



Firestone

COMPLETE AUTO CARE™

3561 SW MARKET STREET
JACKSON COUNTY
LEE'S SUMMIT, MISSOURI

OWNER / DEVELOPER

FS LEE'S SUMMIT, LLC
9010 Overlook Boulevard
Brentwood, Tennessee 37027
Owner Contact: Jason Horowitz
Email: jhorowitz@gbtrealty.com
Phone: (615) 370-0670

CIVIL ENGINEER



222 Second Avenue South, Suite 1400
Nashville, TN 37201

Civil Contact: JP Michael, E.I.
Phone: (615) 770-8175
Email: jp.michael@greshamsmith.com

SURVEYOR

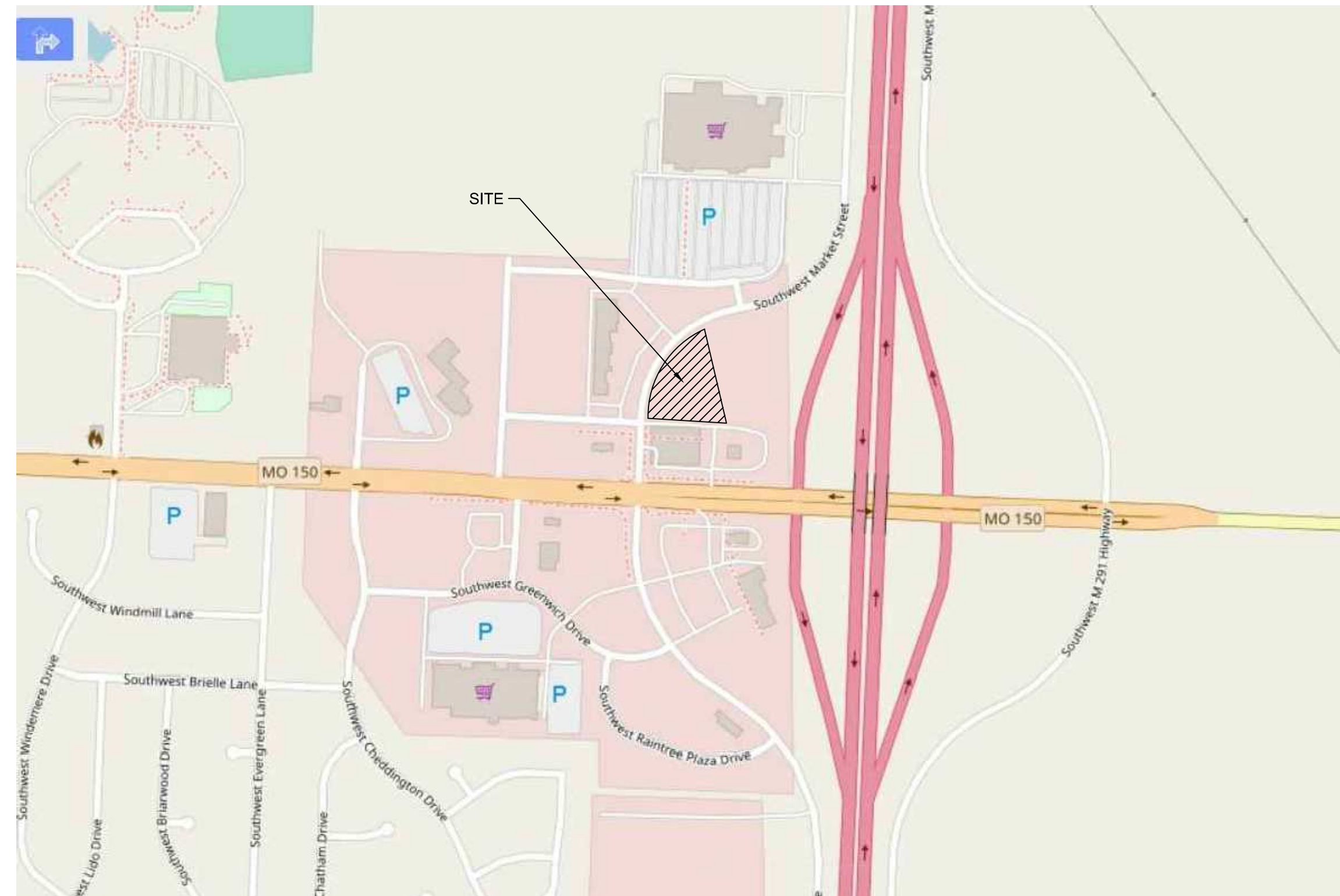
CORNERSTONE REGIONAL
SURVEYING, LLC

Contact: William A. Booe
1921 North Penn
Independence, KS 67301
Phone: (620) 331-6767

ARCHITECT

SGA DESIGN GROUP

1437 South Boulder Ave., Suite 550
Tulsa, OK 74119
Contact: Olivia Good, AIA, LEED A.P.
Phone: (918) 587-8602 Ext. 341



VICINITY MAP

NOT TO SCALE

SHEET INDEX	
NO.	TITLE
C000	COVER SHEET
C001	GENERAL NOTES
--	EXISTING CONDITIONS PLAN
C101	DEMOLITION PLAN
C200	SITE LAYOUT PLAN
C201	CONCEPTUAL PLAN
C300	GRADING AND DRAINAGE PLAN
C301	ON-SITE STORM LINE PROFILE
C400	EROSION CONTROL AND PREVENTION PLAN
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C501	OFFSITE WATER LINE PLAN
C502	ON-SITE WATER LINE PROFILE
C503	PUBLIC WATER LINE PLAN AND PROFILE
C900	SITE DETAILS
C901	SITE DETAILS
C902	SITE DETAILS
C903	SITE DETAILS
C904	CITY OF LEE'S SUMMIT STANDARD DETAILS
L200	LANDSCAPE PLAN
CONTACT LIST	

PLANNING AND ZONING
DEVELOPMENT SERVICES
220 SE GREEN ST
LEE'S SUMMIT, MO 64063
CONTACT: MIKE WEISENBORN
PHONE: (816) 969-1240

STORMWATER AND WATER
LEE'S SUMMIT ENGINEERING
220 SE GREEN ST
LEE'S SUMMIT, MO 64063
CONTACT: GENE WILLIAMS
PHONE: (816) 969-1223

SEWER
LEE'S SUMMIT PUBLIC WORKS
220 SE GREEN ST
LEE'S SUMMIT, MO 64063
CONTACT: MIKE WEISENBORN
PHONE: (816) 969-1900

NATURAL GAS
SPIRE
3025 SW CLOVER DR
LEE'S SUMMIT, MO 64082
CONTACT: BOBBIE SAULSBERRY
PHONE: (816) 519-6909

**BUILDING
DEVELOPMENT SERVICES
220 SE GREEN ST
LEE'S SUMMIT, MO 64063
CONTACT: MIKE WEISENBORN
PHONE: (816) 969-1240**

FIRE PREVENTION
CITY FIRE MARSHAL
207 SE DOUGLAS
LEE'S SUMMIT, MO 64063
CONTACT: MICHAEL SNIDER
PHONE: (816) 969-1300

ELECTRIC
EVERGY
10058 RAYTOWN ROAD
KANSAS CITY, MO 6413
CONTACT: PHIL INGRAM
PHONE: (816) 347-4339

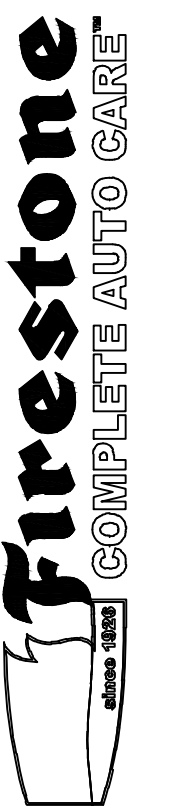


**Gresham
Smith**

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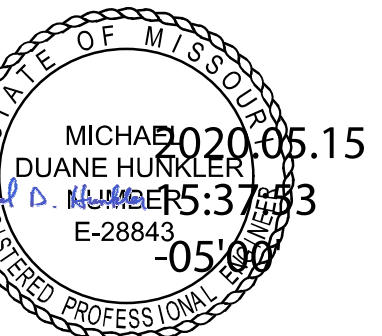
222 Second Avenue South
Suite 1400
Nashville, TN 37201

615.770.8100



3501 SW MARKET STREET
LEE'S SUMMIT, MISSOURI 64082

ONED ON THE EXPRESS CONDITION THAT IT IS NOT TO BE USED IN ANY WAY
DELETTERIOUS TO THE INTERESTS OF BRIDGESTONE RETAIL OPERATIONS, LLC. THE
ACCEPTANCE OF THIS DRAWING WILL BE CONSTRUED AS AN ACCEPTANCE OF THE
FOREGOING CONDITION AND AS ADMISSION TO THE EXCLUSIVE OWNERSHIP IN AND TO
THE DRAWING BY BRIDGESTONE RETAIL OPERATIONS, LLC.

[illegible]

COVER SHEET

C000

40831.45
JANUARY 8, 2020

Items Corresponding to Schedule B

- (8) -Terms, provisions and easement contained in the Grading Consent and Temporary Construction Easement Agreement, recorded April 6, 1998 as Document No. 98-1-23424 in Book 1-3171 at Page 1069, by and between QuikTrip Corporation, an Oklahoma corporation and E.L. Robinson, Jr. and Letha M. Robinson, Trustees for Trust dated September 22, 1988, for the benefit of the lands in question.
TEMPORARY EASEMENT IS NO LONGER IN AFFECT.
- (9) -Terms, provisions and easements contained in the Storm Sewer Easement Agreement, recorded April 8, 1998 as Document No. 98-1-23425 in Book 1-3171 at Page 1076, by and between QuikTrip Corporation, an Oklahoma corporation and E.L. Robinson, Jr. and Letha M. Robinson, Trustees for Trust dated September 22, 1988, benefiting the lands in question.
PLOTTED AND SHOWN.
- (10) -Rights of way, easements granted and appurtenances pertaining to the State of Missouri, acting by and through the Missouri highway and Transportation Commission, described by instrument recorded May 10, 1999 as Document No. 1999 1 0038039.
PLOTTED AND SHOWN.
- (11) -An easement granted to the City of Lee's Summit, a municipal corporation, described by instrument recorded march 23, 2001 as Document No. 2001 1 0018921.
PLOTTED AND SHOWN.
- (12) -Terms, provisions, easements and boundaries imposed, including but not limited to the limitations of direct access, of the Quitclaim Deed granted to the City of Lee's Summit, a municipal corporation, recorded October 31 2008 as Document No. 2008E0114649.
PLOTTED AND SHOWN.
- (13) -Amended, 111119;
Terms and provisions of the Declaration of Restrictions recorded June 26, 2014 as Document No. 2014E0051570, and the First Amendment to Declaration of Restrictions, but omitting any covenants or restrictions, if any, including but not limited to those based upon race, color, religion, sex, sexual orientation, familial status, marital status, disability, handicap, national origin, ancestry, source of income, gender, gender identity, gender expression, medical condition or genetic information, as set forth in applicable state or federal laws, except to the extent that said covenant or restriction is permitted by applicable law.
AFFECTS SUBJECT PROPERTY, BLANKET IN NATURE, NOT PLOTTABLE
- (14) -The effect of the Scrivener's Affidavit recorded March 23, 2016 as Document No. 2016E0025038.
DOES NOT AFFECT SUBJECT PROPERTY.
- (15) -An easement for sanitary sewers granted to Lee's Summit, described by instrument recorded April 25, 2016 as Document No. 2016E0035549.
PLOTTED AND SHOWN.
- (16) -The surviving easements and conditions of the instrument captioned Temporary Construction Easement granted to the QuikTrip Corporation, an Oklahoma corporation, described by instrument recorded May 11, 2017 as Document No. 2017E0042035.
DOES NOT AFFECT SUBJECT PROPERTY.
- (20) -Added, 111119;
An easement granted to The City of Lee's Summit, Missouri, described by instrument recorded May 23, 1975 as Document No. 1-211265 in Book 1-596 at Page 173.
DOES NOT AFFECT SUBJECT PROPERTY.
- (21) -Added, 111119;
An easement granted to the City of Lee's Summit, Missouri, described by instrument recorded April 25, 2016 as Document No. 2016E0035549.
SAME AS ITEM NO. 15, PLOTTED AND SHOWN AS NO. 15.
- (22) -Added, 111119;
Terms and provisions of the Declaration of Use Restrictions, recorded December 9, 2016 as Document No. 2016E0116521, but omitting any covenants or restrictions, if any, including but not limited to those based upon race, color, religion, sex, sexual orientation, familial status, marital status, disability, handicap, national origin, ancestry, source of income, gender, gender identity, gender expression, medical condition or genetic information, as set forth in applicable state or federal laws, except to the extent that said covenant or restriction is permitted by applicable law.
AFFECTS SUBJECT PROPERTY, BLANKET IN NATURE, NOT PLOTTABLE

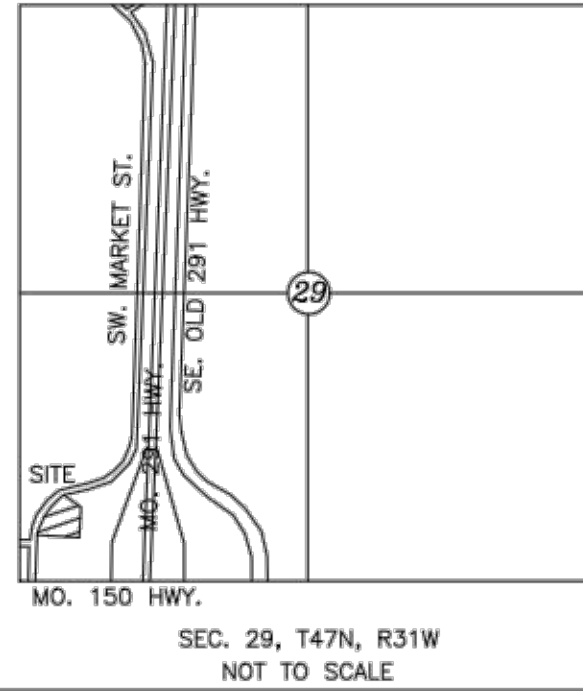
Possible Encroachments

NONE

Flood Note

This property is in no Special Flood Hazard Zone according to Flood Insurance Rate Map, Community Number 200590 0002 A, effective date October 25, 1977.

Vicinity Map



SCALE : 1" = 40'

Commitment Legal Description

FIDELTY NATIONAL TITLE COMMITMENT NO. 191439 REVISION 111119, DATED NOVEMBER 1, 2019 AT 12:00 P.M. A portion of land lying and situated in the Southwest Quarter of Section 29, Township 47 North, Range 31 West of Fifth Principal Meridian, in Lee's Summit, Jackson County, Missouri, being part of a parcel of land described in Book 1-1847 at Page 2008, said parcel lying Southeastery of Market Street, Westerly of the West Right-of-Way line of Missouri Highway 291, North of QUIKTRIP 200R, a subdivision of land and Northerly of QUIKTRIP 200R LOT 1A, a subdivision of land.

AS-SURVEYED DESCRIPTION:
Written by William A. Booe, RLS 2002010970, October 23, 2019
A tract of land located in a portion of the Southwest Quarter of Section 29, Township 47 North, Range 31 West of the 5th Principal Meridian, Lee's Summit, Jackson County, Missouri, and being more particularly described as follows:
BEGINNING at the Northwest corner of Lot 1A, Minor Plat of Quiktrip 200R Lot 1A;
Thence along a curve to the right and the Southeasterly right of way of Market Street, having a radius of 459.32 feet, a length of 320.00 feet and a chord bearing and distance of N 33°05'03" E, 313.57 feet;
Thence S 54°19'08" E a distance of 136.50 feet;
Thence S 02°26'15" W a distance of 195.00 feet to the North line of said Lot 1A;
Thence N 87°33'03" W along said North line a distance of 274.00 feet to the point of beginning, containing 1.237 acres.

Miscellaneous Notes

- (A) The bearings shown hereon are based upon the Missouri State Plane Coordinate System, station no JA-137, N. 974542.6936 E. 2824145.0197, ELEV. 993.438 (NAVD 88), located about 7 miles South of the intersection of Hwy. 150 and Hwy. 291.
- (B) This survey does not reflect any easements, rights-of-way or other instruments of record except those shown on the current mentioned Title Commitment.
- (C) Underground utilities are shown per One call ticket 193242567, dated 11-20-2019.
- (D) At the date this survey was done in the field, earth moving, asphalt paving, concrete work and construction was not complete.
- (E) There is no evidence of subject site being used as a solid waste dump or sanitary land fill.
- (F) There is no evidence of subject site being used as a burial ground or cemetery.
- (G) This survey meets the accuracy requirements for "Urban" property as defined by the Missouri Minimum Standards. Closure 1 in 615041.

ALTA/NSPS Land Title Survey

To:

GBT Realty
Franklin Land Associates, LLC

This is to certify that this map or plot and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 5, 6(b), 7(a), 7(b)(1), 8, 9, 11(b), 13, 14, 16, 17 and 18 of Table A thereof. The field work was completed in October 22, 2019.

William A. Booe, RLS 2002010970

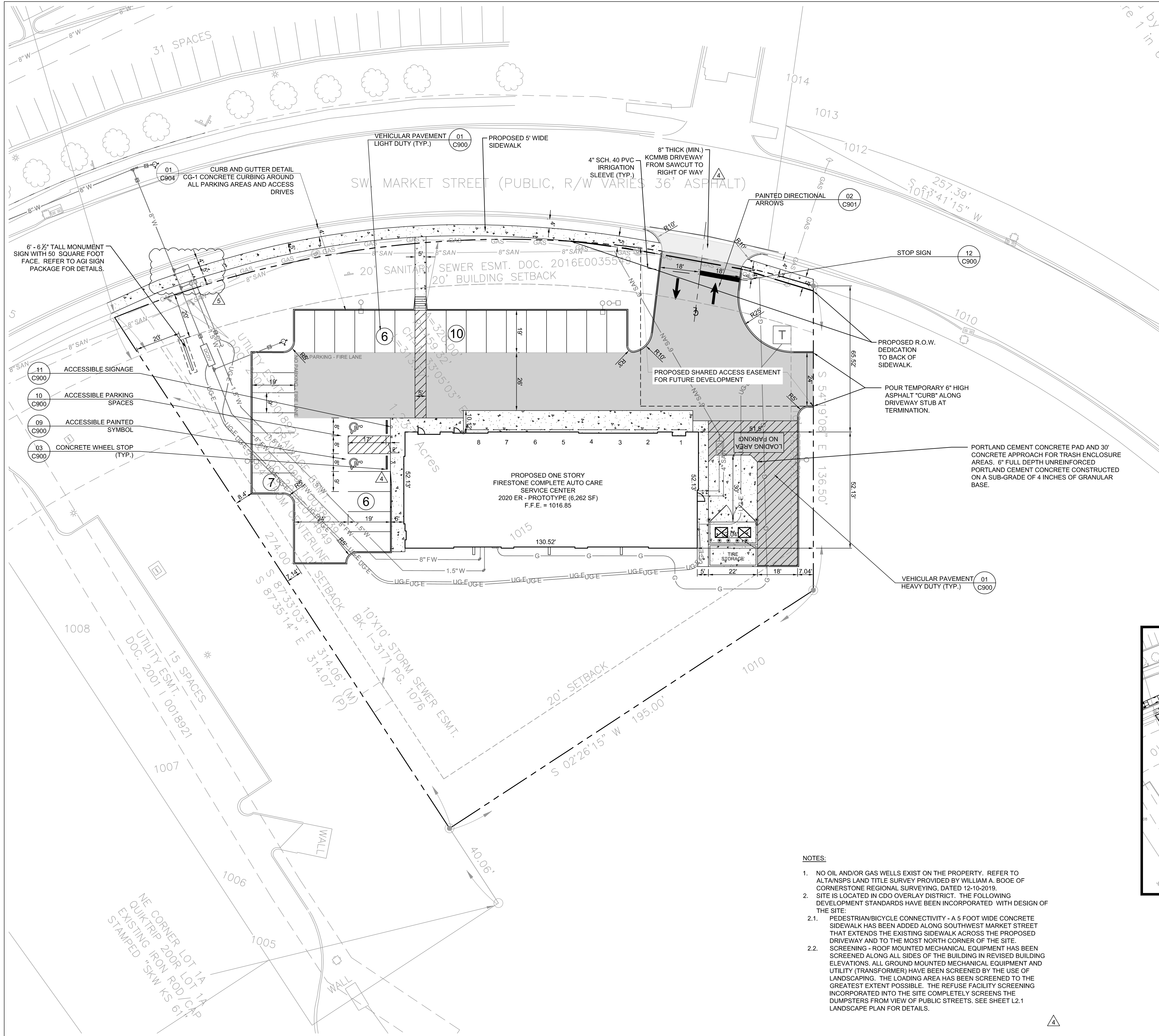
Legend of Symbols & Abbreviations

○	Existing Iron Rod Origin Unknown (unless noted)	(M)	Measured Dimension
●	Set 1/2"x24" Iron Rod/Cap (unless otherwise noted)	(D)	Deed Dimension
△	Section Corner Origin Unknown (unless noted)	(P)	Plat Dimension
---	Boundary Line	R/W	Right of Way
---	Selback Line	○	Storm Drain Manhole
---	Fence	⊗	Water Meter
---	Overhead Electric Line	⊕	Guy Wire
---	Water Line	⊙	Gas Meter
---	Gas Line	⊖	Gas Valve
---	Underground Telephone	⊗	Telephone Riser Box
---	Sanitary Sewer Line	⊕	Gas Line Marker
---	Bollard	⊖	Sanitary Sewer Cleanout
---	Fire Hydrant	⊗	Sanitary Sewer Manhole
---	Handicap Parking	⊕	Sign
---	Electric Cabinet	⊖	Light Pole
		⊗	Power Pole
		⊕	Water Valve
		⊖	Electric Meter

CORNERSTONE
Regional Surveying, LLC
Serving Kansas, Missouri & Oklahoma
1921 North Penn, Independence, KS 67301 Ph: 620-331-6767

ALTA/NSPS LAND TITLE SURVEY
of a portion of SECTION 29, TOWNSHIP 47 NORTH,
RANGE 31 WEST of the 5th PRINCIPAL MERIDIAN,
JACKSON COUNTY, MISSOURI

DRAWN BY: DLB
CHECKED BY: WAB
JOB NO. 1-1910401-M
LATEST REVISION: 12-10-2019
PREPARED FOR: GBT Realty

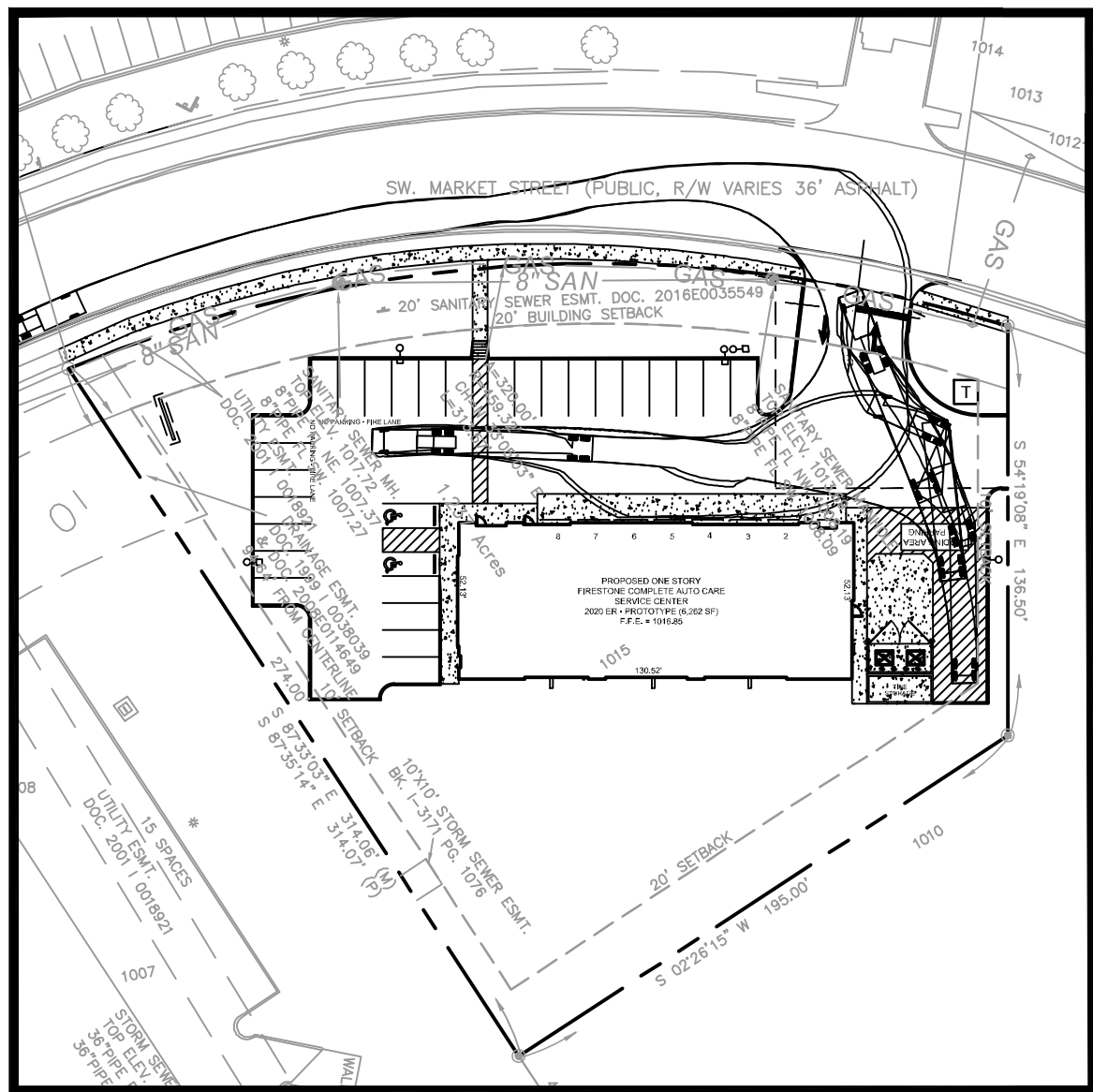


LEGEND

	PROPERTY LINE
	PROPERTY SETBACK LINE
	BUILDING LINE
	CURB
	CONCRETE VEHICULAR PAVEMENT
	CONCRETE SIDEWALK PAVEMENT
	HEAVY DUTY ASPHALT PAVEMENT
	LIGHT DUTY ASPHALT PAVEMENT
	TRANSFORMER PAD
	TURN ARROW
	ACCESSIBLE PARKING SPACE SYMBOL
	WHEEL STOP
	PARKING COUNT
	LIGHT POLE
	SIGN
	BOLLARD

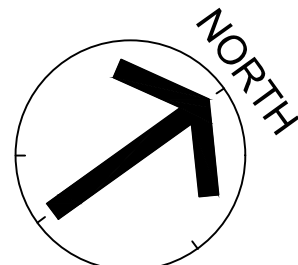
SITE DATA TABLE

1. CURRENT ZONING:	CP-2 (PLANNED COMMUNITY COMMERCIAL) / CDO (CORRIDOR DEVELOPMENT OVERLAY)
2. SITE AREA:	53,883 S.F. = 1.237 ACRES
3. BUILDING AREA:	6,262 S.F. GROSS AREA ONE-STORY, MAX HEIGHT = 22'-10"
4. PARKING REQUIRED :	24 SPACES (3 PER BAY) 29 SPACES
5. EXISTING IMPERVIOUS AREA	= 0 ACRES = 0.0%
EXISTING PERVIOUS AREA	= 1.237 ACRES = 100.0%
6. PROPOSED IMPERVIOUS AREA	= 0.613 ACRES = 49.6%
PROPOSED PERVIOUS AREA	= 0.624 ACRES = 50.4%
7. FAR:	= 6,262 SF / 53,833 SF = 11.7%



TRUCK TURNING MOVEMENT PLAN

SCALE: 1" = 60'



NOTES:

- NO OIL AND/OR GAS WELLS EXIST ON THE PROPERTY. REFER TO ALTA/NPS LAND TITLE SURVEY PROVIDED BY WILLIAM A. BOOE OF CORNERSTONE REGIONAL SURVEYING, DATED 12-10-2019.
- SITE IS LOCATED IN CDO OVERLAY DISTRICT. THE FOLLOWING DEVELOPMENT STANDARDS HAVE BEEN INCORPORATED WITH DESIGN OF THE SITE:
 - PEDESTRIAN/BICYCLE CONNECTIVITY - A 5 FOOT WIDE CONCRETE SIDEWALK HAS BEEN ADDED ALONG SOUTHWEST MARKET STREET THAT EXTENDS THE EXISTING SIDEWALK ACROSS THE PROPOSED DRIVEWAY AND TO THE MOST NORTH CORNER OF THE SITE.
 - SCREENING - ROOF MOUNTED MECHANICAL EQUIPMENT HAS BEEN SCREENED ALONG ALL SIDES OF THE BUILDING IN REVISED BUILDING ELEVATIONS. ALL GROUND MOUNTED MECHANICAL EQUIPMENT AND UTILITY (TRANSFORMER) HAVE BEEN SCREENED BY THE USE OF LANDSCAPING. THE LOADING AREA HAS BEEN SCREENED TO THE GREATEST EXTENT POSSIBLE. THE REFUSE FACILITY SCREENING INCORPORATED INTO THE SITE COMPLETELY SCREENS THE DUMPSTERS FROM VIEW OF PUBLIC STREETS. SEE SHEET L2.1 LANDSCAPE PLAN FOR DETAILS.

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Firestone
COMPLETE AUTO CARE

3561 SW MARKET STREET
LEE'S SUMMIT, MISSOURI 64082

20200601
DUANE HUNT
NUMBER
E-28843

Revision		
No.	Date	Description
1	02.07.2020	CITY COMMENTS
2	02.20.2020	CITY COMMENTS
3	03.27.2020	CITY COMMENTS
4	04.28.2020	CITY COMMENTS
5	06.01.2020	CITY COMMENTS

SITE LAYOUT PLAN

C200

40831.45
JANUARY 8, 2020

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3501 SW MARKET STREET
LEE'S SUMMIT, MISSOURI 64082

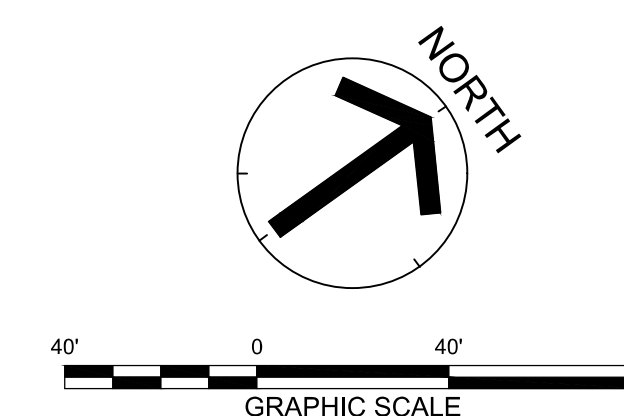
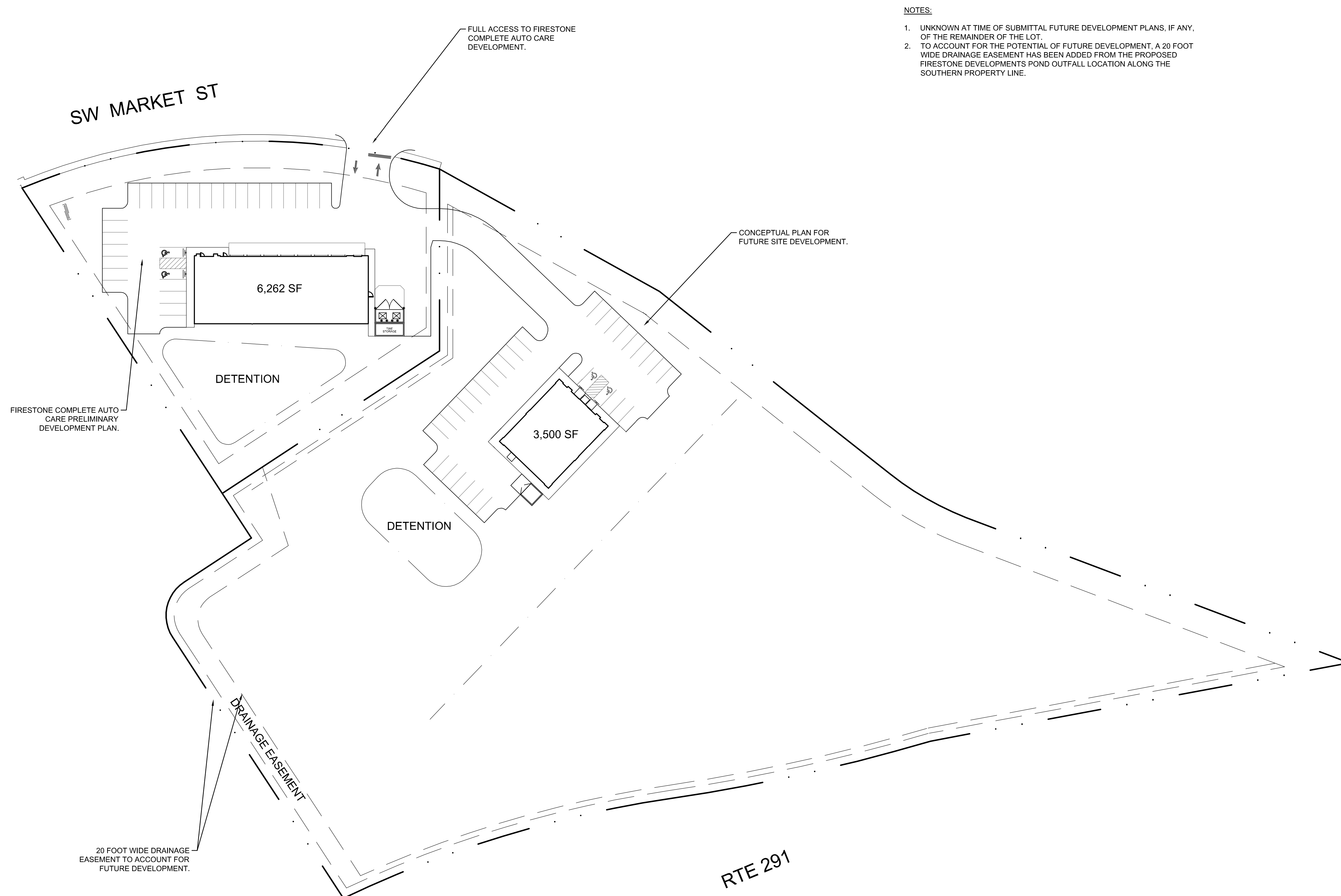
THIS DRAWING IS THE PROPERTY OF BRIDGESTONE RETAIL OPERATIONS, LLC AND IS LOANED ON THE EXPRESS CONDITION THAT IT IS NOT TO BE USED IN ANY WAY OTHER THAN FOR THE INTERESTS OF BRIDGESTONE RETAIL OPERATIONS, LLC. THE ACCEPTANCE OF THIS DRAWING WILL BE CONSTRUED AS AN ACCEPTANCE OF THE FOREGOING CONDITION AND AS ADMISSION TO THE EXCLUSIVE OWNERSHIP IN AND TO

[illegible]

C201

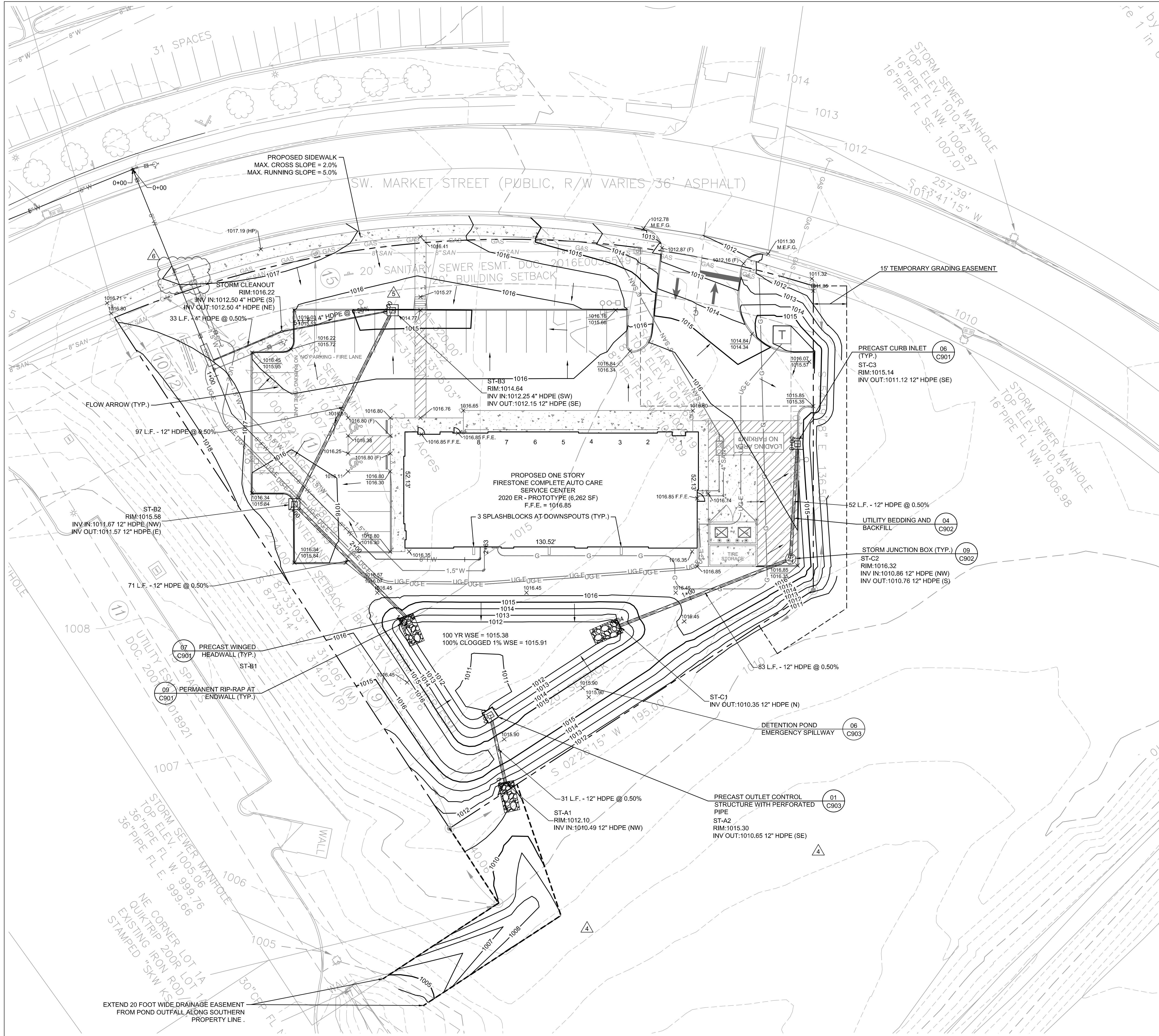
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JANUARY 8, 2020

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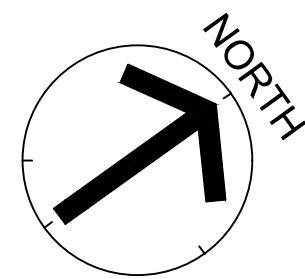


LEGEND

	PROPERTY LINE
	BUILDING LINE
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	MAJOR CONTOUR
	MINOR CONTOUR
	STORM PIPE
	HEADWALL
	STORM MANHOLE
	AREA INLET
	CURB INLET
	STORM CLEANOUT
	SPOT ELEVATION
	FLUSH ELEVATION
	MATCH EXISTING FINISH
	GRADE ELEVATION
	CURB TOP/BOTTOM ELEVATIONS
	FLOW ARROW

STORM STRUCTURE ABBREVIATIONS		
(SCI)	SINGLE CURB INLET	DETAIL 06, SHEET C901
(JB)	JUNCTION BOX	DETAIL 09, SHEET C902
(HW)	HEADWALL	DETAIL 07, SHEET C901
(OS)	OUTLET STRUCTURE	DETAIL 08, SHEET C901

NOTES:
1. FOR SITE PREPARATION AND GEOTECHNICAL RECOMMENDATIONS, REFER TO INTERTEK PSI GEOTECHNICAL REPORT 03381947, DATED 7/24/2019.



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LEE'S SUMMIT, MISSOURI 64082

Revision		
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1	02.07.2020	CITY COMMENTS
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5	05.15.2020	CITY COMMENTS
6	06.01.2020	CITY COMMENTS

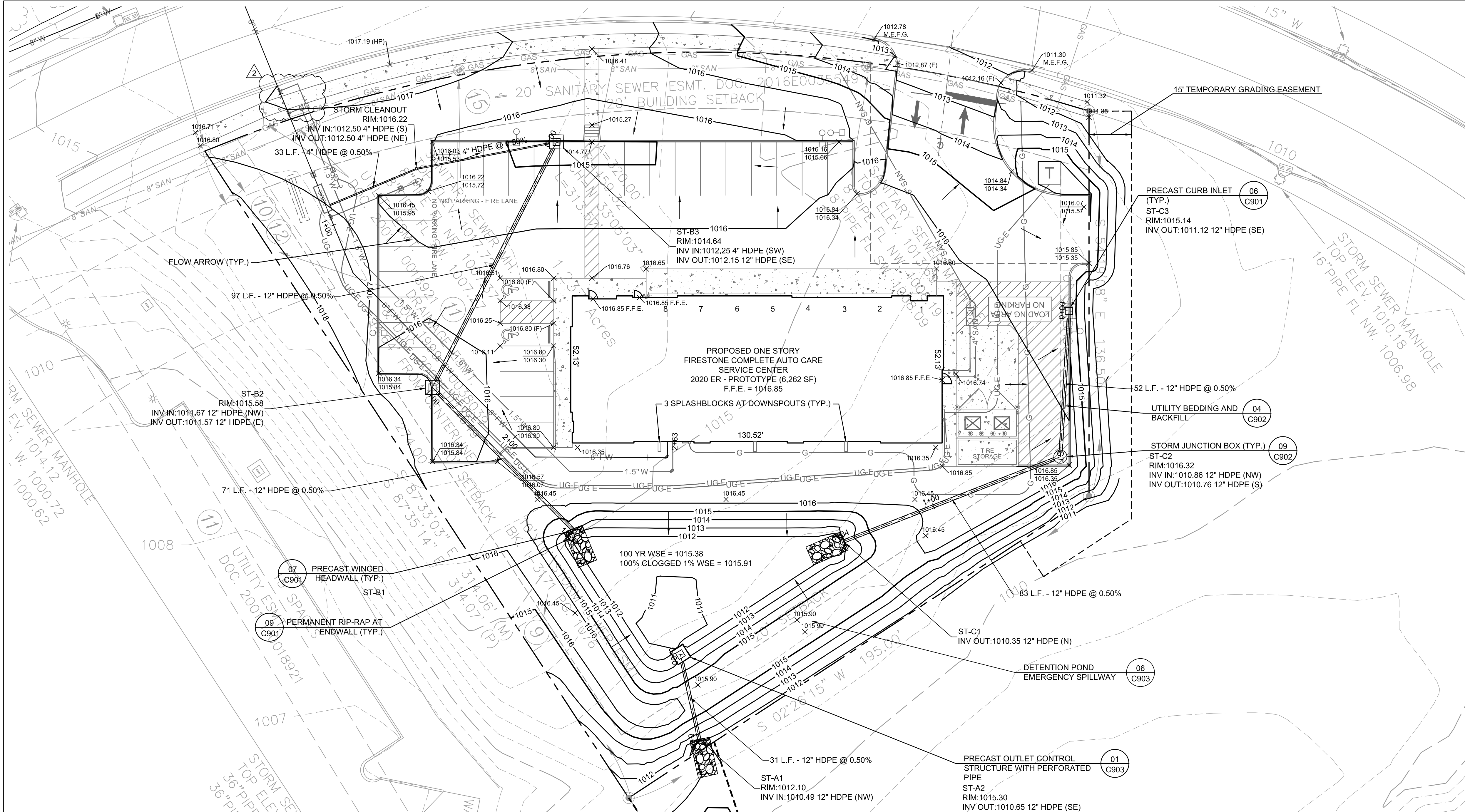
GRADING AND DRAINAGE PLAN

C300

40831.45
JANUARY 8, 2020

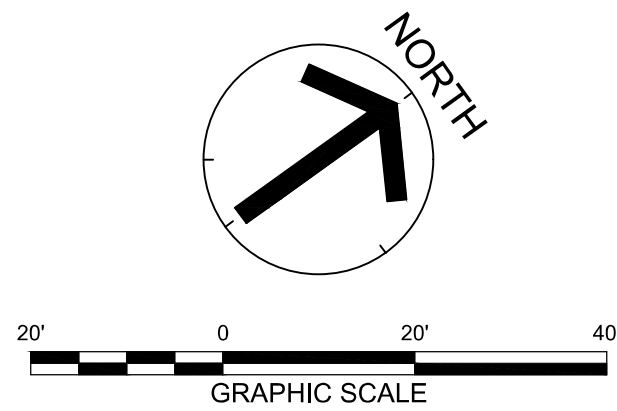
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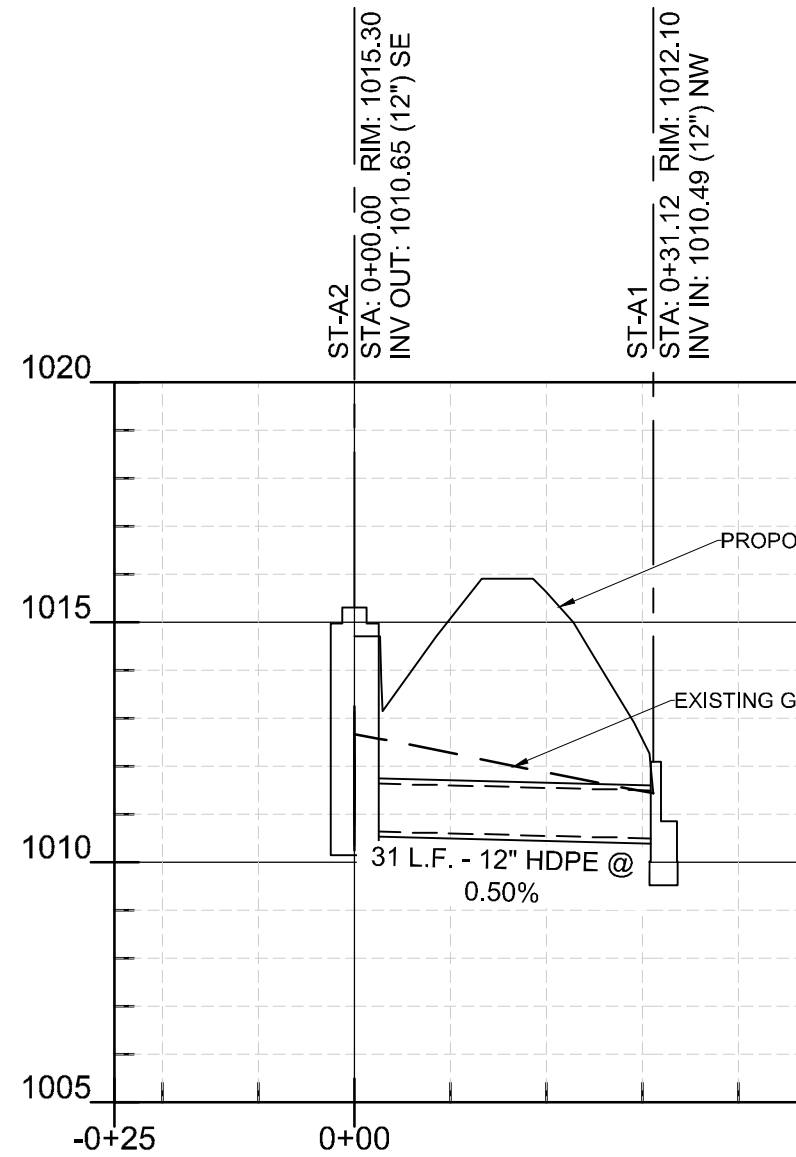


LEGEND	
	PROPERTY LINE
	BUILDING LINE
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	MAJOR CONTOUR
	MINOR CONTOUR
	STORM PIPE
	HEADWALL
	STORM MANHOLE
	AREA INLET
	CURB INLET
	STORM CLEANOUT
	SPOT ELEVATION
	FLUSH ELEVATION
	MATCH EXISTING FINISH
	GRADE ELEVATION
	CURB TOP/BOTTOM ELEVATIONS
	FLOW ARROW

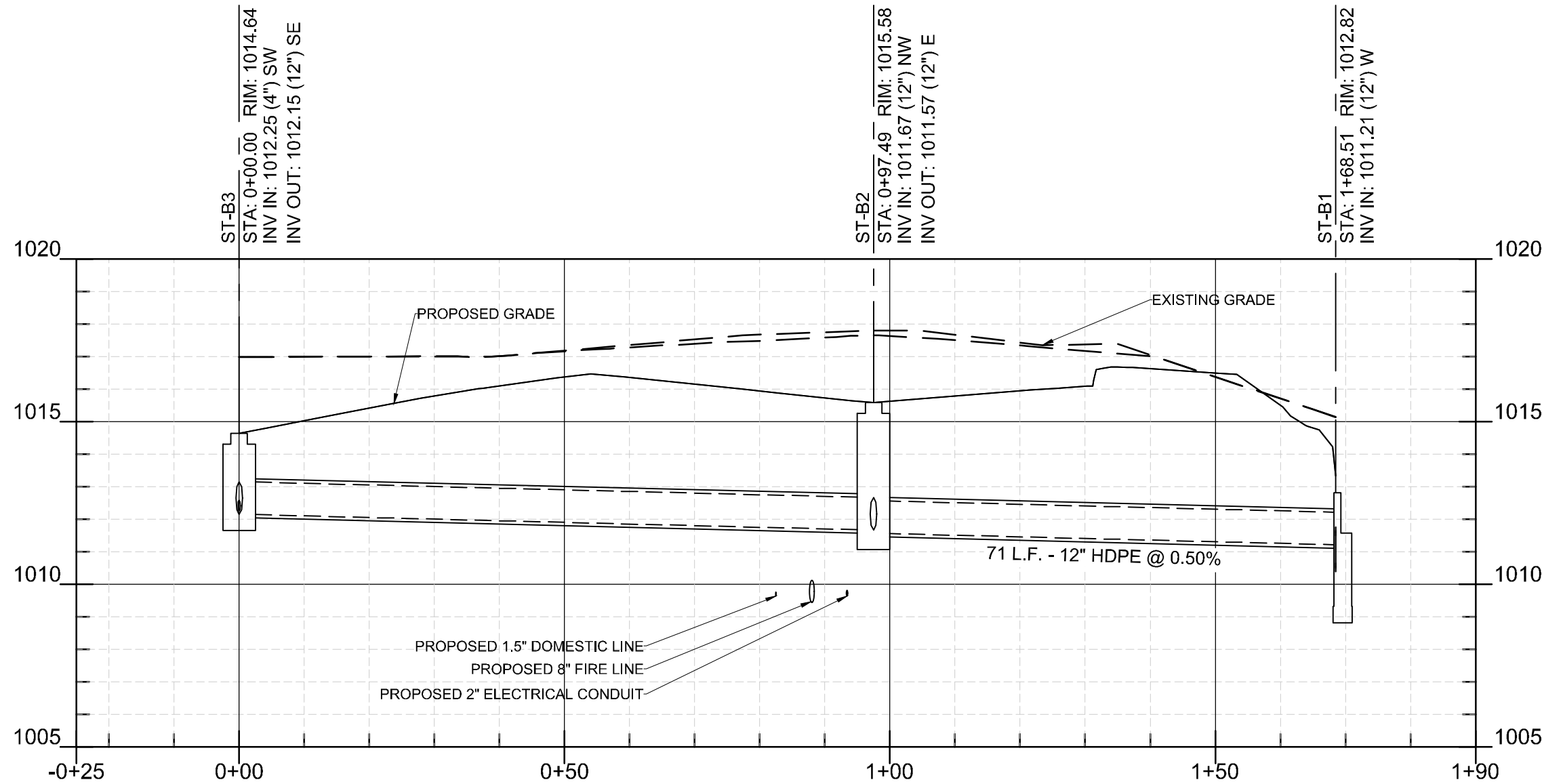
STORM STRUCTURE ABBREVIATIONS		
(SCI)	SINGLE CURB INLET	DETAIL 06, SHEET C901
(JB)	JUNCTION BOX	DETAIL 09, SHEET C902
(HW)	HEADWALL	DETAIL 07, SHEET C901
(OS)	OUTLET STRUCTURE	DETAIL 08, SHEET C901



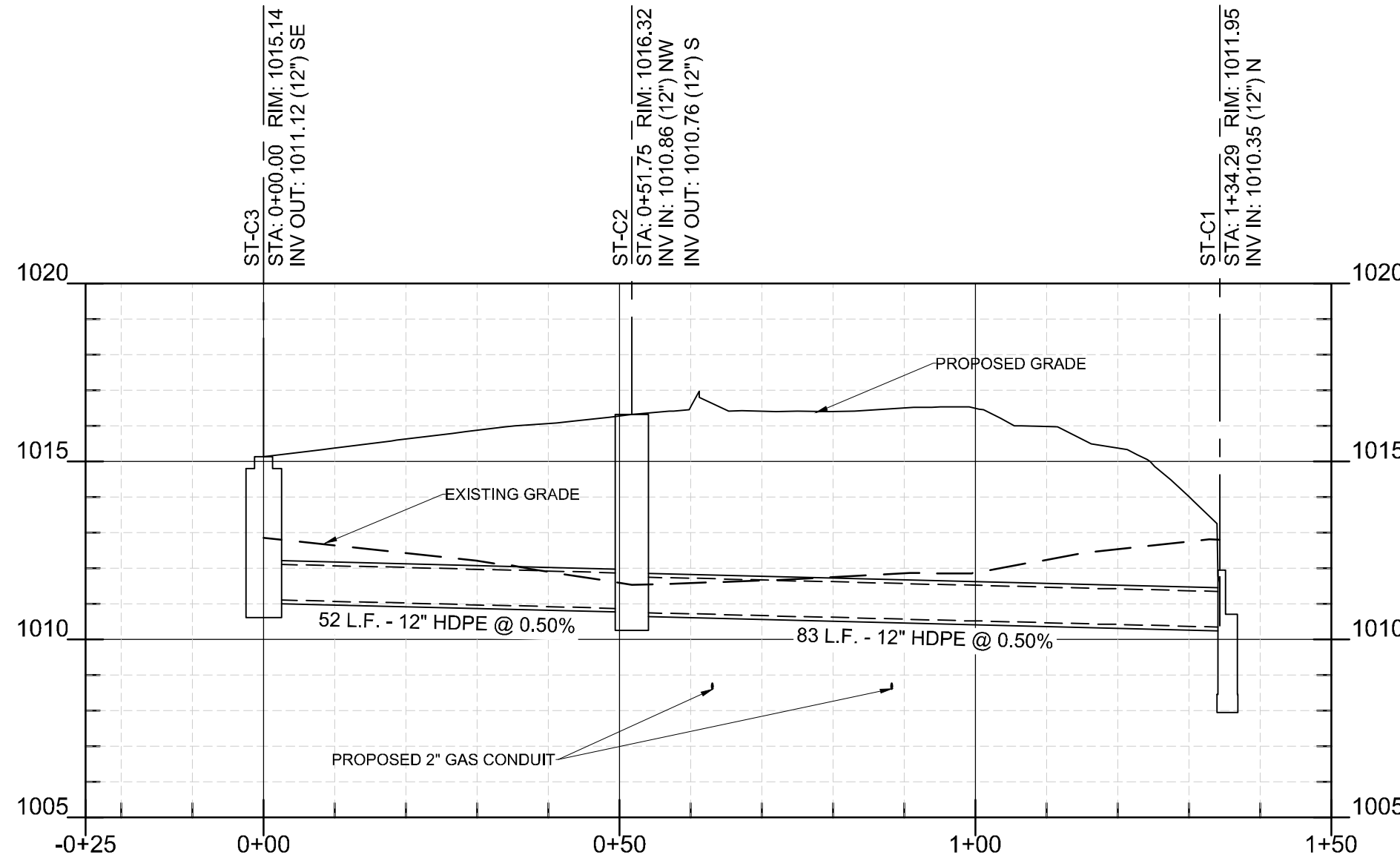
NOTES:
1. FOR SITE PREPARATION AND GEOTECHNICAL RECOMMENDATIONS, REFER TO INTERTEK PSI GEOTECHNICAL REPORT 03381947, DATED 7/24/2019.



STORM A PROFILE
SCALE H:1\"/>



STORM B PROFILE
SCALE H:1\"/>

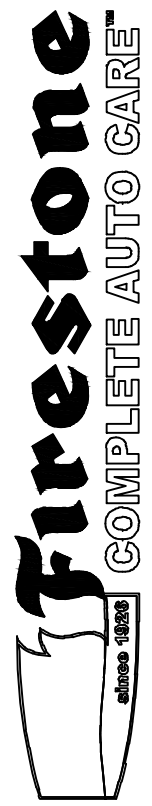


STORM C PROFILE
SCALE H:1\"/>



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Revision		
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2	06.01.2020	CITY COMMENTS

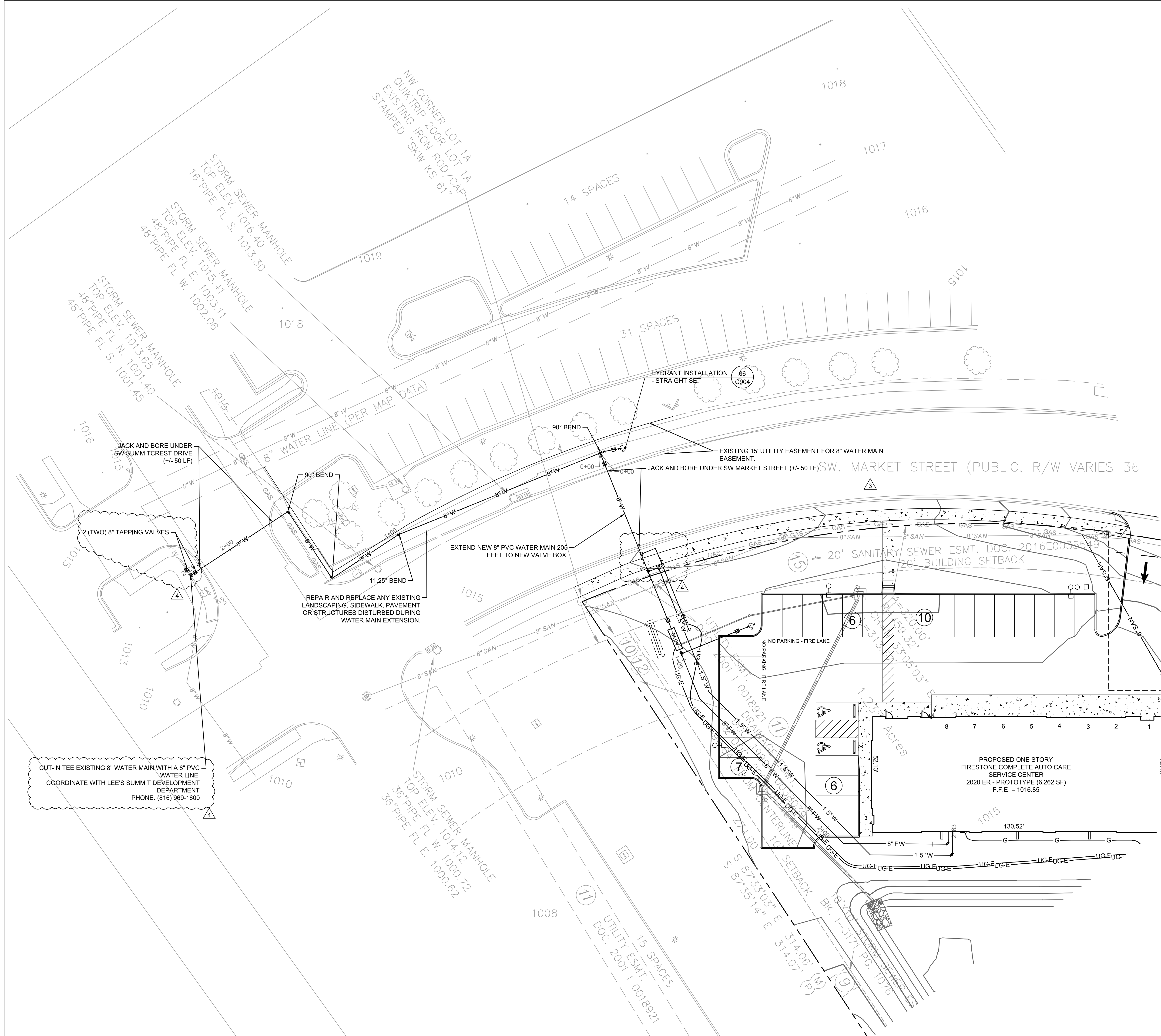
ON-SITE STORM LINE
PROFILE

C301

40831.45
JANUARY 8, 2020

This Line Is 3 Inches When Printed Full Size

\\global\gspldata\mfrna_mf054083145\01\Work\01\CAD\06\LP\4083145-C500.dwg - Michael JP - 6/1/2020 10:05:38 AM



LEGEND	
	PROPERTY LINE
	BUILDING LINE
	WATER LINE
	SANITARY SEWER
	STORM SEWER
	UNDERGROUND ELECTRIC
	NATURAL GAS
	UTILITY EASEMENT
	WATER METER
	BACKFLOW PREVENTER
	WATER VALVE & BOX
	SANITARY MANHOLE
	SANITARY CLEANOUT
	TRANSFORMER
	LIGHT POLE

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Revision		
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1	02.21.2020	CITY COMMENTS
2	03.27.2020	CITY COMMENTS
3	04.28.2020	CITY COMMENTS
4	06.01.2020	CITY COMMENTS

OFFSITE WATER LINE PLAN

C501

40831.45
JANUARY 8, 2020



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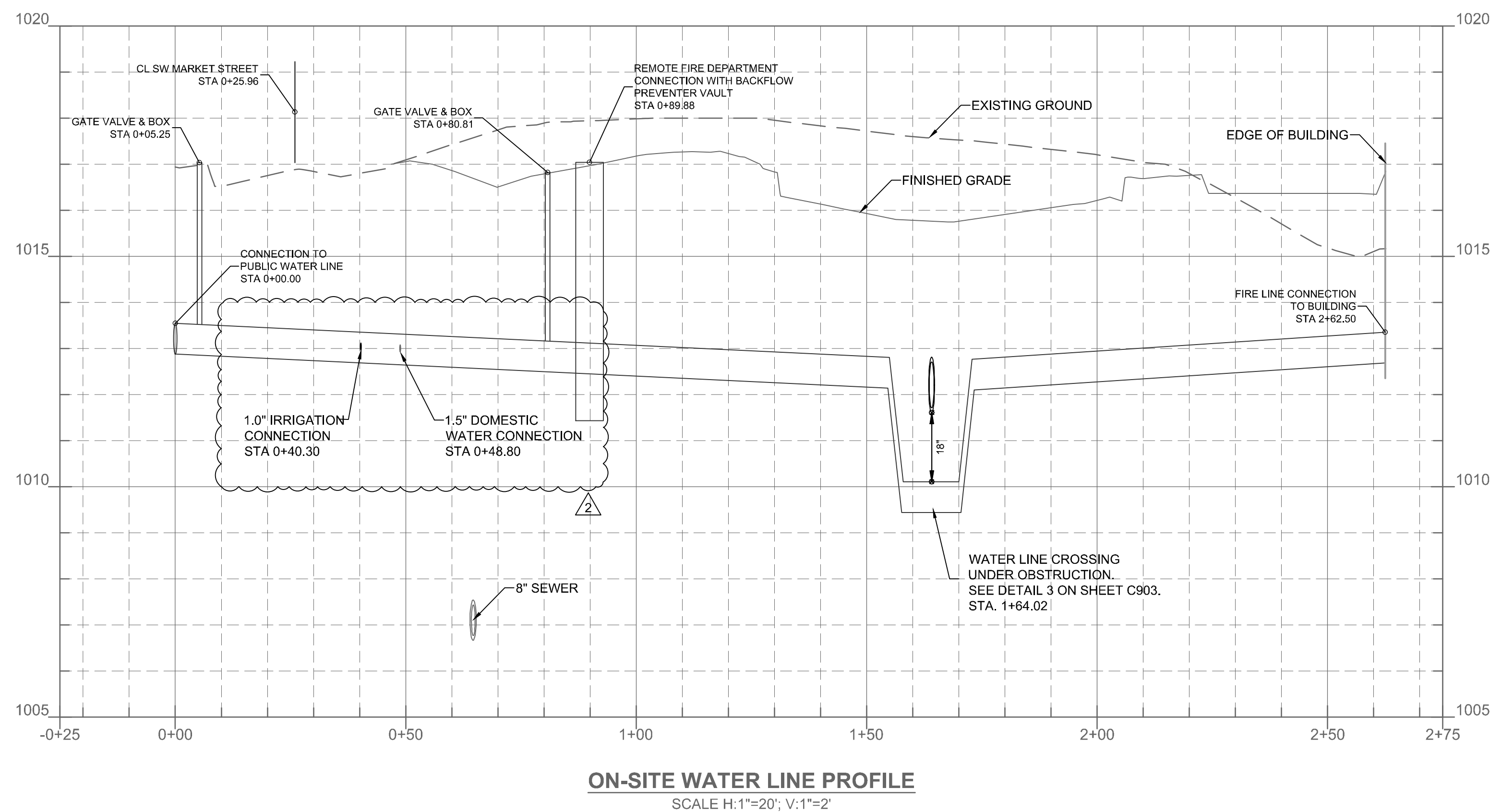
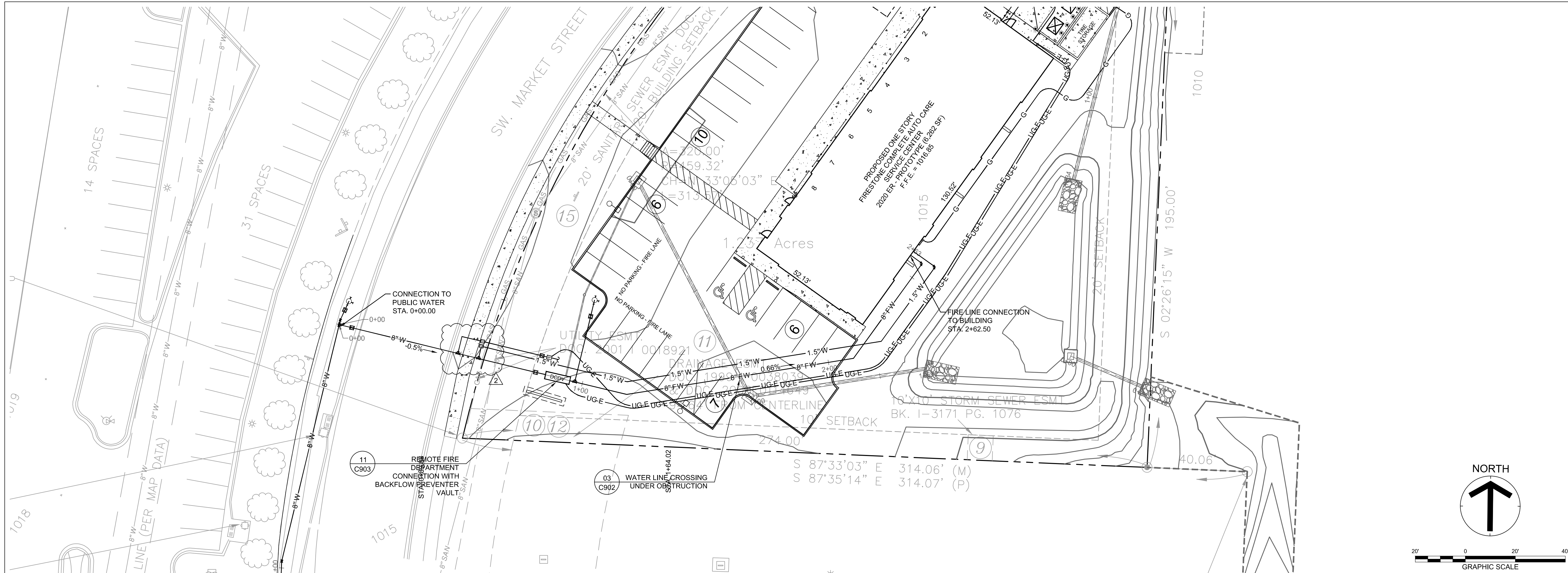
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ON-SITE WATER LINE PROFILE

C502

40831.45
JANUARY 8, 2020

This Line Is 3 Inches When Printed Full Size



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E-28842

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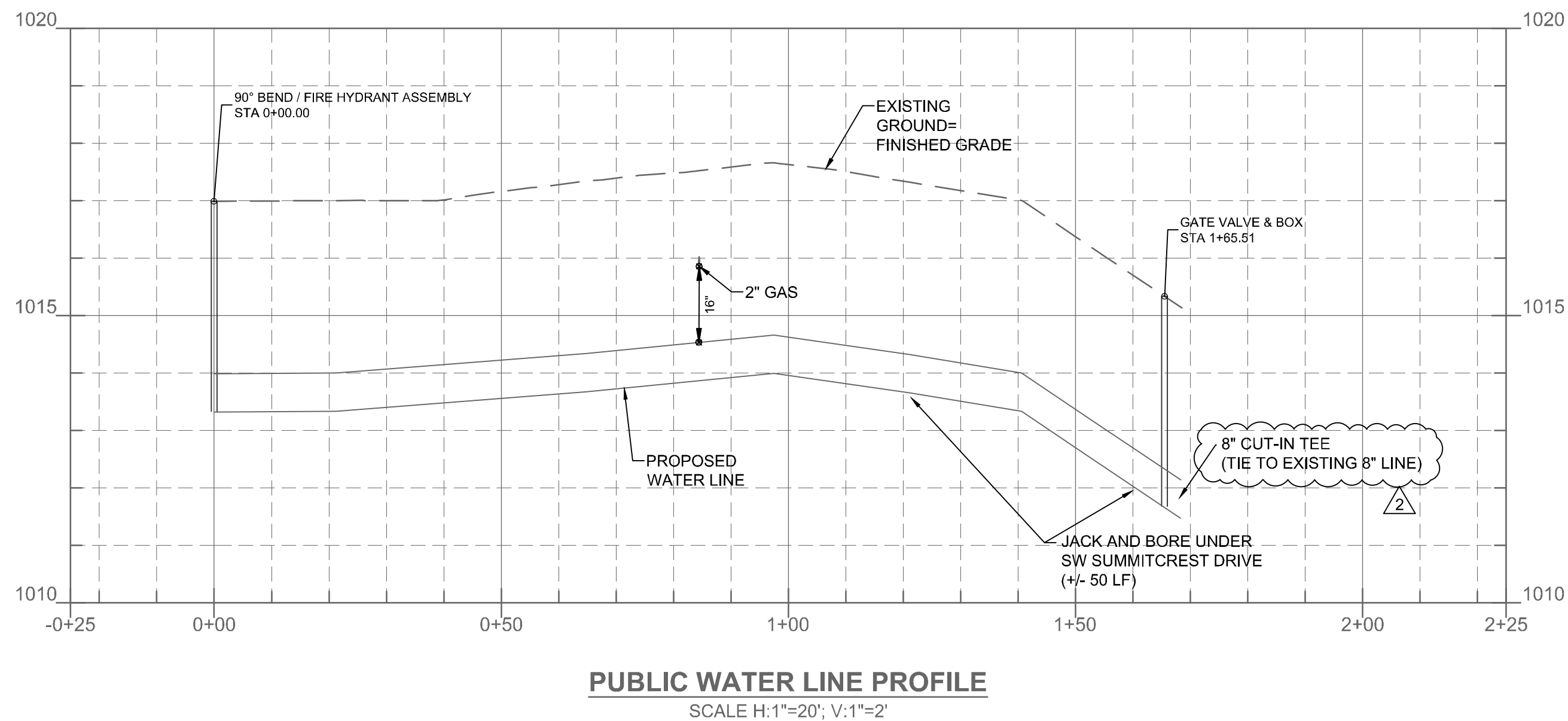
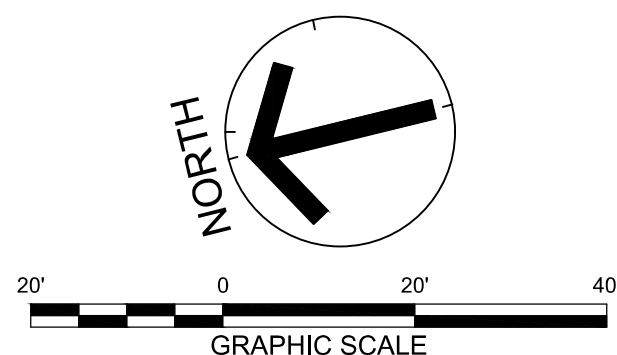
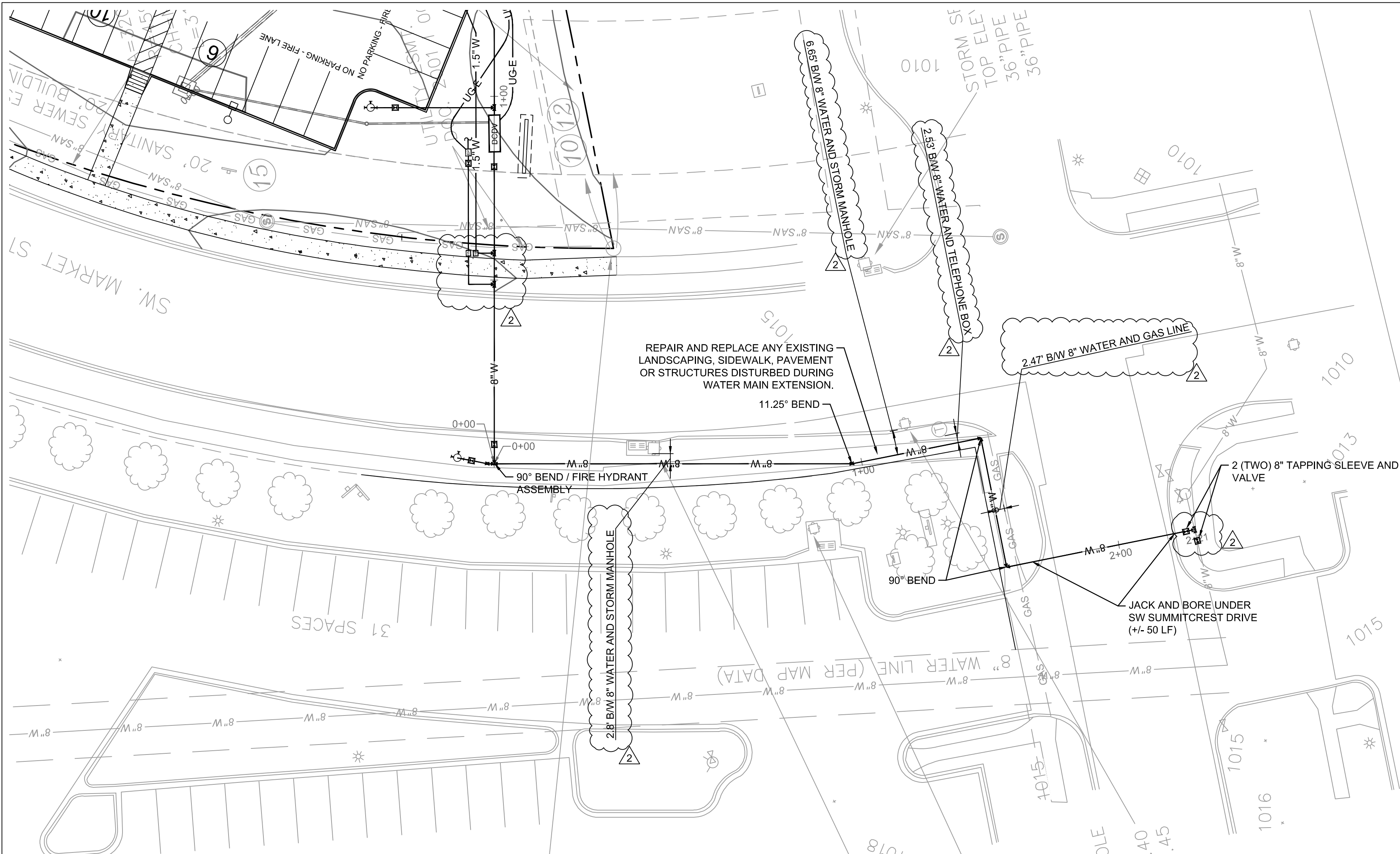
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PUBLIC WATER LINE PLAN AND PROFILE

C503

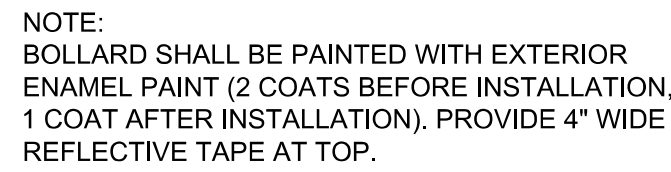
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JANUARY 8, 2020

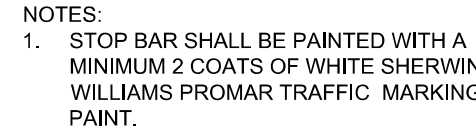
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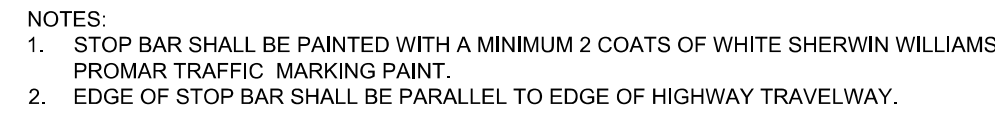
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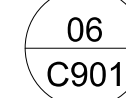




NOT TO SCALE



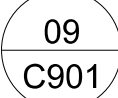
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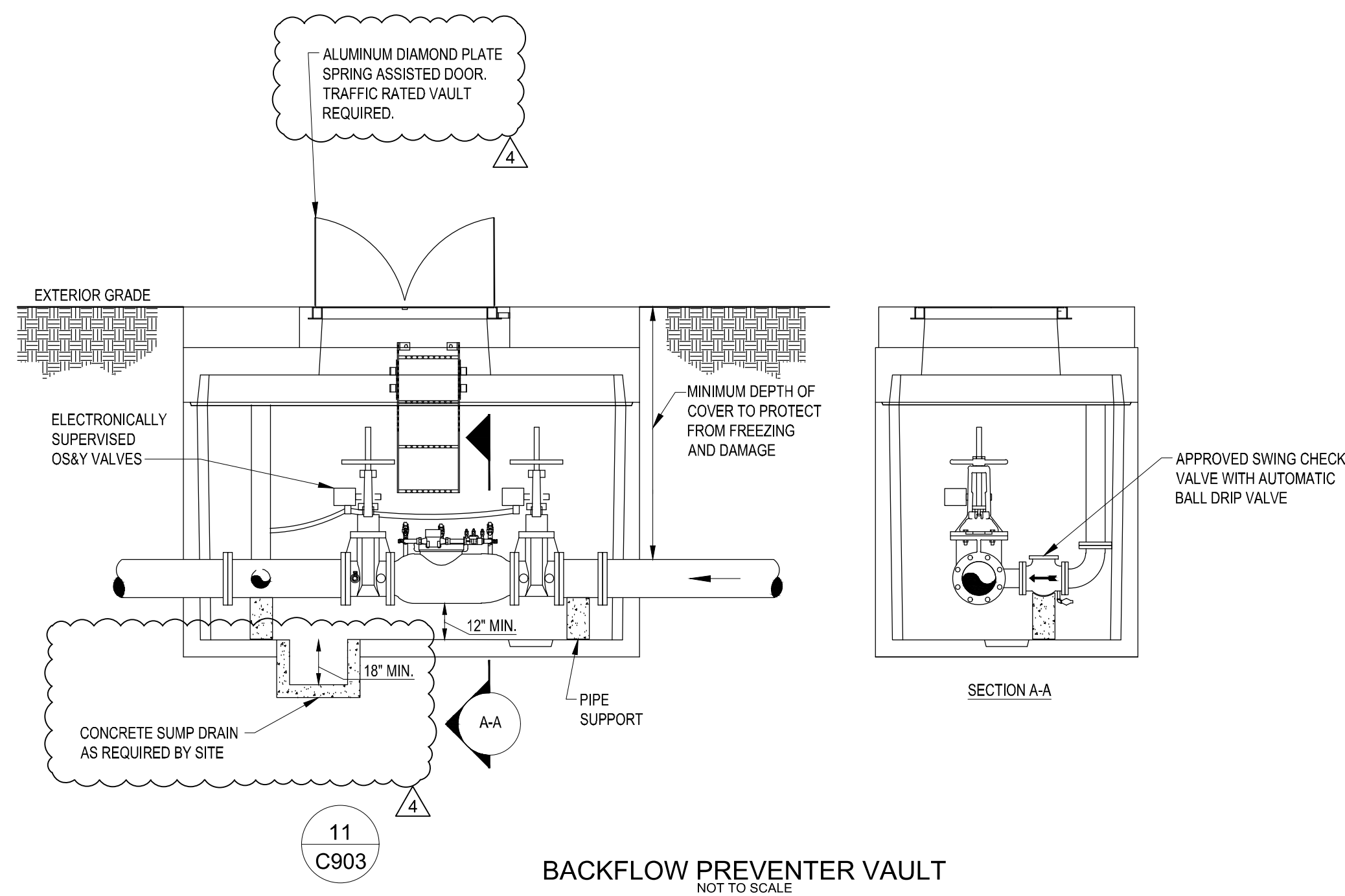
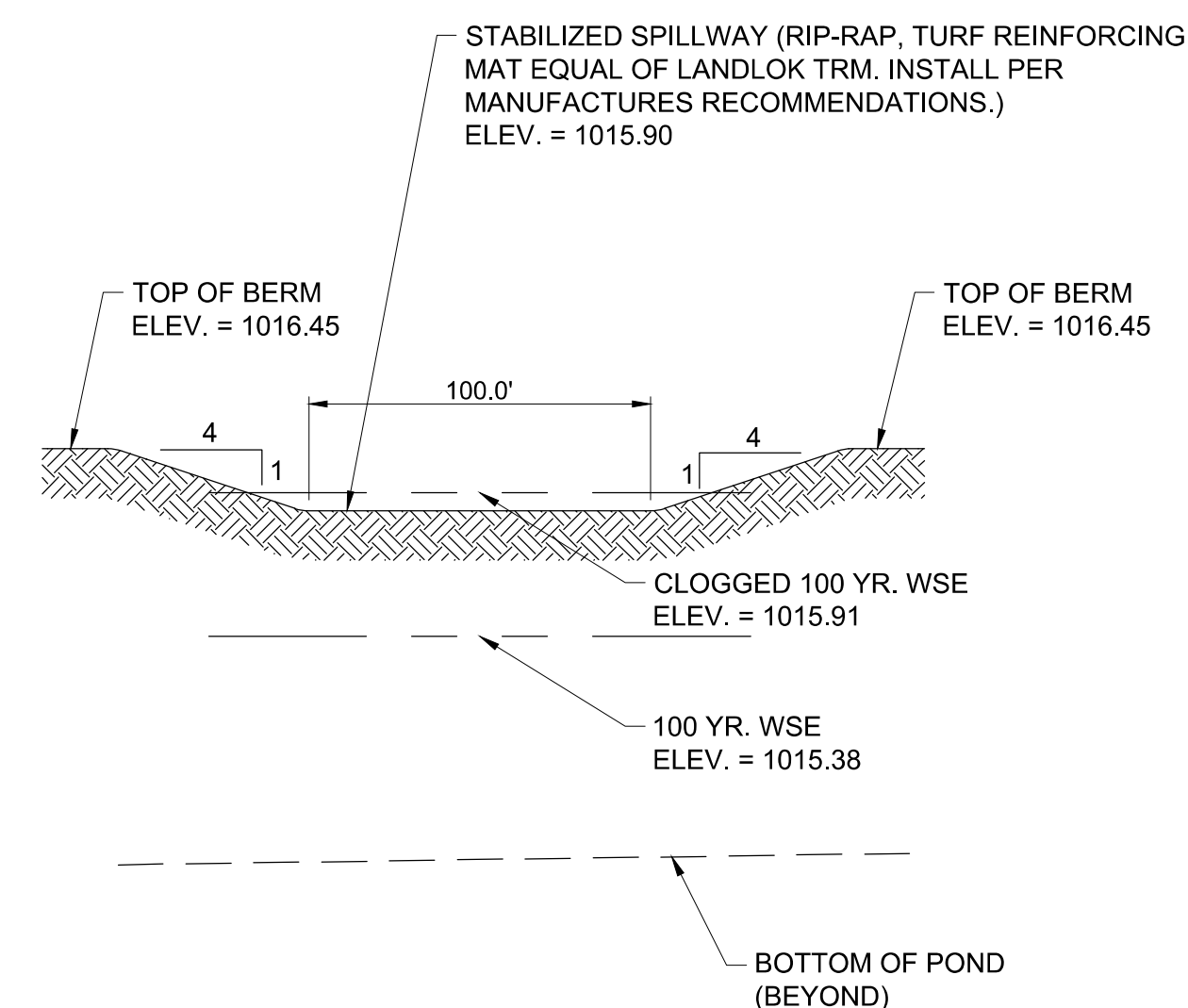
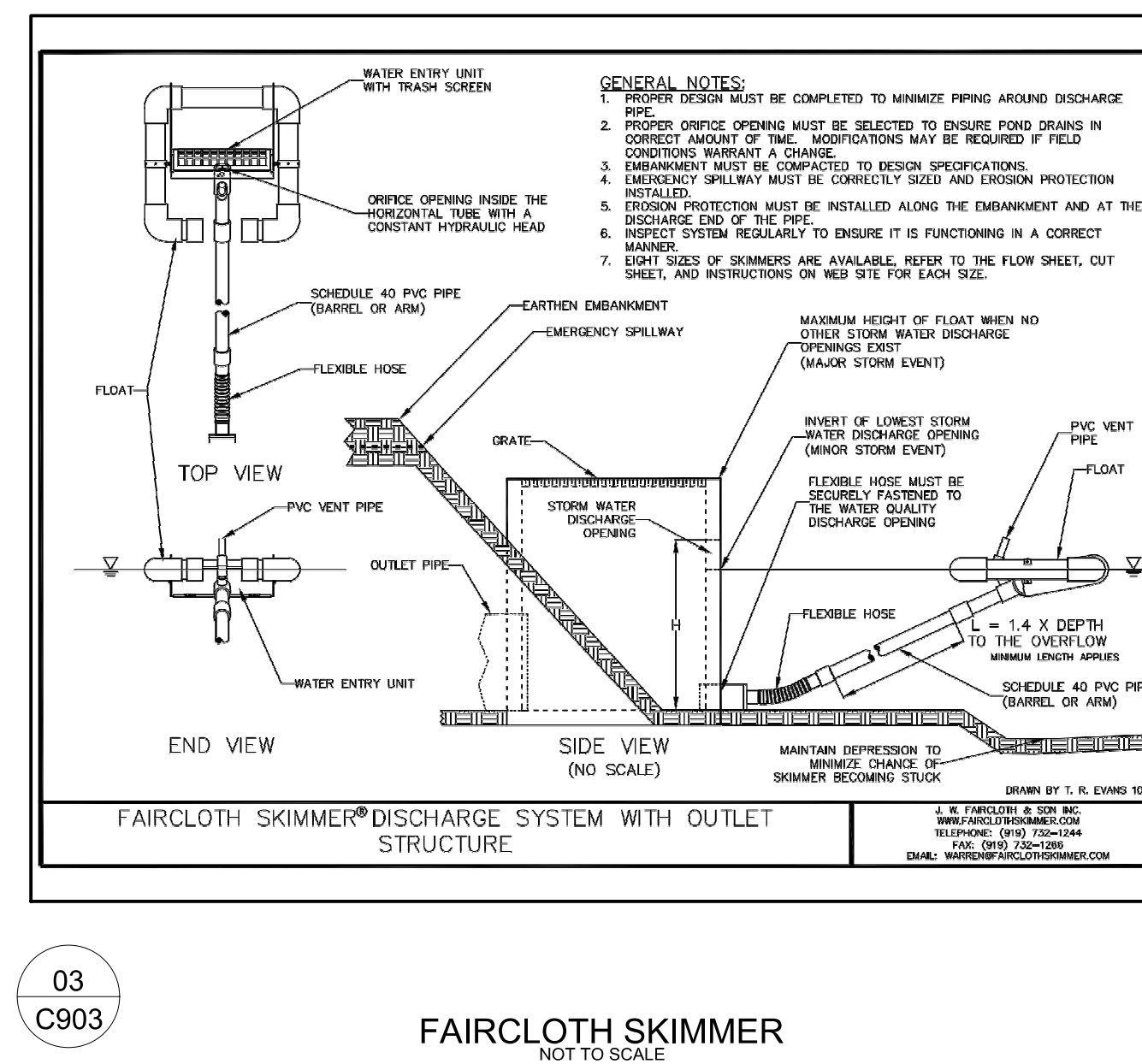
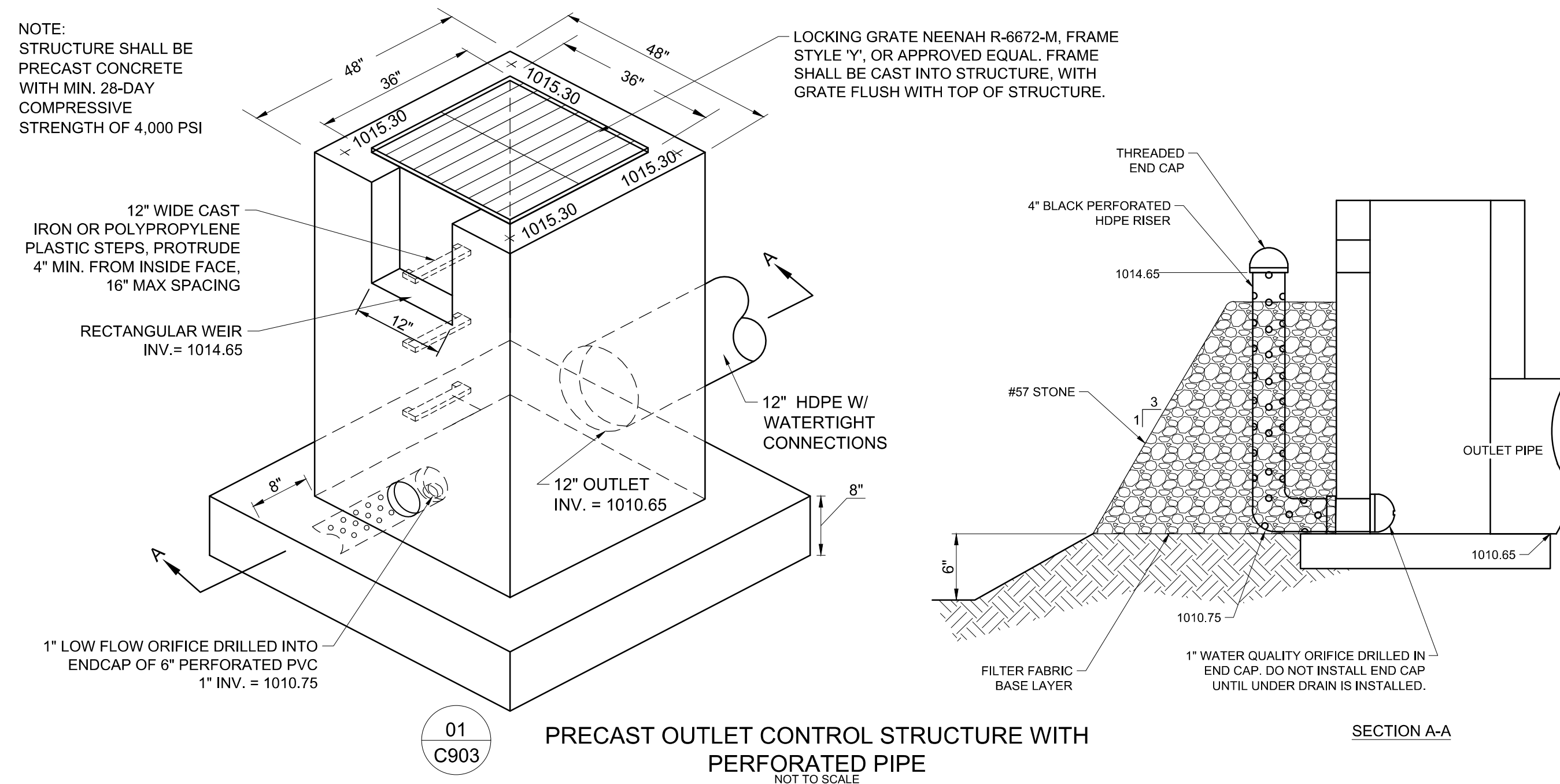


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[illegible]

SITE DETAILS

C903

40831.45
JANUARY 8, 2020

NOT USED

3. WHEN APPLICABLE, IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROTECT EXISTING TREES TO REMAIN. NO HEAVY EQUIPMENT SHOULD BE PERMITTED TO OPERATE OR BE STORED, NOR ANY MATERIALS TO BE HANDLED OR STORED, WITHIN THE DRIPLINES OF TREES OUTSIDE THE LIMIT OF GRADING
2. THE QUANTITIES INDICATED ON THE PLANT LIST AND PLAN ARE PROVIDED FOR THE BENEFIT OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN QUANTITY CALCULATIONS AND THE LIABILITY WHICH PERTAINS TO THOSE QUANTITIES AND TO ANY RELATED CONTRACT DOCUMENTS AND/OR PRICE QUOTATIONS. QUESTIONS SHOULD BE DIRECTED TO THE LANDSCAPE ARCHITECT.
3. ALL PLANT MATERIALS SHALL BE NURSERY GROWN, UNLESS OTHERWISE NOTED AND SHALL COMPLY WITH THE AMERICAN STANDARD FOR NURSERY STOCK: ANSI Z-60.1; LATEST EDITION, FOR SIZE AND QUALITY.
4. NO SUBSTITUTIONS AS TO TYPE, SIZE, OR SPACING OF PLANT MATERIALS SPECIFIED ON THIS PLAN MAY BE MADE WITHOUT THE APPROVAL OF THE LANDSCAPE ARCHITECT.
5. THE CONTRACTOR IS TO VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES AND TO PROTECT UTILITIES THAT ARE TO REMAIN. THE CONTRACTOR SHALL REPAIR ANY DAMAGE ACCORDING TO LOCAL STANDARDS AT THE CONTRACTOR'S EXPENSE. COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY.
6. ALL AREAS DISTURBED BY UTILITY TRENCHING, SITE AND BUILDING CONSTRUCTION SHALL BE STABILIZED WITH SEEDING AND SODDING AS SHOWN BY THE PLAN.
7. SOIL USED FOR PLANTING SHALL CONSIST OF 5 PARTS TOPSOIL, 1 PART SAND AND 2 PARTS ORGANIC MATTER, MIXED WITH 1 POUND OF FERTILIZER PER CUBIC YARD.
 - A. SAND SHALL BE CLEAN MASONRY SAND.
 - B. ORGANIC MATTER SHALL BE PEAT MOSS, OR WELL COMPOSTED PINE BARK, OR APPROVED EQUAL AND SHALL BE FINELY GROUND AND FREE OF WEEDS.
 - C. ALL FERTILIZER SHALL BE 10-10-10 WITH MINOR ELEMENTS. FERTILIZER SHALL HAVE 40-50% OF ITS TOTAL NITROGEN IN A WATER INSOLUBLE FORM.
8. PRE-EMERGENT HERBICIDE SHALL BE APPLIED TO ALL PLANT BEDS AND SOD AREAS PRIOR TO INSTALLATION. TREFLAN OR AN APPROVED EQUAL SHALL BE USED.
9. ALL PLANT BEDS SHALL HAVE A MINIMUM OF 3" DEEP MULCH. MULCH SHALL BE SHREDDED HARDWOOD.
10. IT IS THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO CONFIRM MATERIAL QUANTITIES. IN THE EVENT OF A DISCREPANCY, THE QUANTITIES SHOWN ON THE PLAN SHALL TAKE PRECEDENCE OVER QUANTITIES SHOWN ON THE PLANT LIST.
11. PRIOR TO FINAL PAYMENT, THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE OWNER WITH COMPLETE WRITTEN INSTRUCTIONS ON PROPER CARE OF ALL SPECIFIED PLANT MATERIALS.
12. THE LANDSCAPE INSTALLATION SHALL BE COORDINATED WITH THE IRRIGATION INSTALLATION WHEN APPLICABLE.
13. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM STRUCTURES AND TAKE SPECIAL CARE TO INSURE THAT BED PREPARATION DOES NOT INHIBIT DRAINAGE.
14. ALL LAWN AREAS SHALL BE CULTIVATED TO A DEPTH OF 4" PRIOR TO SODDING AND SEEDING. PREPARED LAWN BEDS SHALL BE FREE FROM STONES OVER 2" DIAMETER AND OTHER DELETERIOUS MATERIAL.
15. THE LANDSCAPE CONTRACTOR SHALL RAKE SMOOTH ALL SOD AND SEED AREAS PRIOR TO INSTALLATION.
16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR BACKFILLING BEHIND THE CURB SO GRADE IS LEVEL WITH TOP OF CURB.
17. SODDED AREAS SHALL HAVE NO BARE SPOTS. SEEDS AREAS SHALL BE CONSIDERED ACCEPTABLE WHEN FULL COVERAGE OF THE PERMANENT TURFGRASS SPECIES IS ESTABLISHED.
18. CUT AWAY ROPES OR WIRES FROM B&B SPLITS. PULL BACK BURLAP FROM TOP OF ROOT BALL. DO NOT ALLOW BURLAP TO BE EXPOSED AT SURFACE. TOTALLY REMOVE BURLAP IF IT IS SYNTHETIC.
19. IF CONTAINER GROWN PLANTS SHOW SIGNS OF BEING ROOT BOUND, SCORE ROOTS VERTICALLY.
20. ALL PLANT MATERIAL SHALL BE GUARANTEED FOR ONE YEAR FROM DATE OF FINAL ACCEPTANCE.
21. ALL REPLACEMENTS SHALL BE OF THE SAME TYPE, SIZE, AND QUALITY AS SPECIFIED ON THE PLANT LIST, UNLESS APPROVED OTHERWISE IN WRITING BY THE LANDSCAPE ARCHITECT.
22. ANY MATERIAL THAT IS DEEMED TO BE 25% DEAD OR MORE SHALL BE CONSIDERED DEAD, AND MUST BE REPLACED AT NO CHARGE. A TREE IS CONSIDERED DEAD WHEN THE MAIN LEADER HAS DIED BACK, OR MORE THAN 25% OF THE CROWN IS DEAD.
23. REPLACEMENTS SHALL BE MADE DURING THE NEXT PLANTING SEASON UNLESS THE LANDSCAPE CONTRACTOR AGREES TO AN EARLIER DATE.

PLANTING DATES

SPRING: MARCH 15 - MAY 15
FALL: OCTOBER 1 - NOVEMBER 30

24. THE LANDSCAPE CONTRACTOR WILL NOT BE RESPONSIBLE FOR PLANT MATERIAL THAT HAS BEEN DAMAGED BY VANDALISM, FIRE, RELOCATION, WILDLIFE, THEFT, OR OTHER ACTIVITIES BEYOND THE LANDSCAPE CONTRACTOR'S CONTROL.

TREE PLANTING DETAIL

SITE AREA.....	1.237 AC. (53,884 S.F.)
BUILDING COVERAGE.....	6,630 S.F.
STREET FRONTAGE.....	320 L.F.
SITE SHRUBS REQ'D @ 2 PER 5,000 S.F.....	22
SITE SHRUBS SHOWN.....	25
SITE TREES REQ'D @ 1 PER 5,000 S.F. (LESS BLDG.).....	9
SITE TREES SHOWN.....	9
FRONTAGE SHRUBS REQ'D @ 1 PER 20 L.F.....	16
FRONTAGE SHRUBS SHOWN.....	29
FRONTAGE TREES REQ'D @ 1 PER 30 L.F.....	11
FRONTAGE TREES SHOWN.....	11

