

SURVEYOR'S GENERAL NOTES:

1) This survey is based upon the following information provided by the client or researched by this surveyor.
(A) Minor Plat of Dahmer Development, Lots 1-3, recorded as Instrument No. 2008E0018991.

2) This survey meets or exceeds the accuracy standards of a (URBAN) Property Boundary Survey as defined by the Missouri Standards for Property Boundary Surveys.

3) No Title report was furnished.

4) This company assumes no responsibility in the location of existing utilities within the subject premises. This is an above-ground survey. The underground utilities, if shown, are based on information provided by the various utility companies and these locations should be considered approximate. There may be additional underground utilities not shown on this drawing.

5) Subsurface and environmental conditions were not surveyed or examined or considered as a part of this survey. No evidence or statement is made concerning the existence or underground or overhead conditions, containers or facilities that may affect the use or development of this property. No attempt has been made to obtain or show data concerning existence, size, depth, conditions, capacity or location of any utility existing on the site, whether private, municipal or public owned.

6) Bearings shown herein are based on the Minor Plat of Dahmer Development, Lots 1-3, recorded as Instrument No. 2008E0018991.

Missouri State Plane Coordinate System 1983, Missouri West Zone (2003 Adjustment) Reference Monument: JA-134 Combined Scale Factor: 0.999903519		
POINT	NORTHING	EASTING
1	304705.610	860463.202
2	304664.855	860485.693
3	304694.848	860524.843
4	304683.076	860531.339
5	304697.819	860558.016
6	304723.370	860543.916
7	304708.636	860517.234
8	304729.262	860505.851
JA 134	312470.096	862368.274

Coordinates Shown in Meters

JACKSON COUNTY:

APPROVED: ASSESSOR'S OFFICE

JACKSON COUNTY ASSESSOR _____ DATE _____

APPROVED:
PUBLIC WORKS / ENGINEERING

GEORGE M. BINGER III, P.E. , CITY ENGINEER _____ DATE _____

DEVELOPMENT SERVICES

RYAN A. ELAM, PE, _____ DATE _____
DIRECTOR OF DEVELOPMENT SERVICES

CITY OF LEE'S SUMMIT:

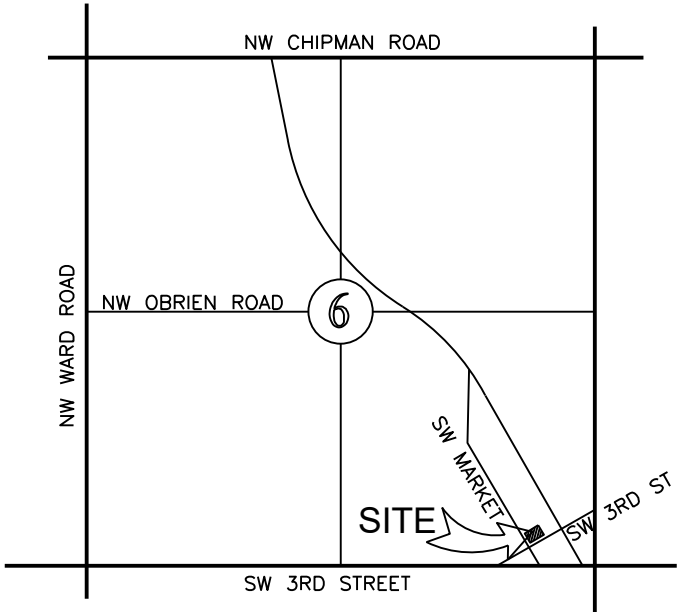
THIS IS TO CERTIFY THAT THE MINOR PLAT OF "DAHMER DEVELOPMENT, LOTS 1A, 1B, & 2A" WAS DULY SUBMITTED AND DULY APPROVED BY THE CITY OF LEE'S SUMMIT, PURSUANT TO CHAPTER 33, THE UNIFIED DEVELOPMENT ORDINANCE, OF THE CITY OF LEE'S SUMMIT CODE OF ORDINANCES.

TRISHA FOWLER ARCURI _____ CITY CLERK _____ DATE _____

PLAT CERTIFICATION:

I hereby certify that the Minor Plat of "Dahmer Development, Lots 1A, 1B, & 2A", a subdivision is based on an actual survey made on the ground by me or under my direct supervision and that said plat meets or exceeds the current Minimum Standards for Property Boundary Surveys as established by the Department of Natural Resources, Division of Geology and Land Survey. I further certify that I have complied with all statutes, ordinances and regulations governing the practice of land surveying and all platting of subdivisions as established by the Missouri Board for Architects, Professional Engineers and Professional Land Surveyors to the best of my professional abilities, knowledge and beliefs.

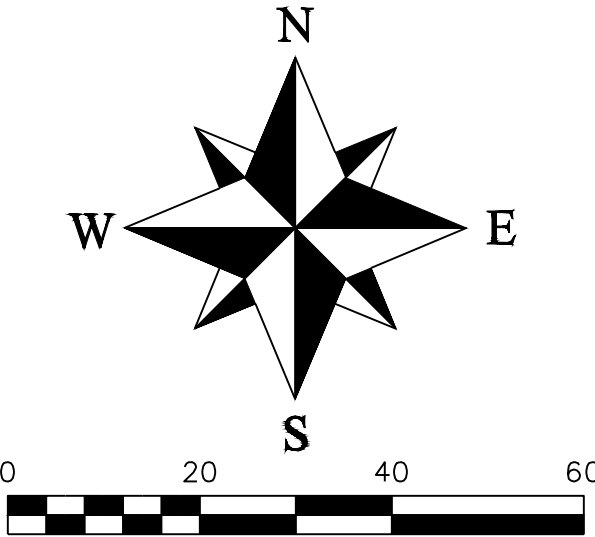
Matthew J. Schlicht, MOPLS 2012000102 _____ Date: _____
Engineering Solutions, LLC LS-2005008139-D



LOCATION MAP
SECTION 6-T47N-R31W

Not to Scale

DEVELOPER:
TUSTIN LLC
8375 NIEMAN ROAD
LENEXA, KS 66214



LEGEND

These standard symbols will be found in the drawing.

- Found Survey Monument (1/2" Bar)
- Set 1/2" Rebar & Cap (LS-2005008319-D)
- ▲ Set 5/8" Rebar & Cap (LS-2005008319-D)
- State Plane Coordinate Identification
- Utility Easement
- BL Building Line
- (###) House Number

PLAT DESCRIPTION:

ALL OF LOTS 1 & 2, DAHMER DEVELOPMENT LOTS 1-3, A SUBDIVISION IN LEE'S SUMMIT, JACKSON COUNTY, MISSOURI RECORDED AS DOCUMENT NUMBER 2008E0018991. CONTAINING 0.78 ACRES.

DEDICATION:

THE UNDERSIGNED PROPRIETOR OF THE ABOVE DESCRIBED TRACT OF LAND HAS CAUSED THE SAME TO BE SUBDIVIDED IN THE MANNER SHOWN ON THE ACCOMPANYING MINOR PLAT, WHICH PLAT AND SUBDIVISION SHALL HEREAFTER BE KNOWN AS:

"DAHMER DEVELOPMENT, LOTS 1A, 1B, & 2A"

EASEMENTS:

AN EASEMENT OR LICENSE IS HEREBY GRANTED TO THE CITY OF LEE'S SUMMIT, MISSOURI, TO LOCATE, CONSTRUCT AND MAINTAIN, OR TO AUTHORIZE THE LOCATION, CONSTRUCTION AND MAINTENANCE OF POLES, WIRES, ANCHORS, CONDUITS, AND/OR STRUCTURES FOR WATER, GAS, SANITARY SEWER, STORM SEWER, SURFACE DRAINAGE CHANNEL, ELECTRICITY, TELEPHONE, CABLE TV, OR ANY OTHER NECESSARY PUBLIC UTILITY OR SERVICES, ANY OR ALL OF THEM, UPON, OVER, OR UNDER THOSE AREAS OUTLINED AND DESIGNATED UPON THIS PLAT AS "UTILITY EASEMENTS" (U.E.), "DRAINAGE EASEMENT" (D.E.) OR WITHIN ANY STREET OR THOROUGHFARE DEDICATED TO THE PUBLIC USE ON THIS PLAT. GRANTOR, ON BEHALF OF HIMSELF, HIS HEIRS, HIS ASSIGNS AND SUCCESSORS IN INTEREST, HEREBY WAIVES, TO THE FULLEST EXTENT ALLOWED BY LAW, INCLUDING, WITHOUT LIMITATIONS, SECTION 527.188, RSMo (2006), ANY RIGHT TO REQUEST RESTORATION OF RIGHTS PREVIOUSLY TRANSFERRED AND VACATION OF THE EASEMENTS HEREIN GRANTED.

PRIVATE UTILITY EASEMENT:

A 10 FOOT WIDE PRIVATE UTILITY EASEMENT(P/U/E) FOR LOT 1A ACROSS LOT 1B IS HEREBY GRANTED FOR MAINTENANCE AND CONSTRUCTION OF PRIVATE SANITARY SEWER AND PRIVATE STORM SEWER.

ACCESS EASEMENT:

A 7 FOOT WIDE ACCESS EASEMENT(A/E) IS HEREBY GRANTED FOR PUBLIC ACCESS TO SIDEWALK ON NORTH SIDE OF PROPERTY.

BUILDING LINES:

BUILDING LINES OR SETBACK LINES ARE HEREBY ESTABLISHED AS SHOWN ON THE ACCOMPANYING PLAT AND NO BUILDING OR PORTION THEREOF SHALL BE CONSTRUCTED BETWEEN THIS LINE AND THE STREET RIGHT OF WAY LINE

OIL - GAS WELLS:

THERE IS NO VISIBLE EVIDENCE OF ABANDONED OIL OR GAS WELLS LOCATED WITHIN THE PLAT BOUNDARIES, AS IDENTIFIED IN "ENVIRONMENTAL IMPACT STUDY OF ABANDONED OIL AND GAS WELLS IN LEE'S SUMMIT, MISSOURI," EDWARD ALTON MAY JR., P.E., 1995.

DRAINAGE NOTE:

THE INDIVIDUAL LOT OWNER SHALL NOT CHANGE OR OBSTRUCT THE DRAINAGE FLOW LINES OR PATHS ON THE LOTS, UNLESS SPECIFIC APPLICATION IS MADE AND APPROVED BY THE CITY ENGINEER.

FLOODPLAIN:

THIS PROPERTY IS NOT WITHIN THE BOUNDARIES OF THE 100 YEAR FLOOD ZONE ACCORDING TO FEMA FLOOD INSURANCE MAP, NUMBER 29095C0417G, DATED JANUARY 20, 2017.

OWNER:

IN TESTIMONY THEREOF:

TUSTIN LLC, HAS CAUSED THESE PRESENT TO BE SIGNED THIS _____ DAY OF _____ 2020.

DUSTY DAHMER, EXECUTIVE MEMBER

NOTARY CERTIFICATION

STATE OF _____)

COUNTY OF _____)

ON THIS _____ DAY OF _____, 2020, BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, PERSONALLY APPEARED DUSTY DAHMER, EXECUTIVE MEMBER OF TUSTIN LLC, TO ME KNOWN TO BE THE PERSON DESCRIBED HEREIN AND WHO EXECUTED THE FOREGOING INSTRUMENT ON BEHALF OF SAID COMPANY AND BEING DULY SWORN BY ME DID ACKNOWLEDGE THAT HE/SHE EXECUTED THE FOREGOING INSTRUMENT AS THEIR FREE ACT AND DEED.

IN WITNESS WHEREOF

I HAVE SET MY HAND AND AFFIXED MY SEAL THE DAY AND YEAR LAST WRITTEN ABOVE.

NOTARY PUBLIC MY COMMISSION EXPIRES _____

REVISIONS

DATE	REVISIONS

Dahmer Development, Lots 1A, 1B, & 2A
a Replat of Dahmer Development Lots 1-3
Section 6, Township 47 North, Range 31 West
Lee's Summit, Jackson County, Missouri

Minor Plat

SHEET	SECTION	TOWNSHIP	RANGE	COUNTY	JOB NO.
1	6	47N	31W	Jackson	Dahmer Development
DRAWN BY	SCALE	DATE OF PREPARATION			
M. Schlicht, PLS., PE	1"=20'	June 20, 2019			

PROFESSIONAL SEAL