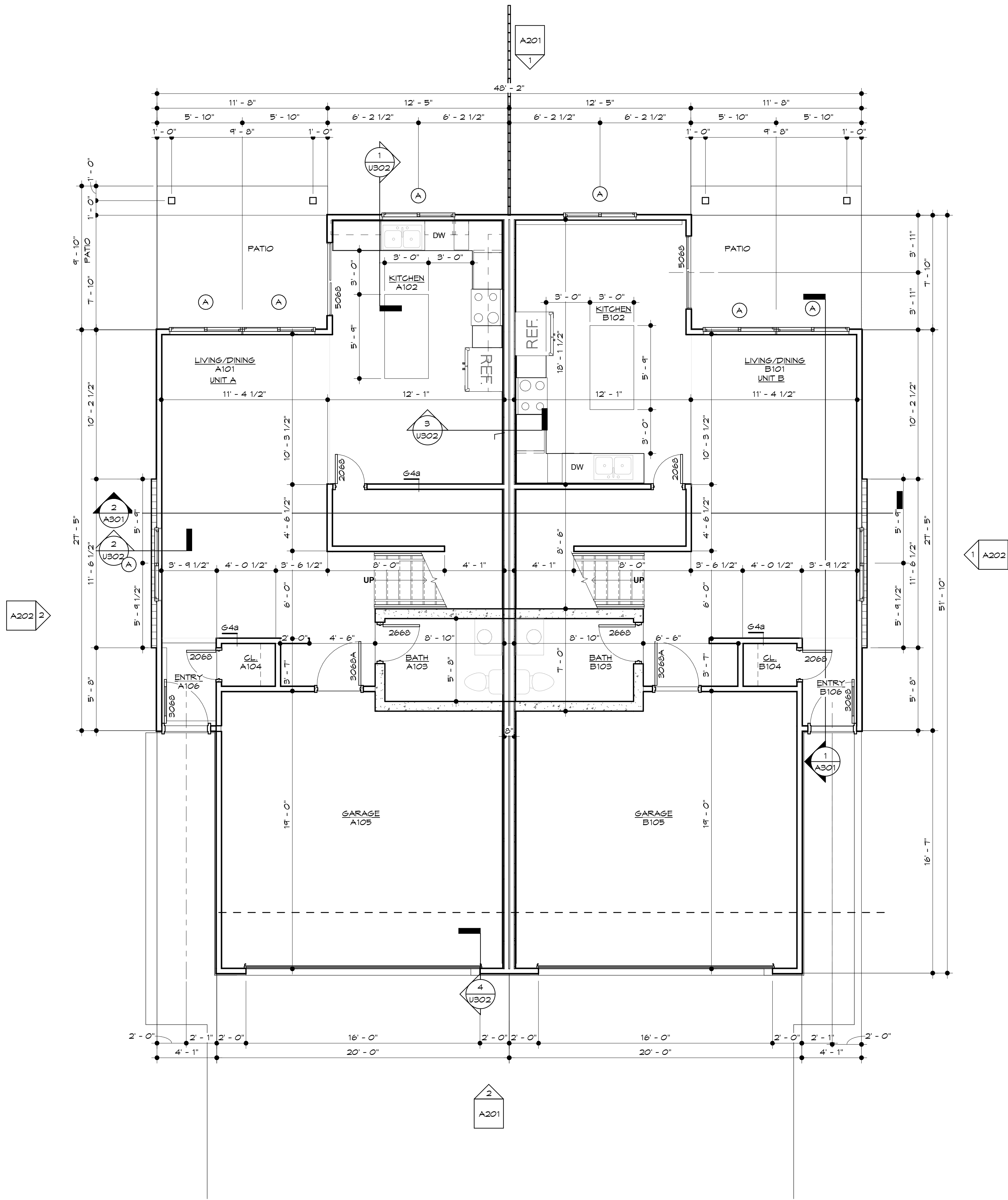


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1 architectural floor plan - main level  
1/4" = 1'-0"



- general notes
- 1) GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN SPECIFICATIONS AND DRAWINGS, BETWEEN MULTIPLE SPECIFICATION SECTIONS AND/OR BETWEEN MULTIPLE DRAWINGS. THE ARCHITECT WILL DETERMINE WHICH SHALL GOVERN.
  - 2) GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF THE JOB SITE INCLUDING UTILITIES AND EXISTING STRUCTURES PRIOR TO BEGINNING WORK AND REPORT ANY DISCREPANCIES TO THE ARCHITECT.
  - 3) GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR STABILITY OF THE STRUCTURE DURING CONSTRUCTION INCLUDING ALL SHORING AND BRACING REQUIRED TO RESIST REQUIRED VERTICAL AND LATERAL FORCES.
  - 4) ALL ARCHITECTURAL FLOOR PLAN DIMENSIONS ARE FROM FACE OF CONCRETE OR FACE OF STUD.
  - 5) INTERIOR WALLS ARE TO BE COMPRISED OF 2X4 STUDS AT 16" O.C. MAX WITH 1/2" DRYWALL EACH SIDE UNLESS NOTED OTHERWISE.
  - 6) MECHANICAL/PLUMBING CONTRACTOR TO COORDINATE EACH OTHERS' WORK WITH ARCHITECTURAL PLANS AND TO NOTIFY ARCHITECT OF NEED FOR SOFFITS OR CHASES FOR INSTALLATION OF DUCTWORK OR PLUMBING.
  - 7) ELECTRICAL CONTRACTOR TO INSTALL OUTLETS AS REQUIRED PER CODE. VERIFY ALL LOCATIONS WITH OWNER PRIOR TO BEGINNING DRYWALL.
  - 8) DOORS AND LIGHTING ARE COMPLIANT WITH THE PHYSICAL SECURITY ORDINANCE IN THE KANSAS CITY BUILDING AND REHABILITATION CODE - SECTION 326.
  - 9) COORDINATE ALL WALLS AND DIMENSIONS ON ARCHITECTURAL DRAWINGS WITH STRUCTURAL DRAWINGS.
  - 10) ALL EXTERIOR WALLS TO RECEIVE R-19 BATT INSULATION, U.N.O.
  - 12) ALL BASEMENT WALLS TO BE FURRED OUT WITH 2X4 STUDS AND SHALL RECEIVE R-13 BATT INSULATION U.N.O.

partition types

GYPSUM

64a GYPSUM BOARD PARTITION:  
2x4 STUDS @ 16" OC - COVER EACH SIDE WITH 1/2" GYPSUM BOARDS.

64b GYPSUM BOARD PARTITION:  
2x4 STUDS @ 16" OC - COVER EXPOSED SIDE WITH 1/2" GYPSUM BOARDS.

- architectural plan keynotes
- 1) STAIR MAIN TO SECOND LEVEL- (15) RISERS AT APPROX. 7 1/2" AND (14) TREADS AT 10"

- joist above options
- 16" TJI 360 @ 16" oc
  - 14" TJI 360 @ 16" oc
  - OR WE COULD LOOK AT A N-S BEAM LINE TO SPLIT THE JOIST SPAN & FOUR FOOTINGS

Ta

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SEQUOIA DUPLEX

FOR DICK BURTON  
ORCHARD DRIVE LEE'S SUMMIT, MO

sheet issue date:  
2020.05.4

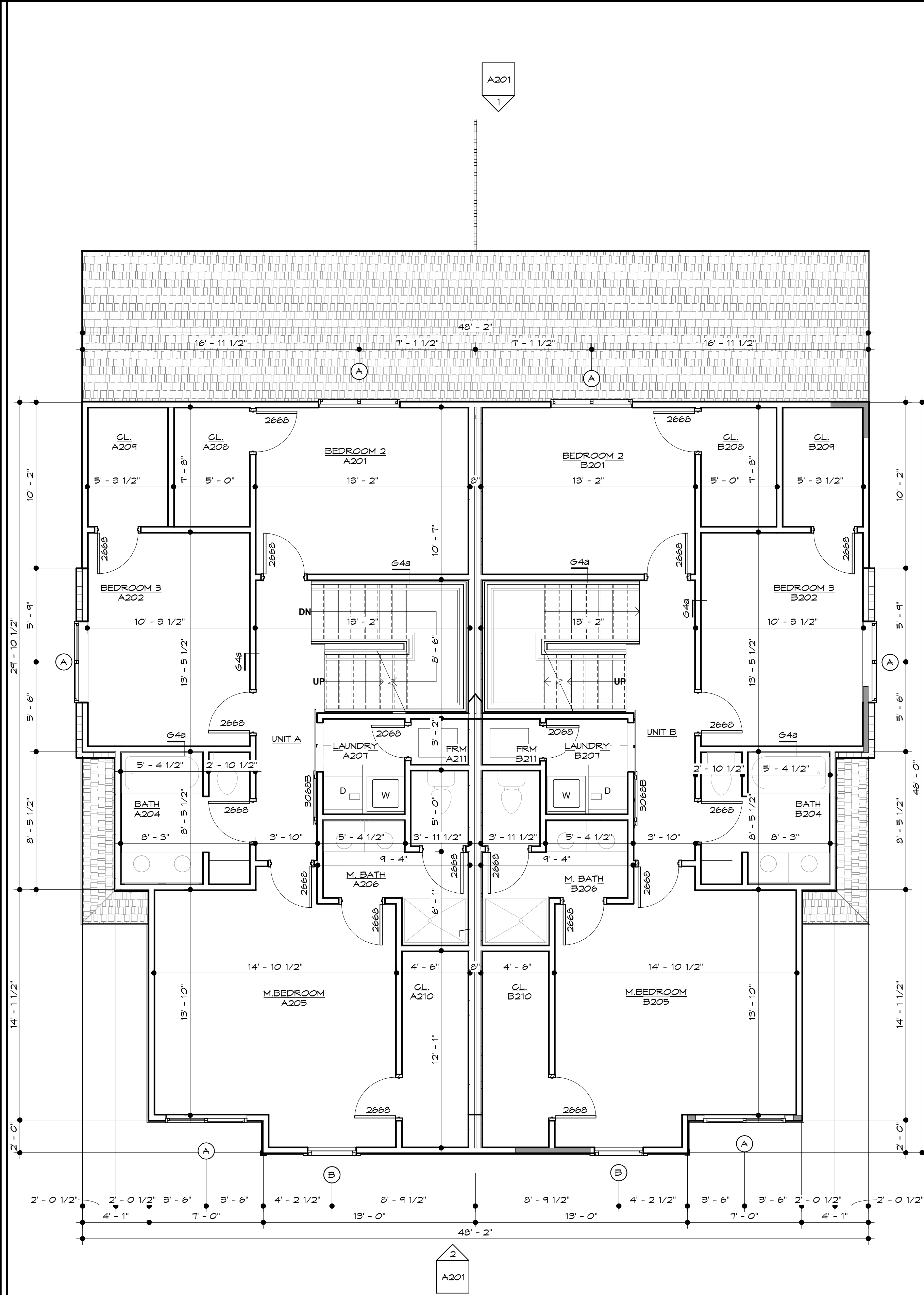
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2020-01

sheet contents:  
FLOOR PLAN - MAIN

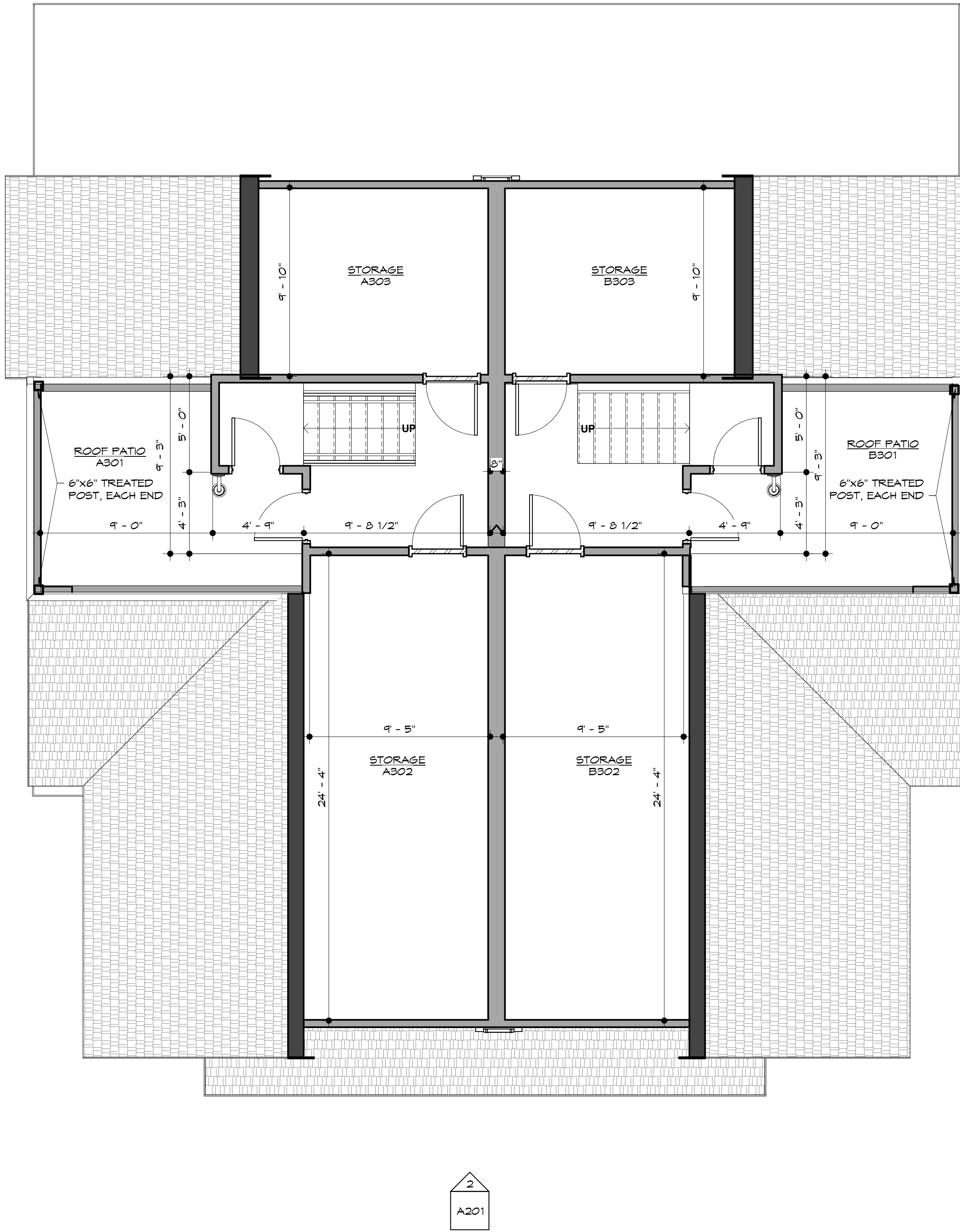
sheet no.:

A101

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1 architectural floor plan - second level  
1/4" = 1'-0"



2 architectural floor plan - roof terrace  
1/4" = 1'-0"

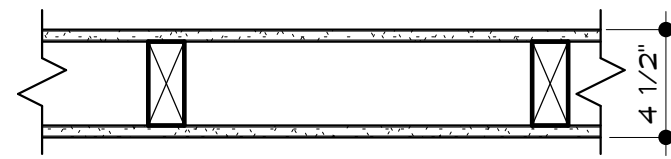


general notes

- 1) GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN SPECIFICATIONS AND DRAWINGS, BETWEEN MULTIPLE SPECIFICATION SECTIONS AND/OR BETWEEN MULTIPLE DRAWINGS. THE ARCHITECT WILL DETERMINE WHICH SHALL GOVERN.
- 2) GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS OF THE JOB SITE INCLUDING UTILITIES AND EXISTING STRUCTURES PRIOR TO BEGINNING WORK AND REPORT ANY DISCREPANCIES TO THE ARCHITECT.
- 3) GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR STABILITY OF THE STRUCTURE DURING CONSTRUCTION INCLUDING ALL SHORING AND BRACING REQUIRED TO RESIST REQUIRED VERTICAL AND LATERAL FORCES.
- 4) ALL ARCHITECTURAL FLOOR PLAN DIMENSIONS ARE FROM FACE OF CONCRETE OR FACE OF STUD.
- 5) INTERIOR WALLS ARE TO BE COMPRISED OF 2x4 STUDS AT 16" O.C. MAX WITH 1/2" DRYWALL EACH SIDE UNLESS NOTED OTHERWISE.
- 6) MECHANICAL/PLUMBING CONTRACTOR TO COORDINATE EACH OTHERS' WORK WITH ARCHITECTURAL PLANS AND TO NOTIFY ARCHITECT OF NEED FOR SOFFITS OR CHASES FOR INSTALLATION OF DUCTWORK OR PLUMBING.
- 7) ELECTRICAL CONTRACTOR TO INSTALL OUTLETS AS REQUIRED PER CODE. VERIFY ALL LOCATIONS WITH OWNER PRIOR TO BEGINNING DRYWALL.
- 8) DOORS AND LIGHTING ARE COMPLIANT WITH THE PHYSICAL SECURITY ORDINANCE IN THE KANSAS CITY BUILDING AND REHABILITATION CODE - SECTION 326.
- 9) COORDINATE ALL WALLS AND DIMENSIONS ON ARCHITECTURAL DRAWINGS WITH STRUCTURAL DRAWINGS.
- 10) ALL EXTERIOR WALLS TO RECIEVE R-19 BATT INSULATION, U.N.O.
- 12) ALL BASEMENT WALLS TO BE FURRED OUT WITH 2x4 STUDS AND SHALL RECEIVE R-13 BATT INSULATION U.N.O.

partition types

GYPSUM



- G4a** GYPSUM BOARD PARTITION:  
2x4 STUDS @ 16" O.C. - COVER EACH SIDE WITH 1/2" GYPSUM BOARDS.
- G4b** GYPSUM BOARD PARTITION:  
2x4 STUDS @ 16" O.C. - COVER EXPOSED SIDE WITH 1/2" GYPSUM BOARDS.

architectural plan keynotes

- ① STAIR MAIN TO SECOND LEVEL- (15) RISERS AT APPROX. 7 1/2" AND (14) TREADS AT 10"



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SEQUOIA DUPLEX

FOR DICK BURTON  
ORCHARD DRIVE LEE'S SUMMIT, MO

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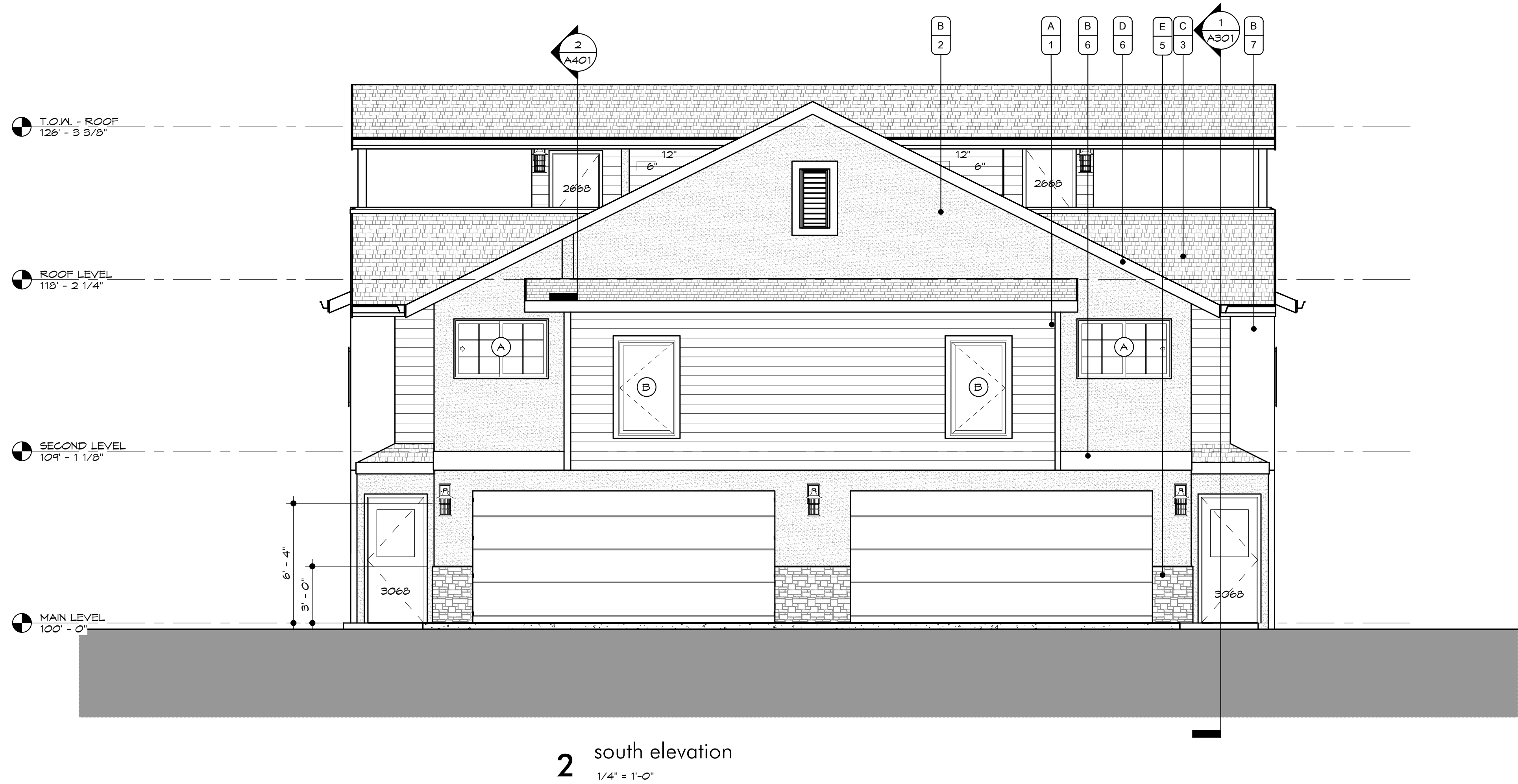
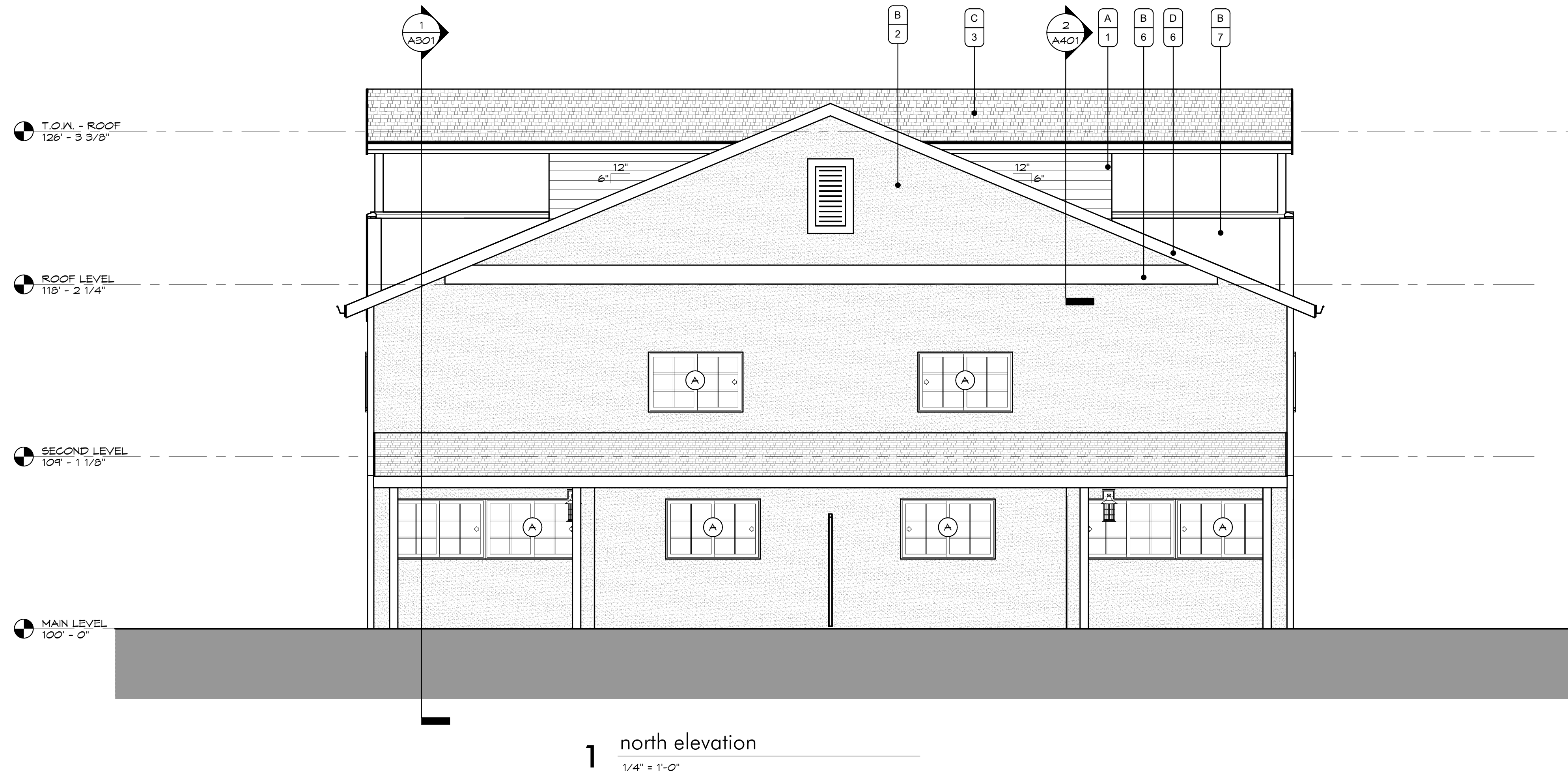
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2020-01

sheet contents:  
FLOOR PLAN -  
SECOND

sheet no.:

A102

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### exterior elevation general notes

1. SLOPE GRADE A MINIMUM OF 5% AWAY FROM THE HOUSE FOR A MINIMUM DISTANCE OF 10'-0".
2. MAINTAIN MIN. 8" CLEARANCE BETWEEN FINAL GRADE AND EXPOSED WOOD.
3. EXTERIOR SIDING INDICATED ON DRAWINGS SHALL BE INSTALLED OVER BUILDING WRAP, RESULTING IN A WATER-RESISTIVE EXTERIOR WALL SYSTEM COMPLIANT WITH IRC SECTION 703.2.
4. WHERE DIFFERENTIAL BETWEEN PORCH/PATIO AND SURROUNDING GRADE IS GREATER THAN 18" GUARDRAIL SHALL BE PROVIDED. THE GUARDRAIL SHALL BE 42" TALL AND SHALL BE CONSTRUCTED SUCH THAT A 4" SPHERE CANNOT PASS THROUGH IT.
5. REFER TO SHEET A601 FOR EXTERIOR LIGHTING. ALL EXTERIOR LIGHTING SHALL HAVE A CONCEALED LIGHT SOURCE.
6. ALL EXTERIOR METAL SHALL BE CORROSION RESISTANT.
7. ALL EXTERIOR MECHANICAL AND PLUMBING VENT LOCATIONS SHALL BE APPROVED WITH ARCHITECT, PRIOR TO INSTALLATION. ALL PIPING SHALL PAINTED TO MATCH SURROUNDING CONTEXT.

### exterior material legend

- MATERIAL TYPE
- A. HORIZONTAL CEMENTITIOUS SIDING
  - B. EIFS
  - C. ASPHALT SHINGLES
  - D. CEMENTITIOUS BUILDING TRIM
  - E. MANUFACTURED STONE
- MATERIAL FINISH
1. PAINT, COLOR 1, TBD
  2. EIFS FINISH COAT - 3, COLOR TBD
  3. PER MANUFACTURER, TBD
  4. PAINT, ACCENT COLOR 2, TBD
  5. PER MANUFACTURER, TBD
  6. EIFS FINISH COAT - 2, COLOR TBD
  7. EIFS FINISH COAT - 4, COLOR TBD



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## SEQUOIA DUPLEX

FOR DICK BURTON  
ORCHARD DRIVE LEE'S SUMMIT, MO

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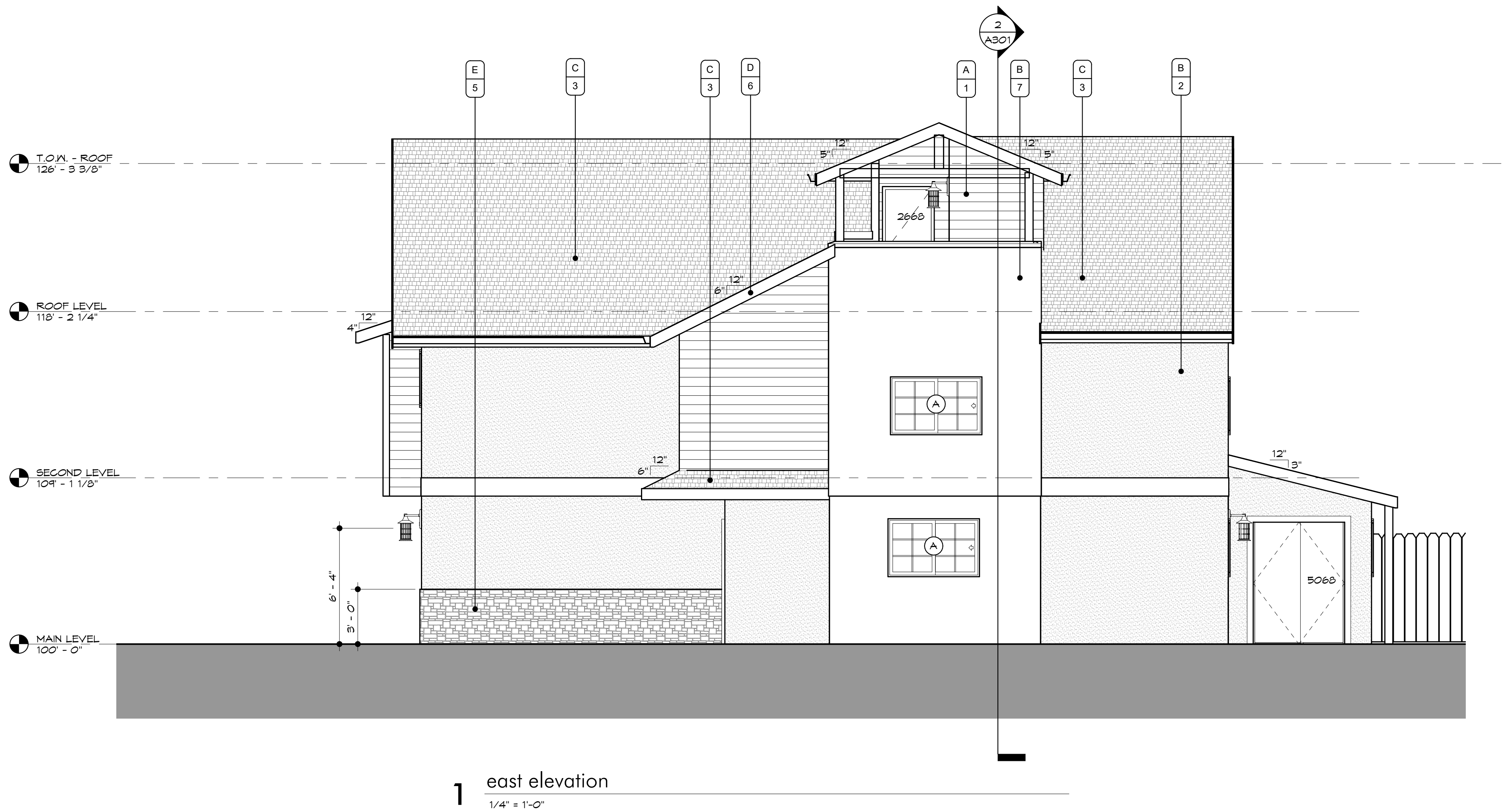
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EXTERIOR ELEVATIONS

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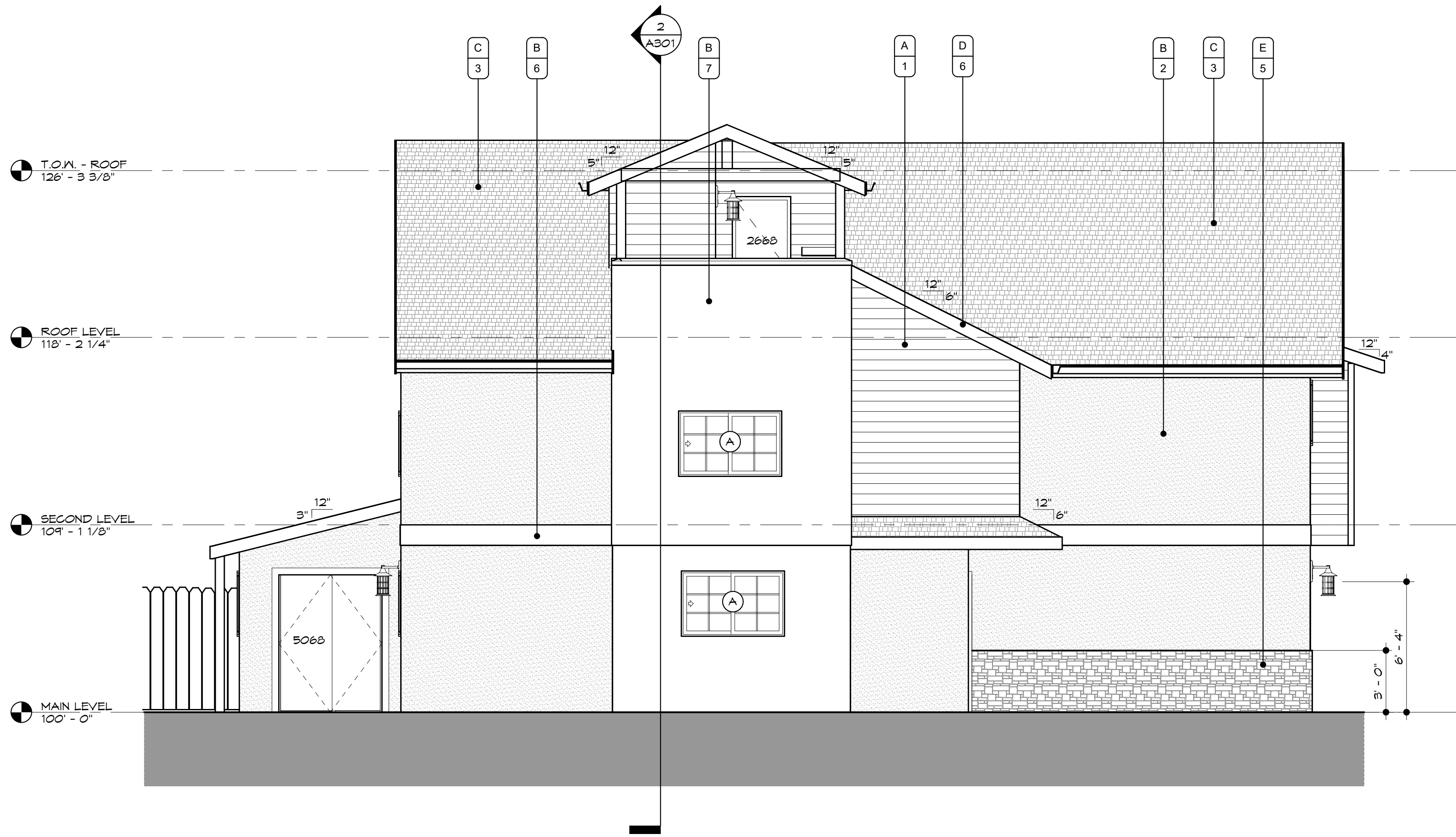
A201



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1 east elevation  
1/4" = 1'-0"



2 west elevation  
1/4" = 1'-0"

### exterior elevation general notes

1. SLOPE GRADE A MINIMUM OF 5% AWAY FROM THE HOUSE FOR A MINIMUM DISTANCE OF 10'-0"
2. MAINTAIN MIN. 8" CLEARANCE BETWEEN FINAL GRADE AND EXPOSED WOOD
3. EXTERIOR SIDING INDICATED ON DRAWINGS SHALL BE INSTALLED OVER BUILDING WRAP, RESULTING IN A WATER-RESISTIVE EXTERIOR WALL SYSTEM COMPLIANT WITH IRC SECTION 103.2.
4. WHERE DIFFERENTIAL BETWEEN PORCH/PATIO AND SURROUNDING GRADE IS GREATER THAN 18" GUARDRAIL SHALL BE PROVIDED. THE GUARDRAIL SHALL BE 42" TALL AND SHALL BE CONSTRUCTED SUCH THAT A 4" SPHERE CANNOT PASS THROUGH IT.
5. REFER TO SHEET A601 FOR EXTERIOR LIGHTING. ALL EXTERIOR LIGHTING SHALL HAVE A CONCEALED LIGHT SOURCE.
6. ALL EXTERIOR METAL SHALL BE CORROSION RESISTANT.
7. ALL EXTERIOR MECHANICAL AND PLUMBING VENT LOCATIONS SHALL BE APPROVED WITH ARCHITECT, PRIOR TO INSTALLATION. ALL PIPING SHALL PAINTED TO MATCH SURROUNDING CONTEXT.

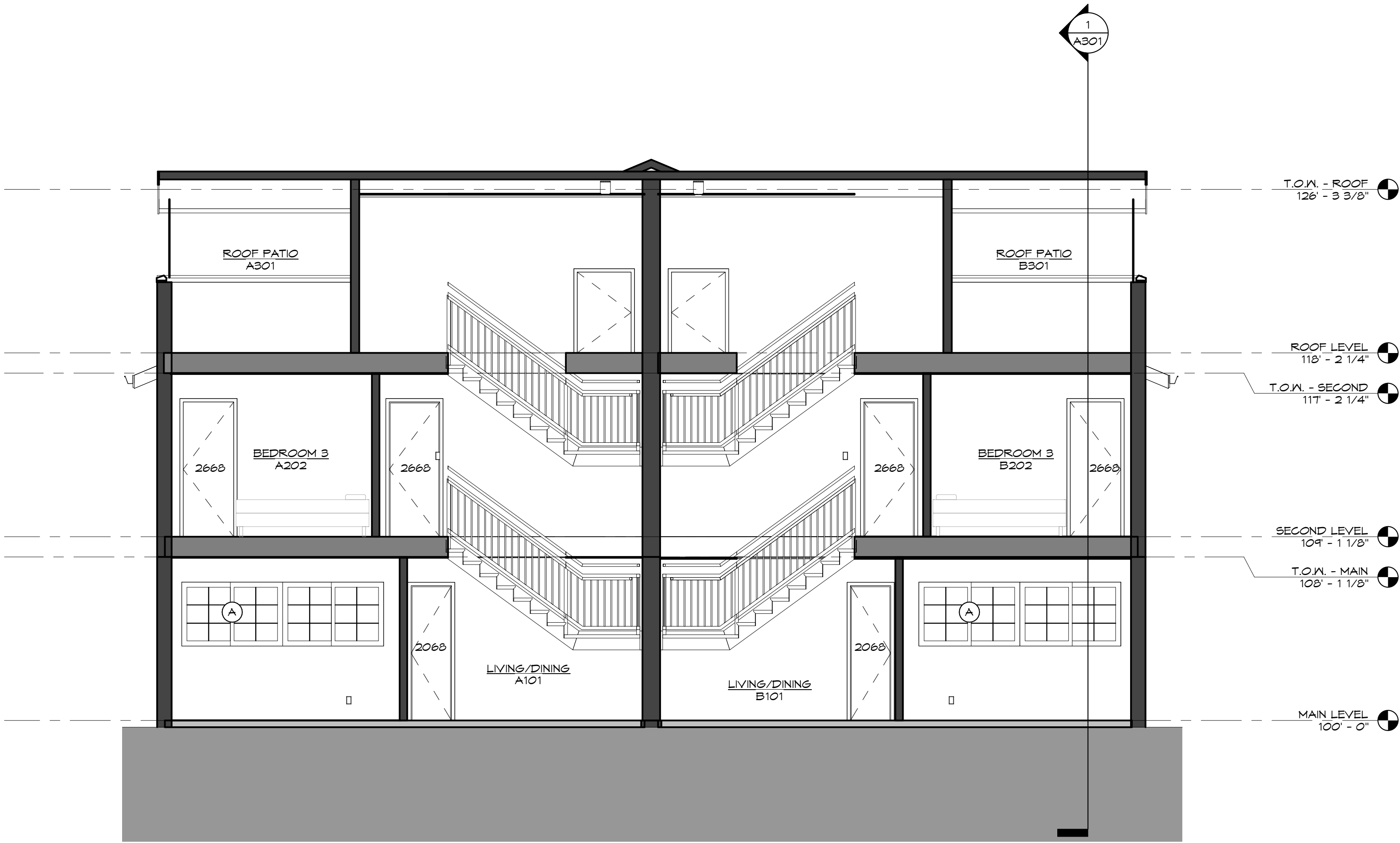
### exterior material legend

MATERIAL TYPE  
A. HORIZONTAL CEMENTITIOUS SIDING  
B. EIFS  
C. ASPHALT SHINGLES  
D. CEMENTITIOUS BUILDING TRIM  
E. MANUFACTURED STONE

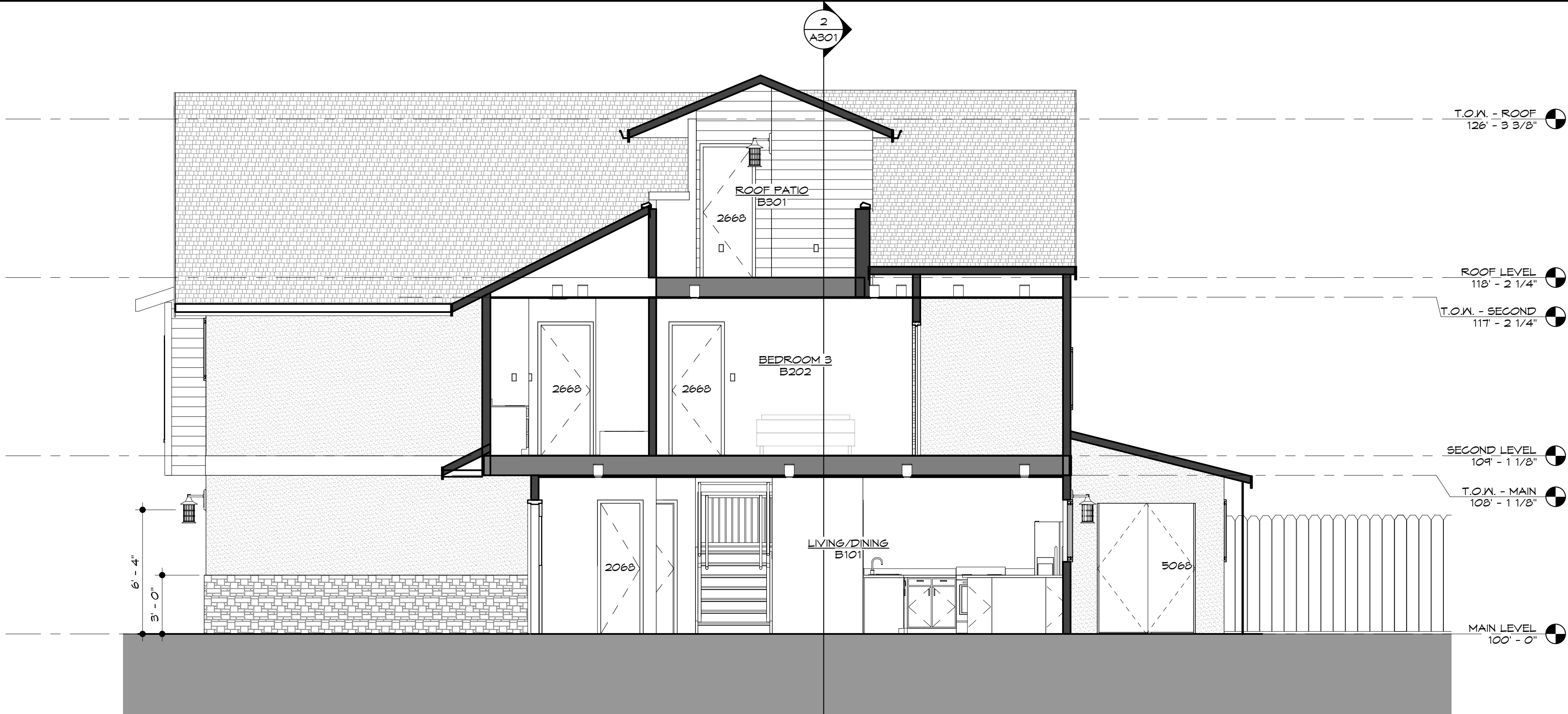
MATERIAL FINISH  
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2. EIFS FINISH COAT - 3, COLOR TBD  
3. PER MANUFACTURER, TBD  
4. PAINT, ACCENT COLOR 2, TBD  
5. PER MANUFACTURER, TBD  
6. EIFS FINISH COAT - 2, COLOR TBD  
7. EIFS FINISH COAT - 4, COLOR TBD



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2 building section looking north  
1/4" = 1'-0"



1 building section looking south  
1/4" = 1'-0"

NOTE: REFER TO STRUCTURAL DRAWINGS FOR REINFORCING STEEL IN EXTERIOR WALLS AND CONCRETE

NOTE: REFER TO ALL DETAILS (DETAILS LOCATED ON THIS SHEET, PRECEEDING SHEETS AND FOLLOWING SHEETS) FOR APPLICABLE NOTES NOT SHOWN

NOTE: REFER TO ALL SECTIONS (SECTIONS LOCATED ON THIS SHEET, PRECEEDING SHEETS AND FOLLOWING SHEETS) FOR APPLICABLE NOTES NOT SHOWN

SEQUOIA DUPLEX  
FOR DICK BURTON  
ORCHARD DRIVE LEE'S SUMMIT, MO

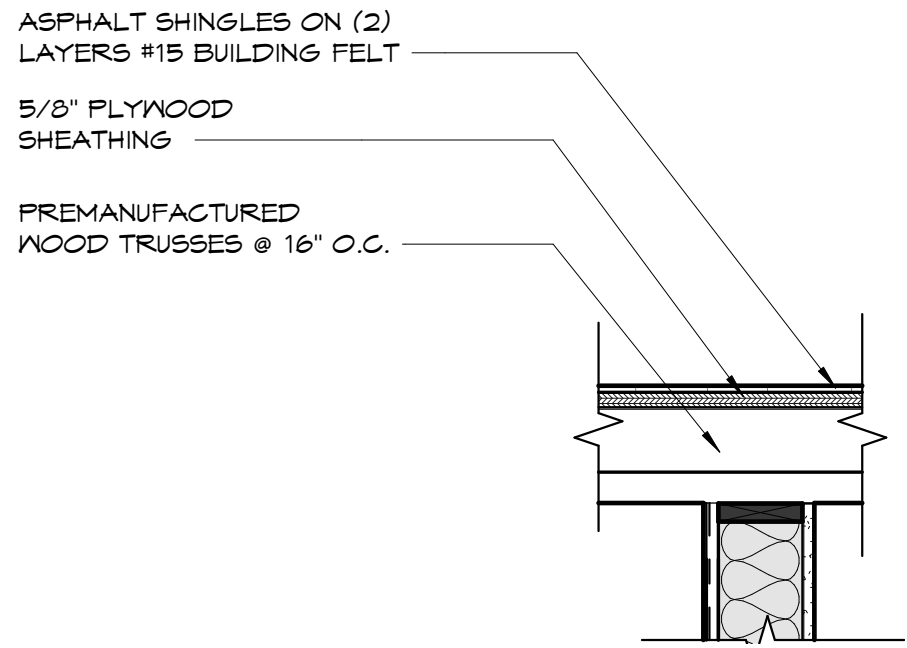
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No.	Description	Date

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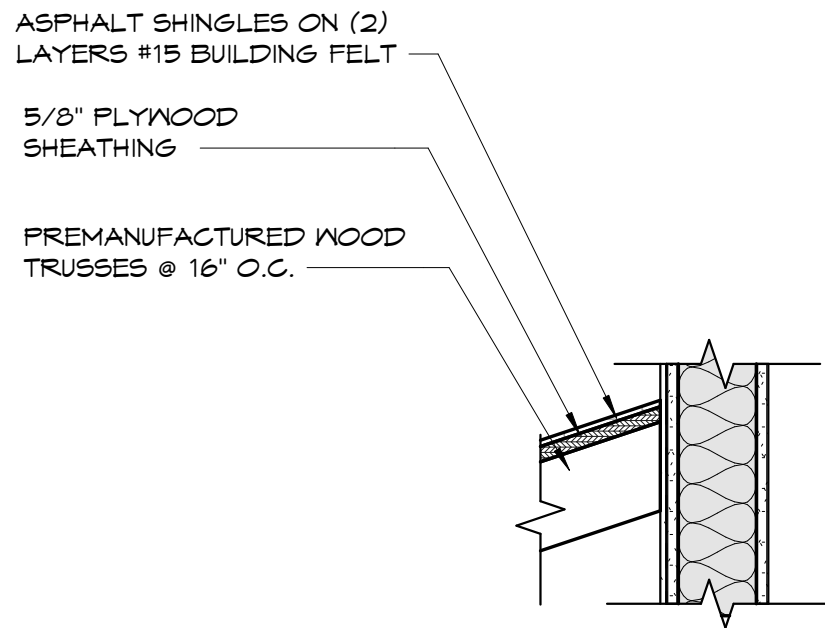
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BUILDING SECTIONS

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A301

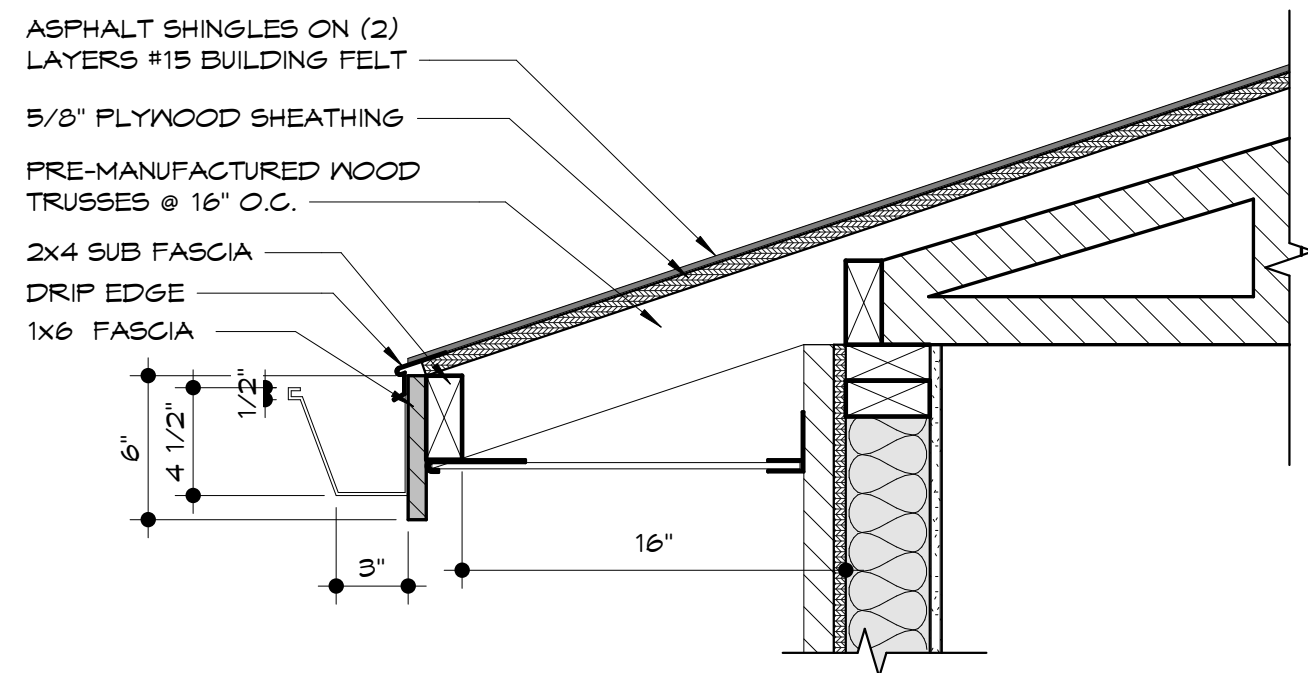
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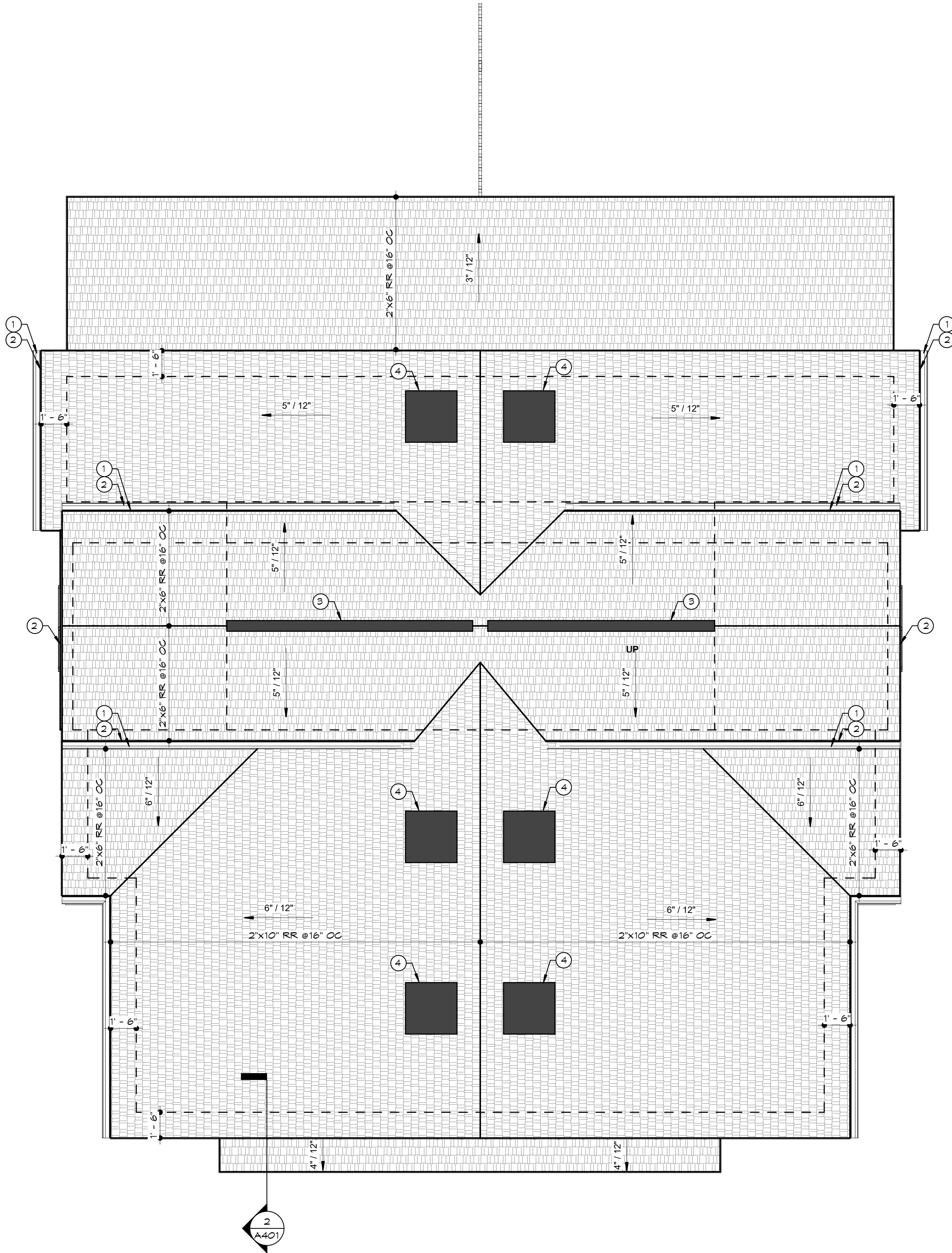
2 south roof section  
1 1/2" = 1'-0"



3 south awning to wall  
1 1/2" = 1'-0"



4 roof gutter detail  
1 1/2" = 1'-0"



1 architectural roof plan  
1/4" = 1'-0"



roof plan legend

ASPHALT SINGLE ROOF SYSTEM OVER (2)  
LAYERS #15 BUILDING FELT ON SHEATHING AS  
INDICATED ON STRUCTURAL

roof plan keynotes

GENERAL: COORDINATE WITH WORK SHOWN ON  
STRUCTURAL DRAWINGS

ATTIC TO RECEIVE R-49 BLOWN-IN INSULATION

- 1 GUTTER
- 2 FASCIA
- 3 RIDGE VENT
- 4 ATTIC VENT

NOTE: REFER TO STRUCTURAL DRAWINGS FOR  
REINFORCING STEEL IN EXTERIOR WALLS AND CONCRETE

NOTE: REFER TO ALL DETAILS (DETAILS LOCATED ON  
THIS SHEET, PRECEEDING SHEETS AND FOLLOWING  
SHEETS) FOR APPLICABLE NOTES NOT SHOWN

NOTE: REFER TO ALL SECTIONS (SECTIONS LOCATED ON  
THIS SHEET, PRECEEDING SHEETS AND FOLLOWING  
SHEETS) FOR APPLICABLE NOTES NOT SHOWN



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ORCHARD DRIVE LEE'S SUMMIT, MO

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sheet contents:  
ROOF PLAN &  
DETAILS

sheet no.:

A401



room finish schedule				
NO.	ROOM NAME	FLOOR	WALLS FINISH	CEILING
A101	LIVING/DINING	LVP	TBD	8'-0 5/8"
A102	KITCHEN	LUXURY VINYL PLANK	TBD	8'-0 5/8"
A103	BATH	PORCELAIN FLOOR TILE	TBD	8'-0 5/8"
A104	CL.	CARPET	TBD	8'-0 5/8"
A105	GARAGE	CONCRETE	TBD	8'-0 5/8"
A106	ENTRY	LVP	TBD	8'-0 5/8"
A201	BEDROOM 2	LVP	TBD	8'-0 5/8"
A202	BEDROOM 3	LVP	TBD	8'-0 5/8"
A204	BATH	PORCELAIN FLOOR TILE	TBD	8'-0 5/8"
A205	M.BEDROOM	LVP	TBD	8'-0 5/8"
A206	M. BATH	PORCELAIN FLOOR TILE	TBD	8'-0 5/8"
A207	LAUNDRY	LVP	TBD	8'-0 5/8"
A208	CL.	CARPET	TBD	8'-0 5/8"
A209	CL.	CARPET	TBD	8'-0 5/8"
A210	CL.	CARPET	TBD	8'-0 5/8"
A211	FRM	PORCELAIN FLOOR TILE	TBD	8'-0 5/8"
A301	ROOF PATIO	LVP	TBD	T-10"
A302	STORAGE	LVP	TBD	T-10"
A303	STORAGE	LVP	TBD	T-10"
B101	LIVING/DINING	LVP	TBD	8'-0 5/8"
B102	KITCHEN	LUXURY VINYL PLANK	TBD	8'-0 5/8"
B103	BATH	PORCELAIN FLOOR TILE	TBD	8'-0 5/8"
B104	CL.	CARPET	TBD	8'-0 5/8"
B105	GARAGE	CONCRETE	TBD	8'-0 5/8"
B106	ENTRY	LVP	TBD	8'-0 5/8"
B201	BEDROOM 2	LVP	TBD	8'-0 5/8"
B202	BEDROOM 3	LVP	TBD	8'-0 5/8"
B204	BATH	PORCELAIN FLOOR TILE	TBD	8'-0 5/8"
B205	M.BEDROOM	LVP	TBD	8'-0 5/8"
B206	M. BATH	PORCELAIN FLOOR TILE	TBD	8'-0 5/8"
B207	LAUNDRY	LVP	TBD	8'-0 5/8"
B208	CL.	CARPET	TBD	8'-0 5/8"
B209	CL.	CARPET	TBD	8'-0 5/8"
B210	CL.	CARPET	TBD	8'-0 5/8"
B211	FRM	PORCELAIN FLOOR TILE	TBD	8'-0 5/8"
B301	ROOF PATIO	LVP	TBD	T-10"
B302	STORAGE	LVP	TBD	T-10"
B303	STORAGE	LVP	TBD	T-10"
EXT	Exterior			

door schedule					
PLAN MARK	Width	DOOR OPENIN G SIZE	Door Type (A)Door Type (A)	Door Material (B)Door Material (B)	NOTES
		H			
206B	2' - 0"	6' - 8"	F	N	
206A	2' - 8"	4' - 0"	F	N	
2070	2' - 8"	4' - 0"	F	N	
266B	2' - 6"	6' - 8"	F	N	
2840	2' - 8"	4' - 0"	F	N	
306B	3' - 0"	6' - 8"	HG	N	
306BA	3' - 0"	6' - 8"	F	N	20 MIN. SELF CLOSING
306BB	3' - 0"	6' - 8"	WD	N	SLIDING BARN DOOR
506B	5' - 0"	6' - 8"	FG	N	
T0160	16' - 0"	T - 0"	OHD	S	
Grand total: 44					

door schedule notes

DOOR GENERAL NOTES

1. DOORS SHALL COMPLY WITH THE REQUIREMENTS OF SECTION 308 OF THE IRC FOR SAFETY GLAZING.
2. THE GARAGE DOOR(S) SHALL MEET DASMA 90 MPH REQUIREMENTS

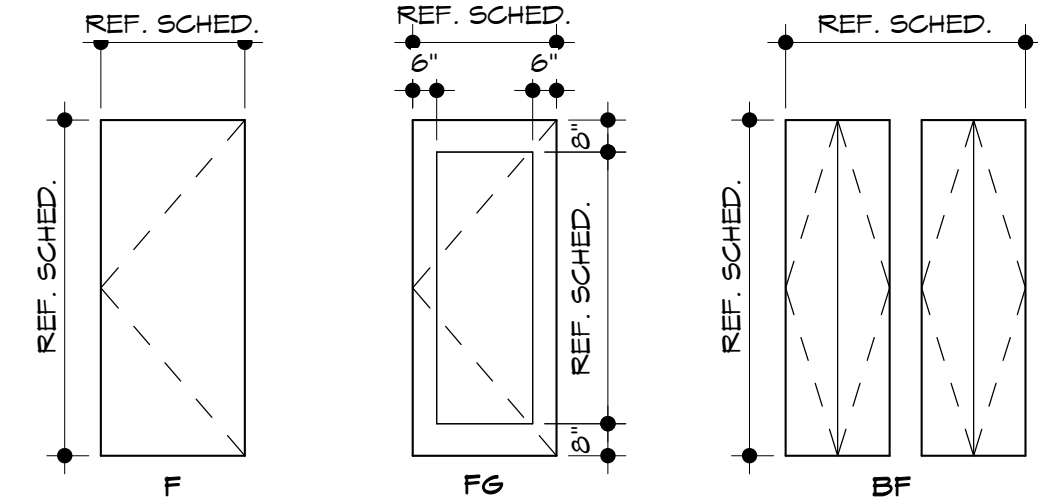
DOOR SCHEDULE LEGEND

DOOR TYPES

F = Fltgh  
FG = Full Glass  
OHD = Overhead Door  
BF = Bi-fold

DOOR MATERIAL AND FRAME MATERIAL:

S = Steel  
A = Aluminum  
N = Wood



door types

1/4" = 1'-0"

window schedule				
PLAN MARK	CONFIGURATION	WIDTH	HEIGHT	COMMENTS
A	SINGLE - SLIDER WINDOW	5' - 0"	3' - 2"	
B	SINGLE - CASEMENT WINDOW	3' - 0"	5' - 0"	

window schedule notes

WINDOW GENERAL NOTES

1. EGRESS WINDOWS SHALL COMPLY WITH SECTION 310 OF THE IRC. A COMPLIANT EGRESS OUT OF THE BASEMENT AND HABITABLE ATTIC WILL BE PROVIDED IF APPLICABLE. SEE DETAIL FOR EGRESS WELL. EGRESS WINDOW SIZE AND LOCATION ARE NOTED ON THESE PLANS.
2. WINDOWS SHALL HAVE FALL PROTECTION PER IRC 312.2 AS WHERE NEEDED.
3. WINDOWS, DOORS, AND OTHER GLAZING WILL COMPLY WITH THE REQUIREMENTS OF SECTION 308 OF THE IRC FOR SAFETY GLAZING.

WINDOW THERMAL PROPERTIES

MANUFACTURER: JELD-KEN  
PRODUCT LINE: BUILDER'S VINYL W/ LOW-E  
U-FACTOR: 0.33  
SHGC: 0.35



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SEQUOIA DUPLEX

FOR DICK BURTON

ORCHARD DRIVE LEE'S SUMMIT, MO

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sheet contents:  
DOOR AND WINDOW  
INFORMATION

sheet no.:

A501