

AN ORDINANCE APPROVING A PRELIMINARY DEVELOPMENT PLAN LOCATED AT 408, 500 & 502 NW OLIVE ST. IN DISTRICT RP-2, PROPOSED SEQUOIA, IN ACCORDANCE WITH THE PROVISIONS OF CHAPTER 33, THE UNIFIED DEVELOPMENT ORDINANCE OF LEE'S SUMMIT CODE OF ORDINANCES, FOR THE CITY OF LEE'S SUMMIT, MISSOURI.

WHEREAS, Application #PL2019-412, submitted by Orchard Park Development, LLC, requesting approval of a preliminary development plan in District RP-2 (Planned Two-Family Residential District) on land located at 408 & 500 NW Olive St. was referred to the Planning Commission to hold a public hearing; and,

WHEREAS, the Unified Development Ordinance provides for the approval of a preliminary development plan by the City following public hearings by the Planning Commission and City Council; and,

WHEREAS, after due public notice in the manner prescribed by law, the Planning Commission held a public hearing for the consideration of the preliminary development plan on February 27, 2020, and rendered a report to the City Council recommending that the preliminary development plan be approved; and,

WHEREAS, after due public notice in the manner prescribed by law, the City Council held a public hearing on March 24, 2020 and approved a motion for a second ordinance reading to approve the preliminary development plan for said property.

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF LEE'S SUMMIT, MISSOURI, as follows:

SECTION 1. That a preliminary development plan is hereby approved in District RP-2 on the following described property:

Tract I:

Lot 22, and 23, HEARNE'S ADDITION, a subdivision in Lee's Summit, Jackson County, Missouri, EXCEPT the South 8 feet of the West 50 feet of Lot 22 and also EXCEPT, the South 8 feet of Lot 23, and ALSO EXCEPT the South 88 feet of the East 150 feet of Lot 22, together with the South 1/2 of vacated Orchard Street lying North of and Adjacent to the said premises in questions.

Tract II:

Lots 1, 2, and 3, EXCEPT the North 140 feet of the East 150 feet of Lot 3, HEARNE'S ADDITION, (aka/ HEARNE'S FIRST ADDITION) and the North Half of vacated Orchard Street lying South and adjacent, a subdivision in Lee's Summit, Jackson County, Missouri.

Tract III:

All that part of Lot 3, HEARNE'S ADDITION to Lee's Summit, Jackson County, Missouri, described as follows: Beginning at a point 70 feet South of the Northeast corner of said Lot 3; thence South 65 feet; thence West 150 feet; thence North 65 feet; thence East 150 feet to the point of beginning.

Containing 164,714.19 square feet or 3.781 acres, more or less.

SECTION 2. That the following conditions of approval apply:

1. A modification shall be granted to the design of the required 20' wide high impact landscape screen along the north property line, to allow a 6' vinyl fence placed on the north property line and all required landscaping material planted on the south side of the fence.
2. A modification shall be granted to the requirement that the maximum number of dwelling units on a cul-de-sac not exceed 20, to allow 24 dwelling units on a cul-de-sac.
3. A modification shall be granted to the requirement that the total number of cul-de-sac lots in a subdivision be no more than ten percent of the total number of lots in the subdivision, to allow the total number of cul-de-sac lots in the subdivision be one hundred percent.
4. No parking will be required on one side of the street (and cul-de-sac). Upon approval of the project and prior to substantial completion of road construction, staff will process necessary requirements to establish No Parking. Developer will be required to install No Parking signs, per City standards/specifications in coordination with the road construction and shall be shown on the Engineer Plan submittals. Developer's preference to which side of street is parking restricted may be reflected on the drawings at such time.
5. Development shall comply with the recommendation of the Transportation Impact Analysis (TIA) dated February 19, 2020, prepared by Michael Park, City Traffic Engineer.
6. Construction shall be in accordance with the elevations date stamped March 13, 2020.
7. All landscaping and grounds maintenance shall be provided by a home owners association pursuant to the recorded covenants, which shall be reviewed and approved by the City prior to recording.

SECTION 3. That development shall be in accordance with the preliminary development plan, date stamped February 7, 2020, as described in the staff report.

SECTION 4. Nonseverability. All provisions of this ordinance are so essentially and inseparably connected with, and so dependent upon, each other that no such provision would be enacted without all others. If a court of competent jurisdiction enters a final judgment on the merits that is not subject to appeal and that declares any provision or part of this ordinance void, unconstitutional, or unenforceable, then this ordinance, in its collective entirety, is invalid and shall have no legal effect as of the date of such judgment.

SECTION 5. That failure to comply with all of the provisions contained in this ordinance shall constitute violations of both this ordinance and Chapter 33, the City's Unified Development Ordinance, of the Code of Ordinances for the City of Lee's Summit.

BILL NO. 20-78

ORDINANCE NO. 8876

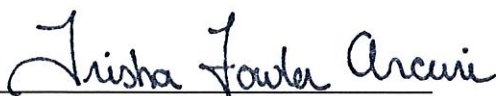
SECTION 6. That this ordinance shall be in full force and effect from and after the date of its passage and adoption, and approval by the Mayor.

PASSED by the City Council of the City of Lee's Summit, Missouri, this 5th day of May, 2020.



Mayor William A. Baird

ATTEST:



City Clerk Trisha Fowler Arcuri

APPROVED by the Mayor of said city this 8th day of May, 2020.



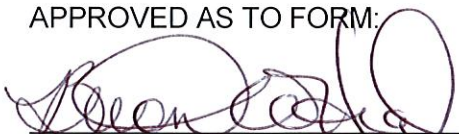
Mayor William A. Baird

ATTEST:



City Clerk Trisha Fowler Arcuri

APPROVED AS TO FORM:



City Attorney Brian W. Head

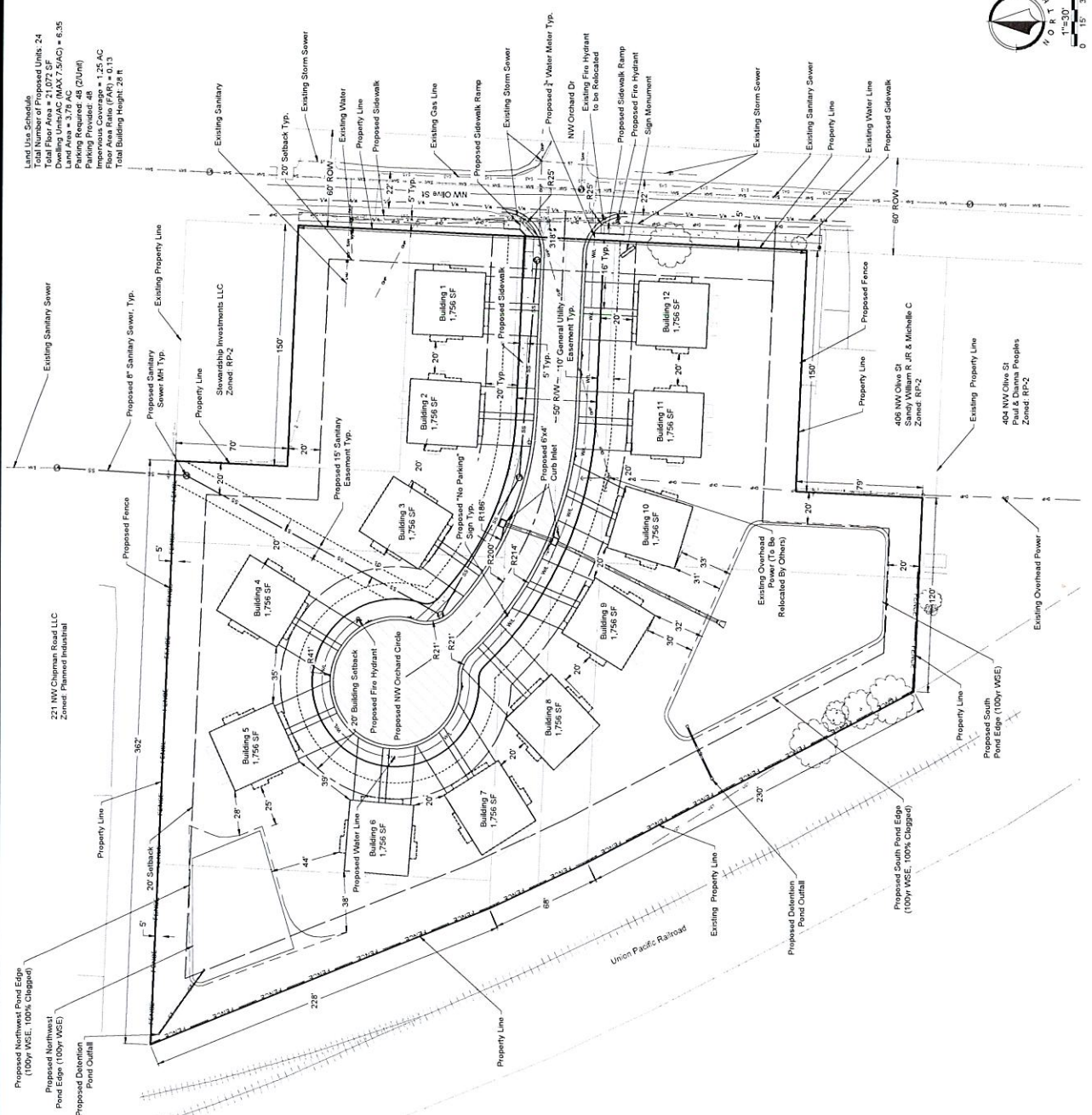


Renaissance
Infrastructure
Consulting

815 MCCLURE STREET, SUITE 200
KANAS CITY, MISSOURI 64108
PHONE: 816-234-1500
FAX: 816-234-1501
WWW.RIC-CONSULT.COM

Existing Conditions

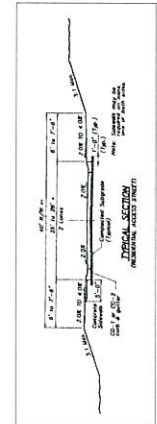
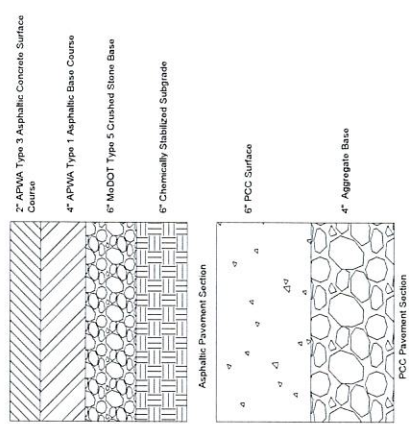
Preliminary Development Plans
18-0251
Sequoia
Lee's Summit, Jackson County, Miss



LEGEND

Existing Section Line	Proposed Right-of-Way
Existing Right-of-Way Line	Proposed Property Line
Existing Lot Line	Proposed Lot Line
Existing Easement Line	Proposed Easement
Existing Curb & Gutter	Proposed Curb & Gutter
Existing Sidewalk	Proposed Sidewalk
Existing Storm Sewer	Proposed Storm Sewer
Existing Storm Structure	Proposed Storm Structure
Existing Waterline	Proposed Waterline
Existing Gas Main	Proposed Gas Main
Existing Sanitary Sewer	Proposed Sanitary Sewer
Existing Sanitary Manhole	Proposed Sanitary Manhole
Existing Contour Major	Proposed Contour Major
Existing Contour Minor	Proposed Contour Minor
Proposed Asphaltic Pavement	Future Curb & Gutter

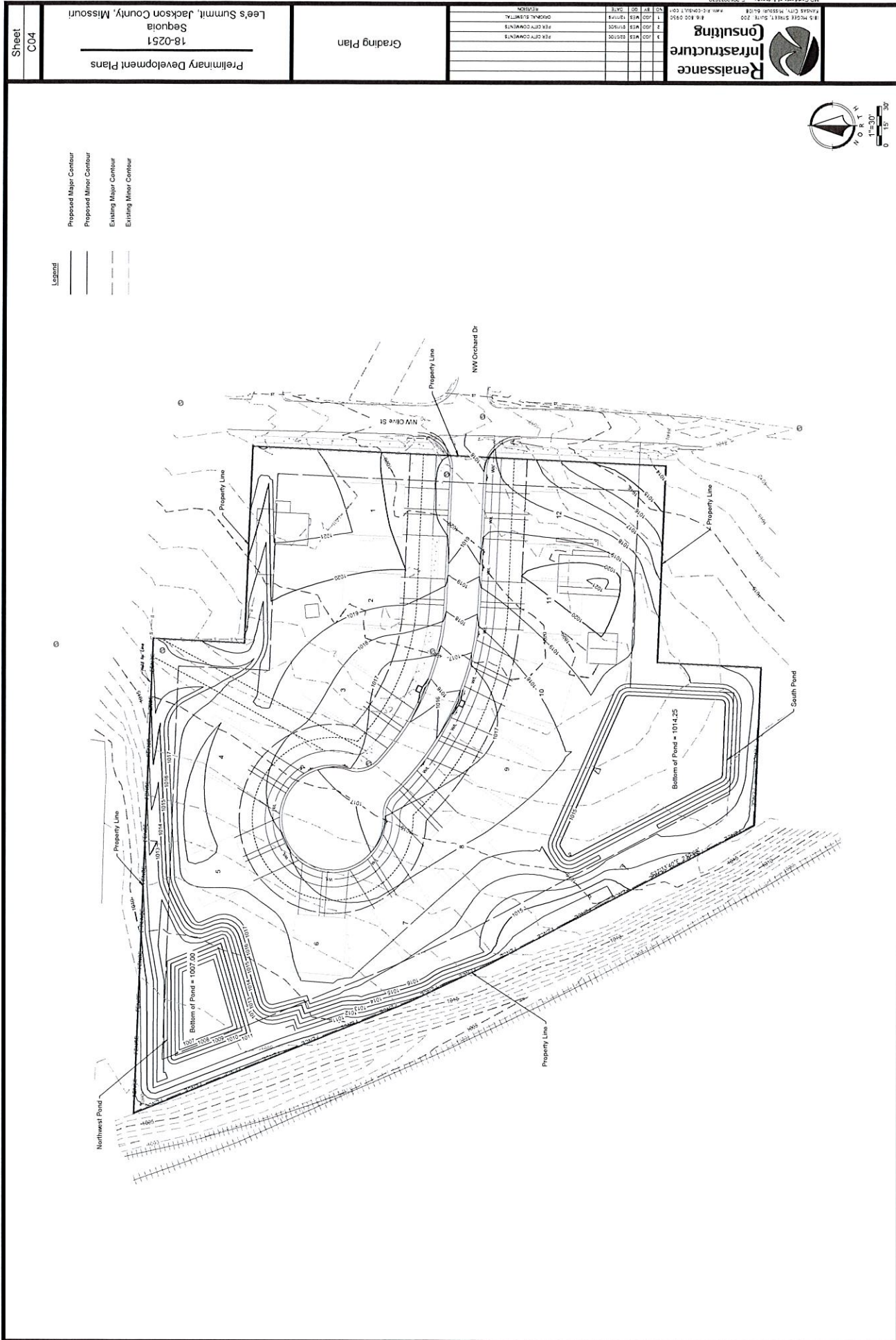
Note:
1) All fencing constructed adjacent to R zoning districts shall conform to City of Lee's Summit UDO Section 6.8.0 minimum buffer screen requirements.



*This width may be used only in planned development where a minimum of 4' offset street parking spaces are provided for each dwelling unit.
**Must be approved by the local authority during the preliminary planning development stage under special conditions such as extremely hilly topography, preserving existing trees or other site conditions.

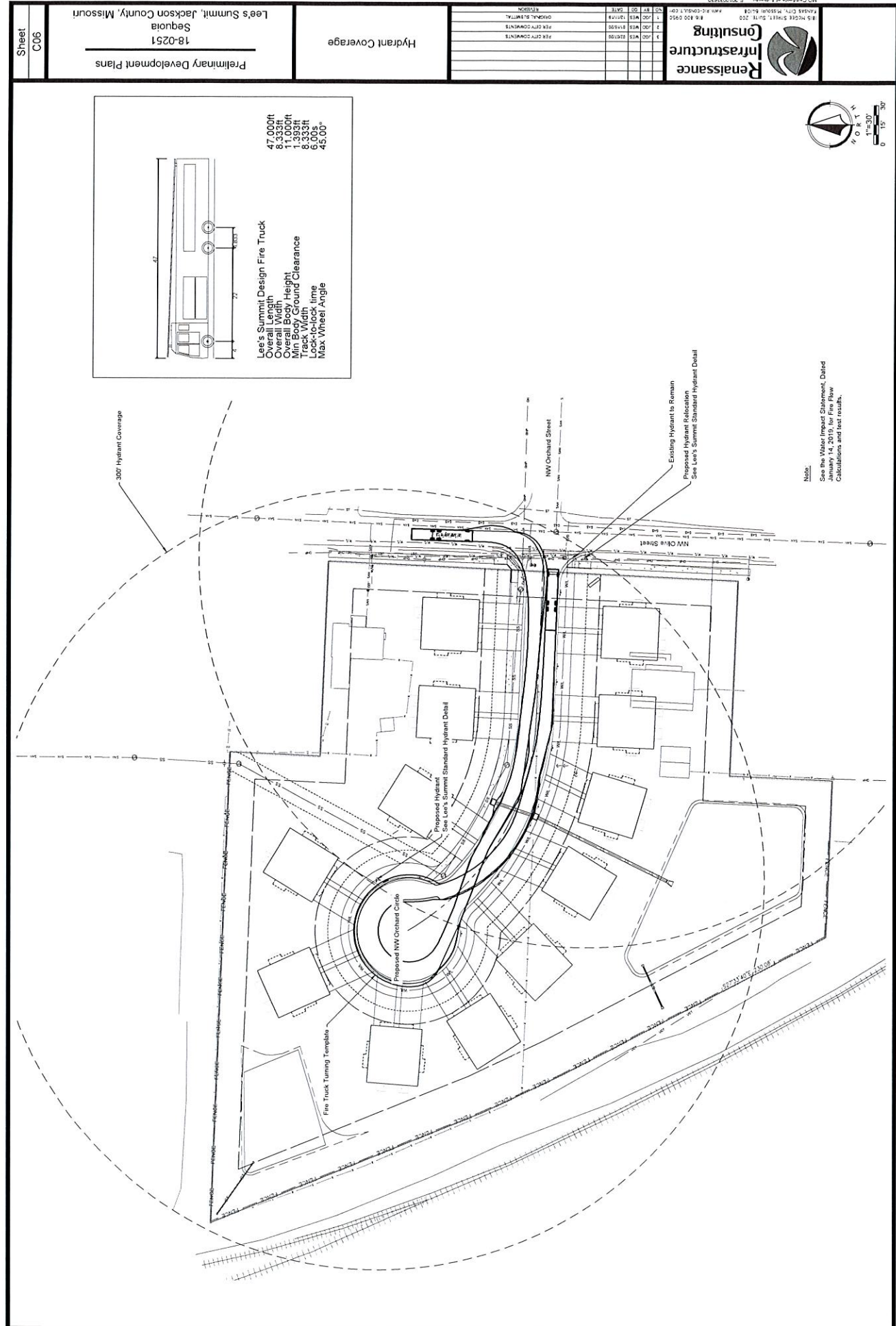


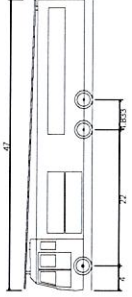
RS-3a



Preliminary Development Plans	18-0251	Saguola	Lee's Summit, Jackson County, Missouri
Sheet	C05		







Lee's Summit Design Fire Truck

Overall Length 47.000ft

Overall Width 8.333ft

Overall Body Height 11.000ft

Min. Body Ground Clearance 8.333ft

Track Width 6.000ft

Lock-to-lock time 45.00"

Max Wheel Angle



Note:
 See the Water Request Statement, Dated January 14, 2019, for Fire Hydrant Calculations and test results.



Renaissance Consulting Infrastructure

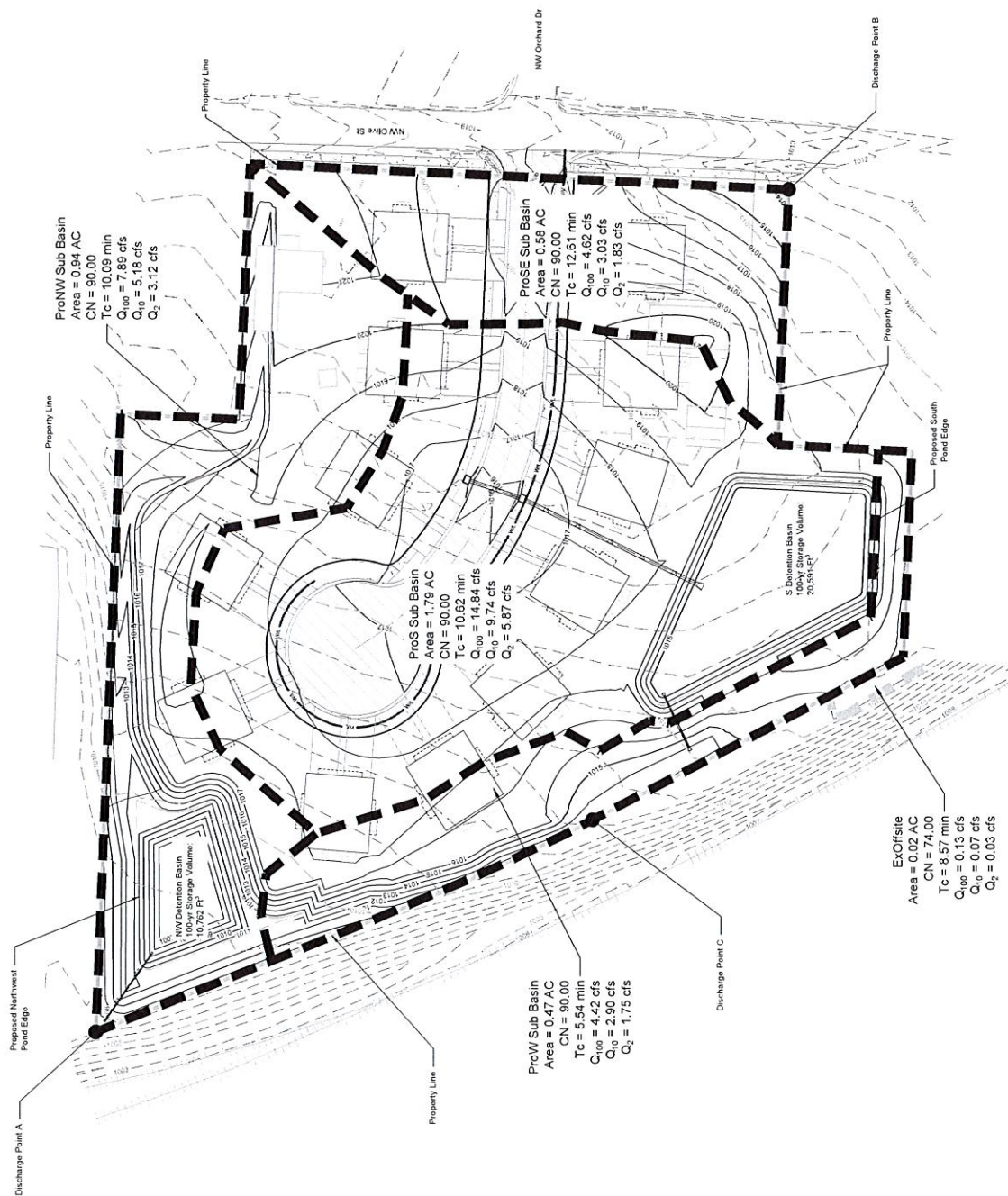
815 N. GARDEN STREET, SUITE 200
 JEFFERSON CITY, MISSOURI 64108
 PHONE: 816.251.1000
 FAX: 816.251.1001
 WWW.RENAISSANCEINFRASTRUCTURE.COM

NO.	DATE	DESCRIPTION
1	01/14/2019	ISSUED FOR PERMIT
2	01/14/2019	ISSUED FOR PERMIT
3	01/14/2019	ISSUED FOR PERMIT
4	01/14/2019	ISSUED FOR PERMIT
5	01/14/2019	ISSUED FOR PERMIT
6	01/14/2019	ISSUED FOR PERMIT
7	01/14/2019	ISSUED FOR PERMIT
8	01/14/2019	ISSUED FOR PERMIT
9	01/14/2019	ISSUED FOR PERMIT
10	01/14/2019	ISSUED FOR PERMIT

Hydrant Coverage

Preliminary Development Plans
 18-0251
 Sequoia
 Lee's Summit, Jackson County, Missouri

Sheet
 C06





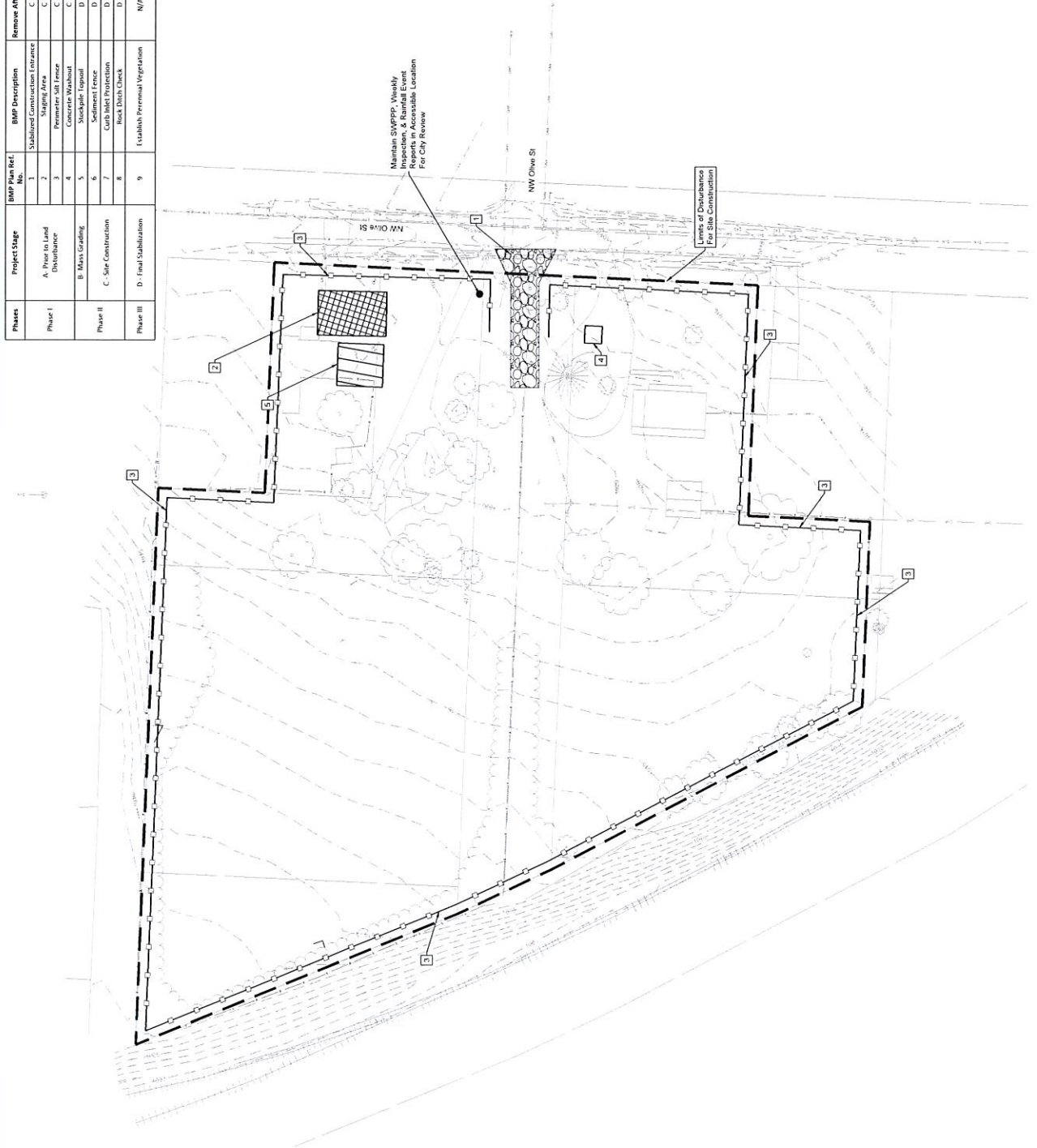
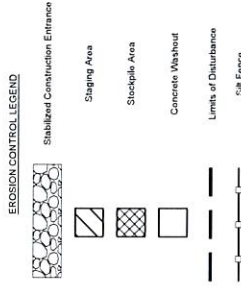
Phases	Project Stage	BMP Plan Ref. No.	BMP Description	Remove After Stage	Notes
Phase I	A Prior to Land Disturbance	1	Stabilized Construction Entrance	C	Install Construction Entrance, as Shown on Plans.
		2	Staging Area	C	Install Staging Area.
		3	Perimeter Soil Fence	C	Install Perimeter Soil Fence, as Shown on Plans.
		4	Concrete Washout	C	Install Concrete Washout as shown on plans prior to pouring any concrete
Phase II	B Mass Grading	5	Stockpile Topsoil	D	Install sediment fence a Minimum of 5' beyond Top of Slope
		6	Sediment Fence	D	Install sediment fence, as Shown on Plans.
		7	Gully Bank Protection	D	Install filter flags around Proposed Cut berls
		8	Rock Ditch Check	D	Install Rock Ditch Check, as Shown on Plans
Phase III	C Final Stabilization	9	Establish Perennial Vegetation	N/A	Postdisturbance topsoil and seed must be applied to all disturbed areas. Seed right-of-way vegetation must be established and maintained as a cultivated mix with perennial vegetation with a density of 70%.

Disturbed Area: 3.78 AC

ESTIMATED EARTHWORK

Cut:	955.60	CY
Fill:	10128.72	CY

Earthwork calculations are informational only. Contractor shall be responsible for their own earthwork calculations and perform all necessary earthwork shown herein without additional cost to the owner if quantities differ than above. Earthwork numbers are unaudited.



REVISION	DATE	BY	NO.	DESCRIPTION
01	10/01/00	WIS	100	100
02	10/01/00	WIS	100	100
03	10/01/00	WIS	100	100
04	10/01/00	WIS	100	100
05	10/01/00	WIS	100	100
06	10/01/00	WIS	100	100
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72	10/01/00	WIS	100	100
73	10/01/00	WIS	100	100
74	10/01/00	WIS	100	100



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		7	Curb Rill Protection	D	Install Rill Bags around Proposed Curb Belts
		8	Rock Ditch Check	D	Install Rill Ditch Check, as Shown on Plans
Phase III	D: Final Stabilization	9	Establish Perennial Vegetation	N/A	Reestablish topsoil and seed and mulch as distributed area. Sod right of way with native grass seed. Establish and maintain a 10' wide buffer with perennial vegetation with a density of 70%.

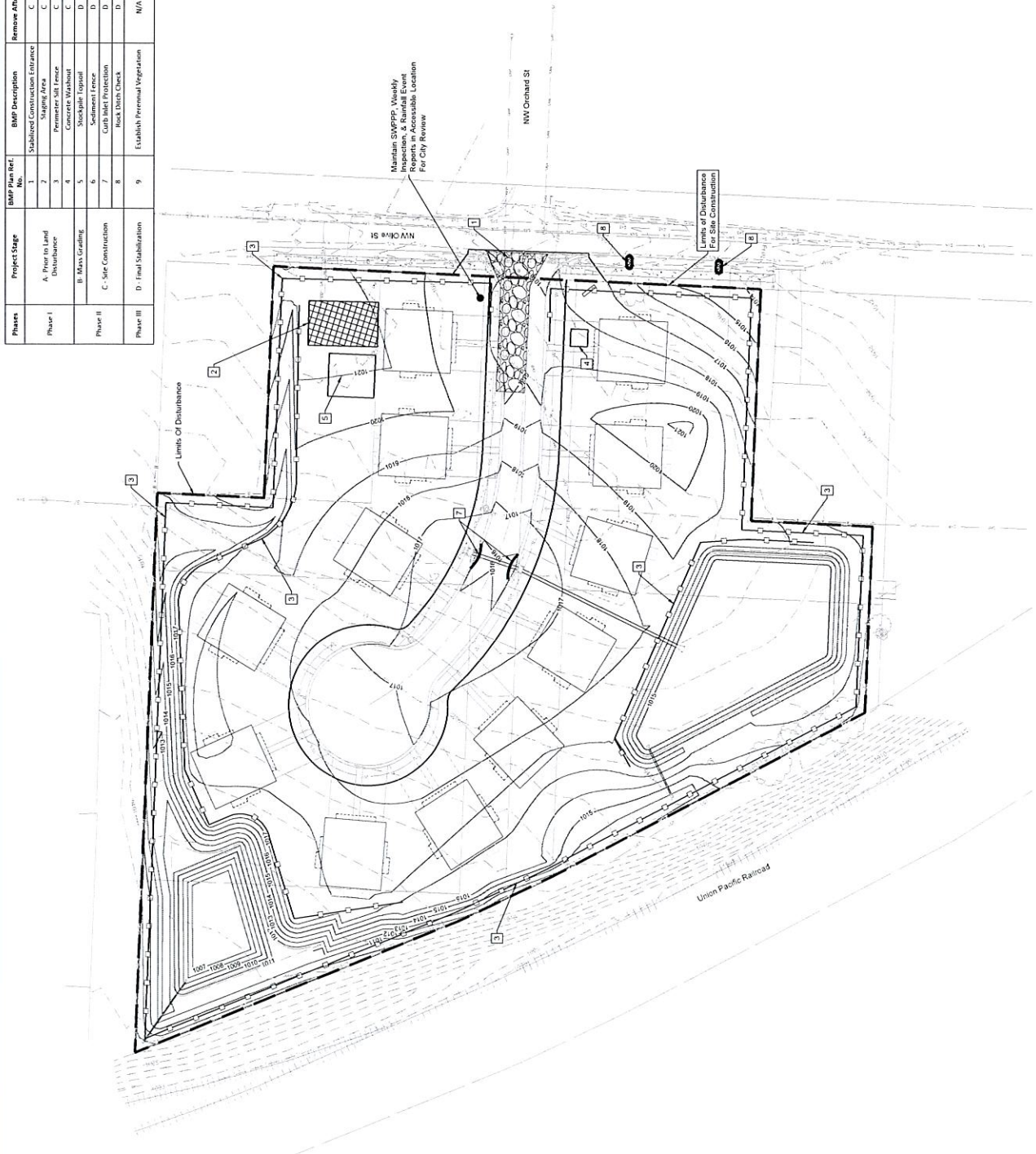
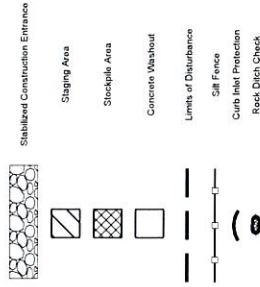
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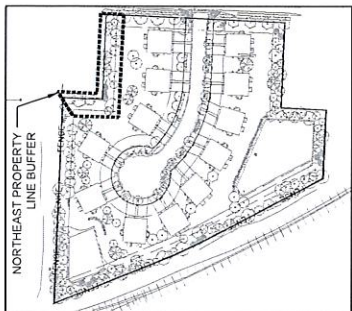
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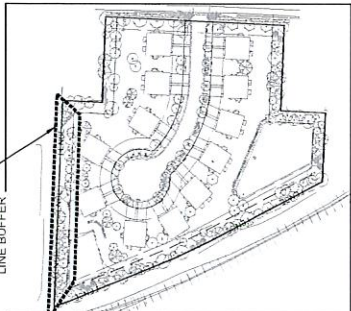
EROSION CONTROL LEGEND



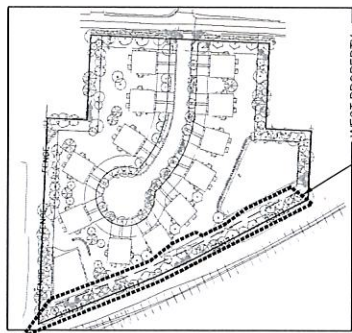
PLANT SCHEDULE NORTHEAST PROPERTY LINE BUFFER



ENVIRONMENT	PLANT	SIZE	QTY
TROPICAL	RESTFALL (COMMON NAME)	CONT	QTY
	Clusia grandifolia 'Fossil Fungus' TM / Fossil Fungus (Retail)	18" B	3
	Curatella floribunda 'Christmas Princess' / Christmas Princess (Discontinued)	18" B	4
	Malus 'Spring Snow' / Spring Snow Crab Apple	18" B	2
TROPICAL TREES	RESTFALL (COMMON NAME)	CONT	QTY
	Aster latifolius 'October Glory' TM / October Glory Maple	18" B	2
	Nyssa sylvatica 'Midnight' / Black Gum	18" B	3
	Quercus shumardii 'Shumard Red Oak'	18" B	2
TEMPERATE TREES	CONT	QTY	
	Ulmus americana 'Valley Forge' / American Elm	18" B	2
	RESTFALL (COMMON NAME)	CONT	QTY
	Juglans nigra 'Savanna' / Caramel Juglar	18" B	2
TEMPERATE TREES	CONT	QTY	
	Pinus strobus 'White Pine'	18" B	2
	Fraxinus americana 'Midnight Express'	18" B	5
	RESTFALL (COMMON NAME)	CONT	QTY
TEMPERATE TREES	CONT	QTY	
	Artemisia arbuscula 'Moonlight' / TM Fossil Fungus Black Chastemary	3 Gal	20
	Physocarpus opulifolius 'Diable' / Diablo Nutsedge	5 Gal	13

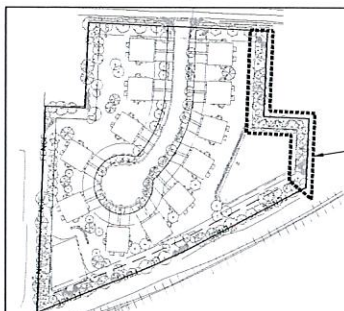
NORTH PROPERTY -
LINE BUFFER -

PLANT SCHEDULE WEST PROPERTY LINE BUFFER



NAME (NUT)	ROSTACEAE (COMMON NAME)	CONST	CAUL	SIZE	QTY
	Cornus canadensis / Swamp Spice / TM / Grand Spice Hybrid	SMB	2' Cal.		4
	Cornus Florida / Chinese Princess / Chinese Princess Disposed	SMB	3' Cal.		4
	Malus x 'Singing Snow' / Singing Snow Crab Apple	SMB	2' Cal.		2
	ROSTACEAE (COMMON NAME)	CONST	CAUL	SIZE	QTY
	Acer latium / October Glory / TM / October Glory Maple	SMB	2.5' Cal.		4
	Nyssa sylvatica / Winter / Black Gum	SMB	2.5' Cal.		4
	Ulmus americana / Valley Maple / American Elm	SMB	2.5' Cal.		2
	ROSTACEAE (COMMON NAME)	CONST	CAUL	SIZE	QTY
	Juniperus horizontalis / Cascade / Cascade Juniper	SMB	6' H. Min.		4
	Prunus virginiana / Wild Cherry / Colorado Spruce	SMB	6' H. Min.		5
	Pinus strobus / White Pine	SMB	6' H. Min.		1

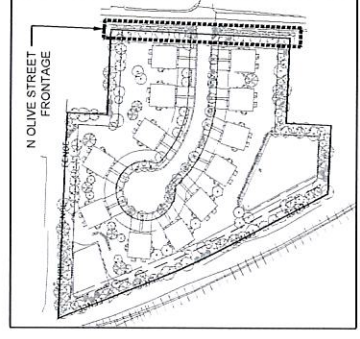
LINE BUFFER



PLANT SCHEDULE NOTE:
SEE SHEET L01 FOR OVERALL LANDSCAPE PLAN AND SCHEDULE
SEE SHEET L01 FOR SEED AND SOO SCHEDULE
SEE SHEET L03 FOR SEPARATE OPEN SPACE AND STREET FRONTAGE SCHEDULES

A detailed site plan for a proposed development. The plan shows several rectangular building footprints arranged in a central cluster. Surrounding these buildings are various areas, including what appears to be a parking lot with individual parking spaces marked. A dashed line outlines a specific region on the left side of the plan, which is labeled 'OPEN SPACE AREA' with a leader line pointing to it. The entire development is bounded by a solid line, and there are additional lines suggesting property boundaries or infrastructure like a road or railway on the right side.

PLANT SCHEDULE NW ORCHARD CIRCLE FRONTAGE			
BIODIVERSITY INDEX	BOTANICAL COMMON NAME	ZONE	QTY
	<i>Caryopteris bodinii</i> / Fragariae / Pyracantha / Lonicera / Hamamelis	IMB	2.5' Cal.
	<i>Georgie delata</i> / Tricentra corymb / Prinoscentia laevis / Geopg	IMB	2.5' Cal.
	<i>Quercus robur</i> / Hagedi / Hovea / Hagep / Prinoscentia laevis / Geopg	IMB	2.5' Cal.
	<i>Quercus shumacheri</i> / Thymus / Thymus / Thymus	IMB	2.5' Cal.
	<i>Quercus shumacheri</i> / Thymus / Thymus	IMB	2.5' Cal.
	BOTANICAL COMMON NAME	ZONE	QTY
	<i>Hypericum perforatum</i> / Thymus / Thymus / Thymus	3 Cal	2
	<i>Hypericum perforatum</i> / Thymus / Thymus / Thymus	3 Cal	2
	<i>Hypericum perforatum</i> / Thymus / Thymus / Thymus	3 Cal	2
	<i>Hypericum perforatum</i> / Thymus / Thymus / Thymus	3 Cal	2
	<i>Hypericum perforatum</i> / Thymus / Thymus / Thymus	3 Cal	2
	<i>Hypericum perforatum</i> / Thymus / Thymus / Thymus	3 Cal	2
	<i>Hypericum perforatum</i> / Thymus / Thymus / Thymus	3 Cal	2
	<i>Hypericum perforatum</i> / Thymus / Thymus / Thymus	3 Cal	2
	<i>Hypericum perforatum</i> / Thymus / Thymus / Thymus	3 Cal	2
	<i>Hypericum perforatum</i> / Thymus / Thymus / Thymus	3 Cal	2
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	<i>Hypericum perforatum</i> / Thymus / Thymus / Thymus	3 Cal	2
	<i>Hypericum perforatum</i> / Thymus / Thymus / Thymus	3 Cal	2
	<i>Hypericum perforatum</i> / Thymus / Thymus / Thymus	3 Cal	2



PLANT SCHEDULE NW ORCHARD CIRCLE FRONTAGE

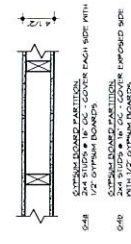
ROTUNGAL (COMMON NAME)	CONC.	GAL.	QTY.
Caryota betelaka / Fingertale / Fingertale / Lycopodium Hainanense	RM3	2.5 Gal.	4
Cordia alliodora / Pincation Scently / Pincation Scently Ganga	RM3	2.5 Gal.	8
Quercus velutina / Hapal Hener / Hapal Hener English Oak	RM3	2.5 Gal.	4
Quercus shumacheri / Shumacher Oak	RM3	2.5 Gal.	3
ROTUNGAL (COMMON NAME)	CONC.	GAL.	QTY.
Hypogynum frondosum / Sundural / Sundural / Hypogynum	3 Gal.		7
Ber glabra / Bittery Yolly	6 Gal.		5
Nea eugenia / Henry's Cery / Henry's Cery / Sweetness	5 Gal.		7
Juncus amurensis / Cold Leaf / Cold Leaf / Juniper	5 Gal.		6
Mucronaria sinensis / Ucinibum / Mucronaria	5 Gal.		12
Platanus virginica / Hester Hener / Hester Hener / Satchi Grass	5 Gal.		6

general notes

- 1) GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES OR CONFLICTS BETWEEN MULTIPLE SPECIFICATION SECTIONS. THE ARCHITECT SHALL BE RESPONSIBLE FOR RESOLVING ANY DISCREPANCIES OR CONFLICTS.
- 2) GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF THE JOB SITE INCLUDING UTILITIES AND REPORT ANY DISCREPANCIES TO THE ARCHITECT.
- 3) GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE STABILITY OF THE STRUCTURE DURING CONSTRUCTION. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE STABILITY OF THE STRUCTURE DURING CONSTRUCTION.
- 4) ALL ARCHITECTURAL FLOOR PLAN DIMENSIONS ARE FROM FACE OF CONCRETE OR FACE OF STUD NOTED OTHERWISE.
- 5) INTERIOR WALLS ARE TO BE COMPOSED OF 2x4 STUDS WITH 1/2" DRYWALL EACH SIDE UNLESS NOTED OTHERWISE.
- 6) MECHANICAL/PLUMBING CONTRACTOR TO COORDINATE ALL MECHANICAL/PLUMBING DETAILS AND TO NOTIFY ARCHITECT OF ANY DISCREPANCIES OR CONFLICTS.
- 7) ELECTRICAL CONTRACTOR TO INSTALL OUTLETS AS NOTED ON ELECTRICAL SCHEDULE AND TO NOTIFY ARCHITECT OF ANY DISCREPANCIES OR CONFLICTS.
- 8) DOORS AND LIGHTING ARE COMPLIANT WITH THE PHYSICAL SECURITY REQUIREMENTS IN THE KANSAS CITY POLICE DEPARTMENT SECTION 350.
- 9) COORDINATE ALL WALLS AND PARTITIONS WITH ARCHITECTURAL DRAWINGS WITH STRUCTURAL DRAWINGS.
- 10) ALL EXTERIOR WALLS TO RECEIVE R-4 DATT INSULATION UNO.
- 11) ALL DASHED WALLS TO BE FINISHED WITH 2x4 STUDS AND SHALL RECEIVE R-13 DATT INSULATION UNO.

partition types

OPTIMUM

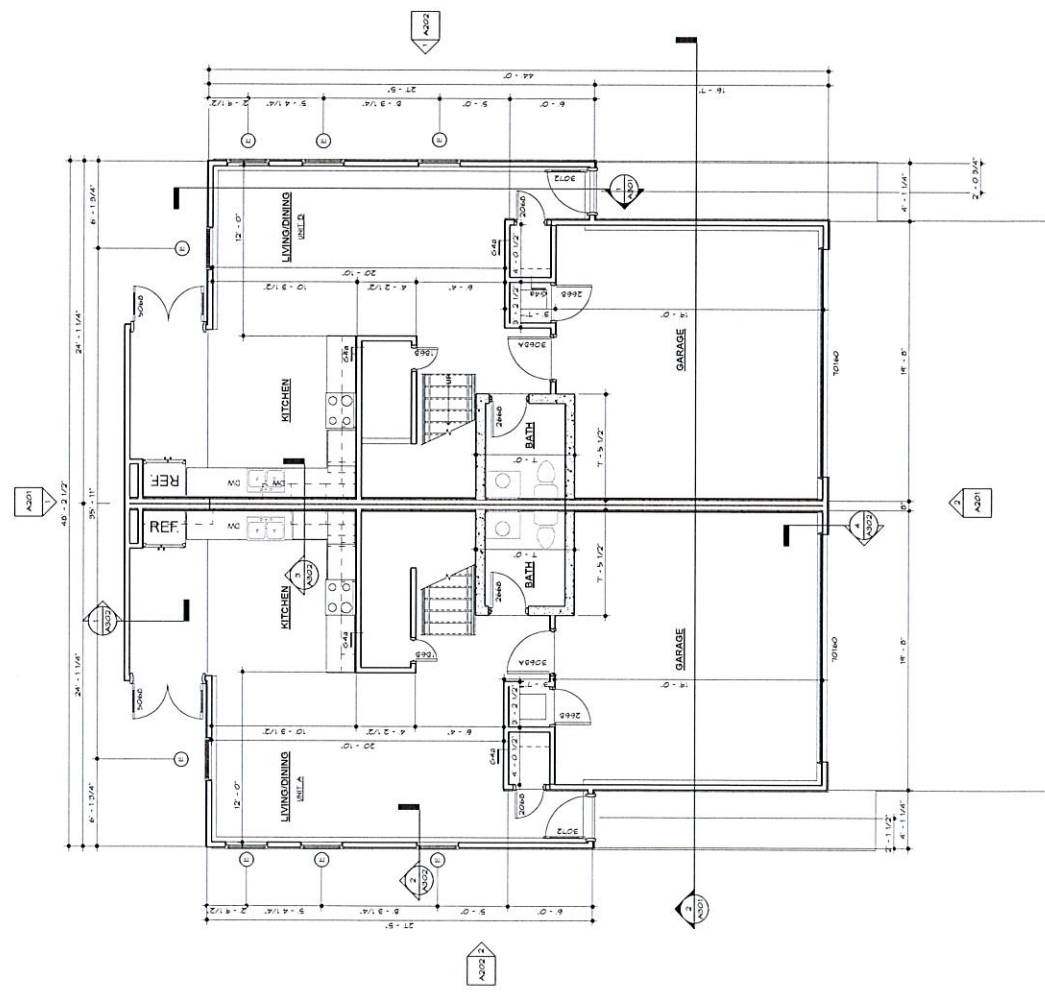


OPTIMUM BOMED GENERAL NOTES

- 1) ALL PARTITIONS SHALL BE OPTIMUM BOMED AT UNLESS NOTED OTHERWISE. PROVIDE 4" ACoustICAL INSULATION IN ALL PARTITIONS.
- 2) FRAME AROUND EXISTING DOOR DRAFT AS REQUIRED FOR STABILITY.
- 3) REFER TO HOLLOW METAL FRAME DETAILS FOR ADDITIONAL INFORMATION.
- 4) EXTEND STUDS TO TOP FRAME ATTACHED TO STRUCTURE ABOVE OR DRAFT DRAFT TO STRUCTURE AS NECESSARY TO FULLY STABILIZE THE PARTITIONS.
- 5) REFER TO COLUMN DETAILS FOR ADDITIONAL DETAIL INFORMATION.
- 6) REFER TO FINISH SCHEDULE FOR WALL FINISH.
- 7) ALL EXTERIOR PARTITIONS SHALL BE FINISHED WITH PARTITIONS FINISHED TO MEET ALL CITY REQUIREMENTS AND TRUE AND SEALED.

architectural plan keynotes

- STAIR UP TO SECOND LEVEL - (TS) RISERS AT APPROX. 1 1/2" AND (14) TREADS AT 10 1/2"
- STAIR UP TO MAIN LEVEL - (TS) RISERS AT APPROX. 1 1/4" AND (14) TREADS AT 10 1/2"



1 architectural floor plan - main level
 1/4" = 1'-0"

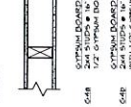


general notes

- 1) GENERAL CONTRACTOR SHALL VERIFY THE ACCURACY OF ANY DISCREPANCIES BETWEEN SPECIFICATIONS AND DRAWINGS. BETWEEN THIS SPECIFICATION SECTIONS WILL DETERMINE WHICH SHALL GOVERN.
- 2) GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND FINISHES. GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND FINISHES PRIOR TO BEGINNING WORK AND REPORT ANY DISCREPANCIES TO THE ARCHITECT.
- 3) GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS INCLUDING ALL WORKING AND DRAMAING REQUIRED TO RESIST REQUIRED VERTICAL AND LATERAL FORCES.
- 4) ALL ARCHITECTURAL FLOOR PLAN DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
- 5) INTERIOR WALLS ARE TO BE CONSTRUCTED OF 2x4 STUDS AT 16" O.C. MAX WITH 1/2" DRYWALL EACH SIDE UNLESS NOTED OTHERWISE.
- 6) MECHANICAL/PLUMBING CONTRACTOR TO COORDINATE WITH ARCHITECT OF NEED FOR SLOPPED OR CHASES FOR THE INSTALLATION OF EQUIPMENT OR PIPING.
- 7) ALL PARTITIONS SHALL BE CONSTRUCTED WITH 2x4 STUDS AS REQUIRED PER CODE. VERIFY ALL LOCATIONS WITH OWNER PRIOR TO BEGINNING DETAILING.
- 8) DOORS AND LIGHTING ARE COMPLIANT WITH THE BUILDING AND REHABILITATION CODE - SECTION 23A.
- 9) COORDINATE ALL WALLS AND DIMENSIONS ON ARCHITECTURAL DRAWINGS WITH STRUCTURAL DRAWINGS.
- 10) ALL EXTERIOR WALLS TO RECEIVE R-18 BATT INSULATION AND FINISH WITH 1/2" DRYWALL.
- 11) ALL EXTERIOR WALLS TO BE SIGNED OUT WITH 2x4 STUDS AND SHALL RECEIVE R-13 BATT INSULATION AND FINISH WITH 1/2" DRYWALL.

partition types

SYSTEM

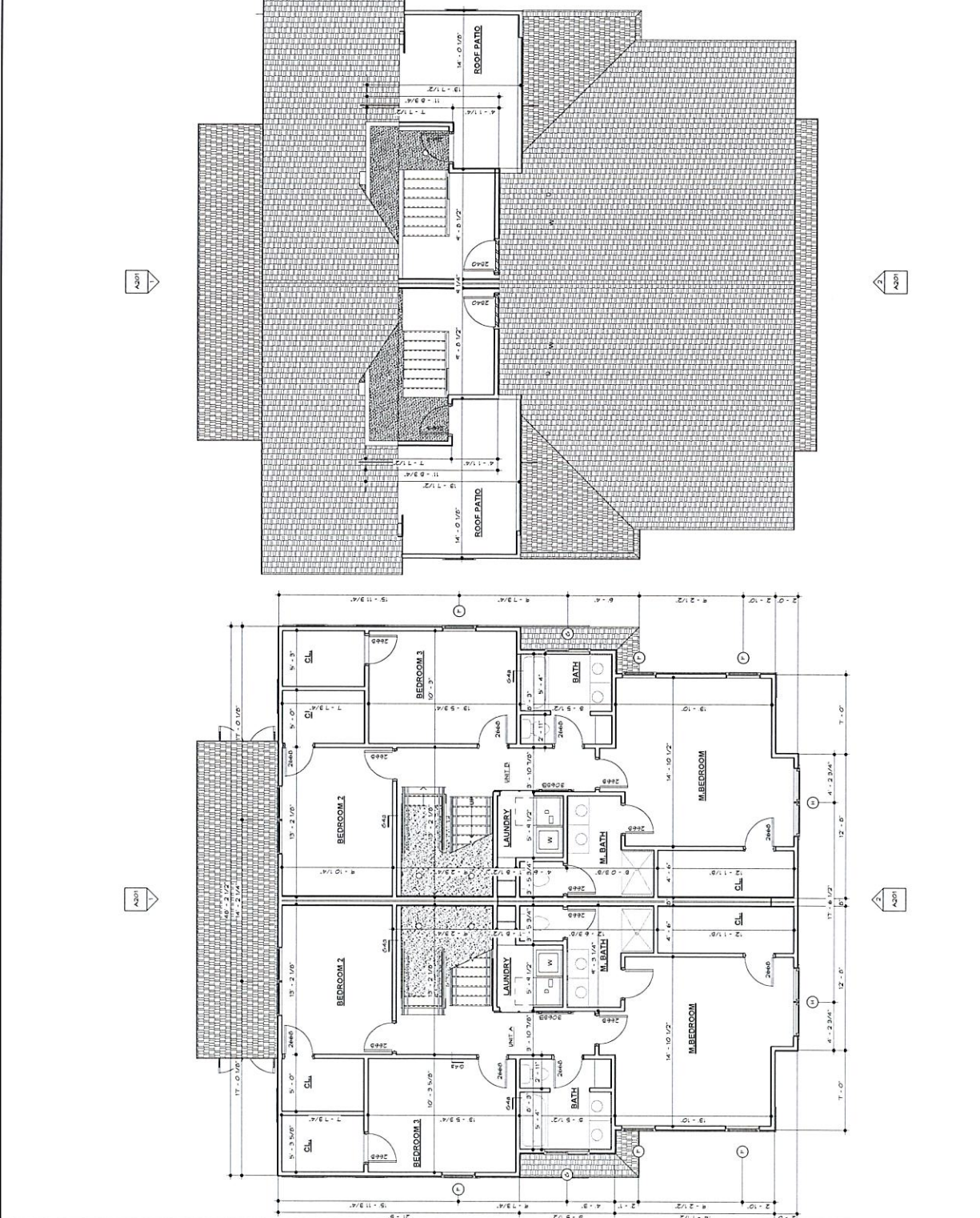


OPTIONAL BOARD GENERAL NOTES

- UNLESS NOTED OTHERWISE, EXTEND OPTION BOARD 4" ABOVE FINISHED CEILING ELEVATION.
- UNLESS NOTED OTHERWISE, PROVIDE 4" ACROSTIC INSULATION IN ALL PARTITIONS.
- FOR STUDS AND DISTANCE, BRACK BRACK AS REQUIRED FOR STABILITY.
- REFER TO HOLLOW METAL FRAME DETAILS FOR ADDITIONAL DETAIL REQUIREMENTS.
- EXTEND STUDS TO TOP RUNNER ATTACHED TO STUDS AND FINISH WITH 1/2" DRYWALL AND STAPLE AS NECESSARY TO FULLY STABILIZE THE BOARD STRUCTURE.
- REFER TO COLUMN DETAILS FOR ADDITIONAL DETAIL REQUIREMENTS.
- REFER TO FINISH SCHEDULE FOR WALL FINISH.
- ALL PENETRATIONS THROUGH OPTION BOARD PARTITIONS EXPOSED TO VIEW SHALL BE TRIMMED NEAT AND TRUE AND SIGNED.

architectural plan keynotes

- 1) STAIR UP TO SECOND LEVEL - (75) RISERS AT APPROX. 11"2" AND (14) TREADS AT 10"1/2"
- 2) STAIR UP TO MAIN LEVEL - (75) RISERS AT APPROX. 11"2" AND (14) TREADS AT 10"1/2"



2 architectural floor plan - roof terrace
1/4" = 1'-0"

1 architectural floor plan - second level
1/4" = 1'-0"

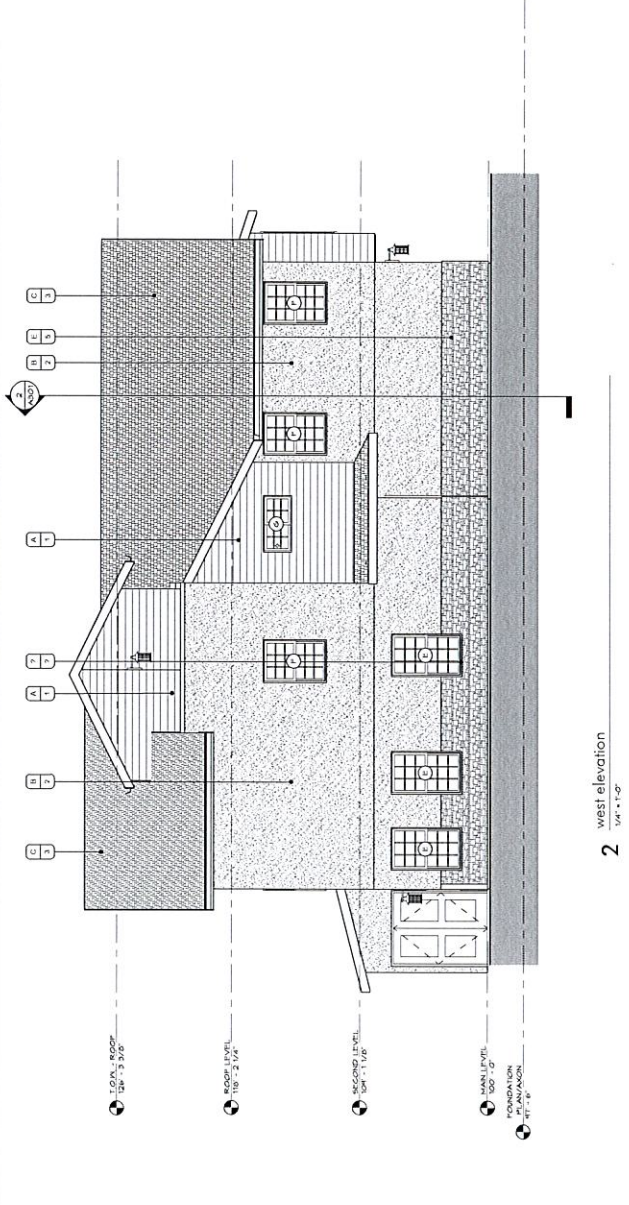
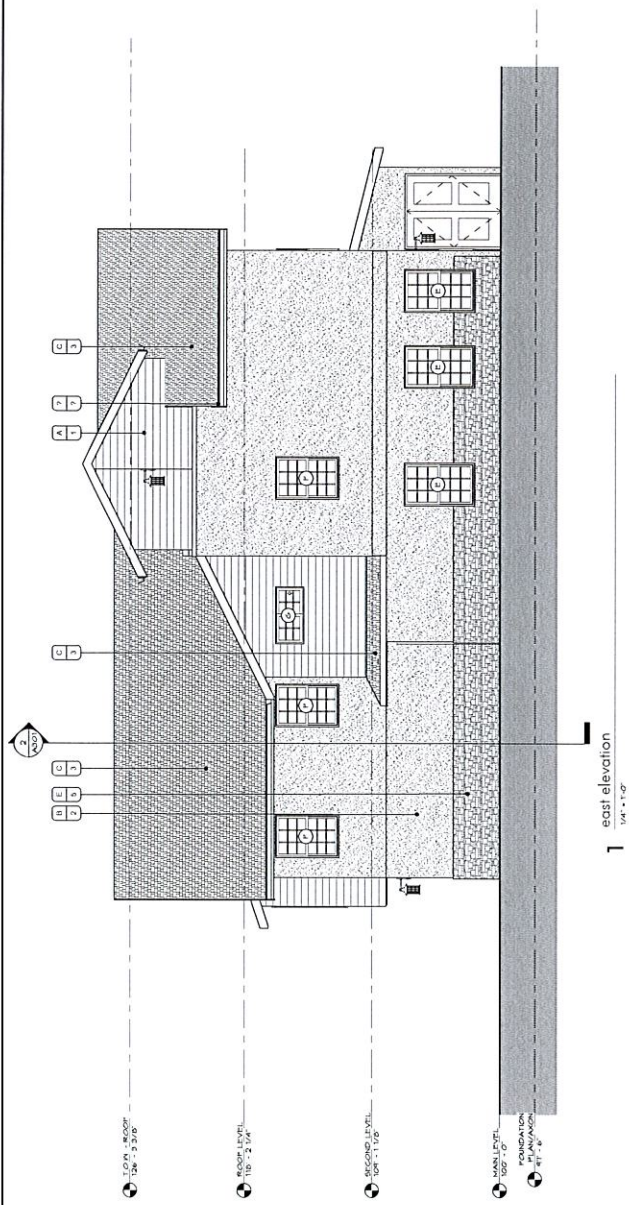


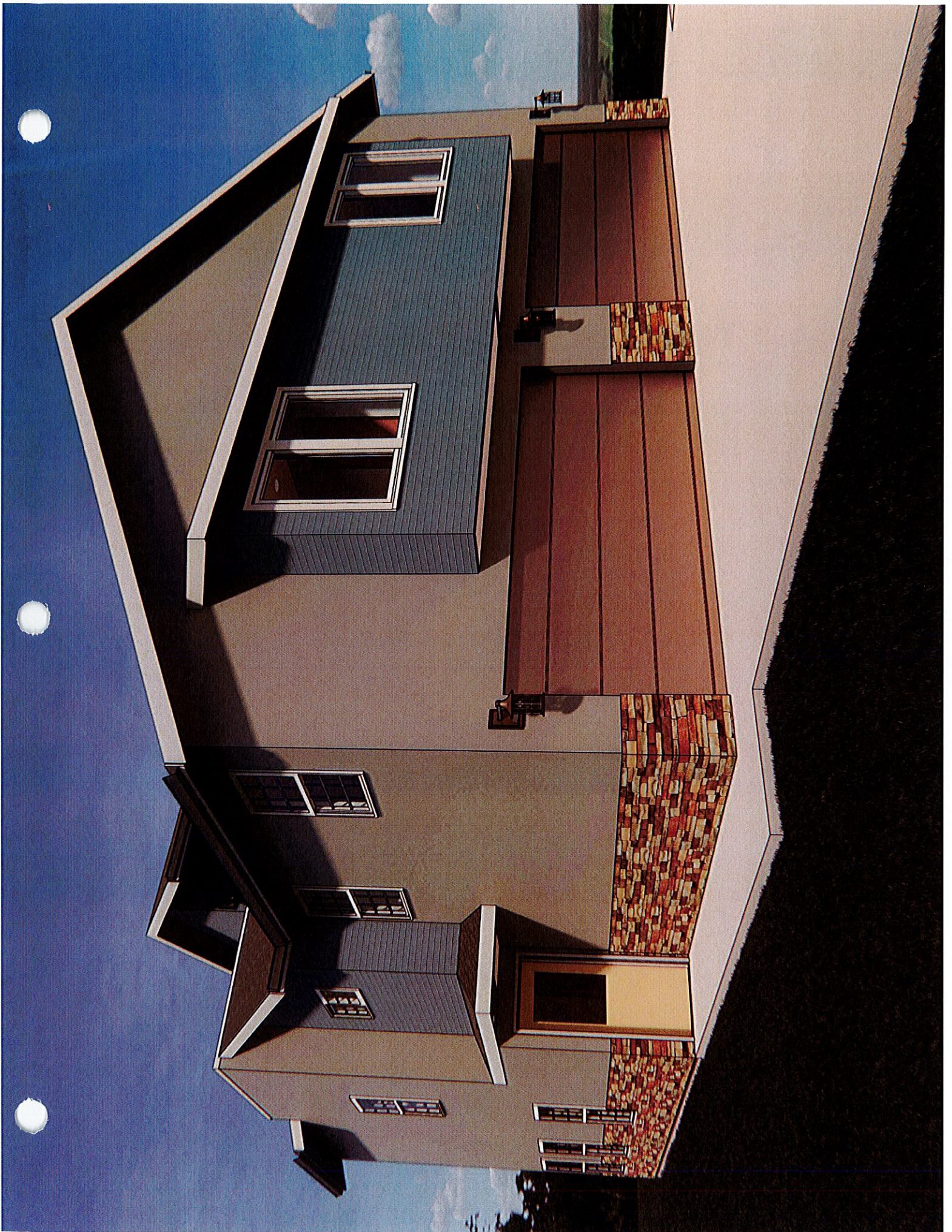
exterior elevation general notes

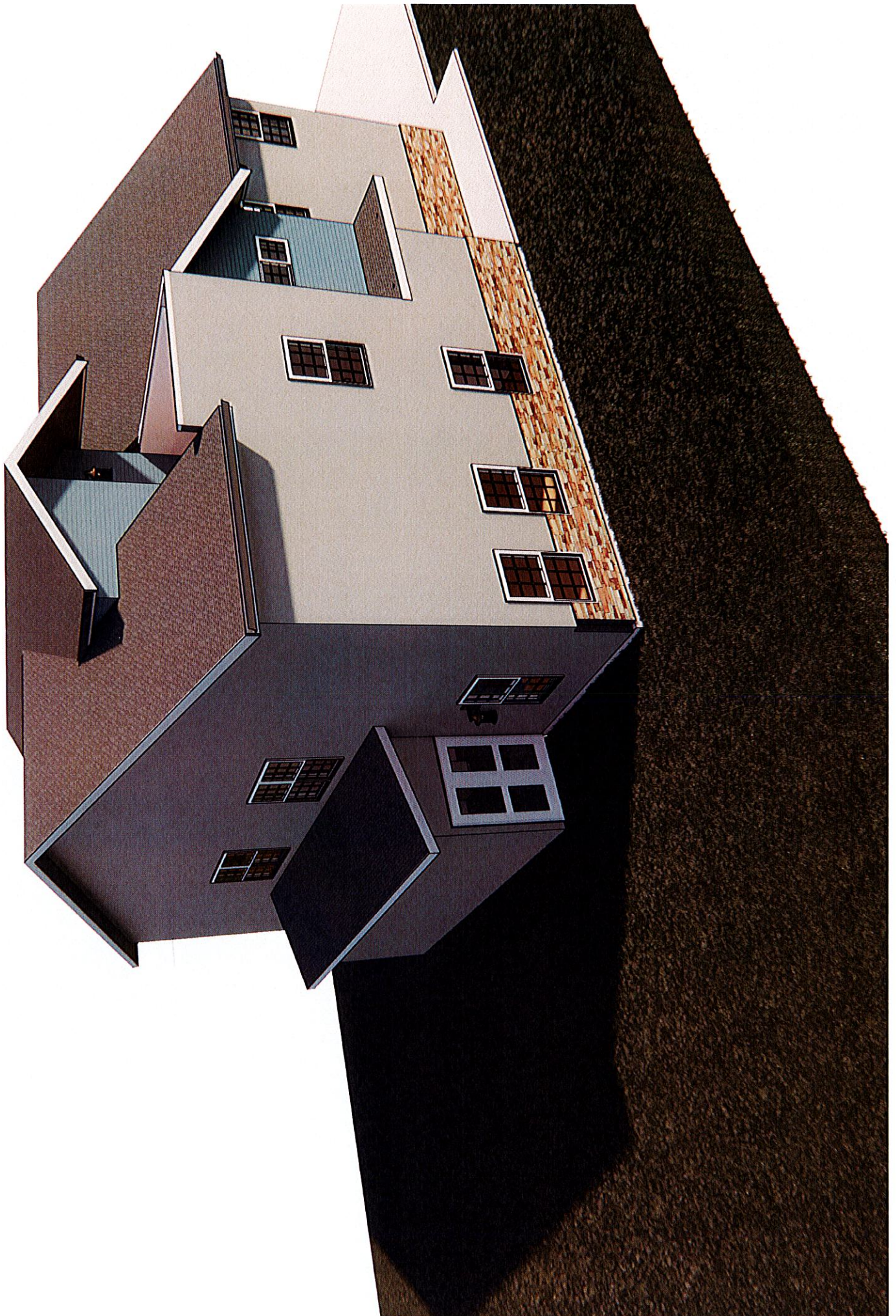
1. EXCEPT AS NOTED, ALL FINISHES SHALL BE AS SHOWN ON THE DRAWINGS. FINISHES SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE FOLLOWING:
2. EXTERIOR FINISHES SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE FOLLOWING:
3. EXTERIOR FINISHES SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE FOLLOWING:
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6. EXTERIOR FINISHES SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE FOLLOWING:
7. EXTERIOR FINISHES SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE FOLLOWING:

exterior material legend

- MATERIAL TYPE
- A. HORIZONTAL CLAY/STONE BRICK
 - B. HORIZONTAL CLAY/STONE BRICK
 - C. HORIZONTAL CLAY/STONE BRICK
 - D. HORIZONTAL CLAY/STONE BRICK
 - E. HORIZONTAL CLAY/STONE BRICK
- MATERIAL FINISH
1. PAINT, T&B
 2. PAINT, T&B
 3. PAINT, T&B
 4. PAINT, T&B
 5. PAINT, T&B







Appl. #PL2019-412 - PRELIMINARY DEVELOPMENT PLAN
Sequoia, 408, 500 & 502 NW Olive St
Orchard Park Development, LLC, applicant

