



March 13, 2020

City of Lee's Summit, MO
220 SE Green Street
Lee's Summit, MO 64063

RE: PL2019407 – Paragon Star Soccer Complex Final Development Plan

We have received your comments dated December 13, 2019 for the above referenced project. Our responses follow each comment. The comment responses have been organized by the review section they pertain to.

Fire Review

2. IFC 503.3 – Where required by the fire code official, approved signs or other approved notices or markings that include the words NO PARKING-FIRE LANE shall be provided for fire apparatus access roads to identify such roads or prohibit the obstruction thereof. The means by which fire lanes are designated shall be maintained in a clean and legible condition at all times and be replaced or repaired when necessary to provide adequate visibility. Action required: No Parking signage and curb markings to be provided at mountable curbs

Response: Signage and markings to be provided per direction of Fire Code Official

3. All hydrants in the City of Lee's Summit on KCMO mains shall meet City of Lee's Summit specifications.

Response: All hydrants within City of Lee's Summit have been noted as per the City standard. Refer to C-400 through C-408 and details on C-503 submitted on 3/13/2020.

Planning Review

1. A final plat shall be reviewed, approved and recorded prior to the issuance of a building permit

Response: Applicant will provide final plat as a separate submittal process

2. No building permit shall be issued for any structure in the development until written proof is provided to the City that the development agreement has been recorded in the Jackson County Recorder's Office.

Response: Applicant will provide copies of development agreement when executed.

3. Sign permits shall be obtained through the Development Services Department, prior to installation of any signs

Response: Applicant will submit sign drawings for review through Development Services prior to installing any signs.

4. A sound amplification or any other noise caused by the operation shall not exceed sixty-five decibels as measured at the property lines

Response: Sound systems will be designed and specified to meet this requirement. A note to that effect has been added to Sheet E100, submitted 3/13/2020.



5. Provide the proposed colors for the concession/restroom building

Response: Specific colors have not yet been selected. The general color palette is as indicated on sheet A2.01, resubmitted 3/13/2020. Full-size print is in black-and-white; 11x17 color print is attached to this narrative. PDF provided on disk is in color.

Provide additional detail for the metal panels. What kind of metal panels are proposed?

Response: The metal panels shown will be in accordance with the forthcoming Paragon Star Village Design Guidelines. The specific product and color has not yet been selected.

What is the exterior building material on the south elevation under the restroom sign?

Response: This material is shown as a faux-wood composite cladding, similar in character to the Paragon Star Village. Note has been added to 1/A2.01, resubmitted 3/13/2020.

6. Indicate on Sheet A2.01 the location of the proposed roof top mechanical units. The units are required to be screened from view by using parapet walls of the same height as the mechanical units.

Response: The current design intent shows a Mechanical Room per 2/A1.01 that is open-air above and screened on all sides by full-height walls. Note has been added to 4/A2.01 to indicate the access door to the Mechanical Room. No additional mechanical screen (louvers, parapet, etc.) is necessary for screening. These revised sheets are resubmitted 3/13/2020.

7. Is the field house intended to be a part of this final development plan? It was noted the elevations were not submitted as part of this application. Has the future field house pad site been accounted for as part of this submittal (in terms of pervious/impervious coverage, etc.)? If not a separate final development will be required for the review/approval of that structure and site development.

Response: Field house is a *future improvement* and not submitted at this time. The applicant will provide a separate Final Development Plan including the referenced calculations.

8. Provide the manufacturer's specifications for all exterior lighting

Response: The electrical drawings provide information for lighting associated with the public improvements and a cut sheet for the fixture has been added to Sheet E100, submitted 3/13/2020. The sports field lighting has not been finalized as the applicant is still evaluating manufacturers proposals.

9. The main lighting of the facility shall be turned off no more than 60 minutes after the end of an activity or event. A low level lighting system shall be installed to facilitate patrons leaving the facility, cleanup, nighttime maintenance, etc.

Response: A note requiring this sequence of control has been added to Sheet E100 submitted 3/13/2020.

10. Provide a land use table with basic overall information such as square footage/acreage, impervious/pervious percentages, parking totals (in LS and KC), a narrative of the parking calculation method used to determine parking needs.

Response: See sheet C-100, submitted 3/13/2020, for land use table and parking methodology.



11. The minimum drive aisle width is still not met. A total of 24-feet is required and cannot include any portion of the curb. It's noted the measured dimension is from face of curb to face of curb, the flat portion of the curb cannot be included in this calculation

Response: Aisle widths have been designed per the Lee's Summit Municipal Code section 8.620, where aisles are noted to be 24' in table 8-4. The drivable portion of the curb is not excluded from the aisle dimension. This is consistent with our experience in other municipalities.

12. Revise the accessible sign detail to note the required dimension from the bottom of the sign to grade is 5-feet (not a minimum).

Response: Detail revised on sheet C-501, submitted 3/13/2020.

13. A landscape worksheet was not received with this submittal. To better understand the landscaping requirements for the site, please complete the landscape worksheet as provided. Please account for all street frontages and open yard requirements, parking lot screening, etc. for purposes of a building footprint, the soccer fields could be considered a footprint.

Response: Landscape worksheet is attached to this narrative letter and submitted 3/13/2020.

14. Please include a sheet indicating proposed easements. Any tree species located within an easement will need to be of an ornamental variety.

Response: All L-series drawings resubmitted 3/13/2020 indicate the easements and no shade trees have been located within them.

15. Since a plat has not been approved for this area, any easements could be subject to change.

Response: Applicant will review current easements as part of final plat preparation and adjust as needed.

Engineering Review

1. Storm sewer that is included in the previously reviewed set of plans, PL2019023 Paragon Star Soccer Complex Field Storm Sewer FDP, should be noted as "By Separate Plan" throughout the plan set. Please remove from this set of plans all profiles that are included in the separate storm sewer plan. "ST31- See Athletic Field Plans for field storm sewer" is shown on the Utility Plan sheets but that information doesn't seem to be included. Please include in these plans all storm sewer, including profiles for all pipe > 6" diameter, upstream of the storm sewer contained in the separate plans referenced above. Once the storm sewer included with this project is clearly shown and information included, a review will be performed.

Response: As was discussed at the initial project kick-off meeting(s), drain lines under the athletic fields are a component of the turf and drainage systems and review of such is not a condition of FDP approval. Outflow calculations have been performed and the public storm sewer downstream of the points-of-connection have been sized accordingly. Note ST31 has been revised for these drawings resubmitted 3/13/2020.

2. Please include specific ADA-accessible sidewalk ramp design at the south 2 entrances off of NW River Road. The ramps at the other entrances appear to be within the road plans for those locations. Meet the design requirements shown in LS Section 5300 of the Design and



Construction Manual, including Table LS-5. These ramps will not require detectable warnings.
Response: Ramps have been incorporated in these drawings and resubmitted 3/13/2020.

3. Sheet C-203: Not all proposed contours tie into existing contours and some contour labels are not with the contours east of Field 4. Please revise.

Response: Contours have been revised and C-203 is resubmitted 3/13/2020.

4. Sheet C-206: Not all proposed contours tie into existing contours and some contour labels are not with the contours east of Field 7 and 8. Please revise.

Response: Contours have been revised and C-206 is resubmitted 3/13/2020.

5. Sheet C-208: Not all proposed contours tie into existing contours and some contour labels are not with the contours east and south of Field 9 and 10. Please revise.

Response: Contours have been revised and C-208 is resubmitted 3/13/2020

6. Provide top and bottom of wall elevations on the grading plan sheets.

Response: True retaining walls have TW/BW elevations noted on the Grading Enlargements. Other "walls" are planter / seat walls that have not been fully designed – conceptual details are provided on Sheet C-502. New grading plans are resubmitted 3/13/2020.

7. Sheet C-500: Remove the MoDOT references from the pavement sections, they contradict the pavement notes.

Response: Pavement sections have been revised on C-500 and resubmitted 3/13/2020.

8. Submit an Engineer's estimate of Probable Construction Costs that matches the scope of work included with this project.

Response: Engineer's estimate will be provided as required for Final Plat process.

9. Due to the nature of these comments, the resubmittal review will require 10 business days.

Response: Acknowledged.

Building Codes Review

1. Provide water meter sizes, complete water and sewer designs. Action required:
Comment is for informational purposes. Water and sewer systems shall be the responsibility of Kansas City, MO.

Response: These water and sewer drawings are provided in PDF format on the CD submitted 3/13/2020. The Village Street and Storm, Bridges, Sanitary Sewer and Water Main permit set was submitted to Lee's Summit Public Works on 9/20/2019.

2020-03-13 PARAGON SOCCER COMPLEX LANDSCAPE WORKSHEET

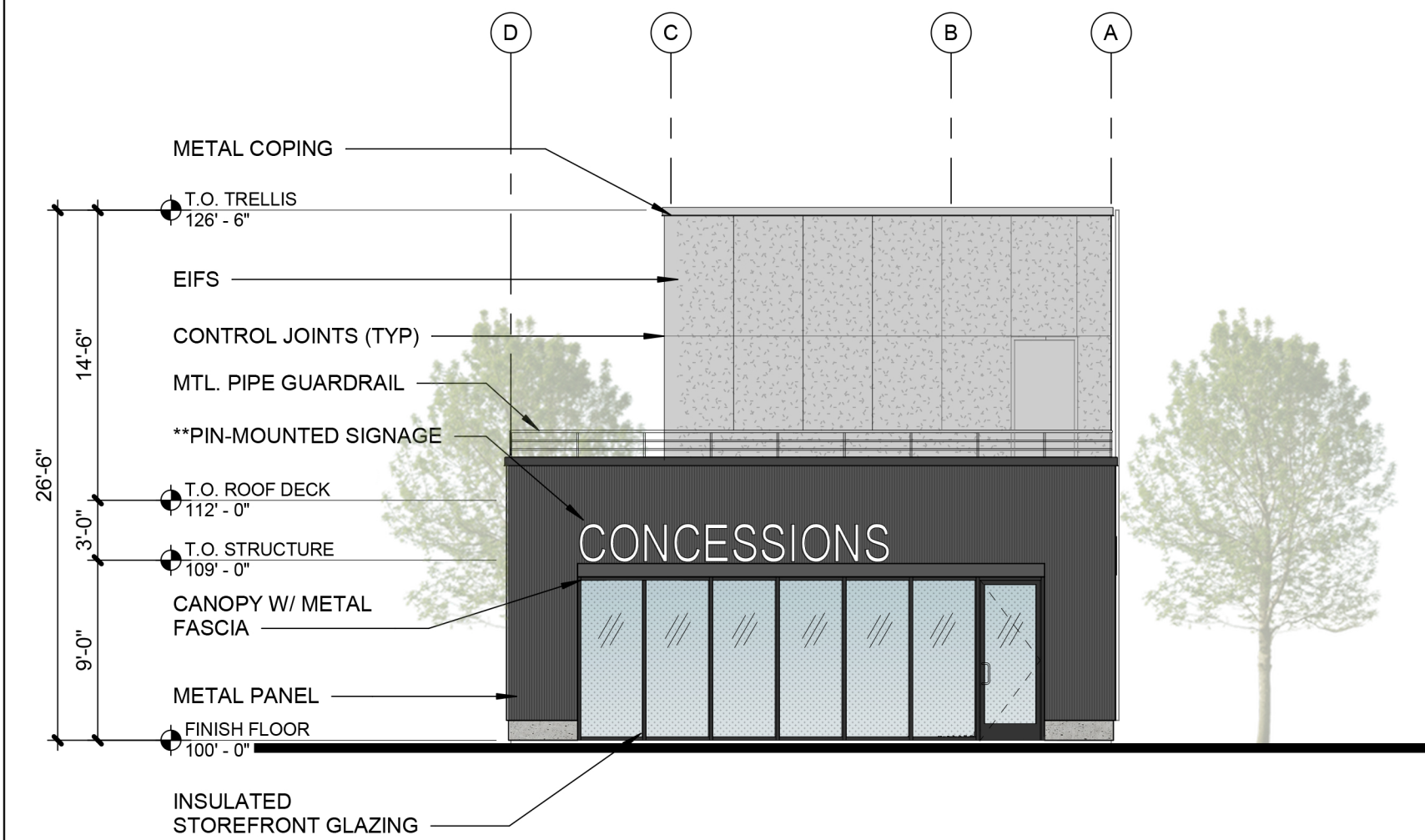
	Ordinance Requirement	Required for this Site	Proposed
8.790.A.1. Street Frontage Trees -River Road & View High Parkway	One tree shall be planted for each 30 feet of street frontage, public or private, within the landscaped setback abutting said street frontage. Such trees may be clustered or arranged within the setback if approved as part of the landscape plan. A minimum 20-foot-wide landscape strip shall be provided along the full length of any street frontage, except where the building setback is less than 20 feet.	1723 ft. of street frontage + 30 = 58 trees required	+58 trees
8.790.A.2. Street Frontage Green Strip	In commercial and industrial districts, any parking or loading area visible from a street shall be separated from the street right-of way with a landscape strip at least 20 feet wide.	20 feet	20 ft. requirement to be met except where a Modification has been requested.
8.790.A.3. Street Frontage Shrubs	One shrub shall be provided for each 20 feet of street frontage, or portion thereof, within the landscaped setback abutting such frontage. Such shrubs may be clustered or arranged within the setback.	1723 ft. of street frontage + 20 = 87 shrubs required	+87 shrubs
8.790.B.1. Open Yard Areas	The minimum open yard area landscaping requirements shall be two shrubs per 5,000 square feet of total lot area (except for tracts of land for which this chapter imposes no yard requirements and permits 100 percent coverage of the lot by buildings), excluding building footprint area. For schools and churches/places of worship large sports/play fields and other areas specifically open to the public for use, i.e., tennis courts, paved play areas, paved parking lots etc. shall be excluded in the calculation of this requirement	1,853,145 sq.ft. of total lot area minus 1,024,342 sq.ft. of building footprint = 828,803 sq.ft. ÷ 5000 x 2 = 332 shrubs required	+332 shrubs *sports fields counted as building footprint
8.790.B.2. Open Yard Areas	All portions of the site not covered with paving or buildings shall be landscaped. Open areas not covered with other materials shall be covered with sod. Ground cover shall be utilized on all slopes in excess of 3:1 slope.	-	Meets Requirement
8.790.B.3. Open Yard Areas Trees	In addition to the trees required based upon street frontage, additional trees shall be required at a ratio of one tree for every 5,000 square feet of lot area not covered by buildings/structures. For schools and churches/places of worship large open sports/play fields may be excluded in the calculation of lot area. The remaining open space shall be applied to the ratio for tree planting as stated herein.	1,853,145 sq.ft. of total lot area minus 1,024,342 sq.ft. of building footprint = 828,803 sq.ft. ÷ 5000 = 166 trees required	+166 trees *sports fields counted as building footprint
8.810.A. Parking Lot Landscape Islands	Landscape islands, strips or other planting areas shall be located within the parking lot and shall constitute at least five percent of the entire area devoted to parking spaces, aisles and driveways. Every four rows of parking shall include a landscape island of at least ten feet in width. Industrial zoned properties, PI-1, PI-2 and BP, shall be exempt from this requirement.	248,895 sq.ft. of parking area x .05 = 12,445 sq.ft. of landscape parking lot islands required	25,500 sq.ft.
8.810.B. Parking Lot Landscape Islands	As a minimum, a landscaping island shall be located at the end of every parking bay between the last parking space and an adjacent travel aisle or driveway. The island shall be no less than nine feet wide for at least one-half the length of the adjacent parking space. The island shall be planted in trees, shrubs, grass, or ground cover, except for those areas that are mulched.	-	Meets Requirement
8.810.C. Parking Lot Landscape Islands	Tree planting areas shall be no less than ten feet in width. No tree shall be located less than four feet from the back of curb. All parking lot landscape islands, strips or other planting areas shall be curbed with minimum six-inch high curbs of the type required by this chapter or other regulations for parking areas.		Meets Requirement
8.820.C.1. Parking Lot Screening, if required	<u>Planted only.</u> A hedge consisting of at least 12 shrubs per 40 linear feet that will spread into a continuous visual screen within two growing seasons. Shrubs must be at least 18 inches tall at the time of planting and be of a species that will normally grow to at least two and one-half feet in height at maturity and be suitable for the parking lot application.	1200 linear feet ÷ 40 x 12 = 360 shrubs required	360 shrubs

Depending on location and considered on a case by case basis: trees & shrubs for the open yard calculation may be allowed to be counted toward buffer screening; and street frontage shrubs may be counted toward parking lot screening if they serve that purpose.

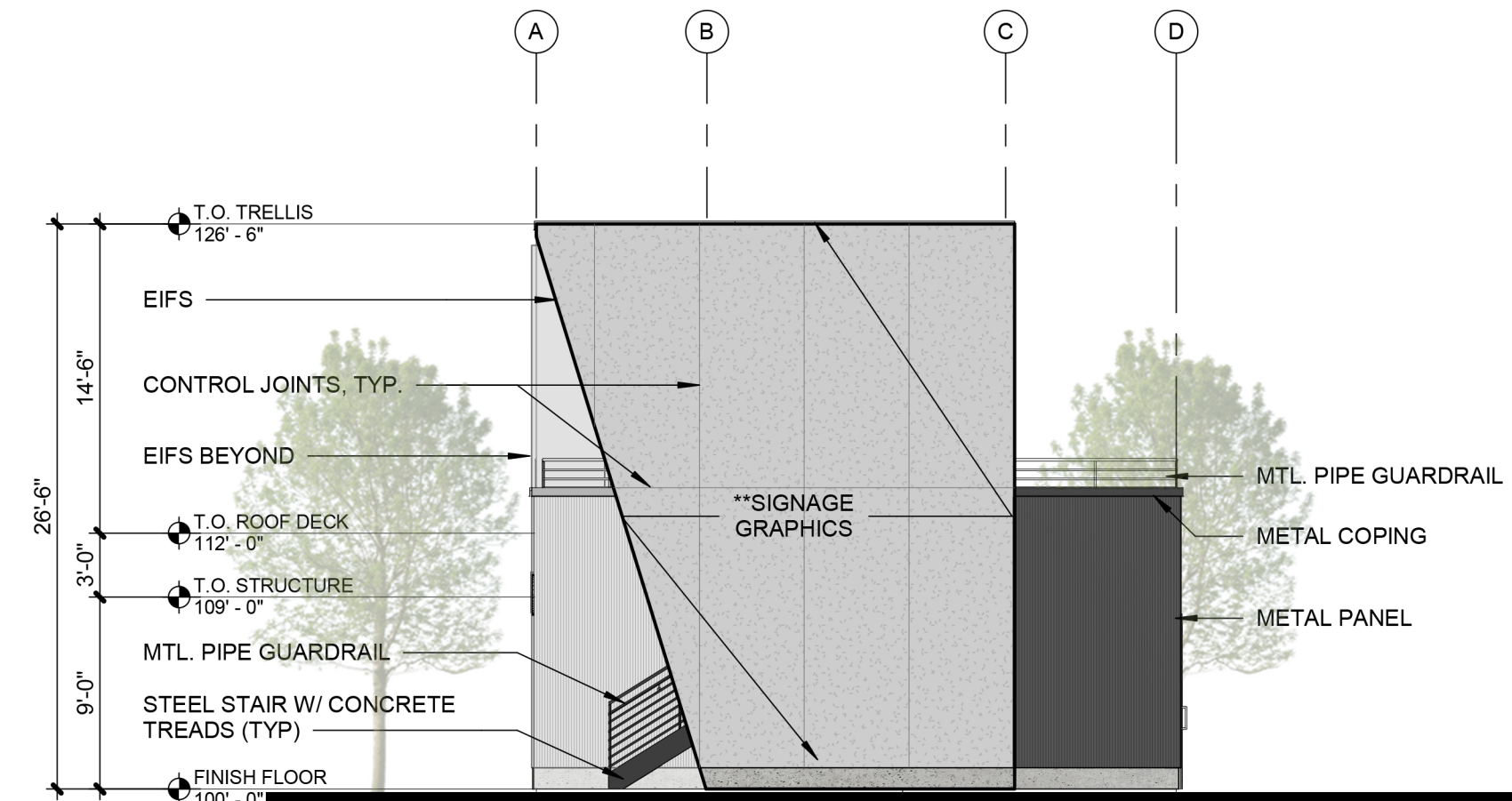
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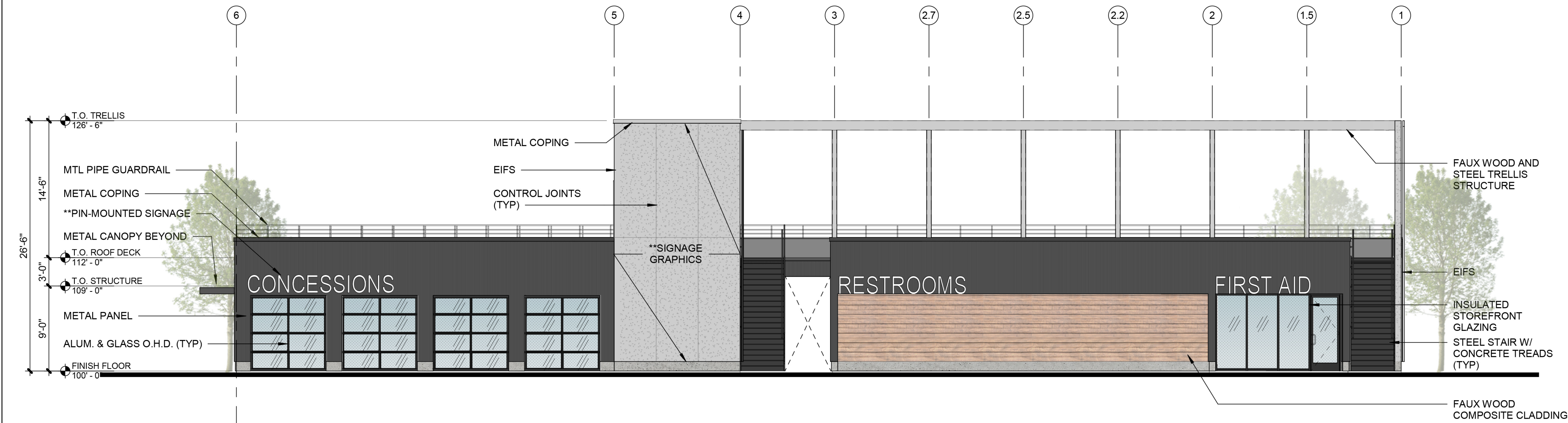
4 NORTH ELEVATION
A2.01 SCALE : 1/8" = 1'-0"



3 WEST ELEVATION
A2.01 SCALE : 1/8" = 1'-0"



2 EAST ELEVATION
A2.01 SCALE : 1/8" = 1'-0"



1 SOUTH ELEVATION
A2.01 SCALE : 1/8" = 1'-0"

**** ALL SIGNAGE COMPONENTS WILL MATCH THE INTENT OUTLINED IN THE DESIGN GUIDELINES AND WILL ABIDE BY THE FORTHCOMING ENVIRONMENTAL GRAPHICS PACKAGE.**



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PROJECT:

Paragon Star Soccer Complex
Soccer Complex & Associated Improvements
1401 NW View High Dr, Lee's Summit, MO 64081
Final Development Plan - RESUBMITTAL

ISSUE:

PROFESSIONAL SEAL:



03.13.20

DRAWING TITLE:

**BUILDING
ELEVATIONS**

JOB NO: 1197

SCALE:

DATE: 03.13.2020

SHEET NO:

DRAWN BY:

A2.01