS: 114 AND 200 SE SUMMIT AVENUE

PROPERTY AREA: 31,007.9 SF (0.71 ACRES) NUMBER OF LOTS: 2

BUILDING AREA/UNIT: 1242 SF (GFA) DENSITY: 2.82/AC

ANTICIPATED CONSTRUCTION: FALL 2019 (PENDING SALE OF LOTS)

1. BUILDING AREA AND DENSITY INDICATED IS BASED ON THE FOOTPRINT SHOWN. THIS MAY VARY BASED ON THE ACTUAL FOOTPRINT AND BUILDING PLAN SUBMITTED FOR BUILDING PERMIT BY BUILDER.

2. SLAB/FINISH FLOOR ELEVATIONS ARE SURROUNDING GRADES SHALL BE ADHERED TO WHEN PLOT PLANS FOR BUILDING PERMIT ARE PREPARED BY

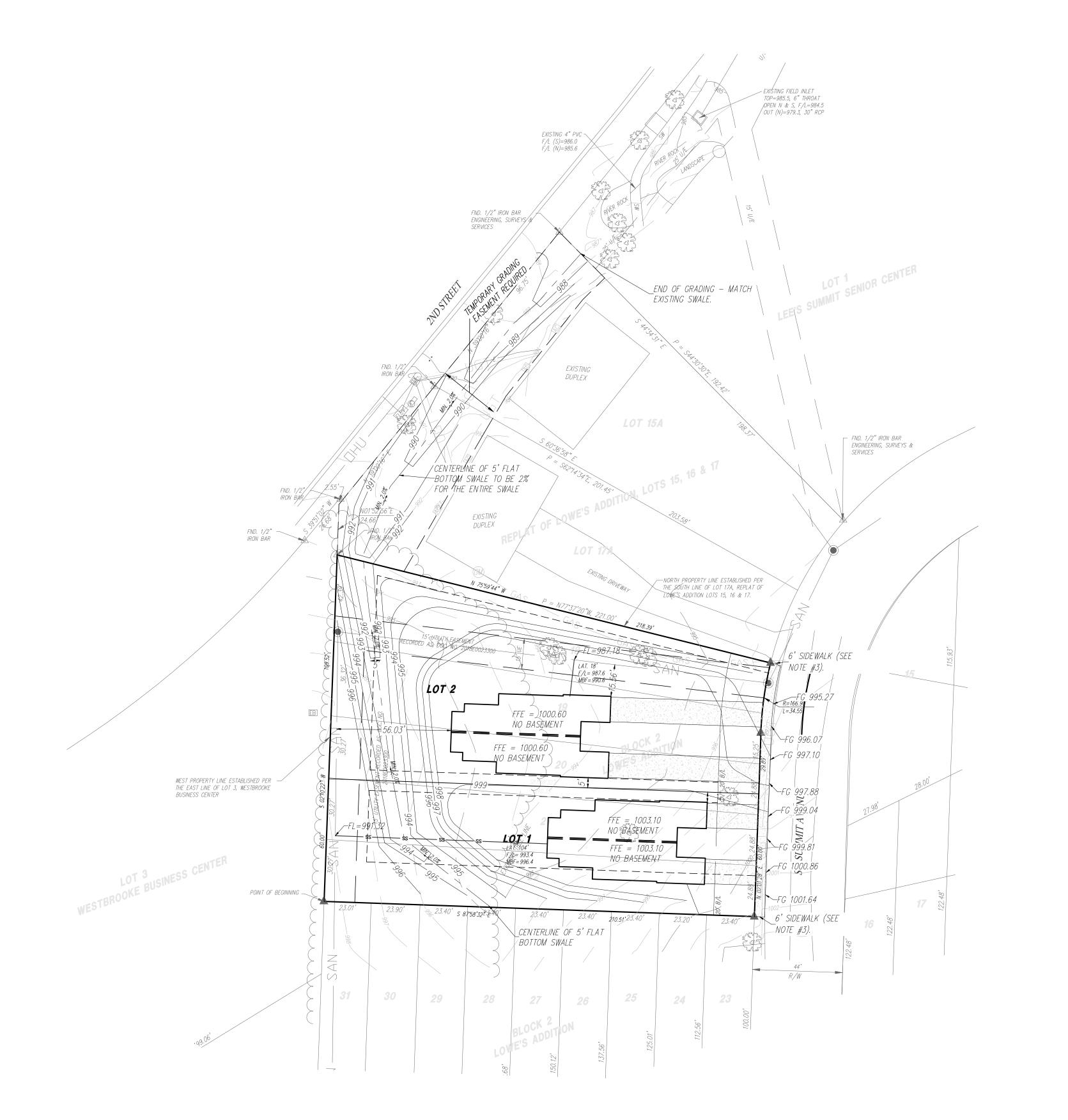
3. A SIX (6) FOOT WIDE SIDEWALK IS SHOWN FROM THE EDGE OF THE EXISTING PAVEMENT. A FEE FOR THE COST OF THE SIDEWALK CONSTRUCTION WILL BE REQUIRED PRIOR TO THE RELEASE OF OCCUPANCY FOR ANY OF THE UNITS.

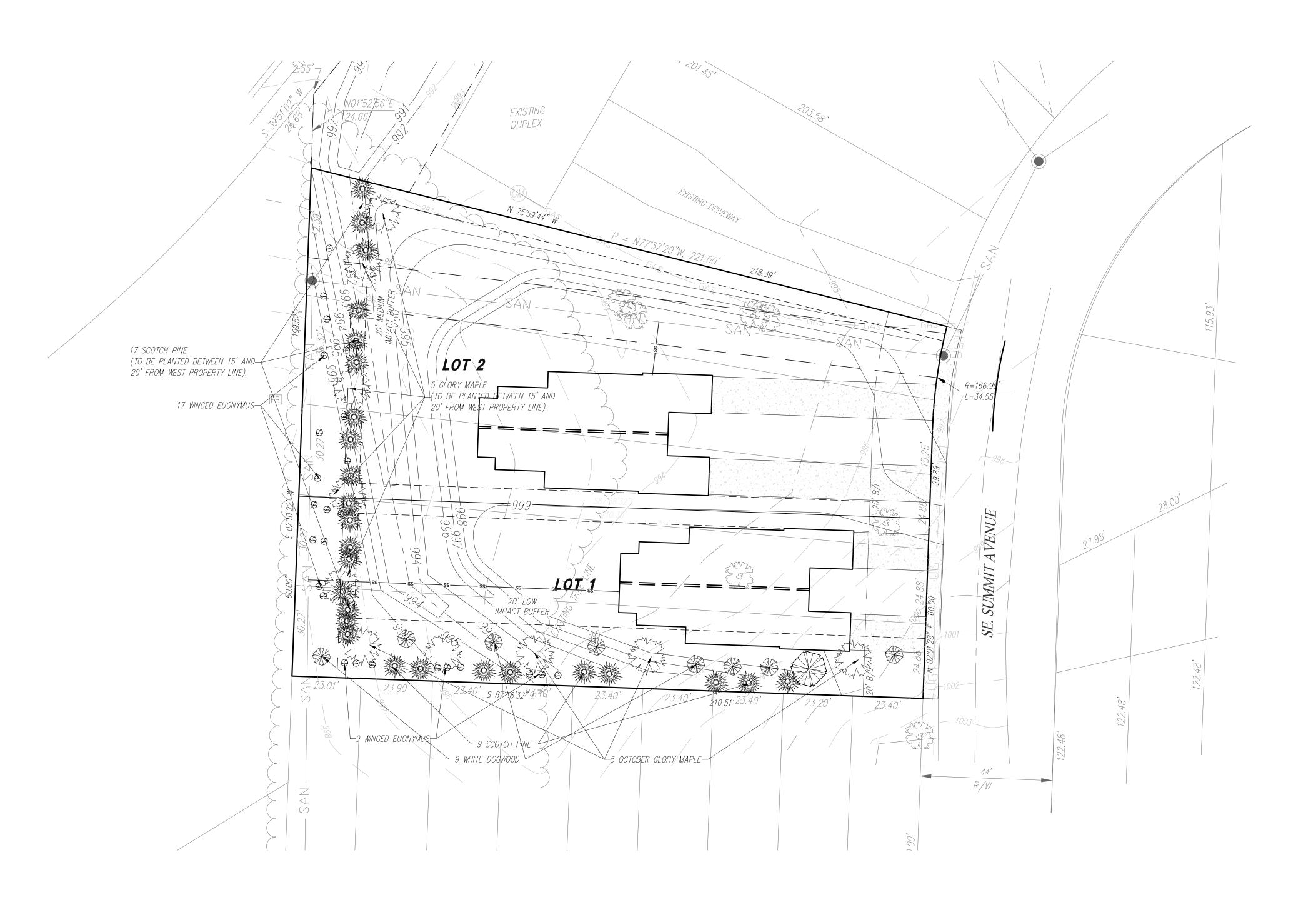
4. STRUCTURE ROOF DRAINAGE TO BE PIPED TO DISCHARGE TO THE WEST DRAINAGE SWALE.

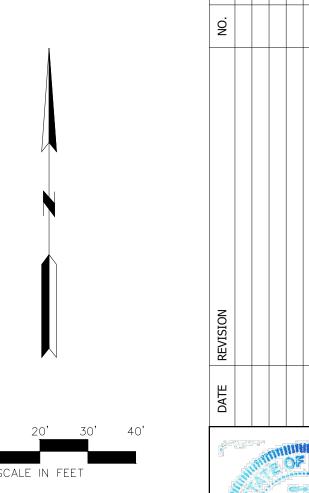
5. FOOTPRINT SHOWN IS FOR POTENTIAL LAYOUT ONLY. ACTUAL FOOTPRINT TO BE PROVIDED AT PERMIT STAGE PER PLOTPLAN PREPARED.

> PLANS PREPARED FOR GEORGE AND PEGGY NIE 30 NE SHOREVIEW DRIVE LEE'S SUMMIT, MO 64064 CONTACT - PEGGY NIE *816-547-6408*

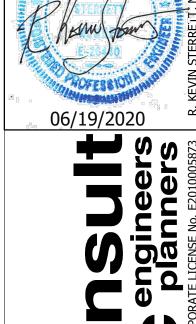
> > PLANS PREPARED BY HG CONSULT 11010 HASKELL ST. #210. KANSAS CITY. KS 66109 CONTACT: KEVIN STERRETT *816-703-7098*













LANDSCAPE PLAN SUMMIT, (REPL)

> DRAWING NO. *DATE* MARCH 14, 2019 *JOB NO.* 19017

2 SHEET OF

Open areas not covered with other landscaping materials shall be covered with sod.
 All trees/shrubs are shown graphically, not numerically.
 Trees shall be located a minimum distance of 5 feet from the sanitary and water lines as measured from the outside of the mature tree trunk to the outside of

4. The trees and shrubs shown are for graphical purposes and does not represent the actual count required per the worksheet.

LANDSCAPE DATA:

20' LOW IMPACT BUFFER: (SOUTH PROPERTY LINE) 4210 SF, SCREEN B REQUIRED:

1 SHADE TREE/1000 SF (5 SHADE TREES) 1 ORNAMENTAL TREE/500 SF (9 ORNAMENTAL TREES) 1 EVERGREEN/500 SF (9 EVERGREEN TREES)

1 SHRUB/500 SF (9 SHRUBS)

PROVIDED: 5 SHADE TREES 9 ORNAMENTAL TREES 9 EVERGREEN TREES 9 SHRUBS

20' MEDIUM IMPACT BUFFER: (WEST PROPERTY LINE) 3390 SF, SCREEN C

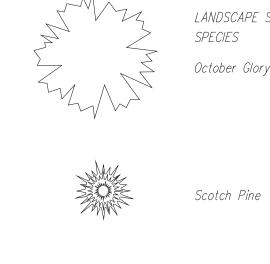
REQUIRED:

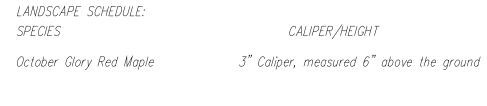
1 SHADE TREE/750 SF (5 SHADE TREES)

1 EVERGREEN TREE/200 SF (17 EVERGREEN TREES)

1 SHRUB/200 SF (17 SHRUBS)

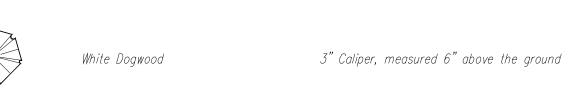
PROVIDED: 5 SHADE TREES *17 EVERGREEN TREES* 17 SHRUBS



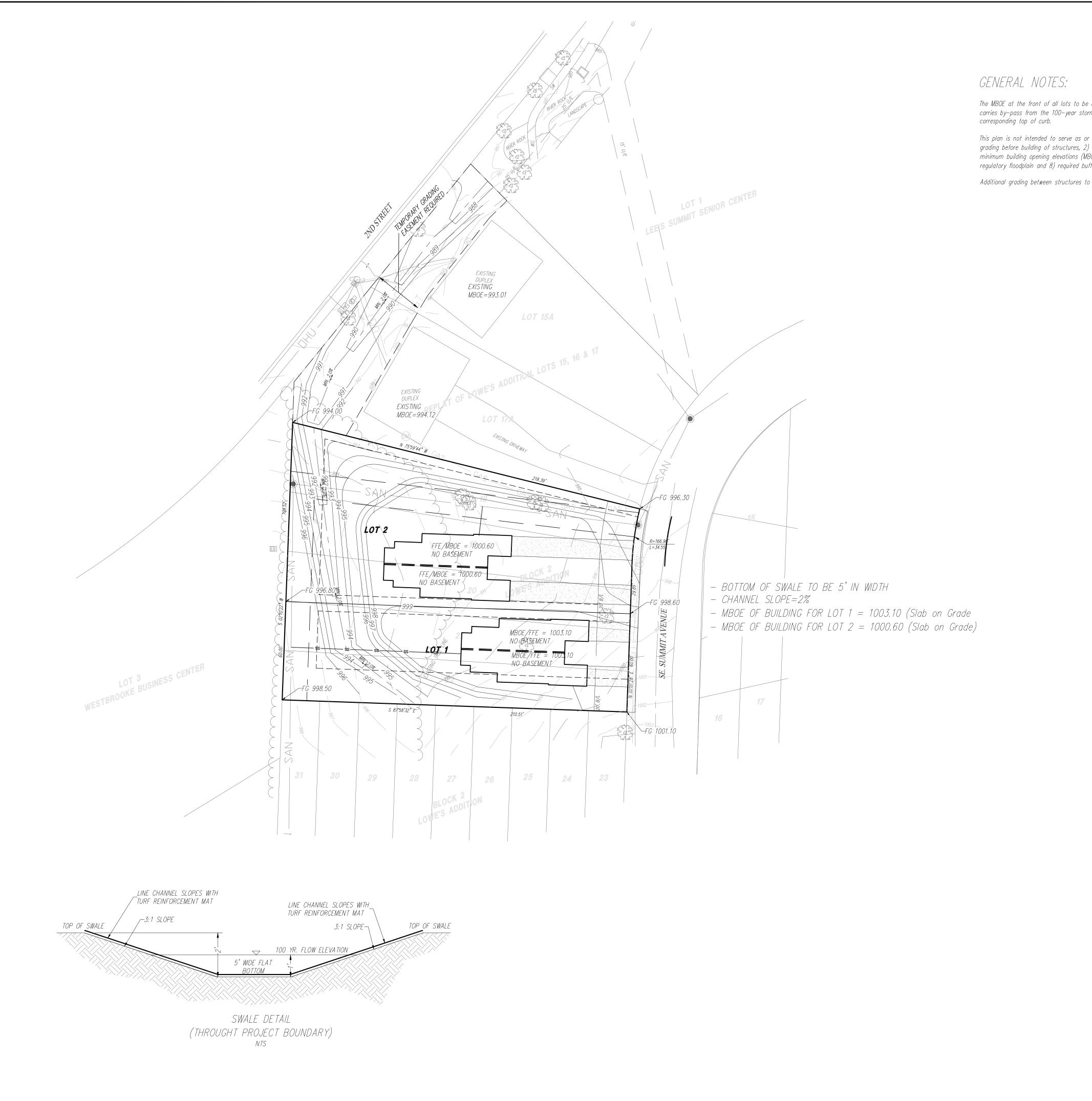




QUANTITY



Winged Euonymus	24" Minimum height at time of planting	26



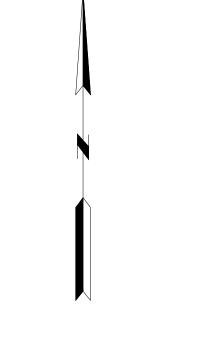
The MBOE at the front of all lots to be a minimum of two (2) foot above the adjacent right of way elevation. Where the street carries by-pass from the 100-year storm, the MBOE at the front of the adjacent lots shall be a minimum two (2) feet above the

This plan is not intended to serve as or substitute for an individual plot plan for each lot. It is intended only to show the: 1) finished grading before building of structures, 2) major drainage features, 3) designated drainage swales, 4) finish elevations of lot corners, 5) minimum building opening elevations (MBOE's) for structures, 6) lots where walkout or daylight basements are allowed, 7) limits of the regulatory floodplain and 8) required buffer zones of natural streams.

POI No. 2

DRAINAGE AREA MAP NTS

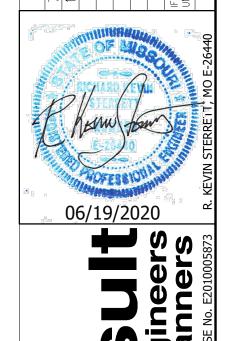
Additional grading between structures to provide positive drainage will be required as part of the plot plan review process.

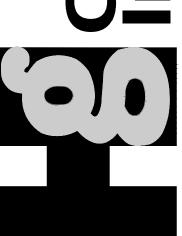






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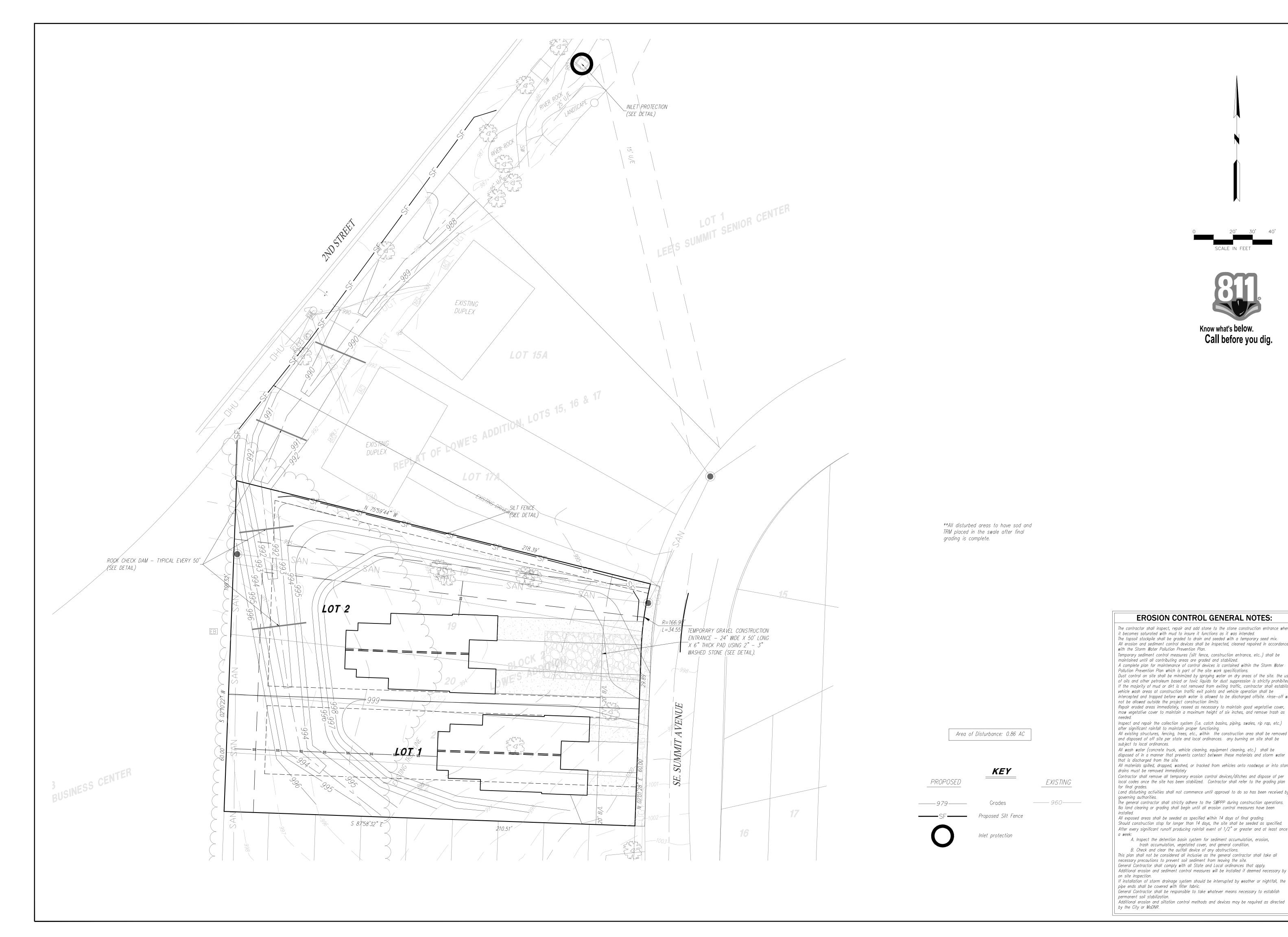
MASTER DRAINAGE PLAN

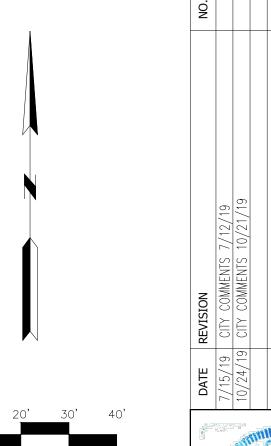
SUMMIT (REPL)

DRAWING NO. 19017

*DATE*MARCH 14, 2019 *JOB NO.* 19017

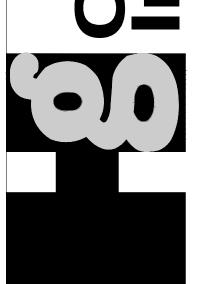
3 SHEET OF











2

S 1 AND S N LOTS (2)

EROSION CONTROL GENERAL NOTES:

The contractor shall inspect, repair and add stone to the stone construction entrance when it becomes saturated with mud to insure it functions as it was intended. The topsoil stockpile shall be graded to drain and seeded with a temporary seed mix. All erosion and sediment control devices shall be inspected, cleaned repaired in accordance with the Storm Water Pollution Prevention Plan.

Temporary sediment control measures (silt fence, construction entrance, etc..) shall be maintained until all contributing areas are graded and stabilized. A complete plan for maintenance of control devices is contained within the Storm Water Pollution Prevention Plan which is part of the site work specifications. Dust control on site shall be minimized by spraying water on dry areas of the site. the use of oils and other petroleum based or toxic liquids for dust suppression is strictly prohibited.

If the majority of mud or dirt is not removed from exiting traffic, contractor shall establish vehicle wash areas at construction traffic exit points and vehicle operation shall be intercepted and trapped before wash water is allowed to be discharged offsite. rinse-off will not be allowed outside the project construction limits. Repair eroded areas immediately, reseed as necessary to maintain good vegetative cover, mow vegetative cover to maintain a maximum height of six inches, and remove trash as

Inspect and repair the collection system (i.e. catch basins, piping, swales, rip rap, etc.) after significant rainfall to maintain proper functioning. All existing structures, fencing, trees, etc., within the construction area shall be removed and disposed of off site per state and local ordinances. any burning on site shall be

subject to local ordinances. All wash water (concrete truck, vehicle cleaning, equipment cleaning, etc.) shall be disposed of in a manner that prevents contact between these materials and storm water that is discharged from the site. All materials spilled, dropped, washed, or tracked from vehicles onto roadways or into storm

drains must be removed immediately Contractor shall remove all temporary erosion control devices/ditches and dispose of per local codes once the site has been stabilized. Contractor shall refer to the grading plan for final grades. Land disturbing activities shall not commence until approval to do so has been received by

governing authorities. The general contractor shall strictly adhere to the SWPPP during construction operations.

No land clearing or grading shall begin until all erosion control measures have been All exposed areas shall be seeded as specified within 14 days of final grading.

Should construction stop for longer than 14 days, the site shall be seeded as specified. After every significant runoff producing rainfall event of 1/2" or greater and at least once

A. Inspect the detention basin system for sediment accumulation, erosion,

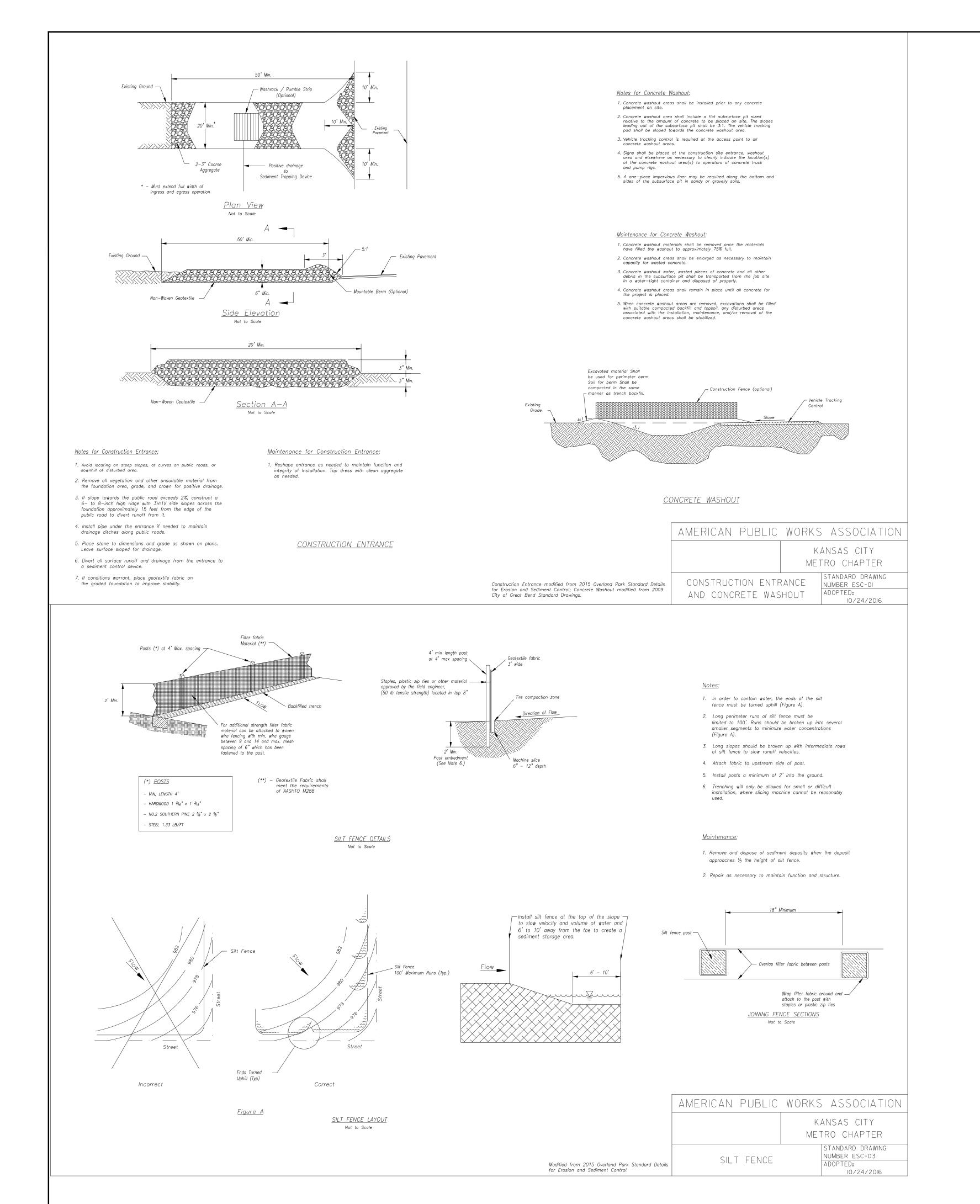
trash accumulation, vegetated cover, and general condition. B. Check and clear the outfall device of any obstructions. This plan shall not be considered all inclusive as the general contractor shall take all necessary precautions to prevent soil sediment from leaving the site. General Contractor shall comply with all State and Local ordinances that apply. Additional erosion and sediment control measures will be installed if deemed necessary by

on site inspection. If installation of storm drainage system should be interrupted by weather or nightfall, the pipe ends shall be covered with filter fabric. General Contractor shall be responsible to take whatever means necessary to establish permanent soil stabilization.

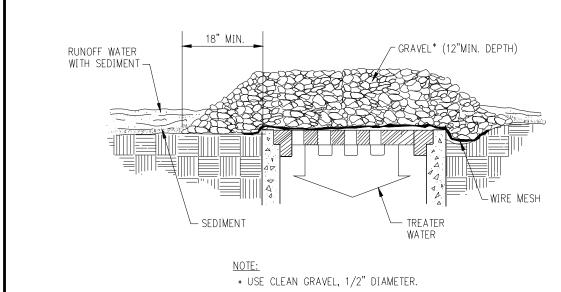
JOB NO. 19017

DRAWING NO. 19017 DATE MARCH 14, 2019

SHEET OF



GRAVEL AND WIRE MESH DROP INLET SEDIMENT TRAP



TURF REINFORCEMENT MAT CHANNEL INSTALLATION

END ANCHORING:

ALONG EDGE

- STAPLE EVERY 3 INCHES

ANCHOR SLOT DETAIL

SOIL STABILIZATION BLANKET SHALL

ROCK CHECK DAM

ROCK CHECK DAM

2 ACRES OR LESS OF DRAINAGE AREA

(SIDE VIEW)

2-10 ACRES OF DRAINAGE AREA

SPACING BETWEEN CHECK DAMS

BE USED IN CONJUNCTION WITH

RIPRAP AT OUTLET END OF PIPE -

USE WOOD STAKES

OR WIRE STAPLES —

SIDE LAP STAPLING:

OVERLAP MATERIAL

6 INCHES AND STAPLE

(OPTIONAL)

3-TO 6-INCH

FLOW_

COARSE AGGREGATE -

COARSE AGGREGATE

EVERY 3 INCHES ACROSS -

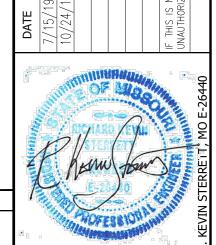
GRAVEL AND WIRE MESH DROP INLET SEDIMENT TRAP NOTES:

A) GENERAL NOTES:

- 1. WIRE MESH SHALL BE LAID OVER THE DROP INLET SO THAT THE WIRE EXTENDS A MINIMUM OF 1 FOOT BEYOND EACH SIDE OF THE INLET STRUCTURE. WIRE MESH WITH 1/2-INCH OPENINGS SHALL BE USED. IF MORE THAN ONE STRIP OF MESH IS NECESSARY, THE STRIPS SHALL BE
- 2. COARSE AGGREGATE SHALL BE PLACED OVER THE WIRE MESH. THE DEPTH OF STONE SHALL BE AT LEAST 12-INCHES OVER THE ENTIRE INLET OPENING. THE STONE SHALL EXTEND BEYOND THE INLET OPENING AT LEAST 18-INCHES ON ALL SIDES.
- 3. IF THE STONE BECOMES CLOGGED WITH SEDIMENT SO THAT IT NO LONGER ADEQUATELY PERFORMS ITS FUNCTION, THE STONES MUST BE PULLED AWAY FROM THE INLET AND CLEANED

B) INSPECTION AND MAINTENANCE:

- 1. THE STRUCTURE SHALL BE INSPECTED AFTER EACH RAIN EVENT OF 1/2 INCH OR GREATER AND REPAIRS MADE AS NEEDED.
- 2. SEDIMENT SHALL BE REMOVED AND THE TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO ONE HALF THE DESIGN DEPTH OF THE TRAP. REMOVED SEDIMENT SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL
- 3. STRUCTURES SHALL BE REMOVED AND THE AREA STABILIZED WHEN THE REMAINING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.



AMERICAN PUBLIC WORKS ASSOCIATION KANSAS CITY METROPOLITAN CHAPTER

INLET SEDIMENT TRAP

TURF REINFORCEMENT MAT CHANNEL INSTALLATION NOTES:

1. THE MAJORITY OF THESE PRODUCTS PROVIDE A THREE DIMENSIONAL GEOMATRIX OF NYLON, POLYETHYLENE, OR RANDOMLY ORIENTED MONOFILAMENTS TO FORM A MAT. THESE PRODUCTS CONTAIN ULTRAVIOLET (UV) INHIBITING STABILIZERS ADDED TO THE COMPOUNDS TO ENSURE ENDURANCE AND PROVIDE PERMEANENT ROOT REINFORCEMENT. THE THREE DIMENSIONAL FEATURE CREATES AN OPEN SPACE WHICH IS ALLOWED TO FILL WITH SOIL. THE ROOTS OF THE GRASS BECOME ESTABLISHED WITHIN THE MAT ITSELF, FORMING A SYNERGISTIC ROOT AND MAT SYSTEM. AS THE GRASS BECOMES ESTABLISHED, THE TWO ACTUALLY REINFORCE EACH OTHER PREVENTING MOVEMENT OF THE SOIL. ALLOWABLE VELOCITIES ARE INCREASED CONSIDERABLY OVER NATURAL TURF STANDS.

SELECTION OF THE APPROPRIATE MATTING MATERIALS ALONG WITH PROPER INSTALLATION BECOME CRITICAL FACTORS IN THE SUCCESS OF THIS PRACTICE. CONSULTATION WITH THE SUPPLIER OR THE MANUFACTURER AND THOROUGH EVALUATION OF PERFORMANCE DATA TO ENSURE PROPER SELECTION OF A SOIL STABILIZATION MATTING ARE ALSO

B) INSTALLATION REQUIREMENTS:

A) TURF REINFORCEMENT MAT:

1. <u>SITE PREPARATION:</u>

- ENTRENCH EDGES

OF MATERIAL 6"

- AFTER SITE HAS BEEN SHAPED AND GRADED, PREPARE A FRIABLE SEEDBED RELATIVELY FREE OF CLODS AND ROCKS MORE THAN 1-INCH IN DIAMETER AND ANY FOREIGN MATERIAL THAT WILL PREVENT CONTACT OF THE SOIL STABILIZATION MAT WITH THE SOIL SURFACE. IF NECESSARY, REDIRECT ANY RUNOFF AWAY FROM THE DITCH OR SLOPE DURING INSTALLATION.
- LIME, FERTILIZE, AND SEED IN ACCORDANCE WITH THE APPROVED PLAN, PAYING SPECIAL ATTENTION TO THE PLANT SELECTION CHOSEN FOR THE MATTED AREA. IF THE AREA HAS BEEN SEEDED PRIOR TO INSTALLING THE MAT, RESEED

3. LAYING AND SECURING:

- ON CONTROL BLANKETS, BUT PLAN APPROVING AUTHORITY'S REQUIREMENTS OR MANUFACTURER'S RECOMMENDATIONS MUST BE FOLLOWED AS DETAILED. THE KEY TO ACHIEVING DESIRED PERFORMANCE IS DEPENDENT UPON PROPER INSTALLATION.
- 4. <u>SECURING THE MATERIAL AND JOINING BLANKETS:</u>

ALL AREAS DISTURBED DURING INSTALLATION.

- PRODUCT SPECIFICATIONS VARY. UPSTREAM AND DOWNSTREAM TERMINAL SLOTS, NEW ROLL OVERLAPS, AND MULTIPLE WIDTH INSTALLATIONS DIFFER BY PRODUCT AND MANUFACTURER.

5. <u>FINAL CHECK:</u>

A) CONSTRUCTION SPECIFICATIONS & INSTALLATION:

- THESE INSTALLATION CRITERIA MUST BE COMPLETED: a. ALL DISTURBED AREAS ARE SEEDED.
- b. SOIL STABILIZATION BLANKET IS IN UNIFORM CONTACT WITH THE SOIL c. ALL REQUIRED SLOTS AND LAPPED JOINTS ARE IN PLACE.

d. THE MATERIAL IS PROPERLY ANCHORED.

AMERICAN PUBLIC WORKS ASSOCIATION METROPOLITAN CHAPTER TURF REINFORCEMENT MAT

CHANNEL INSTALLATION **ROCK CHECK DAM NOTES:**

ALONE AND SHALL NOT EXCEED 10 ACRES WHEN A COMBINATION OF CLASS I RIPRAP AND COARSE AGGREGATE IS USED. AN EFFORT SHOULD BE MADE TO EXTEND THE STONE TO THE TOP OF CHANNEL BANKS. 2. THE MAXIMUM HEIGHT OF THE DAM SHALL BE 3 FEET. THE CENTER OF THE CHECK DAM IS AT THE SAME ELEVATION AS THE TOP OF THE

1. THE DRAINAGE AREA OF THE DITCH OR SWALE BEING PROTECTED SHALL NOT EXCEED 2 ACRES WHEN A COARSE AGGREGATE IS USED

- 3. FOR ADDED STABILITY, THE BASE OF THE CHECK DAM CAN BE KEYED INTO THE SOIL APPROXIMATELY 6 INCHES.
- 4. THE MAXIMUM SPACING BETWEEN THE DAMS SHOULD BE SUCH THAT THE TOE OF THE UPSTREAM DAM IS AT THE SAME ELEVATION AS THE TOP OF THE DOWNSTREAM DAM.
- 5. STONE SHOULD BE PLACED ACCORDING TO THE CONFIGURATION TO THE LEFT. HAND OR MECHANICAL PLACEMENT WILL BE NECESSARY TO ACHIEVE COMPLETE COVERAGE OF THE DITCH OR SWALE AND TO INSURE THAT THE CENTER OF THE DAM IS LOWER THAN THE EDGES.
- 6. GEOTEXTILE MAY BE USED UNDER THE STONE TO PROVIDE A STABLE FOUNDATION AND TO FACILITATE REMOVAL OF THE STONE.

C) <u>INSPECTION AND MAINTENANCE</u>:

1. CHECK DAMS SHOULD BE CHECKED FOR SEDIMENT ACCUMULATION AFTER EACH STORM EVENT OF 1/2-INCH OR GREATER. SEDIMENT SHOULD BE REMOVED WHEN IT REACHES ONE HALF OF THE ORIGINAL HEIGHT OF THE DAM.

2. REGULAR INSPECTIONS SHOULD BE MADE TO ENSURE THAT THE CENTER OF THE DAM IS LOWER THAN THE EDGES. EROSION CAUSED BY HIGH FLOWS AROUND THE EDGES OF THE DAM SHOULD BE CORRECTED

D) REMOVAL OF PRACTICE:

UNLESS THEY ARE TO BE PERMINENT, CHECK DAMS MUST BE REMOVED WHEN THEIR USEFUL LIFE HAS BEEN COMPLETED. IN TEMPORARY DITCHES AND SWALES, CHECK DAMS SHOULD BE REMOVED AND THE DITCH FILLED WHEN THEY ARE NO LONGER NEEDED. IN PERMANENT STRUCTURES, CHECK DAMS SHOULD BE REMOVED WHEN A PERMANENT LINING CAN BE INSTALLED. IN THE CASE OF GRASS-LINED DITCHES, CHECK DAMS SHOULD BE REMOVED WHEN THE GRASS HAS MATURED SUFFICIENTLY TO PROTECT THE DITCH OR SWALE. THE AREA BENEATH THE CHECK DAMS SHOULD BE SEEDED AND MULCHED IMMEDIATELY AFTER THEY ARE REMOVED. THE USE OF FILTER CLOTH UNDERNEATH THE STONE WILL MAKE REMOVAL OF THE STONE EASIER.

> DRAWING NO. 19017 MARCH 14, 2019

AMERICAN PUBLIC WORKS ASSOCIATION KANSAS CITY METROPOLITAN CHAPTE

ROCK CHECK DAM

SHEET OF

JOB NO.

ADDI 22, BL

19017