

LOT 1, RAINTREE 150 CENTER  
A SUBDIVISION IN LEE'S SUMMIT, JACKSON COUNTY, MISSOURI,  
AS SHOWN ON PLAT ENTITLED MINOR PLAT OF RAINTREE 150 CENTER,  
RECORDED APRIL 21, 2004 IN PLAT BOOK 181, PAGE 12 OF THE  
JACKSON COUNTY, MISSOURI RECORDER OF DEEDS OFFICE

**FINAL DEVELOPMENT PLANS**

1. ALL COUNTOURS SHOWN ON THESE PLANS ARE BASED ON U.S.G.S. DATA.
2. ALL GRADING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF LEE'S SUMMIT.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE NECESSARY GRADING TO RESTORE THE GRADE TO THE DESIGN ELEVATIONS.
4. NO SLOPES SHALL BE GRADED STEEPER THAN 3:1 (HORIZONTAL : VERTICAL), AND SHALL BE SEEDED AND MULCHED.
5. ONLY THE DESIGNATED CONSTRUCTION ACCESS ROUTE MAY BE USED TO MOVE EQUIPMENT IN AND OUT. NO OTHER ACCESS POINTS ARE ALLOWED.
6. ALL SILTATION MEASURES MUST BE IN PLACE BEFORE ANY OPERATIONS THAT DISTURB THE NATURAL GRADE COMMENCES. THIS INCLUDES GRUBBING OR STUMP REMOVAL. THE CITY OF LEE'S SUMMIT SHALL BE NOTIFIED UPON COMPLETION OF ALL SILTATION AND EROSION FACILITIES AND SHALL INSPECT AND APPROVE SUCH FACILITIES PRIOR TO THE COMMENCEMENT OF ANY CLEARING OR GRADING ACTIVITIES.
7. SILTATION AND CONTROL FACILITIES MUST BE MAINTAINED THROUGHOUT THE ENTIRE CONSTRUCTION PERIOD. THIS INCLUDES REMOVAL OF MUD FROM SILTATION BASINS AND REPLACEMENT OF THE CITY OF LEE'S SUMMIT APPROVED EROSION CONTROL DEVICES. MUD SHALL NOT BE PERMITTED TO MIGRATE OFF THE SITE. DAMAGE OR FAILURE OF SILTATION AND EROSION CONTROL FACILITIES SHALL BE REPAIR OR REPLACEMENT AT THE CONTRACTOR'S EXPENSE. EROSION CONTROL FACILITIES SHALL BE REINFORCED OR IMMEDIATELY REPAIRED WITHIN 24 HOURS AFTER NOTIFICATION. IF PROPOSED MEASURES FAIL TO ADEQUATELY PROTECT THE ADJOINING PROPERTY ADDITIONAL FACILITIES SHALL BE INSTALLED AS DIRECTED.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES OF CONSTRUCTION TO PROTECT ADJACENT PROPERTIES.
9. SELECTED BY THE CONTRACTOR TO PROTECT OFF-SITE PROPERTY FROM EROSION OR SILTATION. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR DAMAGE CAUSED BY EROSION OR SILTATION DUE TO DEFECTIVE SILTATION CONTROL DEVICES.
10. WASH WATER SHALL BE COLLECTED FROM WASH FACILITIES AND SHALL BE STORED IN A CONTAINER. A TEMPORARY WASH FACILITY SHALL BE PROVIDED TO REMOVE MUD FROM VEHICLES TIRES BEFORE ENTERING THE PUBLIC STREETS.
11. MEASURES SHALL BE TAKEN TO CONTROL SUDS AS NECESSARY.
12. IT SHALL BE THE GRADING CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE SOILS ENGINEER OF WORK IN PROGRESS, AND TO COMPLY WITH ALL RECOMMENDATIONS OF THE SOILS ENGINEER AS TO COMPACTION, SURFACE PREPARATION AND PLACEMENT OF FILL.
13. ALL STUMPS, LIMBS, AND OTHER DEBRIS ARE TO BE REMOVED FROM THE SITE.
14. ALL DRAINAGE SWALES SHALL BE SODDED.
15. ALL FILL AREAS, INCLUDING TRENCH BACKFILLS, UNDER BUILDINGS, PROPOSED STORM AND SANITARY SEWER LINES, PUBLIC RIGHT OF WAY AREAS SHALL BE COMPACTED TO 90% OF MAXIMUM DENSITY AS DETERMINED BY THE MODIFIED AASHTO T-180 "COMPACTION TEST", (A.S.T.M. D- 1557) UNLESS OTHERWISE REQUIRED IN THE SOILS REPORT FOR THIS PROJECT.

NOTE: NOT ALL ABBREVIATIONS USED

AI	AREA INLET
ASPH	ASPHALT
BC	ADJUST TO GRADE
BFP	BOTTOM OF CURB ELEVATION
BEIM	BACKFLOW PREVENTER
BI	BEIMARK
CO	CURB INLET
CONC	CLEAN OUT
E	CONCRETE
ELEV	EAST
EM	ELEVATION
EASMT	ELECTRIC METER
EX	EASEMENT
FF	EXISTING
FX	FINISHED FLOOR ELEVATION
FO	FLOW LINE ELEVATION
GEN	FIBER OPTIC
GI	GENERATOR
HC	GRATE TOP INLET
HHE	HANDICAPPED
HHS	ELECTRIC HAND HOLE
HV	TRAFFIC SIGNAL HAND HOLE
ICVR	SIGNAL LIGHT HAND HOLE
IR	IRRIGATION CONTROL VALVE RECLAIMED
MAX	MAXIMUM
MH	MANHOLE
MIN	MINIMUM
MSD	METROPOLITAN ST. LOUIS SEWER DISTRICT
NE	NORTH
NW	NORTHEAST
FB	NORTHWEST
PERM	FLAT BOOK
P	PERMANENT
PG	PAGE
PAGES	PAGES
PL	PROPERTY LINE
PVC	POLYVINYL CHLORIDE
PAVMT	PAVEMENT
R	RADIUS
REC	REINFORCED CONCRETE PIPE
ROP	RECORD
R/W	RIGHT OF WAY
S	RIGHT OF WAY
S	SOUTH
SE	SOUTHEAST
SF	SQUARE FEET
SURV	SURVEY
SW	SOUTHWEST
TBR	TO BE REMOVED
TC	TOP OF CURB ELEVATION
TFP	TRANSFORMER PAD
UF	TYPICAL
UGFO	UNDERGROUND FIBER OPTIC LINE
U	USE IN PLACE
VCP	VITRIFIED CLAY PIPE
W	WEST

THE SITEWORK ON THIS PROJECT SHALL MEET OR EXCEED ALL STANDARDS AND SPECIFICATIONS REQUIRED BY THE CITY OF LEE'S SUMMIT.

2. CASCO DIVERSIFIED CORPORATION HAS NOT PERFORMED ANY INVESTIGATION REGARDING UNDERGROUND CONDITIONS, HAZARDOUS WASTES, OR UTILITIES AFFECTING THE SITE SHOWN HEREIN.

3. ALL DIMENSIONS ARE FROM THE FACE OF CURB UNLESS OTHERWISE NOTED.

4. ALL DISTURBED AREAS OUTSIDE OF PAVEMENT AND BUILDING PAD AREAS SHALL RECEIVE 4" OF SUITABLE TOPSOIL. CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING ANY SOIL REMOVED OUTSIDE OF PAVEMENT UNTIL SUFFICIENT VEGETATIVE GROWTH HAS BEEN ESTABLISHED PER THE SWPPP. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MEANS AND METHODS REQUIRED TO RE-ESTABLISH PERMANENT SOIL STABILIZATION.

5. ALL "KEY" MONUMENTS DISTURBED DURING CONSTRUCTION SHALL BE REPLACED BY LICENSED PROFESSIONAL SURVEYOR IN THE STATE OF MISSOURI AT THE CONTRACTOR'S OWN EXPENSE.

6. ALL TRENCHES EXCAVATED UNDERNEATH AREAS TO BE PAVED SHALL BE BACKFILLED WITH COMPACTED GRANULAR MATERIAL AND COMPACTED TO MEET REQUIREMENTS OF THE GEOTECHNICAL REPORT AND CITY OF LEE'S SUMMIT REQUIREMENTS.

7. CONTRACTOR SHALL BE RESPONSIBLE FOR UNDERGROUND PIPING AND CONDUITS PER THE REQUIREMENTS OF THE RESPECTIVE MANUFACTURERS AND THE CITY OF LEE'S SUMMIT.

8. IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, NEITHER THE OWNER NOR THE ENGINEER WILL BE RESPONSIBLE FOR COMPLIANCE WITH ALL LOCAL, STATE, AND FEDERAL SAFETY MEASURES AND REGULATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAFETY MEASURES AND REGULATIONS. CONTRACTOR SHALL BE COMPLETELY AND SOLELY RESPONSIBLE FOR JOB SITE CONDITIONS, INCLUDING SAFETY OF ALL PROPERTY AND PERSONS AT ALL TIMES DURING THE PERFORMANCE OF THE WORK. THIS REQUIREMENT APPLIES CONTINUOUSLY AND IS NOT LIMITED TO NORMAL WORKING HOURS. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING, MAINTAINING, AND IMPLEMENTING ALL SAFETY DEVICES AND PRACTICES DURING CONSTRUCTION.

9. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL PUBLIC AND PRIVATE PROPERTY ADJACENT TO THE WORK AREA. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES AND AREAS. CONTRACTOR SHALL BE RESPONSIBLE TO RESTORE TO EQUAL OR BETTER CONDITION THAN THE ORIGINAL CONDITION AT THE CONTRACTOR'S OWN EXPENSE. ALL IMPROVEMENTS WITHIN OR ADJACENT TO THE AREA OF WORK WHICH ARE NOT DESIGNATED FOR REMOVAL OR ADJUSTMENT AND WHICH ARE DAMAGED OR REMOVED AS A RESULT OF THE CONTRACTOR'S ACTIONS.

10. CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING ALL CONDITIONS, CONDITIONS REQUIRING CONSTRUCTION DIFFERENT THAN THAT SHOWN ON THE PLANS SHALL BE REPORTED TO THE ENGINEER PRIOR TO PROCEEDING WITH THE AFFECTED WORK.

11. CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING PRESENCE AND LOCATIONS (VERTICALLY AND HORIZONTALLY) OF ALL UTILITIES IN NO WAY DOES THE ENGINEER OR THE OWNER SUGGEST, IMPLY, OR CONFIRM THAT UTILITIES SHOWN ARE INCLUSIVE OF ALL UTILITIES WITHIN THE PROJECT AREA. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING PRESENCE AND LOCATIONS OF ALL UTILITIES AND LOSS TO EXISTING UTILITIES SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. SHOULD ANY DAMAGE OCCUR AS A RESULT OF THE CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL REPLACE OR REPAIR THE DAMAGES TO THE FULL SATISFACTION OF THE CITY OF LEE'S SUMMIT. CONTRACTOR SHALL BE RESPONSIBLE TO DEFEND, INDEMNIFY, AND HOLD THE CITY OF LEE'S SUMMIT HARMLESS, THE OWNER AND THE ENGINEER FROM ANY AND ALL DAMAGES OR LOSS.

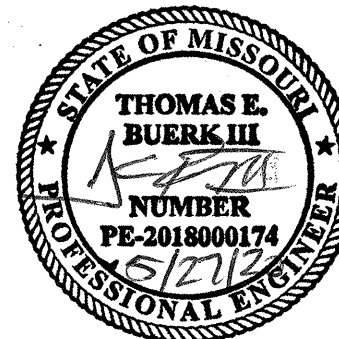


<u>PROPERTY ADDRESS:</u>	155 SW M-150 HIGHWAY
<u>ZIP CODE:</u>	64082
<u>MUNICIPALITY:</u>	CITY OF LEE'S SUMMIT
<u>TOTAL SITE AREA:</u>	1.4047 ACRES (61,187± SF)
<u>AREA OF DISTURBANCE:</u>	0.5405 ACRES (23,546± SF)
<u>CURRENT ZONING:</u>	CP-2 CORRIDOR DEVELOPMENT OVERLAY DISTRICT
<u>INTENDED USE:</u>	CP-2 CORRIDOR DEVELOPMENT OVERLAY DISTRICT
<u>PARCEL ID:</u>	70-820-03-02-00-0-00-000

BUILDING RENOVATION  
155 SW M-150 HIGHWAY  
LEE'S SUMMIT, MO 64082

CONSTR. DOC. & REVISIONS	
No. Description	Date

CASCO DIVERSIFIED CORPORATION  
CERTIFICATE OF AUTHORITY  
#000613 12/31/21



PROFESSIONAL OF RECORD  
Buerk III, Thomas E.  
License NO. PE-2018000174  
Expiration Date 12/31/20

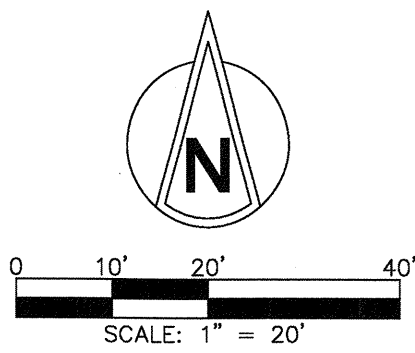
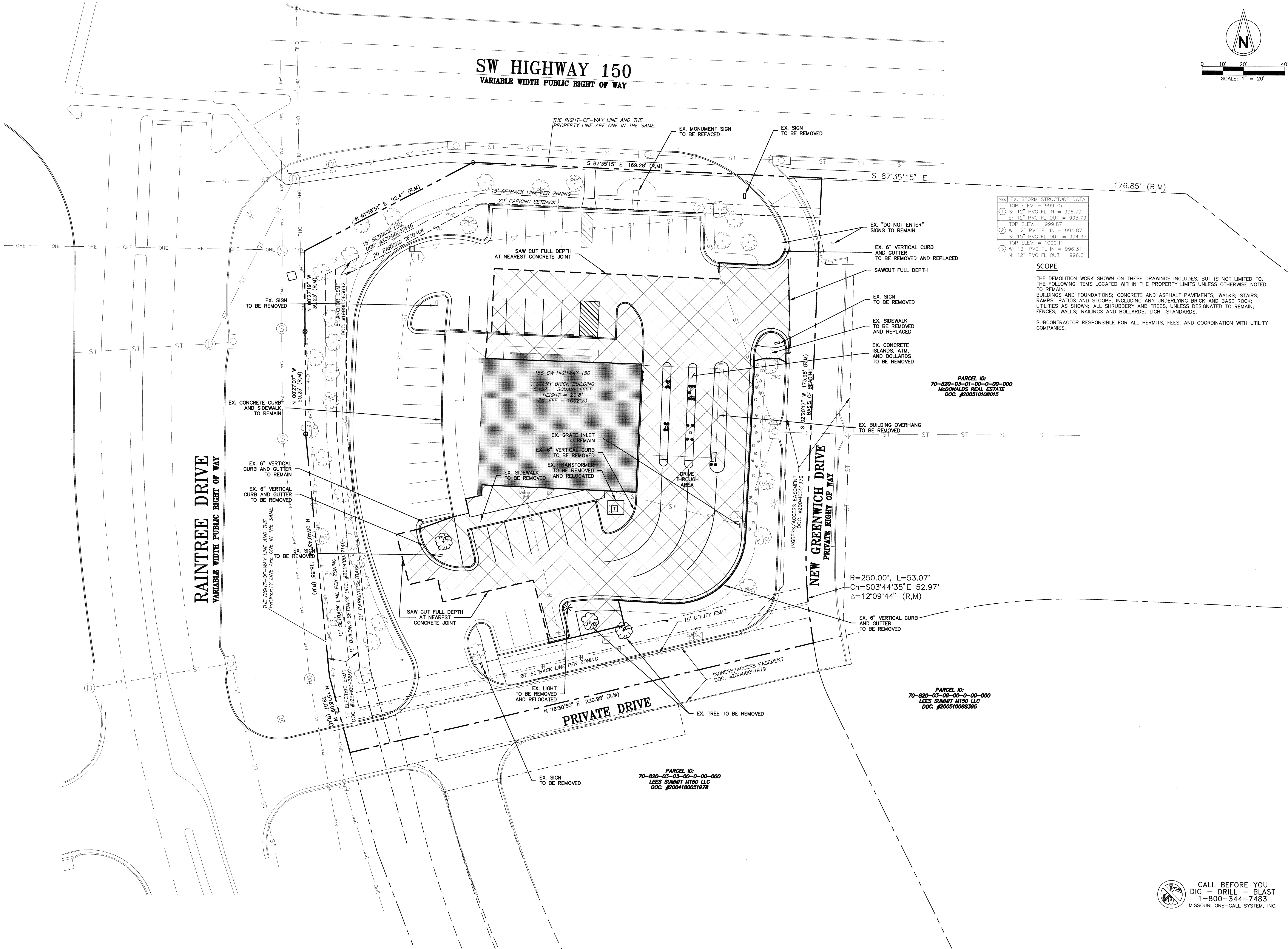
Drawn By/Checked By:	MEB/TEB
Project Number	320488
Permit Date	05-27-20

# COVER



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1-800-344-7483  
MISSOURI ONE-CALL SYSTEM, INC.

C0.0



**BUILDING RENOVATION**  
**155 SW M-150 HIGHWAY**  
**LEE'S SUMMIT, MO 64082**

No. EX. STORM STRUCTURE DATA	
1	TOP ELEV. = 999.75 S: 12" PVC FL IN = 996.79 E: 12" PVC FL OUT = 995.79 TOP ELEV. = 999.87 W: 12" PVC FL IN = 994.87 S: 15" PVC FL OUT = 994.37
2	TOP ELEV. = 1000.11 W: 12" PVC FL IN = 996.31 N: 12" PVC FL OUT = 996.01

**SCOPE**

THE DEMOLITION WORK SHOWN ON THESE DRAWINGS INCLUDES, BUT IS NOT LIMITED TO, THE FOLLOWING ITEMS LOCATED WITHIN THE PROPERTY LIMITS UNLESS OTHERWISE NOTED TO REMAIN:  
BUILDINGS AND FOUNDATIONS; CONCRETE AND ASPHALT PAVEMENTS; WALKS; STAIRS; RAMPS; PATIOS AND STOOPS, INCLUDING ANY UNDERLYING BRICK AND BASE ROCK; UTILITIES AS SHOWN; ALL SHRUBBERY AND TREES, UNLESS DESIGNATED TO REMAIN; FENCES; WALLS; RAILINGS AND BOLLARDS; LIGHT STANDARDS.

SUBCONTRACTOR RESPONSIBLE FOR ALL PERMITS, FEES, AND COORDINATION WITH UTILITY COMPANIES.

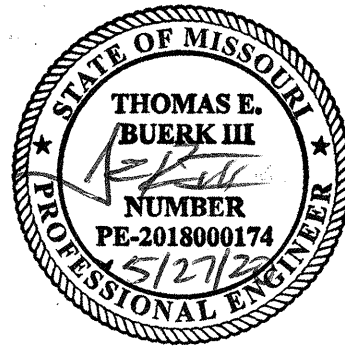
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**70-820-03-01-00-0-00-000**  
**McDONALDS REAL ESTATE**  
**DOC. #200510108015**

**PARCEL ID:**  
**70-820-03-06-00-0-00-000**  
**LEES SUMMIT M150 LLC**  
**DOC. #200510083365**

**PARCEL ID:**  
**70-820-03-03-00-0-00-000**  
**LEES SUMMIT M150 LLC**  
**DOC. #2004180051978**

No.	Description	Date
	CONSTR. DOC. & REVISIONS	

CASCO DIVERSIFIED CORPORATION  
CERTIFICATE OF AUTHORITY  
#000613 12/31/21



**PROFESSIONAL OF RECORD**  
Buerk III, Thomas E.  
License NO. PE-2018000174  
Expiration Date 12/31/20

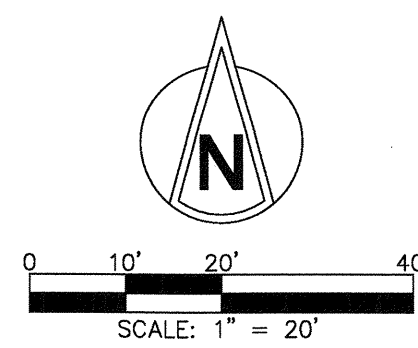
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Project Number	320488
Permit Date	05-27-20



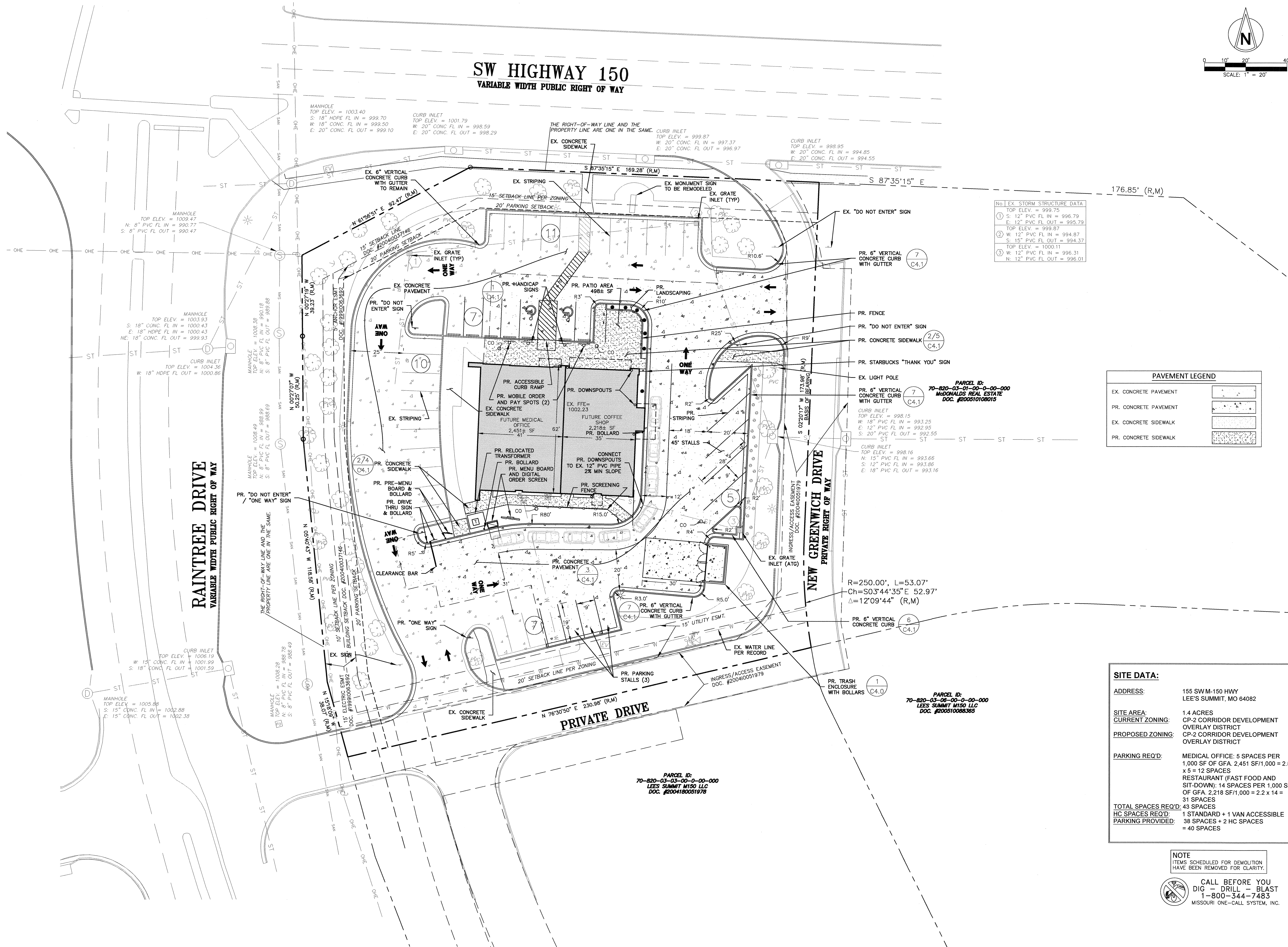
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MISSOURI ONE-CALL SYSTEM, INC.

**DEMOLITION**  
**PLAN**

**C1.0**



**SW HIGHWAY 150**  
**VARIABLE WIDTH PUBLIC RIGHT OF WAY**



**NO. EX. STORM STRUCTURE DATA**

①	TOP ELEV. = 999.75
	S: 12" PVC FL IN = 996.79
	E: 12" PVC FL OUT = 995.79
②	TOP ELEV. = 999.87
	W: 12" PVC FL IN = 994.87
	S: 15" PVC FL OUT = 994.37
③	TOP ELEV. = 1000.11
	W: 12" PVC FL IN = 996.31
	N: 12" PVC FL OUT = 996.01

**PAVEMENT LEGEND**

EX. CONCRETE PAVEMENT	
PR. CONCRETE PAVEMENT	
EX. CONCRETE SIDEWALK	
PR. CONCRETE SIDEWALK	

**SITE DATA:**

<b>ADDRESS:</b>	155 SW M-150 HWY LEE'S SUMMIT, MO 64082
<b>SITE AREA:</b>	1.4 ACRES
<b>CURRENT ZONING:</b>	CP-2 CORRIDOR DEVELOPMENT OVERLAY DISTRICT
<b>PROPOSED ZONING:</b>	CP-2 CORRIDOR DEVELOPMENT OVERLAY DISTRICT
<b>PARKING REQ'D:</b>	MEDICAL OFFICE: 5 SPACES PER 1,000 SF OF GFA. 2,451 SF/1,000 = 2.5 x 5 = 12 SPACES RESTAURANT (FAST FOOD AND SIT-DOWN): 14 SPACES PER 1,000 SF OF GFA. 2,218 SF/1,000 = 2.2 x 14 = 31 SPACES
<b>TOTAL SPACES REQ'D:</b>	43 SPACES
<b>HC SPACES REQ'D:</b>	1 STANDARD + 1 VAN ACCESSIBLE
<b>PARKING PROVIDED:</b>	38 SPACES + 2 HC SPACES = 40 SPACES

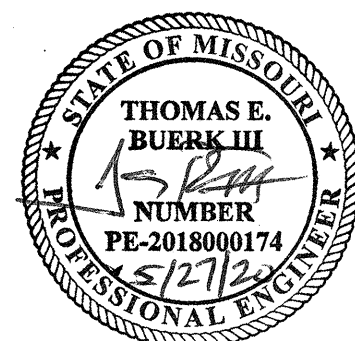
**NOTE**  
ITEMS SCHEDULED FOR DEMOLITION  
HAVE BEEN REMOVED FOR CLARITY.



**CALL BEFORE YOU  
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1-800-344-7483  
MISSOURI ONE-CALL SYSTEM, INC.

No.	Description	Date
CONSTR. DOC. & REVISIONS		

CASCO DIVERSIFIED CORPORATION  
CERTIFICATE OF AUTHORITY  
#000613 12/31/21

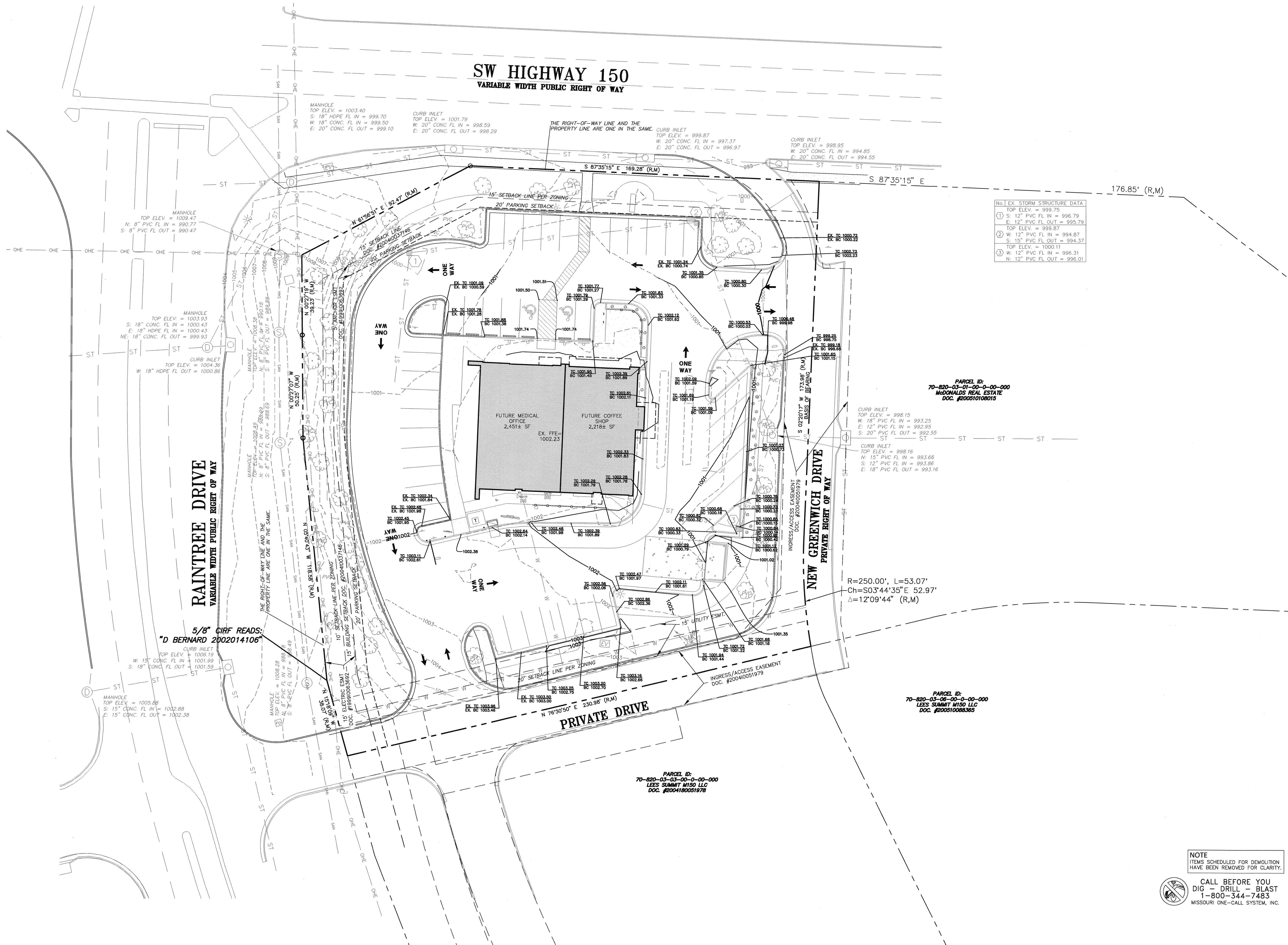


**PROFESSIONAL OF RECORD**  
Buark III, Thomas E.  
License No. PE-2018000174  
Expiration Date 12/31/20

Drawn By/Checked By: MEB/TEB  
Project Number 320488  
Permit Date 05-27-20

**SITE & UTILITY  
PLAN**

**BUILDING RENOVATION**  
**155 SW M-150 HIGHWAY**  
**LEE'S SUMMIT, MO 64082**

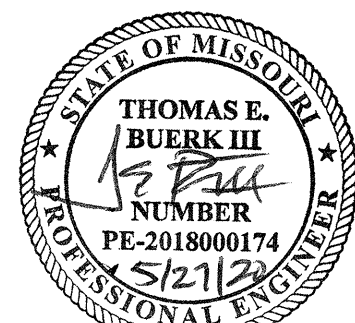


CONSTR. DOC. & REVISIONS

Date

No. Description

CASCO DIVERSIFIED CORPORATION  
CERTIFICATE OF AUTHORITY  
#000613 12/31/21

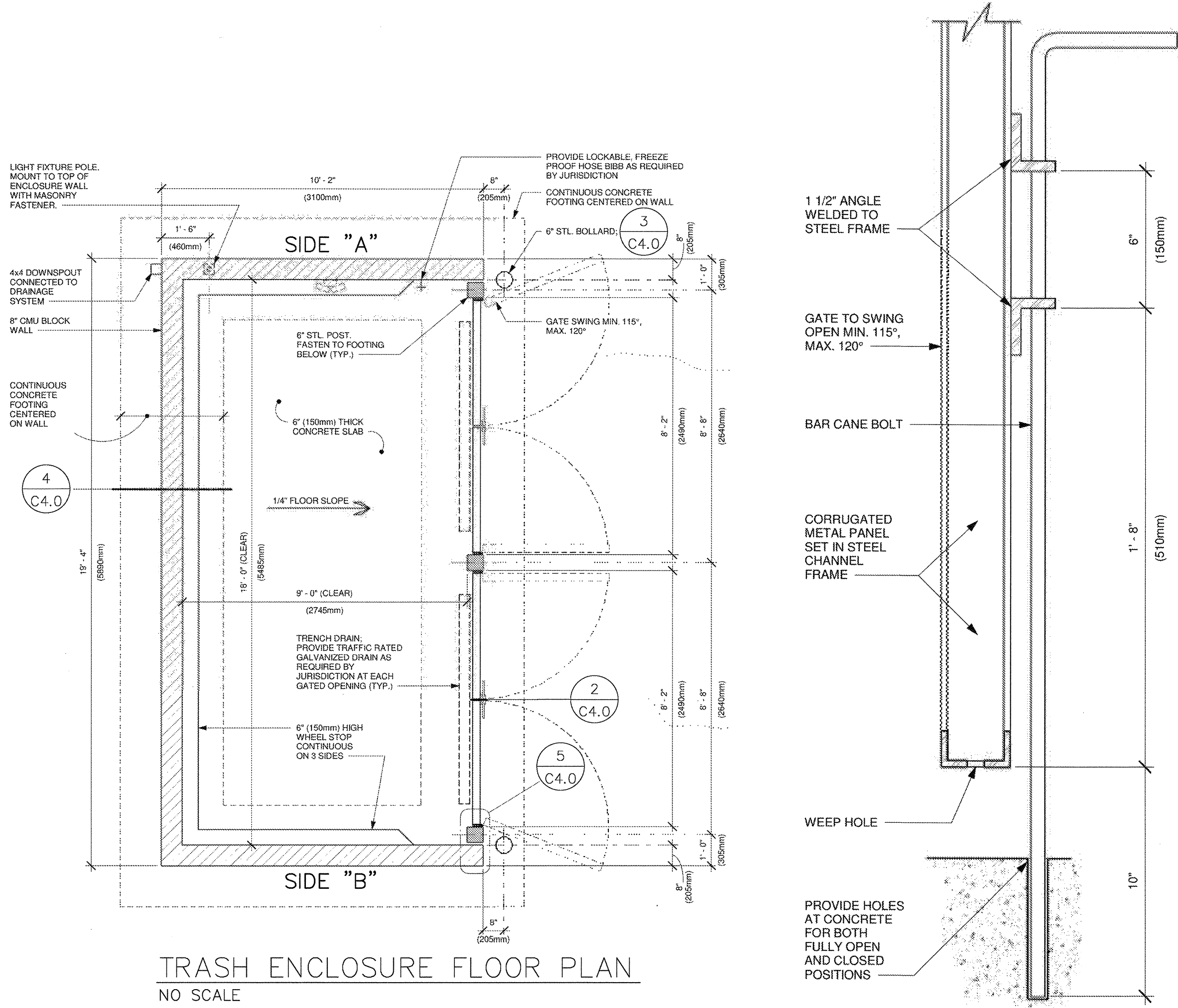


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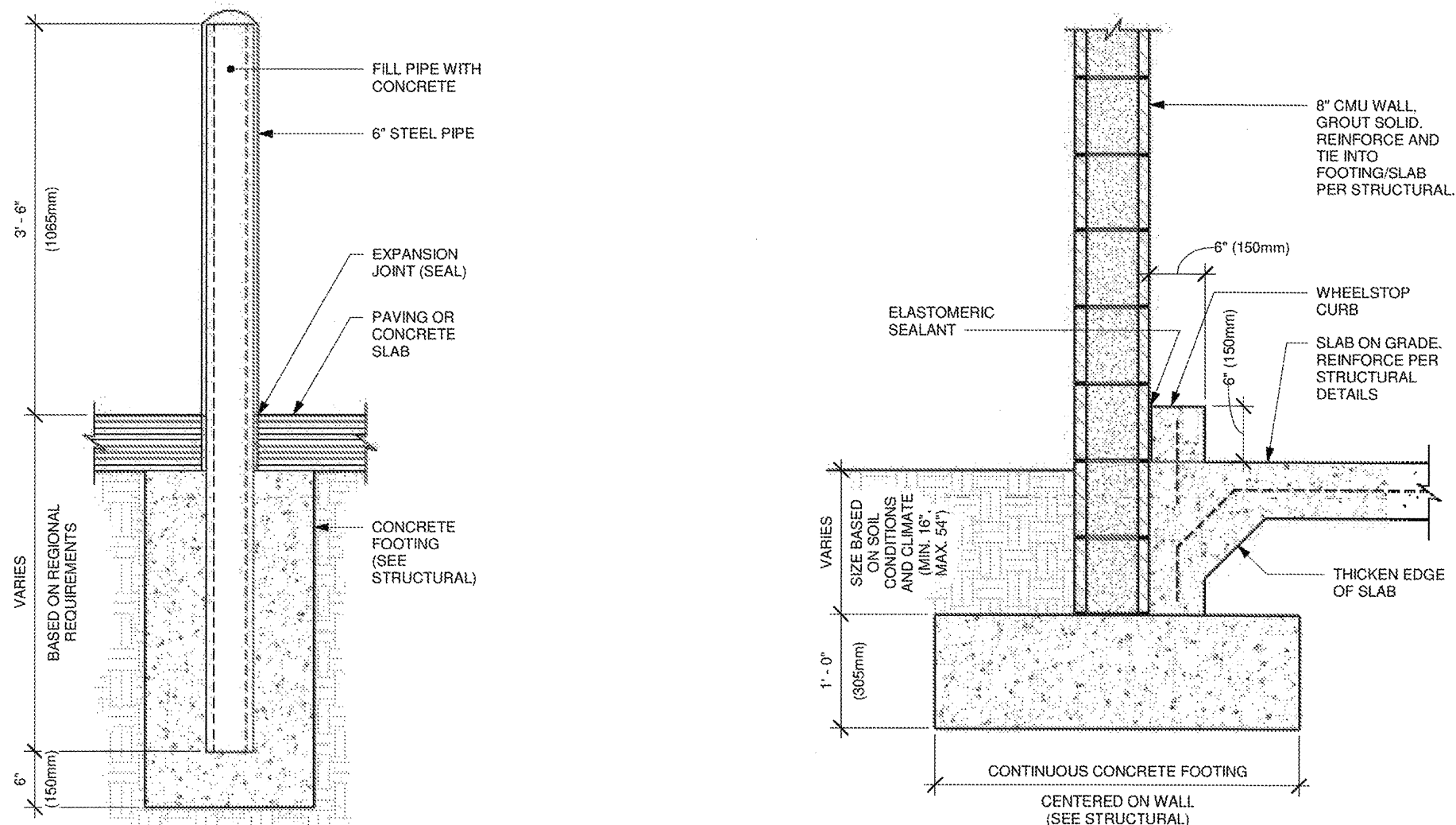
**GRADING PLAN**

**C3.0**



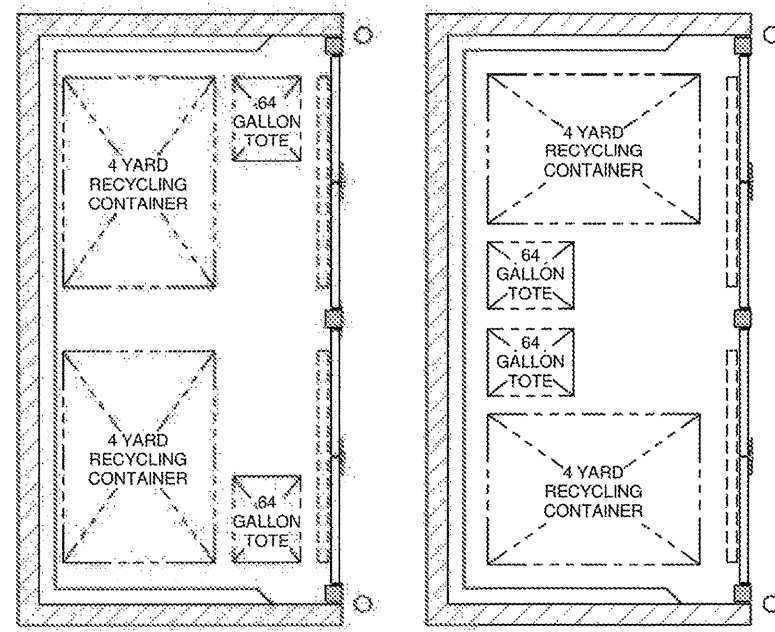
TRASH ENCLOSURE FLOOR PLAN  
NO SCALE

SECTION AT CANE BOLT  
NO SCALE

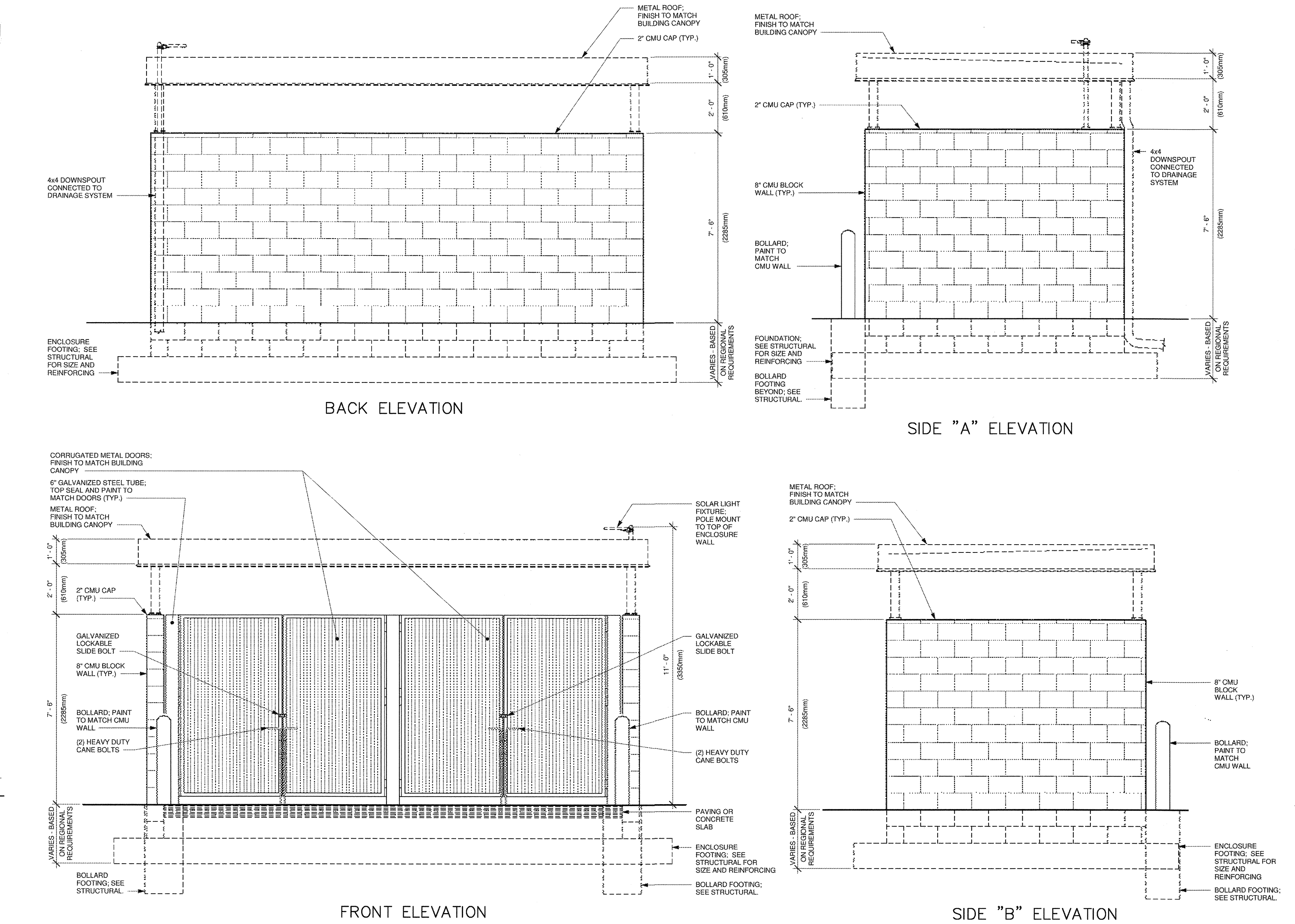


TRASH ENCLOSURE BOLLARD  
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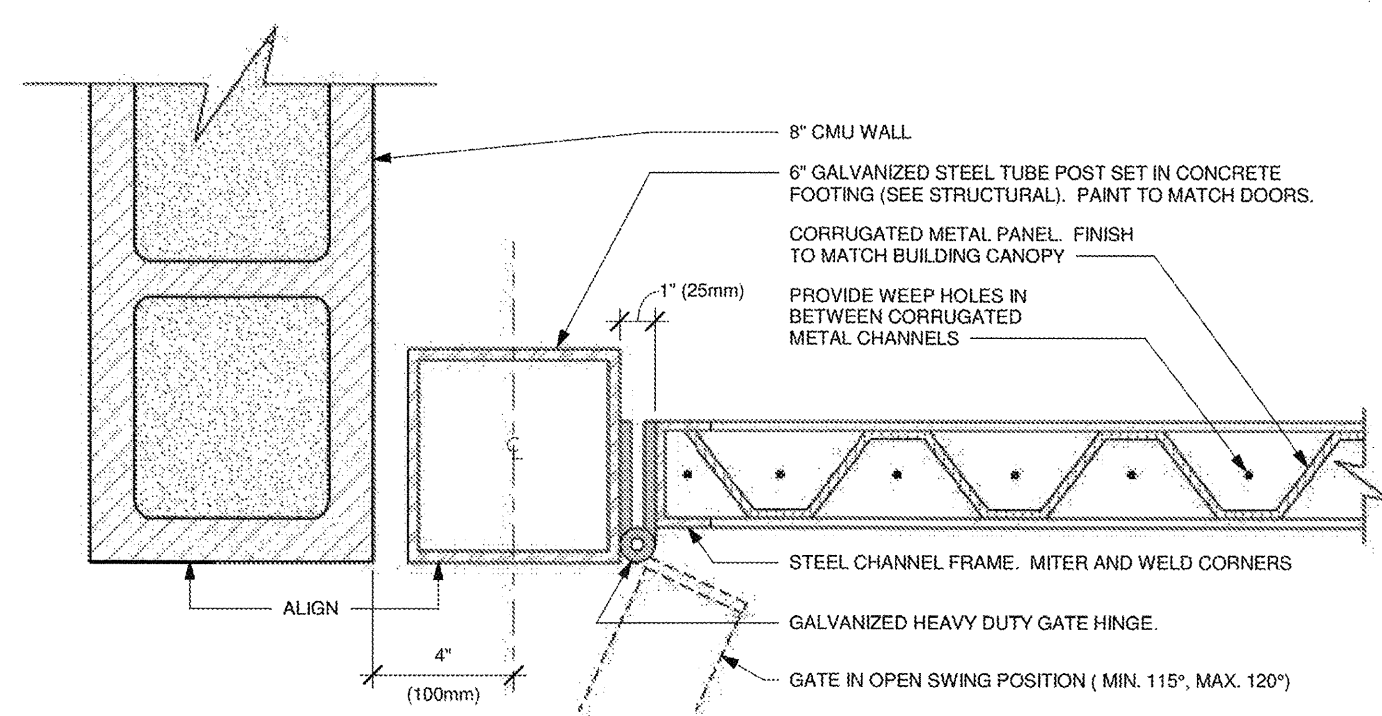
TYPICAL CMU WALL FOOTING  
NO SCALE



TRASH ENCLOSURE LAYOUT OPTIONS



TRASH ENCLOSURE ELEVATIONS  
NO SCALE



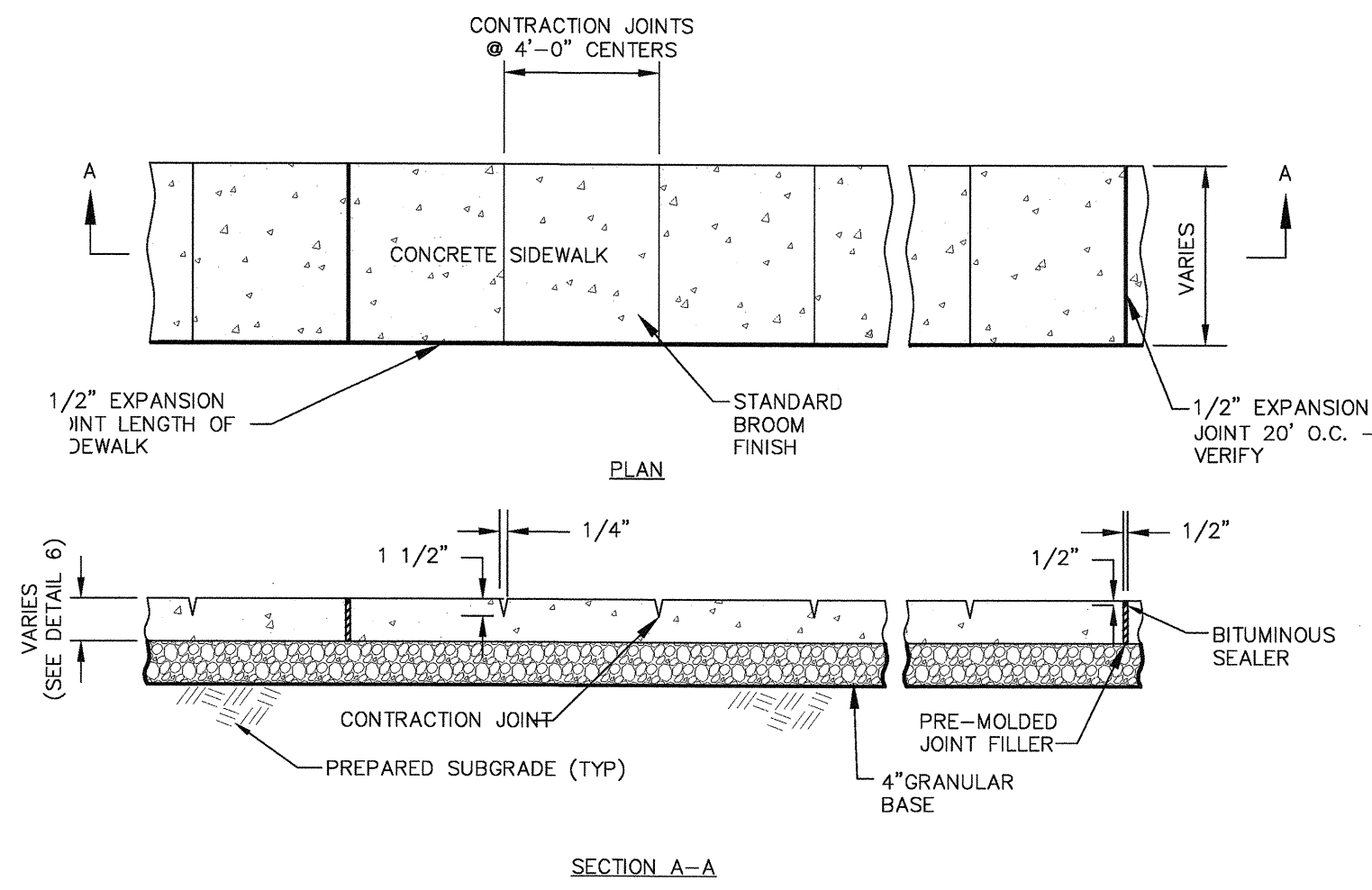
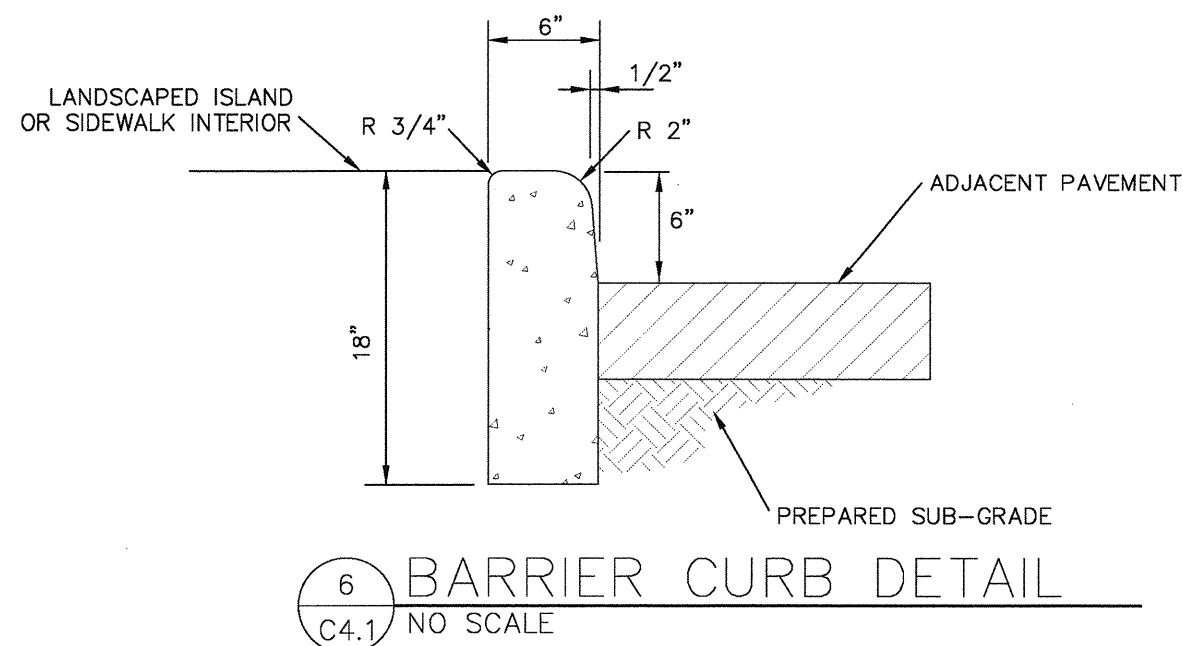
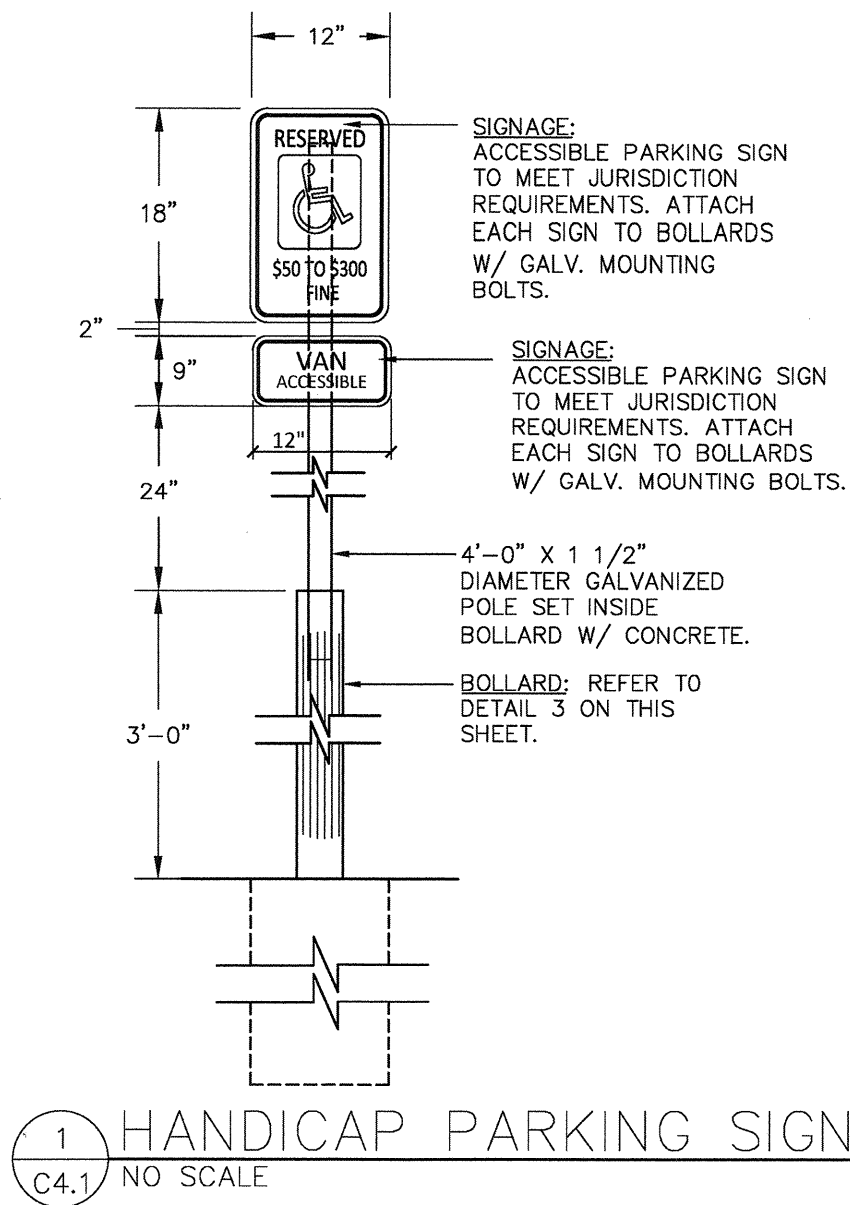
TRASH ENCLOSURE GATE HINGE DETAIL  
NO SCALE

#### EXTERIOR FINISH NOTES

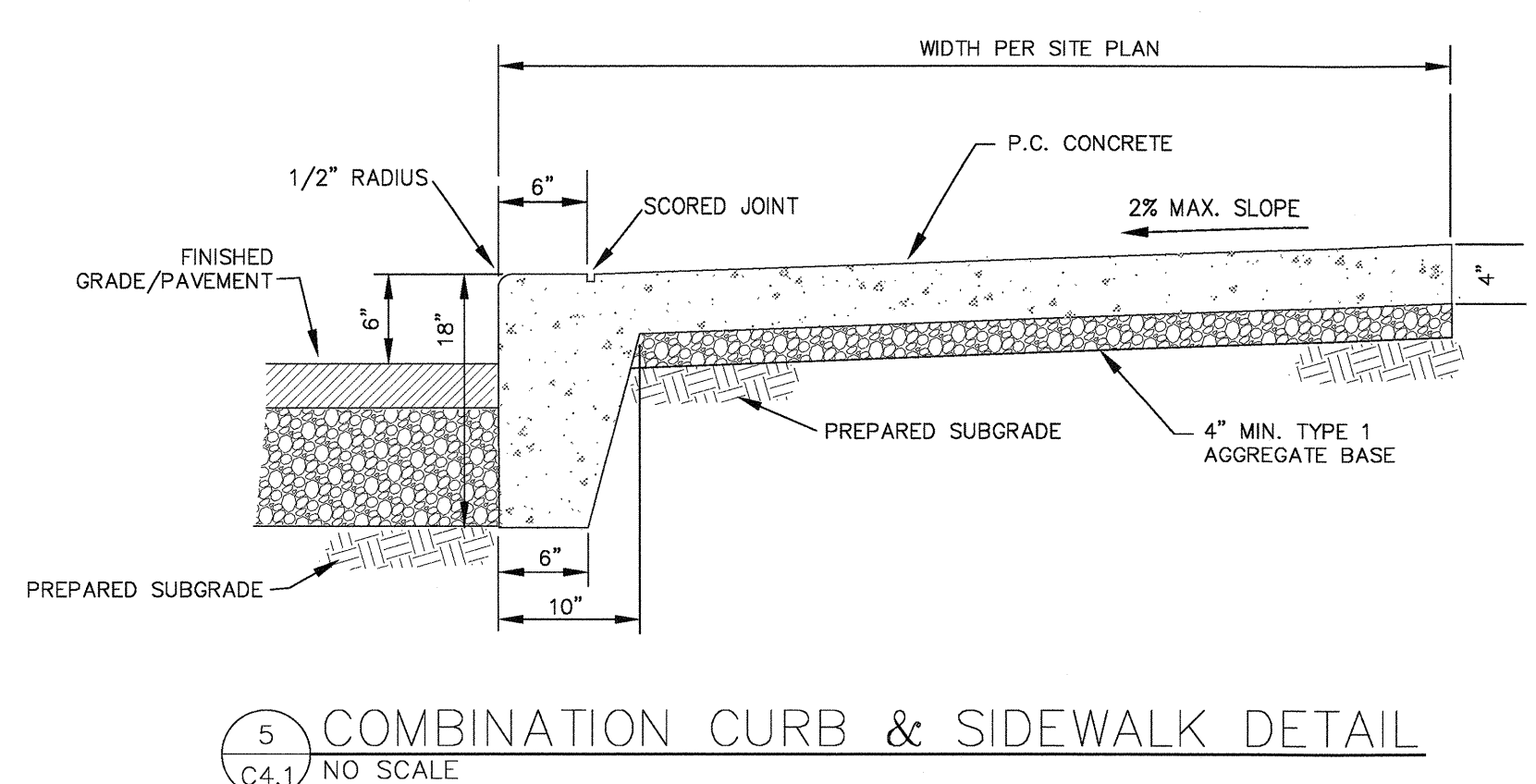
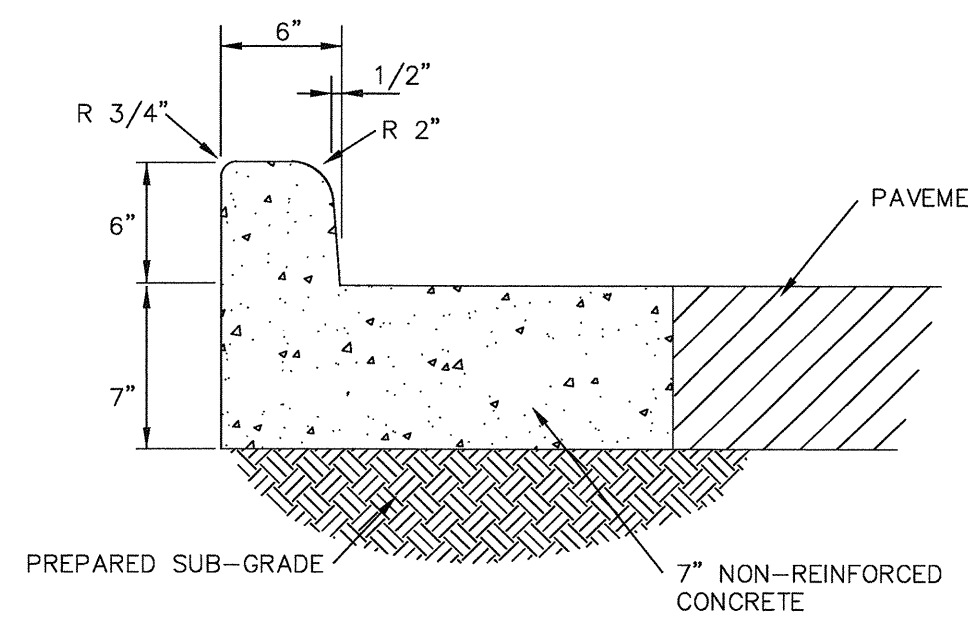
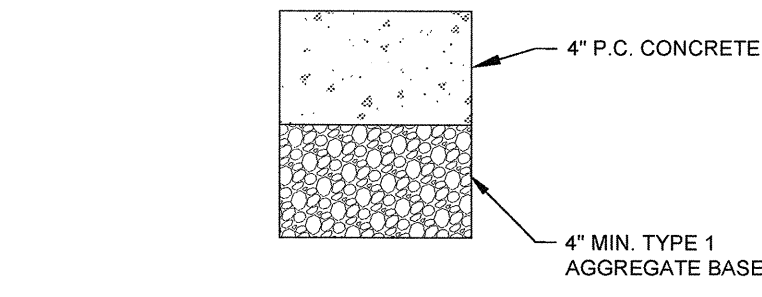
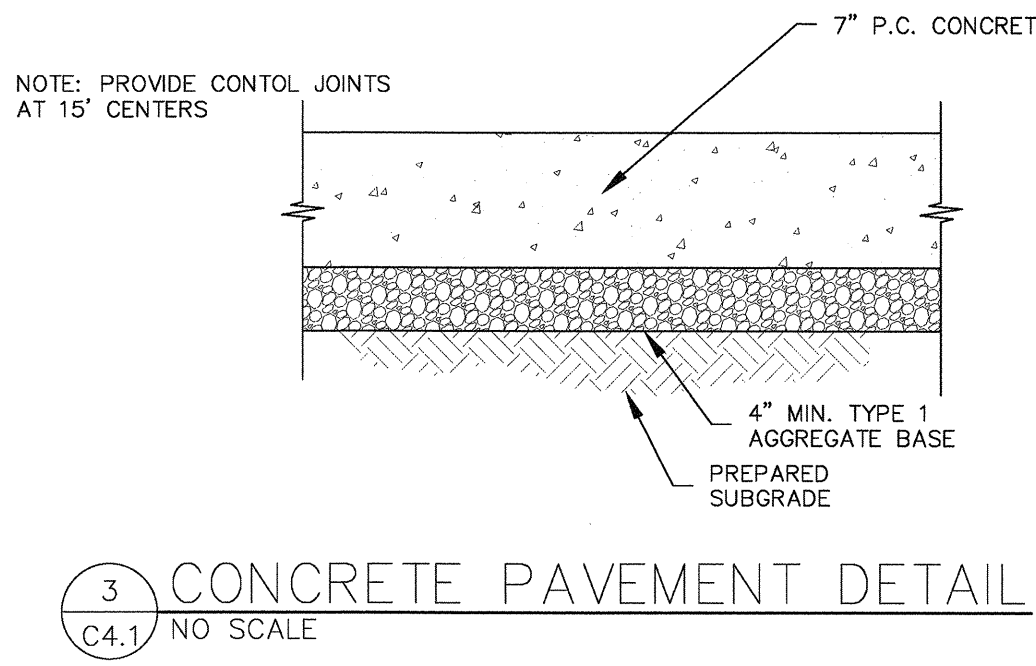
- THE INTERIOR WALL SURFACES OF THE TRASH ENCLOSURE ARE TO BE SMOOTH, SEALED AND WASHABLE. APPLY ONE COAT EPOXY FILLER/SEALER AND ONE COAT GLOSS POLYURETHANE.
- RUNNING BOND INTEGRAL CMU COLOR OR CMU PAINTED TO MATCH BUILDING. STRUCTURAL ENGINEER TO PROVIDE MASONRY SPECIFICATIONS.

LIGHTING FIXTURE SCHEDULE - "L"					
DESIGN ID	COUNT	DESCRIPTION	FURN. BY	INST. BY	BULB COMMENTS
OTHER					
19130	1	LED SOLAR SECURITY FLOOD LIGHT DOUBLE - BLACK			INTEGRATED LED MOTION ACTIVATED
19135	1	LED SOLAR SECURITY DOWNLIGHT - GREY			INTEGRATED LED MOTION ACTIVATED





- NOTES:
- ALL CONCRETE SHALL BE MIN. FC.=3000 P.S.I.
  - ALL CONSTRUCTION MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH LOCAL MUNICIPAL ORDINANCES.
  - ANY UNSUITABLE SOIL (AS DETERMINED BY SOILS ENGINEER) BELOW STRUCTURE SHALL BE REMOVED AND REPLACED WITH SELECT EARTHEN MATERIAL COMPACTED IN PLACE WITH VIBRATORY TAMPER.
  - PROVIDE 1/2" EXPANSION JOINTS AT 20' CENTERS.



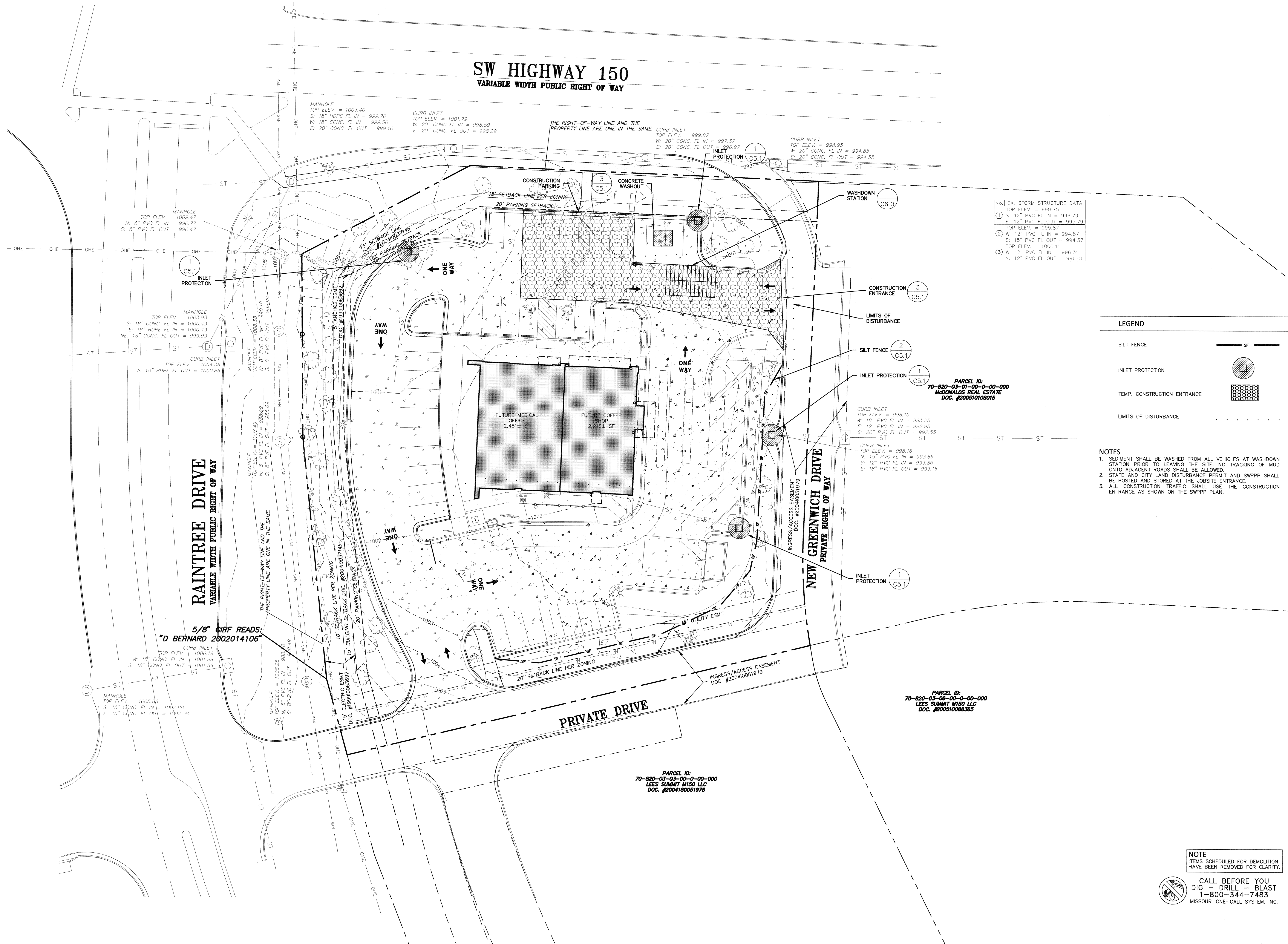
No.	Description	Date
CONSTR. DOC. & REVISIONS		

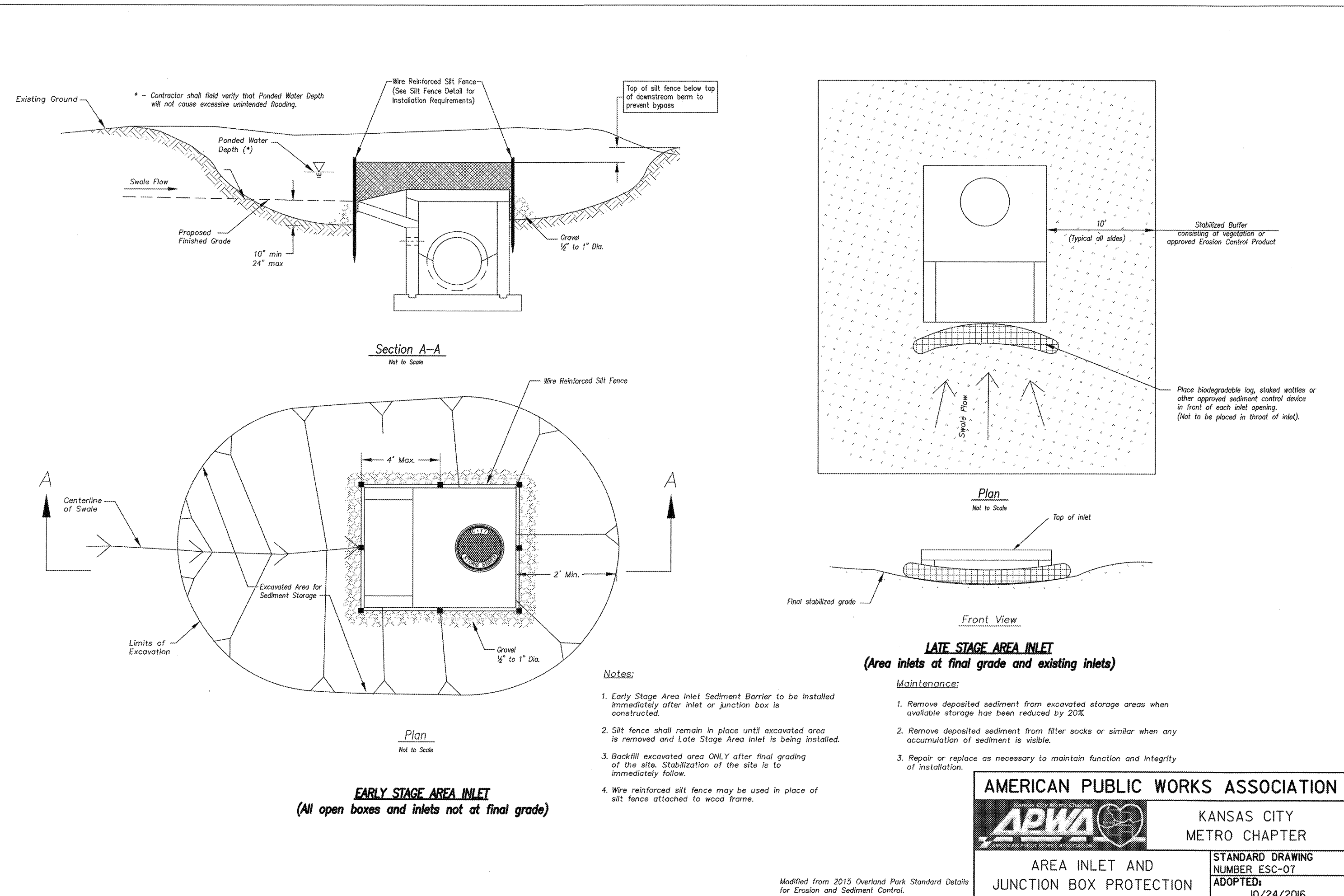
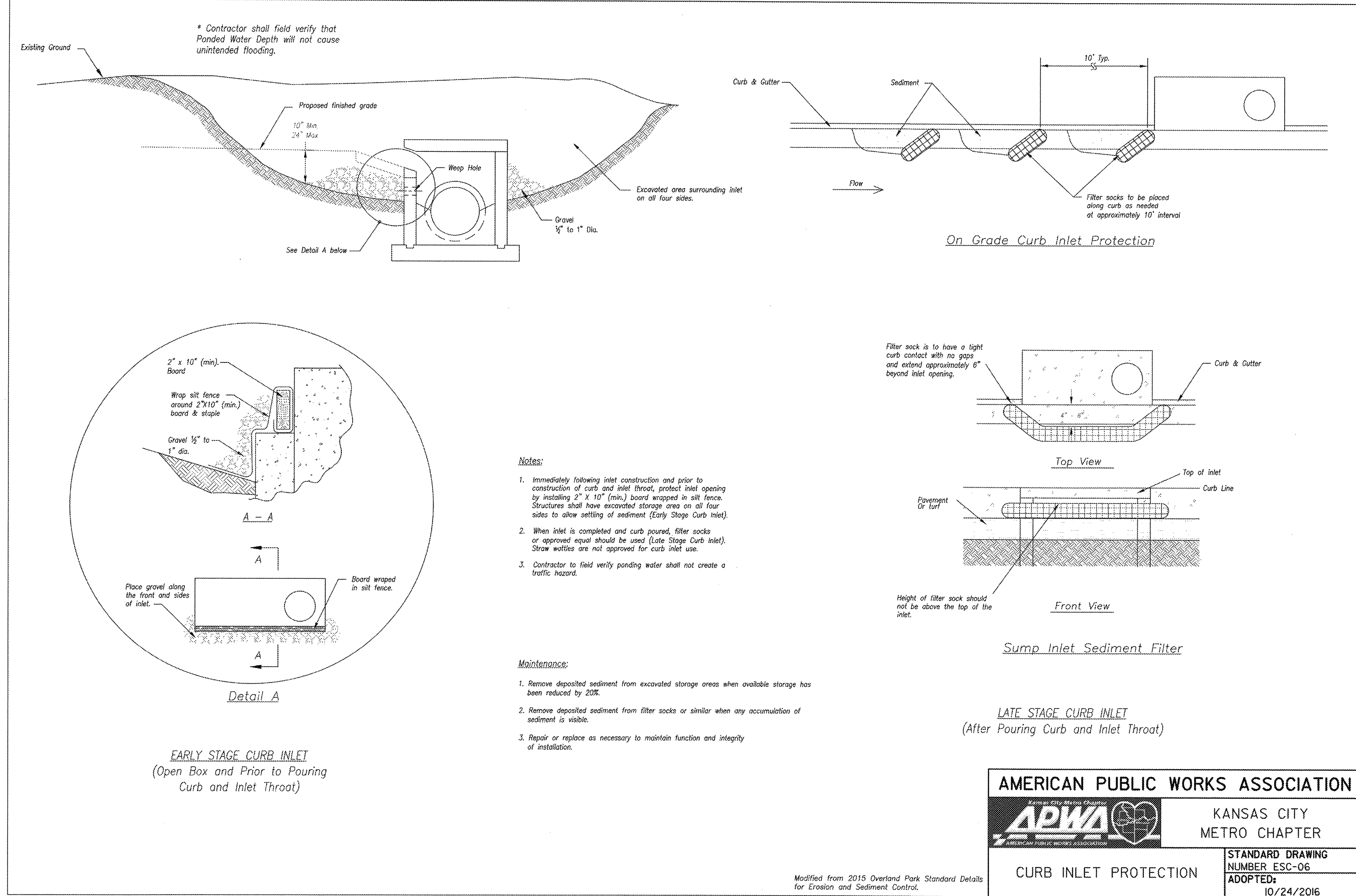
CASCO DIVERSIFIED CORPORATION  
CERTIFICATE OF AUTHORITY  
#000613 12/31/21

STATE OF MISSOURI  
THOMAS E. BUERK III  
PE-2018000174  
5/27/20  
PROFESSIONAL ENGINEER

PROFESSIONAL OF RECORD  
Buerk III, Thomas E.  
License NO. PE-2018000174  
Expiration Date 12/31/20

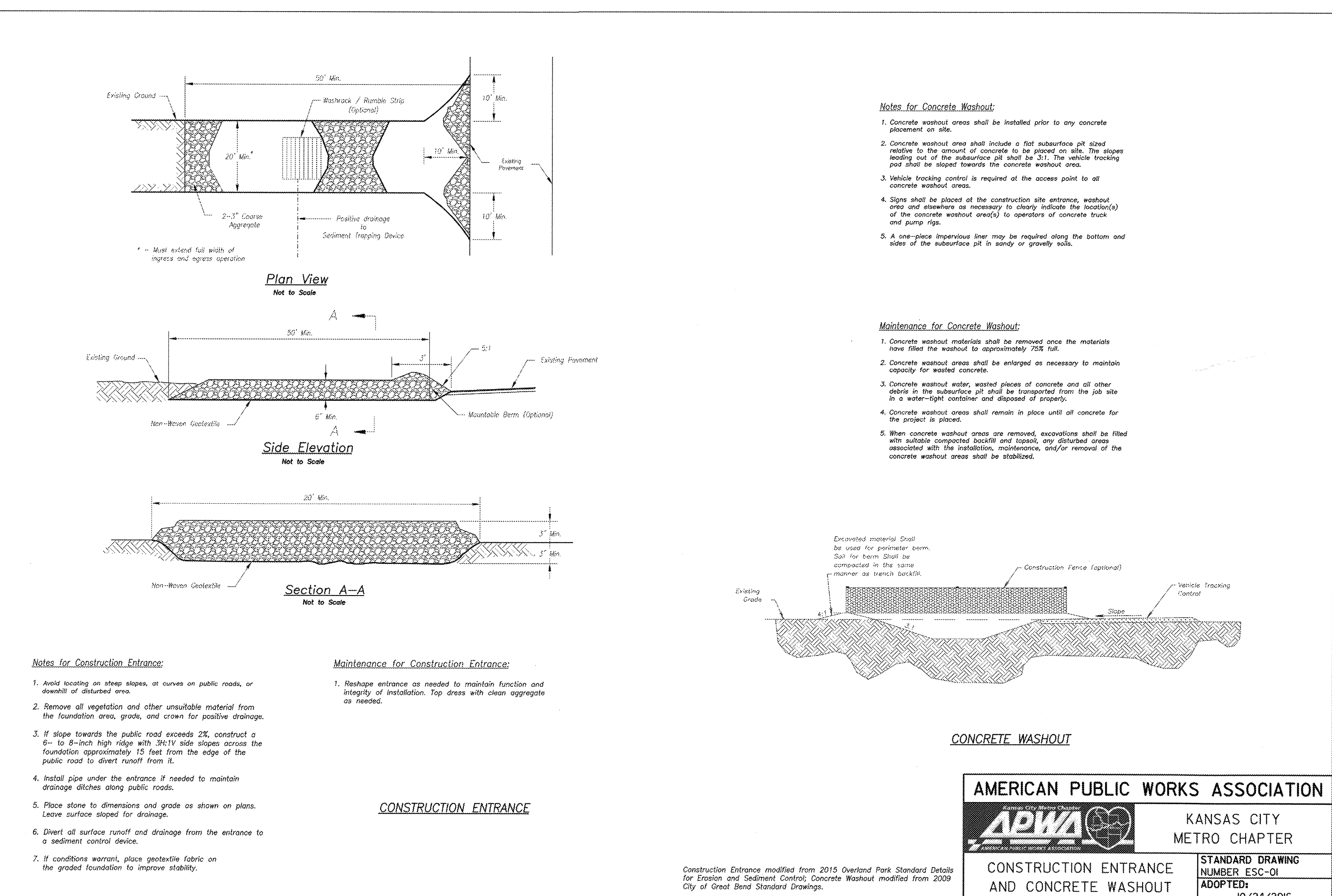
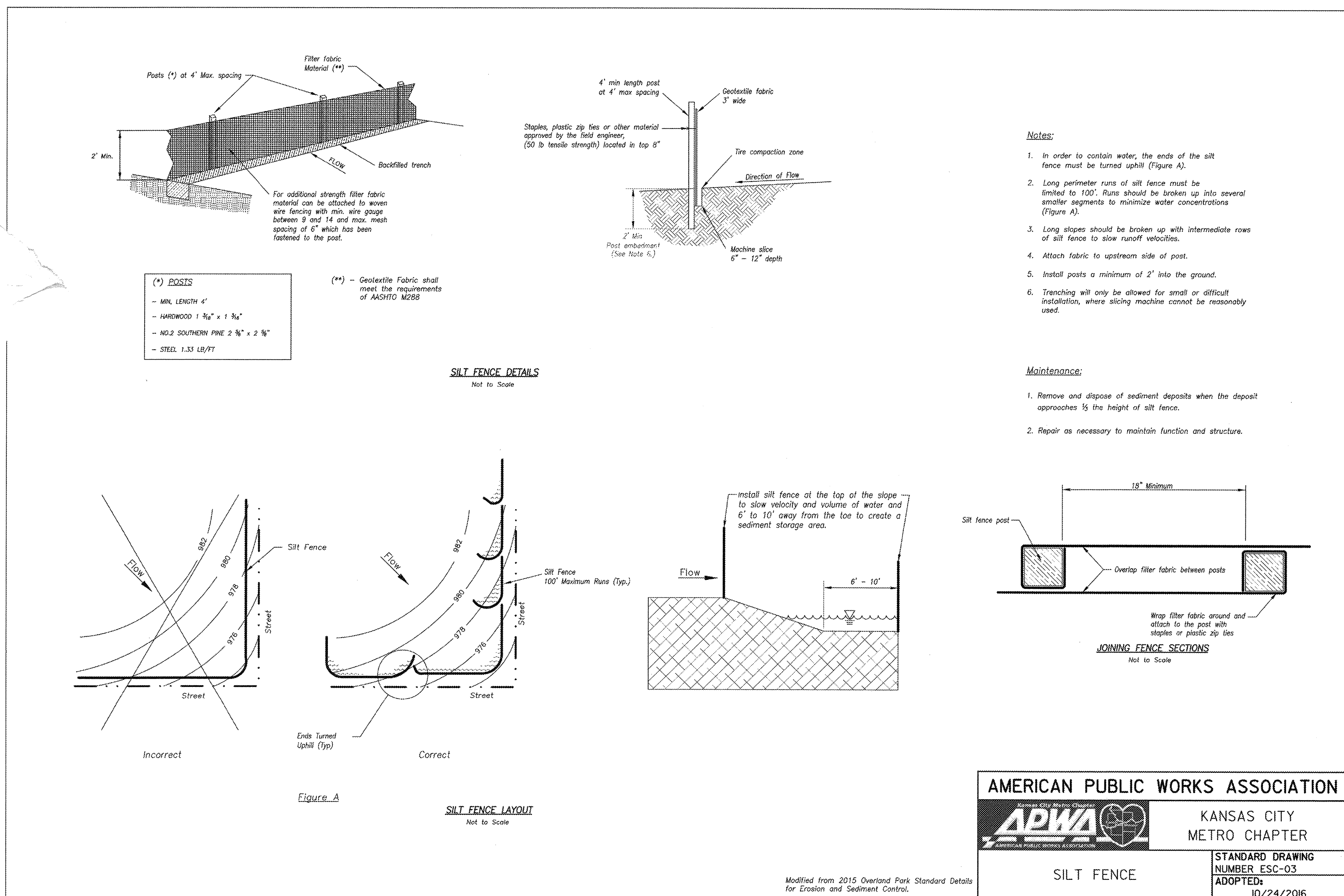
Drawn By/Checked By: MEB/TEB  
Project Number 320488  
Permit Date 05-27-20





## 1 INLET PROTECTION DETAILS

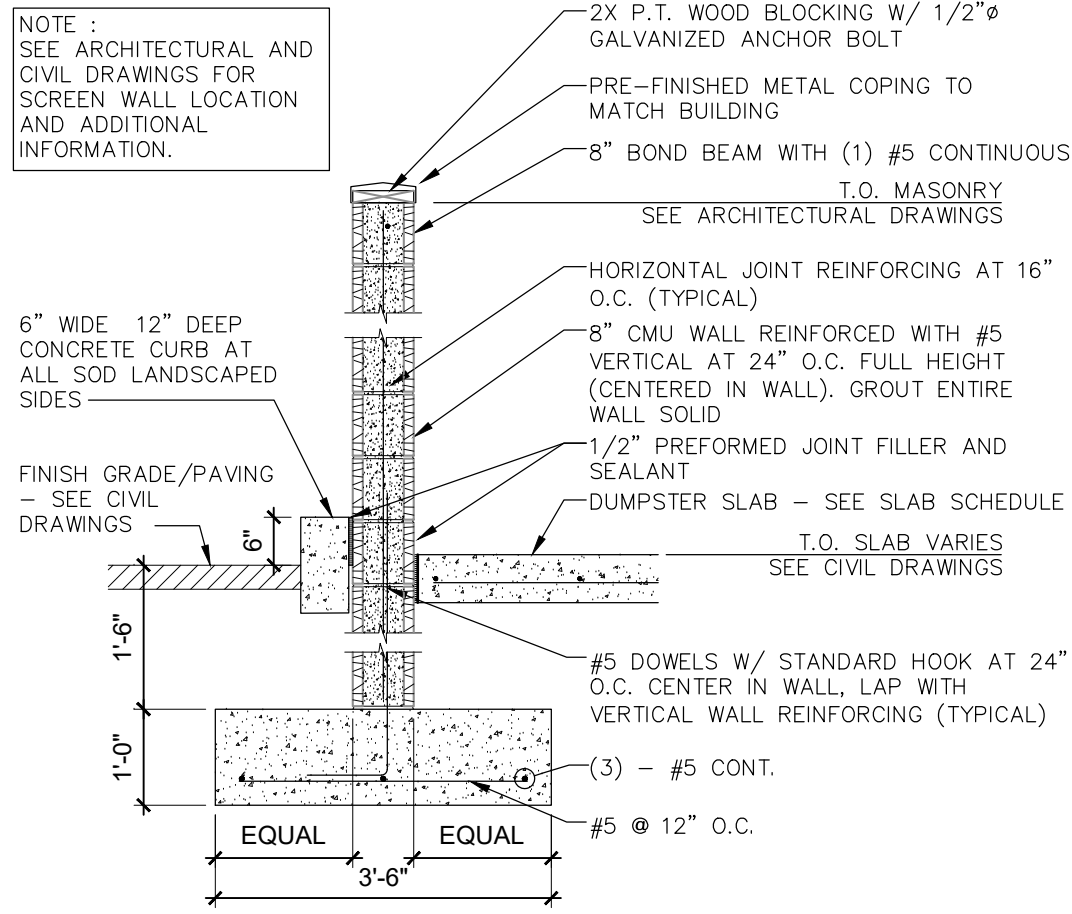
C5.1 NO SCALE



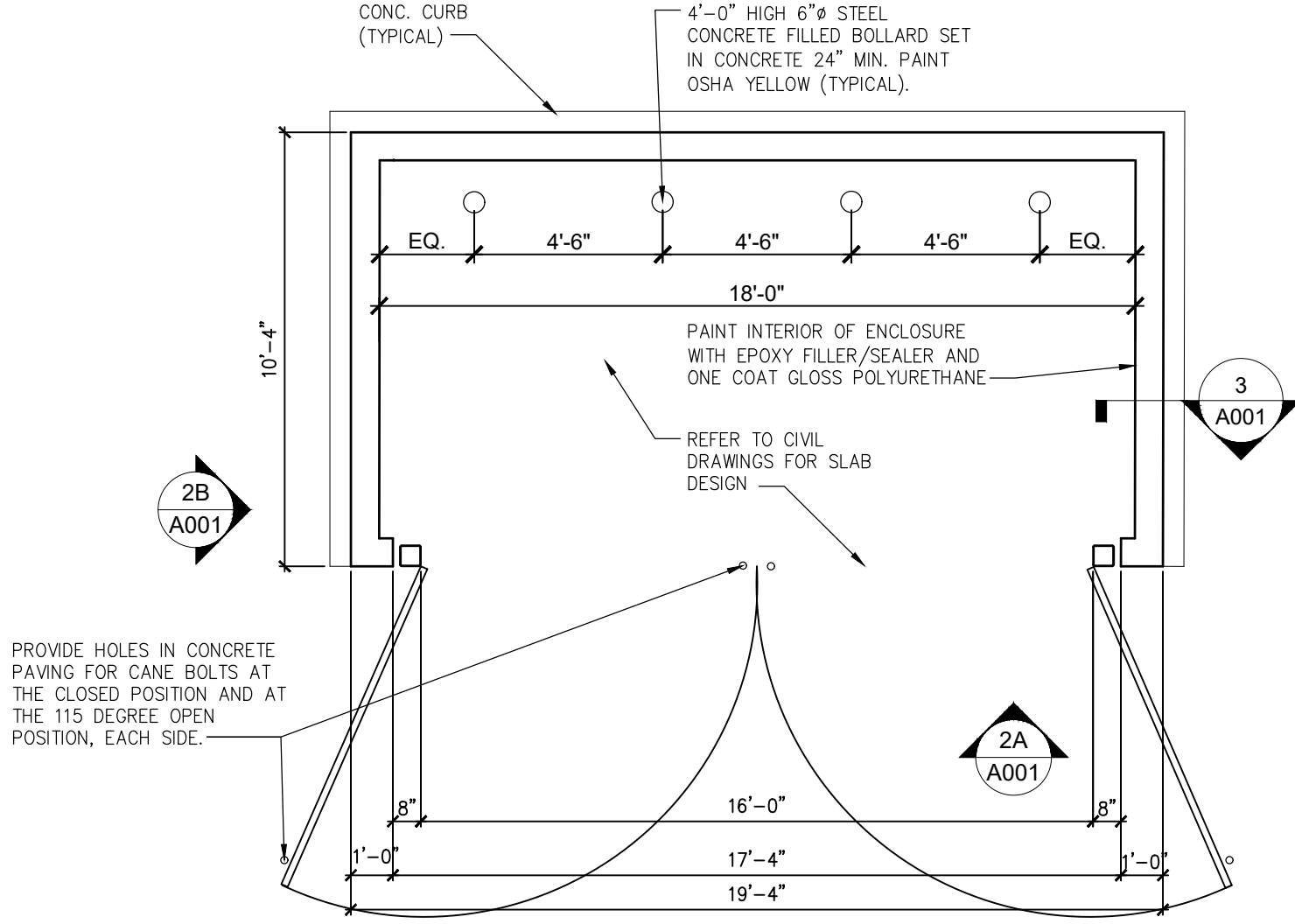
## 3 CONSTRUCTION ENTRANCE & CONCRETE WASHOUT DETAIL

C5.1 NO SCALE

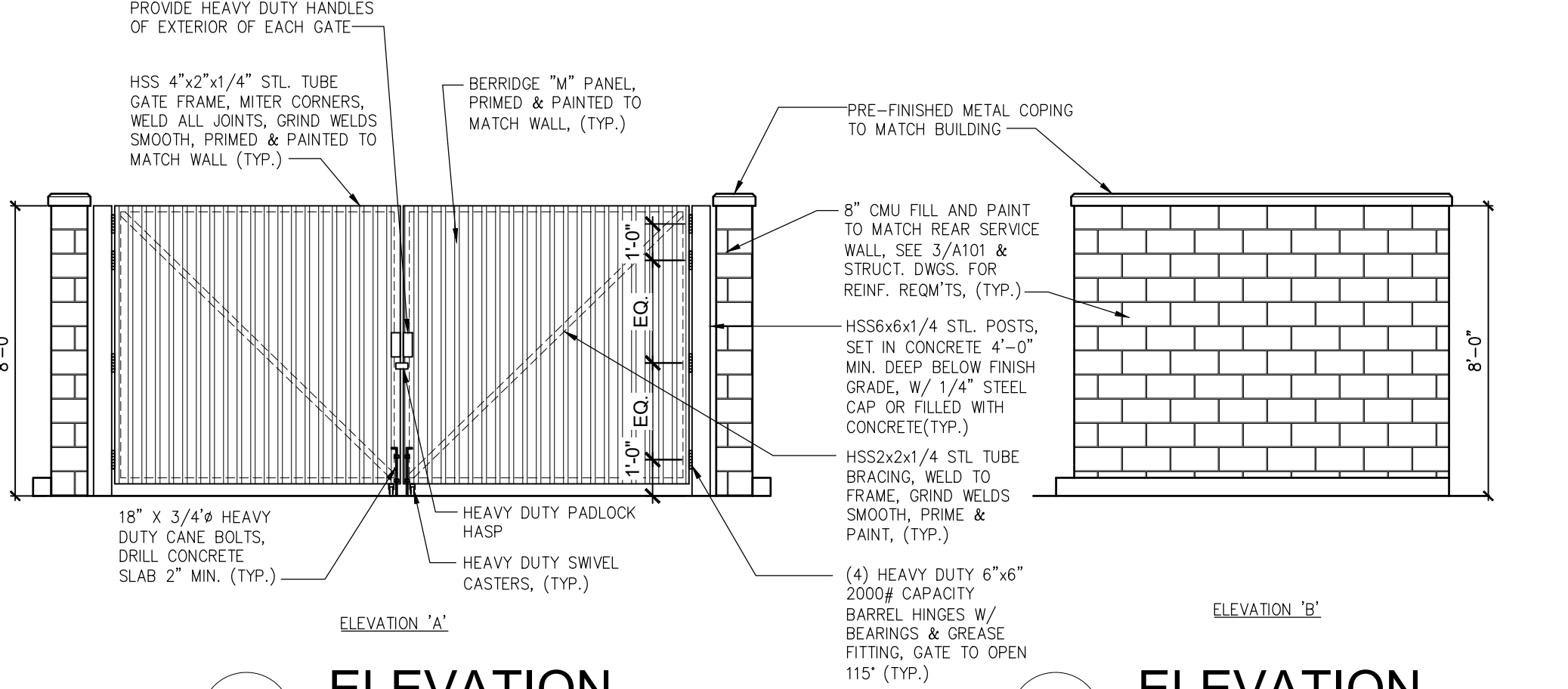
NOTE :  
SEE ARCHITECTURAL AND  
CIVIL DRAWINGS FOR  
SCREEN WALL LOCATION  
AND ADDITIONAL  
INFORMATION.



3  
A101  
**DETAIL**  
SCALE: 1/2" = 1'-0"



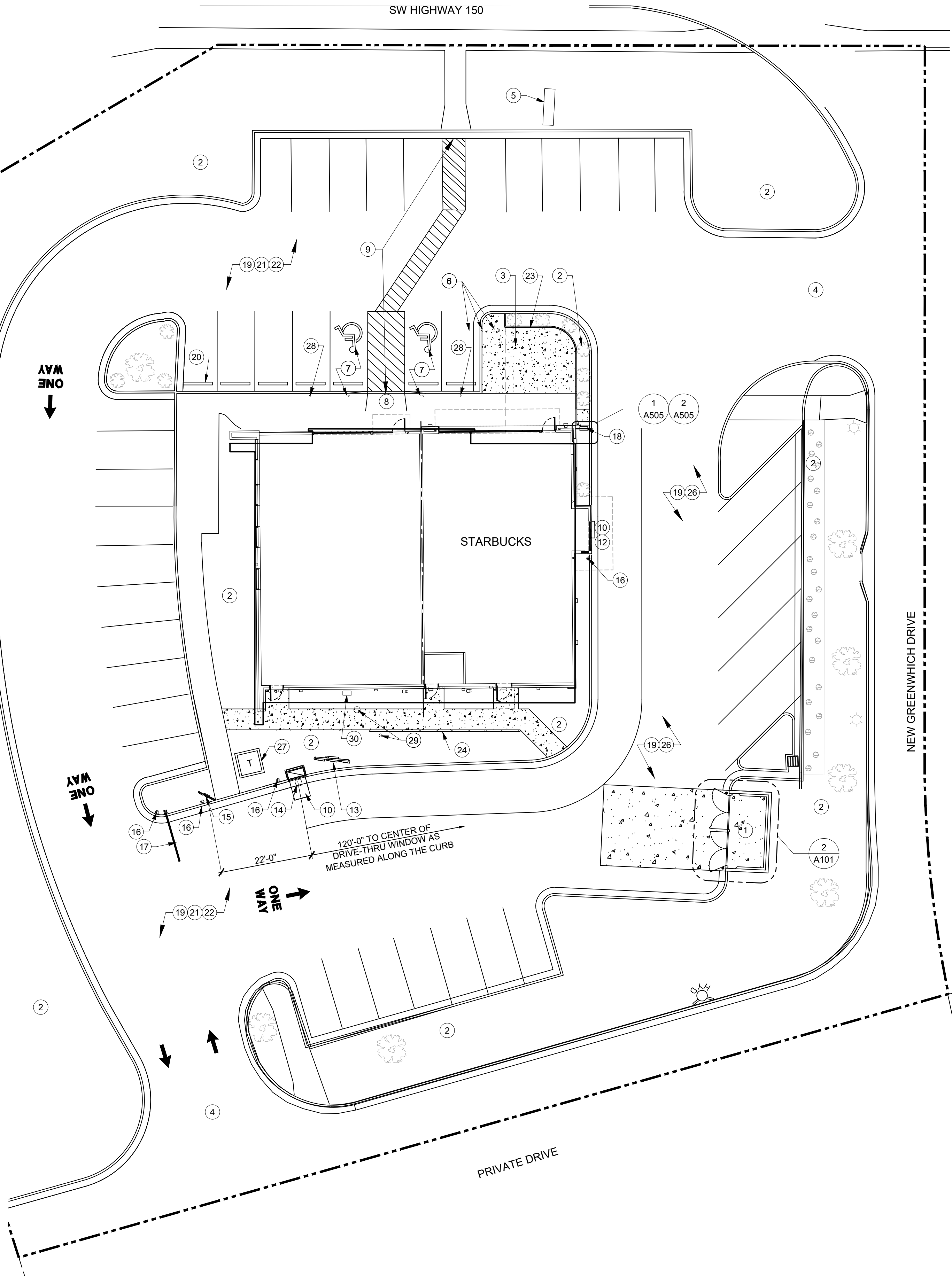
2  
A001  
**TRASH ENCLOSURE PLAN**  
SCALE: 1/4" = 1'-0"



2A  
A001  
**ELEVATION**  
SCALE: 1/4" = 1'-0"

2B  
A001  
**ELEVATION**  
SCALE: 1/4" = 1'-0"

ARCHITECTURAL SITE PLAN KEYNOTES					
1	TRASH ENCLOSURE TO ACCOMMODATE MIN. 2 DUMPSTERS (ONE FOR RECYCLING) W/ HOSE BIB.	11	NOT USED	21	PARKING, DRIVE-THRU AND DIRECTIONAL STRIPING. REFER TO CIVIL DRAWINGS.
2	LANDSCAPING TO BE LOW PROFILE, NO HIDING PLACES, 30" MAXIMUM HEIGHT; RE: LANDSCAPE PLANS.	12	DRIVE THRU WINDOW	22	SITE LIGHTING. REFER TO ELECTRICAL DRAWINGS.
3	PATIO.	13	DRIVE THRU MENU BOARD, RE: DETAIL 9/A504A.	23	DECORATIVE ALUMINUM RAILING
4	SITE ACCESS.	14	DRIVE THRU ORDER SCREEN AND CANOPY, RE: DETAIL 9/A504A & 5/A505	24	TALL SCREEN TO COVER UTILITY METERS, RE: DETAIL 1/A506.
5	UPDATED EXISTING MONUMENT SIGN, BY OWNER.	15	PREVIEW MENU BOARD, RE: DETAIL 2 & 8/A504A.	25	PROTECTIVE BOLLARDS AND FOOTING AT DRIVE-THRU LANE, SHOULD BE ILLUMINATED WHEN IN LANDSCAPE STRIP. SEE DETAIL 13B/A506.
6	BIKE RACK (DERO HOOP RACK BY DERO BIKE RACKS) RE: 14/A506	16	NON-ILLUMINATED PROTECTIVE BOLLARD AND FOOTING, SEE DETAIL 13A/A506.	26	EXISTING GAS SERVICE
7	HANDICAPPED PARKING AND SIGN	17	CLEARANCE BAR, SEE DETAIL 6/A504A	27	TRANSFORMER, BY UTILITY CO. REFER TO CIVIL DRAWINGS.
8	ACCESSIBLE CURB RAMP	18	DIRECTIONAL SIGNAGE. RE: 1,2 & 3/A505	28	MOBIL ORDER PARKING SIGN
9	ACCESSIBLE PATH OF TRAVEL. REFER TO CIVIL DRAWINGS	19	REFER TO CIVIL DRAWINGS FOR PAVING.	29	EXISTING WATER METER AND CLEAN OUT
10	DRIVE-THRU EQUIPMENT INCLUDING VEHICLE DETECTION LOOP.	20	WHFETI STOPS. REFER TO CIVIL DRAWINGS	30	REFLECTED IRRIGATION VALVE



1  
A001  
**SITE PLAN**  
SCALE: 1/16" = 1'-0"

CONSTR. DOC. & REVISIONS	
No.	Description
1	Owner Review
2	Final Development Plan
Date	
05/12/20	
05/27/20	

CASCO DIVERSIFIED CORPORATION  
ARCHITECTURAL  
CERTIFICATE OF AUTHORITY  
#000329 12/31/21

STATE OF MISSOURI  
KEYMA L. BULLOCK  
NUMBER  
A-2004#11669  
ARCHITECT

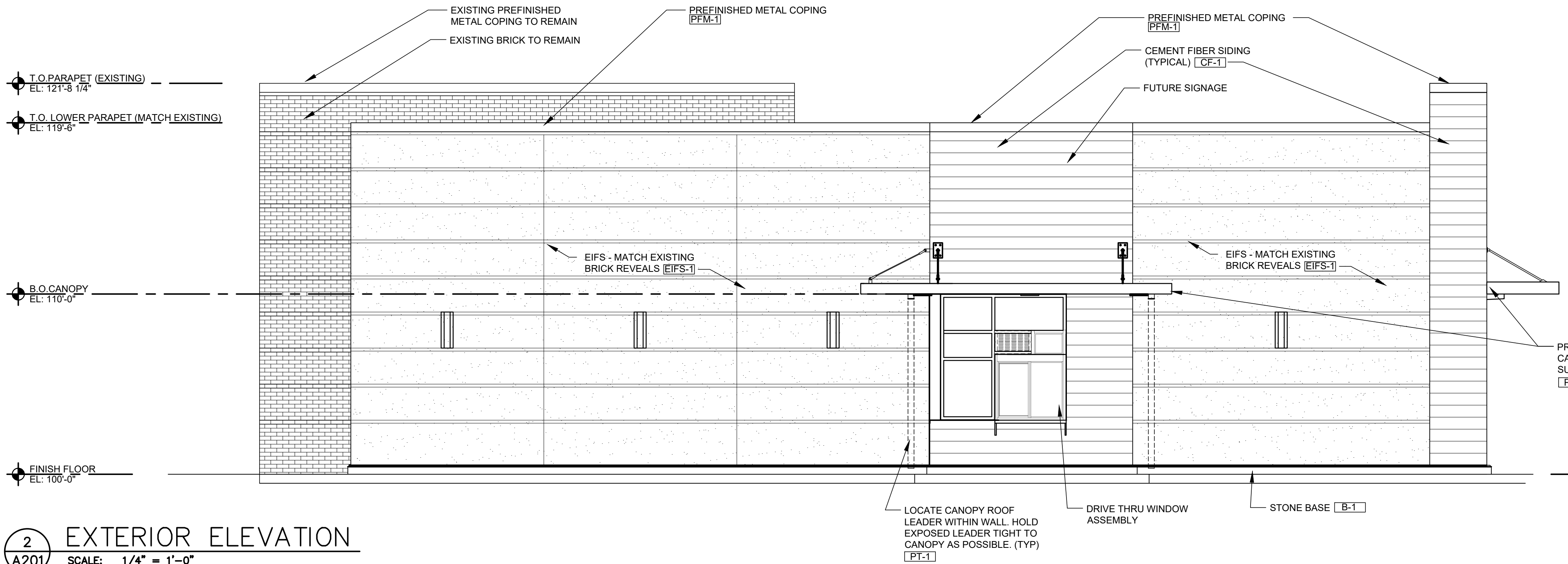
5/27/20

PROFESSIONAL OF RECORD  
BULLOCK, KEYMA L.  
License NO. 2004011669  
Expiration Date 12/31/20

Drawn By/Checked By: RMT/MSD  
Project Number 320488  
Permit Date 00-00-00

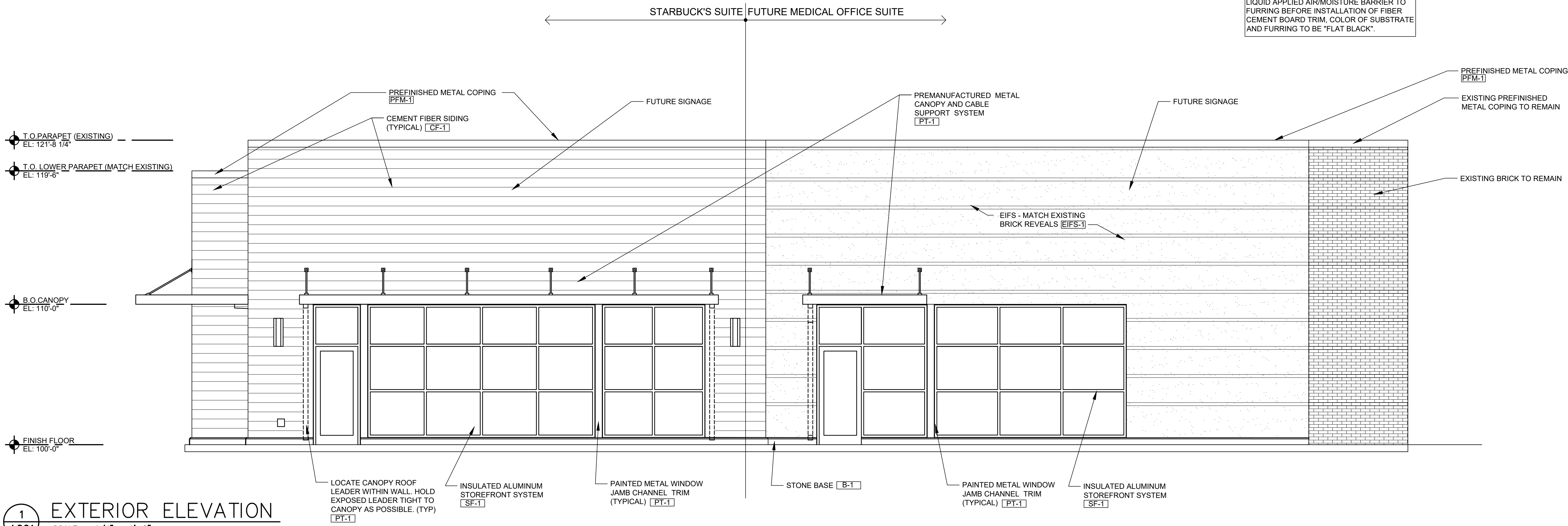
**ARCHITECTURAL  
SITE PLAN**

**A001**

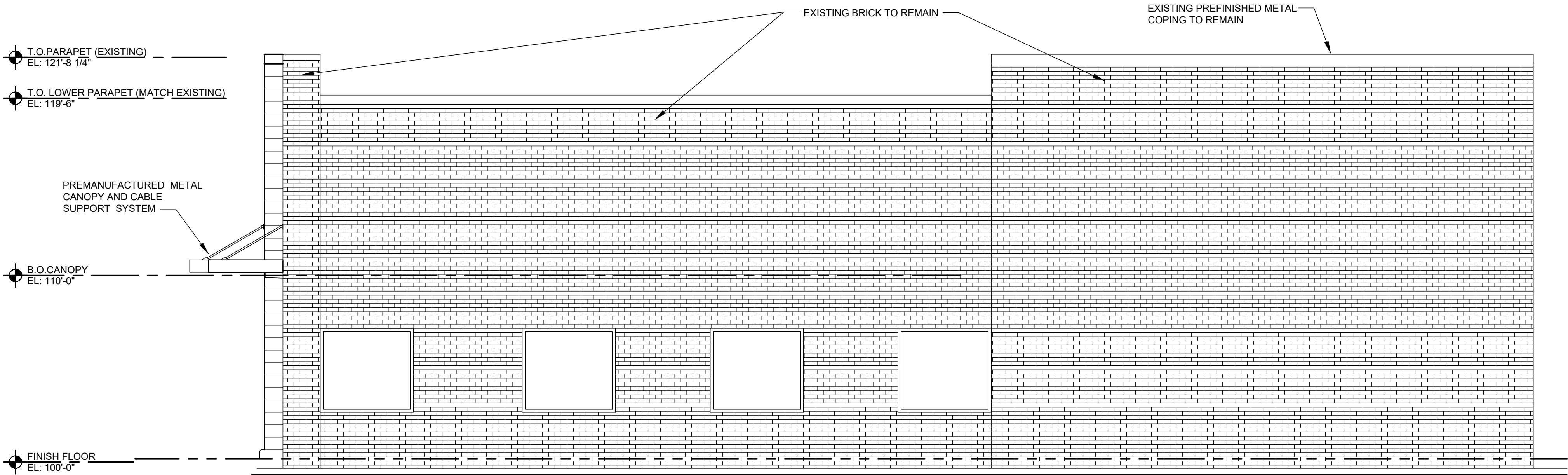


2 EXTERIOR ELEVATION  
SCALE: 1/4" = 1'-0"

Material Legend			
Precast base: B-1	Manf:	Color: Match Cement fiber finish CF-1	Description: Base
Cement fiber siding: CF-1	Manf: Allura	Color: Siding: Allura 8" trim- 4/4 textured fiber cement board trim (8"x12") (Wood grain exposed) Stain: Two coats of exterior stain over exterior faux glazing. (see notes below)	Description: Front and (Street) End Wall Refer To Notes
E.I.F.S.: EIFS-1	Manf: StoCorp	Color: StoTherm Essence - Sto 32121 48 - C2 Standard Medium Finish	Description: Main Field
Paint: PT-1 PT-2	Manf: Sherwin Williams Sherwin Williams	Color: Black Galv. Metal Painted Match Adjacent finish	Description: Canopy Curb and H.M. Door
Metal: PFM-1	Manf: Metal Era	Color: Match Existing	Description: Prefinished For Metal Coping
Storefront: SF-1	Manf: Kawneer	Color: Kawneer #29 Black Anodized	Description: Storefront Framing
Aluminum Soffit system: SF-1	Manf: Armstrong	Color: Armstrong "Metal Works" linear 7160 Color - Flat Black	Description: Canopy soffit panels
<b>Material Notes:</b> Install per manufacturers instruction and recommendations. Use manufacturer certified installer. Provide all trim and accessories as required to provide a complete installation. <ul style="list-style-type: none"><li>- Fill screw holes in fiber cement board trim with wood putty. Wood putty to be color matched to fiber cement. Wipe off excess putty with a damp rag before it hardens.</li></ul> At vertical siding: <ul style="list-style-type: none"><li>- Apply exterior faux glazing over the entire surface.</li><li>- Apply first coat of exterior Behr stain "Behr Chocolate" with a brush.</li><li>- Apply stain one board at a time and brush strokes to run with the grain.</li><li>- Apply a second coat of exterior Behr stain "Behr Valise" the same way as the first.</li></ul> At horizontal siding: <ul style="list-style-type: none"><li>- Paint per manufacturers recommendations.</li></ul>			



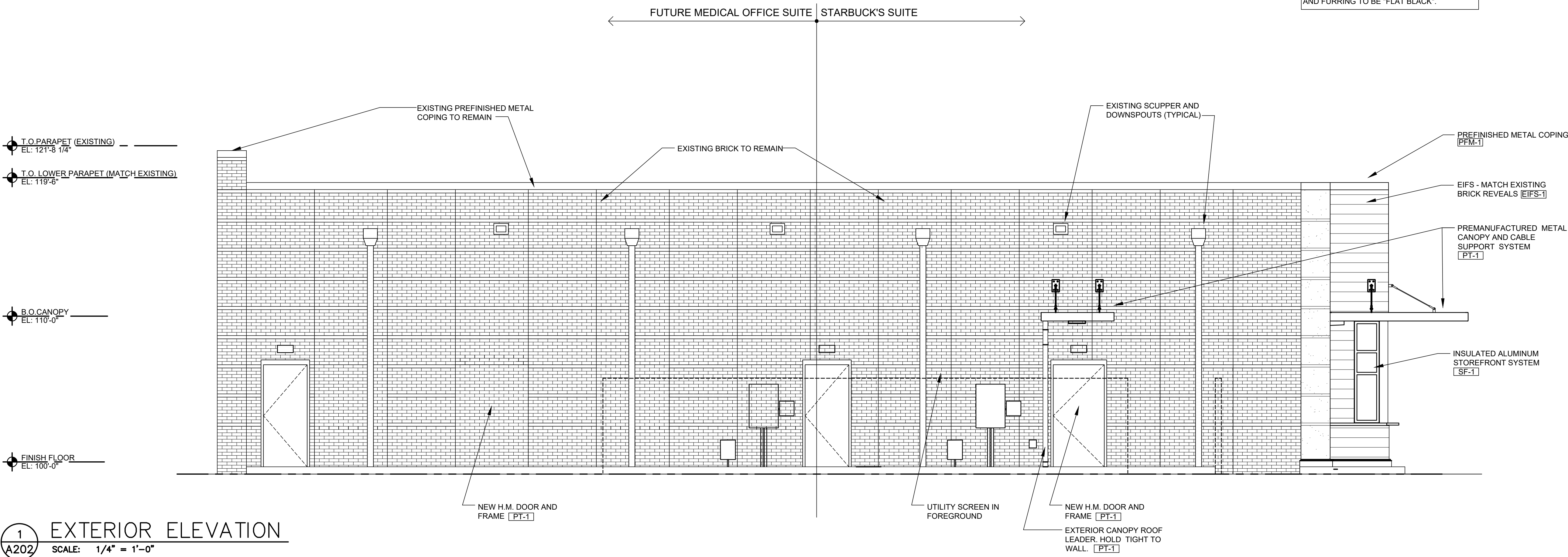
1 EXTERIOR ELEVATION  
SCALE: 1/4" = 1'-0"



2  
A202 EXTERIOR ELEVATION  
SCALE: 1/4" = 1'-0"

Material Legend			
Precast base: B-1	Manf.	Color: Match Cement fiber finish CF-1	Description: Base
Cement fiber siding: CF-1	Manf. Allura	Color: Siding: Allura 18" - fiber cement cut panel (5/16" x 8" x10' cut panel- traditional) Pre finished color: Red Rock Falls (Wood grain exposed) Trim: Easytrim (Or Equal) Color to match.	Description: Front and (Street) End Wall  Refer To Notes
E.I.F.S.: EIFS-1	Manf. StoCorp	Color: StoTherm Essence - Sto 32121 48 - C2 Standard Medium Finish	Description: Main Field
Paint: PT-1 PT-2	Manf. Sherwin Williams Sherwin Williams	Color: Black Galv. Metal Painted Match Adjacent finish	Description: Canopy Curb and H.M. Door
Metal: PFM-1	Manf. Metal Era	Color: Match Existing	Description: Prefinished For Metal Coping
Storefront: SF-1	Manf. Kawneer	Color: Kawneer #29 Black Anodized	Description: Storefront Framing
Aluminum Soffit system: SF-1	Manf. Armstrong	Color: Armstrong "Metal Works" linear 7160 Color - Flat Black	Description: Canopy soffit panels
Material Notes: Install per manufacturers instruction and recommendations. Use manufacturer certified installer. Provide all trim and accessories as required to provide a complete installation. - Fill screw holes in fiber cement board trim with wood putty. Wood putty to be color matched to fiber cement. Wipe off excess putty with a damp rag before it hardens.			

NOTE:  
AT FIBER CEMENT BOARD, APPLY LIQUID APPLIED AIR/MOISTURE BARRIER TO EXTERIOR SHEATHING BEFORE INSTALLATION OF METAL FURRING. APPLY LIQUID APPLIED AIR/MOISTURE BARRIER TO FURRING BEFORE INSTALLATION OF FIBER CEMENT BOARD TRIM. COLOR OF SUBSTRATE AND FURRING TO BE "FLAT BLACK".



1  
A202 EXTERIOR ELEVATION  
SCALE: 1/4" = 1'-0"

CONSTR. DOC. & REVISIONS	
No.	Description
1	Owner Review
2	Final Development Plan

CASCO DIVERSIFIED CORPORATION  
ARCHITECTURAL  
CERTIFICATE OF AUTHORITY  
#000329 12/31/21

STATE OF MISSOURI  
KEYMA L. BULLOCK  
NUMBER A-2004011669  
ARCHITECT  
5/27/20

PROFESSIONAL OF RECORD  
BULLOCK, KEYMA L.  
License NO. 2004011669  
Expiration Date 12/31/20

Drawn By/Checked By: RMT/MSD  
Project Number 320488  
Permit Date 00-00-00

PROVIDE LAWN IRRIGATION SYSTEM CONSISTING OF MINI JETTS, MISTERS, POP-UP RISERS, ADJUSTABLE BUBBLERS, ADJUSTABLE SPRAYERS, DRIPPER NOZZLES (EMITTERS), BACKFLOW PREVENTERS, AUTOMATIC CONTROL VALVES, TIMER, CONTROLLERS AND ALL RELATED ACCESSORIES FOR THE AREAS INDICATED ON THE DRAWINGS AND AS REQUIRED TO COMPLY WITH LOCAL CODES AND REGULATIONS.

LAWN IRRIGATION CONTRACTOR SHALL PAY ALL ONE-TIME FEES AND CHARGES RELATED TO THIS WORK, INCLUDING WATER SUPPLY AND METERING.

COORDINATE WITH THE WATER COMPANY AS REQUIRED FOR SERVICE ARRANGEMENTS.

LAWN IRRIGATION CONTRACTOR SHALL PROVIDE ALL WORK, INCLUDING ALL POWER AND CONTROL WIRING, TESTING, ADJUSTING, AND START-UP AS REQUIRED FOR A COMPLETE, PROPERLY FUNCTIONING SYSTEM.

AFTER ALL SPRINKLER HEADS AND PLANTINGS ARE INSTALLED, ADJUST SYSTEM FOR OPTIMUM COVERAGE AND COORDINATION WITH PLANTINGS. ADJUST ALL VALVES, ALIGNMENTS, AND COVERAGE FOR OPTIMUM PERFORMANCE FOR FINAL APPROVAL BY THE OWNER'S REPRESENTATIVE.

LAWN IRRIGATION CONTRACTOR SHALL RECOMMEND AND SET THE PROGRAM ON THE CONTROLLER. PROVIDE THOROUGH, DETAILED OPERATING INSTRUCTIONS FOR THIS SPECIFIC SYSTEM, AND GIVE VERBAL OPERATING INSTRUCTIONS TO THE OWNER'S OPERATING PERSONNEL.

LAWN IRRIGATION CONTRACTOR SHALL PROVIDE LAYOUT AND SHOP DRAWINGS FOR APPROVAL BY STATE AND LOCAL BUILDING OFFICIALS' AND/OR OTHER AGENCIES. LAWN IRRIGATION CONTRACTOR SHALL OBTAIN AND PAY FOR ALL NECESSARY PERMITS AND APPROVALS RELATED TO THIS WORK AND SUBMIT COPIES OF SAME FOR THE OWNER'S RECORDS.

L100 SCALE: N.T.S.

PLANTING BED PREPARATION: ALL MASS PLANTING BEDS SHALL BE TILLED TO A MINIMUM DEPTH OF 10". AMENDMENTS (LEAF MOLD OR SPAGNUM PEAT MOSS) SHALL BE APPLIED DURING CULTEIVATION. ALL BEDS ARE TO BE GRADED SMOOTH BEFORE INSTALLING PLANT GROUNDCOVER TO WITHIN 12" OF TREES OR SHRUBS. REMOVE ALL STONES LARGER THAN 2". ALL STICKS, ROOTS, RUBBISH AND ANY OTHER EXTRANEOUS MATERIALS.

BACKFILL SOIL: USE SOIL EXCAVATED FROM PLANTING HOLES AND PROVIDE AMENDMENTS (1 PART LEAF MOLD OR SPAGNUM PEAT MOSS AND 3 PARTS EXCAVATED SOIL). ALL NEW TOPSOIL SHALL BE FREE OF WEEDS AND OTHER FOREIGN VEGETATION, AS WELL AS, STONES LARGER THAN 2". ALL STICKS, ROOTS, RUBBISH AND ANY OTHER EXTRANEOUS MATERIALS.

FERTILIZATION: ALL PLANT MATERIALS SHALL BE FERTILIZED UPON INSTALLATION WITH DRIED BONE MEAL OR OTHER SPECIFIED FERTILIZER MIXED IN WITH THE PLANTING SOIL PER THE MANUFACTURER'S INSTRUCTIONS. UNLESS NOTED OTHERWISE.

MULCH MATERIAL: CRUSHED VOLCANIC CINDERS - COLOR TO BE REDDISH BLACK BLEND. MULCH ALL PLANTINGS TO A 3'-4" DEPTH.

FERTILIZER: JUMP-SHOT ROOT STIMULATOR AS MANUFACTURED BY GORDON OR APPROVED EQUAL, SHALL BE APPLIED TO THE SOIL BACKFILL OF EACH PLANT DURING INSTALLATION.

ALL PLANT MATERIAL SHALL COMPLY WITH THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, AMERICAN ASSOCIATION OF NURSERYMEN.

LANDSCAPE CONTRACTOR SHALL GUARANTEE NEW PLANT MATERIALS THROUGH ONE CALENDAR YEAR FROM THE DATE OF OWNER ACCEPTANCE WITH ALL REPLACEMENTS TO BE PROVIDED AT NO ADDITIONAL COST TO THE OWNER.

LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR ON-GOING MAINTENANCE OF ALL NEWLY INSTALLED MATERIALS UNTIL TIME OF OWNER ACCEPTANCE. ANY ACTS OF VANDALISM OR DAMAGE WHICH MAY OCCUR PRIOR TO OWNER ACCEPTANCE SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

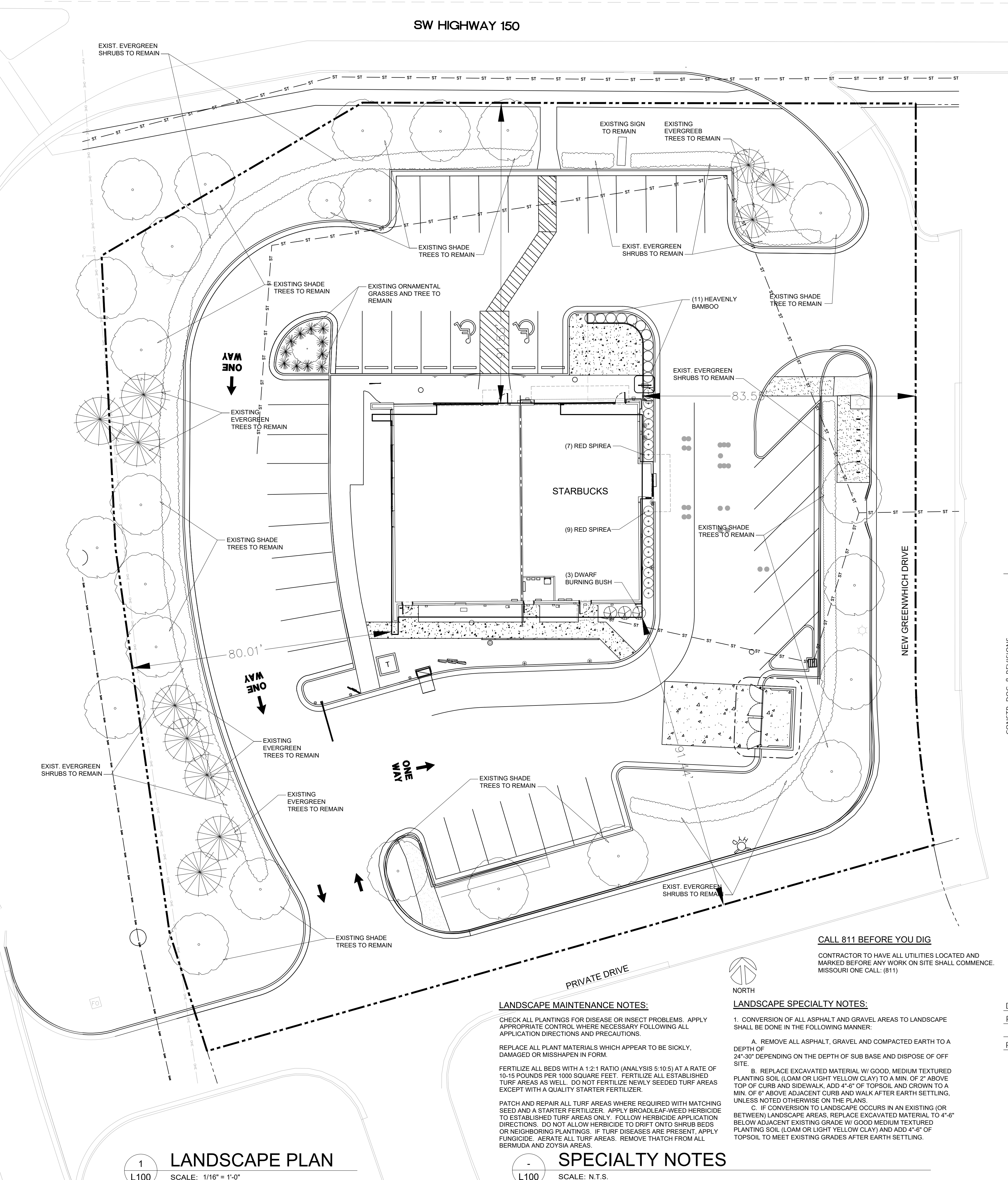
WARRANTY FOR LANDSCAPE MATERIALS SHALL BEGIN ON THE DATE OF ACCEPTANCE BY THE OWNER'S REPRESENTATIVE AFTER THE COMPLETION OF PLANTING OF ALL LANDSCAPE MATERIALS. NO PARTIAL ACCEPTANCE WILL BE CONSIDERED. LANDSCAPE CONTRACTOR SHALL PROVIDE A WRITTEN REQUEST FOR THE OWNER'S ACCEPTANCE INSPECTION. REMOVE AND REPLACE DEAD PLANT MATERIAL (25% + DEAD) IMMEDIATELY UNLESS REQUIRED TO PLANT IN THE SUCCEEDING PLANTING SEASON. A LIMIT OF ONE REPLACEMENT OF EACH TREE AND SHRUB WILL BE REQUIRED, EXCEPT FOR LOSSES CAUSED BY CONTRACTOR'S ERRORS.

LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEAN-UP OF SITE AT THE COMPLETION OF LANDSCAPING EACH DAY. AT ALL TIMES SHALL THE SIDEWALKS BE MAINTAINED CLEAN AND FREE OF DEBRIS. REMOVE SURPLUS SOIL AND WASTE MATERIAL, TRASH AND DEBRIS FROM THE SITE AND LEGALLY DISPOSE OF SAME IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL CODES AND REGULATIONS.

ALL PLANTS TO BE INSTALLED AS PER PLANTING DETAILS. PLANT MATERIALS ARE TO BE PLANTED IN THE SAME RELATIONSHIP TO GRADE AS WAS GROWN IN NURSERY CONDITIONS. IF WET, CLAY SOILS OR POOR DRAINING SOILS ARE EVIDENT, PLANT HIGHER. REMOVE ALL TWINE, WIRE AND BURLAP FROM TOP 1/3 OF ROOT BALL AND FROM TREE TRUNKS.

MULCHING AND WATERING OF ALL PLANTS & TREES SHALL BE IMMEDIATELY OR WITHIN 16 HOURS AFTER INSTALLATION.

L100 SCALE: N.T.S.



L100 SCALE: 1/16" = 1'-0"

CHECK ALL PLANTINGS FOR DISEASE OR INSECT PROBLEMS. APPLY APPROPRIATE CONTROL WHERE NECESSARY FOLLOWING ALL APPLICATION DIRECTIONS AND PRECAUTIONS.

REPLACE ALL PLANT MATERIALS WHICH APPEAR TO BE SICKLY, DAMAGED OR MISSHAPEN IN FORM.

FERTILIZE ALL BEDS WITH A 1-2-1 RATIO (ANALYSIS 5-10/5) AT A RATE 10-15 POUNDS PER 1000 SQUARE FEET. FERTILIZE ALL ESTABLISHED TURF AREAS AS WELL. DO NOT FERTILIZE NEWLY SEEDED TURF AREAS EXCEPT WITH A QUALITY STARTER FERTILIZER.

PATCH AND REPAIR ALL TURF AREAS WHICH REQUIRE WITH MATING PATCHES AND A STARTER FERTILIZER. APPLY BUCKWHEAT-WHEED BERMUDA TO REPAIR TURF AREAS THAT DO NOT FOLLOW HERBICIDE APPLICATION DIRECTIONS. DO NOT ALLOW HERBICIDE TO DRIFT ONTO SHRUB BEDS OR NEIGHBORING PLANTINGS. IF TURF DISEASES ARE PRESENT, APPLY APPROPRIATE FUNGICIDES TO AFFECTED AREAS. REMOVE THATCH FROM ALL BERMUDA AND ZOYSIA AREAS.

1. CONVERSION OF ALL ASPHALT AND GRAVEL AREAS TO LANDSCAPE SHALL BE DONE IN THE FOLLOWING MANNER:

- A. REMOVE ALL ASPHALT, GRAVEL AND COMPACTED EARTH TO A DEPTH OF 24"±0 DEPENDING ON THE DEPTH OF SUB BASE AND DISPOSE OF OFF SITE.
- B. REPLACE EXCAVATED MATERIAL W/ GOOD, MEDIUM TEXTURED PLANTING SOIL (LOAM OR LIGHT YELLOW CLAY) TO A MIN. OF 2" ABOVE TOP OF CURB AND SIDEWALK, ADD 4"±0 OF TOP SOIL AND GROWN TO A MIN. OF 6" ABOVE EXCAVATED CURB AND WALKER AFTER EARTH SETTLING, UNLESS NOTED OTHERWISE ON THE PLANS.
- C. IF CONVERSION OF EXISTING CURBS IS IN AN EXISTING (OR BETWEEN) LANDSCAPE AREAS, REPLACE EXCAVATED MATERIAL TO 4"-6" BELOW EXISTING EXISTING GRADE W/ GOOD MEDIUM TEXTURED PLANTING SOIL (LOAM OR LIGHT YELLOW CLAY) TO A MIN. OF 2" OF TOPSOIL, TO MEET EXISTING GRADES AFTER EARTH SETTLING.

## SCALE: N.T.S.

[illegible]

Drawn By/Checked By: MAM

Project Number 32

Permit Date	00-
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## LANDSCAPE PLAN

# L100

Material Legend			
<u>Precast base:</u> B-1	<u>Manf.</u>	<u>Color:</u>  Match Cement Fiber finish CF-1	<u>Description:</u>  Base
<u>Cement fiber siding:</u> CF-1	<u>Manf.</u> Allura	<u>Color:</u> Siding: Allura 8" trim- 4/4 textured fiber cement board trim (8"x12") (Wood grain exposed)  Stain: Two coats of exterior stain over exterior faux glazing. (see notes below)	<u>Description:</u> Front and (Street) End Wall   Refer To Notes
<u>E.I.F.S.:</u> EIFS-1	<u>Manf.</u> StoCorp	<u>Color:</u> StoTherm Essence - Sto 32121 48 - C2 Standard Medium Finish	<u>Description:</u> Main Field
<u>Paint:</u>  PT-1  PT-2	<u>Manf.</u>  Sherwin Williams Sherwin Williams	<u>Color:</u>  Black Galv. Metal Painted  Match Adjacent finish	<u>Description:</u>  Canopy  Curb and H.M. Door
<u>Metal:</u>  PFM-1	<u>Manf.</u>  Metal Era	<u>Color:</u>  Match Existing	<u>Description:</u>  Prefinished For Metal Coping
<u>Storefront:</u>  SF-1	<u>Manf.</u>  Kawneer	<u>Color:</u>  Kawneer #29 Black Anodized	<u>Description:</u>  Storefront Framing
<u>Aluminum Soffit system:</u> SF-1	<u>Manf.</u>  Armstrong	<u>Color:</u> Armstrong "Metal Works" linear 7160 Color - Flat Black	<u>Description:</u>  Canopy soffit panels

**Material Notes:**

Install per manufacturers instruction and recommendations. Use manufacturer certified installer. Provide all trim and accessories as required to provide a complete installation.

- Fill screw holes in fiber cement board trim with wood putty. Wood putty to be color matched to fiber cement. Wipe off excess putty with a damp rag before it hardens.

At vertical siding:

- Apply exterior faux glazing over the entire surface.
- Apply first coat of exterior Behr stain "Behr Chocolate" with a brush.
- Apply stain one board at a time and brush strokes to run with the grain.
- Apply a second coat of exterior Behr stain "Behr Valise" the same way as the first.

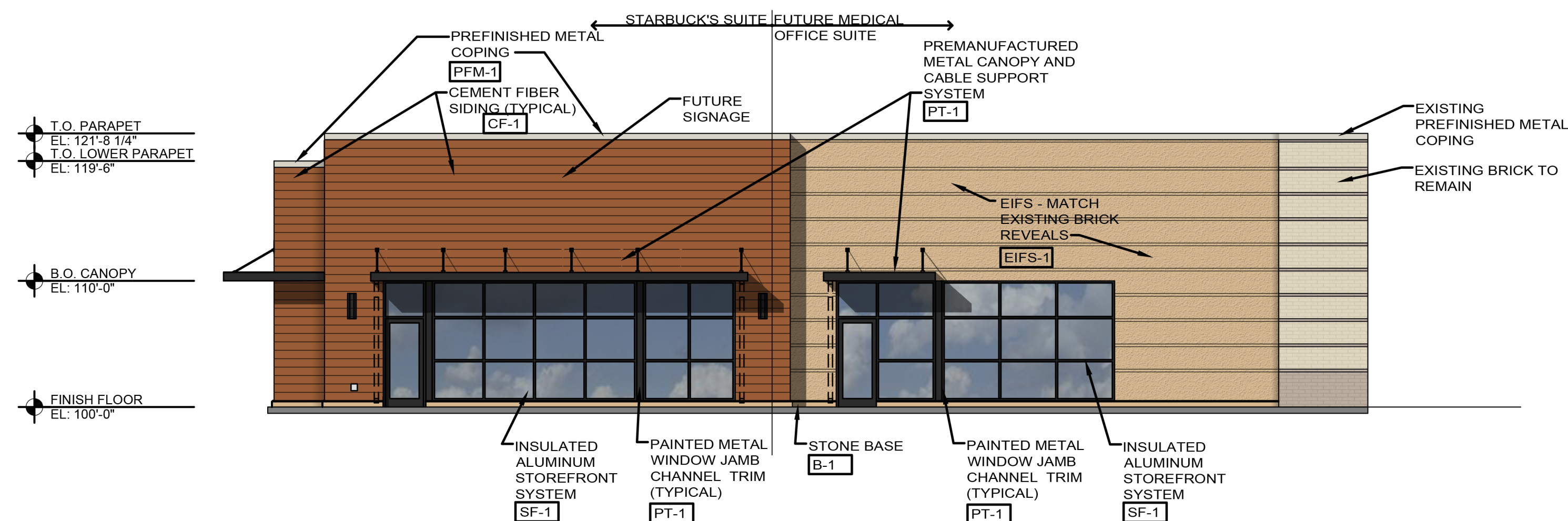
At horizontal siding:

- Paint per manufacturers recommendations.

CONSTR. DOC. & REVISIONS	
No. Description	Date

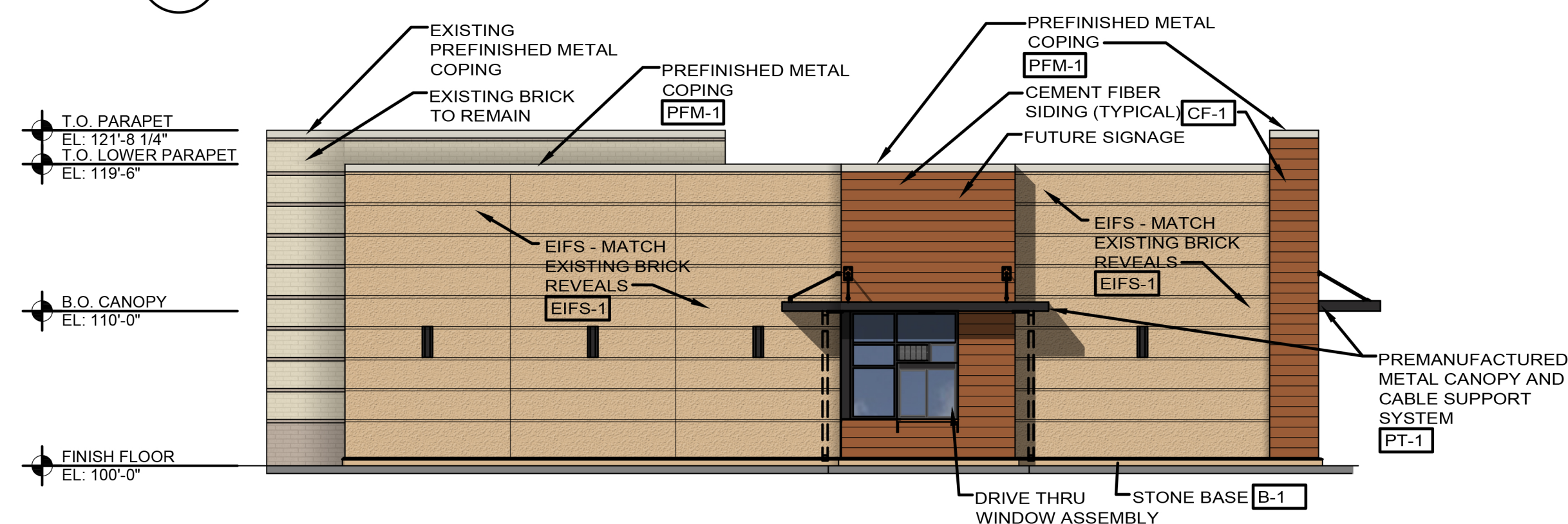
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Project Number	320488
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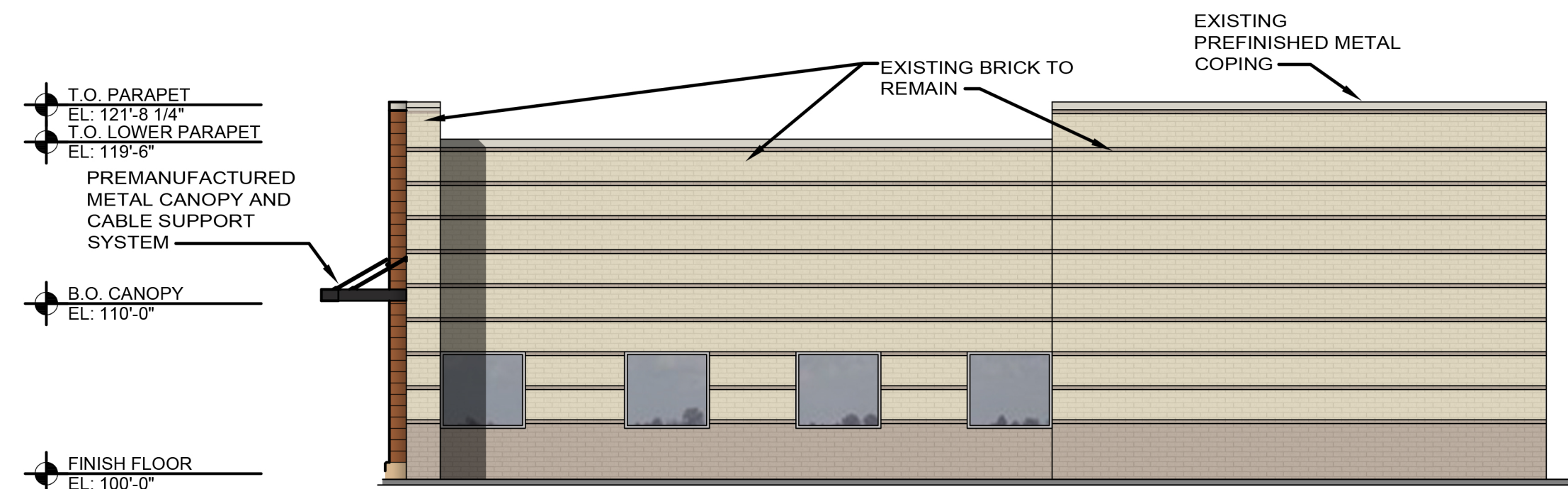
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SCALE: 1/8" = 1'-0"



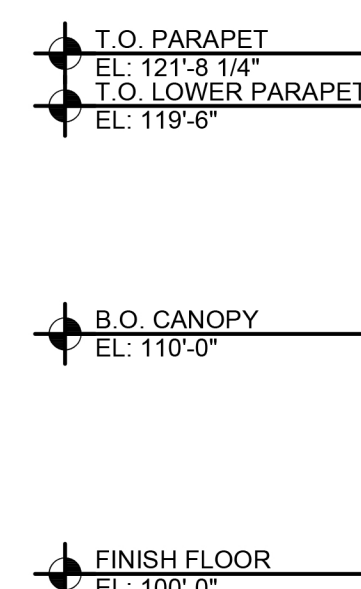
EXTERIOR ELEVATION

SCALE: 1/8" = 1'-0"



EXTERIOR ELEVATION

SCALE: 1/8" = 1'-0"



 EXTERIOR ELEVATION

