



LEE'S SUMMIT
MISSOURI
Development Services Department

Development Services Staff Report

File Number	PL2020-005
File Name	PRELIMINARY DEVELOPMENT PLAN – Firestone
Applicant	FS Lee's Summit, LLC
Property Address	3501 SW Market St.
Planning Commission Date Heard by	March 12, 2020 Planning Commission and City Council
Analyst	C. Shannon McGuire, Planner
Checked By	Hector Soto, Jr., AICP, Planning Manager and Kent Monter, PE, Development Engineering Manager

Public Notification

Pre-application held: July 23, 2019
Neighborhood meeting conducted: January 27, 2020
Newspaper notification published on: February 22, 2020
Radius notices mailed to properties within 300 feet on: February 20, 2020
Site posted notice on: February 20, 2020

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Attachments

Transportation Impact Analysis prepared by Michael Park, dated February 19, 2020 – 4 pages
Stormwater Report by Gresham Smith, dated February 21, 2020 – 7 pages
Preliminary Development Plan, date stamped February 24, 2020 – 18 pages
Modification Request letter, dated February 19, 2019 – 7 pages

Location Map

1. Project Data and Facts

Project Data	
Applicant/Status	FS Lee's Summit, LLC /Owner
Applicant's Representative	Jason Horowitz
Location of Property	3501 SW Market St.
Size of Property	±1.2 Acres
Floor Area Ratio (FAR)	0.12
Zoning (Existing)	CP-2 (Planned Community Commercial)
Comprehensive Plan Designation	Retail
Procedure	<p>The Planning Commission makes a recommendation to the City Council on the proposed preliminary development plan. The City Council takes final action on the preliminary development plan in the form of an ordinance.</p> <p>Duration of Validity: Preliminary development plan approval by the City Council shall not be valid for a period longer than twenty-four (24) months from the date of such approval, unless within such period a final development plan application is submitted. The City Council may grant one extension not exceeding twelve (12) months upon written request.</p>

Current Land Use
The property is an unplatted vacant parcel that has never been developed.

Description of Applicant's Request
<p>The applicant seeks approval of a preliminary development plan (PDP) to construct a 6,262 sq. ft. Firestone automotive care facility. The 6.3 acre parent tract will be platted into two (2) lots. The proposed building will be constructed on the 1.2 acre, Lot 1. The remaining 5.1 acre Lot 2 will remain vacant. A conceptual plan for Lot 2 has been included with this PDP. The conceptual plan shows a 3,600 sq. ft. commercial building for illustrative purposes only. The subject PDP application does not include approval for any development on Lot 2; any future development of Lot 2 shall require separate preliminary development plan approval.</p>

2. Land Use

Description and Character of Surrounding Area
<p>The properties surrounding the subject site are zoned CP-2 with the exception of MO 291 Highway to the east. Summit Crest Plaza shopping center is located to the west and Walmart is to the north across SW Market St. South of the property is Quick Trip and Bank of the West.</p>

Adjacent Land Uses and Zoning

North (across SW Market St):	Walmart / CP-2
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South:	Quik Trip & Bank of the West / CP-2
East:	MO 291 Highway
West (across SW Market St.):	Summit Crest Plaza (multi-tenant strip center) / CP-2

Site Characteristics
The site slopes from the west to the east and has an open drainage ditch that runs north-south, east of the proposed project site. The access to the site will be from SW Market St and be in line with the existing driveway entrance to Summit Crest Plaza.

Special Considerations
This site is located in the M-150 Corridor Development Overlay (CDO) District.

3. Project Proposal

Site Design

Land Use	
Impervious Coverage:	49.6%
Pervious:	50.4%
TOTAL	100%

Parking

Proposed		Required	
Total parking spaces proposed:	29	Total parking spaces required:	24
Accessible spaces proposed:	2	Accessible spaces required:	1
Parking Reduction requested?	No	Off-site Parking requested?	No

Setbacks (Perimeter)

Yard	Building / Parking Required	Building / Parking Proposed
Front	15' (Building) / 20' (Parking)	84' (Building) / 20.5' (Parking)
Side	10' (Building) / 6' (Parking)	52' (Building) / 7.4' (Parking)
Rear	20' (Building) / 6' (Parking)	51' (Building) / 124' (Parking)

Structure(s) Design

Number and Proposed Use of Buildings
1 Automotive Care Center
Building Height
22'10"
Building Size
6,262 sq. ft.
Number of Stories
1 Story
Floor Area Ratio
0.12 (0.55 Max)

4. Unified Development Ordinance (UDO)

Section	Description
2.040,2.260,2.300,2.320	Preliminary Development Plans
4.210	Zoning Districts
8.120,8.170,8.180	Design Standards
8.220,8.230,8.250,8.260,8.290	Lighting Standards
8.530,8.580,8.620	Parking Standards
8.720,8.750,8.790,8.810,8.820	Landscaping

5. Comprehensive Plan

Focus Areas	Goals, Objectives & Policies
Overall Area Land Use	Objective 1.3 Objective 1.4
Economic Development	Objective 2.3
Commercial Development	Objective 4.1 Objective 4.2

6. Analysis

Background and History

The applicant seeks approval of a preliminary development plan for a Firestone automotive care facility. The proposed project calls the construction of a 6,262 sq. ft. building with seven (7) bays. The proposed exterior building materials consist of split face CMU veneer, EIFS, aluminum storefront windows and glass.

- August 29, 1972 – The subject property and surrounding area were annexed into the City by special election.
- September 6, 2001 – The City Council amended comprehensive zoning Ordinance No. 715, subdivision Ordinance No. 850, Chapters 27 and 33 of the Code of Ordinances for the City of Lee’s Summit, Missouri, and enacted the Unified Development Ordinance amending the subject property’s zoning from C-1 to CP-2. The UDO went into effect on November 1, 2001.

Compatibility

The property is located on the east side of SW Market St approximately 400 feet north of the intersection at M-150 Highway. The site sits adjacent to a bank (Bank of the West) with a drive-through facility and a Quik Trip to the south, a multi-tenant strip center (Summit Crest Plaza) to the west, Walmart to the north and vacant commercial property to the east. All adjoining properties are zoned CP-2. An automotive

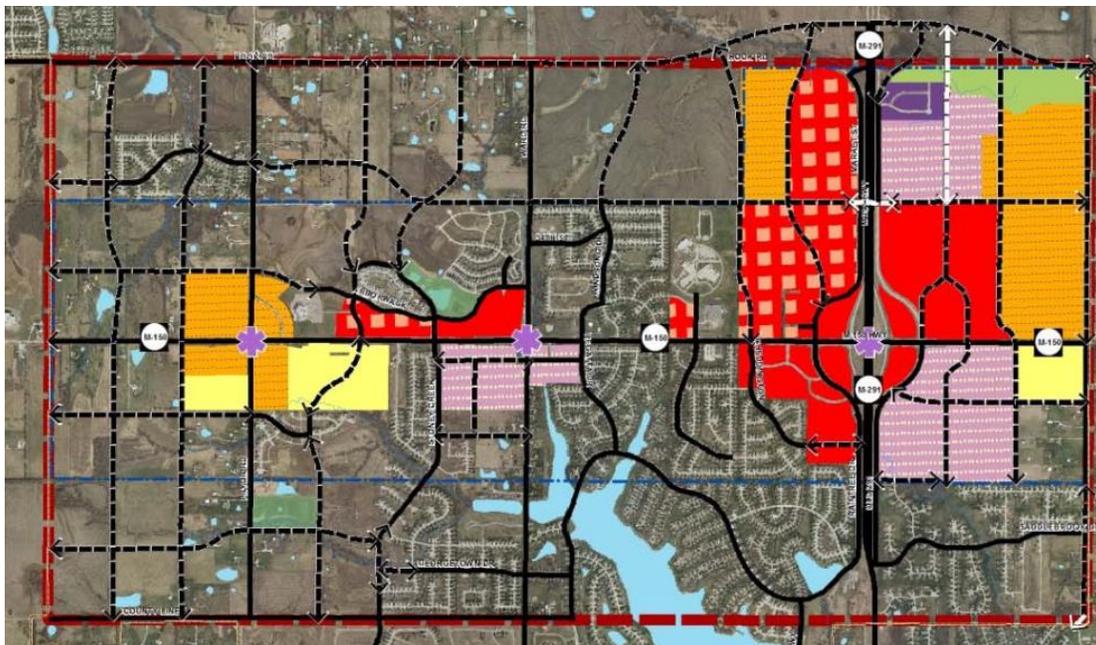
service center is a compatible use for the area and is a use permitted by right under the property's existing CP-2 zoning.

The proposed building materials and architecture are compatible with the commercial development in this area. The proposed building exterior is composed of split face CMU veneer, EFIS, aluminum storefront windows and glass.

M-150 CDO design standards

The subject property is located within the boundaries of the M-150 Corridor Development Overlay (CDO) District. In an effort to promote sustainable development within the M-150 Corridor, the overlay district encourages the integration of water and energy conservation techniques in site planning and building design by establishing minimum sustainability requirements. To address these requirements the developer has proposed to incorporate the following features:

1. Cool roof – The metal roof will be polar white, which is designed to reflect more sunlight and absorb less heat than a standard roof.
2. Xeriscape or water-conserving landscaping materials – The developer is proposing drought-resistant plant materials.
3. Drip irrigation system for landscaping areas – The developer is proposing drip irrigation for individual trees and planting beds.



The developer has further addressed overlay district design requirements by adding landscape screening around the proposed transformer location. Additionally, the developer is proposing to promote pedestrian/bicycle connectivity by installing a five (5) foot wide sidewalk along the length of the subject site adjacent to SW Market St. In addition to the public sidewalk along SW Market St. the CDO requires a network of on-site pedestrian walkways with a minimum width of five (5) feet to and between public

sidewalks along the perimeter streets adjacent to the development. A condition of approval has been added requiring a pedestrian walkway between the proposed site and adjacent public sidewalk.

The CDO requires that all roof-mounted mechanical equipment be screened by a parapet wall or similar feature that is an integral part of the building's architectural design. The parapet wall or similar feature shall be of a height equal to or greater than the height of the mechanical equipment being screened.

The applicant proposes to meet the intent of the CDO design standards by providing screening for all roof-mounted equipment by utilizing a roof curb system similar to the Envisor Screening System in lieu of parapet walls. The roof curb system will be painted to match the color of the proposed building and is opaque so the mechanical units will be sheilded from view

Adverse Impacts

The proposed development will not detrimentally impact the surrounding area. The proposed project develops a long-vacant and highly visible property along the M-291 Hwy and M-150 corridors.

The proposed development will not create excessive storm water runoff. Stormwater management will be handled via a detention basin located on the subject site just southeast of the proposed building.

Public Services

The proposed development will not impede the normal and orderly development and improvement of the surrounding property. The surrounding properties are fully built out, save for a vacant commercial site to the east. Development of this vacant site will require preliminary development plan under separate application.

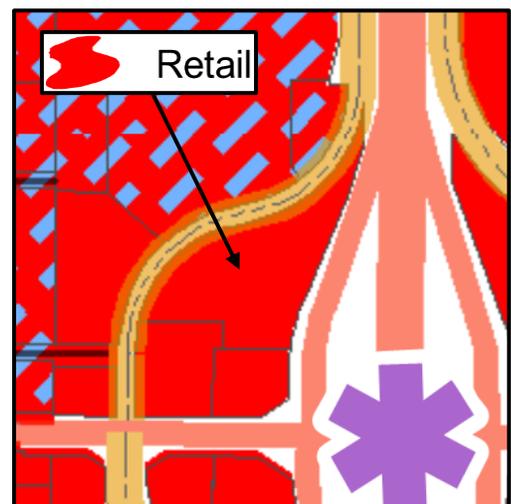
The proposed development will tie into the existing public infrastructure. The site has direct access from SW Market St. Sufficient capacity is present on SW Market St to accommodate the traffic volumes proposed use.

Comprehensive Plan

The 2005 Comprehensive Plan Land Use Map identifies the proposed project site's land use as retail. The proposed use is in alignment with the plan's established goal of establishing a strong, high-quality commercial base that provides diversified, accessible, and convenient services to meet the changing needs of the community.

Unified Development Ordinance

The existing CP-2 Community Commercial District provides for a full-range of retail and office development uses that service the general needs of the community. Should the requested modifications be granted, the proposed development would satisfy any requirements applicable to the zoning district pursuant to UDO.



Modifications

The applicant has requested a modification to allow for four (4) wall signs on the building. The request for additional wall signage is not out of place for a retail business in this area. In comparison, Walmart has a total of eight (8) wall signs versus the maximum of three (3) allowed under the UDO for a single tenant space.

UDO Wall Sign Standards						
Zoning District	Use	Sign Type	Maximum Number	Maximum Sign Area	Height	Illumination (Lighting)
CP-2	Single tenant building	Attached: -Applique -Awning -Canopy -Over Canopy -Projecting -Under Canopy -Wall	3 attached	10% of building façade for awning, canopy, or wall	6 foot max. letter height	External indirect Halo Internal
Proposed Wall Sign Standards						
Zoning District	Use	Sign Type	Maximum Number	Maximum Sign Area	Height	Illumination (Lighting)
CP-2	Single tenant building	Attached: -Applique -Awning -Canopy -Over Canopy -Projecting -Under Canopy -Wall	4 attached	10% of building façade for awning, canopy, or wall	6 foot max. letter height	External indirect Halo Internal

The proposed fourth wall sign is for the north building elevation. If approved, a wall sign will be located on each of the building’s four sides. None of the four wall signs will exceed the maximum size allowed under the UDO. The proposed fourth wall sign is compatible for the area, proportional for the building and provides a reasonable means of identification for the subject site.

Recommendation

With the conditions of approval below, the application meets the requirements of the UDO and Design & Construction Manual.

7. Recommended Conditions of Approval

Site Specific

1. A modification shall be granted to the maximum number of wall signs allowed (3) in the CP-2 zoning district, to allow four (4) wall signs.
2. An on-site pedestrian walkway with a minimum width of five (5) feet to and between the public sidewalk along the perimeter street adjacent to the development shall be provided.
3. Development shall comply with the recommendation of the Transportation Impact Analysis (TIA) dated March 3, 2020, prepared by Brad Cooley, Staff Engineer.

Standard Conditions of Approval

4. The fire hydrant main shall be a minimum of 6".
5. Sign permits shall be obtained prior to installation of any signs through the Development Services Department. All signs proposed must comply with the sign requirements as outlined in the sign section of the Unified Development Ordinance.
6. All issues pertaining to life safety and property protection from the hazards of fire, explosion or dangerous conditions in new and existing buildings, structures and premises, and to the safety to fire fighters and emergency responders during emergency operations, shall be in accordance with the 2018 International Fire Code.
7. All required engineering plans and studies, including water lines, sanitary sewers, storm drainage, streets and erosion and sediment control shall be submitted along with the final development plan. All public infrastructure must be substantially complete, prior to the issuance of any certificates of occupancy.
8. All Engineering Plan Review and Inspection Fees shall be paid prior to approval of the associated engineering plans and prior to the issuance of any infrastructure permits or the start of construction (excluding land disturbance permit).
9. All subdivision-related public improvements must have a Certificate of Final Acceptance prior to approval of the final plat, unless security is provided in the manner set forth in the City's Unified Development Ordinance (UDO) Section 7.340. If security is provided, building permits may be issued upon issuance of a Certificate of Substantial Completion of the public infrastructure as outlined in Section 1000 of the City's Design and Construction Manual.
10. A Land Disturbance Permit shall be obtained from the City if ground breaking will take place prior to the issuance of an infrastructure permit, building permit, or prior to the approval of the Final Development Plan / Engineering Plans.
11. All permanent off-site easements, in a form acceptable to the City, shall be executed and recorded with the Jackson County Recorder of Deeds prior to approval of the Final Development Plan.
12. Certain aspects of the development plan will be further reviewed during the Final Development Plan phase of the project, including mitigation of a potential grading issue on the southern perimeter of the project. It is possible that a swale is required along the southern periphery of the project, to ensure there is no adverse impact to adjacent property owners.

13. Private parking lots shall follow the Unified Development Ordinance for pavement thickness and base requirements.
14. Any cut and / or fill operations, which cause public infrastructure to exceed the maximum / minimum depths of cover shall be mitigated by relocating the infrastructure vertically and / or horizontally to meet the specifications contained within the City's Design and Construction Manual.
15. A final plat shall be approved and recorded prior to any building permits being issued.