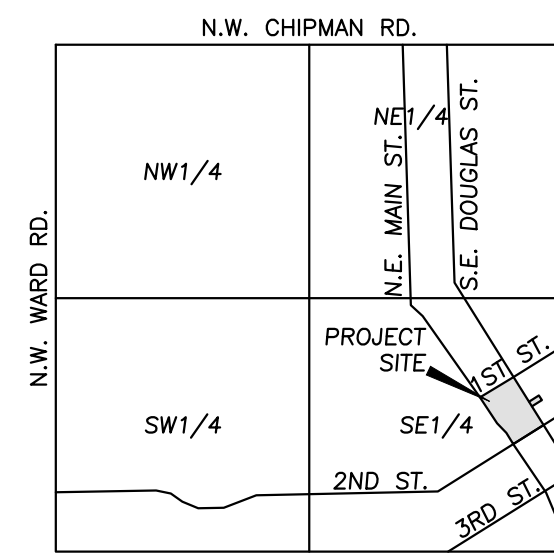




Know what's **below**.  
**Call** before you dig.

UTILITY NOTES:  
VISUAL INDICATIONS OF UTILITIES ARE AS SHOWN.  
UNDERGROUND LOCATIONS SHOWN, AS FURNISHED BY THEIR  
LESSORS, ARE APPROXIMATE AND SHOULD BE VERIFIED IN  
THE FIELD AT THE TIME OF CONSTRUCTION. FOR ACTUAL  
FIELD LOCATIONS OF UNDERGROUND UTILITIES CALL 811.

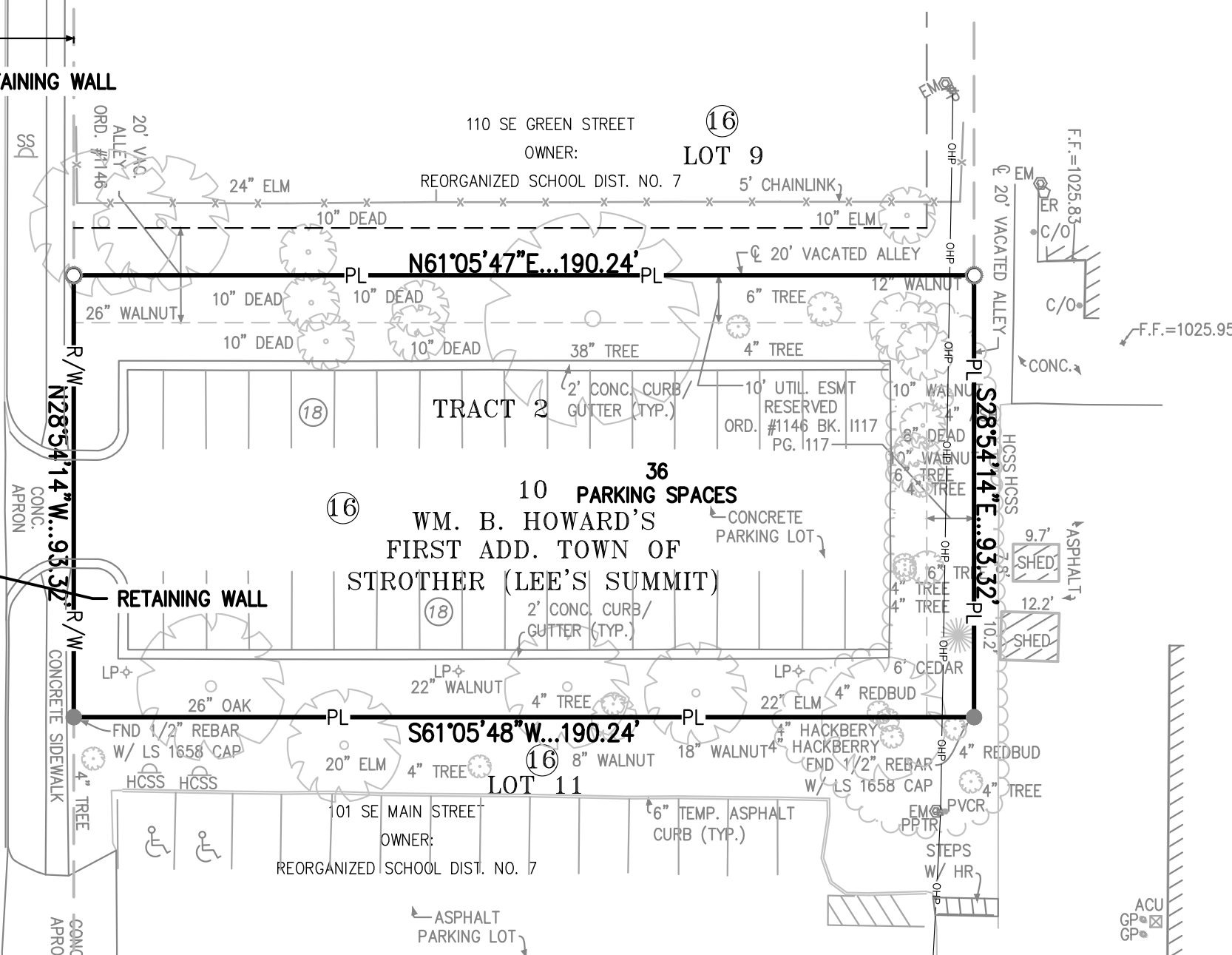


VICINITY MAP  
SEC. 6-T47N-R31W

**LEGAL DESCRIPTION:**

LOT 1, DOWNTOWN LEE'S SUMMIT APARTMENTS, A SUBDIVISION IN LEE'S SUMMIT, JACKSON COUNTY, MISSOURI  
TOGETHER WITH:







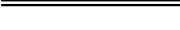


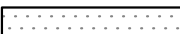


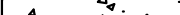
LOT 10, BLOCK 16, WM. B. HOWARD'S FIRST ADDITION TO THE TOWN OF STROTHER, NOW THE CITY OF LEE'S SUMMIT, A SUBDIVISION IN LEE'S SUMMIT, JACKSON COUNTY, MISSOURI, TOGETHER WITH THE SOUTHEASTERLY HALF OF THE VACATED ALLEY LYING NORTHWESTERLY AND ADJOINING AND ALSO TOGETHER WITH THE SOUTHWESTERLY HALF OF THE VACATED ALLEY LYING NORTHEASTERLY AND ADJOINING.



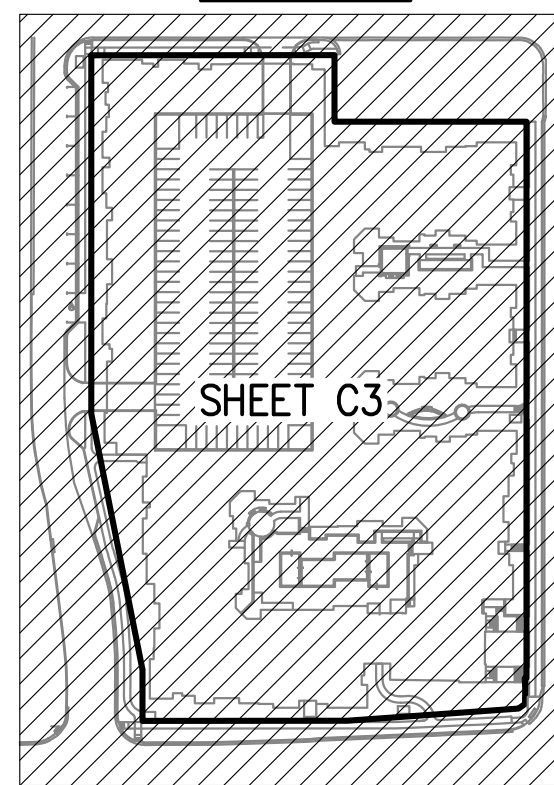
**FLOOD NOTE:**

THE SUBJECT PROPERTY LIES WITHIN ZONE X, DEFINED AS AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS SHOWN ON THE FLOOD INSURANCE RATE MAP PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY FOR THE CITY OF LEE'S SUMMIT, COMMUNITY NO. 290174, JACKSON COUNTY, MISSOURI, MAP NO. 29095C0417G, AND DATED JANUARY 20, 2017.

**LEGEND**

	PROPERTY LINE
	LOT LINE
	RIGHT-OF-WAY
	2' CURB & GUTTER
	6" CURB
	ASPHALT PAVEMENT
	PROPOSED BUILDING
	CONCRETE PAVEMENT
	CONCRETE SIDEWALK (PUBLIC)
	CONCRETE SIDEWALK (PRIVATE)
	RETAINING WALL
	HANDRAIL
	LIGHT POLE

## KEY PLAN



**SITE PLAN NOTES:**

- A) All construction materials and procedures on this project shall conform to the latest revision of the following governing requirements, incorporated herein by reference:
  - A) City ordinances and O.S.H.A. Regulations.
  - B) The City of Lee's Summit Technical Specifications and Municipal Code.
  - C) All construction shall follow the City of Lee's Summit Design and Construction Manual as adopted by Ordinance 5813. Where discrepancies exist between these plans and the Design and Construction Manual, the Design and Construction Manual shall prevail.
2. The contractor shall have one (1) signed copy of the plans (approved by the City) and one (1) copy of the appropriate Design and Construction Standards and Specifications at the job site at all times.
3. The contractor will be responsible for securing all permits, bonds and insurance required by the contract documents, City of Lee's Summit, Missouri, and all other governing agencies (including local, county, state and federal authorities) having jurisdiction over the work proposed by these construction documents. The cost for all permits, bonds and insurance shall be the contractors' responsibility and shall be included in the bid for the work.
4. The contractor is responsible for coordination of his and his sub-contractor's work. The contractor shall assume all responsibility for protecting and maintaining his work during the construction period and between the various trades/sub-contractors constructing the work.
5. The demolition and removal/(or relocation) of existing pavement, curbs, structures, utilities, and all other features necessary to construct the proposed improvements, shall be performed by the contractor. All waste material removed during construction shall be disposed off the project site. The contractor shall be responsible for all permits for hauling and disposing of waste material. The disposal of waste material shall be in accordance with all local, state and federal regulations.
6. Contractor shall be responsible for all relocations, including but not limited to, all utilities, storm drainage, sanitary sewer, electric signs, traffic signals & poles, etc., as required. All work shall be in accordance with governing authorities specifications and shall be approved by such. All cost shall be included in base bid.
7. All existing utilities indicated on the drawings are according to the best information available to the Engineer; however, all utilities actually existing may not be shown. The contractor shall be responsible for contacting all utility companies for an exact field location of each utility prior to any construction. All underground utilities shall be protected at the contractor's expense. All utilities, shown and unshown, damaged through the negligence of the contractor shall be repaired or replaced by the contractor at his expense.
8. The contractor will be responsible for all damage to existing utilities, pavement, fences, structures and other features not designated for removal. The contractor shall repair all damages at his expense.
9. The contractor shall verify the flow lines of all existing storm or sanitary sewer connections and utility crossings prior to the start of construction. Notify the engineer of any discrepancies.
10. **SAFETY NOTICE TO CONTRACTOR:** In accordance with generally accepted construction practices, the contractor shall be solely and completely responsible for conditions of the job site, including safety of all persons and property during performance of the work. This requirement will apply continuously and not be limited to normal working hours. Any claim by the contractor or his subcontractor that the contractor's performance is not intended to include review of the adequacy of the contractor's safety measures, in, on or near the construction site.
11. All site concrete (curbs, pavements, sidewalks, etc.) shall meet Kansas city materials metro board (kcmmb) mix design # 1000 or equivalent, air entrained concrete. APTMA detail references are provided for all geometrical and other design information.

**SITE DIMENSION NOTES:**

1. BUILDING TIES SHOWN ARE TO THE OUTSIDE FACE OF PROPOSED WALLS. THE SUBCONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR SPECIFIC DIMENSIONS AND LAYOUT INFORMATION FOR THE BUILDINGS.
2. ALL DIMENSIONS SHOWN FOR THE PARKING LOT AND CURBS ARE MEASURED FORM BACK OF CURB TO BACK OF CURB.

**PAVEMENT MARKING AND SIGNAGE NOTES:**

1. ALL PAVEMENT MARKINGS AND SIGNAGE SHALL BE PER CITY OF LEE'S SUMMIT SPECIFICATIONS.

## SITE DATA

Site Area – Lot 1	162,666 S.F./3.734 Ac.
Site Area – Tract 2	17,752 S.F./0.408 Ac.
Zoning – Existing	Planned Central Business
Zoning – Proposed	Planned Central Business
Existing Land Use:	Church
Proposed Land Use:	Apartments
Impervious (Existing)	114,837 S.F. (70.6%)
Impervious (Proposed)	124,154 S.F. (76.3%)

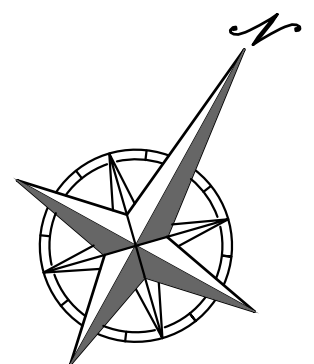
## BUILDING DATA

Existing Church/Leasing Office	12,207 S.F.
Proposed Multi-Family (4 story)	319,206 S.F.
Total Building S.F.	331,233 S.F.
Studio Units	18
One Bedroom Units	160
Two Bedroom Units	95
Total Units	273
Lot 1 – Floor Area Ratio (FAR)	2.04
Lot 1 – Total Units / Acre	73.1

## PARKING SUMMARY

<b>City Parking Required:</b>		
1 Space per Studio Unit		18 Spaces
1.5 Spaces per One Bedroom Unit		240 Spaces
2 Spaces per Two Bedroom Unit		143 Spaces
<b>Total Parking without Visitors</b>		<b>401 Spaces</b>
0.5 Spaces per Unit for Visitors		137 Spaces
<b>Total Parking Required</b>		<b>538 Spaces</b>
<b>Parking Provided:</b>		
Garage Parking *		436 Spaces
Street Parking		8 Spaces
Tract Off-Site		8 Spaces
<b>Total Parking Provided</b>		<b>480 Spaces</b>

NOTE: ALL LIGHTING SHALL COMPLY WITH CITY OF  
LEE'S SUMMIT U.D.O. REQUIREMENTS.



SCALE: 1"=30'



**PHELPS ENGINEERING, INC.**  
1270 N. Winchester  
Olathe, Kansas 66061  
(913) 393-1155  
Fax (913) 393-1166  
[www.phelpsengineering.com](http://www.phelpsengineering.com)

## PLANNING ENGINEERING IMPLEMENTATION



# SITE PLAN

DOWNTOWN LEE'S SUMMIT APARTMENTS  
114 S.E. DOUGLAS STREET  
LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

By	Revisions:	Date	No.
			171125
			PROJECT NO.
			DATE: 01-28-2018 DRAWN: SNH
			CHECKED: DAF
			IMPROVED DESIGN
			CERTIFICATE OF AUTHORIZATION
			LAND SURVEYING — LS-82
			LAND SURVEYING — E-391
			CERTIFICATE OF AUTHORIZATION
			LAND SURVEYING — 2007001128

SHEET

C3