

AN ORDINANCE APPROVING A PRELIMINARY DEVELOPMENT PLAN LOCATED AT 3501 SW MARKET ST IN DISTRICT CP-2, PROPOSED FIRESTONE, IN ACCORDANCE WITH THE PROVISIONS OF CHAPTER 33, THE UNIFIED DEVELOPMENT ORDINANCE OF LEE'S SUMMIT CODE OF ORDINANCES, FOR THE CITY OF LEE'S SUMMIT, MISSOURI.

WHEREAS, Application #PL2020-005, submitted by FS Lee's Summit, LLC, requesting approval of a preliminary development plan in District CP-2 (Planned Community Commercial District) on land located at 3501 SW Market St. was referred to the Planning Commission to hold a public hearing; and,

WHEREAS, the Unified Development Ordinance provides for the approval of a preliminary development plan by the City following public hearings by the Planning Commission and City Council; and,

WHEREAS, after due public notice in the manner prescribed by law, the Planning Commission held a public hearing for the consideration of the preliminary development plan on March 12, 2020, and rendered a report to the City Council recommending that the preliminary development plan be approved; and,

WHEREAS, after due public notice in the manner prescribed by law, the City Council held a public hearing on April 14, 2020 and approved a motion for a second ordinance reading to approve the preliminary development plan for said property.

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF LEE'S SUMMIT, MISSOURI, as follows:

SECTION 1. That a preliminary development plan is hereby approved in District CP-2 on the following described property:

A tract of land located in a portion of the Southwest Quarter of Section 29, Township 47 North, Range 31 West of the 5th Principal Meridian, Lee's Summit, Jackson County, Missouri, and being more particularly described as follows:

BEGINNING at the Northwest corner of Lot 1A, Minor Plat of QuikTrip 200R Lot 1A; Thence along a curve to the right and the Southeasterly right of way of Market Street, having a radius of 459.32 feet, a length of 320.00 feet and a chord bearing and distance of N 33°05'03" E, 313.57 feet; Thence S 54°19'08" E a distance of 136.50 feet; Thence S 02°26'15" W a distance of 195.00 feet to the North line of said Lot 1A; Thence N 87°33'03" W along said North line a distance of 274.00 feet to the point of beginning, containing 1.237 acres.

SECTION 2. That the following conditions of approval apply:

1. A modification shall be granted to the maximum number of wall signs allowed (3) in the CP-2 zoning district, to allow four (4) wall signs.
2. An on-site pedestrian walkway with a minimum width of five (5) feet to and between the public sidewalk along the perimeter street adjacent to the development shall be provided.

SECTION 3. That development shall be in accordance with the preliminary development plan, date stamped February 24, 2020, as described in the staff report.

SECTION 4. Nonseverability. All provisions of this ordinance are so essentially and inseparably connected with, and so dependent upon, each other that no such provision would be enacted without all others. If a court of competent jurisdiction enters a final judgment on the merits that is not subject to appeal and that declares any provision or part of this ordinance void, unconstitutional, or unenforceable, then this ordinance, in its collective entirety, is invalid and shall have no legal effect as of the date of such judgment.

SECTION 5. That failure to comply with all of the provisions contained in this ordinance shall constitute violations of both this ordinance and Chapter 33, the City's Unified Development Ordinance, of the Code of Ordinances for the City of Lee's Summit.

SECTION 6. That this ordinance shall be in full force and effect from and after the date of its passage and adoption, and approval by the Mayor.

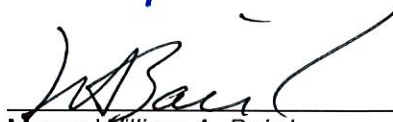
PASSED by the City Council of the City of Lee's Summit, Missouri, this 5th day of May, 2020.


Mayor William A. Baird

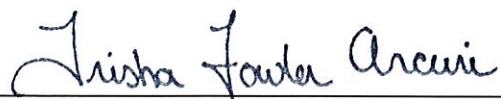
ATTEST:


City Clerk Trisha Fowler Arcuri

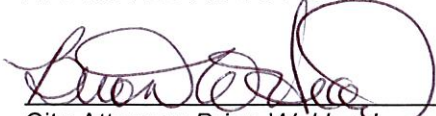
APPROVED by the Mayor of said city this 8th day of May, 2020.


Mayor William A. Baird

ATTEST:


City Clerk Trisha Fowler Arcuri

APPROVED AS TO FORM:


City Attorney Brian W. Head

SITE DEVELOPMENT PLANS FOR



NEW FIRESTONE STORE

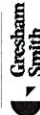
3501 SW MARKET STREET
JACKSON COUNTY
LEE'S SUMMIT, MISSOURI

GRESHAM SMITH PROJECT NO. 40831.45

OWNER / DEVELOPER

FS LEE'S SUMMIT, LLC
9010 Overlook Boulevard
Brentwood, Tennessee 37027
Owner Contact: Jason Horowitz
Email: jhorowitz@firestone.com
Phone: (615) 370-0570

CIVIL ENGINEER



222 Second Avenue South, Suite 1400
Nashville, TN 37201
Civil Contact: JP Michael, E.I.
Phone: (615) 770-8175
Email: jp.michael@greshamsmith.com

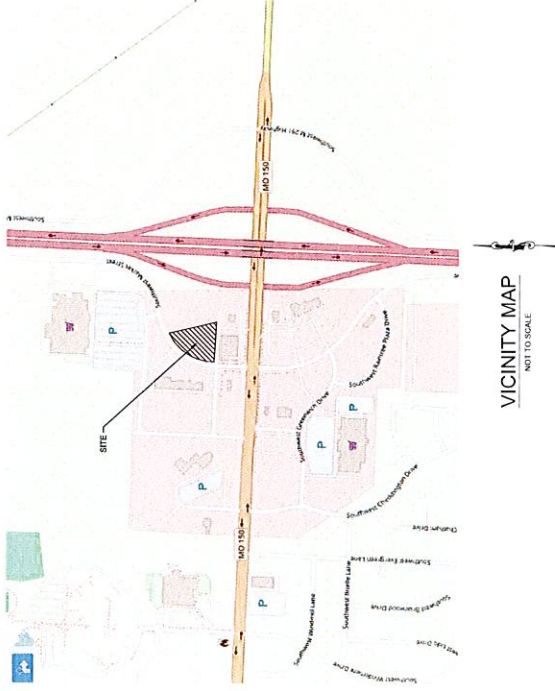
SURVEYOR

CORNERSTONE REGIONAL SURVEYING, LLC

Contact: William A. Booe
1921 North Penn
Independence, KS 67301
Phone: (620) 331-6767
ARCHITECT

SGA DESIGN GROUP

1437 South Boulder Ave., Suite 550
Tulsa, OK 74119
Contact: Olivia Good, AIA, LEED A.P.
Phone: (918) 587-8602 Ext. 341



NO.	TITLE
C000	COVER SHEET
C001	GENERAL NOTES
C101	EXISTING CONDITIONS PLAN
C200	DEMOLITION PLAN
C201	SITE LAYOUT PLAN
C300	CONCEPTUAL PLAN
C300	GRADING AND DRAINAGE PLAN
C500	UTILITY PLAN
C501	OFFSITE WATER LINE PLAN
C900	SITE DETAILS
C901	SITE DETAILS
C902	SITE DETAILS
C903	SITE DETAILS
C904	CITY OF LEE'S SUMMIT STANDARD DETAILS
L200	LANDSCAPE PLAN

CONTACT LIST	REVISION
PLANNING AND ZONING DEVELOPMENT SERVICES LEE'S SUMMIT, MO 64083 CONTACT: MIKE WISSEHOORN PHONE: (816) 984-1400	1. 02.27.2009 CITY COMMENTS
STORMWATER AND WATER LEE'S SUMMIT ENGINEERING LEE'S SUMMIT, MO 64083 CONTACT: GENE WILLIAMS PHONE: (816) 984-1400	2. 02.27.2009 CITY COMMENTS
SEWER LEE'S SUMMIT PUBLIC WORKS LEE'S SUMMIT, MO 64083 CONTACT: MIKE WISSEHOORN PHONE: (816) 984-1400	
UTILITY LINES 3925 SW GLOVER DR LEE'S SUMMIT, MO 64083 CONTACT: TERRY SAULSBERY PHONE: (816) 574-4209	
811 LEE'S SUMMIT, MO 64083 CONTACT: TERRY SAULSBERY PHONE: (816) 574-4209	



COVER SHEET

C000

40831.45
JANUARY 6, 2009

THESE PLANS ARE THE PROPERTY OF GRESHAM SMITH, LLC. NO PART OF THESE PLANS MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT PERMISSION IN WRITING FROM GRESHAM SMITH, LLC.



3501 SW MARKET STREET
LEE'S SUMMIT, MISSOURI 64083



GreshamSmith.com

222 Second Avenue South
Suite 1400
Nashville, TN 37201
615.770.8100



Description

SES

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[illegible]

SITE UTILITIES GENERAL NOTES:

1. THE CONTRACTOR SHALL COMPLY WITH ALL LOCAL CODES AND, IF NECESSARY NOTIFICATIONS, OBTAIN ALL PERMITS, AND PAY ALL FEES PRIOR TO BEGINNING UTILITY WORK.
2. THE CONTRACTOR IS PARTICULARLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF THE EXISTING UTILITIES SHOWN ON ANY RECORD DRAWINGS OR FIELD SURVEY MAY BE DIFFERENT FROM ACTUAL CONDITIONS. THEREFORE, THE CONTRACTOR SHALL OBTAIN ADDITIONAL INFORMATION AS BEING PARTIAL OR COMPLETE. SHOULD UNEXPECTED UTILITIES BE ENCOUNTERED DURING EXCAVATION OPERATIONS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER AS SOON AS POSSIBLE FOR INSTRUCTIONS.
3. NOTIFY THE LOCAL UTILITY LOCATOR SERVICE (CALL 811) AND ANY NON-CALL SITE SYSTEM MEMBER UTILITY INDIVIDUALLY AT LEAST 1-2 WORKING DAYS PRIOR TO ANY EXCAVATION INVOLVING TRENCHING OPERATIONS.
4. MAINTAIN 15'-0" HORIZONTAL AND 16'-0" VERTICAL SEPARATION BETWEEN SANITARY SEWER AND WATER SUPPLY LINES. CONTRACTORS SHALL VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES INCLUDING IRRIGATION. TAKE CARE TO STANDSTANDS AT THE CONTRACTOR'S EXPENSE. COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY. RELOCATE IRRIGATION LINES AS NECESSARY FOR CONSTRUCTION.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE SEQUENCING OF CONSTRUCTION FOR ALL UTILITY LINES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES. DO NOT CONTACT WITH SANITARY SEWERS OR STORM SEWERS. INSTALL UTILITY LINE PRIOR TO FINAL PAVEMENT OR GRADATION.
6. MANHOLE UTILITY TRENCHES UNDER PAVEMENT OR GRADATION SHALL HAVE A MINIMUM COVER OF 18" ABOVE FINISHED GRADE. UTILITY TRENCHES IN LAWN AREAS WITH SATISFACTORY FILL MATERIAL COMPACTED TO AT LEAST 95% OF MAXIMUM PROCTER STANDARD MUST BE 18" DEEP.
7. ADJUST ALL EXISTING-TERRAUM UTILITY SURFACE FEATURES, INCLUDING BUT NOT LIMITED TO CASTINGS, VALVE BOXES, MANHOLES, AND OTHERS, TO MATCH EXISTING FINISHED GRADE.
8. PROVIDE ALL EXISTING UTILITY TRENCHES TO REMAIN OPEN TO THE STREET. 18" DIA. AND SMALLER SIZES UNDESIRABLE FOR SUSPENSION TO PREVENT THIS MESSAGE SPECIFIED. FORM THROUGHT BLOWING GO AS TO NOT IMPACT JUNKIES, ROAD, VALVE BOXES OR OPERATING UNIT.
9. PROVIDE TRENCHES AT HIGH POINTS IN WATERLINE AS NECESSARY FOR EXPELLING AIR DURING FILING OF WATERLINE. PROVIDE ATTACHED TO PIPE AT 10' HORIZONTAL SPACING.
10. ALL SANITARY SEWER PIPE SHALL BE 20" x 24" PVC UNLESS NOTED OTHERWISE.
11. ALL WATER MAINS SHALL BE 24" x 24" PVC UNLESS NOTED OTHERWISE.
12. ALL THE HYDRAUTIC ASSUMPTIONS SHALL BE INSTALLED BETWEEN 2" AND 7" FLOW PAVED SURFACE.
13. ALL MANHOLES SHALL HAVE MINIMUM CLEAR OPENING OF 36". ADJUST CASTINGS TO SLOPE LONGITUDINALLY WITH ROAD GRADIES AS REQUIRED.
14. CONTRACTOR SHALL MAINTAIN AT LEAST ONE SET OF AS-BUILT PLANS SHOWING ALL NEWLY CONSTRUCTED UTILITIES AND INFORMATION EITHER BY FIELD SURVEYS OR THE APPROPRIATE STATE PLANNING COORDINATE SYSTEM (HORIZONTAL DATUM) FOR EACH UTILITY. THESE AS-BUILT PLANS SHALL BE SUBMITTED TO THE ARCHITECT/ENGINEER FOR REVIEW AND APPROVAL. SEE THE ATTACHMENTS TO EACH MANUAL, CATCH BASIN, AND PRESSURE PIPING APPROPRIATE FOR EACH UTILITY TYPE (MANHOLE, PRESSURE PIPING, HYDRANTS, ETC.).

EROSION PREVENTION AND SEDIMENT CONTROL (EPSC) GENERAL NOTES

- [illegible]

- [illegible]

A CONTRACTOR SHALL HIDE A LICENCED LANDSCAPE CONTRACTOR TO AVOID THIS REGULATION.

- [illegible]

1. PLANNED INFILL WITH REGARD TO DRAINAGE. THE CONTRACTOR IS RESPONSIBLE FOR GRADING ALL AREAS TO POSITIVE DRAINAGE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING A PROPER DRAINAGE SYSTEM TO PREVENT ANY PROBLEMS WITH CONTINUITY OF GRADES. THE CONTRACTOR SHALL BE CONTACTED PRIOR TO BEGINNING WORK.
2. ALL PERMANENT CUT AND FILL SLOPES SHALL BE 3:1 MINIMUM. TEMPORARY CUT SLOPES SHALL NOT EXCEED 2:1. MAXIMUM UNLESS TEMPORARY SLOPING IS PROVIDED, OR UNLESS DIRECTED OTHERWISE BY A LICENSED GEOTECHNICAL ENGINEER.
3. CONTRACTOR SHALL DISPOSE OF EXCESS MATERIAL OFF THE OWNERS PROPERTY IN A LEGAL MANNER AT NO ADDITIONAL COST.
4. EXISTING MANHOLE AND CATCH BASIN CASTINGS TO REMAIN SHALL BE RESEED TO MATCH NEAR GRADE.
5. ALL CURBS AND SIDEWALKS SHALL BE BACKFILLED WITH TOPSOIL, AND SETTED AND MILD-CURED.
6. ALL PIPES UNDER PAVED AREAS SHALL BE BACKFILLED WITH CHISELED STONE. ALL PIPES UNDER LAWN AREAS SHALL BE BACKFILLED WITH SAVED AREAS MATERIAL. COMPACTED TO 90% OF MAXIMUM PERM ASTM D998 - STANDARD PROCTOR.
7. ALL STORM DRAINAGE PIPES SHALL BE 18" MEETING THE REQUIREMENTS OF MICHIGAN MHS. TYPE 5, MINIMUM WALL THICKNESS SHALL BE 1.5" MINIMUM. ALL JOINTS SHALL BE JOINTED AND APPROXIMATE 20' LENGTH FROM CENTER OF PAVED AREA STRUCTURE TO CENTER OF DOWNSTREAM STRUCTURE.
8. ALL HEADWALLS SHALL HAVE A MINIMUM 10' X 20' X 18" IN-PAVEMENT INSTALLED USING #30. BARRIER STONE, UNLESS OTHERWISE SPECIFIED.
9. FINAL FRESH GRADE TO FINISHED SHALL BE 1' FOOT ABOVE OR BELOW DESIGN ELEVATIONS WITHIN THE BUILDING PAIS AND DRIVEWAYS. FINISHED GRADES SHALL BE 1' FOOT ABOVE FINISH ELEVATIONS IN OTHER AREAS. NO TOLERANCE IS ALLOWED WHEN MAXIMUM OR MINIMUM SHEETS ARE SPECIFIED.
10. ADA PARKING AND LOADING AREAS SHALL NOT EXCEED 2% IN ANY DIRECTION. ADA ACCESS RAMPWAYS SHALL NOT EXCEED 2% CROSS SLOPE, 1% LONGITUDINAL SLOPE, (EXCEPT WHERE ADA RAMPS ARE SPECIFIED).
11. EXISTING PAVED SHALL INCLUDE STEPPING TPOGIRL AND PLACING ENGINEERED FILL IN MAXIMUM 4' COMPACTED UP WITH EACH LAYER OF 90% OF MAXIMUM PERM ASTM D998 - STANDARD PROCTOR.
12. EXISTING PAVED SHALL INCLUDE STEPPING TPOGIRL AND PLACING ENGINEERED FILL IN MAXIMUM 4' COMPACTED UP WITH EACH LAYER OF 90% OF MAXIMUM PERM ASTM D998 - STANDARD PROCTOR.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE LOCAL HEALTH DEPARTMENT TO REMEDY TO REMOVE THE PROBLEM AND THE PROJECT SITE TO BECOME A FAMILIAR WITH THE DESIRED ELEVATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE LOCAL HEALTH DEPARTMENT TO REMEDY TO REMOVE THE PROBLEM AND THE PROJECT SITE TO BECOME A FAMILIAR WITH THE DESIRED ELEVATION.

17. AN AS-BUILT TOPOGRAPHIC SURVEY OF THE FINAL STORMWATER MANAGEMENT POND(S) AND OUTLET STRUCTURE(S) SHALL BE

- [illegible]

DEMOLITION GENERAL NOTES

- [illegible]

LAYOUT AND PAVING GENERAL NOTES:

1. THE CONTRACTOR SHALL COMPLY WITH ALL LOCAL CODES, CIVIL AND NECESSARY NOTIFICATIONS, OBTAIN ALL PERMITS, AND PAY ALL FEES PRIOR TO BEGINNING WORK.
2. THE CONTRACTOR SHALL CHECK EXISTING GRADATIONS, EMBANKMENTS, AND INVENTS IN THE FIELD AND REPORT ANY DISCREPANCIES TO THE ARCHITECT IMMEDIATELY UPON DISCOVERY.
3. THE CONTRACTOR SHALL NOT INTERFERE WITH ANY UTILITIES, INCLUDING BUREAU LINES, PUMP AND SEWER LINES, OR TELEPHONE LINES, OR ANY OTHER UTILITIES, AND SHALL PROTECT UTILITIES THAT ARE TO REMAIN, AND SHALL PROTECT DAMAGE CAUSED DURING CONSTRUCTION TO EXISTING LOCAL DRAINAGE AND IRRIGATION SYSTEMS. THE CONTRACTOR SHALL COMPENSATE ALL DAMAGE CAUSED WITH THE APPROPRIATE UTILITY AGENCIES AND AVOID ANY DAMAGE TO EXISTING CROPS OR CROPLAND.
4. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL EXISTING PAVED ROADS AND DRIVEWAYS.
5. ALL DAMAGE TO EXISTING PAVEMENT TO REMAIN WHICH RESULTS FROM NEW CONSTRUCTION SHALL BE REPLACED WITH THE SAME MATERIALS AS CONTRACT SPECIFICATIONS.
6. PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING PAVEMENT AND NEW PAVEMENT. FIELD ADJUSTMENT OF FINAL GRADATIONS MAY BE NECESSARY. INSTALL ALL UTILITIES PRIOR TO INSTALLATION OF PAVEMENT.
7. CONCRETE CURBS AND PAVES SHALL HAVE A MINIMUM FINISH. ALL CONCRETE SHALL BE 4000 PSI UNLESS OTHERWISE NOTED. ALL CONCRETE SHALL BE FINISHED TO THE FOLLOWING SPECIFICATIONS: ALL CONCRETE SHALL BE FINISHED TO THE FOLLOWING REQUIREMENTS, IF APPLICABLE: THE CONTRACTOR SHALL REQUEST INSPECTION OF SIDEWALK AND DRIVE PAVEMENT PRIOR TO PLACEMENT OF CONCRETE.
8. DIMENSIONS ARE TO THE FACE OF CURB, EDGE OF CONCRETE, OR TO THE FACE OF BUILDING UNLESS OTHERWISE NOTED.
9. DIMENSIONS ARE TO THE FACE OF BUILDINGS, CENTER LINES OF DRIVEWAYS, CENTER OF SEWER MANHOLES, AND CENTER AT CURB OF CURB ON DRIVEWAYS, UNLESS OTHERWISE NOTED.
10. THE CONTRACTOR SHALL DISPOSE OF EXCESS MATERIAL OFF THE OWNER'S PROPERTY IN A LEGAL MANNER AT NO ADDITIONAL COST.
11. MAINTAIN ONE SET OF AS-BUILT DRAWINGS ON THE JOB SITE FOR DISTRIBUTION TO THE ARCHITECT/ENGINEER UPON COMPLETION.
12. PAVING STRIPS SHALL BE 48" WIDE WITH PAVEMENT PAINT UNLESS OTHERWISE NOTED ON PLANS.
13. CONTRACTOR JUNCTIONS SHALL BE CONSTRUCTED TO A DEPTH OF AT LEAST 18" IN THE CONCRETE. THICKNESS AND SHALL BEWORK CONCRETE INDICATED UPON SQUARES WITH MAXIMUM 6" SECTIONS.

- A. AN AS-BUILT SURVEY SHALL BE PREPARED, SIGNED AND SEALED BY A SURVEYOR REGISTERED IN THE STATE IN WHICH THIS PROJECT RESIDES AND SUBMITTED TO THE ARCHITECT/ENGINEER IN HARD COPY AND ELECTRONIC FORMAT PRIOR TO COMPLETION OF THIS PROJECT. THE AS-BUILT SURVEY SHALL BE PREPARED USING THE SAME HORIZONTAL AND VERTICAL DATUM AS THE ORIGINAL SURVEY.

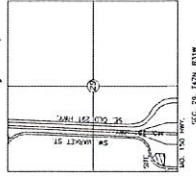
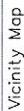
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NONE

This property is in no Special Flood Hazard Zone according to Flood Insurance Rate Map, Community Number 200590 0002 A, effective date October 25, 1977



SCALE : 1" = 40'

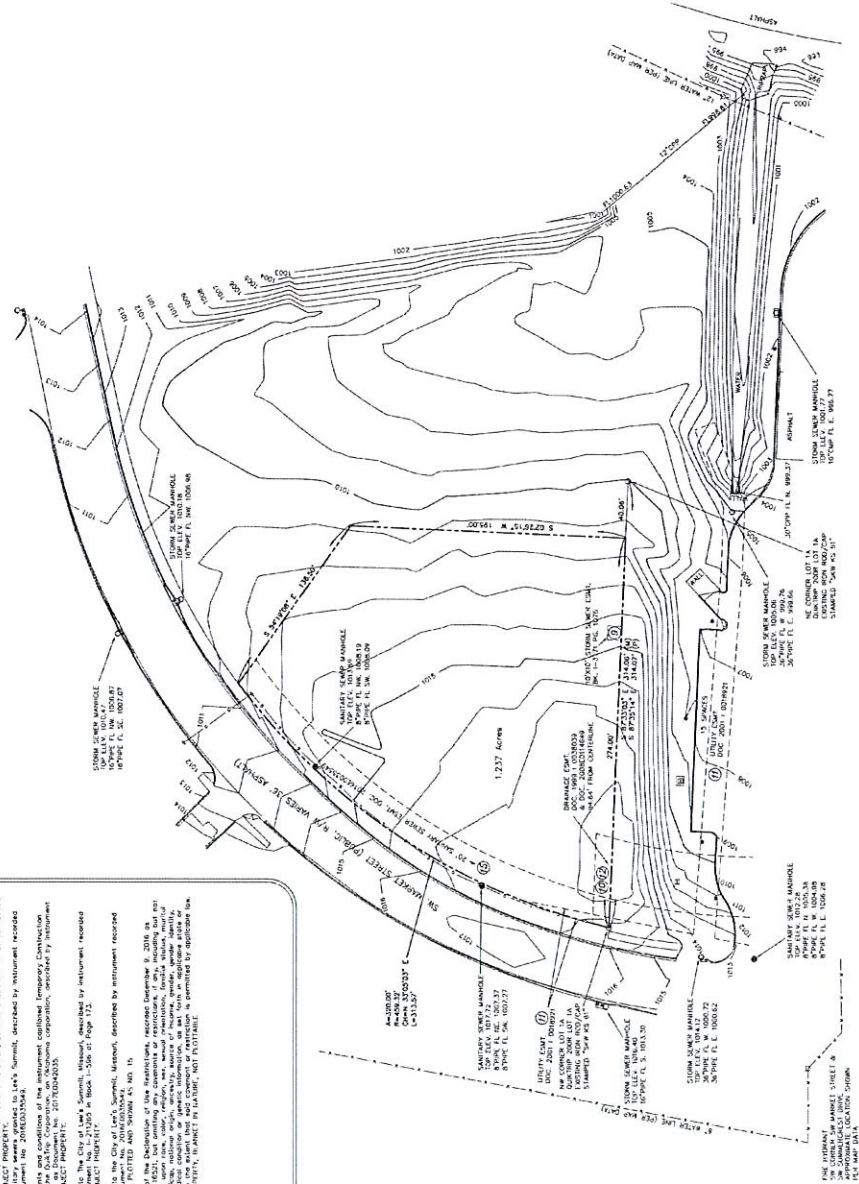
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The bearings shown herein are based upon the Minnesota State Plane Coordinate System, station no. JA-137, N. 97°40'±68.03S E. 3524145±0.197m. The survey was conducted by the Minnesota Department of Natural Resources, Division of Land Surveying, South of Highway 101, Hwy. 150 and Hwy. 291.	This survey does not reflect any encumbrances, easements or other claims of title, except those shown on the current mentioned Title Commitment.
	Underground utilities are shown per One Call ticket P93347-92507, dated 11-20-2005.
All the data this survey was done in the field were obtained from the Minnesota Dept. of Natural Resources and the Minnesota Dept. of Transportation construction was not complete.	
There is no evidence of subject site being used as a solid waste dump or sanitary land fill.	
There is no evidence of subject site being used as a burial ground or cemetery.	
This survey meets the accuracy requirements for a boundary survey under Minnesota Statutes, Chapter 56A, § 56A.04.	

To: [redacted]
GRT Realty
Franklin Land Associates, LLC

This is to certify that this map or plat and the survey on which it is based were recorded with the 2016 Standard Decal requirements for compliance with the ALTA/NPSPLand Title Survey policy, effective January 1, 2017. The survey includes items 1, 2, 3, 4, 8, 9, 11(b), 13, 14, 16, 17 and 18 of Exhibit A thereof. The field work was completed on October 22, 2019.

William A. Hoge RI 5 2002010920

[illegible]

LEGEND

PROPERTY LINE
EXISTING CURB DEMOLITION
MISC. DEMOLITION

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SW MARKET STREET (PUBLIC, R/W VARIES 36' ASPHALT)

STORM SEWER MANHOLE
TOP ELEV. 1010.47
18" PIPE FL NW 1008.87
18" PIPE FL SE 1007.07

1010

1011

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STORM SEWER MANHOLE
TOP ELEV. 1010.15
18" PIPE FL NW 1006.95

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GreshamSmith.com

222 Second Avenue South
Suite 1400
Nashville, TN 37201
615.770.8100



3501 SW MARKET STREET
LEES SUMMIT, MISSOURI 64082

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Revision		
No.	Date	Description
1	09.27.2020	CITY COMMENTS



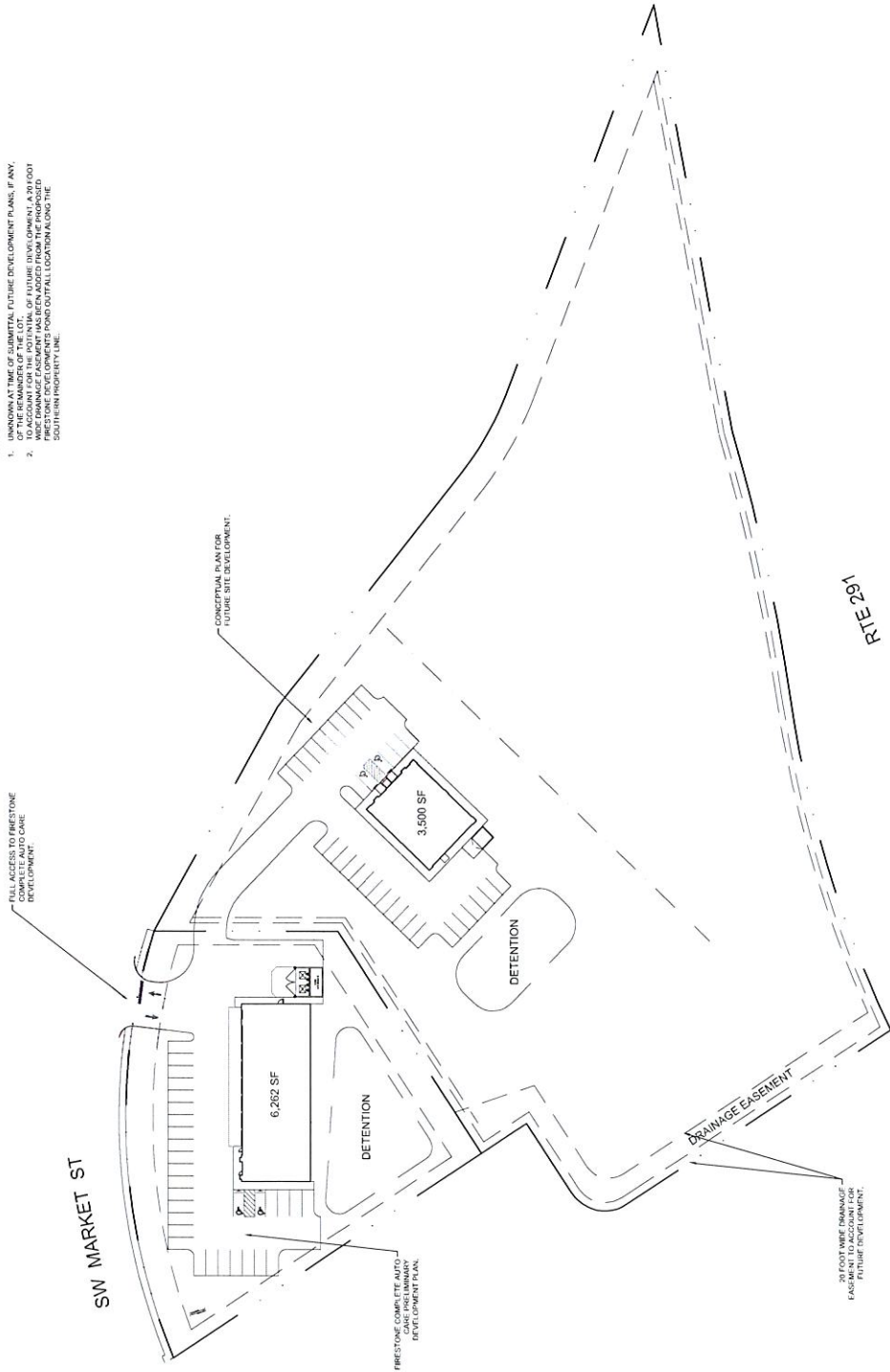
GRAPHIC SCALE
0 10 20 30 40 50 Feet

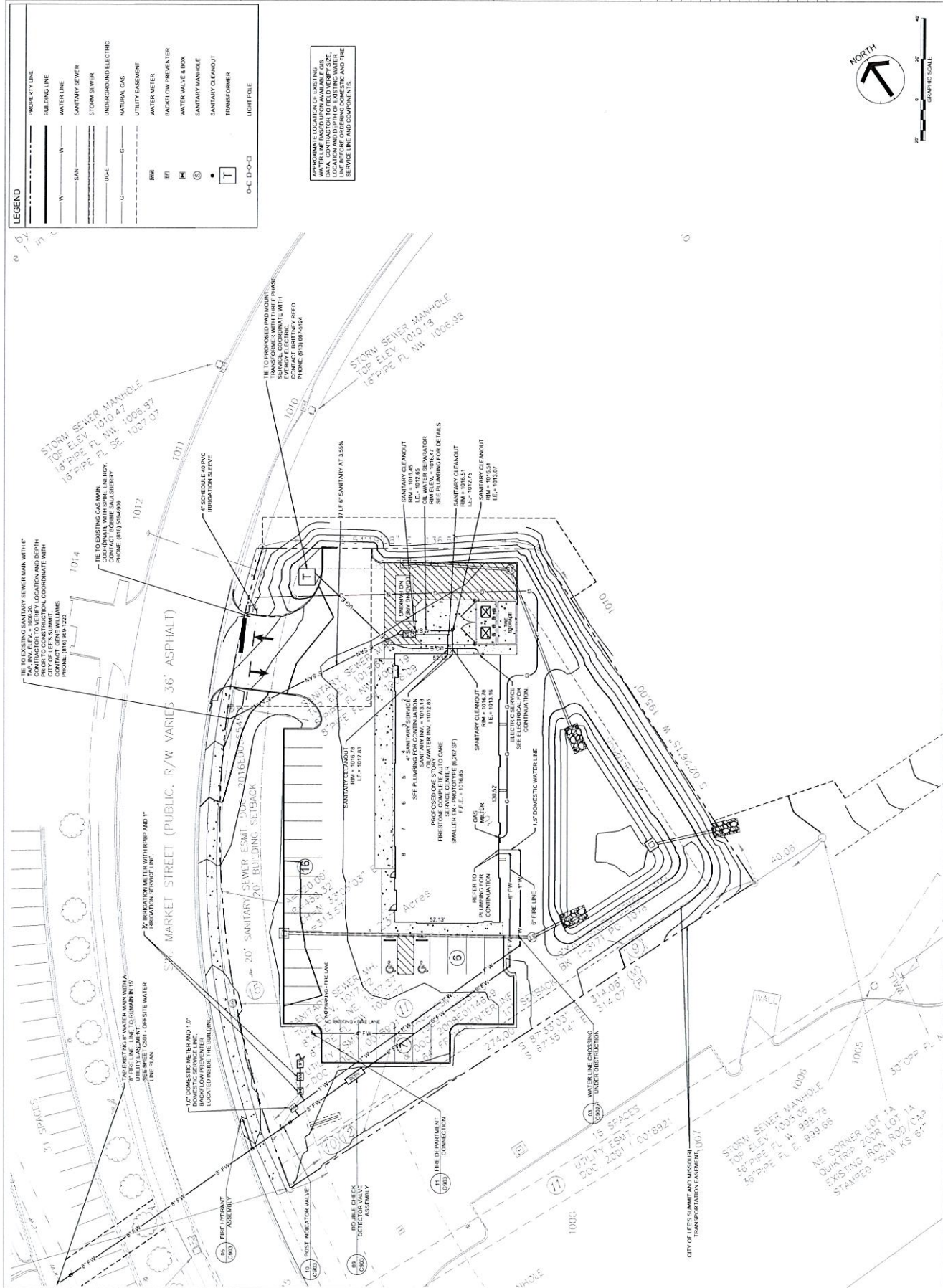
CONCEPTUAL PLAN

C201

ISSUED AS
JANUARY 8, 2020

- NOTES:
1. UNKNOWN AT TIME OF SUBMITTAL FUTURE DEVELOPMENT PLANS, IF ANY, WILL BE REQUIRED TO BE SUBMITTED TO THE CITY OF NASHVILLE FOR REVIEW AND APPROVAL.
 2. TO ACCOUNT FOR THE POTENTIAL OF FUTURE DEVELOPMENT, A 20' FOOT WIDE EASEMENT IS SHOWN ALONG THE SOUTHERN PROPERTY LINE.





[illegible]

Revision	No.	Date	Description
1	02.07.2020	02.07.2020	CITY COMMENTS
2	02.28.2020	02.28.2020	CITY COMMENTS

SITE DETAILS

C903

48831.45
JANUARY 6, 2020

THE LAYOUT IS FOR INFORMATION ONLY. IT IS NOT TO BE USED FOR CONSTRUCTION.

01 C903

PRECAST OUTLET CONTROL STRUCTURE WITH PERFORATED PIPE

NOTE:
STRUCTURES SHALL BE CONSTRUCTED WITH MIN. 24" DIA. PERFORATED PIPE. THE STRUCTURE SHALL BE CONSTRUCTED WITH MIN. 24" DIA. PERFORATED PIPE. THE STRUCTURE SHALL BE CONSTRUCTED WITH MIN. 24" DIA. PERFORATED PIPE.

03 C903

FAIRCLOTH SKIMMER

04 C903

NOT USED

05 C903

FIRE HYDRANT ASSEMBLY

06 C903

DETENTION POND EMERGENCY SPILLWAY

07 C903

NOT USED

08 C903

NOT USED

09 C903

DOUBLE CHECK DETECTOR VALVE ASSEMBLY

10 C903

POST INDICATOR VALVE

11 C903

FIRE DEPARTMENT CONNECTION

12 C903

NOT USED

Revision		
No.	Date	Description
1	02.07.2020	CITY COMMENTS
2	02.20.2020	CITY COMMENTS

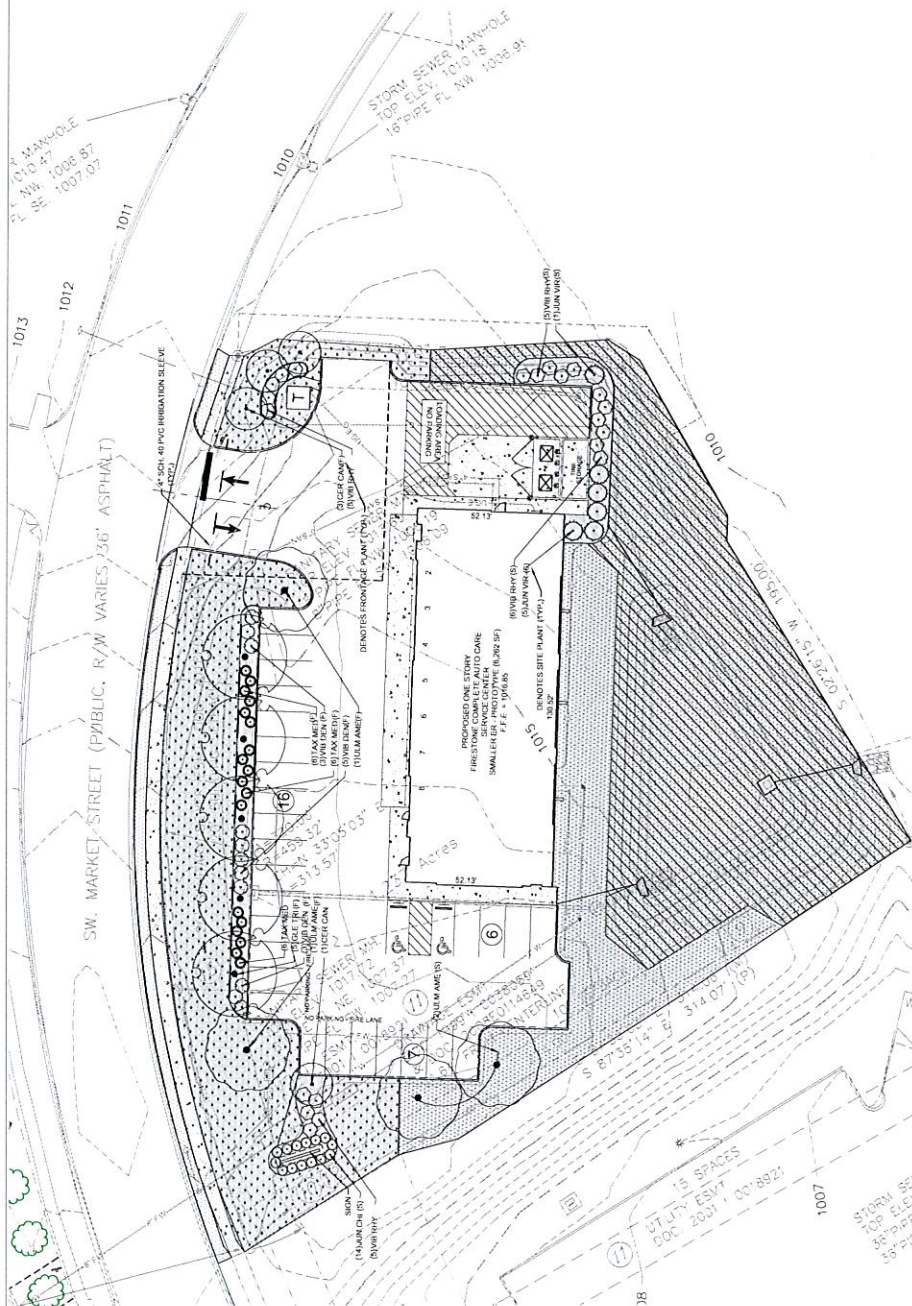
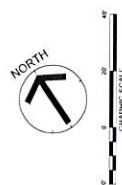
[illegible]

LANDSCAPE PLAN

L200

40831.45
JANUARY 8 2001

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PLANT SCHEDULE

[illegible]

LEGEND

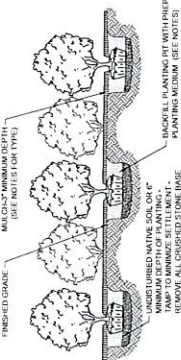
	IRRIGATION COVERAGE AREA (9.75 SQ. FT.)
	AREA TO BE SODDED WITH KY31 FESCUE (OR ENGINEER APPROVED EQUIV.) (9.75 SQ. FT.)
	AREA TO BE SEEDED WITH POPLAR FESCUE (AT THE RATE OF \$185 PER 1,000 SQ. FT.) (OR ENGINEER APPROVED EQUIV.). MATCH SEEDS AREA WITH 12 BALLS OF STRAW PEA 1,000 SQ. FT. (20 SQ. FT.)
	AREA TO BE STABILIZED WITH NORTH AMERICAN GREEN S76 FARMING IN ADDITION TO SEEDING (OR ENGINEER APPROVED EQUIV.)

LANDSCAPE CALCULATIONS

SITE AREA.....1.227 AC. (53,864 S.F.)
 MINIMUM DING COVERAGE.....370 S.F.
 THE LOT FRONTAGE.....272
 SHIRTS RECD @ 2 PER 5,000 S.F.....22
 SHIRTS SHOWN.....9
 THE TREES RECD @ 1 PER 5,000 S.F. (1,535 RECD).....9
 TREES SHOWN.....16
 NON-TAGE SHIRTS RECD @ 1 PER 20 L.F.....20
 NON-TAGE SHIRTS SHOWN.....20
 THE TREES RECD @ 1 PER 30 L.F.....11
 NON-TAGE TREES SHOWN.....11

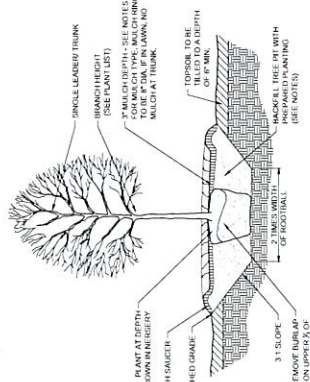
CONTRACTOR SHALL PROVIDE A FULLY AUTOMATIC IRRIGATION SYSTEM FOR THE

SHRUB PLANTING IN BED DETAIL



IF ONE CONTINUED FRACTION

TREE PLANTING DETAIL



ROOTBALL

- [illegible]

Luminaire Schedule				
Symbol	Qty	Label	Arrangement	Lum. Watts
	3	P1	SINGLE	22330
	1	P2	2 @ 90 DEGREES	22330
	19	N	SINGLE	2490

Part Number
OSO-A-NM-4ME-T-57K-UL-BZ + OSO-AABZ
OSO-A-NM-4ME-T-57K-UL-BZ + OSO-AABZ
XSPW-B-WM-3ME-2L-57K-UL-BK (Wall Light)

Calculation Summary				
Label	Units	Avg	Max	Max/Min
Off Parking lot calcs	Fc	0.60	7.8	N/A
Parking Lot	Fc	4.20	11.4	3.82
				10.36

FIXTURE MOUNTING HEIGHTS AS SHOWN
POLES MOUNTED ON 2' BASE

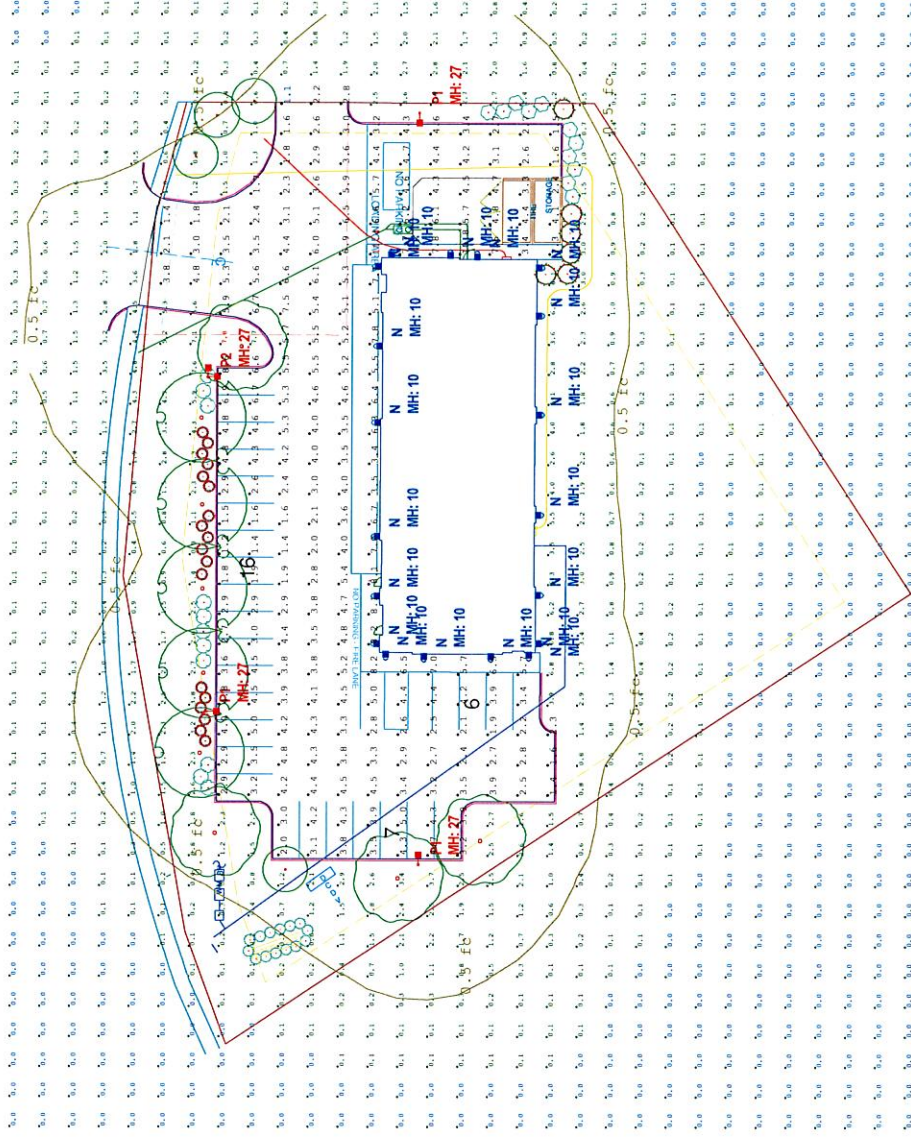
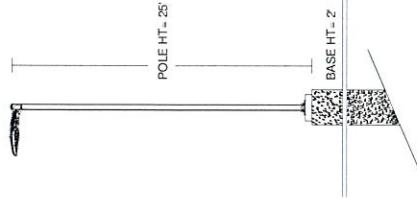
POLE SCHEDULE:
(4) CL-SSP-4011-25-D6-BZ (25' x 4" STEEL SQUARE POLE, 11 ga)

Additional Equipment
(5) OSQ-DABZ (Direct Arm Mount)

PROPOSED POLES MEET 100 MPH SUSTAINED WINDS

***CUSTOMER TO VERIFY MOUNTING, VOLTAGE, AND COLOR
PRIOR TO PLACING ORDER

OSQ Area Luminaire



1000 1000 Street - Sturtevant, WI 53247
www.cree.com (800) 246-6800

Project Name: BSRO Firestone - 3544 SW Market St Lee's Summit, MO

SR-40708

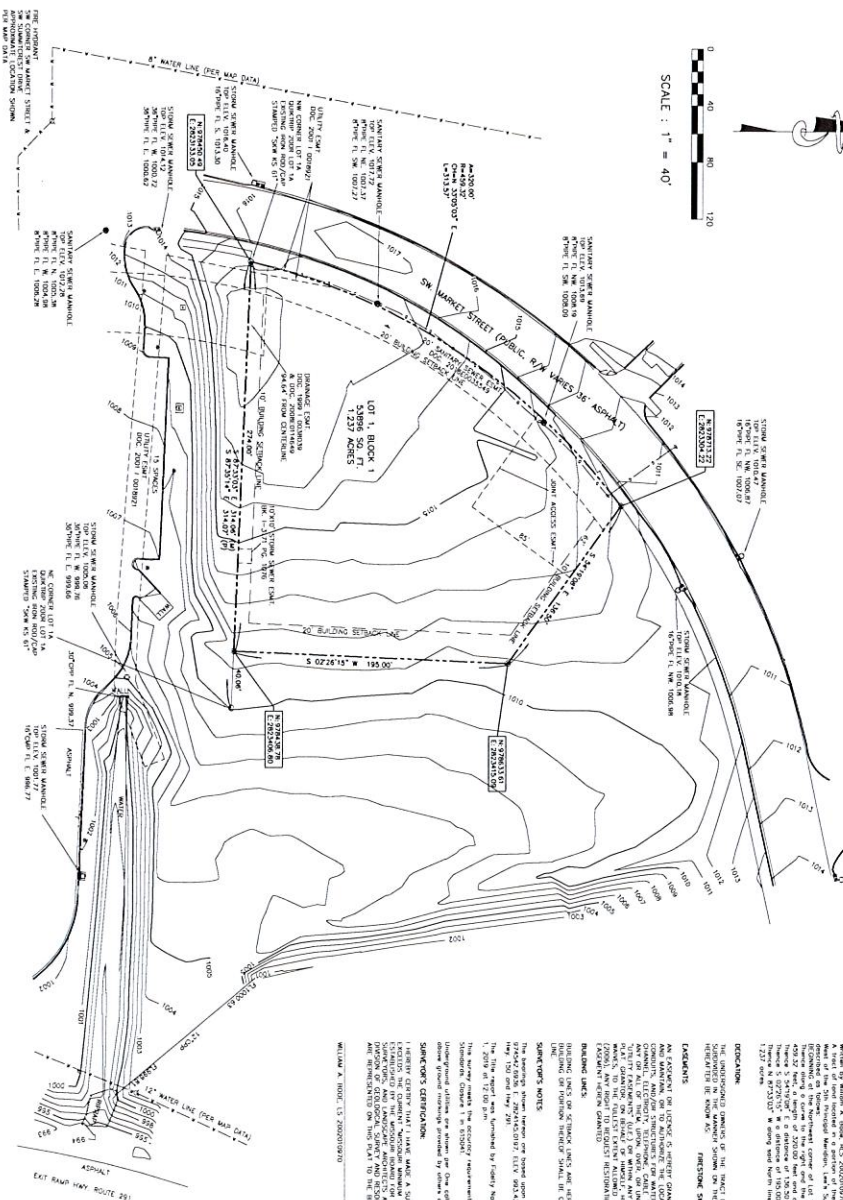
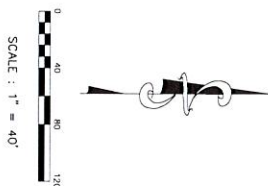
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Scale 1" = 20'

0 40 80

(M)	Measured Dimension
(D)	Used Dimension
(P)	The Dimension
MM	Right of Way
	Stem Drain Marshals
	Water Meter
	Curb Meter
	Cas Meter
	Cas Valve
	Telephone Fiber Box
	Cas Line Marker
	Sanitary Sewer Chamber
	Sanitary Sewer Manhole
	Sign
	Light Pole
	Power Pole
	Water Valve
	Electric Meter

FIRESTONE SW. MARKET STREET
in the City of Lee's Summit
A subdivision in a portion of SECTION 29,
TOWNSHIP 47 NORTH, RANGE 31 WEST of the 5th P.M.
JACKSON COUNTY, MISSOURI



Vicinity Map
 S1/4, 29, 14N, 13W
 NOT TO SCALE

PROPERTY DISPOSITION

[illegible]

THE UNDERGROUND CHIMNEY OF THE FACTORY LATER DISCOVERED HEREIN HAS CAUSED THE SAME TO BE SUBDIVIDED IN THE MARKET SQUARE ON THE ACCOMPANYING PLAN, SAID SUBDIVISION AND PLAN SHALL HEREINAFTER BE KNOWN AS:

FIRESTONE 5th MARKET STREET

L'ASSEMBLÉE

[illegible]

DUELING LINES OR SEBACK LINES ARE HEREBY ESTABLISHED AS SHOWN ON THE ACCOMPANYING PLAN AND
 OUTLINES OF PORTION THEREOF SHALL BE CONDUCTED BETWEEN THIS LINE AND THE SHEET HEAD OF WAY
 LINE.

SUNDY VOR'S NOTES:

[illegible]

WILLIAM A. MOULDER, 15 200201097

1

CORNERSTONE
Regional Surveying, LLC
Serving Kentucky, Missouri & Oklahoma
1827 North Park, Independence, MO 67311 Ph: 620-333-6167
William A. Boone, L.S. 200201099.0, w.boone@cornerstone-s.com
Registered No. 1-191060119.A1-M

Appl. #PL2020-005 - PRELIMINARY DEVELOPMENT PLAN
Firestone, 3501 SW Market St
FS Lee's Summit, LLC, applicant

