



March 13, 2020

City of Lee's Summit, MO
220 SE Green Street
Lee's Summit, MO 64063

RE: PL2019306 – Paragon Star Village Commercial Final Development Plan

We have received your comments dated October 2, 2019 for the above referenced project. Our responses follow each comment. The comment responses have been organized by the review section they pertain to.

Fire Review

3. IFC 503.3 - Where required by the fire code official, approved signs or other approved notices or markings that include the words NO PARKING—FIRE LANE shall be provided for fire apparatus access roads to identify such roads or prohibit the obstruction thereof. The means by which fire lanes are designated shall be maintained in a clean and legible condition at all times and be replaced or repaired when necessary to provide adequate visibility. Indicate areas to be posted.

Response: Applicant will work directly with fire officials to designate markings and signage as required.

2. What is the phasing plan for roads and water into the site?

Response: All utility and access work illustrated in the FDP shall be constructed in a single phase.

1. All issues pertaining to life safety and property protection from the hazards of fire, explosion or dangerous conditions in new and existing buildings, structures and premises, and to the safety to fire fighters and emergency responders during emergency operations, shall be in accordance with the 2018 International Fire Code.

Response: Acknowledged

Planning Review

1. The developer shall execute a mutually satisfactory development agreement with the City, which addresses, at a minimum, the waterline improvements, the location and construction of pedestrian trails, and the road improvements recommended in the Transportation Impact Analysis dated April 18, 2019. No building permits shall be issued for any structure in the development until written proof is provided to the City that the development agreement has been recorded in the Jackson County Recorder of Deeds Office.

Response: Applicant will provide copy of development agreement when executed.

2. The final plat for this property has not been completed at this time. A final plat shall be approved and recorded with Jackson County prior to the issuance of a building permit.

Response: Applicant will provide final plat as a separate submittal process.



3. Addressing will be forthcoming.

Response: Applicant will adjust addresses as requested during Building Permit process.

12. The parking lot pole heights are conflicting among plan sheets.

Response: Parking lot light poles for light fixtures 'S1' and 'S2' are specified as a 25 foot aluminum pole on a 3 foot pole base. The light pole and base height is consistent across the project as specified on the 'LIGHT FIXTURE SCHEDULE' shown on sheet 'E200 – PHOTOMETRIC PLAN'. Detail 2 'POLE BASE DETAIL' on sheet 'E100 – LIGHTING PLAN' is for pole base construction only and references 'LIGHT FIXTURE SCHEDULE' for the light pole specification. Both sheets are submitted 3/13/2020.

11. Provide the manufacturer's specifications for the exterior building lighting.

Response: A cutsheet for the exterior building lighting is attached to this narrative.

10. It is noted on Sheet C007 a vehicle drop off is provided. Please describe this function.

Response: Curb and islands have been designed to accommodate a covered drop-off /pick-up area as part of a future medical office building. The drop-off will be shown with the building drawings as part of that separate Final Development Plan.

9. Provide pavement details, please reference the UDO for specific requirements.

Response: Pavement details have been added to sheet C023 submitted 3/13/2020.

8. Provide a detail of the Roof Top Unit screening, to include material and color.

Response: A detail for this screen has been added to A1.02 submitted 3/13/2020.

7. There are many references on Sheet A1.02 that the color is to be determined. Provide the determined color at this time.

Response: Sheet A1.02, submitted on 3/13/2020, has a revised material legend indicating color selections.

6. Provide color elevations and a material palette. Once received and reviewed staff may have additional comments for the elevations.

Response: Elevations on A1.02 have been revised with color. A physical material palette was delivered to the City of Lee's Summit Planning Department on or around January 15, 2020.

5. What are the squares/rectangles adjacent to the parking lot? Are they landscape planters?

Response: Tree grates. Refer to Sheet L-500 submitted 3/13/2020.

4. Please reference engineering comments regarding the location of the trash enclosure. In addition reference the UDO regarding the requirement of a 30-foot concrete apron adjacent to the enclosure.

Response: Trash enclosure locations and configurations have been revised; refer to drawings submitted 3/13/2020.

On Sheet A1.02 the reference to ST-3 is not identified.

Response: Reference to ST-3 has been removed from material legend and elevations and A1.02 is resubmitted 3/13/2020.



Engineering Review

12. Sheets C010 & C011: A complete storm sewer review will be done when complete information has been submitted. However, Line 4500 does not meet City requirements. It exceeds a 90 degree angle of flow thru the structure.

Response: Line 4500 revised; refer to updated utility plans, sheets C015-C015, submitted 3/13/2020.

13. Sheets C014 & C015:

- Provide erosion protection at outlet structures.

Response: Erosion protection provided and shown on sheets C033 and C034 submitted 3/13/2020.

- Label ESC items with reference numbers in Plan view.

Response: ESC labeled on sheets C033 and C044 submitted 3/13/2020.

- Show all items called for in the staging chart.

Response: Items labeled and added on Sheets C033 and C034 submitted 3/13/2020.

- Remove ESC symbols where not needed, as many inlet sediment traps are shown nowhere near inlets.

Response: Sediment traps revised on Sheets C033 and C034 submitted 3/13/2020.

14. L-500: Show all easements on the landscape plan

Response: L-500, submitted 3/13/2020, shows all easements.

11. Sheet C009: Clearly label all utilities public or private.

Response: Utilities labeled on Sheet C013, submitted 3/13/2020.

10. Sheets C007 & C008:

- The dark lines, perhaps plat or lot lines of some sort, are confusing. Label or remove.

Response: This was an old boundary and has been removed on sheets C011 and C012, submitted 3/13/2020.

- Label the multiple existing grade lines in Profile view.

Response: Grade lines labeled on Sheets C011 and C012 submitted 3/13/2020.

9. Sheet C005:

- Dimension Note 2 references removal of existing pavement. Where is this work located? Nothing has been constructed yet.

Response: Note removed on sheets C009 and C010 submitted 3/13/2020.

- The plans show a trash enclosure to the west of the proposed parking lot, approximately 200 feet south of Paragon Parkway. This is not a feasible location. There is no access to it as it is located adjacent to parking spaces and the landscape plans show the area with trees.



Response: Trash enclosure area revised along with sidewalks and ramps to provide continuous pedestrian access. Refer to sheets C009 and C010, submitted 3/13/2020.

8. Sheets C002 & C003: Review proposed contour tie-ins with existing contours. Ensure they make sense and are smooth so that they can actually be graded as shown. It isn't realistic to show abrupt or even 90 degree tie-ins.

Response: Contouring has been adjusted on sheets C005 and C006 submitted 3/13/2020. All grading shown can be constructed.

7. Sheet C001: Include the hatching shown on Paragon Parkway in the Legend.

Response: Concrete hatch added and C001 is resubmitted 3/13/2020.

6. Sheet 25: Remove extraneous information not a part of this project.

Response: Removed; sheet revised and resubmitted 3/13/2020.

5. Sheet 5:

- The dark lines, perhaps plat or lot lines of some sort, are confusing. Label or remove.

Response: Dark lines removed and sheet resubmitted 3/13/2020.

- The Profile view Match Line covers the street slope label. Move label for clarity.

Response: Label moved and sheet resubmitted 3/13/2020.

4. Sheet 4:

- The typical section shown does not match the roadway section in the plans.

Response: Typical section revised and resubmitted 3/13/2020.

- Label the base and subgrade and dimension the distance it extends back of curb in the typical section.

Response: base and subgrade labeled and resubmitted 3/13/2020.

- The typical section specifies the use of AB-3. Does that meet the City's requirements for Compacted Aggregate Base?

Response: details revised and resubmitted 3/13/2020.

3. Sheet 2: Either complete the "Total Disturbed Area" note or remove from sheet.

Response: Note removed and resubmitted 3/13/2020.

2. General:

- The combined set should include storm sewer Plan & Profile information for all of the storm sewer. Only a portion of the storm sewer submitted includes that information. No storm sewer review will be done until all of the information has been submitted.

Response: See storm sewer profiles and detail sheets added as part of FDP Resubmittal 3/13/2020.

- Submit an Engineer's Estimate of Probable Construction Costs and the MDNR Land Disturbance permit.

Response: Engineer's Estimate will be provided as required for Final Plat process. Land Disturbance permit will be obtained prior to Construction.



- A permit for the work shown in these plans will not be issued until the CLOMR has been approved by FEMA.
Response: CLOMR has been provided – not a condition of FDP approval.
- Include an Existing Conditions sheet that shows the existing conditions of the site and delineates the existing floodway and floodplain. Throughout the rest of the plan set, only show proposed floodway and floodplain. Also show stream buffer throughout the plan set.
Response: Existing conditions sheet added (Sheet C003) and submitted 3/13/2020. Existing stream buffer, proposed floodplain, and proposed floodway shown in rest of plans submitted 3/13/2020.
- There is a lot of information shown on the plan sheets. Please carefully review for clarity.
Response: Lineweights have been adjusted and information turned on / off throughout the drawing set submitted 3/13/2020.
- It is unclear where the sidewalk and ADA-accessible ramps are located throughout the project. Please clarify.
Response: ADA walks and ramps labeled (Notes 5 and 9) on sheets C009 and C010 submitted 3/13/2020.
- Additional comments are likely given the scope of information to be included in the resubmittal. The next review will be a 2 week review rather than the normal 1 week resubmittal review time.
Response: Acknowledged.

1. NOTE:

- Please combine the 2 sets of plans submitted, “Paragon Star Village Final Development Plan – Phase 1” and “Public Street, Storm Sewer and Street Lighting Plans for Paragon Star Development Paragon Parkway” into one complete set. The bridges shall continue to be in one set on their own, as submitted.
Response: Plan sets have been combined. Storm Sewer drawings were submitted as part of building permit set for Village Street and Storm, Bridges, Sanitary Sewer and Water Main on or around 9/20/2019.
- Comments will be made on each set of plans submitted, differentiated by the different numbering systems used.
Response: Acknowledged.

Traffic Review

1. The trash enclosure on the west side of the development does not appear accessible.

Response: Trash enclosure area revised; refer to sheets C009 and C010 submitted 3/13/2020.

2. Sidewalks (and Ramps) are needed crossing the south side of the driveway intersection located at the southwest corner of Lot 10. This sidewalk and crossing will directly connect the proposed sidewalk along the south side of the right-in/right-out driveway (at View High Drive) to the sidewalk adjacent to the buildings and parking areas.

Response: Area has been revised and new design submitted 3/13/2020.



3. Plans lack sufficient detail, pavement information, dimensions, controls, etc. for review of Paragon Parkway and associated adjacent parking areas, sidewalks, ramps, etc.

Response: Paragon Parkway plans revised and submitted to Public Works as component aspect of Village Street and Storm, Bridges, Sanitary Sewer and Water Main building permit set on or around 9/20/2019.

Building Codes Review

1. Specify water pipe materials.

Response: Water line notes added to sheets C014 and C015 and resubmitted 3/13/2020. Water line to be C900 PVC.

2. Specify location and size of water meter(s).

Response: Water meter locations shown on sheets C014 and C015 resubmitted 3/13/2020. Meter size to be determined by MEP.

3. Specify size/location/material of non-grease laden waste.

Response: Sanitary sewer labels added to sheets C014 and C015 resubmitted 3/13/2020.

2020-03-13 PARAGON VILLAGE LANDSCAPE WORKSHEET

	Ordinance Requirement	Required for this Site	Proposed
8.790.A.1. Street Frontage Trees - Paragon Parkway	One tree shall be planted for each 30 feet of street frontage, public or private, within the landscaped setback abutting said street frontage. Such trees may be clustered or arranged within the setback if approved as part of the landscape plan. A minimum 20-foot-wide landscape strip shall be provided along the full length of any street frontage, except where the building setback is less than 20 feet.	607 ft. of street frontage ÷ 30 x 2 = 41 trees required	42 trees
8.790.A.2. Street Frontage Green Strip	In commercial and industrial districts, any parking or loading area visible from a street shall be separated from the street right-of way with a landscape strip at least 20 feet wide.	20 feet	20 ft. requirement to be met except where a Modification has been requested.
8.790.A.3. Street Frontage Shrubs - Paragon Parkway	One shrub shall be provided for each 20 feet of street frontage, or portion thereof, within the landscaped setback abutting such frontage. Such shrubs may be clustered or arranged within the setback.	607 ft. of street frontage ÷ 20 x 2 = 61 shrubs required	61 shrubs *provided within planting beds
8.790.B.1. Open Yard Areas	The minimum open yard area landscaping requirements shall be two shrubs per 5,000 square feet of total lot area (except for tracts of land for which this chapter imposes no yard requirements and permits 100 percent coverage of the lot by buildings), excluding building footprint area. For schools and churches/places of worship large sports/play fields and other areas specifically open to the public for use, i.e., tennis courts, paved play areas, paved parking lots etc. shall be excluded in the calculation of this requirement	416,244 sq.ft. of total lot area minus 58,097 sq.ft. of building footprint = 358,147 ÷ 5000 x 2 = 144 shrubs required	144 shrubs
8.790.B.2. Open Yard Areas	All portions of the site not covered with paving or buildings shall be landscaped. Open areas not covered with other materials shall be covered with sod. Ground cover shall be utilized on all slopes in excess of 3:1 slope.	-	Meets Requirement
8.790.B.3. Open Yard Areas	In addition to the trees required based upon street frontage, additional trees shall be required at a ratio of one tree for every 5,000 square feet of lot area not covered by buildings/structures. For schools and churches/places of worship large open sports/play fields may be excluded in the calculation of lot area. The remaining open space shall be applied to the ratio for tree planting as stated herein.	416,244 sq.ft. of total lot area minus 58,097 sq.ft. of building footprint = 358,097 ÷ 5000 = 72 trees required	191 trees
8.810.A. Parking Lot Landscape Islands	Landscape islands, strips or other planting areas shall be located within the parking lot and shall constitute at least five percent of the entire area devoted to parking spaces, aisles and driveways. Every four rows of parking shall include a landscape island of at least ten feet in width. Industrial zoned properties, PI-1, PI-2 and BP, shall be exempt from this requirement.	229,090 sq.ft. of parking area x .05 = 11,455 of landscape parking lot islands required	16,191 sq.ft.
8.810.B. Parking Lot Landscape Islands	As a minimum, a landscaping island shall be located at the end of every parking bay between the last parking space and an adjacent travel aisle or driveway. The island shall be no less than nine feet wide for at least one-half the length of the adjacent parking space. The island shall be planted in trees, shrubs, grass, or ground cover, except for those areas that are mulched.	-	Meets Requirement
8.810.C. Parking Lot Landscape Islands	Tree planting areas shall be no less than ten feet in width. No tree shall be located less than four feet from the back of curb. All parking lot landscape islands, strips or other planting areas shall be curbed with minimum six-inch high curbs of the type required by this chapter or other regulations for parking areas.		Meets Requirement
8.820.C.1. Parking Lot Screening, if required - NW View High Parkway	<u>Planted only.</u> A hedge consisting of at least 12 shrubs per 40 linear feet that will spread into a continuous visual screen within two growing seasons. Shrubs must be at least 18 inches tall at the time of planting and be of a species that will normally grow to at least two and one-half feet in height at maturity and be suitable for the parking lot application.	831 linear feet ÷ 40 x 12 = 252 shrubs required	252 shrubs
8.820.C.1. Parking Lot Screening, if required - I-470		456 linear feet ÷ 40 x 12 = 317 shrubs required	137 shrubs

Depending on location and considered on a case by case basis: trees & shrubs for the open yard calculation may be allowed to be counted toward buffer screening; and street frontage shrubs may be counted toward parking lot screening if they serve that purpose.

ASPEN WEDGE 36 WALL SCONCE



The Aspen Wedge outdoor wall sconce creates a tapered rectilinear column of beautifully diffused light that can be mounted with the wedge angled up or down. The Aspen Wedge is available in four sizes (8", 15", 26", 36") to meet architectural scale; ideal for way-finding and general outdoor illumination. The Aspen Wedge features energy-efficient, fully dimmable integrated LED lighting. Available in two finishes: Bronze and Charcoal.

High quality LM80-tested LEDs

for consistent long-life performance and color

Outstanding protection against the elements:

- Powder coat finishes
- Stainless Steel mounting hardware
- Impact-resistant, UV stabilized frosted acrylic lensing
- IP-65 Rated

SPECIFICATIONS

DELIVERED LUMENS	1508
WATTS	48
VOLTAGE	Universal 120-277V, with integral transient 2.5kV surge protection (driver)
DIMMING	0-10, ELV
LIGHT DISTRIBUTION	Symmetric
MOUNTING OPTIONS	Wall
PERFORMANCE OPTIONS	In-Line Fuse / Surge Protector
CCT	2700K, 3000K
CRI	90+
COLOR BINNING	3 Step
BUG RATING	B0-U4-G2
DARK SKY	Non-compliant
WET LISTED	IP65
GENERAL LISTING	ETL
CALIFORNIA TITLE 24	Can be used to comply with CEC 2016 Title 24 Part 6 for outdoor use. Registration with CEC Appliance Database not required.
START TEMP	-30°C
FIELD SERVICEABLE LED	Yes
CONSTRUCTION	Aluminum
HARDWARE	Stainless Steel
FINISH	Powder Coat
LED LIFETIME	L70; 70,000 Hours
WARRANTY*	5 Years
WEIGHT	9 lbs.

* Visit techlighting.com for specific warranty limitations and details.

ORDERING INFORMATION

700OWASPW	CRI / CCT	LENGTH	LENS	FINISH	VOLTAGE	DISTRIBUTION	OPTIONS
	927 90 CRI, 2700K 930 90 CRI, 3000K	36 36"	D DIFFUSE	Z BRONZE H CHARCOAL	UNV 120V-277V UNIVERSAL	S SYMMETRIC	NONE LF IN-LINE FUSE SP SURGE PROTECTION LFSP IN-LINE FUSE & SURGE PROTECTION

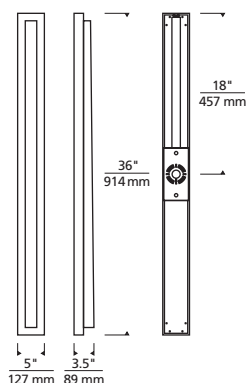


ASPEN WEDGE 36
shown in bronze



ASPEN WEDGE 36
shown in charcoal

ASPEN WEDGE 36 WALL SCONCE



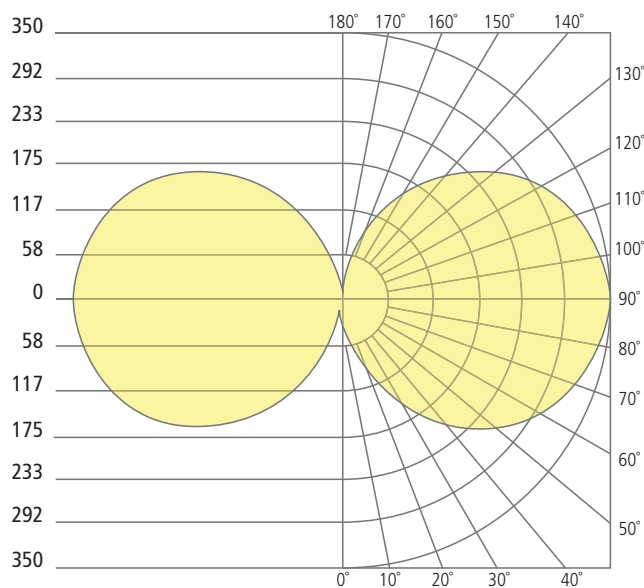
Aspen Wedge 36

PHOTOMETRICS*

*For latest photometrics, please visit www.techlighting.com/OUTDOOR

ASPEN WEDGE 36

Total Lumen Output: 1508
 Total Power: 48
 Luminaire Efficacy: 31
 Color Temp: 3000K
 CRI: 90
 BUG Rating: B0-U4-G2



PROJECT INFO

FIXTURE TYPE & QUANTITY

JOB NAME & INFO

NOTES



© 2019 Tech Lighting, L.L.C. All rights reserved. The "Tech Lighting" graphic is a registered trademark of Tech Lighting, L.L.C. Tech Lighting reserves the right to change specifications for product improvements without notification.



GENERATION BRANDS
 7400 Linder Avenue, Skokie, Illinois 60077

T 847.410.4400 F 847.410.4500