

LOT 1, RAINTREE 150 CENTER
A SUBDIVISION IN LEE'S SUMMIT, JACKSON COUNTY, MISSOURI,
AS SHOWN ON PLAT ENTITLED MINOR PLAT OF RAINTREE 150 CENTER,
RECORDED APRIL 21, 2004 IN PLAT BOOK 181, PAGE 12 OF THE
JACKSON COUNTY, MISSOURI RECORDER OF DEEDS OFFICE

FINAL DEVELOPMENT PLAN

1. ALL CONTOURS SHOWN ON THESE PLANS ARE BASED ON U.S.G.S. DATA.
2. ALL GRADING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF LEE'S SUMMIT.
3. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RESTORE THE GRADE TO THE DESIGN ELEVATIONS.
4. NO SLOPES SHALL BE GRADED STEEPER THAN 3:1 (HORIZONTAL : VERTICAL), AND SHALL BE SEEDED AND MULCHED.
5. ALL EXISTING AND CONSTRUCTING ACCESS ROUTE MAY BE REQUIRED TO MOVE, ENLARGE AND IMPROVE. NO OTHER ACCESS POINT WILL BE PERMITTED.
6. ALL SITUATION MEASURES MUST BE IN PLACE BEFORE ANY SUMMIT OPERATIONS THAT DISTURB THE NATURAL GRADE COMMENCES. THIS INCLUDES EROSION CONTROL, REMOVAL OF MUD FROM SITES, AND SLOPE PROTECTION UPON COMPLETION OF ALL SITUATION AND EROSION FACILITIES AND SHALL INSPECT AND APPROVE SUCH FACILITIES PRIOR TO THE COMMENCEMENT OF ANY CLEARING OR GRADING ACTIVITIES.
7. EROSION CONTROL FACILITIES MUST BE MAINTAINED THROUGHOUT THE ENTIRE CONSTRUCTION PERIOD. THIS INCLUDES REMOVAL OF MUD FROM SITUATION BASINS AND REPLACEMENT OF THE CITY OF LEE'S SUMMIT APPROVED EROSION CONTROL DEVICES. MUD SHALL NOT BE PERMITTED TO MIGRATE OFF THE SITE. DAMAGE OR FAILURE OF SITUATION AND EROSION CONTROL FACILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. DAMAGE OR FAILURE OF SITUATION AND EROSION CONTROL FACILITIES SHALL BE REPAIRED WITHIN 24 HOURS AFTER NOTIFICATION. IF PROPOSED MEASURES FAIL TO ADEQUATELY PROTECT THE ADJOINING PROPERTY ADDITIONAL FACILITIES SHALL BE INSTALLED AS DIRECTED.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES OF CONSTRUCTION SELECTED BY THE CONTRACTOR TO PROTECT OFF-SITE PROPERTY FROM EROSION OR SILTATION. THE ENGINEER SHALL NOT BE LIABLE FOR DAMAGE CAUSED BY EROSION OR SILTATION DUE TO DEFECTIVE SITUATION CONTROL DEVICES.
9. PRIOR TO ANY WORK BEING PERFORMED ON THE SITE, A TEMPORARY WASH FACILITY SHALL BE PROVIDED TO REMOVE MUD FROM VEHICLE TIRES BEFORE ENTERING THE PUBLIC STREETS.
10. THE CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN THE NECESSARY CONSTRUCTION ACCESS TO ALL AREAS OF THE SITE.
11. IT SHALL BE THE GRADING CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE SOILS ENGINEER OF WORK IN PROGRESS AND TO COMPLY WITH SPECIFICATIONS SET BY THE SOILS ENGINEER WITH REGARD TO COMPACTION, SURFACE PREPARATION AND PLACEMENT OF FILL.
12. ALL EXISTING UTILITIES AND STRUCTURES ARE TO BE REMOVED FROM THE SITE.
13. ALL DRAINAGE SWALES SHALL BE SEEDDED.
14. ALL FILL AREAS, INCLUDING TRUNKLINE BACKFILLS, UNDER BUILDINGS, PROPOSED STORM AND SANITARY SEWER LINES, PUBLIC RIGHT OF WAY, AND ALL OTHER AREAS, SHALL BE COMPACTED TO THE DENSITY AS DETERMINED BY THE MODIFIED AASHTO T-150 COMPACTION TEST. (A.S.T.M. D- 1557) UNLESS OTHERWISE REQUIRED IN THE SOILS REPORT FOR THIS PROJECT.

AI	AREA INLET	N	NORTH
ASPH	ASPHALT	NE	NORTHEAST
ATO	ADJUST TO GRADE	NW	NORTHWEST
BC	BOTTOM OF CURB ELEVATION	PB	PLAT BOOK
BFP	BACKFLOW PREVENTER	PERM	PERMANENT
BLDG	BUILDING	PG	PAGE
BM	BENCHMARK	PGS	PAGES
BOT	BOTTOM	PL	PROPERTY LINE
BS	BOTTOM OF SLOPE ELEVATION	PP	PROPOSED
CI	CURB OF WALL ELEVATION	PCV	POLYVINYL CHLORIDE
CS	CURB INLET	PVM	PAVEMENT
CMP	CORRUGATED METAL PIPE	R	RADIUS
CONC	CONCRETE	REC	REINFORCED CONCRETE PIPE
DB	DEED BOOK	ROW	RIGHT OF WAY
DIP	DUCTILE IRON PIPE	R/W	RIGHT OF WAY
DS	DOWNSPOUT	S	SOUTH
E	EAST	SE	SOUTHEAST
ELEV	ELEVATION	SF	SQUARE FEET
EM	ELECTRIC METER	SURV	SURVEY
EOP	EDGE OF PAVEMENT	SW	SOUTHWEST
ESMT	EASEMENT	TR	TO BE REMOVED
EX	EXISTING	TC	TO CURB ELEVATION
FF	FINISHED FLOOR ELEVATION	TP	TRANSFORMER PAD
FL	FLOW LINE ELEVATION	TS	TOP OF SLOPE ELEVATION
FIBER	FIBER OPTIC	TW	TWO WALL ELEVATION
GEN	GENERATOR	TPY	TYPICAL
GNT	GRATE TOP INLET	UGFO	UNDERGROUND FIBER OPTIC LINE
HAND	HANDAPPEARED	UP	UP PLACE
HCE	ELECTRIC HAND HOLE	VC	VITRIFIED CLAY PIPE
HTTS	TRAFFIC SIGNAL HAND HOLE	W	WEST
HSL	HAND LIGHT HAND HOLE		
ICV	IRRIGATION CONTROL VALVE RECLAIMED		
MAX	MAXIMUM		
MH	MANHOLE		
MIN	MINIMUM		
MSD	METROPOLITAN ST. LOUIS SEWER DISTRICT		

[illegible]

<u>PROPERTY ADDRESS:</u>	155 SW M-150 HIGHWAY
<u>ZIP CODE:</u>	64082
<u>MUNICIPALITY:</u>	CITY OF LEE'S SUMMIT
<u>STATE:</u>	MISSOURI
<u>TOTAL SITE AREA:</u>	1.405 ACRES (61,187± SF)
<u>AREA OF DISTURBANCE:</u>	0.496 ACRES (21,592± SF)
<u>CURRENT ZONING:</u>	CP-2 CORRIDOR DEVELOPMENT OVERLAY DISTRICT
<u>INTENDED USE:</u>	CP-2 CORRIDOR DEVELOPMENT OVERLAY DISTRICT
<u>PARCEL ID:</u>	70-820-03-02-00-0-00-000

C5.1 – EROSION & SEDIMENT CONTROL DETAILS

THIS SURVEY AND LEGAL DESCRIPTION ARE THE SAME AS THAT SHOWN ON A TITLE REPORT PREPARED BY FIRST AMERICAN TITLE INSURANCE COMPANY, FILE NO.: NCS-401470620A-NC, FIRST AMENDMENT, EFFECTIVE DATE. EFFECTIVE DATE: JUNE 26, 2019.

ACTUAL FIELD CONDITIONS ARE TO BE VERIFIED PRIOR TO COMMENCEMENT OF WORK.

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EXISTING		PROPOSED
	GUY WIRE	
	TREE	
	ELECTRIC LINE (OVERHEAD)	
	TELEPHONE LINE (UNDERGROUND)	
	ELECTRIC LINE (UNDERGROUND)	
	FIBER OPTIC CABLE	
	TELEPHONE LINE (UNDERGROUND)	
	WATER LINE	
	GAS LINE	
	CABLE LINE	
	SANITARY LINE	
	STORM LINE	
	FORCE MAIN	
	MANHOLE WITH STORM SEWER	
	INLET WITH MANHOLE COVER	
	GRATE TOP INLET	
	MANHOLE WITH SANITARY SEWER	
	STORM STRUCTURE NUMBER	
	SANITARY STRUCTURE NUMBER	
	LIGHT	
	FIRE HYDRANT	
	GAS VALVE	
	GAS METER	
	CLEAN OUT	
	WATER VALVE	
	WATER METER	
	CONTOUR	
	SPOT ELEVATION	
	SPOT ELEVATION AT TOP OF CURB	
	SPOT ELEVATION AT BOTTOM OF CURB	
	SPOT ELEVATION AT FLOWLINE OF GUTTER	
	SPOT ELEVATION AT TOP OF WALL	
	SPOT ELEVATION AT BOTTOM OF WALL	
	SPOT ELEVATION AT TOP OF BANK	
	SPOT ELEVATION AT BOTTOM OF BANK	
	STREET SIGN	
	FENCE	

FIRE DEPARTMENT:
LEE'S SUMMIT FIRE STATION 5
3650 SW WINDEMERE ROAD
LEE'S SUMMIT, MO 64062
PHONE

BUILDING RENOVATION

1155 SW M-150 HIGHWAY
LEE'S SUMMIT, MO 64082

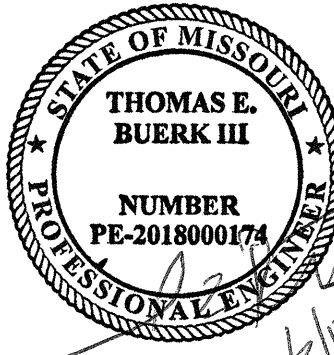
CONSTR. DOC. & REVISIONS

Date 06-17-20

Description
an Response

No.	DP
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CASCO DIVERSIFIED CORPORATION
 CERTIFICATE OF AUTHORITY
 #000613 12/31/21



PROFESSIONAL OF RECORD
Buerk III, Thomas E.
License NO. PE-2018000174
Expiration Date 12/31/20

Drawn By/Checked By: MEB/TEB

Project Number 320488

Permit Date	06-17-20
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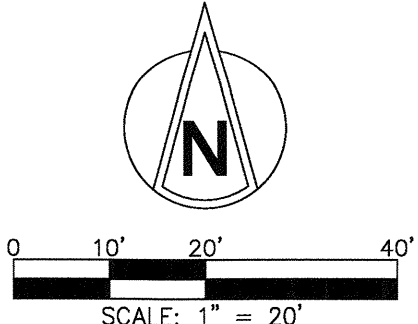
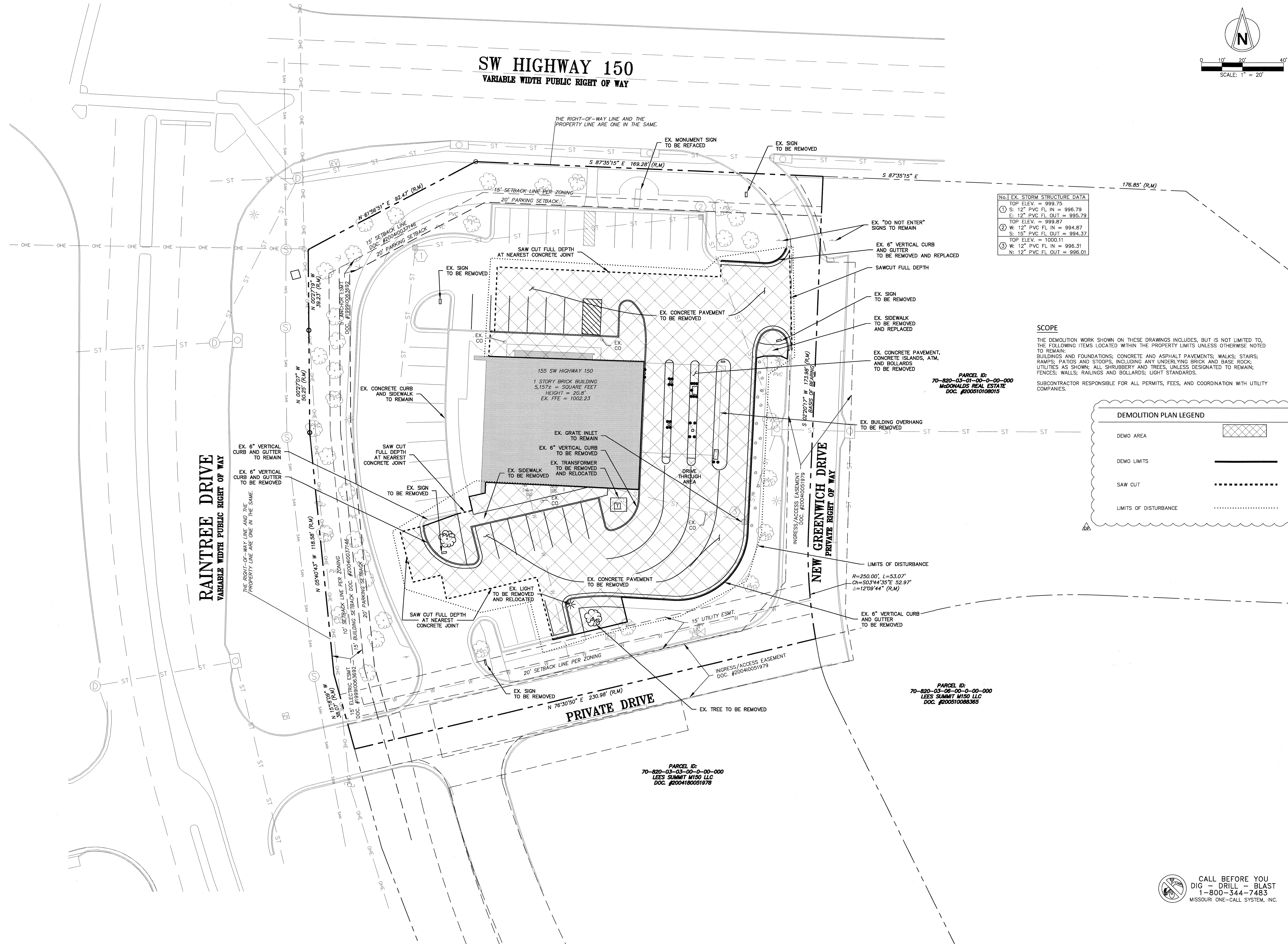
COVER

C0.0



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1-800-344-7483
MISSOURI ONE-CALL SYSTEM, INC.

MISSOURI ONE-CALL SYSTEM, INC.



No. EX. STORM STRUCTURE DATA	
1	TOP ELEV. = 999.75
2	S: 12" PVC FL IN = 996.79
3	E: 12" PVC FL OUT = 995.79
4	TOP ELEV. = 999.87
5	W: 12" PVC FL IN = 994.87
6	S: 15" PVC FL OUT = 994.37
7	TOP ELEV. = 1000.11
8	W: 12" PVC FL IN = 996.31
9	N: 12" PVC FL OUT = 996.01

SCOPE

THE DEMOLITION WORK SHOWN ON THESE DRAWINGS INCLUDES, BUT IS NOT LIMITED TO, THE FOLLOWING ITEMS LOCATED WITHIN THE PROPERTY LIMITS UNLESS OTHERWISE NOTED TO REMAIN:
BUILDINGS AND FOUNDATIONS; CONCRETE AND ASPHALT PAVEMENTS; WALKS; STAIRS; PATIOS; PATIOS AND STOOPS, INCLUDING ANY UNDERLYING BRICK AND BASE ROCK; UTILITIES AS SHOWN; ALL SHRUBBERY AND TREES, UNLESS DESIGNATED TO REMAIN; FENCES; WALLS; RAILINGS AND BOLLARDS; LIGHT STANDARDS.

SUBCONTRACTOR RESPONSIBLE FOR ALL PERMITS, FEES, AND COORDINATION WITH UTILITY COMPANIES.

DEMOLITION PLAN LEGEND

DEMO AREA

DEMO LIMITS

SAW CUT

LIMITS OF DISTURBANCE

CASCO CIVIL

A CASCO Diversified Corporation Company
13 Sumner Drive, Suite 100, St. Louis, MO 63143 T: 314.921.1100

BUILDING RENOVATION

155 SW M-150 HIGHWAY

LEE'S SUMMIT, MO 64082

CONSTR. DOC. & REVISIONS

No.	Description	Date
DP <td>Development Plan Response</td> <td>06-17-20</td>	Development Plan Response	06-17-20

CASCO DIVERSIFIED CORPORATION
CERTIFICATE OF AUTHORITY
#000613 12/31/21

STATE OF MISSOURI

THOMAS E. BUERK III

NUMBER
PE-2018000174

6/17/20

PROFESSIONAL OF RECORD

Buerk III, Thomas E.
License NO. PE-2018000174
Expiration Date 12/31/20

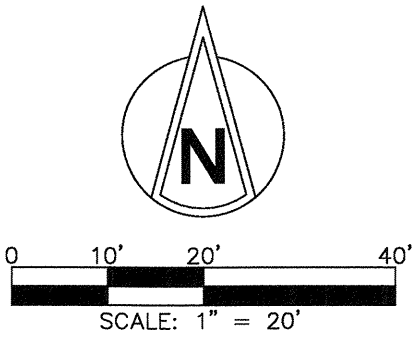
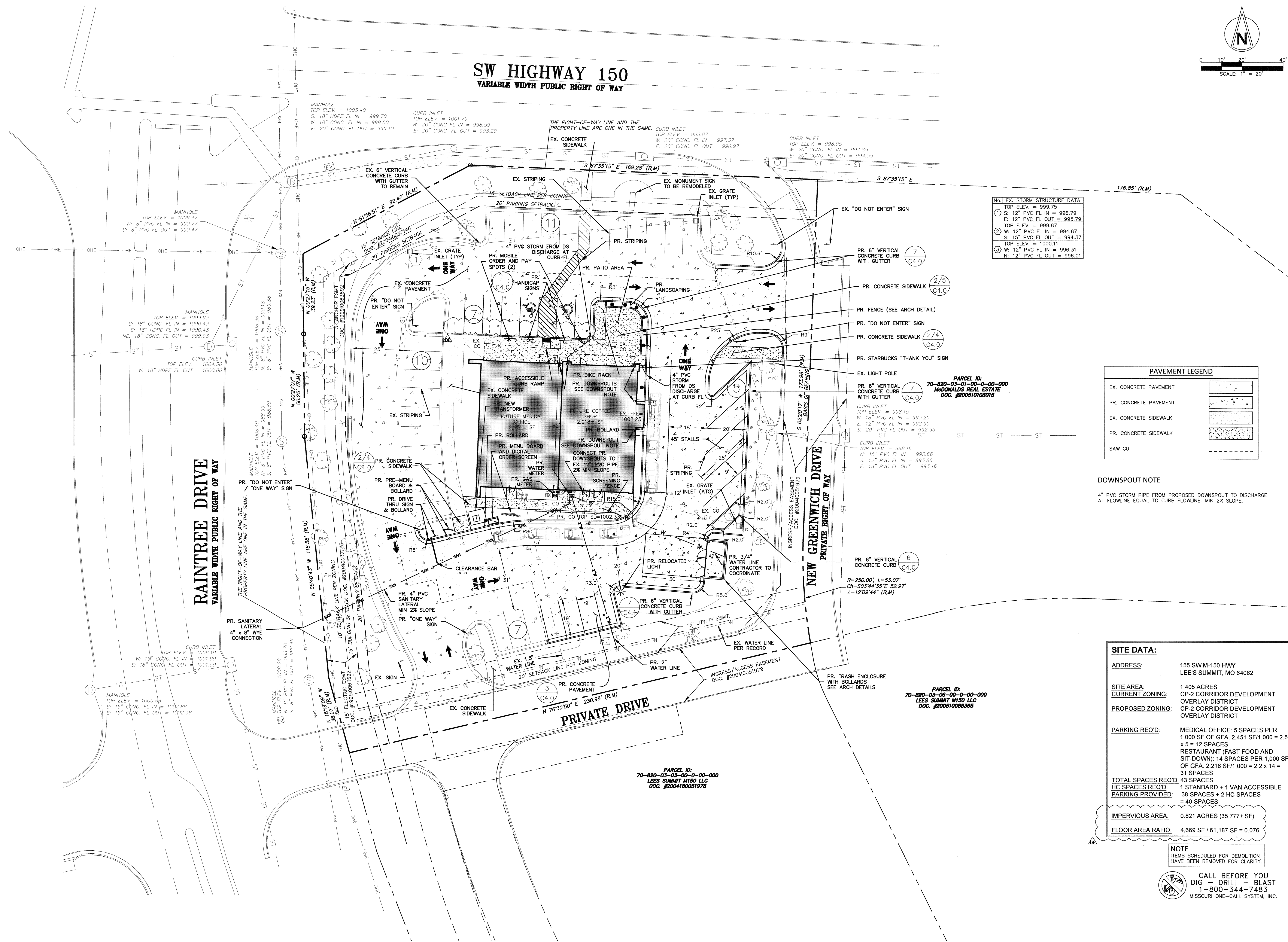
Drawn By/Checked By: MEB/TEB

Project Number 320488

Permit Date 06-17-20

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MISSOURI ONE-CALL SYSTEM, INC.

DEMOLITION PLAN
C1.0



No. EX. STORM STRUCTURE DATA	
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2	TOP ELEV. = 999.87 W: 12" PVC FL IN = 994.87 S: 15" PVC FL OUT = 994.37
3	TOP ELEV. = 1000.11 W: 12" PVC FL IN = 996.31 N: 12" PVC FL OUT = 996.01

PAVEMENT LEGEND	
EX. CONCRETE PAVEMENT	
PR. CONCRETE PAVEMENT	
EX. CONCRETE SIDEWALK	
PR. CONCRETE SIDEWALK	
SAW CUT	

DOWNSPOUT NOTE
4" PVC STORM PIPE FROM PROPOSED DOWNSPOUT TO DISCHARGE AT FLOWLINE EQUAL TO CURB FLOWLINE, MIN 2% SLOPE.

SITE DATA:	
ADDRESS:	155 SW M-150 HWY LEE'S SUMMIT, MO 64082
SITE AREA:	1.405 ACRES
CURRENT ZONING:	CP-2 CORRIDOR DEVELOPMENT OVERLAY DISTRICT
PROPOSED ZONING:	CP-2 CORRIDOR DEVELOPMENT OVERLAY DISTRICT
PARKING REQ'D:	MEDICAL OFFICE: 5 SPACES PER 1,000 SF OF GFA. 2,451 SF/1,000 = 2.5 x 5 = 12 SPACES RESTAURANT (FAST FOOD AND SIT-DOWN): 14 SPACES PER 1,000 SF OF GFA. 2,218 SF/1,000 = 2.2 x 14 = 31 SPACES
TOTAL SPACES REQ'D:	43 SPACES
HC SPACES REQ'D:	1 STANDARD + 1 VAN ACCESSIBLE
PARKING PROVIDED:	38 SPACES + 2 HC SPACES = 40 SPACES
IMPERVIOUS AREA:	0.821 ACRES (35,777± SF)
FLOOR AREA RATIO:	4,669 SF / 61,187 SF = 0.076

NOTE
ITEMS SCHEDULED FOR DEMOLITION
HAVE BEEN REMOVED FOR CLARITY.



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MISSOURI ONE-CALL SYSTEM, INC.

BUILDING RENOVATION
155 SW M-150 HIGHWAY
LEE'S SUMMIT, MO 64082

CONSTR. DOC. & REVISIONS	
No.	Date
DP	06-17-20
Description	
Development Plan Response	

CASCO DIVERSIFIED CORPORATION
CERTIFICATE OF AUTHORITY
#000613 12/31/21

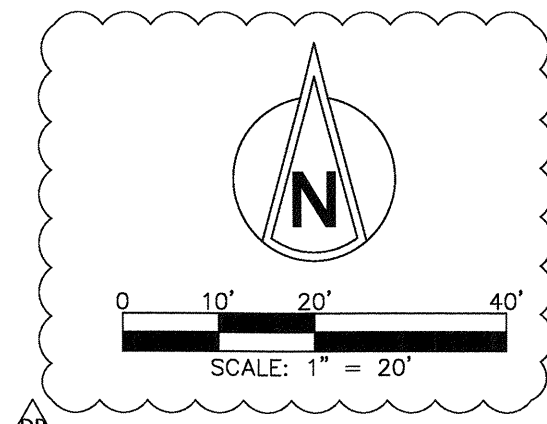
THOMAS E. BUERK III
NUMBER
PE-2018000174
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Buerk III, Thomas E.
License NO. PE-2018000174
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SITE & UTILITY PLAN

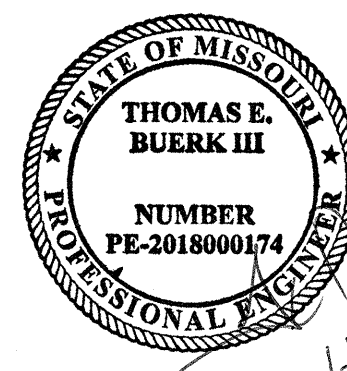
C2.0



BUILDING RENOVATION
155 SW M-150 HIGHWAY
LEE'S SUMMIT, MO 64082

No.	Description	Date
		DP
1	CONSTR. DOC. & REVISIONS	06-17-20

CASCO DIVERSIFIED CORPORATION
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PROFESSIONAL OF RECORD
Buerk II, Thomas E.
License No. PE-2018000174
Expiration Date 12/31/20

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Project Number 320488
Permit Date 06-17-20

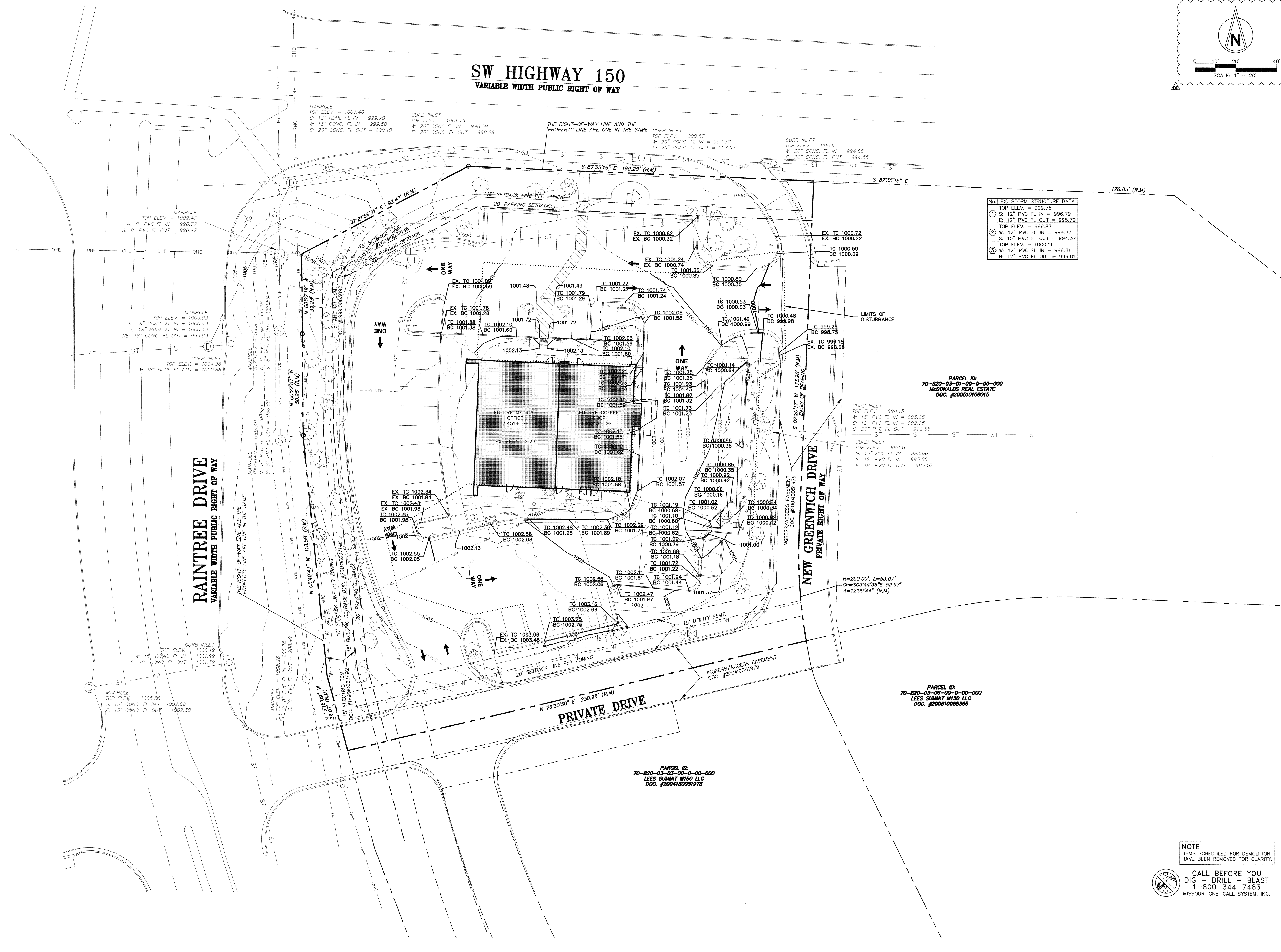
GRADING PLAN

NOTE
ITEMS SCHEDULED FOR DEMOLITION
HAVE BEEN REMOVED FOR CLARITY.



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C3.0

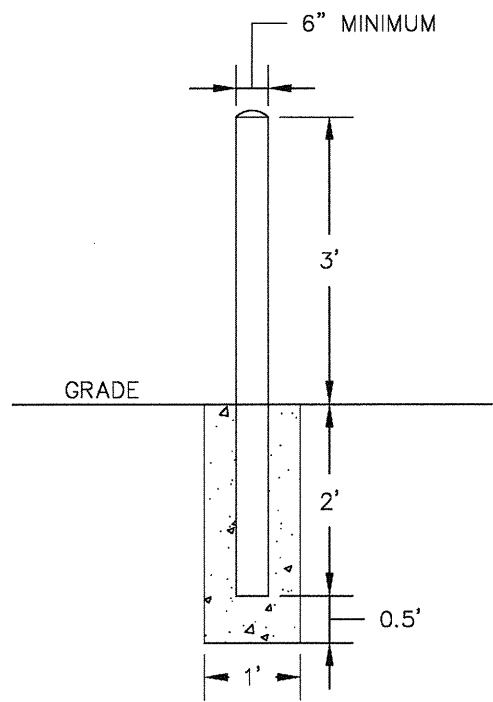
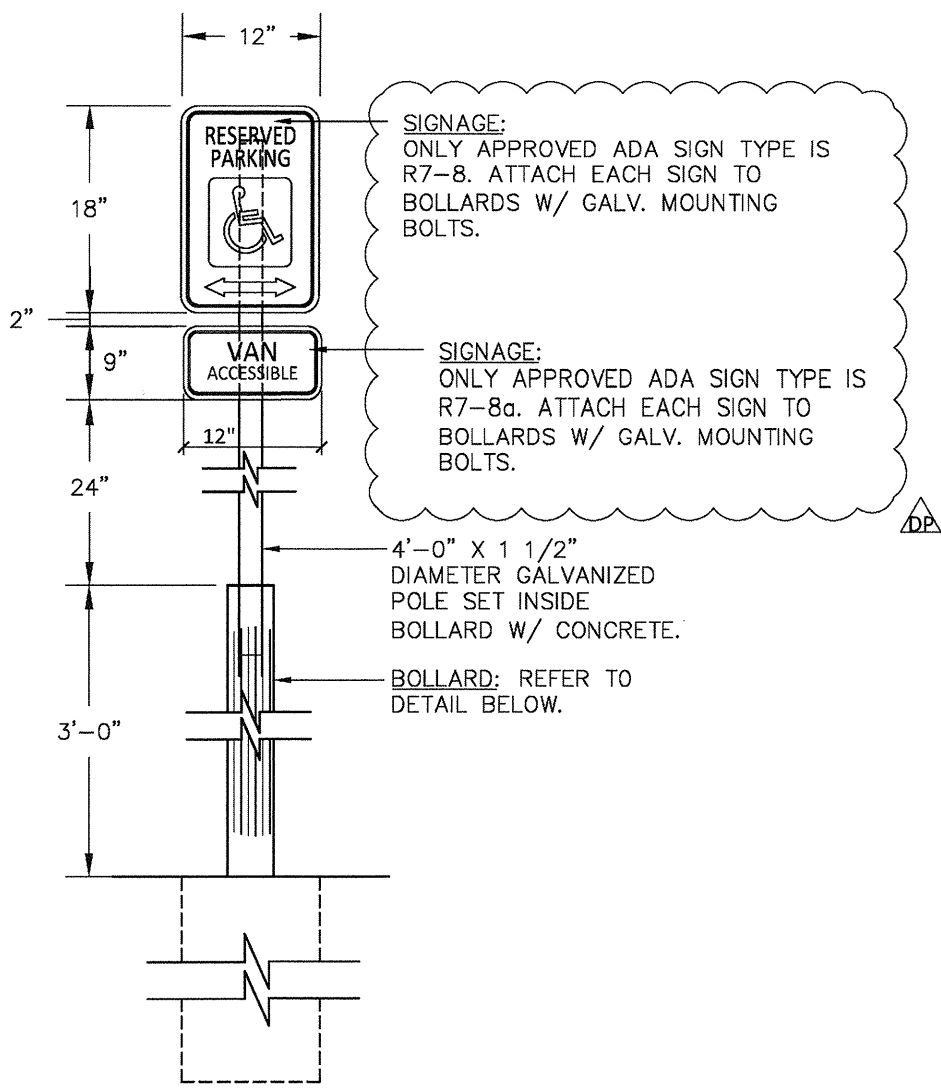


No.	EX. STORM STRUCTURE DATA
1	S: 12" PVC FL IN = 996.79 E: 12" PVC FL OUT = 995.79 TOP ELEV. = 999.87
2	W: 12" PVC FL IN = 994.87 S: 15" PVC FL OUT = 994.37 TOP ELEV. = 1000.11
3	W: 12" PVC FL IN = 996.31 N: 12" PVC FL OUT = 996.01

PARCEL ID:
70-820-03-01-00-0-00-000
McDONALD'S REAL ESTATE
DOC. #200510108015

PARCEL ID:
70-820-03-08-00-0-00-000
LEES SUMMIT M150 LLC
DOC. #200510088365

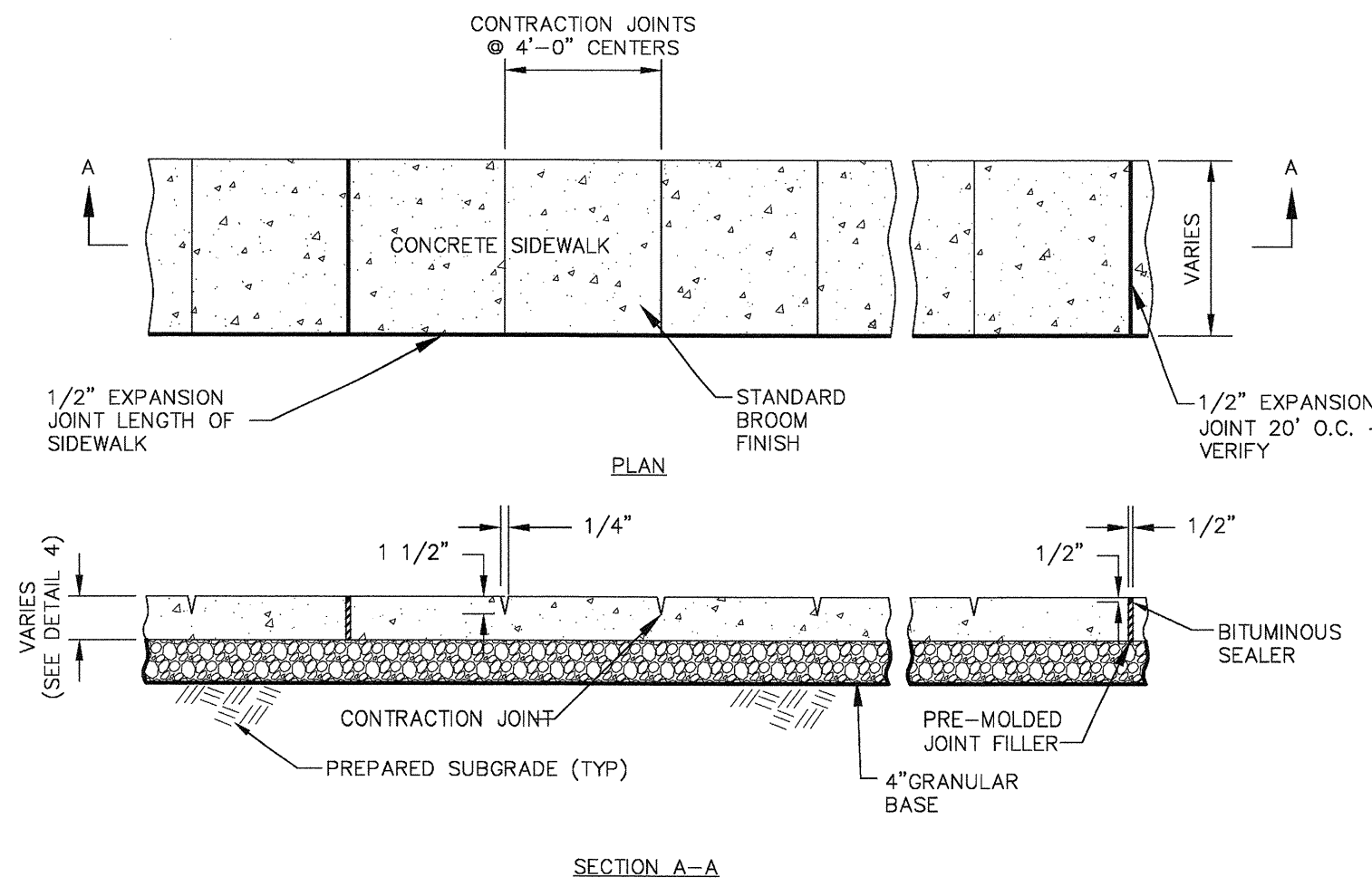
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LEES SUMMIT M150 LLC
DOC. #2004180051978



NOTE
BOLLARDS MUST BE STEEL PIPE (6" MINIMUM) AND FILLED WITH CONCRETE.

BOLLARD DETAIL
SCALE: NO SCALE

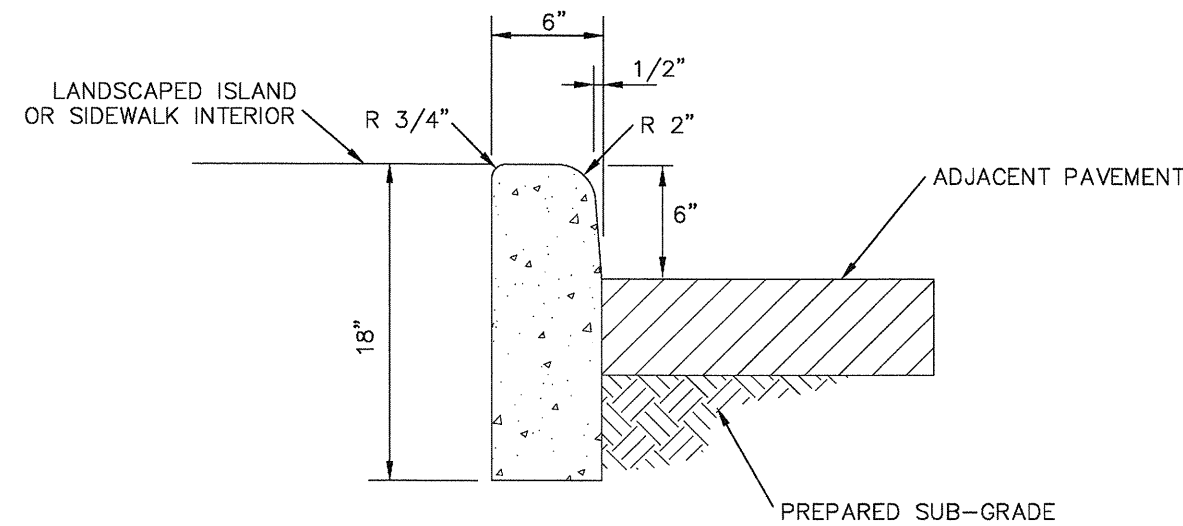
1 HANDICAP PARKING SIGN
C4.0 NO SCALE



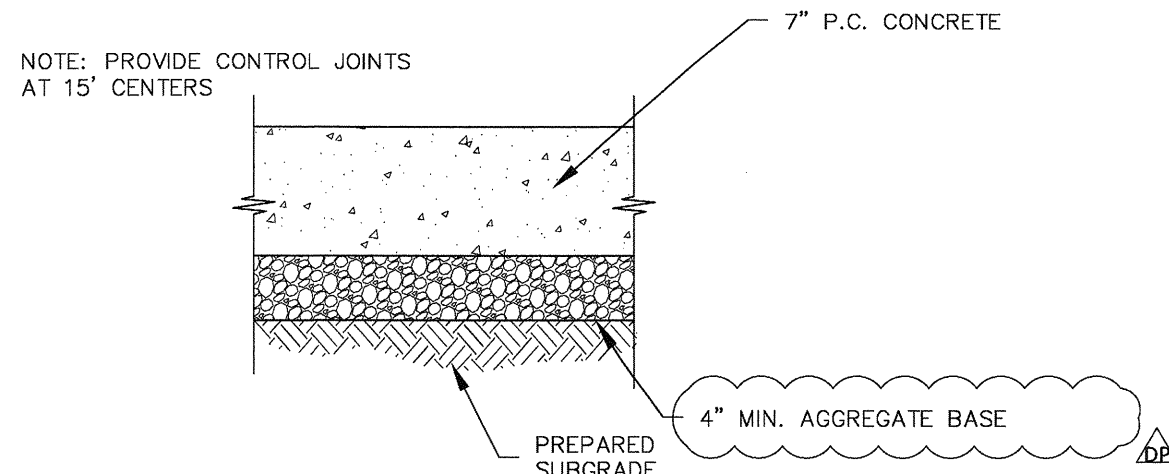
2 TYPICAL SLAB JOINT DETAILS
C4.0 NO SCALE

SUBGRADE PREPARATION NOTE

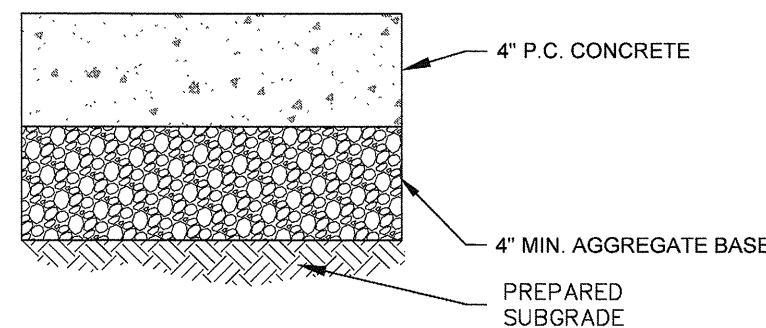
ALL EXPOSED AND/OR DISTURBED GRANULAR BASE AREAS SHALL BE COMPACTED TO A MINIMUM OF 95% OF OPTIMUM DENSITY IN ACCORDANCE W/ASTM D 1557 AT OPTIMUM MOISTURE CONTENT AND TO A MINIMUM DEPTH OF 8" - ALL SUBGRADE SOIL AREAS EXPOSED BY EXCAVATIONS AND GRADING SHALL BE COMPACTED TO A MINIMUM OF 95% OF OPTIMUM DENSITY IN ACCORDANCE W/ASTM D 1557 AT OPTIMUM MOISTURE CONTENT AND TO A MINIMUM DEPTH OF 12" - FILL WHERE REQUIRED SHALL BE PLACED IN LIFTS NOT TO EXCEED 8" LOOSE MEASURE AND SHALL BE COMPACTED AS OUTLINED ABOVE - THE ON SITE TESTING COMPANY SHALL PROVIDE TESTING AND INSPECTION OF THE SOIL WORK PRIOR TO PLACING CONCRETE.



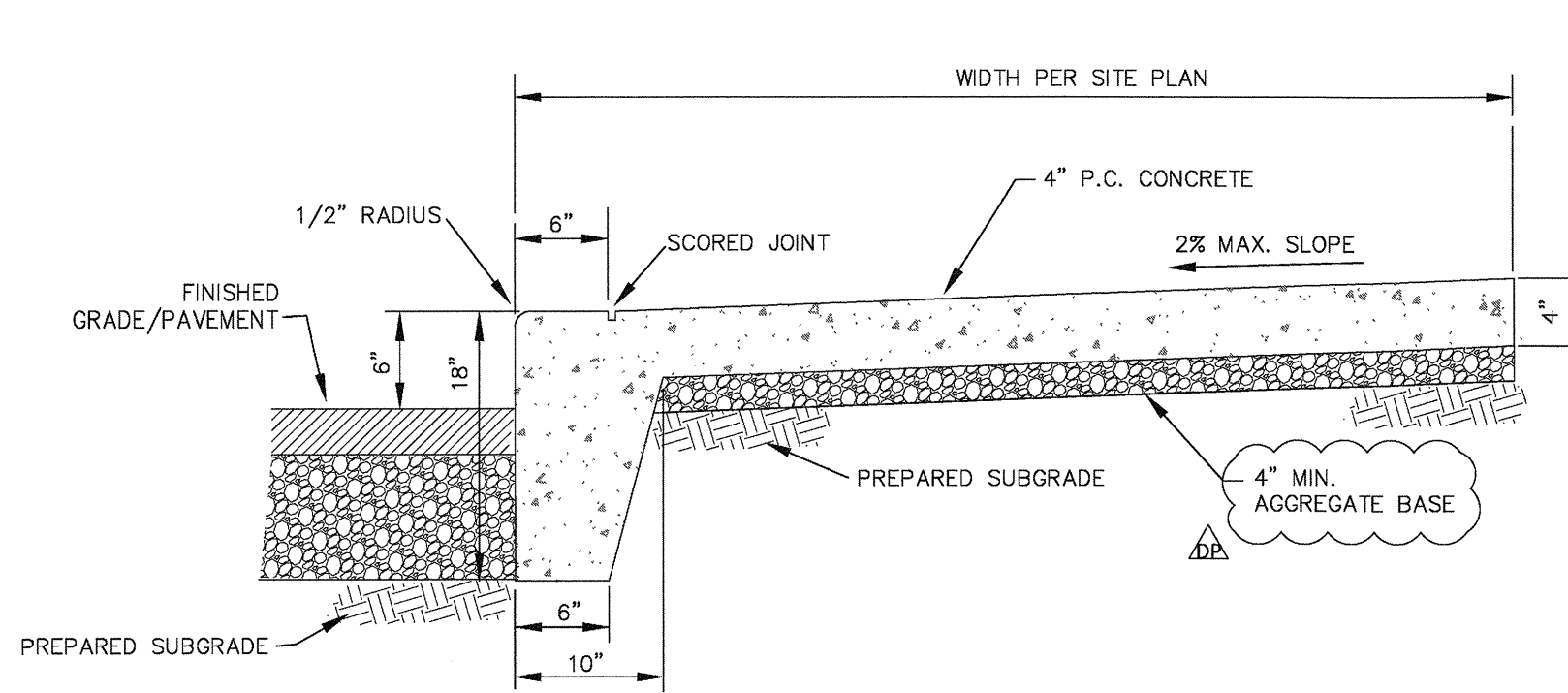
6 BARRIER CURB DETAIL
C4.0 NO SCALE



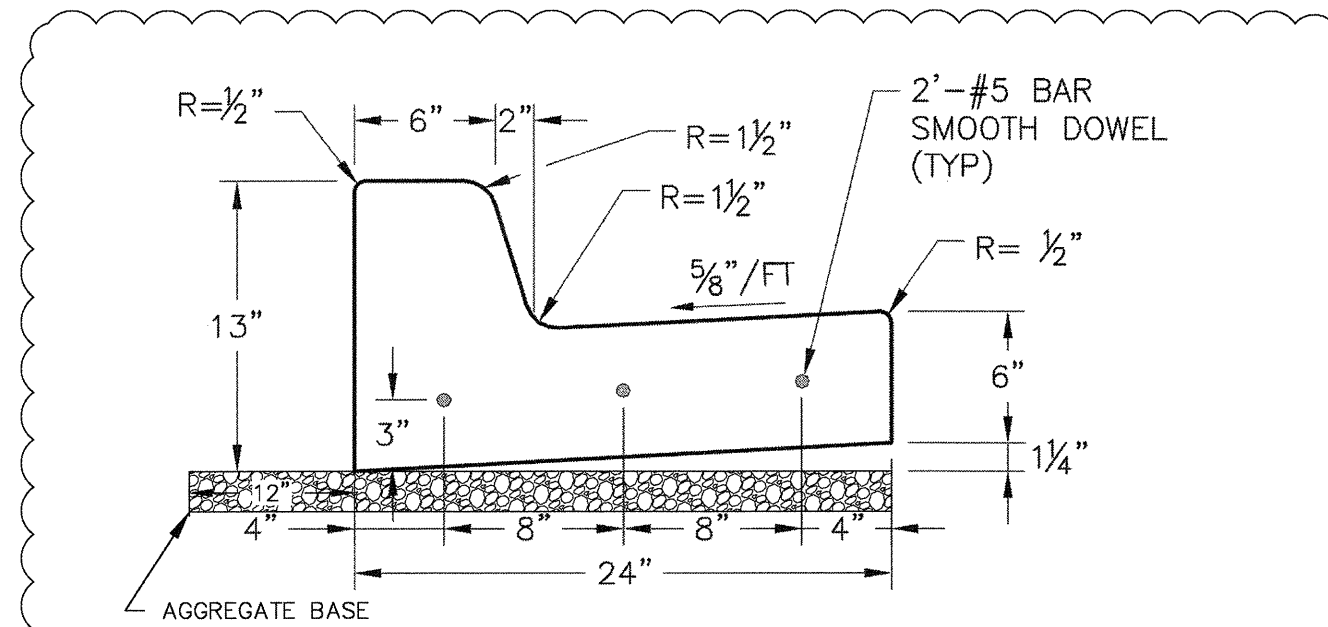
3 CONCRETE PAVEMENT DETAIL
C4.0 NO SCALE



4 CONCRETE SIDEWALK DETAIL
C4.0 NO SCALE



5 COMBINATION CURB & SIDEWALK DETAIL
C4.0 NO SCALE



STRAIGHT BACK CURB & GUTTER
(TYPE CG-1)

7 CONCRETE CURB AND GUTTER DETAIL
C4.0 NO SCALE

NOTES:

- ALL CONCRETE SHALL MEET THE CONCRETE MIX REQUIREMENTS IN DESIGN AND CONSTRUCTION MANUAL LS SECTION 2604.2.A.
- ALL CONSTRUCTION MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH LOCAL MUNICIPAL ORDINANCES.
- ANY UNSUITABLE SOIL (AS DETERMINED BY SOILS ENGINEER) BELOW STRUCTURE SHALL BE REMOVED AND REPLACED WITH SELECT EARTHEN MATERIAL COMPACTED IN PLACE WITH VIBRATORY TAMPER.
- PROVIDE 1/2" EXPANSION JOINTS AT 20' CENTERS.

CONSTR. DOC. & REVISIONS

No.	Description	Date
DP	Development Plan Response	06-17-20

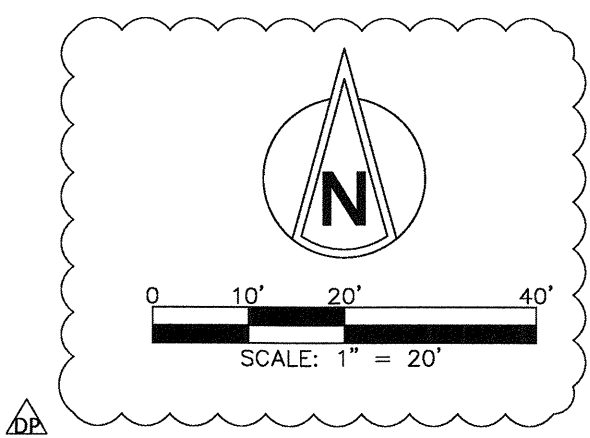
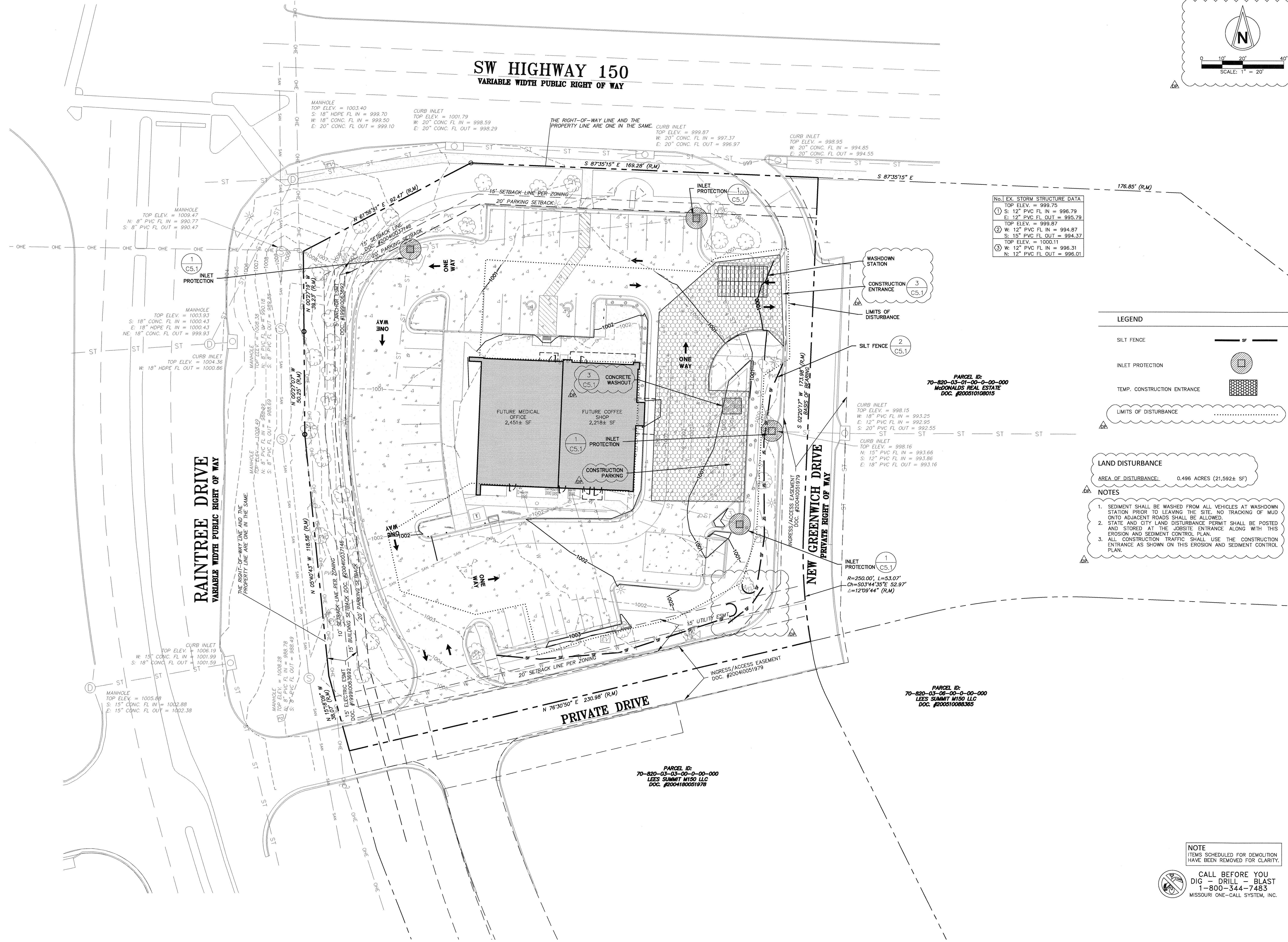
CASCO DIVERSIFIED CORPORATION
CERTIFICATE OF AUTHORITY
#000613 12/31/21

STATE OF MISSOURI
THOMAS E. BUERK III
NUMBER PE-2018000174
PROFESSIONAL ENGINEER
6/17/20

PROFESSIONAL OF RECORD
Buerk III, Thomas E.
License No. PE-2018000174
Expiration Date 12/31/20

Drawn By/Checked By: MEB/TEB
Project Number 320488
Permit Date 06-17-20

SITE DETAILS



No. EX. STORM STRUCTURE DATA	
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9	N: 12" PVC FL OUT = 996.01

LEGEND

SILT FENCE

INLET PROTECTION

TEMP. CONSTRUCTION ENTRANCE

LIMITS OF DISTURBANCE

LAND DISTURBANCE

AREA OF DISTURBANCE: 0.496 ACRES (21,592± SF)

NOTES

- SEDIMENT SHALL BE WASHED FROM ALL VEHICLES AT WASHDOWN STATION PRIOR TO LEAVING THE SITE. NO TRACKING OF MUD ONTO ADJACENT ROADS SHALL BE ALLOWED.
- STATE AND CITY LAND DISTURBANCE PERMIT SHALL BE POSTED AND STORED AT THE JOBSITE ENTRANCE ALONG WITH THIS EROSION AND SEDIMENT CONTROL PLAN.
- ALL CONSTRUCTION TRAFFIC SHALL USE THE CONSTRUCTION ENTRANCE AS SHOWN ON THIS EROSION AND SEDIMENT CONTROL PLAN.

CASCO CIVIL

A CASCO Diversified Corporation Company
12 Sunnen Drive, Suite 100, St. Louis, MO 63143 T: 314.821.1100

BUILDING RENOVATION

155 SW M-150 HIGHWAY

LEE'S SUMMIT, MO 64082

CONSTR. DOC. & REVISIONS

No.	Description	Date
DP	Development Plan Response	06-17-20

CASCO DIVERSIFIED CORPORATION
CERTIFICATE OF AUTHORITY
#000613 12/31/21

THOMAS E. BUERK III
PROFESSIONAL ENGINEER
NUMBER PE-201800174
6/17/20

PROFESSIONAL OF RECORD
Buerk III, Thomas E.
License No. PE-201800174
Expiration Date 12/31/20

Drawn By/Checked By: MEB/TEB

Project Number 320488

Permit Date 06-17-20

EROSION & SEDIMENT CONTROL PLAN

C5.0

NOTE

ITEMS SCHEDULED FOR DEMOLITION HAVE BEEN REMOVED FOR CLARITY.

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MISSOURI ONE-CALL SYSTEM, INC.

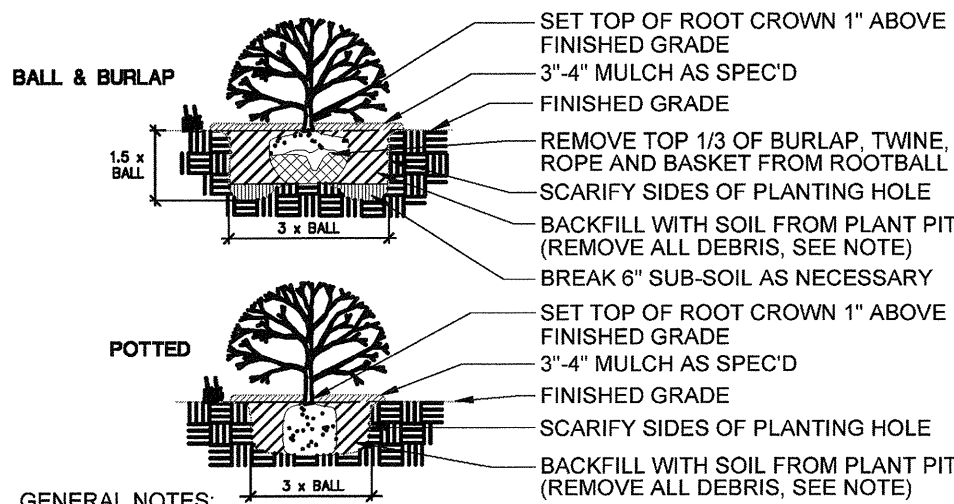
1 INLET PROTECTION DETAILS
C5.1 NO SCALE

1 INLET PROTECTION DETAILS
C5.1 NO SCALE

LOW USE IRRIGATION SYSTEM:

1. PROVIDE LAWN IRRIGATION SYSTEM CONSISTING OF MINI JETS, MISTERS, POP-UP RISERS, ADJUSTABLE BUBBLERS, ADJUSTABLE SPRAYERS, DRIPPER NOZZLES (EMITTERS), BACKFLOW PREVENTERS, AUTOMATIC CONTROL VALVES, TIMER, CONTROLLERS AND ALL RELATED ACCESSORIES FOR THE AREAS INDICATED ON THE DRAWINGS AND AS REQUIRED TO COMPLY WITH LOCAL CODES AND REGULATIONS.
2. LAWN IRRIGATION CONTRACTOR SHALL PAY ALL ONE-TIME FEES AND CHARGES RELATED TO THIS WORK, INCLUDING WATER SUPPLY AND METERING.
3. COORDINATE WITH THE WATER COMPANY AS REQUIRED FOR SERVICE ARRANGEMENTS.
4. LAWN IRRIGATION CONTRACTOR SHALL PROVIDE ALL WORK, INCLUDING ALL POWER AND CONTROL WIRING, TESTING, ADJUSTING, AND START-UP AS REQUIRED FOR A COMPLETE, PROPERLY FUNCTIONING SYSTEM.
5. AFTER ALL SPRINKLER HEADS AND PLANTINGS ARE INSTALLED, ADJUST SYSTEM FOR OPTIMUM COVERAGE AND COORDINATION WITH PLANTINGS. ADJUST ALL VALVES, ALIGNMENTS, AND COVERGE FOR OPTIMUM PERFORMANCE FOR FINAL APPROVAL BY THE OWNER'S REPRESENTATIVE.
6. LAWN IRRIGATION CONTRACTOR SHALL RECOMMEND AND SET THE PROGRAM ON THE CONTROLLER, PROVIDE THOROUGH, DETAILED OPERATING INSTRUCTIONS FOR THIS SPECIFIC SYSTEM, AND GIVE VERBAL OPERATING INSTRUCTIONS TO THE OWNER'S OPERATING PERSONNEL.
7. LAWN IRRIGATION CONTRACTOR SHALL PROVIDE LAYOUT AND SHOP DRAWINGS FOR APPROVAL BY STATE AND LOCAL BUILDING OFFICIALS AND/OR OTHER AGENCIES. LAWN IRRIGATION CONTRACTOR SHALL OBTAIN AND PAY FOR ALL NECESSARY PERMITS AND APPROVALS RELATED TO THIS WORK AND SUBMIT COPIES OF SAME FOR THE OWNER'S RECORDS.

PLANTING SCHEDULE					
TYPE	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	MISC. NOTES
SHRUBS	EUONYMUS ALATUS 'COMPACTUS'	DWARF BURNING BUSH	#5 CONT.	AS SHOWN	B&B ACCEPTABLE
	NANDINA DOMESTICA	HEAVENLY BAMBOO	#5 CONT.	AS SHOWN	B&B ACCEPTABLE
	SPIRAEA x BUMALDA 'ANTHONY WATERER'	RED SPIREA	#3 CONT.	AS SHOWN	B&B ACCEPTABLE
MULCH	DOUBLE SHREDDED BARK MULCH - FROM LOCAL SOURCES (FREE OF DELETERIOUS MATERIALS)				



- GENERAL NOTES:
1. PRUNE ROOTS IF BALL IS PLANTED AT SAME GROUND LEVEL.
 2. REMOVE ALL CONTAINERS AND NON-BIODEGRADABLE BURLAP.
 3. WHEN BACKFILLING PLANT PIT, PLACE PLANTING SOIL IN TWO LIFTS. AFTER FIRST LIFT, PUDDLE SOIL IN WITH WATER TO REMOVE ALL AIR POCKETS. PLACE SECOND LIFT AND REPEAT. CONTINUE TO PUDDLE AND FILL AS NECESSARY.

PLANTING DTL.: SHRUBS

L100 SCALE: N.T.S.

PLANTING SPECIFICATIONS AND GENERAL NOTES:

1. PLANTING BED PREPARATION: ALL MASS PLANTING BEDS SHALL BE TILLED TO A MINIMUM DEPTH OF 10". AMENDMENTS (LEAF MOLD OR SPHAGNUM PEAT MOSS) SHALL BE APPLIED DURING CULTIVATION. ALL BEDS ARE TO BE GRADED SMOOTH BEFORE PLANTING. PLANT GROUNDCOVER TO WITHIN 12" OF TREES OR SHRUBS. REMOVE ALL STONES LARGER THAN 2", ALL STICKS, ROOTS, RUBBISH AND ANY OTHER EXTRANEOUS MATERIALS.
2. BACKFILL SOIL: USE SOIL EXCAVATED FROM PLANTING HOLES AND PROVIDE AMENDMENTS (1 PART LEAF MOLD OR SPHAGNUM PEAT MOSS AND 3 PARTS EXCAVATED SOIL). ALL NEW TOPSOIL USED SHALL BE FREE OF WEEDS AND OTHER FOREIGN VEGETATION, AS WELL AS, STONES LARGER THAN 2", ALL STICKS, ROOTS, RUBBISH AND ANY OTHER EXTRANEOUS MATERIALS.
3. FERTILIZATION: ALL PLANT MATERIALS SHALL BE FERTILIZED UPON INSTALLATION WITH DRIED BONE MEAL OR OTHER SPECIFIED FERTILIZER MIXED IN WITH THE PLANTING SOIL PER THE MANUFACTURER'S INSTRUCTIONS. UNLESS NOTED OTHERWISE.
4. MULCH MATERIAL: CRUSHED VOLCANIC CINDERS - COLOR TO BE REDDISH BLACK BLEND. MULCH ALL PLANTINGS TO A 3'-4" DEPTH.
5. FERTILIZER: JUMP-SHOT ROOT STIMULATOR AS MANUFACTURED BY GORDON OR APPROVED EQUAL. SHALL BE APPLIED TO THE SOIL BACKFILL OF EACH PLANT DURING INSTALLATION.
6. ALL PLANT MATERIAL SHALL COMPLY WITH THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, AMERICAN ASSOCIATION OF NURSERYMEN.
7. LANDSCAPE CONTRACTOR SHALL GUARANTEE NEW PLANT MATERIALS THROUGH ONE CALENDAR YEAR FROM THE DATE OF OWNER ACCEPTANCE WITH ALL REPLACEMENTS TO BE PROVIDED AT NO ADDITIONAL COST TO THE OWNER.
8. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ON-GOING MAINTENANCE OF ALL NEWLY INSTALLED MATERIALS UNTIL TIME OF OWNER ACCEPTANCE. ANY ACTS OF VANDALISM OR DAMAGE WHICH MAY OCCUR PRIOR TO OWNER ACCEPTANCE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
9. WARRANTY FOR LANDSCAPE MATERIALS SHALL BEGIN ON THE DATE OF ACCEPTANCE BY THE OWNER'S REPRESENTATIVE AFTER THE COMPLETION OF PLANTING OF ALL LANDSCAPE MATERIALS. NO PARTIAL ACCEPTANCE WILL BE CONSIDERED. LANDSCAPE CONTRACTOR SHALL PROVIDE A WRITTEN REQUEST FOR THE OWNER'S ACCEPTANCE INSPECTION. REMOVE AND REPLACE DEAD PLANT MATERIAL (25% + DEAD) IMMEDIATELY UNLESS REQUIRED TO PLANT IN THE SUCCEEDING PLANTING SEASON. A LIMIT OF ONE REPLACEMENT OF EACH TREE AND SHRUB WILL BE REQUIRED, EXCEPT FOR LOSSES CAUSED BY CONTRACTOR'S ERRORS.
10. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEAN-UP OF SITE AT THE COMPLETION OF LANDSCAPE EACH DAY. AT ALL TIMES SHALL THE SIDEWALKS BE MAINTAINED CLEAN AND FREE OF DEBRIS. REMOVE SURPLUS SOIL AND WASTE MATERIAL, TRASH AND DEBRIS FROM THE SITE AND LEGALLY DISPOSE OF SAME IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL CODES AND REGULATIONS.
11. ALL PLANTS TO BE INSTALLED AS PER PLANTING DETAILS. PLANT MATERIALS ARE TO BE PLANTED IN THE SAME RELATIONSHIP TO GRADE AS WAS GROWN IN NURSERY CONDITIONS. IF WET, CLAY SOILS OR POOR DRAINING SOILS ARE EVIDENT, PLANT HIGHER. REMOVE ALL TWINE, WIRE AND BURLAP FROM TOP 1/3 OF ROOT BALL AND FROM TREE TRUNKS.
12. MULCHING AND WATERING OF ALL PLANTS & TREES SHALL BE IMMEDIATELY OR WITHIN 16 HOURS AFTER INSTALLATION.

PLANTING NOTES

L100 SCALE: N.T.S.

LANDSCAPE PLAN

1 L100 SCALE: 1/16" = 1'-0"

SPECIALTY NOTES

L100 SCALE: N.T.S.

LANDSCAPE MAINTENANCE NOTES:

CHECK ALL PLANTINGS FOR DISEASE OR INSECT PROBLEMS. APPLY APPROPRIATE CONTROL WHERE NECESSARY FOLLOWING ALL APPLICATION DIRECTIONS AND PRECAUTIONS.

REPLACE ALL PLANT MATERIALS WHICH APPEAR TO BE SICKLY, DAMAGED OR MISSHAPEN IN FORM.

FERTILIZE ALL BEDS WITH A 12:1 RATIO (ANALYSIS 5:10:5) AT A RATE OF 10-15 POUNDS PER 1000 SQUARE FEET. FERTILIZE ALL ESTABLISHED TURF AREAS AS WELL. DO NOT FERTILIZE NEWLY SEEDED TURF AREAS EXCEPT WITH A QUALITY STARTER FERTILIZER.

PATCH AND REPAIR ALL TURF AREAS WHERE REQUIRED WITH MATCHING SEED AND A STARTER FERTILIZER. APPLY BROAD-LEAF-WEED HERBICIDE TO ESTABLISHED TURF AREAS ONLY. FOLLOW HERBICIDE APPLICATION DIRECTIONS. DO NOT ALLOW HERBICIDE TO DRIFT ONTO SHRUB BEDS OR NEIGHBORING PLANTINGS. IF TURF DISEASES ARE PRESENT, APPLY FUNGICIDE. AERATE ALL TURF AREAS. REMOVE THATCH FROM ALL BERMUDA AND ZOYSIA AREAS.

LANDSCAPE SPECIALTY NOTES:

1. CONVERSION OF ALL ASPHALT AND GRAVEL AREAS TO LANDSCAPE SHALL BE DONE IN THE FOLLOWING MANNER:

A. REMOVE ALL ASPHALT, GRAVEL AND COMPACTED EARTH TO A DEPTH OF 24"-30" DEPENDING ON THE DEPTH OF SUB BASE AND DISPOSE OF OFF SITE.

B. REPLACE EXCAVATED MATERIAL W/ GOOD, MEDIUM TEXTURED PLANTING SOIL (LOAM OR LIGHT YELLOW CLAY) TO A MIN. OF 2" ABOVE TOP OF CURB AND SIDEWALK. ADD 4"-6" OF TOPSOIL AND CROWN TO A MIN. OF 6" ABOVE ADJACENT CURB AND WALK AFTER EARTH SETTLING, UNLESS NOTED OTHERWISE ON THE PLANS.

C. IF CONVERSION TO LANDSCAPE OCCURS IN AN EXISTING (OR BETWEEN) LANDSCAPE AREAS, REPLACE EXCAVATED MATERIAL TO 4"-6" BELOW ADJACENT EXISTING GRADE W/ GOOD MEDIUM TEXTURED PLANTING SOIL (LOAM OR LIGHT YELLOW CLAY) AND ADD 4"-6" OF TOPSOIL TO MEET EXISTING GRADES AFTER EARTH SETTLING.

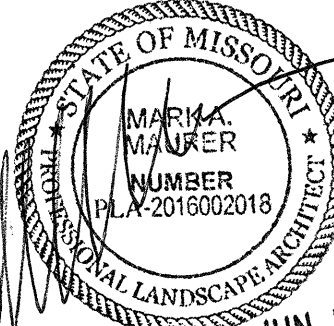
CALL 811 BEFORE YOU DIG

CONTRACTOR TO HAVE ALL UTILITIES LOCATED AND MARKED BEFORE ANY WORK ON SITE SHALL COMMENCE. MISSOURI ONE CALL: (811)

CONSTR. DOC. & REVISIONS

No.	Description	Date
1	Owner Review	05/12/20
2	Owner Review	06/04/20

CASCO DIVERSIFIED CORPORATION
ARCHITECTURAL
CERTIFICATE OF AUTHORITY
#000329 12/31/21



PROFESSIONAL OF RECORD

Mark A. Maurer
License #PLA-2016002018
Exp. Date: 12/31/20

Drawn By/Checked By: MAM/MSD

Project Number 320488

Permit Date 06-17-20

LANDSCAPE PLAN

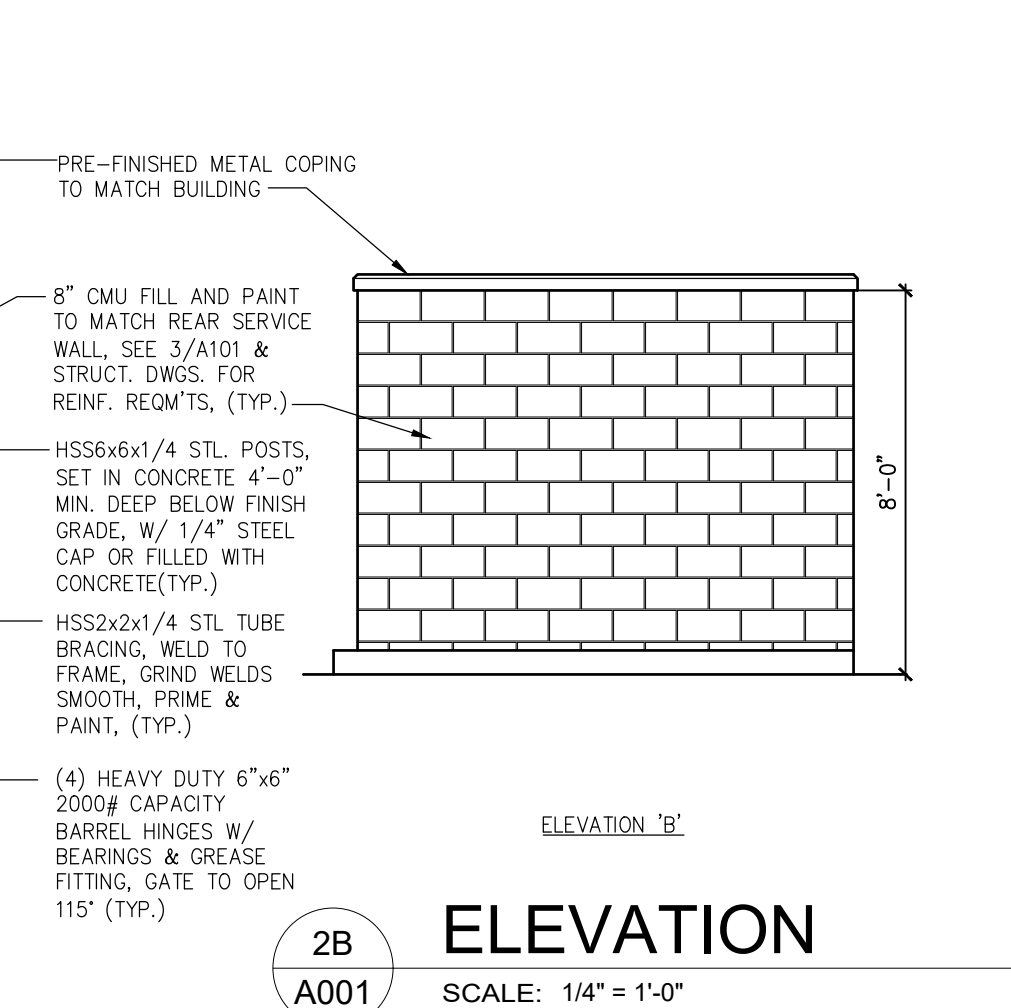
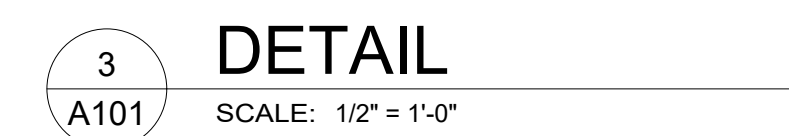
L100

Starbucks & Medical Office

155 S.W. MO-150 HWY
LEE'S SUMMIT, MO 64802


MIDLAND
GENERAL CONTRACTORS INCORPORATED

CASCO
12 Sumner Drive, Suite 100, St. Louis, MO 63143 P 314.621.1100



CASCO

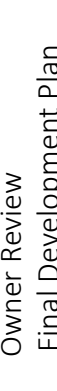
12 Sumner Drive, Suite 100, St. Louis, MO 63143
T: 314-821-1110



MIDLAND
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Starbucks & Medical Office

155 S.W. MO-150 HWY
LEE'S SUMMIT, MO 64802



CONSTR. DOC. & REVISIONS		Date
No.	Description	Date
	Owner Review	05/12/20
	Final Development Plan	05/27/20
	Owner Review 2	06/04/20
DP	DEVELOPMENT PLAN RESPONSE	06/17/20

CASCO DIVERSIFIED CORPORATION
ARCHITECTURAL
CERTIFICATE OF AUTHORITY
#000329 12/31/21

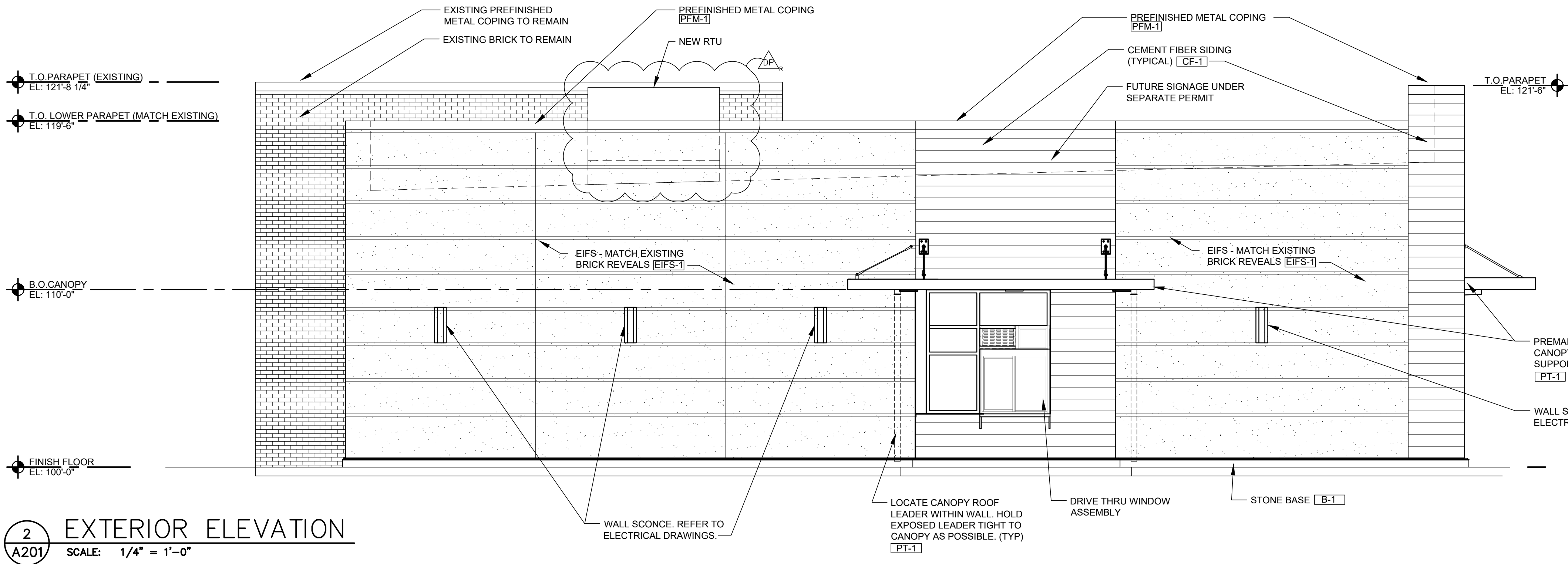
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Project Number 320488

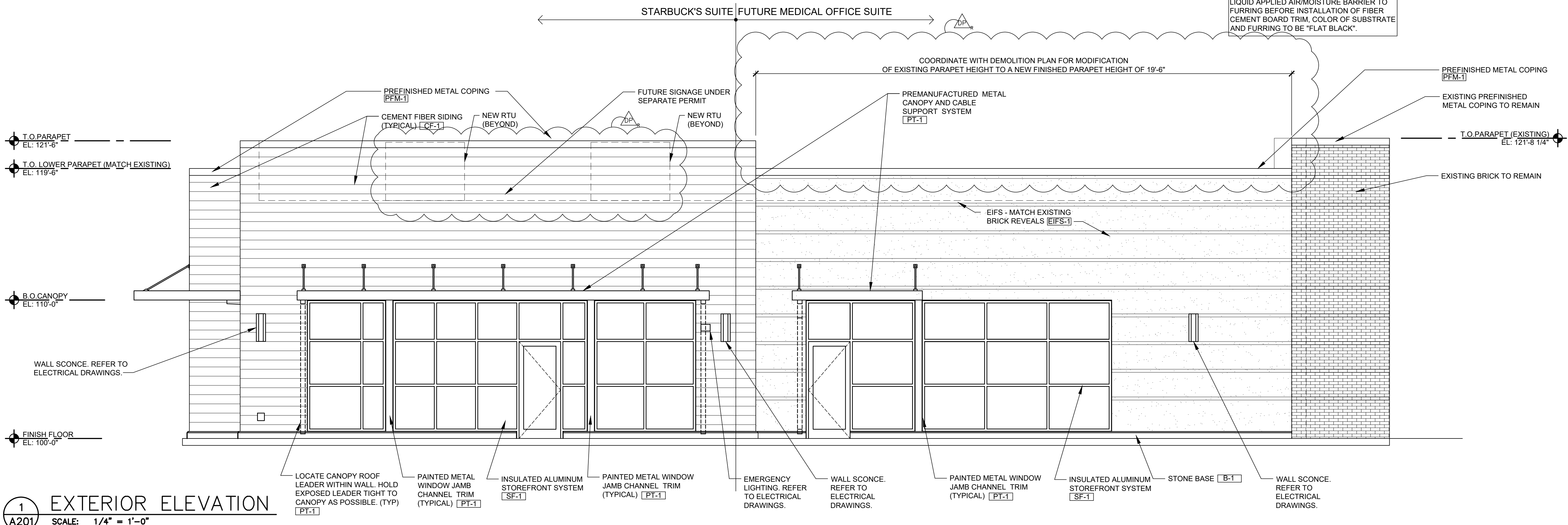
Permit Date 06-17-20

ARCHITECTURAL SITE PLAN

A001



2 EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



1 EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

Material Legend			
Precast base: B-1	Manf:	Color: Match Cement fiber finish CF-1	Description: Base
Cement fiber siding: CF-1	Manf: Nichiha	Color: Siding: Composite wall panel Vintagewood - Redwood	Description: Front and (Street) End Wall Refer To Notes
E.I.F.S.: EIFS-1	Manf: StoCorp	Color: StoTherm Essence - Sto 32121 48 - C2 Standard Medium Finish	Description: Main Field
Paint: PT-1 PT-2	Manf: Sherwin Williams Sherwin Williams	Color: Black Galv. Metal Painted Match Adjacent finish	Description: Canopy Curb and H.M. Door
Metal: PFM-1	Manf: Metal Era	Color: Match Existing	Description: Prefinished For Metal Coping
Storefront: SF-1	Manf: Kawneer	Color: Kawneer #29 Black Anodized	Description: Storefront Framing
Aluminum Soffit system: SF-1	Manf: Armstrong	Color: Armstrong "Metal Works" linear 7160 Color - Flat Black	Description: Canopy soffit panels
Material Notes: Install per manufacturers instruction and recommendations. Use manufacturer certified installer. Provide all trim and accessories as required to provide a complete installation.			

CASCO

12 Summit Drive, Suite 100, St. Louis, MO 63143 T: 314.921.1100

MIDLAND

CENTRAL CONTRACTING INCORPORATED

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LEE'S SUMMIT, MO 64802

CONSTR. DOC. & REVISIONS

No.	Description	Date
05/12/20	Owner Review	05/12/20
05/27/20	Final Development Plan	05/27/20
06/04/20	Owner Review 2	06/04/20
06/17/20	DEVELOPMENT PLAN RESPONSE	06/17/20
DP		

CASCO DIVERSIFIED CORPORATION

ARCHITECTURAL

CERTIFICATE OF AUTHORITY

#000329 12/31/21

STATE OF MISSOURI

KEYMA L. BULLOCK

NUMBER A-200401#669

ARCHITECT

PROFESSIONAL OF RECORD

BULLOCK, KEYMA L.

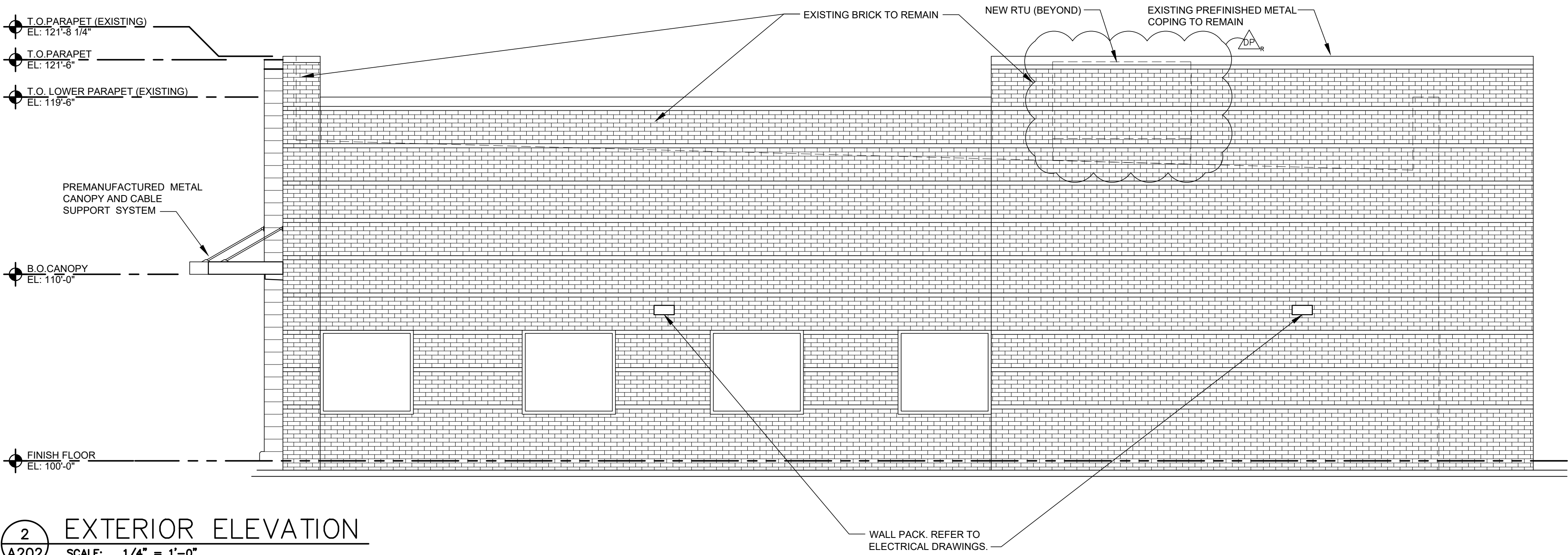
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Permit Date 06-17-20



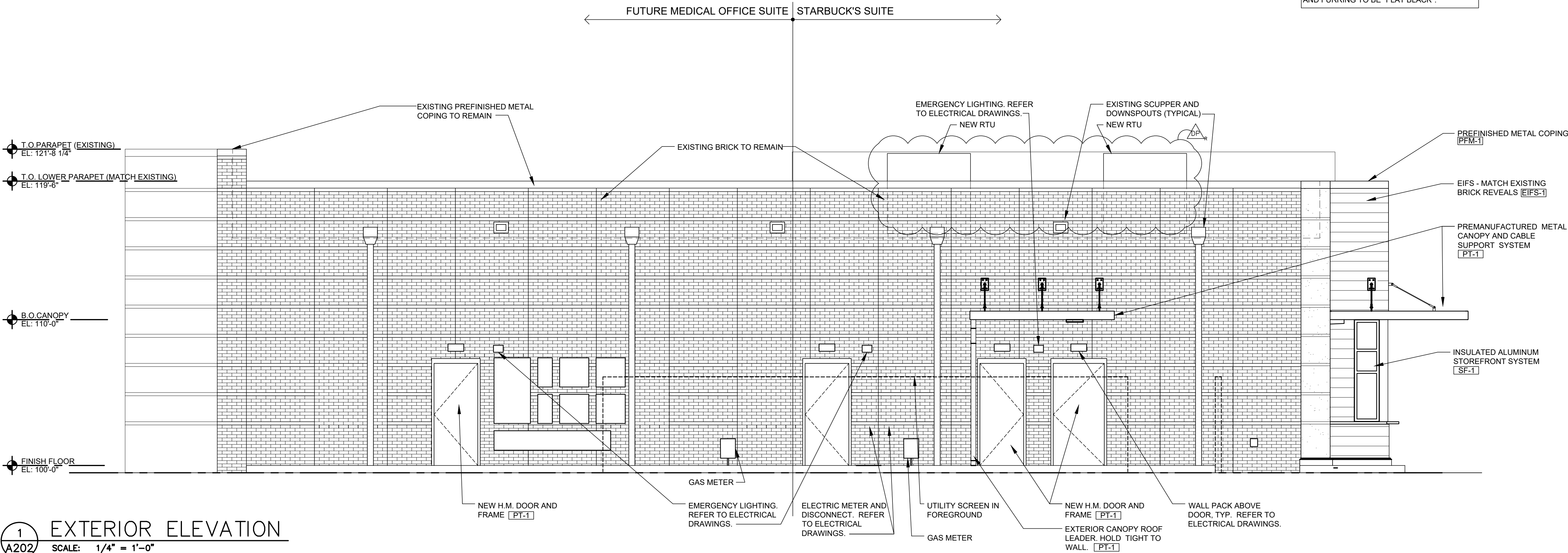
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A202

EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0"

Material Legend			
Precast base: B-1	Manf. 	Color: Match Cement fiber finish CF-1	Description: Base
Cement fiber siding: CF-1	Manf. Nichiha	Color: Siding: Composite wall panel Vintagewood - Redwood	Description: Front and (Street) End Wall Refer To Notes
E.I.F.S.: EIFS-1	Manf. StoCorp	Color: StoTherm Essence - Sto 32121 48 - C2 Standard Medium Finish	Description: Main Field
Paint: PT-1 PT-2	Manf. Sherwin Williams Williams Williams	Color: Black Galv. Metal Painted Match Adjacent finish	Description: Canopy Curb and H.M. Door
Metal: PFM-1	Manf. Metal Era	Color: Match Existing	Description: Prefinished For Metal Coping
Storefront: SF-1	Manf. Kawneer	Color: Kawneer #29 Black Anodized	Description: Storefront Framing
Aluminum Soffit system: SF-1	Manf. Armstrong	Color: Armstrong "Metal Works" linear 7160 Color - Flat Black	Description: Canopy soffit panels
Material Notes: Install per manufacturers instruction and recommendations. Use manufacturer certified installer. Provide all trim and accessories as required to provide a complete installation.			

NOTE:
AT FIBER CEMENT BOARD, APPLY LIQUID APPLIED AIR/MOISTURE BARRIER TO EXTERIOR SHEATHING BEFORE INSTALLATION OF METAL FURRING. APPLY LIQUID APPLIED AIR/MOISTURE BARRIER TO FURRING BEFORE INSTALLATION OF FIBER CEMENT BOARD TRIM. COLOR OF SUBSTRATE AND FURRING TO BE "FLAT BLACK".



1
A202

EXTERIOR ELEVATION

SCALE: 1/4" = 1'-0"

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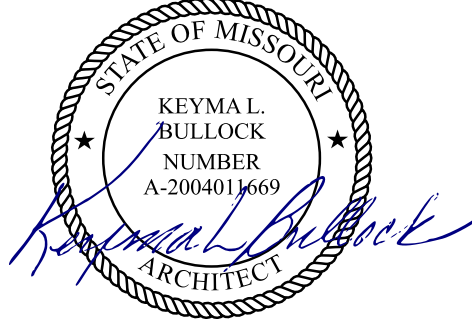
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LEE'S SUMMIT, MO 64802

CONSTR. DOC. & REVISIONS

No.	Description	Date
1	Owner Review	05/12/20
2	Final Development Plan	05/17/20
3	Owner Review 2	06/04/20
4	DEVELOPMENT PLAN RESPONSE	06/17/20
5	DP	

CASCO DIVERSIFIED CORPORATION
ARCHITECTURAL
CERTIFICATE OF AUTHORITY
#000329 12/31/21



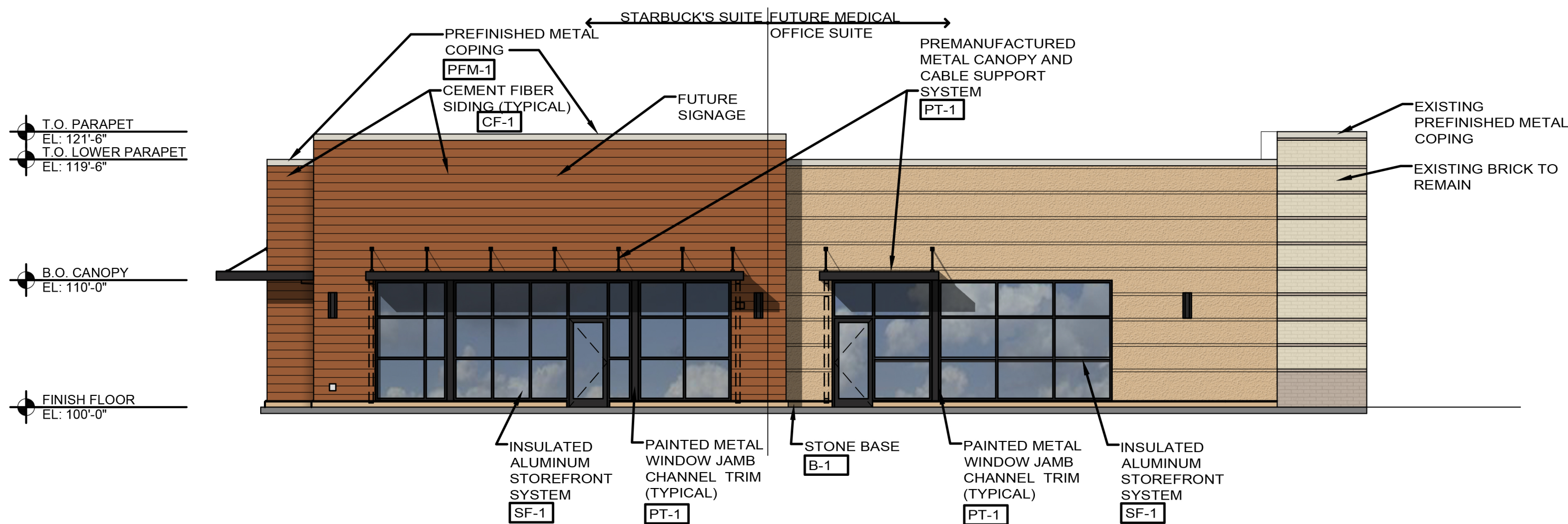
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BULLOCK, KEYMA L.
License NO. 2004011669
Expiration Date 12/31/20

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Project Number 320488

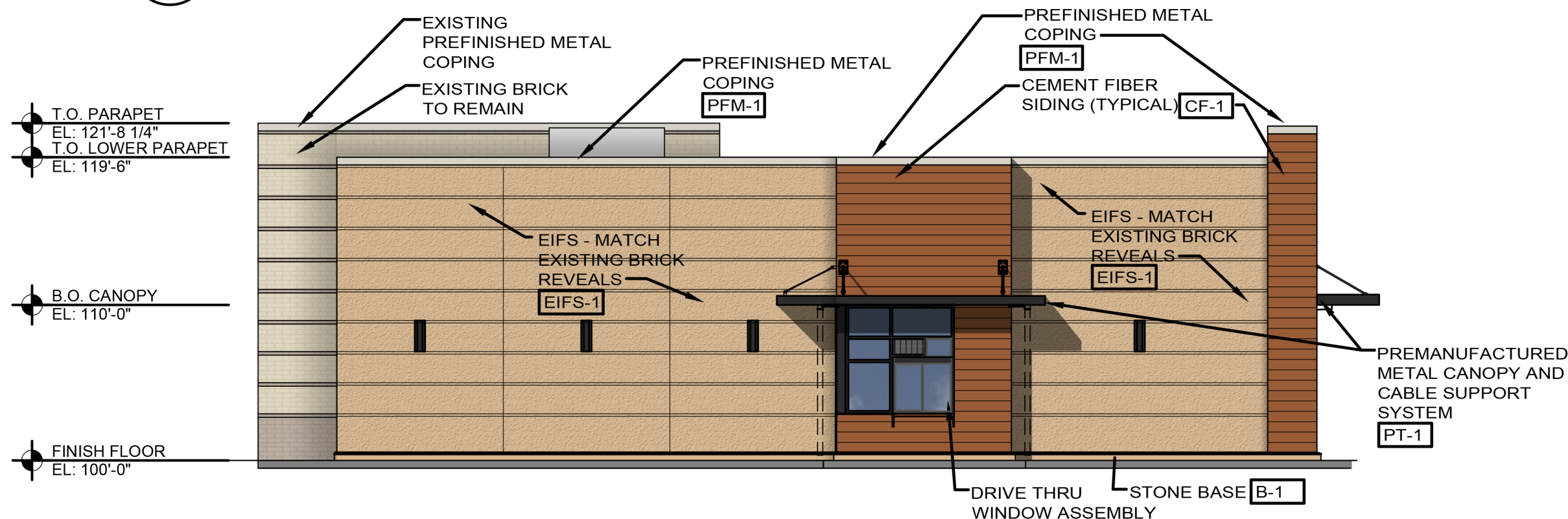
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EXTERIOR
ELEVATIONS

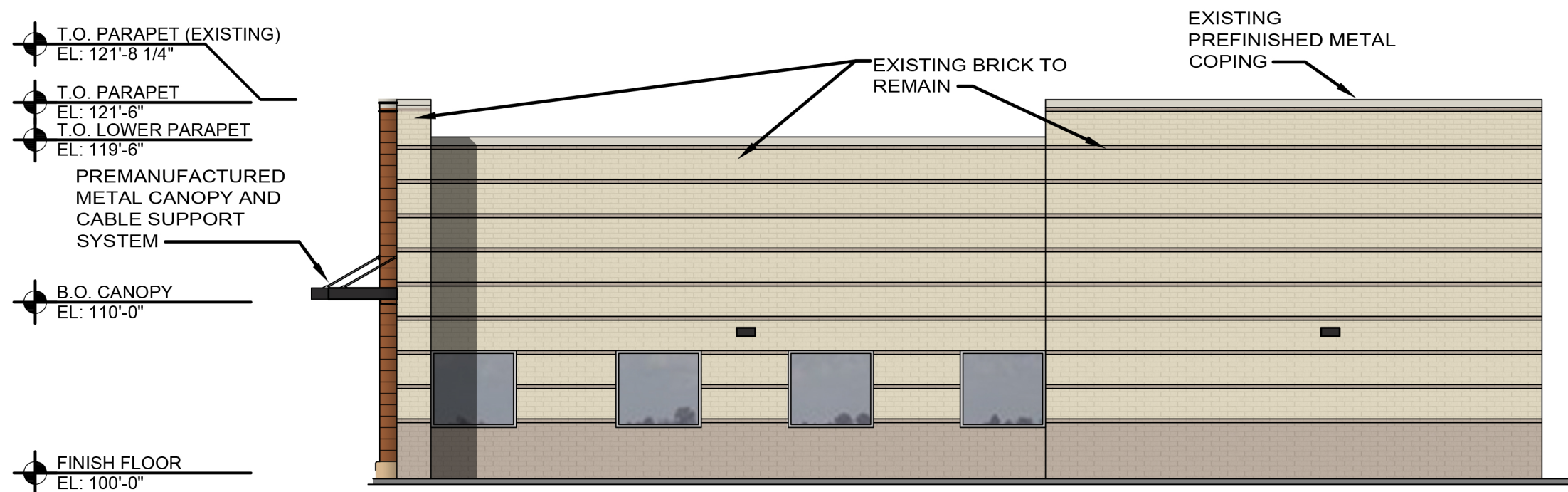
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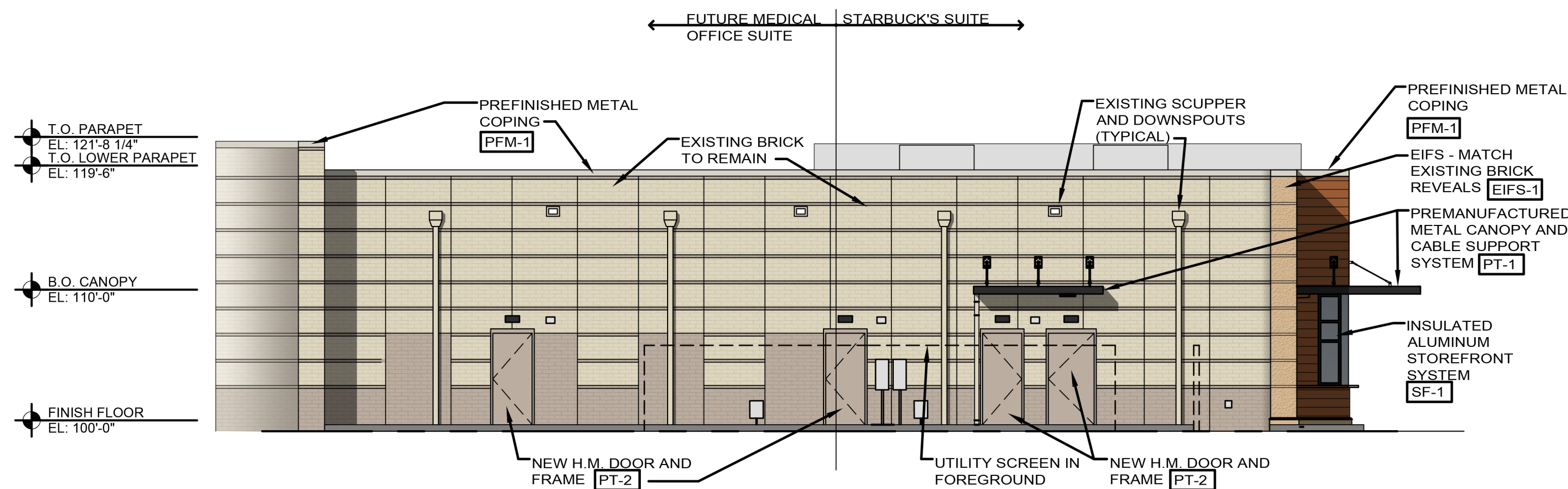
EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"



EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"

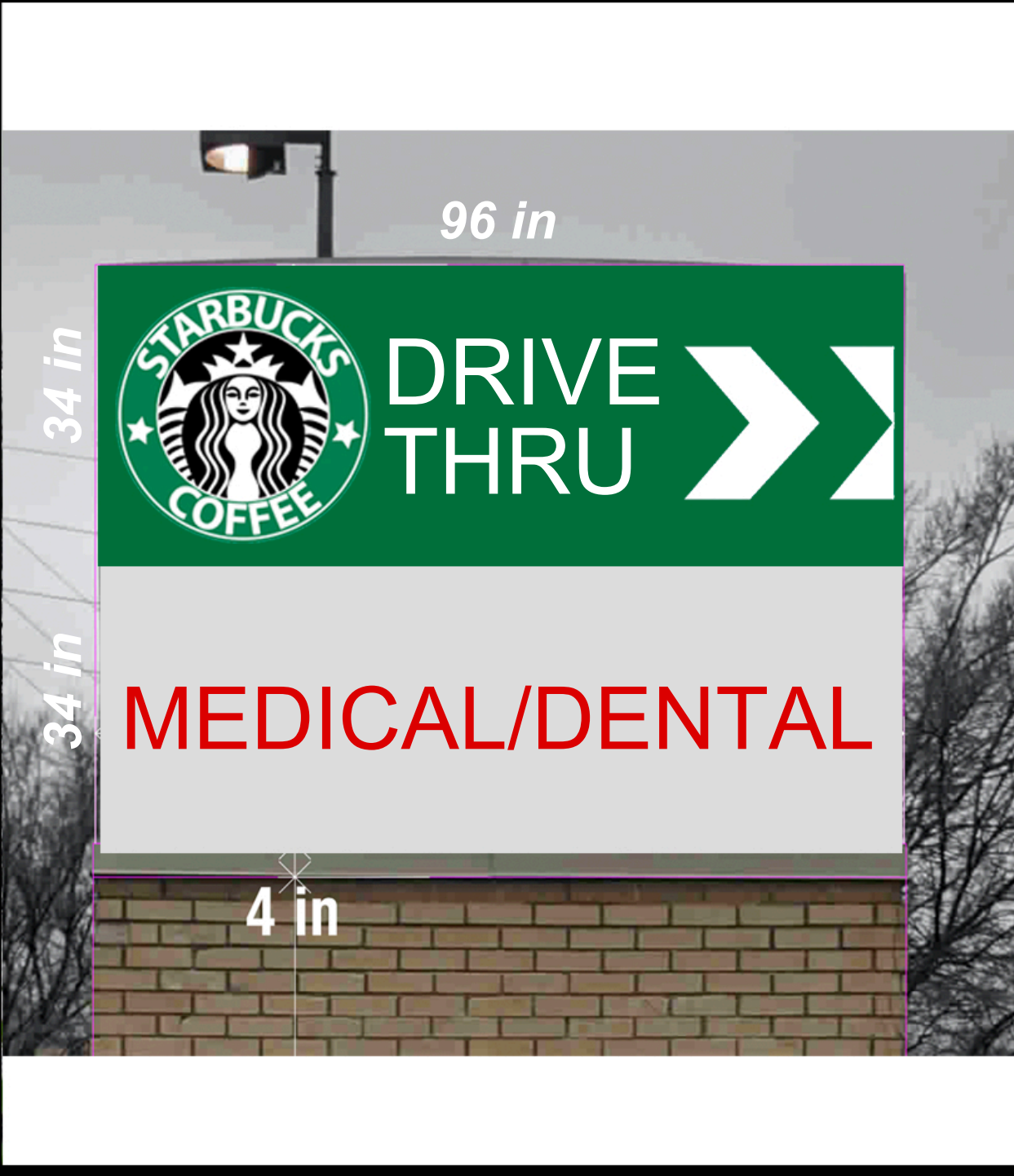
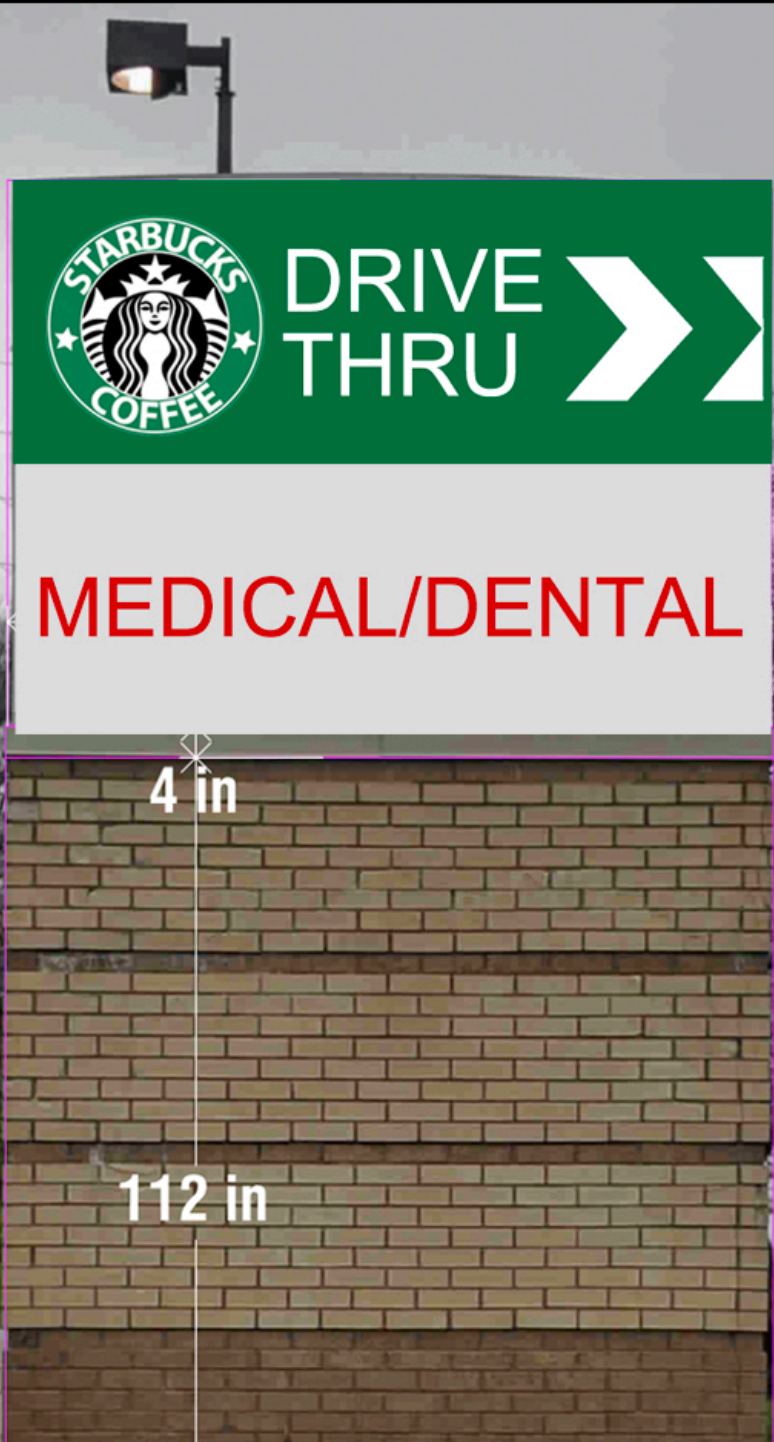


EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"



EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"

Material Legend			
Precast base: B-1	Manf.	Color: Match Cement fiber finish CF-1	Description: Base
Cement fiber siding: CF-1	Manf. Allura	Color: Siding: Allura 8" trim- 4/4 textured fiber cement board trim (8"x12") (Wood grain exposed) Stain: Two coats of exterior stain over exterior faux glazing. (see notes below)	Description: Front and (Street) End Wall Refer To Notes
E.I.F.S.: EIFS-1	Manf. StoCorp	Color: StoTherm Essence - Sto 32121 48 - C2 Standard Medium Finish	Description: Main Field
Paint: PT-1 PT-2	Manf. Sherwin Williams Williams Williams	Color: Black Galv. Metal Painted Match Adjacent finish	Description: Canopy Curb and H.M. Door
Metal: PFM-1	Manf. Metal Era	Color: Match Existing	Description: Prefinished For Metal Coping
Storefront: SF-1	Manf. Kawneer	Color: Kawneer #29 Black Anodized	Description: Storefront Framing
Aluminum Soffit system: SF-1	Manf. Armstrong	Color: Armstrong "Metal Works" linear 7160 Color - Flat Black	Description: Canopy soffit panels
Material Notes: Install per manufacturers instruction and recommendations. Use manufacturer certified installer. Provide all trim and accessories as required to provide a complete installation. <ul style="list-style-type: none">- Fill screw holes in fiber cement board trim with wood putty. Wood putty to be color matched to fiber cement. Wipe off excess putty with a damp rag before it hardens. At vertical siding: <ul style="list-style-type: none">- Apply exterior faux glazing over the entire surface.- Apply first coat of exterior Behr stain "Behr Chocolate" with a brush.- Apply stain one board at a time and brush strokes to run with the grain.- Apply a second coat of exterior Behr stain "Bear Valise" the same way as the first. At horizontal siding: <ul style="list-style-type: none">- Paint per manufacturers recommendations.			





Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Property Line	+	0.0 fc	0.3 fc	0.0 fc	N/A	N/A
SITE	+	2.1 fc	12.2 fc	0.2 fc	61.0:1	10.5:1
Calculation	+					

Schedule											
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
	A	5	Lithonia Lighting	DSX0 LED P6 40K BLC	DSX0 LED P6 40K BLC MVOLT	LED	1	DSX0_LED_P6_40K_BLC_MVOLT (1).ies	13089	1	134
	B	6	Lithonia Lighting	DSXW1 LED 20C 350 30K T2M MVOLT	DSXW1 LED WITH (2) 10 LED LIGHT ENGINES, TYPE T2M OPTIC, 3000K, @ 350mA.	LED	1	DSXW1_LED_20C_350_30K_T2M_MVOLT.ies	2688	1	23.3
	C	7	Lithonia Lighting	OLLWU LED P1 40K 120 DDB	OUTDOOR LED WALL CYLINDER UP & DOWN LIGHT	LED	1	OLLWU_LED_P1_40K_120_DDB.ies	1086	1	13.8
	D	5	COOPER LIGHTING SOLUTIONS - BRAND (FORMERLY EATON)	LD6810D010 EU6810208030 6LBWMW1	PORTFOLIO 6 INCH 60 DEGREE CUTOFF RECESSED DOWNLIGHT WIDE DISTRIBUTION WITH MATTE WHITE TRIM WATTAGE D010TR-10.05 W D010-10.58 W DSLT-10.2 W DMX-10.6 W DL2-11.8 W DL3-11.1 W DLE-11.39 W	HIGH LUMEN LED ABSOLUTE PHOTOMETRY IS BASED ON CALIBRATION FACTORS CREATED USING LAB LUMEN STANDARDS IN GONIOPHOTOMETER WITH TEST DISTANCE OF 28.75 FEET	1	LD6810D010 EU6810208030 6LBWMW1.ies	1004	1	9.9

Plan View
Scale - 1" = 20'