

USER: Bryan-Nicole Samuels TAB: Cover
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LEGEND

EXISTING		PROPOSED
--- 460 --- --- 459 --- +620.15	CONTOURS	--- 460 --- --- 459 --- +621.25 (TOP OF CURB) (FINISH PAVEMENT)
~~~~~	SPOT GRADE	~~~~~
~~~~~	TREE LINE	~~~~~
☼	TREE	☼
⊙	BUSH	⊙
⊙	STORM MANHOLE	⊙
⊙	AREA INLET	⊙
⊙	CURB INLET	⊙
⊙	GRATED INLET	⊙
⊙	FLARED END SECTION	⊙
12" RCP	STORM SEWER	12" RCP
①	GRATED MANHOLE	①
○ DS	STORM DESIGNATOR	○ DS
DP	DOWNSPOUT	DP
	DRAINAGE PIPE	
	SWALE/SLOPE INDICATOR	
⊙	SANITARY MANHOLE	⊙
8" VCP	SANITARY SEWER	8" VCP
⊙	CLEAN OUT	⊙
⊙	SANITARY DESIGNATOR	⊙
⊙	UTILITY POLE	⊙
⊙	GUY WIRE	⊙
OU	OVERHEAD UTILITY	OU
UE	UNDERGROUND ELECTRIC	UE
UE	ELECTRIC MARKER	UE
UE	ELECTRIC METER	UE
UE	ELECTRIC BOX	UE
UE	ELECTRIC PULL BOX	UE
UE	ELECTRIC TRANSFORMER	UE
UE	ELECTRIC MANHOLE	UE
UE	UNDERGROUND TELEPHONE	UE
UE	FIBER OPTIC MARKER	UE
UE	CABLE MARKER	UE
UE	GAS LINE	UE
UE	GAS VALVE	UE
UE	GAS METER	UE
UE	GAS MARKER	UE
UE	WATER LINE	UE
UE	WATER VALVE	UE
UE	WATER METER	UE
UE	FIRE HYDRANT	UE
UE	SIGN	UE
UE	MAIL BOX	UE
UE	TEST HOLE	UE
UE	LIGHT STANDARD	UE
UE	FENCE	UE
UE	BOLLARD	UE
UE	RETAINING WALL	UE
UE	CONCRETE PAVEMENT	UE
UE	SILTATION FENCE	UE
UE	AIR CONDITIONER	UE
UE	FLAG POLE	UE
UE	MONITORING WELL	UE
UE	PARKING METER	UE
UE	PLANTER	UE
UE	SPRINKLER CONTROL BOX	UE
UE	SPRINKLER	UE
UE	SPRINKLER VALVE	UE
UE	TRAFFIC CONTROL BOX	UE
UE	TRAFFIC POLE	UE
UE	YARD LIGHT	UE
UE	GUARD RAIL	UE
UE	PROPERTY LINE	UE
UE	EASEMENT	UE
UE	SETBACK	UE
UE	INLET PROTECTION	UE
UE	WATTLE	UE
UE	CHECK DAM	UE
UE	USE IN PLACE	UE
UE	TO BE REMOVED	UE
UE	ADJUST TO GRADE	UE
UE	TO BE REMOVED & RELOCATED	UE
UE	TYPICAL	UE
UE	NOT TO SCALE	UE
UE	HIGH POINT IN GRADE	UE
UE	LOW POINT IN GRADE	UE
UE	TOP OF WALL	UE
UE	BOTTOM OF WALL	UE
UE	NOT IN CONTRACT	UE

SITE BENCHMARK INFORMATION

X 205 -- DISK LOCATED 0.6 MILE SOUTH ALONG THE MISSOURI PACIFIC RAILROAD FROM THE STATION AT LEE'S SUMMIT. 19.1 FEET WEST OF THE WEST RAIL OF THE MAIN TRACK, SET IN THE TOP OF THE WEST END OF THE NORTHWEST ABUTMENT OF AN OVERPASS OVER U.S. HIGHWAY 50. ELEVATION = 1046.10

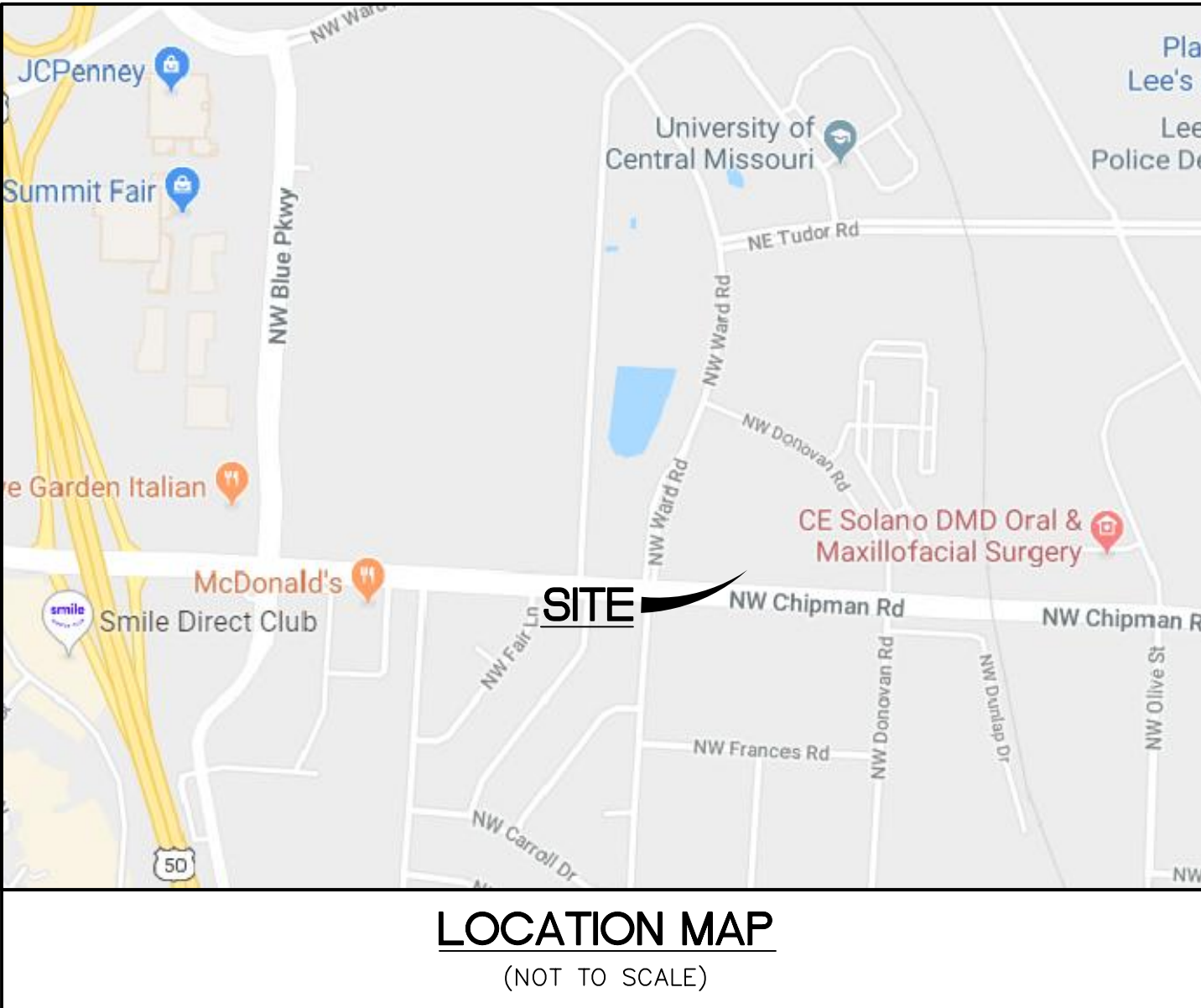
LION'S CHOICE

LOT 4D OF SUMMIT ORCHARD
LEE'S SUMMIT, MO 64063



Saint Louis, Missouri Since 1967

FINAL DEVELOPMENT PLAN



PERTINENT DATA

SITE DATA
PARCEL NUMBER 52-900-03-65-00-0-00-000
CURRENT ZONING DISTRICT PMIX, PLANNED MIX USE
PROPOSED ZONING DISTRICT PMIX, PLANNED MIX USE

AREA CALCULATIONS
BUILDING AREA 2,311 S.F. = 0.05 AC
IMPERVIOUS AREA 24,758 S.F. = 0.57 AC
PERVIOUS AREA 12,179 S.F. = 0.28 AC
TOTAL SITE AREA 39,248 S.F. = 0.90 AC

UTILITIES

GAS SERVICE	SPIRE 3025 SE CLOVER DR. LEE'S SUMMIT, MO 64082 CONTACT: JON HARRELL (816)969-2298	COMMUNICATIONS SERVICE	AT&T CONTACT: MARTY LOPER (800)499-7928
WATER SERVICE	CITY OF LEE'S SUMMIT PUBLIC WORKS WATER UTILITIES 1200 SE HAMBLIN ROAD, LEE'S SUMMIT, MO 64081 (816)969-1900	SANITARY SEWER SERVICE	CITY OF LEE'S SUMMIT PUBLIC WORKS WATER UTILITIES 1200 SE HAMBLIN ROAD, LEE'S SUMMIT, MO 64081 (816)969-1900
ELECTRIC SERVICE	KANSAS CITY POWER AND LIGHT 1201 WALNUT ST. P.O. BOX 418679 KANSAS CITY, MO 64141 (816)471-5275	STORM SEWER SERVICE	CITY OF LEE'S SUMMIT PUBLIC WORKS WATER UTILITIES 1200 SE HAMBLIN ROAD, LEE'S SUMMIT, MO 64081 (816) 969-1940

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DESIGN AND DEVELOPMENT CONTACTS

OWNER	LION'S CHOICE 12977 NORTH FORTY DRIVE ST. LOUIS, MO 63141 (314) 821-8665 CONTACT: JASON DENBOW
CIVIL ENGINEER	COLE & ASSOCIATES, INC. 401 SOUTH 18TH STREET, SUITE 200 ST. LOUIS, MO 63103 (314) 984-9887 CONTACT: CHRIS WILSON
ARCHITECT	OCULUS INC ONE SOUTH MEMORIAL DR SUITE 1500 ST. LOUIS, MO 63102 (314) 367-6100 CONTACT: JACK BOWE
SURVEYOR	COLE & ASSOCIATES, INC. 401 SOUTH 18TH STREET, SUITE 200 ST. LOUIS, MO 63103 (314) 984-9887 CONTACT: TOM REYNOLDS

LAND DESCRIPTION (PER TITLE)

LOT 4D, SUMMIT ORCHARD, LOTS 4A-4E, A SUBDIVISION IN LEE'S SUMMIT, JACKSON COUNTY, MISSOURI, ACCORDING TO THE PLAT THEREOF.

FLOODPLAIN INFORMATION

AS DETERMINED THROUGH GRAPHIC PLOTTING ONLY, SUBJECT TRACT FALLS IN ZONE "X"; AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN PER THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP FOR JACKSON COUNTY, MISSOURI AND INCORPORATED AREAS, PANEL 417 OF 625, MAP NUMBER 29095C0417G, EFFECTIVE DATE OF JANUARY 20, 2017.

UTILITY INFORMATION

UTILITIES SHOWN HAVE BEEN TAKEN FROM AVAILABLE SURVEYS, UTILITY COMPANY MAPS AND PHYSICAL PROPERTY INSPECTION. THE LOCATIONS AND FACILITIES SHALL BE CONSIDERED APPROXIMATE ONLY. THERE MAY BE ADDITIONAL UTILITIES THAT HAVE NOT BEEN SHOWN ON THIS SURVEY. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE LOCATIONS OF ALL UTILITIES PRIOR TO EXCAVATION OR CONSTRUCTION.



CALL 1-800-DIG-RITE (MISSOURI ONE CALL) TO HAVE LOCATIONS MARKED IN THE FIELD (SUBSCRIBING UTILITIES REQUIRE 48 HOURS NOTICE PRIOR TO CONSTRUCTION).

DEVELOPER/OWNER:
RED LION BEEF CORPORATION
12977 N FORTY DRIVE, SUITE 100
ST. LOUIS, MO 63141
(314) 821-8665

THE PROFESSIONAL WHOSE SIGNATURE AND PERSONAL SEAL APPEAR HEREON HAS ASSURED THAT THIS PLAN WAS PREPARED BY HIMSELF OR UNDER HIS CLOSE PERSONAL SUPERVISION AND THAT HE IS A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF MISSOURI. HE CERTIFIES THAT THE INFORMATION AND DATA FURNISHED TO HIM WERE TRUE AND CORRECT, AND THAT HE IS NOT PROVIDING ANY OTHER INFORMATION THAT COULD BE USED FOR ANY OTHER PURPOSE THAN THAT FOR WHICH THIS PLAN WAS PREPARED.

CIVIL ENGINEER
JOHN F. WILSON
LICENSED PROFESSIONAL ENGINEER
STATE OF MISSOURI
E-29718

DATE: 9/10/19

LION'S CHOICE
SUMMIT ORCHARD
440 NW CHIPMAN ROAD
LEE'S SUMMIT, MO

COVER SHEET

+ ST. LOUIS
401 South Street
Suite 200
St. Louis, MO 63103
314.984.9887 tel
www.colesti.com

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GENERAL NOTES

- THESE PLANS ARE BASED ON A SURVEY PREPARED BY COLE & ASSOCIATES, INC. DATED 07/26/19. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THAT THE IMPROVEMENTS EXIST AS SHOWN ON THE SURVEY. THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE OWNER/DEVELOPER'S CONSTRUCTION MANAGER AND COLE OF ANY DEVIATIONS OR OMISSIONS THAT MAY EFFECT THE CONSTRUCTION OF THE PROPOSED IMPROVEMENTS.
- THE CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR AND SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
- THE CONTRACTOR IS NOT TO START WORK UNTIL WRITTEN AUTHORIZATION FROM THE OWNER/DEVELOPER'S CONSTRUCTION MANAGER HAS BEEN RECEIVED.
- FLOOD CERTIFICATION:**
AS DETERMINED THROUGH GRAPHIC PLOTTING ONLY, SUBJECT TRACT FALLS IN ZONE "X"; AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN PER THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP FOR JACKSON COUNTY, MISSOURI AND INCORPORATED AREAS, PANEL 417 OF 625, MAP NUMBER 29095C04176, EFFECTIVE DATE OF JANUARY 20, 2017.
- WETLANDS NOTE:**
ANY DEVELOPMENT, EXCAVATION, CONSTRUCTION, OR FILLING IN A U.S. ARMY CORPS OF ENGINEERS DESIGNATED WETLAND IS SUBJECT TO LOCAL, STATE AND FEDERAL APPROVALS. THE CONTRACTOR SHALL COMPLY WITH ALL PERMIT REQUIREMENTS AND/OR RESTRICTIONS AND ANY VIOLATION WILL BE SUBJECT TO FEDERAL PENALTY. THE CONTRACTOR SHALL HOLD THE OWNER/DEVELOPER, THE ENGINEER AND THE LOCAL GOVERNING AGENCIES HARMLESS AGAINST SUCH VIOLATION.
- WARRANTY/DISCLAIMER:**
THE DESIGNS REPRESENTED IN THESE PLANS ARE IN ACCORDANCE WITH ESTABLISHED PRACTICES OF CIVIL ENGINEERING FOR THE DESIGN FUNCTIONS AND USES INTENDED BY THE OWNER AT THIS TIME. HOWEVER, NEITHER THE ENGINEER NOR ITS PERSONNEL CAN OR DO WARRANT THESE DESIGNS OR PLANS AS CONSTRUCTED EXCEPT IN THE SPECIFIC CASES WHERE THE ENGINEER INSPECTS AND CONTROLS THE PHYSICAL CONSTRUCTION ON A CONTEMPORARY BASIS AT THE SITE.
- SAFETY NOTICE TO CONTRACTOR:**
IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL REQUIREMENTS THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. ANY CONSTRUCTION OBSERVATION BY THE ENGINEER OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTORS SAFETY MEASURES, IN, ON OR NEAR THE CONSTRUCTION SITE.
- NOTICE TO BIDDERS:**
ALL QUESTIONS REGARDING THE PREPARATION OF THE CONTRACTOR'S BID SHALL BE DIRECTED TO THE OWNER/DEVELOPER'S CONSTRUCTION MANAGER. SUBCONTRACTORS MUST DIRECT THEIR QUESTIONS THROUGH THE CONTRACTOR. THE CONSULTING ENGINEER SHALL NOT BE CONTACTED DIRECTLY WITHOUT PRIOR AUTHORIZATION FROM THE OWNER/DEVELOPER.
- OIL AND GAS WELLS:**
PER THE OVERALL, RECORDED SURVEY FOR THIS TRACT OF LAND "ACCORDING TO AN ENVIRONMENTAL IMPACT STUDY OF ABANDONED OIL AND GAS WELLS IN LEE'S SUMMIT, MO IN 1995 BY EDWARD ALTON MAY JR, PE, THERE ARE NO OIL AND GAS WELLS WITHIN THE PROPERTY.

GENERAL DEMOLITION NOTES

- ALL EXISTING IMPROVEMENTS ARE TO REMAIN UNLESS NOTED OTHERWISE IN THESE PLANS.
- THE CONTRACTOR IS RESPONSIBLE FOR THE DEMOLITION, REMOVAL, AND DISPOSAL OF (IN A LOCATION APPROVED BY ALL JURISDICTIONS HAVING AUTHORITY) ALL DEBRIS, STRUCTURES, PADS, WALLS, FLUMES, FOUNDATIONS, PARKING, DRIVES, DRAINAGE STRUCTURES, UTILITIES, ETC., SUCH THAT THE IMPROVEMENTS SHOWN ON THE PLANS CAN BE CONSTRUCTED. ALL FACILITIES TO BE REMOVED SHALL BE UNDERCUT TO SUITABLE MATERIAL AND BROUGHT TO GRADE WITH SUITABLE COMPACTED FILL MATERIAL PER THE SPECIFICATIONS.
- DISPOSAL WILL BE IN ACCORDANCE WITH ALL LOCAL, STATE AND/OR FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR DEMOLITION AND DISPOSAL.
- THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY DEMOLITION ACTIVITY, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES FOR ONSITE LOCATIONS OF EXISTING UTILITIES.
- ALL EXISTING UTILITIES SHOWN ARE NOT TO BE INTERPRETED AS THE EXACT LOCATION, OR AS THE ONLY OBSTACLES THAT MAY OCCUR ON THE SITE. VERIFY EXISTING CONDITIONS AND PROCEED WITH CAUTION AROUND ANY ANTICIPATED FEATURES. GIVE NOTICE TO ALL UTILITY COMPANIES REGARDING DESTRUCTION AND REMOVAL OF ALL SERVICE LINES AND CAP ALL LINES BEFORE PROCEEDING WITH THE WORK. UTILITIES DETERMINED TO BE ABANDONED AND LEFT IN PLACE SHALL BE GROUTED IF UNDER BUILDINGS.
- THE CONTRACTOR SHALL FIELD VERIFY THE EXACT LOCATION OF ALL PUBLIC AND PRIVATE UTILITIES, INCLUDING IRRIGATION, SPECIFIC TO THIS PROJECT PRIOR TO THE START OF ANY DEMOLITION OR CONSTRUCTION. SHOULD ANY UTILITY REQUIRE RELOCATION, CONTRACTOR SHALL COORDINATE WITH THE OWNER/DEVELOPER'S CONSTRUCTION MANAGER AND THE ENGINEER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISCONNECTION OF UTILITY SERVICES TO ANY EXISTING BUILDINGS PRIOR TO DEMOLITION OF THE EXISTING BUILDINGS.
- THE CONTRACTOR SHALL MAINTAIN ALL UTILITY SERVICES TO ANY EXISTING BUILDINGS TO REMAIN AT ALL TIMES. UTILITY SERVICES SHALL NOT BE INTERRUPTED WITHOUT APPROVAL FROM AND COORDINATION WITH THE BUILDING OWNER.
- THE CONTRACTOR SHALL COORDINATE WITH THE RESPECTIVE UTILITY COMPANIES PRIOR TO THE REMOVAL AND/OR RELOCATION OF UTILITIES CONCERNING PORTIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANY'S FORCES AND ANY FEES WHICH ARE TO BE PAID TO THE UTILITY COMPANY FOR THEIR SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.
- ANY DRY UTILITY LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION. CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE. CONTRACTOR SHALL PAY CLOSE ATTENTION TO EXISTING UTILITIES WITHIN THE RIGHT OF WAY DURING CONSTRUCTION.
- THE CONTRACTOR SHALL COORDINATE WATER MAIN WORK WITH THE FIRE DEPARTMENT AND THE UTILITY COMPANY TO PLAN PROPOSED IMPROVEMENTS AND TO ENSURE ADEQUATE FIRE PROTECTION IS CONSTANTLY AVAILABLE TO THE SITE THROUGHOUT THIS SPECIFIC WORK AND THROUGH ALL PHASES OF CONSTRUCTION. CONTRACTOR WILL BE RESPONSIBLE FOR ARRANGING/PROVIDING ANY REQUIRED WATER MAIN SHUT OFFS WITH THE UTILITY COMPANY DURING CONSTRUCTION. ANY COSTS ASSOCIATED WITH WATER MAIN SHUT OFFS WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ANY EXISTING IRRIGATION SYSTEMS IN THE AREAS OF PROPOSED IMPROVEMENTS. THE CONTRACTOR SHALL CAP ANY EXISTING IRRIGATION SYSTEMS TO REMAIN SUCH THAT THE REMAINING SYSTEMS SHALL CONTINUE TO FUNCTION PROPERLY.
- EXISTING PAVEMENT THAT WILL REMAIN AFTER CONSTRUCTION SHALL BE PROTECTED FROM DAMAGE. CONTRACTOR MAY LIMIT SAWCUT AND PAVEMENT REMOVAL TO ONLY THOSE AREAS WHERE IT IS REQUIRED AS SHOWN ON THESE PLANS, BUT IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR.
- CONTRACTOR IS RESPONSIBLE FOR REPAIRING THE DAMAGE DONE TO ANY EXISTING IMPROVEMENTS TO REMAIN DURING CONSTRUCTION, INCLUDING, BUT NOT LIMITED TO, DRAINAGE STRUCTURES, UTILITIES, PAVEMENT, STRIPING, CURBS, ETC. REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS AND SHALL BE AT THE CONTRACTOR'S EXPENSE. CONTRACTOR IS RESPONSIBLE TO DOCUMENT ALL EXISTING DAMAGE AND NOTIFY THE OWNER/DEVELOPER'S CONSTRUCTION MANAGER PRIOR TO CONSTRUCTION START.
- PRIOR TO DEMOLITION OCCURRING, ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED.
- CONTRACTOR MUST PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC., (AND OTHER APPROPRIATE BEST MANAGEMENT PRACTICES) AS APPROVED BY THE OWNER/DEVELOPER'S CONSTRUCTION MANAGER.
- CONTINUOUS ACCESS SHALL BE MAINTAINED FOR THE SURROUNDING PROPERTIES AT ALL TIMES DURING DEMOLITION OF THE EXISTING FACILITIES.
- THE CONTRACTOR SHALL RESTORE ALL OFF SITE CONSTRUCTION AREAS TO AN EQUAL OR BETTER CONDITION THAN EXISTED PRIOR TO THE COMMENCEMENT OF WORK.

GENERAL SITE NOTES

- ALL CONSTRUCTION MATERIALS AND TECHNIQUES OF INSTALLATION SHALL MEET PERFORMANCE VALUES OF THE MATERIALS SPECIFIED AND COMPLY WITH ALL REGULATIONS AND CODES OF THE AUTHORITY HAVING JURISDICTION AND O.S.H.A. STANDARDS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT THIS PROJECT IS CONSTRUCTED IN ACCORDANCE WITH THESE DOCUMENTS AND IN COMPLIANCE WITH CODES INDICATED HEREIN. THE QUALITY OF WORKMANSHIP AND INSTALLATION OF MATERIALS SPECIFIED BY THE ENGINEER ARE THE RESPONSIBILITY OF THE CONTRACTOR. THE ENGINEER WILL NOT BE HELD RESPONSIBLE FOR ANY SUBSTANDARD OR INSUFFICIENT WORKMANSHIP, MATERIALS, OR SERVICES PROVIDED IN THE EXECUTION OF ANY PHASE OF CONSTRUCTION OF THIS PROJECT.
- ALL MATERIALS ARE TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S REQUIREMENTS. THE GENERAL CONTRACTOR SHALL ENSURE THAT ALL MANUFACTURER'S WARRANTIES WILL BE HONORED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR HAVING A THOROUGH KNOWLEDGE OF EXISTING FIELD CONDITIONS AND OF ALL DRAWINGS AND SPECIFICATIONS RELATED TO THEIR FIELD. THE FAILURE TO ACQUAINT HIMSELF WITH THIS PROJECT AND HIS FIELD OF SERVICE SHALL NOT RELIEVE HIM OF ANY RESPONSIBILITY FOR PERFORMING HIS WORK PROPERLY. NO ADDITIONAL COMPENSATION SHALL BE ALLOWED DUE TO THE CONTRACTOR'S FAILURE TO CONVEY THE NECESSARY KNOWLEDGE TO FAMILIARIZE WORKERS AND SUBCONTRACTORS WITH THIS PROJECT.
- ALL CONDITIONS SHOWN TO BE "EXISTING" SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO START OF CONSTRUCTION. ANY DISCREPANCIES SHALL BE NOTED AND SUBMITTED TO THE OWNER/DEVELOPER'S CONSTRUCTION MANAGER AND THE ENGINEER FOR REVIEW. CHANGES TO THE ORIGINAL DESIGN OF THE PROJECT DUE TO EXISTING SITE CONDITIONS MUST BE APPROVED BY BOTH THE OWNER/DEVELOPER'S CONSTRUCTION MANAGER AND THE ENGINEER PRIOR TO MAKING ANY CHANGES.
- SAWCUT AND REMOVE PORTIONS OF EXISTING PAVING ONLY AS REQUIRED TO INSTALL NEW UTILITIES OR TO CONSTRUCT PROPOSED FACILITIES PER THIS PLAN. REPLACE PORTIONS REMOVED TO MATCH EXISTING FLUSH AND SMOOTH.
- CONTRACTOR SHALL MATCH PROPOSED CURB AND GUTTER, CONCRETE, AND PAVEMENT TO EXISTING IN GRADE AND ALIGNMENT.
- ALL DIMENSIONS AND RADII ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF SLOPE PAVING, SIDEWALKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS (UNLESS OTHERWISE NOTED ON PLANS) INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH

- THE REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
- CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL PROPERTY CORNERS.
 - THE CONTRACTOR SHALL PROVIDE DUMPSTERS, PORTABLE TOILETS AND TEMPORARY POWER FOR UNRESTRICTED PROJECT RELATED USE BY OTHERS FOR THE DURATION OF THE PROJECT.
 - THE CONTRACTOR IS RESPONSIBLE FOR RECEIVING, UNLOADING, STORING AND PROTECTING MATERIALS AND EQUIPMENT SUPPLIED BY THE OWNER/DEVELOPER UNTIL IT HAS BEEN INSTALLED AND ACCEPTED BY THE OWNER/DEVELOPER.
 - THE CONTRACTOR SHALL COORDINATE PROJECT PHASING AND STORAGE OF MATERIALS WITH THE OWNER/DEVELOPER'S CONSTRUCTION MANAGER.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING THE AREA CLEAN AND FREE OF DEBRIS AT ALL TIMES DURING CONSTRUCTION.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THE SAFETY OF ALL PERSONS ON THE JOB SITE AT ALL TIMES INCLUDING (BUT NOT LIMITED TO) SUBCONTRACTORS, STORE PERSONNEL, VENDORS, DESIGN STAFF PROFESSIONALS AND INSPECTION PERSONNEL.
 - NO MONUMENT SIGNS OR THEIR PROPOSED LOCATIONS CAN BE APPROVED WITH THESE DOCUMENTS. A SEPARATE SIGN APPLICATION MUST BE SUBMITTED TO THE AUTHORITY HAVING JURISDICTION FOR REVIEW AND APPROVAL.
 - ANY RETAINING WALLS REFERRED TO IN THESE PLANS ARE SHOWN FOR REFERENCE ONLY AND ARE NOT TO BE INTERPRETED AS THE DESIGN OF THE WALL SYSTEM. THE CONTRACTOR SHALL REFER TO STRUCTURAL PLANS PREPARED BY OTHERS FOR WALL DESIGN AND CONSTRUCTION DETAILS. A SEPARATE BUILDING PERMIT MAY BE REQUIRED FOR EACH WALL.

GENERAL GRADING NOTES

- TOPOGRAPHIC INFORMATION IS TAKEN FROM A TOPOGRAPHIC SURVEY BY LAND SURVEYORS. IF THE CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, THEN THE CONTRACTOR SHALL SUPPLY, AT THEIR EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR TO THE OWNER/DEVELOPER FOR REVIEW.
- EXISTING GRADE CONTOUR INTERVALS SHOWN AT 1 FOOT.
- PROPOSED GRADE CONTOUR INTERVALS SHOWN AT 1 FOOT.
- CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
- CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
- ALL CUT OR FILL SLOPES SHALL BE 3H:1V OR FLATTER UNLESS OTHERWISE NOTED. THE ENGINEER ASSUMES NO LIABILITY FOR SLOPES EXCEEDING THOSE RECOMMENDED IN THE APPLICABLE GEOTECHNICAL REPORT.
- THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES
- EXISTING DRAINAGE STRUCTURES AND STORM SEWER PIPES ARE TO BE INSPECTED, REPAIRED AS NEEDED, AND CLEANED OUT TO REMOVE ALL SILT AND DEBRIS.
- STORM PIPE SHALL BE AS FOLLOWS UNLESS OTHERWISE NOTED:

PIPES DIAMETERS LESS THAN 12"
HIGH DENSITY POLYETHYLENE PIPE (HDPE): TYPE S PER AASHTO M252 (SMOOTH INTERIOR WITH CORRUGATIONS EXTERIOR)
POLYVINYL CHLORIDE PIPE (PVC): SDR35 PER ASTM D3034 (FOR PIPES LESS THAN 12" DEEP)
POLYVINYL CHLORIDE PIPE (PVC): SDR26 PER ASTM D3034 (FOR PIPES MORE THAN 12" DEEP)

PIPES DIAMETERS 12" OR GREATER
REINFORCED CONCRETE PIPE (RCP): CLASS III PER ASTM C76
POLYPROPYLENE (PP): SMOOTH INTERIOR WITH CORRUGATIONS EXTERIOR PER ASTM F2764
- ALL STORM SEWER PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATERTIGHT.
- ALL STORM STRUCTURES SHALL HAVE A SMOOTH UNIFORM POURED MORTAR INVERT FROM INVERT IN TO INVERT OUT.
- ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT AND SHALL HAVE TRAFFIC BEARING RING AND COVERS. STORM MANHOLES IN UNPAVED AREAS SHALL BE 6" ABOVE FINISH GRADE.
- ALL PROPOSED CONTOURS SHOWN ARE TO FINISHED ELEVATIONS ON PAVED AREAS. THE CONTRACTOR SHALL GRADE ALL AREAS TO REQUIRED SUBGRADE.
- ALL PROPOSED SPOT GRADES SHOWN ARE TO FINISHED GRADE, FINISHED PAVEMENT, OR FINISHED BOTTOM FACE OF CURB UNLESS NOTED OTHERWISE.
- ALL FILLS AND BACKFILLS SHALL CONSIST OF SELECTED EARTH MATERIALS, FREE FROM BROKEN MASONRY, ROCK, FROZEN EARTH, RUBBISH, ORGANIC MATERIAL AND DEBRIS.
- ALL FILL PLACED FOR PROPOSED STORM AND SANITARY SEWER LINES, PAVED AREAS, OR DRAINAGE BERMS SHALL BE COMPACTED TO 90% OF THE MAXIMUM DENSITY AS DETERMINED BY THE AASHTO T 180 MODIFIED PROCTOR COMPACTION TEST OR 95% OF MAXIMUM DRY DENSITY AS DETERMINED BY THE AASHTO T 99 STANDARD PROCTOR COMPACTION TEST. ALL TESTS SHALL BE VERIFIED BY A GEOTECHNICAL ENGINEER CONCURRENT WITH THE GRADING AND BACKFILLING OPERATIONS.
- ALL STORM WATER SHALL BE DISCHARGED AT AN ADEQUATE NATURAL DISCHARGE POINT.
- WHERE NATURAL VEGETATION IS REMOVED DURING GRADING, VEGETATION SHALL BE REESTABLISHED IN SUCH A DENSITY AS TO PREVENT EROSION. PERMANENT SOD SHALL BE ESTABLISHED AS SOON AS POSSIBLE.

GENERAL UTILITY NOTES

- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE EXACT HORIZONTAL AND VERTICAL LOCATIONS AND SIZES OF ALL EXISTING UTILITIES, WHETHER SHOWN OR NOT SHOWN IN THESE PLANS, PRIOR TO THE START OF ANY CONSTRUCTION. THE ENGINEER HAS NOT FIELD VERIFIED THE EXISTING UTILITIES. THE UTILITIES SHOWN ON THESE PLANS HAVE BEEN TAKEN FROM RECORDS AND UTILITY MAPS MADE AVAILABLE TO THE ENGINEER AND THE LOCATIONS AND SIZES SHALL BE CONSIDERED APPROXIMATE ONLY. OTHER UTILITIES, NOT SHOWN ON THIS PLAN, MAY EXIST ON OR NEAR THE PROJECT SITE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE SCHEDULE FOR INSTALLATION WITH THE UTILITY COMPANIES AND THE OWNER/DEVELOPER'S CONSTRUCTION MANAGER. ALL EXISTING CONDITIONS THAT ARE REMOVED OR DISRUPTED DURING THE PLACEMENT OF NEW UTILITIES SHALL BE RESTORED OR REPAIRED TO MATCH ORIGINAL CONDITIONS. ANY EXISTING UTILITIES DISRUPTED DURING PLACEMENT OF NEW UTILITIES SHALL BE REPAIRED AND OPERATING NORMALLY THE SAME DAY OF DISRUPTION. ITEMS THAT NEED TO BE RESTORED OR REPAIRED INCLUDE, BUT ARE NOT LIMITED TO: EXISTING ASPHALT PAVING, EXISTING CONCRETE PAVING, WATER LINES, IRRIGATION LINES, GRASS AREAS, LANDSCAPING, AND SITE LIGHTING. THE CONTRACTOR SHALL FIELD VERIFY THE EXACT LOCATION OF ALL EXISTING ITEMS THAT WILL BE DISRUPTED DURING THE PLACEMENT OF NEW UTILITIES AND PROVIDE THE OWNER/DEVELOPER'S CONSTRUCTION MANAGER WITH A DETAILED SCHEDULE OUTLINING THE TIMELINE FOR INSTALLATION OF NEW UTILITIES INCLUDING THE PROPOSED TIMES THAT EXISTING UTILITIES WILL BE DISRUPTED.
- THE NEW UTILITY TRENCH WIDTHS AND DEPTHS SHALL MEET ALL LOCAL AND STATE REQUIREMENTS.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THAT ANY "STUB OUTS" FOR POWER, TELEPHONE, FIBER OPTICS, WATER AND SEWER (IF APPLICABLE) HAVE BEEN PROVIDED BY OTHERS AT THE AREA ADJACENT TO THE SITE BUILDING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FINAL CONNECTIONS AT THE BUILDING.
- PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OF THE DRY UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM THE ENGINEER AND THE OWNER/DEVELOPER'S CONSTRUCTION MANAGER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION. THE ENGINEER AND ITS CLIENTS SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION.
- CONSTRUCTION SHALL NOT START ON ANY PUBLIC UTILITY SYSTEM UNTIL WRITTEN APPROVAL HAS BEEN RECEIVED FROM THE APPROPRIATE AUTHORITY HAVING JURISDICTION.
- CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITIES INSPECTORS AT LEAST 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINE.
- EXISTING DRAINAGE STRUCTURES AND STORM SEWER PIPES ARE TO BE INSPECTED, REPAIRED AS NEEDED, AND CLEANED OUT TO REMOVE ALL SILT AND DEBRIS.
- ALL UTILITY EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE DESIGNATED UTILITY COMPANIES.
- ALL FILL MATERIAL IS TO BE IN PLACE AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
- CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF SLOPE PAVING, SIDEWALKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
- SANITARY SEWER PIPE SHALL BE AS FOLLOWS:

POLYVINYL CHLORIDE PIPE (PVC): SDR35 PER ASTM D3034 (FOR PIPES LESS THAN 12" DEEP)
POLYVINYL CHLORIDE PIPE (PVC): SDR26 PER ASTM D3034 (FOR PIPES MORE THAN 12" DEEP)
- ALL SANITARY SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RINGS AND COVERS. SANITARY MANHOLES IN UNPAVED AREAS SHALL BE 12" ABOVE FINISH GRADE WITH WATER TIGHT LIDS.
- WATER LINES SHALL BE AS FOLLOWS:

PIPE DIAMETERS 1.5" OR LESS
COPPER (CPR): TYPE K PER AWWA C800

PIPE DIAMETERS 2" THROUGH 3"
COPPER (CPR): TYPE K PER AWWA C800
POLYVINYL CHLORIDE PIPE (PVC): SDR21 PER ASTM D2241, CLASS 200

PIPE DIAMETERS 4" THROUGH 12"
POLYVINYL CHLORIDE PIPE (PVC): DR18 PER AWWA C900 (DOMESTIC SERVICE)
POLYVINYL CHLORIDE PIPE (PVC): DR14 PER AWWA C900 (FIRE SERVICE IN LIEU OF DIP, WHERE ALLOWED BY LOCAL CODES)
DUCTILE IRON PIPE (DIP): PRESSURE CLASS 350 PER AWWA C151

PIPE DIAMETERS LARGER THAN 12"
POLYVINYL CHLORIDE PIPE (PVC): DR18 PER AWWA C905
DUCTILE IRON PIPE (DIP): PRESSURE CLASS 250 PER AWWA C151

- ALL WATER JOINTS ARE TO BE MECHANICAL JOINTS WITH THRUST BLOCKING.
- ALL CONCRETE FOR ENCASEMENTS SHALL HAVE A MINIMUM 28 DAY COMPRESSION STRENGTH AT 3000 P.S.I.
- UNDERGROUND UTILITY LINES SHALL BE INSTALLED, INSPECTED AND APPROVED BEFORE BACKFILLING.
- CONTRACTOR TO RELOCATE LIGHT POLES AND REPLACE LUMINAIRES AS INDICATED. CONTRACTOR TO BUILD NEW POLE BASES AND STUB WIRE AS NEEDED.
- CONTRACTOR SHALL START LAYING PIPE AT DOWNSTREAM STRUCTURE AND WORK UPSTREAM.
- CLEANOUTS SHALL BE LOCATED AT ALL HORIZONTAL AND VERTICAL CHANGES IN DIRECTION OF FLOW IN BUILDING LATERALS AND ANY SANITARY LATERAL OF 100 FEET OR LONGER.
- GAS, WATER AND OTHER UNDERGROUND UTILITIES SHALL NOT CONFLICT WITH THE DEPTH OR HORIZONTAL LOCATION OF EXISTING OR PROPOSED SANITARY AND STORM SEWERS.
- THE CONTRACTOR SHALL PREVENT ALL STORM WATER, SURFACE WATER, MUD AND CONSTRUCTION DEBRIS FROM ENTERING THE EXISTING SANITARY SEWER SYSTEM.
- THE EXISTING SANITARY SEWER SERVICE SHALL NOT BE INTERRUPTED.
- ALL SANITARY FLOW LINES AND TOPS BUILT WITHOUT ELEVATIONS FURNISHED BY THE ENGINEER SHALL BE THE RESPONSIBILITY OF THE SEWER CONTRACTOR.
- ALL SEWER PIPES SHALL HAVE POSITIVE DRAINAGE THROUGH STRUCTURES. NO FLAT INVERT STRUCTURES ARE ALLOWED.
- ANY ABANDONED SEWERS SHALL BE REMOVED OR COMPLETELY GROUT FILLED.

DEVELOPER/OWNER:
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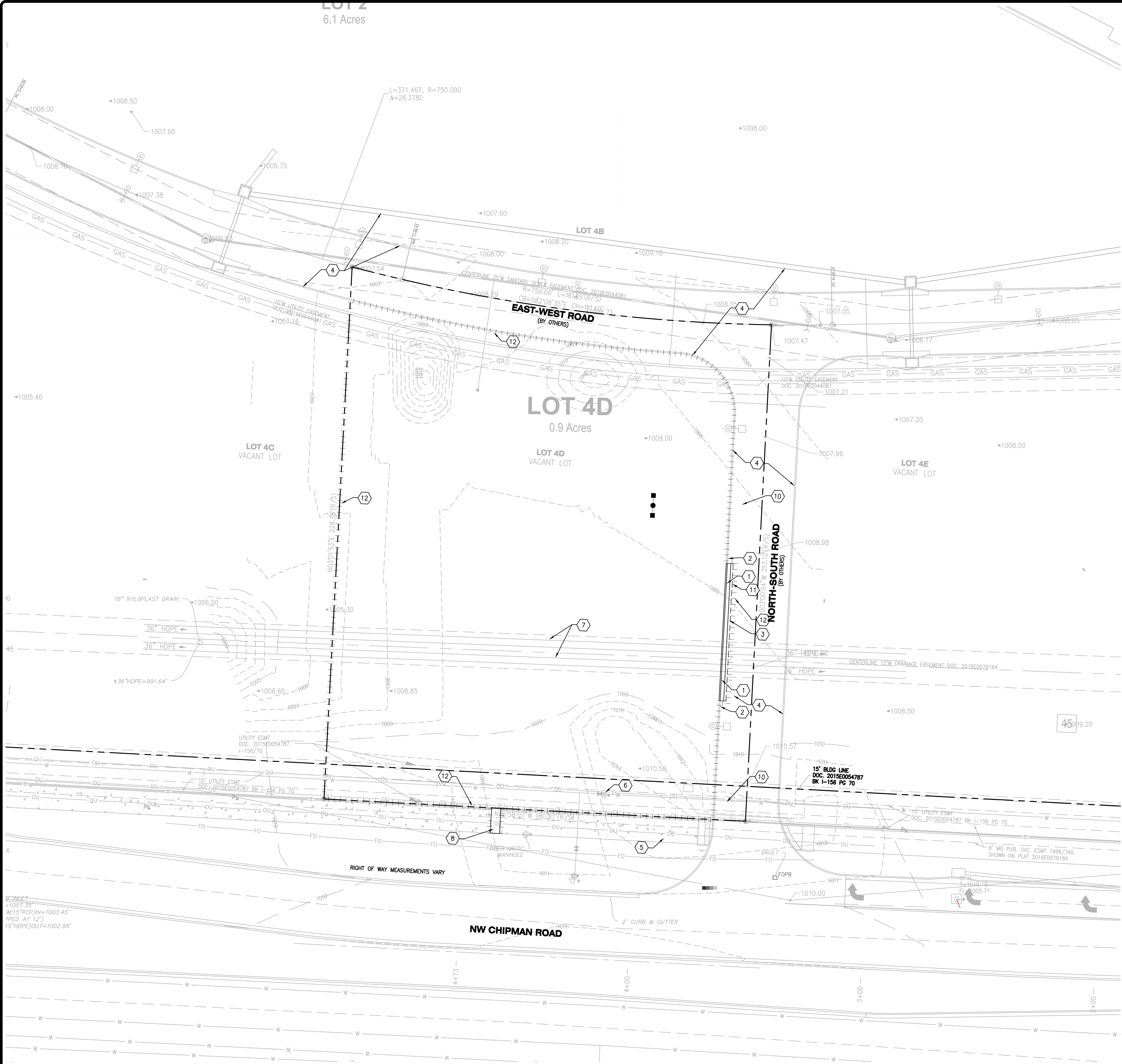
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C2.0

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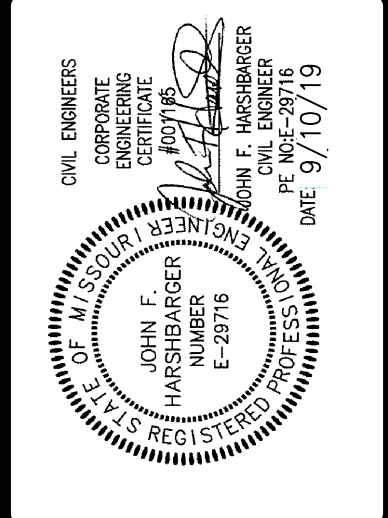
KEYED NOTES

- EXISTING CURB AND GUTTER TO BE REMOVED.
- EXISTING CURB AND GUTTER TO REMAIN.
- EXISTING CONCRETE PAVEMENT TO BE REMOVED.
- ALL INFRASTRUCTURE BY OTHERS.
- EXISTING SIDEWALK TO BE REMAIN.
- EXISTING WATER SERVICE TO REMAIN.
- EXISTING 36" HDPE STORM SEWER TO REMAIN.
- EXISTING SIDEWALK TO BE REMOVED AND REPLACED IN KIND.
- (NOT USED)
- EXISTING LIGHT STANDARD TO REMAIN. CONTRACTOR TO PROTECT IN PLACE AS NEEDED DURING CONSTRUCTION.
- NEW SAWCUT LINE.
- NEW LIMITS OF DISTURBANCE.

NO	REVISION DESCRIPTION	DATE
1	REVIEW COMMENTS	12/2/19
2	REVIEW COMMENTS	10/17/19
3	REVIEW COMMENTS	9/9/19

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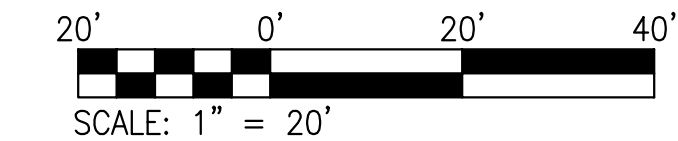
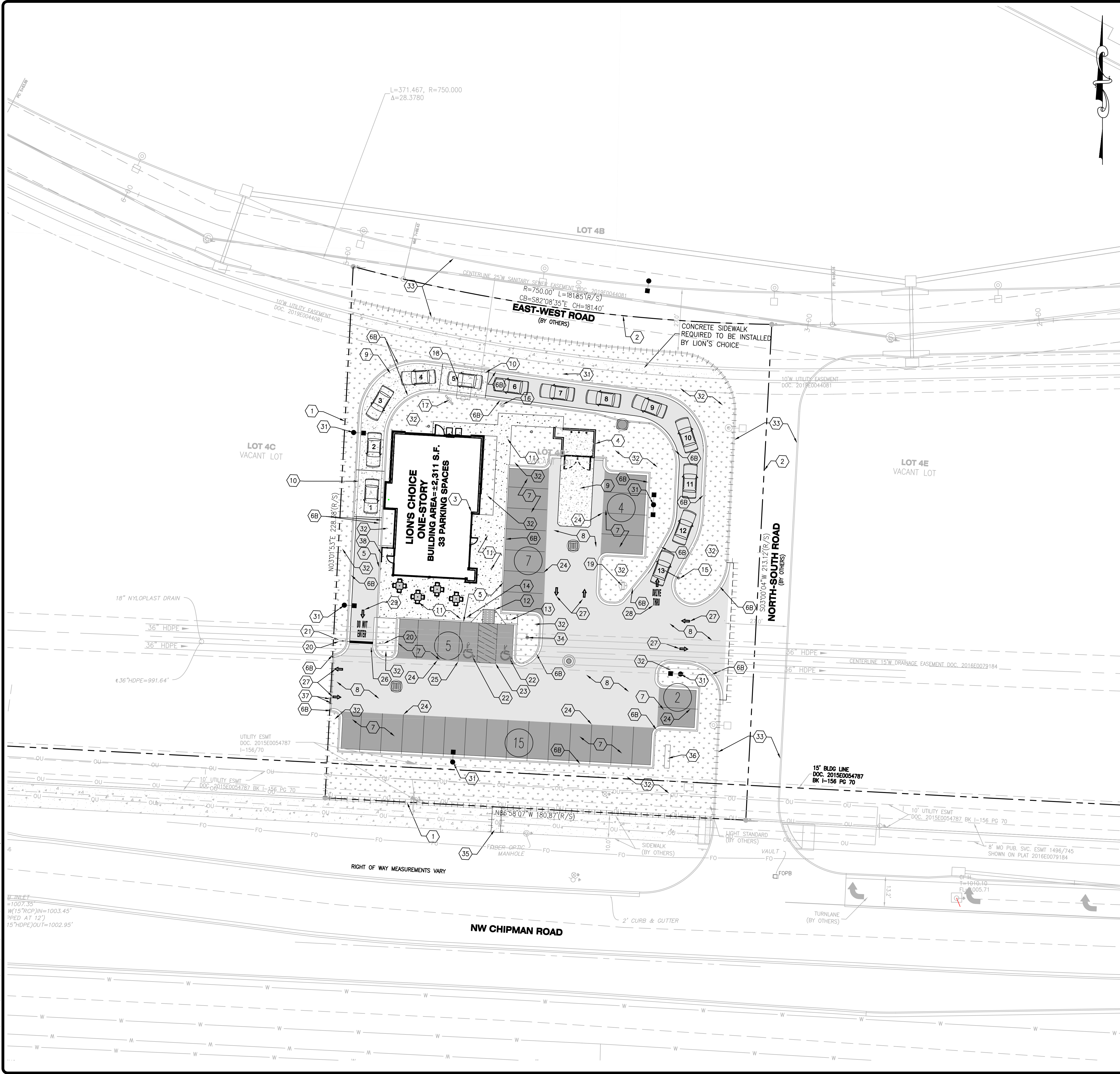
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Sheet Number	C3.0



KEYED NOTES

- ALL IMPROVEMENTS ARE PARALLEL AND PERPENDICULAR TO THE SOUTH AND WEST PROPERTY LINE(S) UNLESS DIMENSIONED OTHERWISE.

NEW STRUCTURES

- NEW LION'S CHOICE PROPERTY AREA LIMITS.
- NEW LION'S CHOICE BUILDING. REFER TO ARCHITECTURAL PLANS.
- NEW DUMPSTER ENCLOSURE. REFER TO ARCHITECTURAL PLANS.

NEW CURBS

- NEW INTEGRAL CONCRETE CURB (STANDARD SECTION). REFER TO DETAIL ON SHEET C8.0.
- (NOT USED).
- NEW CONCRETE CURB AND GUTTER. PER CITY OF LEE SUMMIT DETAIL GEN-4. REFER TO DETAIL ON SHEET C8.2.

NEW PAVEMENTS

- NEW ASPHALT PAVEMENT (LIGHT DUTY). REFER TO DETAIL ON SHEET C8.0.
- NEW ASPHALT PAVEMENT (HEAVY DUTY). REFER TO DETAIL ON SHEET C8.0.
- NEW CONCRETE PAVEMENT (HEAVY DUTY). REFER TO DETAIL ON SHEET C8.0.
- NEW CONCRETE PAVEMENT (HEAVY DUTY) WITH DETECTOR LOOP. REFER TO MECHANICAL PLANS. REFER TO SHEET C8.0 FOR CONCRETE PAVEMENT (HEAVY DUTY) DETAIL.

NEW SIDEWALKS

- NEW CONCRETE SIDEWALK. REFER TO DETAIL ON SHEET C8.0.
- NEW CURB RAMP (TYPE A). REFER TO DETAIL ON SHEET C8.0.
- NEW CURB RAMP (TYPE B). REFER TO DETAIL ON SHEET C8.0.

NEW SIGNS

- NEW ACCESSIBLE PARKING SIGN. REFER TO DETAIL ON SHEET C8.1.
- NEW VAN ACCESSIBLE PARKING SIGN. REFER TO DETAIL ON SHEET C8.1.
- NEW DRIVE-THRU CLEARANCE BAR.
- NEW PREVIEW BOARD.
- NEW MENU BOARD.
- NEW CANOPY AND SPEAKER POST.
- NEW "DRIVE-THRU" SIGN.
- NEW "DO NOT ENTER" SIGN. REFER TO DETAIL ON SHEET C8.1.
- NEW "STOP" SIGN. REFER TO DETAIL ON SHEET C8.1.

NEW PAVEMENT MARKINGS

- NEW PAINTED ACCESSIBLE PARKING SYMBOL. REFER TO DETAIL ON SHEET C8.1.
- NEW PAINTED AISLE (BLUE). REFER TO DETAIL ON SHEET C8.1.
- NEW PAINTED PARKING SPACE LINE (WHITE). REFER TO DETAIL ON SHEET C8.1.
- NEW PAINTED PARKING SPACE LINE (BLUE). REFER TO DETAIL ON SHEET C8.1.
- NEW PAINTED STOP BAR LINE (WHITE). REFER TO DETAIL ON SHEET C8.1.
- NEW PAINTED TRAFFIC FLOW ARROW. REFER TO DETAIL ON SHEET C8.1.
- NEW "DRIVE-THRU" STRIPING AND TRAFFIC FLOW ARROW. REFER TO DETAIL ON SHEET C8.1.
- NEW "DO NOT ENTER" STRIPING AND TRAFFIC FLOW ARROWS. REFER TO DETAIL ON SHEET C8.1.
- (NOT USED).

NEW MISCELLANEOUS ITEMS

- NEW AREA LIGHT. REFER TO PHOTOMETRIC PLANS.
- NEW LANDSCAPE AREA. REFER TO LANDSCAPE PLANS.
- INTERNAL DRIVE AISLE BY OTHERS.
- NEW FLAGPOLE.
- REPLACE CONCRETE SIDEWALK IN KIND.
- NEW MONUMENT SIGN.
- TEMPORARY CONCRETE CURB. REFER TO DETAIL ON SHEET C8.0.
- NEW 36" TWO RAIL. SMOOTH TOP, STYLE E PREMANUFACTURED COMMERCIAL ALUMINUM FENCE.

LAND USE SCHEDULE

TOTAL FLOOR AREA	=	2,311 SQFT	
TOTAL LOT AREA	=	39,248 SQFT	
FLOOR AREA RATIO	=	2,311/39,248	=0.059
TOTAL IMPERVIOUS AREA	=	24,758 SQFT	

WATERSHED = LITTLE BLUE RIVER

LAND USE	
EXISTING	VACANT / UNDEVELOPED LOT
PROPOSED	LION'S CHOICE RESTAURANT

PARKING REQUIREMENTS (STANDARD)

USE CATEGORY	14 SPACE PER 1,000 S.F. GROSS FLOOR AREA
GROSS FLOOR AREA	2,311 S.F.
CALCULATION	(14 SPACE/1000 S.F.) * (2,311 S.F.) = 32.4 SPACES

PARKING REQUIREMENTS (ACCESSIBLE)

26 TO 50 STANDARD SPACES	2 ACCESSIBLE SPACES
VAN ACCESSIBLE REQUIREMENT	1 VAN ACCESSIBLE SPACE FOR EVERY 6 ACCESSIBLE SPACES

PARKING DATA

SPACES REQUIRED (TOTAL) 33 SPACES

SPACES PROVIDED (STANDARD)	31 SPACES
SPACES PROVIDED (ACCESSIBLE)	2 SPACES (1 VAN ACCESSIBLE)
SPACES PROVIDED (TOTAL)	33 SPACES

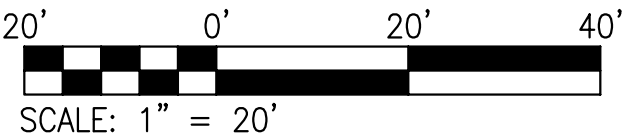
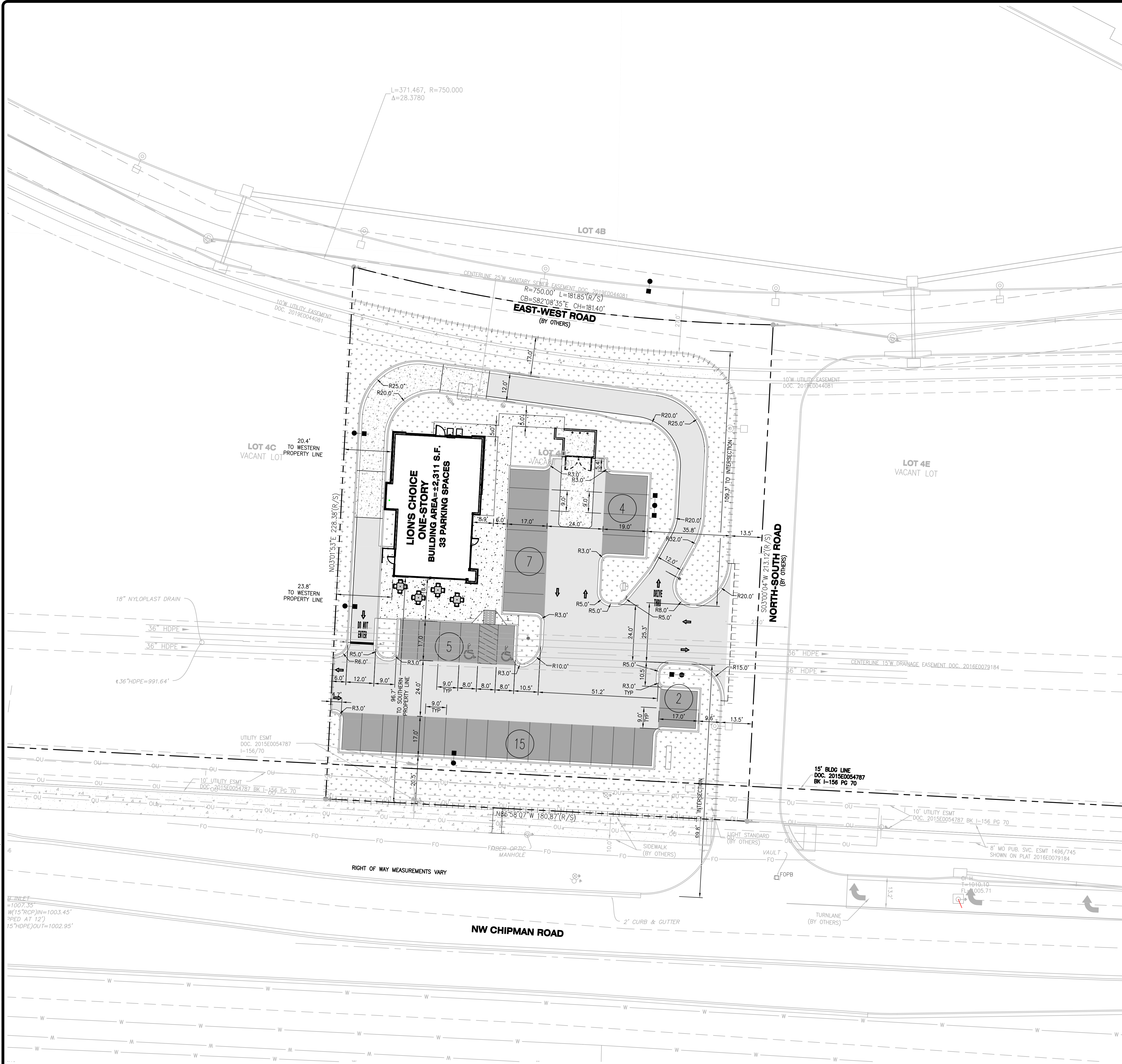
DRIVE THRU STACKING REQUIREMENTS

SPACES REQUIRED:	4 BEHIND THE MENU BOARD AND 4 IN FRONT OF THE MENU BOARD TO THE PICKUP WINDOW.
SPACES PROVIDED:	8 BEHIND THE MENU BOARD AND 4 IN FRONT OF THE MENU BOARD TO THE PICKUP WINDOW

SETBACKS	
FRONT	= 15'
SIDE	= 0'
REAR	= 0'

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Job Number 18-0136		Sheet Number C4.0	

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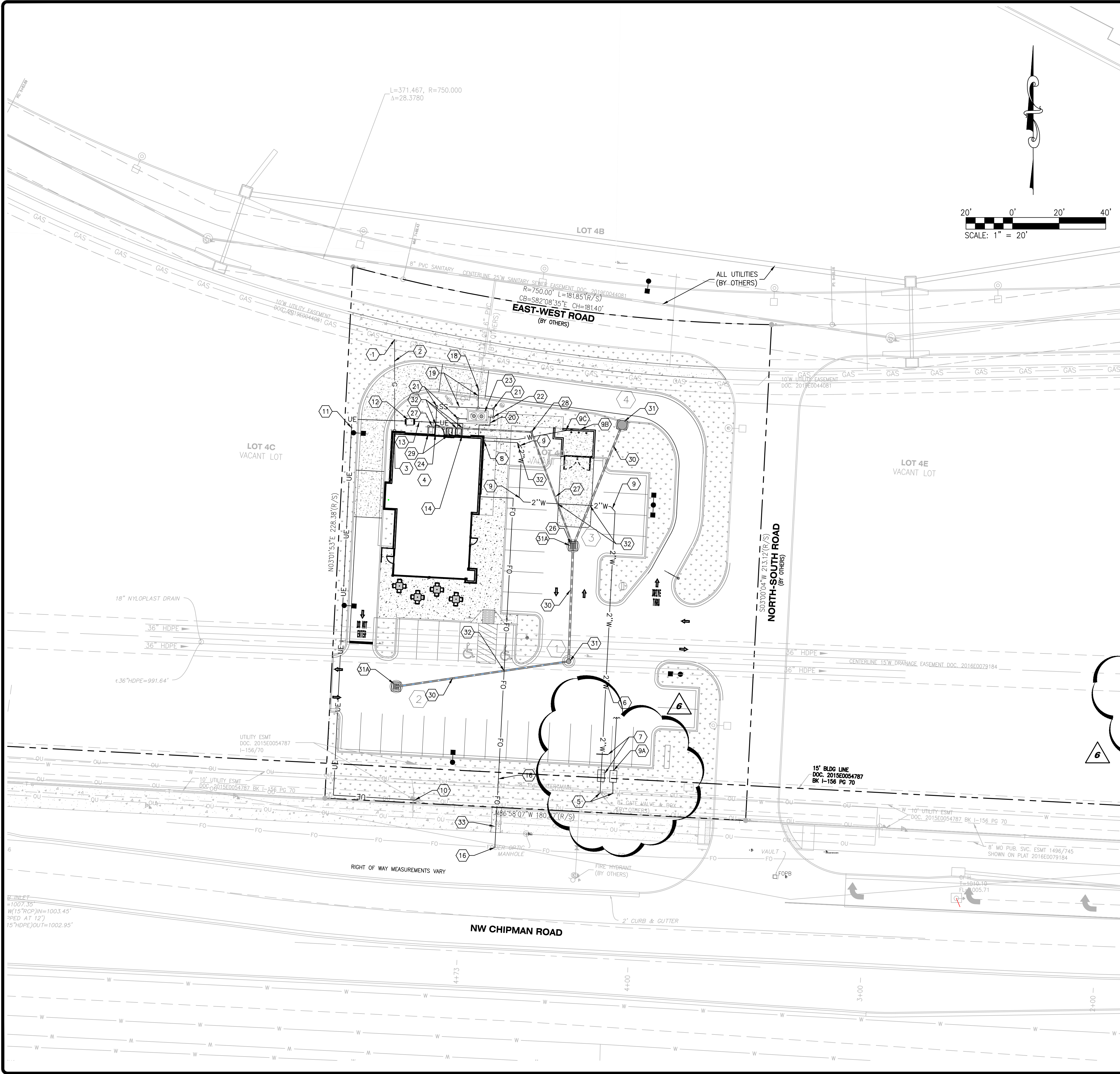
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HORIZONTAL CONTROL PLAN

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NO	REVISION DESCRIPTION	DATE
1	REVIEW COMMENTS	9/9/19
2	REVIEW COMMENTS	10/17/19
3	REVIEW COMMENTS	10/17/19
4	REVIEW COMMENTS	12/2/19



KEYED NOTES

GAS SERVICE

1. NEW GAS SERVICE POINT OF CONNECTION. ALL MATERIAL AND INSTALLATION BY GAS UTILITY AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL CONTACT GAS UTILITY AS SOON AS POSSIBLE TO ACCOMMODATE REQUIRED LEAD TIME FOR DESIGN AND COORDINATION OF THE NEW SERVICE.
2. NEW 2" GAS SERVICE. ALL MATERIAL AND INSTALLATION BY GAS UTILITY AT THE CONTRACTOR'S EXPENSE.
3. NEW GAS METER. ALL MATERIAL AND INSTALLATION BY GAS UTILITY AT THE CONTRACTOR'S EXPENSE.
4. REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION AND CONTINUATION OF GAS SERVICE.

WATER SERVICE

5. NEW POINT OF CONNECTION TO EXISTING 8" MAIN. THE CONTRACTOR SHALL CONTACT WATER UTILITY AS SOON AS POSSIBLE TO ACCOMMODATE REQUIRED LEAD TIME FOR DESIGN AND COORDINATION OF THE NEW SERVICE.
6. NEW 203' - 2" PVC DOMESTIC WATER SERVICE WITH 42" MINIMUM COVER.
7. NEW 2" DOMESTIC WATER METER AND PIT (PER WATER UTILITY STANDARDS) WITH 10' MINIMUM OF SOFT TYPE "K" COPPER BEYOND THE METER (PER CITY OF LEE'S SUMMIT DETAIL WAT-11). WATER UTILITY TO PROVIDE AND SET THE METER AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL OTHER MATERIAL AND INSTALLATION.
8. REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION AND CONTINUATION OF DOMESTIC WATER SERVICE.
9. NEW 45° BEND WITH CONCRETE THRUST BLOCK (PER WATER UTILITY STANDARDS).
- 9A. NEW 3" IRRIGATION METER AND PIT, IRRIGATION DESIGN BY OTHERS (PER CITY OF LEE'S SUMMIT DETAIL WAT-11).
- 9B. LOCATION OF HOSE BIB, WOODFORD MODEL RHY1-MS (YH-1).
- 9C. NEW 3/4" PVC WATER LINE TO HOSE BIB.

ELECTRIC SERVICE

10. NEW ELECTRIC SERVICE POINT OF CONNECTION. ALL MATERIAL AND INSTALLATION BY ELECTRIC UTILITY AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL CONTACT ELECTRIC UTILITY AS SOON AS POSSIBLE TO ACCOMMODATE REQUIRED LEAD TIME FOR DESIGN AND COORDINATION OF THE NEW SERVICE.
11. NEW PRIMARY UNDERGROUND ELECTRIC SERVICE. ELECTRIC UTILITY SHALL SIZE CONDUIT AND PROVIDE AND PULL CONDUCTOR AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND INSTALLING THE CONDUIT AND PULLWIRE.
12. NEW GROUND MOUNTED TRANSFORMER (PER ELECTRIC UTILITY STANDARDS). ELECTRIC UTILITY TO PROVIDE AND INSTALL THE TRANSFORMER AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND INSTALLING THE CONCRETE PAD (ELECTRIC UTILITY STANDARDS).
13. NEW SECONDARY UNDERGROUND ELECTRIC SERVICE. ELECTRIC UTILITY TO SIZE CONDUIT AND CONDUCTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MATERIAL AND INSTALLATION.
14. REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION AND CONTINUATION OF ELECTRIC SERVICE.

COMMUNICATIONS SERVICE

15. NEW COMMUNICATIONS SERVICE POINT OF CONNECTION. ALL MATERIAL AND INSTALLATION BY COMMUNICATIONS UTILITY AT THE CONTRACTOR'S EXPENSE. THE CONTRACTOR SHALL CONTACT COMMUNICATIONS UTILITY AS SOON AS POSSIBLE TO ACCOMMODATE REQUIRED LEAD TIME FOR DESIGN AND COORDINATION OF THE NEW SERVICE.
16. NEW (1) 2" PVC AND (1) 4" PVC COMMUNICATION SERVICE CONDUIT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND INSTALLING THE CONDUIT AND PULLWIRE. ALL OTHER MATERIAL AND INSTALLATION BY COMMUNICATIONS UTILITY AT THE CONTRACTOR'S EXPENSE.
17. REFER TO MECHANICAL PLANS FOR EXACT LOCATION AND CONTINUATION OF COMMUNICATIONS SERVICE. COORDINATE DEPTH OF INSTALL - AT LEAST 18" BELOW GROUND.

SANITARY SEWER SERVICE

18. NEW SANITARY SEWER SERVICE POINT OF CONNECTION (PER SANITARY SEWER UTILITY STANDARDS, INVERT ELEVATION = 1000.41).
19. NEW 38" - 6" PVC SANITARY SEWER SERVICE WITH 2.0% MINIMUM SLOPE AND 42" MINIMUM COVER.
20. NEW 2" VENT PIPE.
21. NEW SANITARY SEWER CLEANOUT. REFER TO DETAIL ON SHEET C8.1.
22. NEW SANITARY SEWER SAMPLING MANHOLE (PER SANITARY SEWER UTILITY STANDARDS).
23. NEW GREASE TRAP. REFER TO ARCHITECTURAL PLANS.
24. NEW SANITARY SEWER POINT OF BUILDING ENTRY (INVERT ELEVATION = 1004.00). REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION AND CONTINUATION OF SANITARY SEWER SERVICE.
25. (NOT USED)

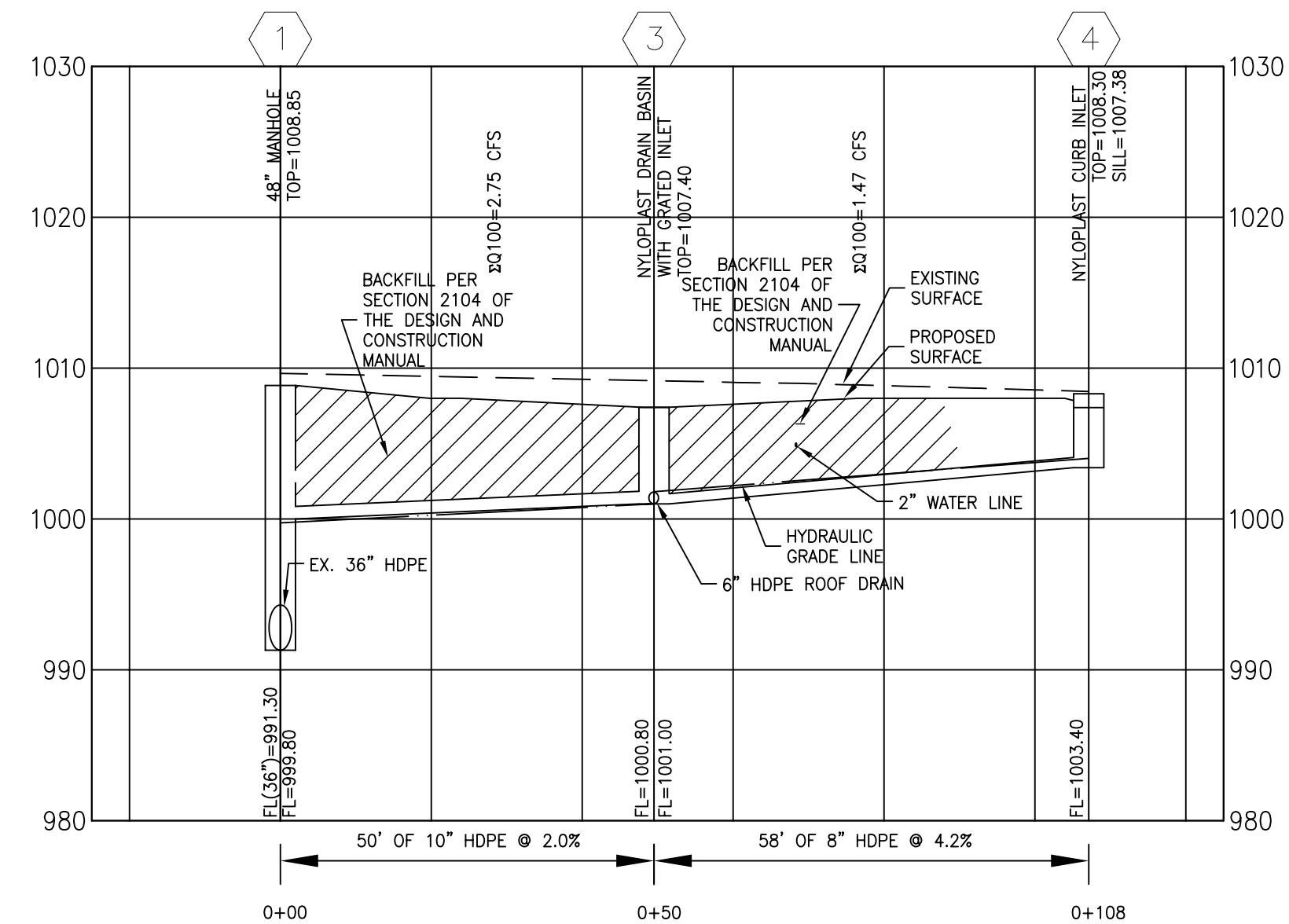
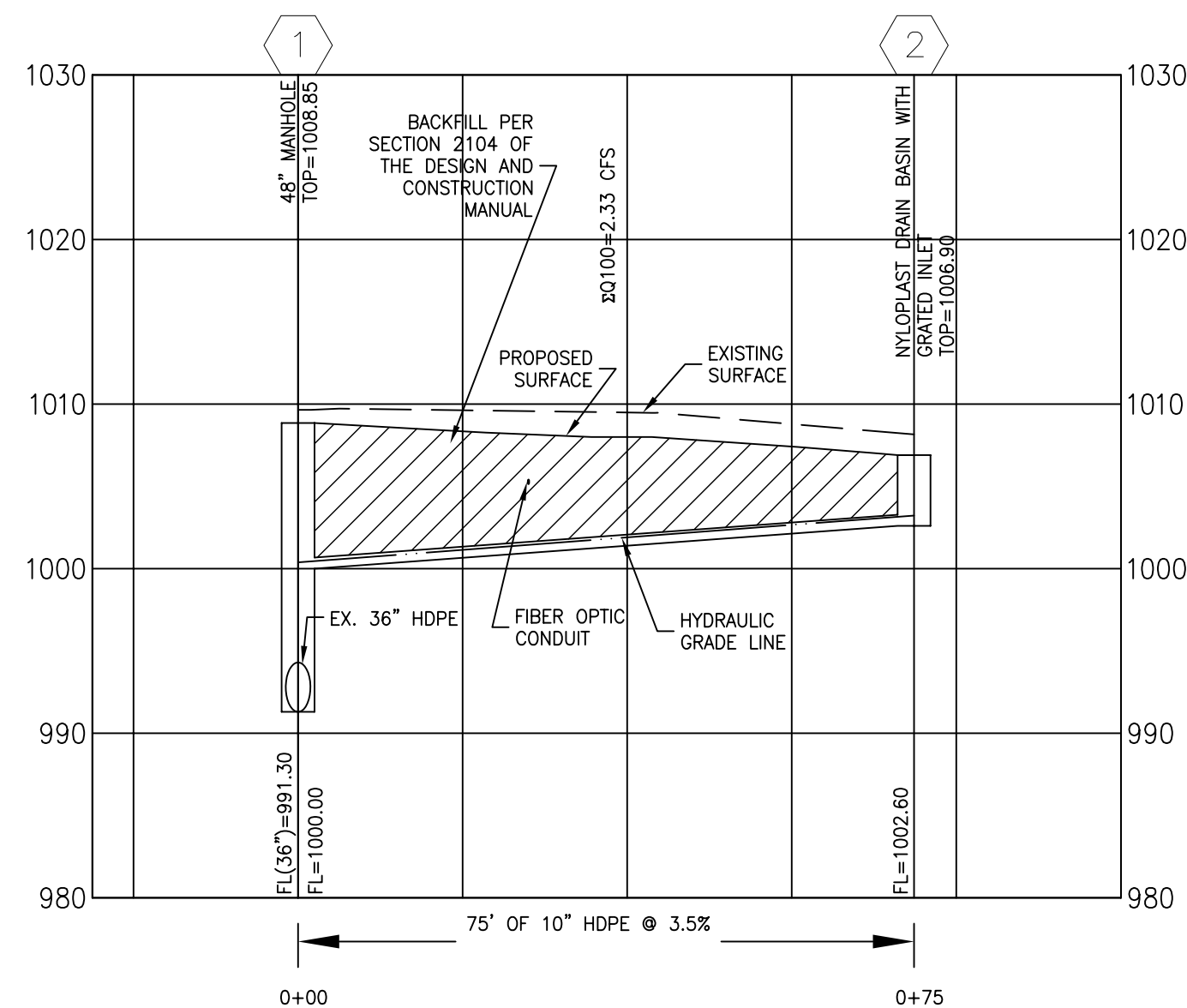
STORM SEWER SERVICE

26. NEW ROOF DRAIN POINT OF CONNECTION TO PROPOSED STRUCTURE (INVERT = 1001.00).
27. NEW 6" HDPE ROOF DRAIN WITH 2.00% MINIMUM SLOPE AND 42" MINIMUM COVER.
28. NEW STORM SEWER CLEANOUT. REFER TO DETAIL ON SHEET C8.1.
29. NEW ROOF DRAIN DOWNSPOUT CONNECTION (INVERT = 1003.00). REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION AND CONTINUATION OF ROOF DRAIN.
30. NEW STORM SEWER. REFER TO STORM SEWER PROFILES ON SHEET C6.1.
31. NEW NYLOPLAST CURB INLET STORM SEWER STRUCTURE. REFER TO STORM SEWER PROFILES ON SHEET C6.1.
- 31A. NEW NYLOPLAST DRAIN BASIN STORM SEWER STRUCTURE. REFER TO STORM SEWER PROFILES ON SHEET C6.1.

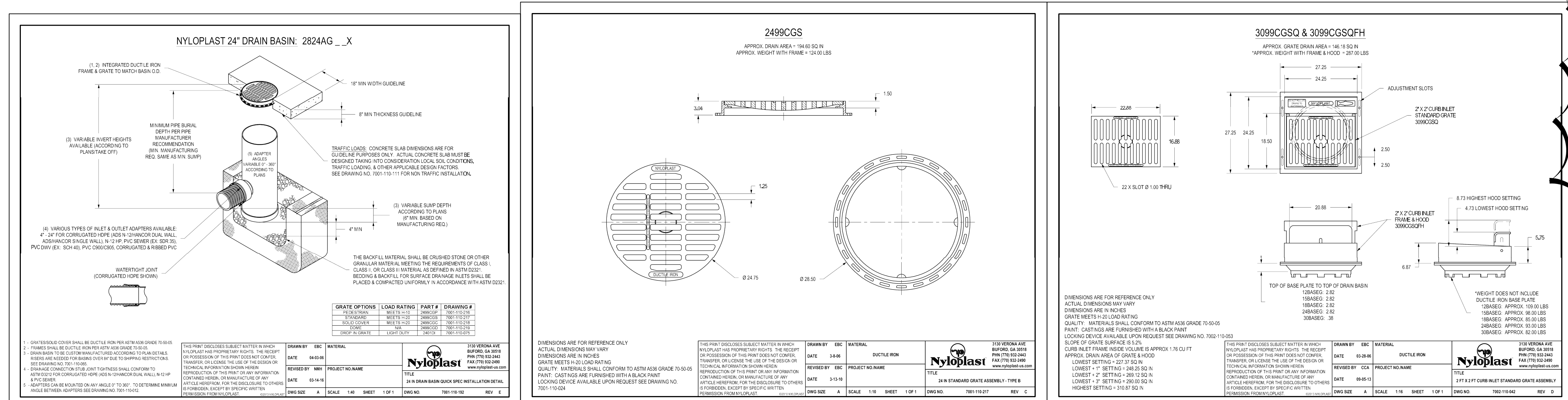
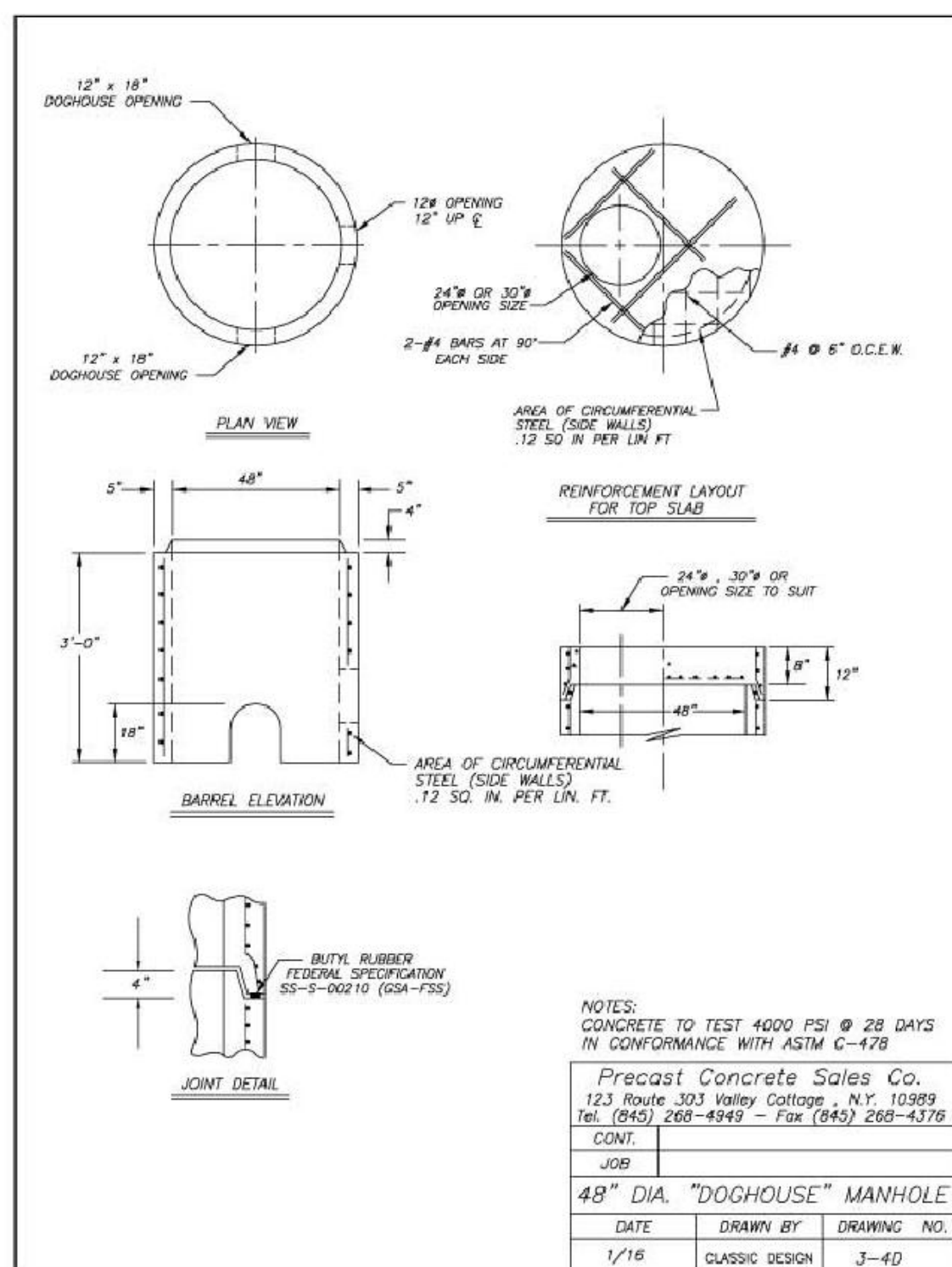
MISCELLANEOUS ITEMS

32. THE CONTRACTOR SHALL MAINTAIN 18" MINIMUM VERTICAL CLEARANCE AT ALL UTILITY CROSSINGS.
33. REMOVE AND REPLACE EXISTING SIDEWALK IN KIND AS NECESSARY TO INSTALL THE PROPOSED UTILITIES.

CIVIL ENGINEERS CORPORATE SEAL STATE OF MISSOURI J. F. ARSBERGER E-29716 DATE 9/10/19		CIVIL ENGINEERING / SURVEYING / PLANNING / LANDSCAPE ARCHITECTURE Cole & Associates, Inc. is a Missouri Corporation and is authorized to provide professional services in the State of Missouri.	
DESIGN/CALC BY LLW		JOB NUMBER 18-0136	
DRAWN BY MAB		SHEET NUMBER C6.0	
CHECKED BY CAW			
DRAWING SCALE AS SHOWN			
DATE 08/29/2019			
DEVELOPER/OWNER RED LION BEEF CORPORATION 12977 N FORTY DRIVE, SUITE 100 ST. LOUIS, MO 63141 (314) 821-8665			
REVISIONS			
NO	REVISION DESCRIPTION	DATE	NO
1	REVIEW COMMENTS	9/9/19	1
2	REVIEW COMMENTS	10/17/19	2
3	REVIEW COMMENTS	12/2/19	3
4	REVIEW COMMENTS	12/2/19	4
5	REVIEW COMMENTS	1/8/20	5
6	VALUE ENGINEERING/REVIEW COMMENTS	1/22/20	6

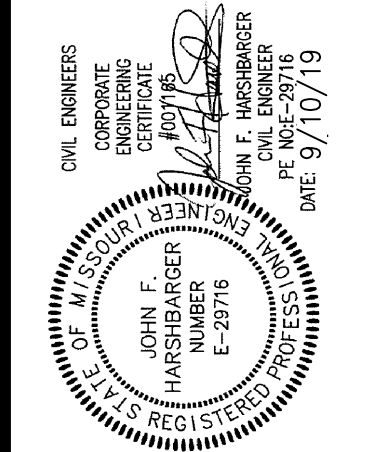


Conduit FlexTable: Cole																			
Label	Diameter (n)	Length (Unfitted) (ft)	Manning's n	Bend Angle (Unfitted) (degrees)	Slope (Calculated) (ft/ft)	Flow (cfs)	Capacity (Full Flow) (Flow) (cfs)	Capacity (Full Flow) (cfs)	Velocity (In) (ft/s)	Velocity (Out) (ft/s)	Stop Node	Invert (Stop) (ft)	Elevation (Stop) (ft)	Hydraulic Grade Line (ft)	Start Node	Invert (Start) (ft)	Elevation Ground (Start) (ft)	Hydraulic Grade Line (ft)	Freeboard
3-4	8.0	57.6	0.010	19.61	0.942	1.47	1.74	3.21	4.64	4.21	GI-3	1,001.00	1,007.40	1,001.93	GI-4	1,003.40	1,007.80	1,003.97	3.83
2-1	10.0	74.9	0.010	0.00	0.035	2.33	2.38	5.31	5.31	4.42	MH-1	1,008.35	1,008.85	1,008.93	GI-2	1,002.60	1,006.50	1,003.28	3.62
1-2	10.0	49.5	0.010	0.00	0.020	2.75	1.30	5.93	5.43	7.20	MH-1	1,009.00	1,009.55	1,009.52	GI-3	1,001.00	1,007.40	1,001.73	5.62

[illegible]

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MAR

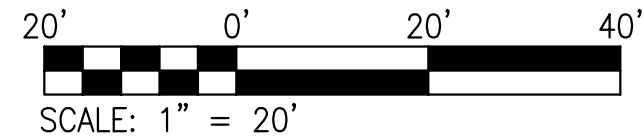
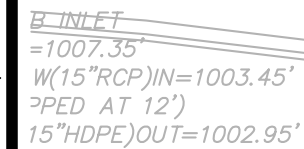
MADE
CHECKED BY
CAW

DRAWING SCALE

DATE 02/02/20

08/29/2017	Job Num
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18-01



EROSION CONTROL LEGEND		
LABEL	SYMBOL	DESCRIPTION
LD		LIMITS OF DISTURBANCE
CE		CONSTRUCTION ENTRANCE – APWA (REFER TO DETAIL ON SHEET C7.2)
IP1		CURB INLET PROTECTION – APWA (REFER TO DETAIL ON SHEET C7.2)
IP2		INLET PROTECTION – DANDY BAG (REFER TO DETAIL ON SHEET C7.2)
PS		PERMANENT SEEDING / SODDING (REFER TO SUMMARY ON SHEET C7.2)
SF		SILT FENCE – APWA (REFER TO DETAIL ON SHEET C7.2)
WBL		WATTLES / BIODEGRADABLE LOG – APWA (REFER TO DETAIL ON SHEET C7.2)
WS		WASHDOWN STATION – APWA (REFER TO DETAIL ON SHEET C7.2)

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[illegible]

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<i>Job Number</i> 18-0136	
<i>Sheet Number</i> C7.0	



Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
10082	Arlsburg-Urban land complex, 1 to 5 percent slopes	1.2	100.0%
Totals for Area of Interest		1.2	100.0%

SOILS MAP KEY

(NOT TO SCALE)

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DATE	08/29/2019
<i>Job Number</i>	
18-0136	
<i>Sheet Number</i>	
C7.1	

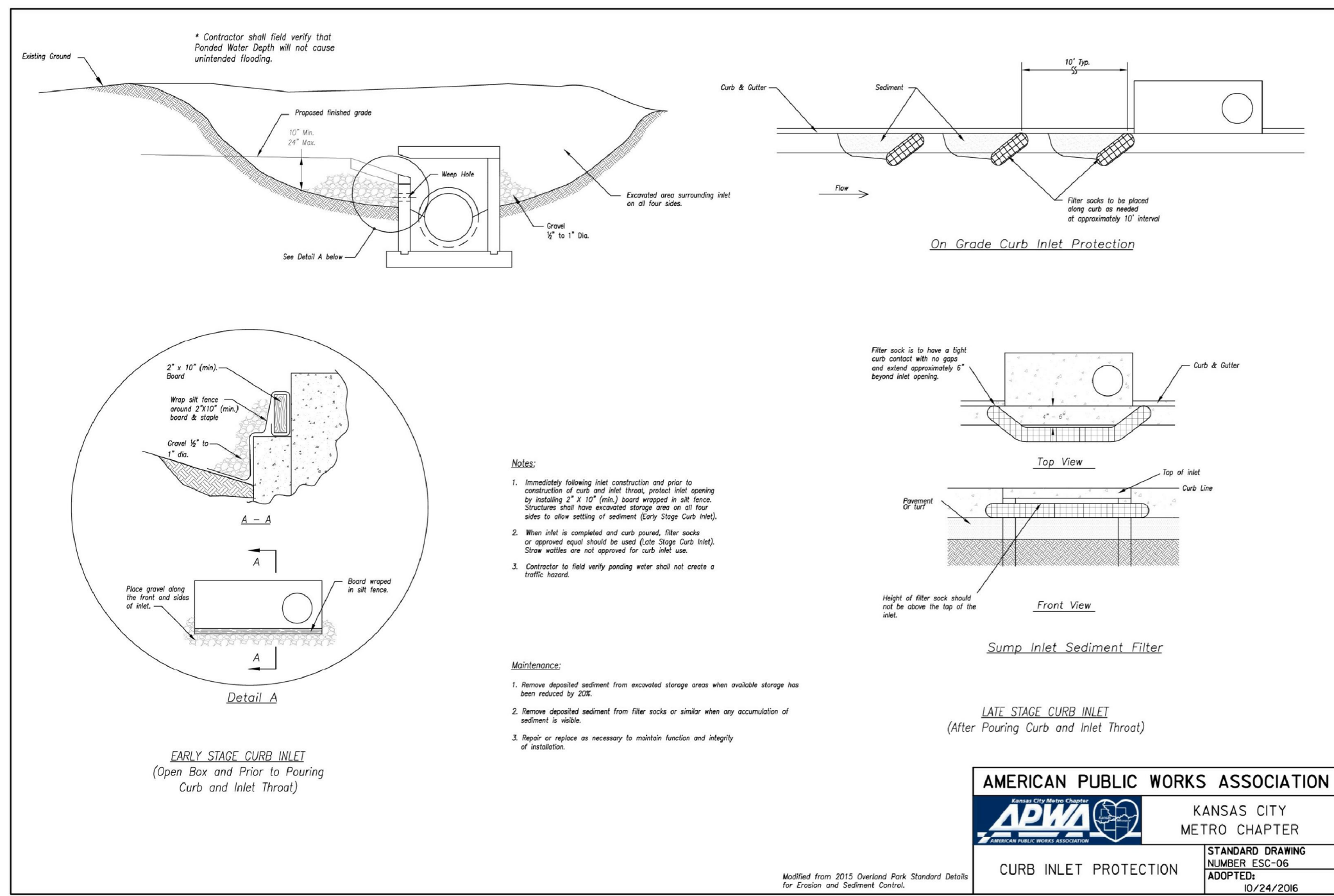
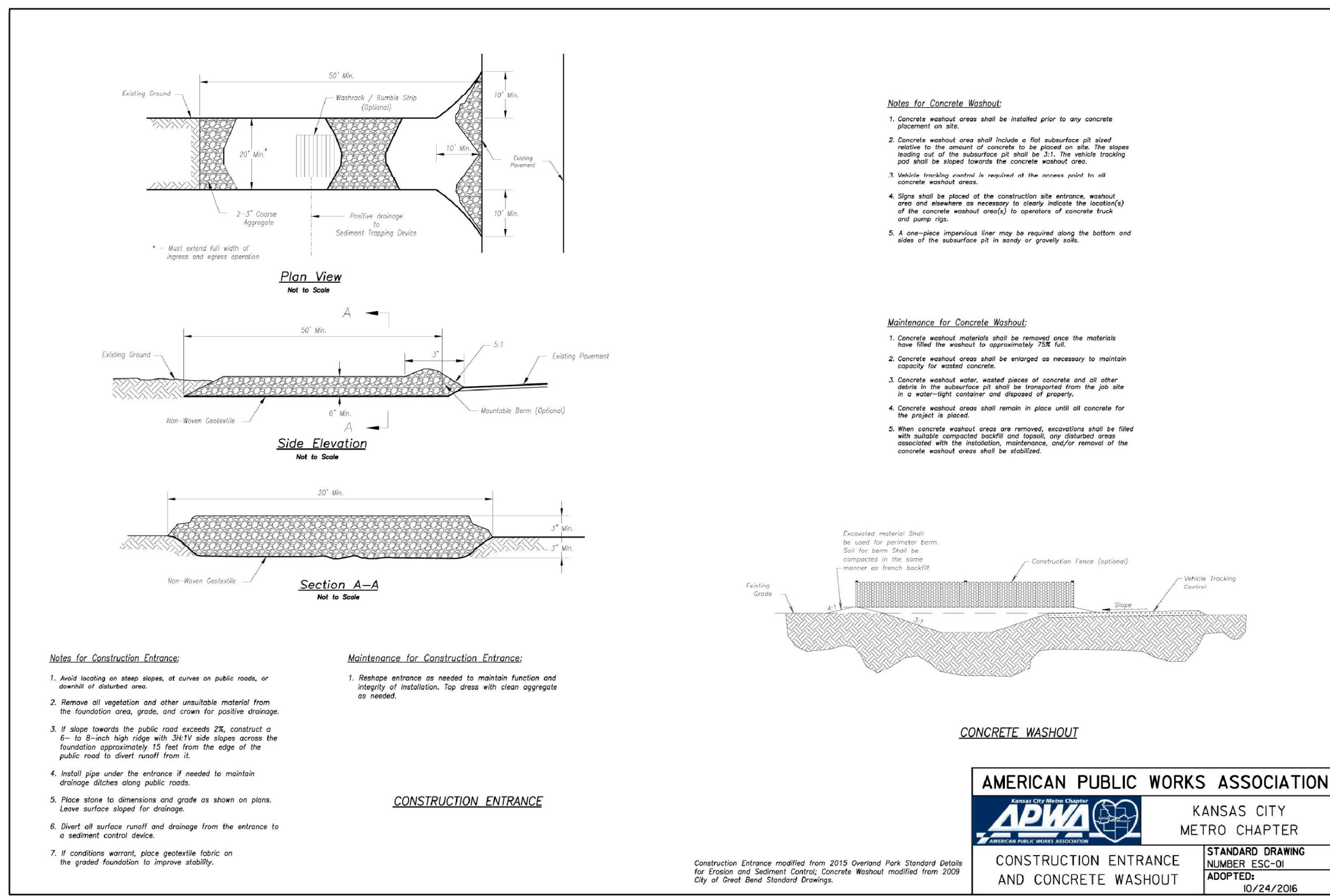


TABLE 1: VEGETATION/SEEDING RATES AND MIXTURES

SEEDING REQUIREMENTS

Permanent Seeding	Dates for Seeding											
	Jan	Feb	March	April	May	June	July	Aug	Sep	Oct	Nov	Dec
Tall Fescue			O	O	O			O	O			
Smooth Brome			O	O	O			O	O			
Fescue & Brome			O	O	O			O	O			
Fescue, Rye & Bluegrass	A	A	O	O	O	P	P	O	O	P	P	A

Temporary Seeding	Dates for Seeding											
	Jan	Feb	March	April	May	June	July	Aug	Sep	Oct	Nov	Dec
Rye or Sudan	A	A	O	O	O	O	O	O	O	O	A	A
Oats		A	O	O	O	O	O	O	O			

O = Optimum seeding dates
A = Acceptable seeding dates
P = Permitted seeding dates with reseeding 2 months later - Initially use 50% of seed and 75% of fertilizer. Reseed with additional 75% seed and remaining fertilizer.

Permanent Seeding*	Minimum Fertilizer and Seeding Rates	
	Pounds per acre	Pounds Per 1000 sq. ft.
Tall Fescue	300	7.0
Smooth Brome	200	4.6
Mixture #1	250	5.7
Mixture #2	210	4.8

Mixture #1 = Tall Fescue @ 150 pounds per acre and Brome @ 100 pounds per acre.
Mixture #2 = Tall Fescue @ 100 pounds per acre, Perennial Rye grass @ 100 pounds per acre, and Kentucky Blue grass @ 10 pounds per acre.
* = Seeding rate for slopes in excess of 20% (5:1), shall be 10 pounds per 1000 sq. ft.

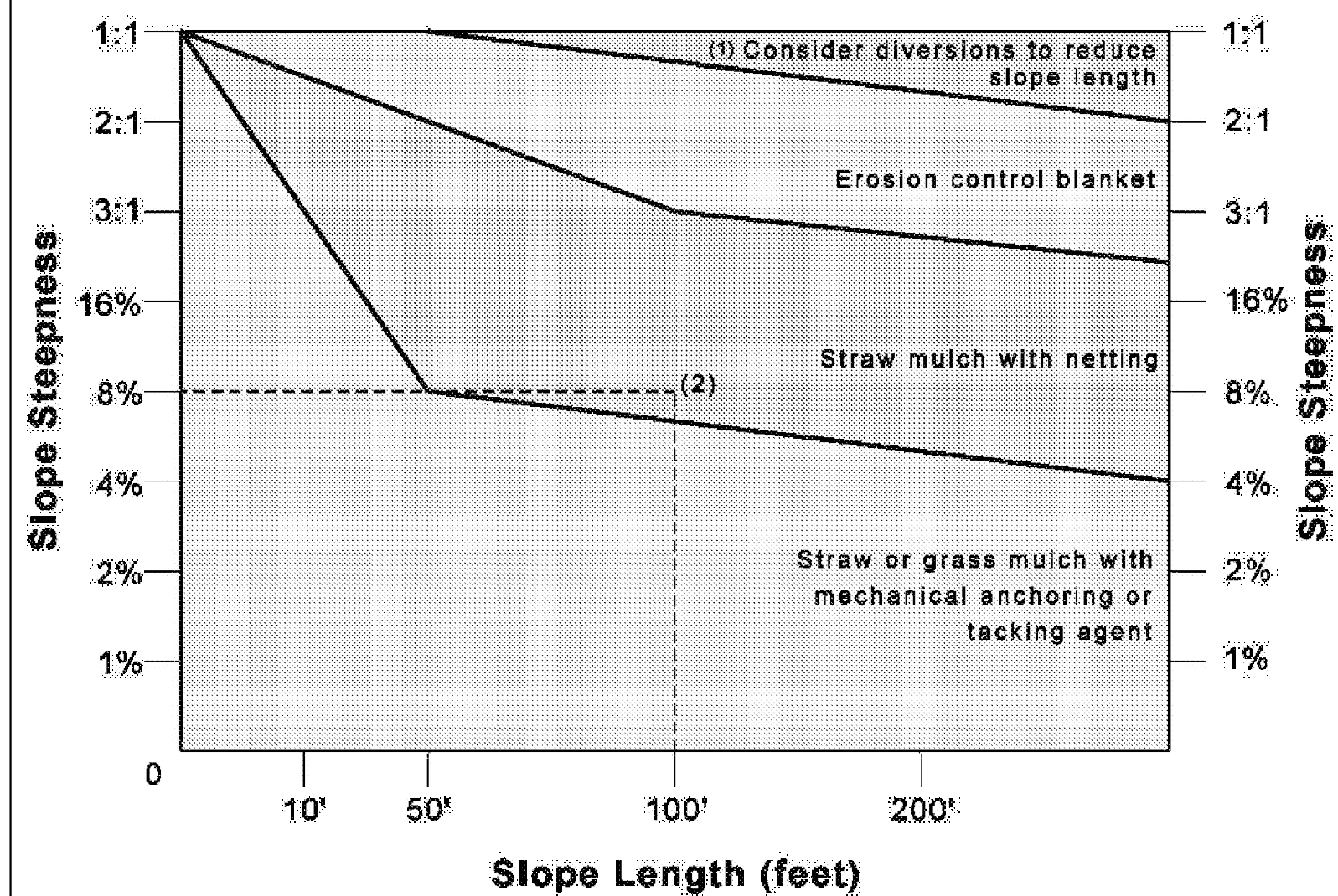
Temporary Seeding	Minimum Fertilizer and Seeding Rates	
	Pounds per acre	Pounds Per 1000 sq. ft.
Rye or Sudan	150	3.5
Oats	200	2.5

Fertilizer	Minimum Fertilizer and Seeding Rates	
	Pounds per acre	Pounds Per 1000 sq. ft.
Nitrogen	45	30
Phosphate	65	30
Potassium	65	30
Lime - ENM	600	600

ENM = Effective neutralizing material per State evaluation of quarried rock.

TABLE 2: MULCH SCHEDULE

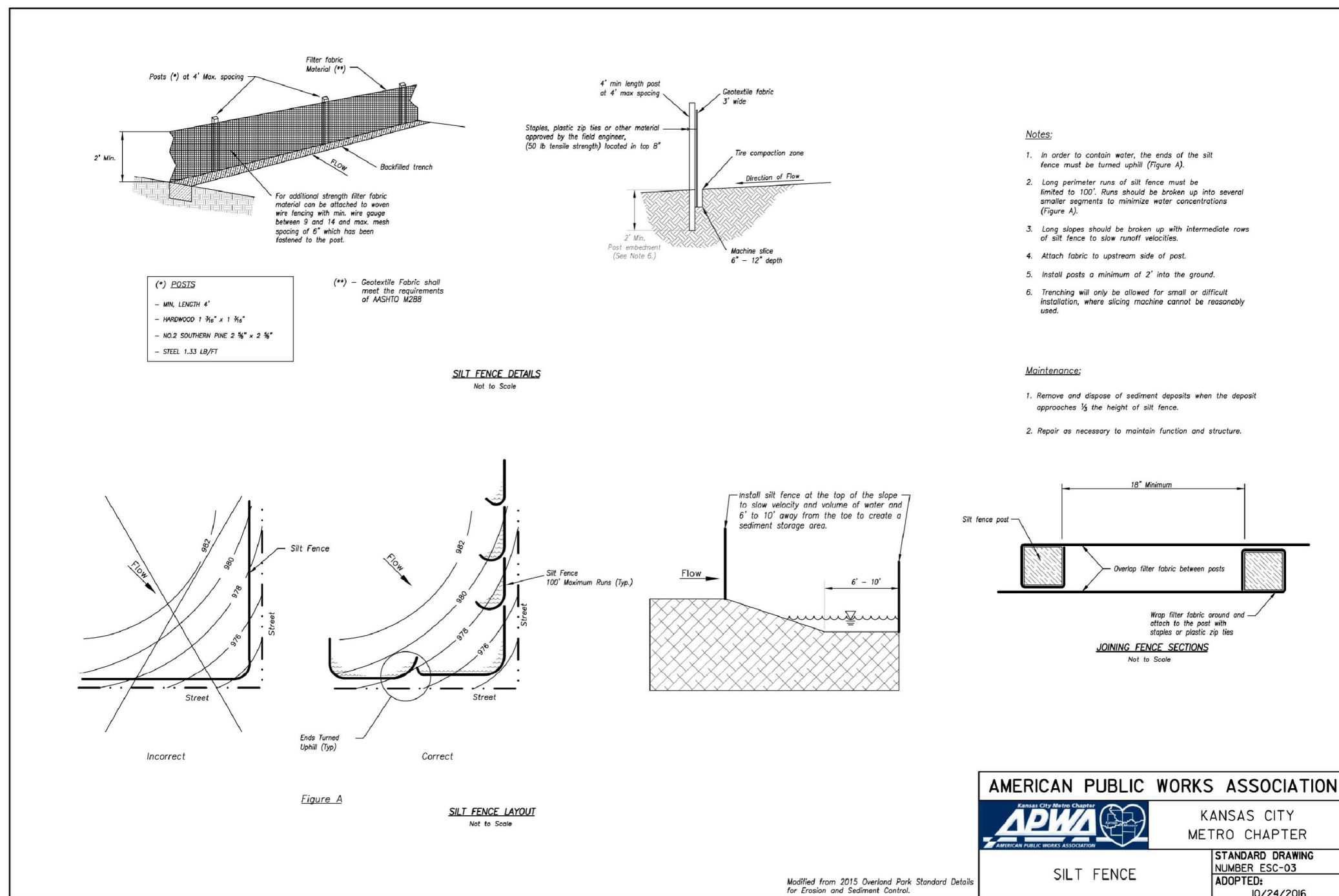
MULCH SELECTION AS A FUNCTION OF SLOPE



- For slopes steeper than 1:1, consider building a diversion above slope to divert water.
- Example: An 8% slope, 100 feet long, requires straw mulch with netting.

GENERAL MULCH RECOMMENDATIONS TO PROTECT FROM SPLASH AND SHEET FLOW

Material	Rate Per Acre	Requirements	Notes
Straw	2 to 2.5 tons	Dry, unchopped or machine; avoid weeds	Spread by hand or machine; may be tacked or tied down
Wood Fiber or Wood Cellulose	0.5 to 1 ton		Use with hydro seeder; may be used to tack straw. Do not use in hot, dry weather.
Wood Chips	5 to 6 tons	Air dry. Add nitrogen fertilizer at 12 lb per ton	Apply with blower, chip handler, or by hand. Not for fine turf areas.
Bark	35 cu. yds.	Air dry, shredded, or hammermilled; or chips	Apply with mulch blower, chip handler or by hand. Do not use asphalt tack.



Dandy® Bag

The patented Dandy Bag® is designed for use with flat grates (including round and mountable curbs) to detain sediment-laden storm water. The suspended solids are allowed to settle out of the slowed flow prior to entering the Dandy Bag®.

Installation

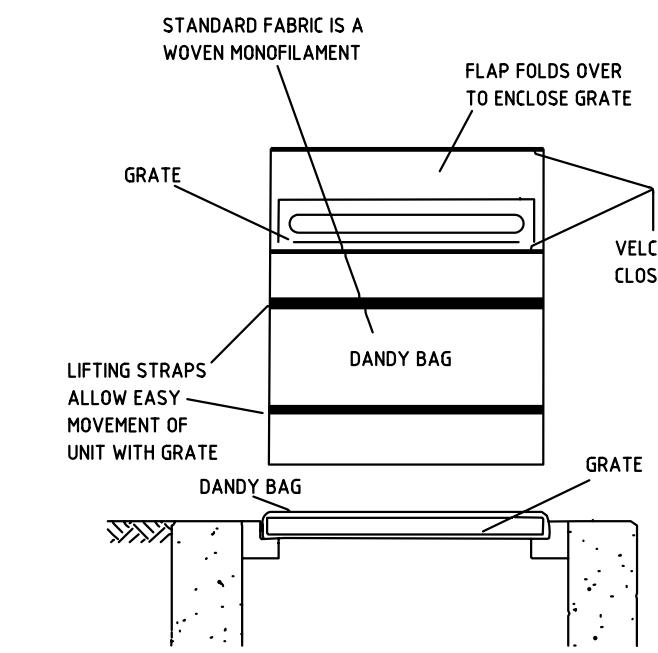
- Stand the grate on end
- Place the Dandy Bag® over the grate
- Roll the grate over so that the open end is up
- Pull up the slack
- Tuck the flap in
- Press the velcro strips together
- Be sure that the end of the grate is completely covered by the flap or the Dandy Bag® will not work properly
- Holding the handles, carefully place the Dandy Bag® with the grate inserted into the catch basin frame

Maintenance

To insure proper operation remove silt, sediment, and debris from the surface and the vicinity of the unit with a square point shovel or stiff bristle broom away from environmentally sensitive areas and waterways in manner satisfactory to the engineer/inspector. Remove fine material from inside Dandy Bag® as needed. Dispose of Dandy Bag® no longer in use at an appropriate recycling or solid waste facility.

Inlet Inspection

To inspect inlet, remove Dandy Bag® with grate inside, inspect catch basin and replace Dandy Bag® back into grate frame.

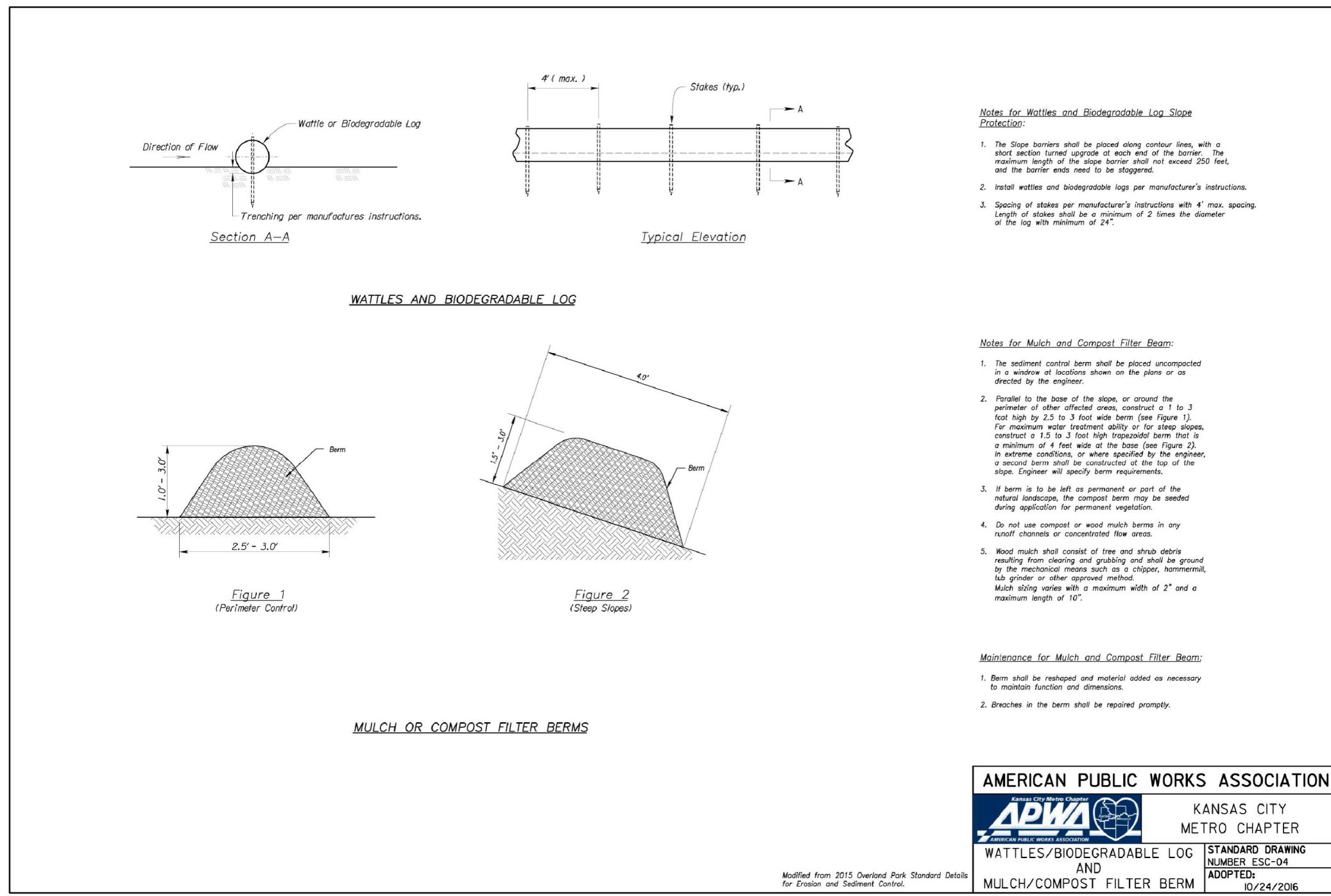


Ponding is likely if sediment is not removed regularly. The Dandy Bag® must never be used where overflow may endanger an exposed slope. The Dandy Bag® is not intended for any other use and should not be used for any other purpose.

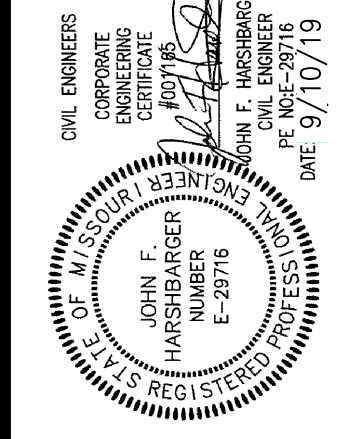


DANDY PRODUCTS, INC.
2011 Harrisburg Pike, Suite R
Grove City, Ohio 43123

1-800-591-2284
(local) 614-875-2284
FAX: 614-875-6305
E-MAIL: dandy@dandyproducts.com
www.dandyproducts.com



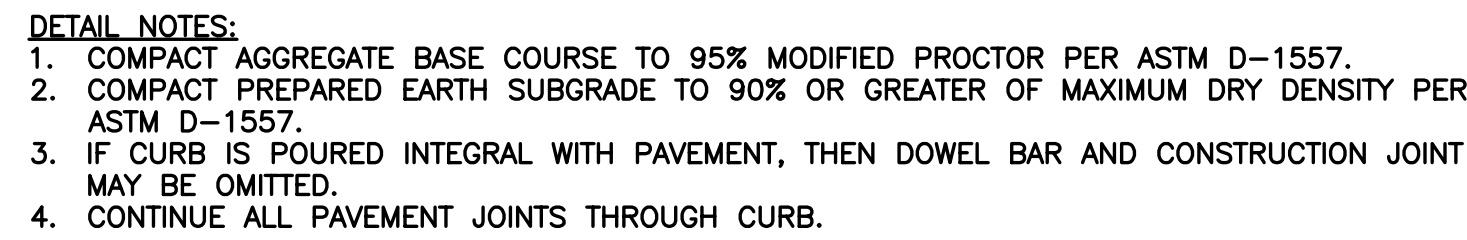
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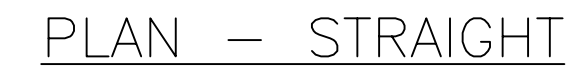
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Job Number
18-0136
Sheet Number
C7.2



1 (STANDARD SECTION)
SCALE: N.T.S. REF. DWG. C4.0



PREFABRICATED PANELS PER A.D.A.
ACCESSIBILITY GUIDELINES SECTION
4.29.2 & A4.29.2 SHALL BE USED.

ELEVATION

7) WITH DETECTOR LOOP

SCALE: N.T.S.	REF. DWG.	C4.0
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NOTE: MAINTAIN 4" SIDEWALK THICKNESS IN DEPRESSED AREA.

9 SCALE: N.T.S. REF. DWG. C4.0



- DETAIL NOTES:

1. THE SURFACE OF RAMP SHALL HAVE DETECTABLE WARNINGS AS SHOWN. DETECTABLE WARNINGS SHALL CONSIST OF RAISED TRUNCATED DOMES. SEE DETECTABLE WARNINGS DETAIL.
2. RAMP SIDE SLOPE VARIES UNIFORMLY FROM A MAXIMUM OF UP TO 10% AT CURB TO CONFORM WITH LONGITUDINAL SIDEWALK SLOPE ADJACENT TO TOP OF THE RAMP.
3. CONSTRUCT PER A.D.A. STANDARDS.
4. REFER TO PLANS FOR ADJACENT SLOPES.
5. THE CROSS SLOPE OF THE RAMP SURFACE SHALL BE NO GREATER THAN 1:50.

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CORPORATE
ENGINEERING
CERTIFICATE
#007185

[Signature]
JOHN F. HARSCHARGER
CIVIL ENGINEER
PE, NCE-29716
DATE: 9/10/19

STATE OF MISSISSIPPI
JOHN F.
HARSCHARGER
NUMBER
E-29716
REGISTERED PROFESSIONAL ENGINEER

CHOICE

SUMMIT GOLF AND COUNTRY CLUB
10 NW CHIPMAN ROAD
EAST'S SUMMIT, MO 64080

DETAIL SHEET

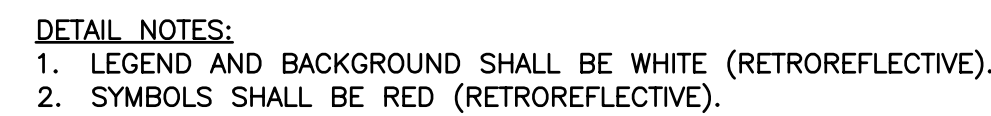
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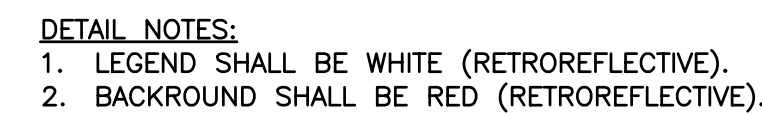
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DRAWN BY	MAB
CHECKED BY	CAW
DRAWING SCALE	AS SHOWN

Job Number
18-0136

C8.0



2 "DO NOT ENTER" SIGN DETAIL
SCALE: N.T.S. REF. DWG. C4.0



3 "STOP" SIGN DETAIL
 SCALE: N.T.S. REF. DWG. C4.0

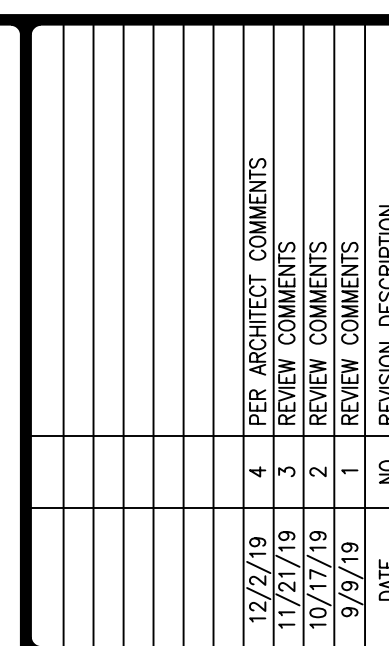


4 HANDICAP SYMBOL DETAIL

SCALE: N.T.S. REF. DWG. C4.0



6 DRIVE-THRU/DO NOT ENTER DETAIL
 SCALE: N.T.S. REF. DWG. C4.0



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LION'S CHOICE SUMMIT ORCHARD 440 NW CHIPMAN ROAD LEE'S SUMMIT, MO	DETAIL SHEET
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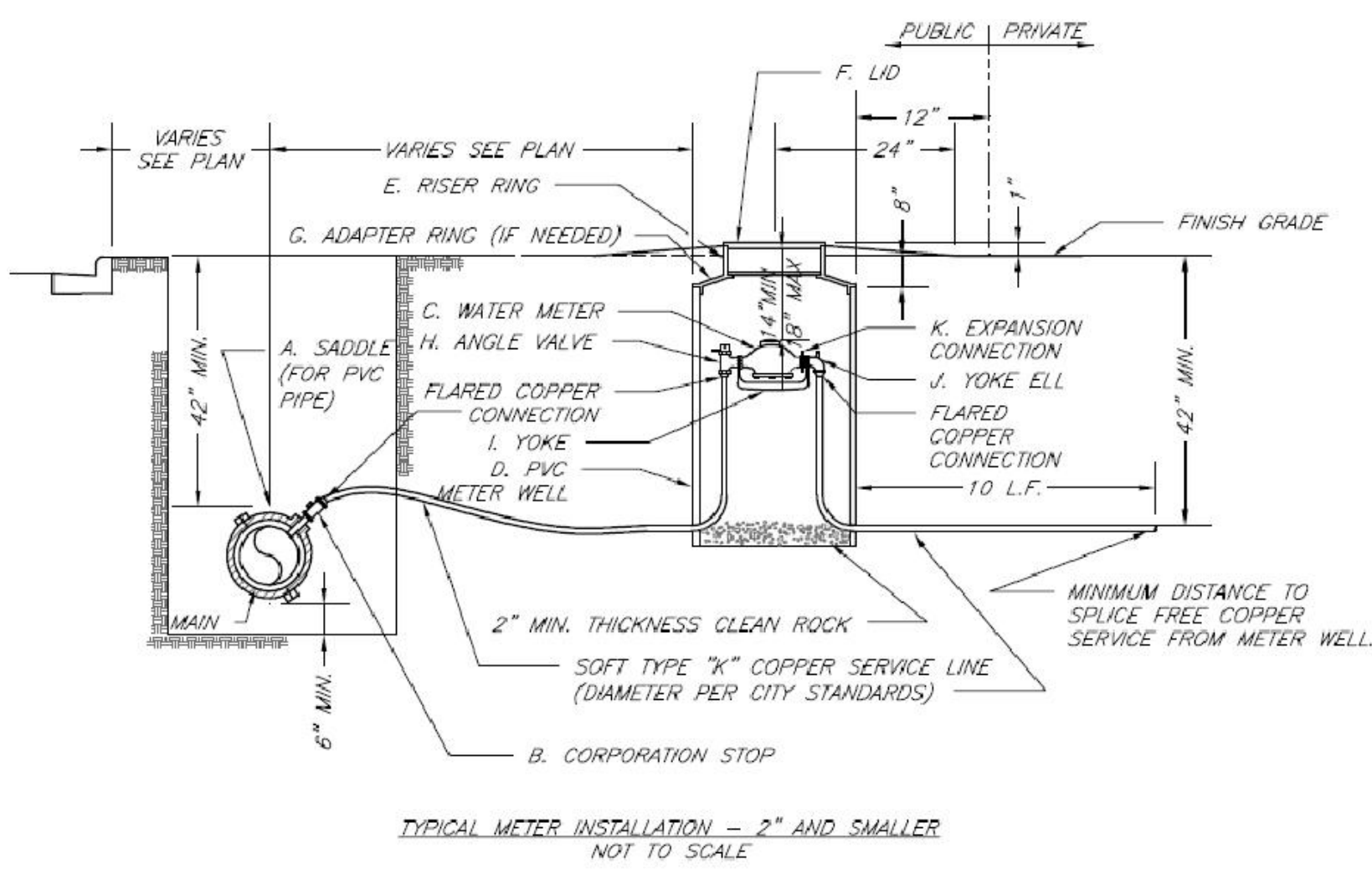
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Job Number	
18-0136	
Sheet Number	
C8.1	



- NOTES:
- METER INSTALLATION SHALL NOT BE LOCATED IN AREAS SUBJECT TO VEHICULAR TRAFFIC OR IN CONCRETE PAVEMENT WITHOUT CITY APPROVAL.
 - IF METER IS TO BE LOCATED OTHER THAN IN FRONT OF PROPERTY LINE, CITY APPROVAL SHALL BE OBTAINED.
 - CITY TO FURNISH ITEMS A-K.
 - NO OTHER EQUIPMENT SHALL BE INSTALLED IN THIS PIT.
 - 42" MINIMUM BURY DEPTH FOR ALL SERVICE LINES.
 - EXCAVATION FOR TAP TO EXPOSE 4 LINEAR FEET OF MAIN.
 - NO SPLICES ALLOWED BETWEEN METER AND MAIN.
 - SERVICE CONNECTION TAP AT APPROXIMATELY 45 DEGREES.
 - LID AND RISER RING SHALL BE SET SO THAT GROUND WATER WILL DRAIN AWAY FROM THE WELL.
 - CONTACT WATER UTILITIES, 816-969-1900, FOR REQUIREMENTS OF A METER LARGER THAN 2"

LEE'S SUMMIT MISSOURI
PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64083

SERVICE CONNECTION/METER WELL

Date: 02/13

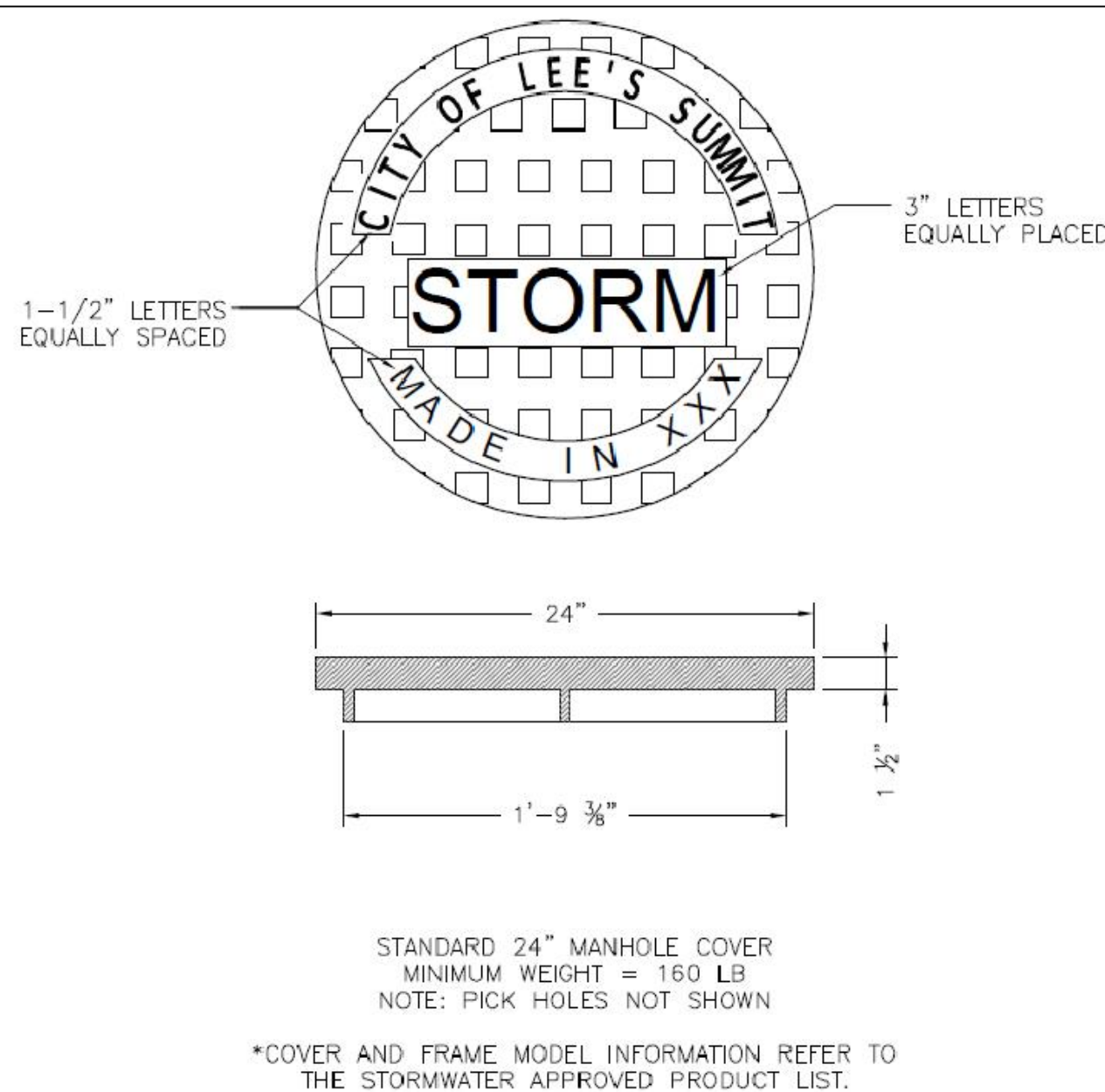
Drawn By: JLN

Checked By: DL

FILE: WAT-11

Rev: 1/14

Rev:



STANDARD 24" MANHOLE COVER
MINIMUM WEIGHT = 160 LB
NOTE: PICK HOLES NOT SHOWN

*COVER AND FRAME MODEL INFORMATION REFER TO THE STORMWATER APPROVED PRODUCT LIST.

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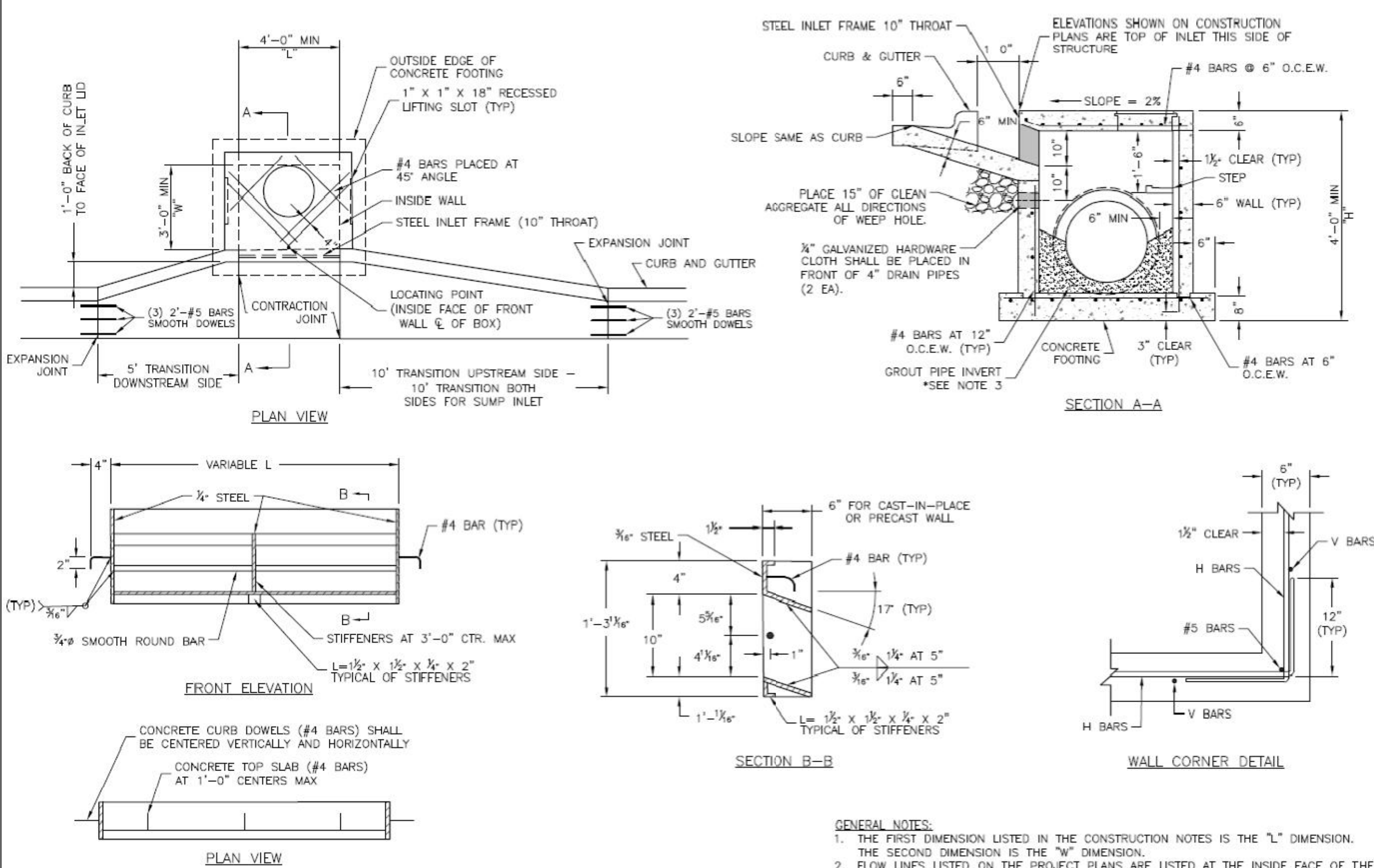
STORM MANHOLE COVER DETAIL

Date: 04/17

Drawn By: MIF

Checked By: DL

STM-6



- GENERAL NOTES:
- THE FIRST DIMENSION LISTED IN THE CONSTRUCTION NOTES IS THE "L" DIMENSION. THE SECOND DIMENSION IS THE "W" DIMENSION.
 - FLOOR OF INLET GROUDED AND SHAPED TO MATCH PIPE INVERT TO PROVIDE SMOOTH FLOW.
 - LOCATE MH RING AND COVER ON BLANK WALL IF POSSIBLE.
 - STEPS SHALL BE SPACED AT 1'-4" O.C. VERTICALLY ON BLANK WALL IF POSSIBLE.
 - REVEAL ALL EXPOSED EDGES WITH 3/4" CHAMFER OR 1/2" TOOLE EDGE.
 - ON-GRADE INLETS SHALL CONFORM TO THE STREET GRADE AND SUMP INLETS SHALL BE LEVEL.
 - PRECAST LIDS SHALL BE PINNED, SEALED WITH NON-SHRINKABLE GROUT AND REMOVABLE FOR FUTURE MAINTENANCE.
 - LIFTING RINGS SHALL BE REMOVED AND SEALED WITH NON-SHRINKABLE GROUT.
 - FOR RING AND COVER SEE THE STORMWATER APPROVED PRODUCT LIST.

LEE'S SUMMIT MISSOURI
PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64083

STANDARD DETAILS
CITY OF LEE'S SUMMIT, MO
LEE'S SUMMIT, JACKSON COUNTY, MO

STM-1

Date: 04/17

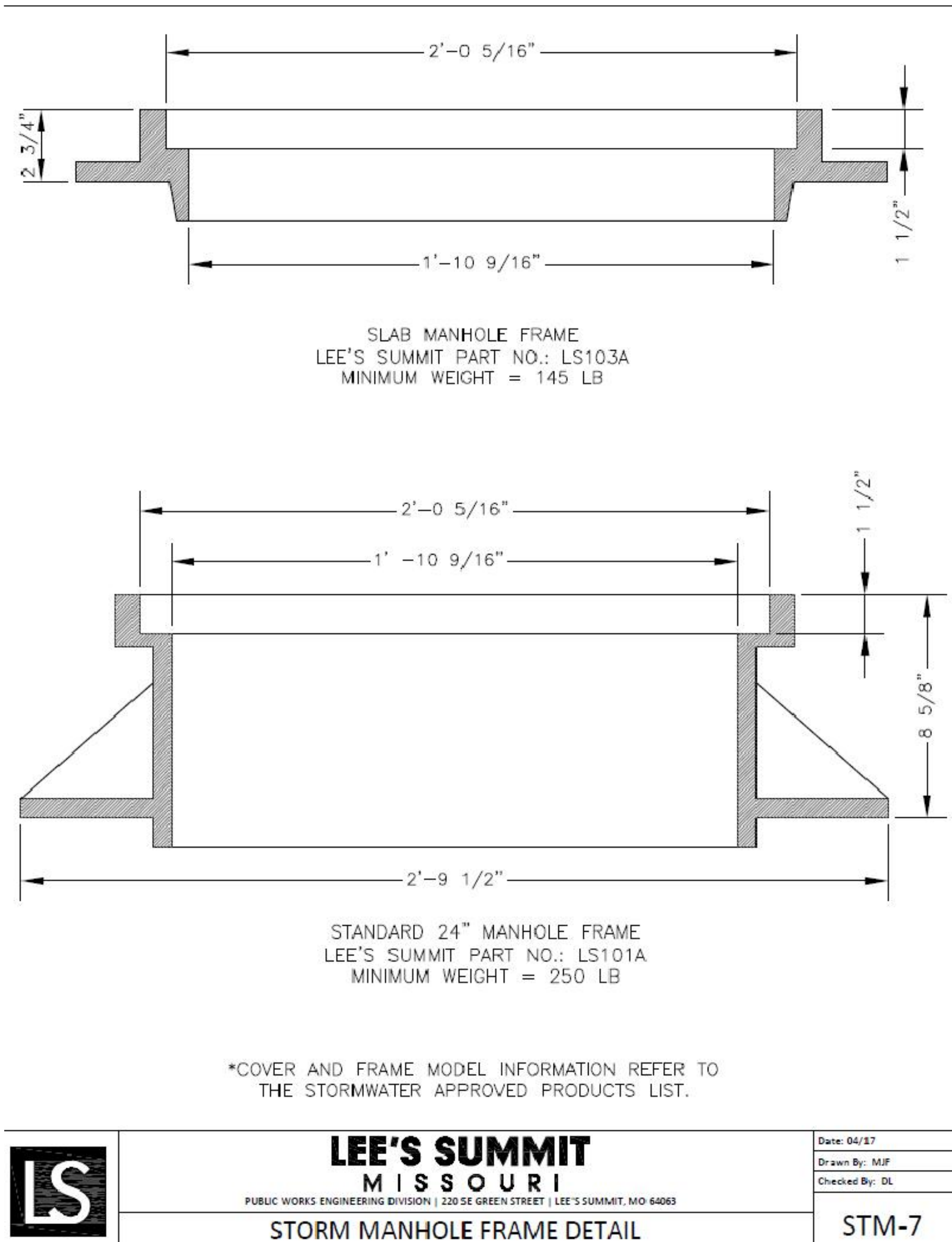
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*COVER AND FRAME MODEL INFORMATION REFER TO THE STORMWATER APPROVED PRODUCTS LIST.

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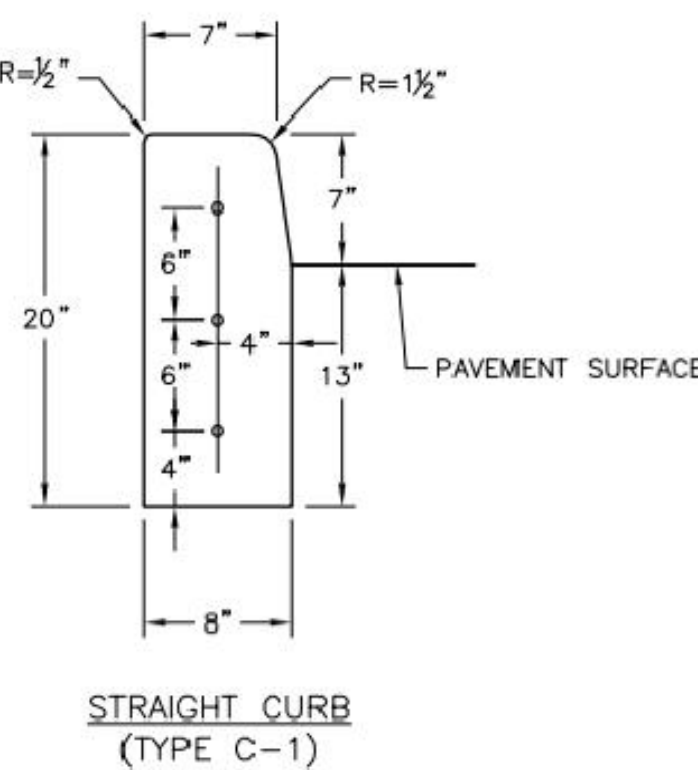
STORM MANHOLE FRAME DETAIL

Date: 04/17

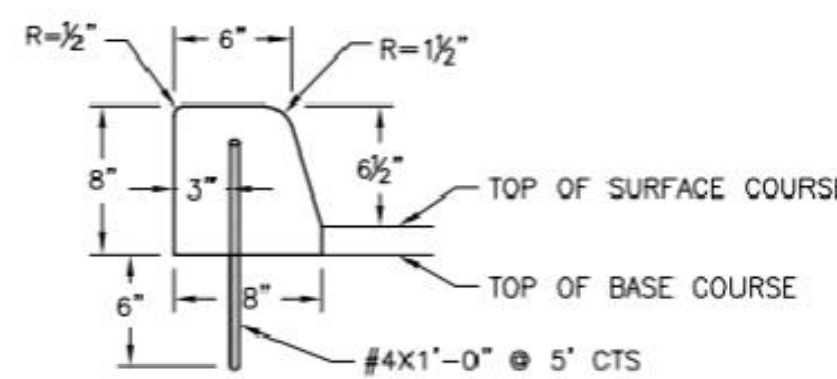
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Checked By: DL

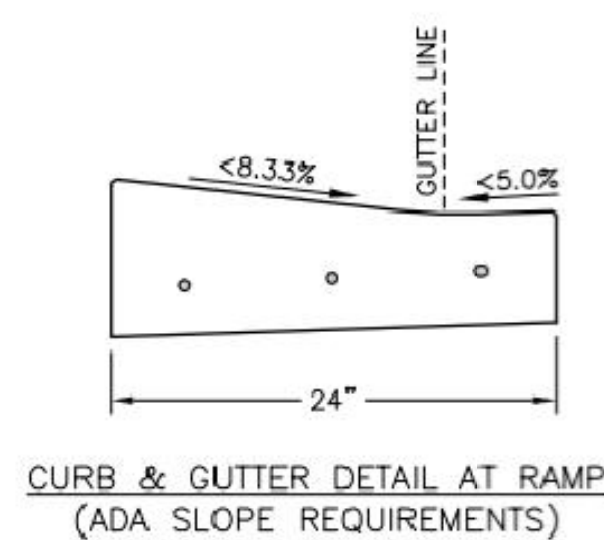
STM-7



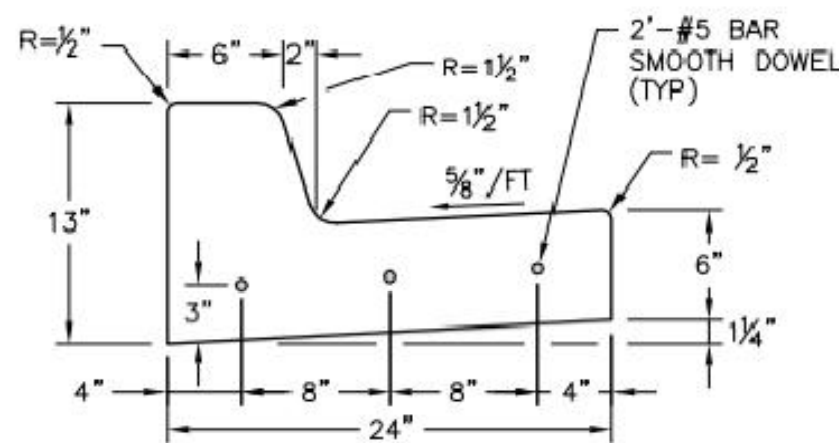
STRAIGHT CURB
(TYPE C-1)



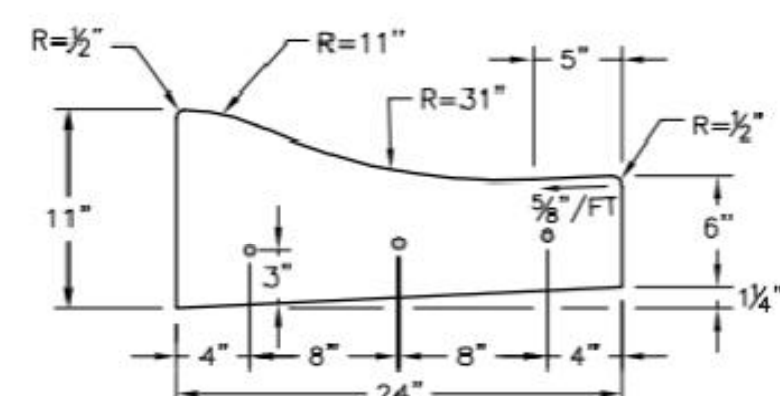
DOWELLED CURB
(TYPE DC)



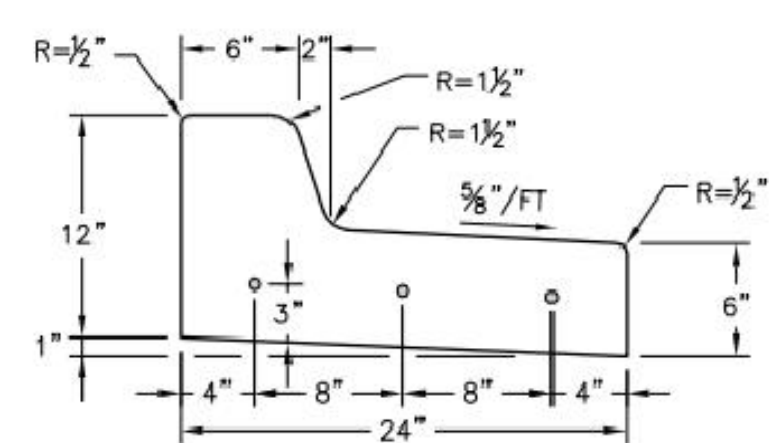
CURB & GUTTER DETAIL AT RAMP
(ADA SLOPE REQUIREMENTS)



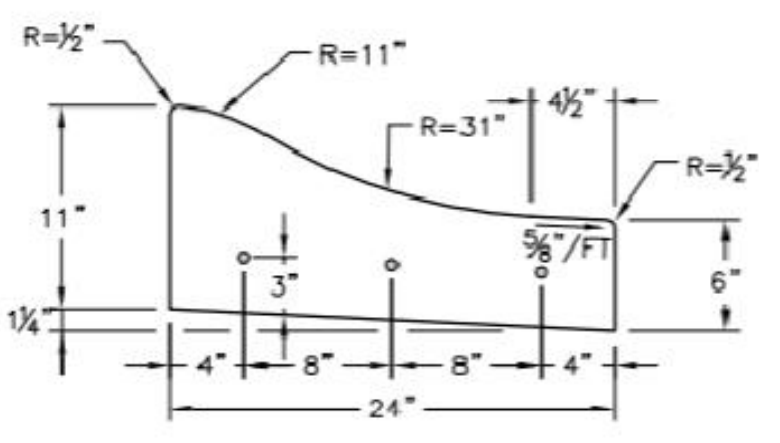
STRAIGHT BACK CURB & GUTTER
(TYPE CG-1)



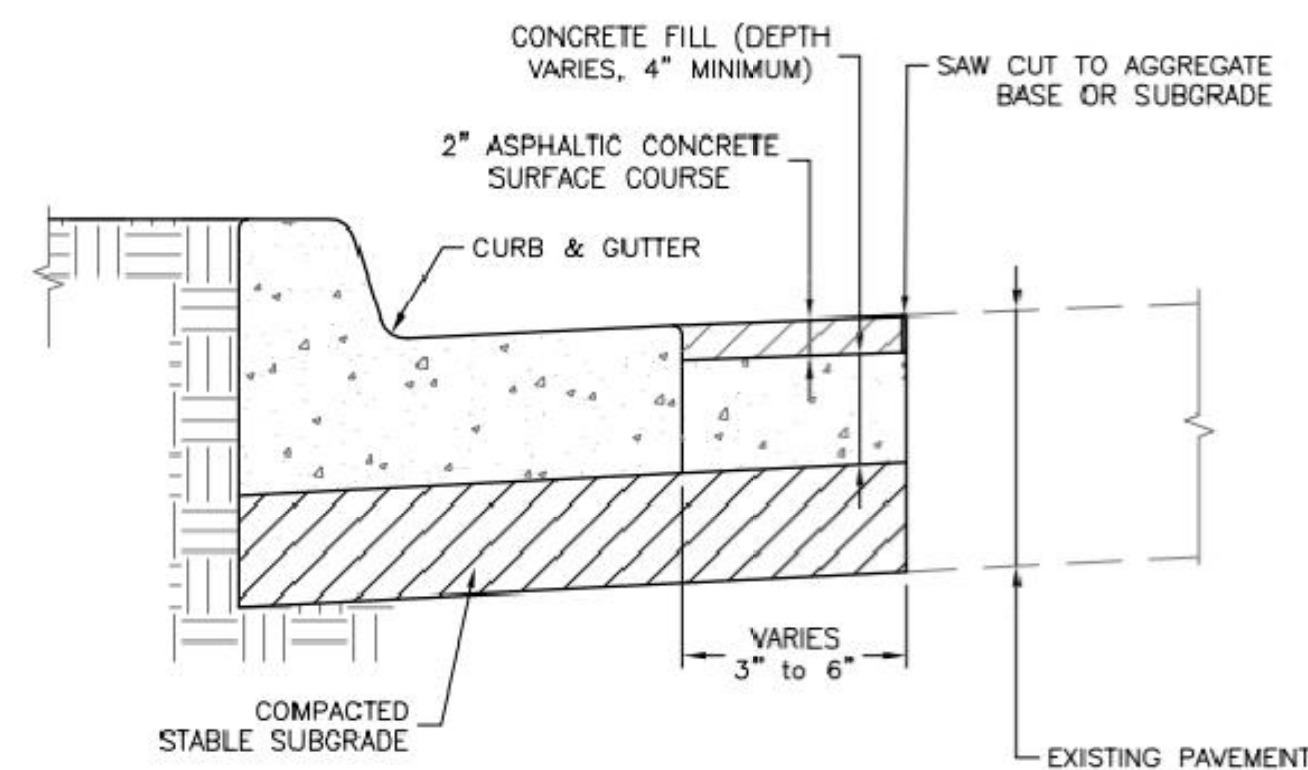
ROLL BACK CURB & GUTTER
(TYPE CG-2)



STRAIGHT BACK DRY CURB & GUTTER
(TYPE CG-1 DRY)



ROLL BACK DRY CURB & GUTTER
(TYPE CG-2 DRY)



CURB REPLACEMENT DETAIL

- GENERAL NOTES:
- 3/4" ISOLATION JOINTS WITH 3 (2'-#5 BAR) SMOOTH DOWELS SHALL BE PLACED AT RADIUS POINTS AND AT 150' INTERVALS. THESE DOWEL BARS SHALL BE GREASED AND WRAPPED ON ONE END WITH EXPANSION TUBES.
 - 3" DEEP CONTRACTION JOINTS SHALL BE INSTALLED AT APPROXIMATELY 10' INTERVALS. THESE JOINTS SHALL PASS ACROSS THE ENTIRE CURB SECTION.
 - CONCRETE FILL SHALL HAVE UNIFORM AND SMOOTH FINISH
 - KCMMB 4K CONCRETE SHALL BE USED FOR ALL CURB.
 - ASPHALTIC CONCRETE SURFACE COURSE SHALL CONFORM TO STANDARD SPECIFICATIONS SECTION 2.205.2.
 - CURBS FOR NEW STREETS SHALL BE BUILT ON ASPHALT OR AGGREGATE BASE AS SHOWN IN TYPICAL SECTION DETAIL.
 - WHITE CURING COMPOUND MUST BE APPLIED UNIFORMLY TO THE CONCRETE SURFACE IMMEDIATELY AFTER FINAL FINISHING.

LEE'S SUMMIT MISSOURI
PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64083

STANDARD DETAILS
CITY OF LEE'S SUMMIT, MO
LEE'S SUMMIT, JACKSON COUNTY, MO

GEN-4

Date: 04/17

Drawn By: MIF

Checked By: DL

File: GEN-4

Rev: 1/14

Rev:

DESIGNER/OWNER:
RED LION BEEF CORPORATION
12977 N FORTY DRIVE, SUITE 100
ST. LOUIS, MO 63141
(314) 821-8665

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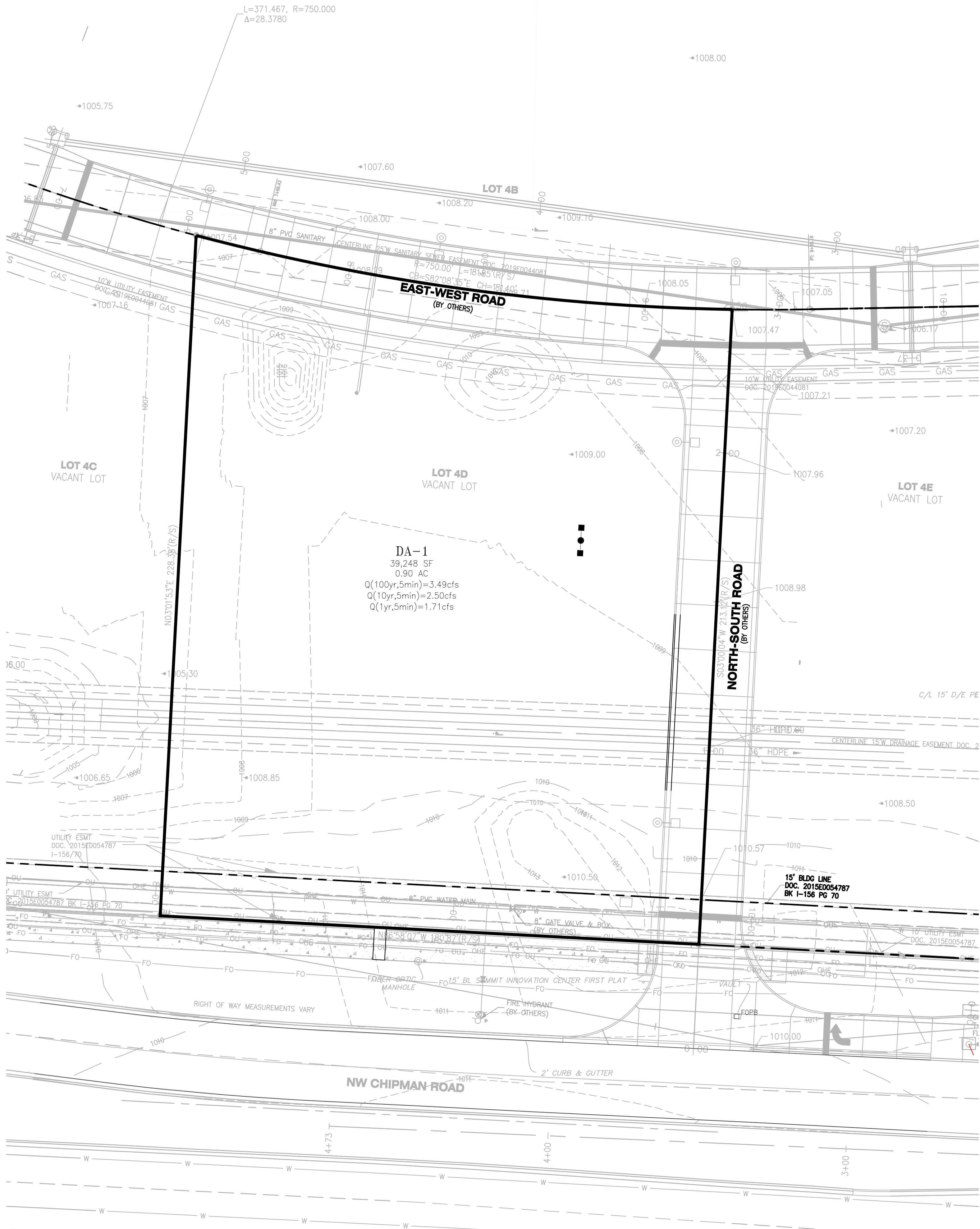
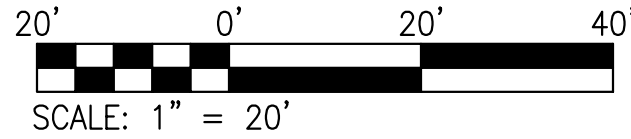
CIVIL ENGINEER
JOHN F. WARDENBARGER
P.E. No. 2018
DATE: 9/10/19

LION'S CHOICE
SUMMIT ORCHARD
440 NW CHIPMAN ROAD
LEE'S SUMMIT, MO

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DRAWN BY: MAB
CHECKED BY: CAW
DRAWING SCALE: AS SHOWN
DATE: 08/29/2019
Job Number: 18-0136
Sheet Number: C8.2



Q VALUES
RATIONAL METHOD:
C (IMPERVIOUS) = 0.90
C (PERVIOUS) = 0.30

PERVIOUS AREA = 0.78 AC.
IMPERVIOUS AREA = 0.12 AC.
TOTAL AREA = 0.90 AC.

100 YEAR STORM (1% CHANCE), 5 MIN. DURATION
FOR 100 YEAR, 5 MINUTE DURATION = 10.2

Q(PER) = (0.30*10.2*0.78)
Q(PER) = 2.39 CFS

Q(IMP) = (0.90*10.2*0.12)
Q(IMP) = 1.10 CFS

Q100(TOTAL) = 3.49 CFS

10 YEAR STORM (10% CHANCE), 5 MIN. DURATION
FOR 10 YEAR, 5 MINUTE DURATION = 7.3

Q(PER) = (0.30*7.3*0.78)
Q(PER) = 1.71 CFS

Q(IMP) = (0.90*7.3*0.12)
Q(IMP) = 0.79 CFS

Q10(TOTAL) = 2.50 CFS

1 YEAR STORM (100% CHANCE), 5 MIN. DURATION
FOR 1 YEAR, 5 MINUTE DURATION = 5.0

Q(PER) = (0.30*5.0*0.78)
Q(PER) = 1.17 CFS

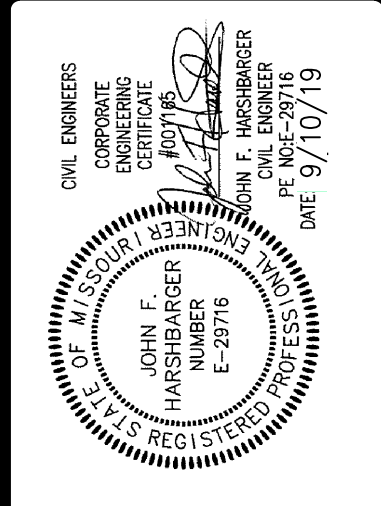
Q(IMP) = (0.90*5.0*0.12)
Q(IMP) = 0.54 CFS

Q1(TOTAL) = 1.71 CFS

DATE	NO	REVISION DESCRIPTION
12/2/19	1	PER ARCHITECT COMMENTS
10/17/19	2	REVIEW COMMENTS
9/9/19	1	REVIEW COMMENTS

DEVELOPER/OWNER:
RED LION BEEF CORPORATION
12977 N FORTY DRIVE, SUITE 100
ST. LOUIS, MO 63141
(314) 821-8665

THE PROFESSIONAL WHOSE SIGNATURE AND PERSONAL SEAL APPEAR HEREON HAS REVIEWED THIS DRAWING FOR CONFORMANCE WITH THE PROFESSIONAL SEAL ACT AND THE PROFESSIONAL SEAL ACT. THE PROFESSIONAL WHOSE SIGNATURE AND PERSONAL SEAL APPEAR HEREON HAS REVIEWED THIS DRAWING FOR CONFORMANCE WITH THE PROFESSIONAL SEAL ACT AND THE PROFESSIONAL SEAL ACT. THE PROFESSIONAL WHOSE SIGNATURE AND PERSONAL SEAL APPEAR HEREON HAS REVIEWED THIS DRAWING FOR CONFORMANCE WITH THE PROFESSIONAL SEAL ACT AND THE PROFESSIONAL SEAL ACT.



LION'S CHOICE
SUMMIT ORCHARD
440 NW CHIPMAN ROAD
LEE'S SUMMIT, MO

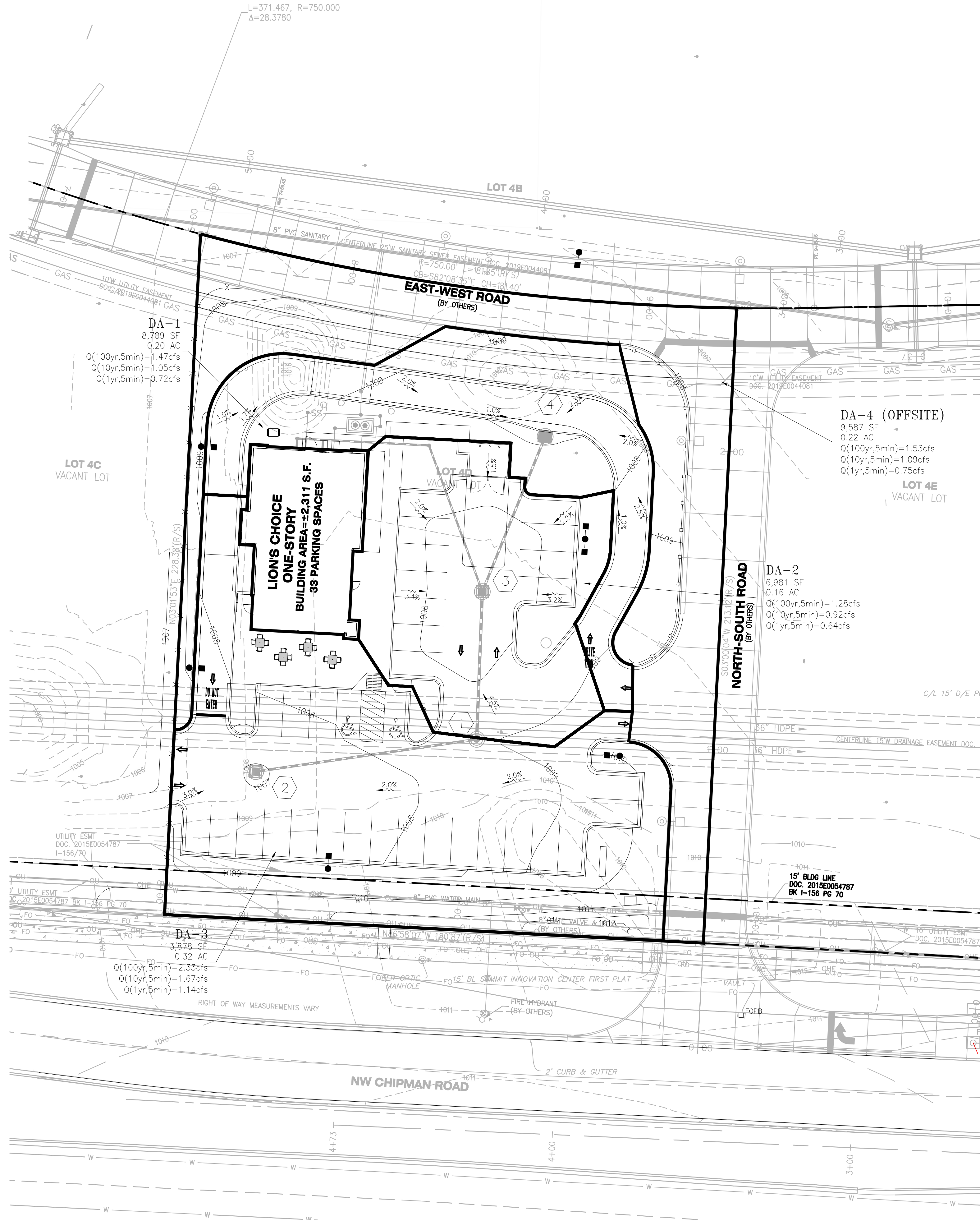
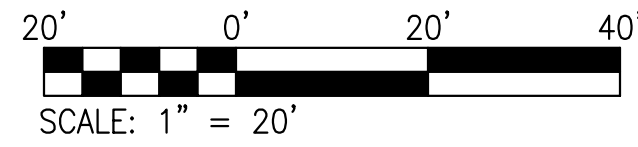
DRAINAGE AREA MAP (PRE)

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DRAWN BY	MAB
CHECKED BY	CAW
DRAWING SCALE	AS SHOWN
DATE	08/29/2019
Job Number	18-0136
Sheet Number	C9.0

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Q VALUES FOR CURB INLET (DA-1)
RATIONAL METHOD:
Q=CA
C (IMPERVIOUS) =0.90
C (PERVIOUS) =0.30

PERVIOUS AREA = 0.06 AC.
IMPERVIOUS AREA = 0.14 AC.
TOTAL AREA (A) = 0.20 AC.

100 YEAR STORM (1% CHANCE), 5 MIN. DURATION
I FOR 100 YEAR, 5 MINUTE DURATION = 10.2

Q(PER) =(0.30*10.2*0.06)
Q(PER) =0.18 CFS
Q(IMP) =(0.90*10.2*0.14)
Q(IMP) =1.29 CFS
Q100(TOTAL) =1.47 CFS

10 YEAR STORM (10% CHANCE), 5 MIN. DURATION
I FOR 10 YEAR, 5 MINUTE DURATION = 7.3

Q(PER) =(0.30*7.3*0.06)
Q(PER) =0.13 CFS
Q(IMP) =(0.90*7.3*0.14)
Q(IMP) =0.92 CFS
Q10(TOTAL) =1.05 CFS

1 YEAR STORM (100% CHANCE), 5 MIN. DURATION
I FOR 1 YEAR, 5 MINUTE DURATION = 5.0

Q(PER) =(0.30*5.0*0.06)
Q(PER) =0.09 CFS
Q(IMP) =(0.90*5.0*0.14)
Q(IMP) =0.63 CFS
Q1(TOTAL) =0.72 CFS

Q VALUES FOR GRATED INLET (DA-2)
RATIONAL METHOD:
Q=CA
C (IMPERVIOUS) =0.90
C (PERVIOUS) =0.30

PERVIOUS AREA = 0.03 AC.
IMPERVIOUS AREA = 0.13 AC.
TOTAL AREA (A) = 0.16 AC.

100 YEAR STORM (1% CHANCE), 5 MIN. DURATION
I FOR 100 YEAR, 5 MINUTE DURATION = 10.2

Q(PER) =(0.30*10.2*0.03)
Q(PER) =0.09 CFS
Q(IMP) =(0.90*10.2*0.13)
Q(IMP) =1.19 CFS
Q100(TOTAL) =1.28 CFS

10 YEAR STORM (10% CHANCE), 5 MIN. DURATION
I FOR 10 YEAR, 5 MINUTE DURATION = 7.3

Q(PER) =(0.30*7.3*0.03)
Q(PER) =0.07 CFS
Q(IMP) =(0.90*7.3*0.13)
Q(IMP) =0.85 CFS
Q10(TOTAL) =0.92 CFS

1 YEAR STORM (100% CHANCE), 5 MIN. DURATION
I FOR 1 YEAR, 5 MINUTE DURATION = 5.0

Q(PER) =(0.30*5.0*0.03)
Q(PER) =0.05 CFS
Q(IMP) =(0.90*5.0*0.13)
Q(IMP) =0.59 CFS
Q1(TOTAL) =0.64 CFS

Q VALUES FOR GRATED INLET (DA-3)
RATIONAL METHOD:
Q=CA
C (IMPERVIOUS) =0.90
C (PERVIOUS) =0.30

PERVIOUS AREA = 0.10 AC.
IMPERVIOUS AREA = 0.22 AC.
TOTAL AREA (A) = 0.32 AC.

100 YEAR STORM (1% CHANCE), 5 MIN. DURATION
I FOR 100 YEAR, 5 MINUTE DURATION = 10.2

Q(PER) =(0.30*10.2*0.10)
Q(PER) =0.31 CFS
Q(IMP) =(0.90*10.2*0.22)
Q(IMP) =2.02 CFS
Q100(TOTAL) =2.33 CFS

10 YEAR STORM (10% CHANCE), 5 MIN. DURATION
I FOR 10 YEAR, 5 MINUTE DURATION = 7.3

Q(PER) =(0.30*7.3*0.10)
Q(PER) =0.22 CFS
Q(IMP) =(0.90*7.3*0.22)
Q(IMP) =1.45 CFS
Q10(TOTAL) =1.67 CFS

1 YEAR STORM (100% CHANCE), 5 MIN. DURATION
I FOR 1 YEAR, 5 MINUTE DURATION = 5.0

Q(PER) =(0.30*5.0*0.10)
Q(PER) =0.15 CFS
Q(IMP) =(0.90*5.0*0.22)
Q(IMP) =0.99 CFS
Q1(TOTAL) =1.14 CFS

Q VALUES FOR OFFSITE DRAINAGE (DA-4)
RATIONAL METHOD:
Q=CA
C (IMPERVIOUS) =0.90
C (PERVIOUS) =0.30

PERVIOUS AREA = 0.08 AC.
IMPERVIOUS AREA = 0.14 AC.
TOTAL AREA (A) = 0.22 AC.

100 YEAR STORM (1% CHANCE), 5 MIN. DURATION
I FOR 100 YEAR, 5 MINUTE DURATION = 10.2

Q(PER) =(0.30*10.2*0.08)
Q(PER) =0.24 CFS
Q(IMP) =(0.90*10.2*0.14)
Q(IMP) =1.29 CFS
Q100(TOTAL) =1.53 CFS

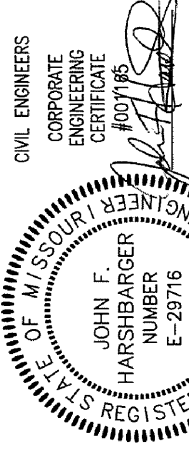
10 YEAR STORM (10% CHANCE), 5 MIN. DURATION
I FOR 10 YEAR, 5 MINUTE DURATION = 7.3

Q(PER) =(0.30*7.3*0.08)
Q(PER) =0.17 CFS
Q(IMP) =(0.90*7.3*0.14)
Q(IMP) =0.92 CFS
Q10(TOTAL) =1.09 CFS

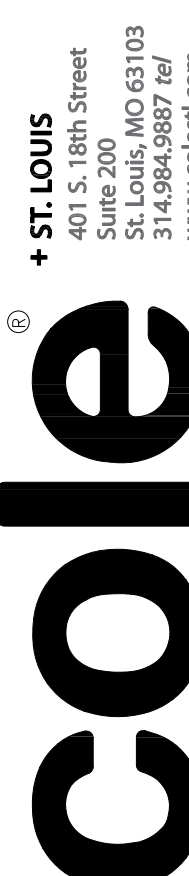
1 YEAR STORM (100% CHANCE), 5 MIN. DURATION
I FOR 1 YEAR, 5 MINUTE DURATION = 5.0

Q(PER) =(0.30*5.0*0.08)
Q(PER) =0.12 CFS
Q(IMP) =(0.90*5.0*0.14)
Q(IMP) =0.63 CFS
Q1(TOTAL) =0.75 CFS

DEVELOPER/OWNER:
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440 NW CHIPMAN ROAD
LEE'S SUMMIT, MO



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DATE
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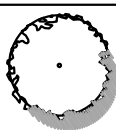
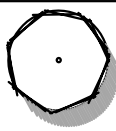
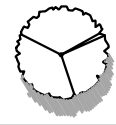
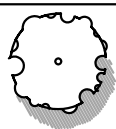
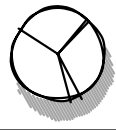
Job Number
18-0136

Sheet Number
C9.1

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LANDSCAPE AND TREE REQUIREMENTS			
LEE'S SUMMIT UDO - SECTION 8.790 (a) (1)&(3) - STREET FRONTAGE			
REQUIREMENT	AREA / MEASUREMENT	REQ'D	PROV'D
NW CHIPMAN ROAD 1 TREE FOR EVERY 30 LINEAL FEET OF FRONTAGE AND 1 SHRUB FOR EVERY 20 LINEAL FEET OF STREET FRONTAGE	+/- 167 LF OF FRONTAGE 167/30=5.6 ~ 6 TREES 167/20=8.35 ~ 9 SHRUBS	6 TREES 9 SHRUBS	6 TREES 49 SHRUBS AS REQUIRED BY SECT. 8.820 (C) (1)
EAST-WEST ROAD 1 TREE FOR EVERY 30 LINEAL FEET OF FRONTAGE AND 1 SHRUB FOR EVERY 20 LINEAL FEET OF STREET FRONTAGE	+/- 167 LF OF FRONTAGE 167/30=5.6 ~ 6 TREES 167/20=8.35 ~ 9 SHRUBS	6 TREES 9 SHRUBS	6 TREES 12 SHRUBS
LEE'S SUMMIT UDO - SECTION 8.790 (b) (1) - OPEN YARD AREAS			
2 SHRUBS PER 5,000 S.F. OF TOTAL LOT AREA	39,247.8 S.F. TOTAL LOT AREA 39,247.8/5,000 = 7.8 7.8x2 = 15.6 ~ 16 SHRUBS REQ.	16 SHRUBS	16 SHRUBS
LEE'S SUMMIT UDO - SECTION 8.790 (b) (3) - OPEN YARD AREAS			
1 TREE FOR EVERY 5,000 S.F. OF LOT AREA NOT COVERED BY BUILDINGS	39,247.8 S.F. TOTAL LOT AREA 39,247.8-2,285 = 36,962.8 S.F. 36,962.8/5,000 = 7.4 ~ 8 TREES REQ.	8 TREES	8 TREES
LEE'S SUMMIT UDO - SECTION 8.820 (c) (1) - SCREENING PARKING LOT			
NW CHIPMAN ROAD A HEDGE WITH MIN. 12 SHRUBS PER 40 LINEAR FEET MIN. 18" TALL AT INSTALL.	+/- 167 LF OF FRONTAGE 167/40=4.1 4.1x12 = 49 SHRUBS	49 SHRUBS	49 SHRUBS
NORTH-SOUTH ROAD A HEDGE WITH MIN. 12 SHRUBS PER 40 LINEAR FEET MIN. 18" TALL AT INSTALL.	+/- 136 LF OF FRONTAGE 136/40=3.4 3.4x12 = 41 SHRUBS	41 SHRUBS	41 SHRUBS

PLANT SCHEDULE						
CANOPY TREES	QTY	BOTANICAL NAME	COMMON NAME	SPACING	SIZE	COMMENTS
	3	Acer Rubrum	Red Maple	As Shown	3"Cal.	B&B
	4	Tilia americana	American Linden	As Shown	3"Cal.	B&B
	9	Gleditsia triacanthos f. inermis 'Skycole' SKYLINE	Skyline Honeylocust	As Shown	3"Cal.	B&B
FLOWERING ORNAMENTAL TREES	QTY	BOTANICAL NAME	COMMON NAME	SPACING	SIZE	COMMENTS
	1	Cercis canadensis	Eastern Redbud	As Shown	3"Cal.	B&B
	2	Betula nigra	River Birch	As Shown	3"Cal.	B&B
	2	Chionanthus retusus	Chinese Fringe Tree	As Shown	3"Cal.	B&B
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SPACING	SIZE	COMMENTS
	18	Rhus aromatica 'Grow-Low'	Fragrant sumac	As Shown	18"-24" min.	Cont.
	25	SCHIZACHYRIUM SCOPARIUM	LITTLE BLUESTEM	As Shown	3 GAL.	Cont.
	18	Physocarpus opulifolius 'SMPOTW'	Tiny Wine Ninebark	As Shown	24" min.	Cont.
	45	Ceanothus americanus	New Jersey Tea	As Shown	24" min.	Cont.
	24	Juniperus x pfitzeriana 'Sea Green'	Chinese Juniper	As Shown	30" min.	Cont.
	23	Rhamnus frangula	Fine Line Buckthorn	As Shown	36" ht. min.	Cont.
ORNAMENTAL GRASS	QTY	BOTANICAL NAME	COMMON NAME	SPACING	SIZE	COMMENTS
	75	Sporobolus heterolepis	Prairie Dropseed	24" o.c.	1 gal.	Cont.
PERENNIALS	QTY	BOTANICAL NAME	COMMON NAME	SPACING	SIZE	COMMENTS
	27	Echinacea purpurea	Purple Coneflower	As Shown	1gal.	Cont.

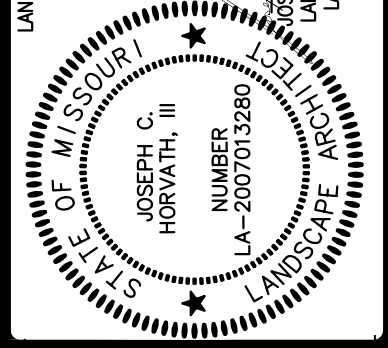
LANDSCAPE NOTES:

1. LANDSCAPE CONTRACTOR TO VERIFY LOCATION OF UNDERGROUND UTILITIES BEFORE BEGINNING WORK.
2. ALL LANDSCAPE SHALL COMPLY WITH THE CURRENT EDITION OF ANSI Z 60.1 "AMERICAN STANDARD FOR NURSERY STOCK."
3. ALL PLANTS SHALL MEET THE REQUIREMENTS OF THE STATE AND FEDERAL LAW WITH RESPECT TO DISEASE AND INSECT INFESTATION.
4. ALL PLANT BEDS SHALL BE MULCHED WITH DECORATIVE GRAVEL, 2" MIN. DEPTH WITH LANDSCAPE FABRIC. SUBMIT SAMPLE TO OWNERS REPRESENTATIVE FOR APPROVAL.
5. GENERAL CONTRACTOR SHALL INSTALL DECORATIVE GRAVEL. DECORATIVE GRAVEL COLOR SHALL MATCH BUILDING COLOR AND BE 5/8"-1" IN SIZE.
6. ALL LANDSCAPE SUBSTITUTIONS MUST BE APPROVED BY THE OWNER'S REPRESENTATIVE/LANDSCAPE ARCHITECT.
7. FORMAL LINES AND GROUPINGS OF A SPECIES OF TREE, SHRUB, OR GROUNDCOVER SHALL BE MATCHED FOR SIZE, FORM, AND COLOR.
8. ALL BACKFILL IN PLANTING BEDS AND TREE PITS SHALL BE BACKFILLED WITH PLANTING SOIL.
9. ALL TREES OUTSIDE OF PLANT BEDS SHALL BE PLANTED WITH A MULCH RING. OBTAIN APPROVAL FROM OWNER'S REPRESENTATIVE/LANDSCAPE ARCHITECT FOR ANY TREES THAT WILL NOT BE MULCHED FOR EXCESSIVE MOISTURE REASONS.
10. ALL LANDSCAPING SHALL BE INSTALLED AS SHOWN ON THE APPROVED PLAN.
11. AT PLANTING, TREE TRUNKS MUST BE STRAIGHT WITH MINIMAL DOGLEGES.
12. WIRE BASKETS, BURLAP WRAPPINGS, ROPE, TWINE OR ANY SIMILAR SHIPPING MATERIALS SHALL BE REMOVED BEFORE PLANTING.
13. A SPADE CUT EDGE SHALL BE CREATED AT ALL LOCATIONS WHERE PLANTING BEDS ARE ADJACENT TO GRASS AREAS UNLESS OTHERWISE NOTED.
14. SEE CIVIL PLANS FOR TYPE AND LOCATION OF EROSION CONTROL MATERIALS.
15. DO NOT DISTURB EXISTING UTILITIES WITHIN WORK AREA. SILT FENCE AND PLANTINGS SHALL AVOID ANY EXISTING UTILITIES.
16. THE CONTRACTOR SHALL FOLLOW THE LANDSCAPE PLANS. ANY SUBSTITUTION OR ALTERATION SHALL NOT BE ALLOWED WITHOUT APPROVAL OF THE OWNER'S REPRESENTATIVE/LANDSCAPE ARCHITECT. OVERALL PLANT QUANTITY AND QUALITY SHALL BE CONSISTENT WITH THE PLANS.
17. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES. WRITTEN QUANTITIES TAKES PRECEDENCE OVER GRAPHIC QUANTITIES. NOTIFY OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES.
18. THE OWNER'S REPRESENTATIVE/LANDSCAPE ARCHITECT RESERVES THE RIGHT TO INSPECT AND TAG ALL PLANT MATERIAL PRIOR TO SHIPPING TO THE SITE. IN ALL CASES, THE LANDSCAPE ARCHITECT MAY REJECT PLANT MATERIAL AT THE SITE IF MATERIAL IS DAMAGED, DISEASED, OR DECLINING IN HEALTH AT THE TIME OF ONSITE INSPECTIONS OR IF THE PLANT MATERIAL DOES NOT MEET THE MINIMUM SPECIFIED STANDARD IDENTIFIED ON THE PLANS AND IN THE SPECIFICATIONS. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER'S REPRESENTATIVE/LANDSCAPE ARCHITECT FOR INSPECTION AND APPROVAL OF ALL MATERIALS AND PRODUCTS PRIOR TO INSTALLATION.
19. THE OWNER'S REPRESENTATIVE/LANDSCAPE ARCHITECT MAY ELECT TO UPSIZE PLANT MATERIAL AT THEIR DISCRETION BASED ON SELECTION, AVAILABILITY, OR TO ENHANCE SPECIFIC AREAS OF THE PROJECT. THE CONTRACTOR SHALL VERIFY PLANT MATERIAL SIZES WITH OWNER'S REPRESENTATIVE/LANDSCAPE ARCHITECT PRIOR TO PURCHASING, SHIPPING OR STOCKING OF PLANT MATERIALS. SUBMIT CHANGE ORDER REQUEST TO OWNER'S REPRESENTATIVE/LANDSCAPE ARCHITECT FOR APPROVAL. IF ADDITIONAL COST IS REQUIRED BY THE CONTRACTOR PRIOR TO INSTALLATION, RE-STOCKING CHARGES WILL NOT BE APPROVED IF THE CONTRACTOR FAILS TO SUBMIT A REQUEST FOR MATERIAL CHANGES.
20. THE CONTRACTOR SHALL WARRANTY ALL CONTRACTED WORK AND MATERIALS FOR A PERIOD OF ONE YEAR AFTER SUBSTANTIAL COMPLETION HAS BEEN ISSUED BY THE OWNER'S REPRESENTATIVE/LANDSCAPE ARCHITECT FOR THE ENTIRE PROJECT UNLESS OTHERWISE SPECIFIED IN THE CONTRACT DOCUMENTS OR SPECIFICATIONS.
21. THE DEVELOPER, HIS SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE INSTALLATION, MAINTENANCE AND REPLACEMENT OF ALL LANDSCAPING MATERIALS SHOWN OR INDICATED ON THE APPROVED LANDSCAPE PLAN ON FILE WITH THE PLANNING DEPARTMENT. ALL LANDSCAPING WILL BE INSTALLED AS DELINEATED ON THE PLAN, PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY.
22. IN ADDITION TO INSTALLATION OF PLANT MATERIALS, AREAS THAT HAVE BEEN COMPACTED OR DISTURBED BY CONSTRUCTION ACTIVITY SHALL BE THOROUGHLY LOOSENEED TO A DEPTH OF 8" - 12" AND AMENDED.
23. ALL LANDSCAPED AREAS ARE TO HAVE SOIL PREPARATION, (MINIMUM RATE OF 3 CU. YDS. OF ORGANIC MATTER PER 1000 S.F.). TREES SHALL NOT BE LOCATED IN DRAINAGE SWALES, DRAINAGE AREAS, OR UTILITY EASEMENTS. CONTACT OWNER'S REPRESENTATIVE/LANDSCAPE ARCHITECT FOR RELOCATION OF PLANTS IN QUESTIONABLE AREAS PRIOR TO INSTALLATION.
24. ALL TREES ARE TO BE STAKED AND GUYED FOR A PERIOD OF 1 YEAR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING STAKES AT THE END OF 1 YEAR FROM COMMENCEMENT OF LANDSCAPE INSTALLATION BY THE OWNER'S REPRESENTATIVE/LANDSCAPE ARCHITECT. OBTAIN APPROVAL BY OWNER'S REPRESENTATIVE PRIOR TO REMOVING STAKES.
25. PLACE PLANT MATERIAL IN SHRUB BED SO THAT ONCE PLANTS GROW TO FULL SIZE THEY ARE FULLY CONTAINED WITHIN THE SHRUB BED AREA AND DO NOT HANG OVER THE EDGER LINE.
26. REFER TO IRRIGATION PLANS BY OTHERS FOR LIMITS AND TYPES OF IRRIGATION DESIGNED FOR THE LANDSCAPE. IN NO CASE SHALL IRRIGATION BE EMITTED WITHIN THE MINIMUM DISTANCE FROM BUILDING OR WALL FOUNDATIONS AS STIPULATED IN THE GEOTECHNICAL REPORT. ALL IRRIGATION DISTRIBUTION LINES, HEADS AND EMITTERS SHALL BE KEPT UP OUTSIDE THE MINIMUM DISTANCE AVOID FROM ALL BUILDING AND WALL FOUNDATIONS AS STIPULATED IN THE GEOTECHNICAL REPORT.
27. LANDSCAPE AREAS SHALL BE IRRIGATED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM WITH INDIVIDUAL ZONES FOR TURF AND NON-TURF AREAS, AND MUST INCLUDE A MOISTURE DETECTION DEVICE FOR PREVENT OPERATION DURING RAINY PERIODS. TURF AREAS SHALL BE IRRIGATED WITH AN AUTOMATIC POP-UP IRRIGATION SYSTEM. SHRUB AND PERENNIAL BEDS SHALL HAVE DRIP IRRIGATION.
28. LANDSCAPE MATERIAL LOCATIONS SHALL HAVE PRECEDENCE OVER IRRIGATION MAINLINE AND LATERAL LOCATIONS. COORDINATE INSTALLATION OF IRRIGATION EQUIPMENT SO THAT IT DOES NOT INTERFERE WITH THE PLANTING OF TREES OR OTHER LANDSCAPE MATERIAL.
29. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING POSITIVE DRAINAGE EXISTS IN ALL LANDSCAPE AREAS. SURFACE DRAINAGE ON LANDSCAPE AREAS SHALL BE SLOPED DOWN AWAY FROM FOUNDATIONS. PER THE GEOTECHNICAL REPORT RECOMMENDATIONS ALL LANDSCAPE AREAS BETWEEN WALLS AND CURBS SHALL DRAIN FREELY TO THE CURB UNLESS OTHERWISE IDENTIFIED ON THE GRADING PLAN. IN NO CASE SHALL THE GRADE, TURF THATCH, OR OTHER LANDSCAPE MATERIALS DAM WATER AGAINST WALLS. MINIMUM SLOPES ON LANDSCAPE AREAS SHALL BE 2%; MAXIMUM SLOPE SHALL BE 25% UNLESS SPECIFICALLY IDENTIFIED ON THE PLANS OR APPROVED BY THE OWNER'S REPRESENTATIVE/LANDSCAPE ARCHITECT.
30. SHRUB, GROUNDCOVER AND PERENNIAL BEDS ARE TO BE CONTAINED BY A SPADE CUT EDGE. EDGER IS NOT REQUIRED WHEN ADJACENT TO CURBS, WALLS, WALKS OR SLOD FENCES WITHIN 3' OF PRE-MULCHED FINAL GRADE. EDGER SHALL NOT BE REQUIRED TO SEPARATE MULCH TYPES UNLESS SPECIFIED ON THE PLANS.
31. SEE TURF SPECIFICATIONS FOR TURF SEEDING CHANGES. MAINTAIN TURF SEEDING AREAS TO MATCH EXISTING TURF AREAS.
32. EXISTING TURF AREAS THAT ARE DISTURBED DURING CONSTRUCTION, ESTABLISHMENT AND THE MAINTENANCE PERIOD SHALL BE RESTORED WITH NEW SOD TO MATCH EXISTING TURF SPECIES. DISTURBED NATIVE AREAS WHICH ARE TO REMAIN SHALL BE OVER SEEDDED AND RESTORED WITH SPECIFIED SEED MIX.
33. WHEN COMPLETE, ALL GRADES SHALL BE WITHIN +/- 1/8" OF FINISHED GRADES AS SHOWN ON THE PLANS. THESE PLANS ARE NOT INTENDED FOR CONSTRUCTION OR PERMITTING UNLESS STATED IN THE TITLE BLOCK.
34. DRAWINGS ARE INTENDED TO BE PRINTED ON 24" X 36" PAPER. PRINTING THESE DRAWINGS AT A DIFFERENT SIZE WILL IMPACT THE SCALE. VERIFY THE GRAPHIC SCALE BEFORE REFERRING ANY MEASUREMENTS ON THESE SHEETS. THE RECIPIENT OF THESE DRAWINGS SHALL BE RESPONSIBLE FOR ANY ERRORS RESULTING FROM SCALE OR PRINTING DIMENSION CHANGES.
35. VERIFY ALL PLAN DIMENSIONS PRIOR TO START OF CONSTRUCTION. NOTIFY THE OWNER'S REPRESENTATIVE TO ADDRESS ANY QUESTIONS OR CLARIFY ANY DISCREPANCIES.
36. VERIFY DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
37. SUBMIT A CHANGE ORDER FOR APPROVAL FOR ANY CHANGES TO WORK SCOPE RESULTING FROM FIELD CONDITIONS OR DIRECTION BY OWNER'S REPRESENTATIVE WHICH REQUIRE ADDITIONAL COST TO THE OWNER PRIOR TO PERFORMANCE OF WORK.
38. A METAL EDGE SHALL BE CREATED AT ALL LOCATIONS WHERE TURF IS ADJACENT TO GRAVEL PLANT BEDS.

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