

AN ORDINANCE APPROVING A PRELIMINARY DEVELOPMENT PLAN LOCATED AT 2030 NW O'BRIEN ROAD IN DISTRICT RP-3, PROPOSED WOODSIDE RIDGE SUBDIVISION POOL, IN ACCORDANCE WITH THE PROVISIONS OF CHAPTER 33, THE UNIFIED DEVELOPMENT ORDINANCE OF LEE'S SUMMIT CODE OF ORDINANCES, FOR THE CITY OF LEE'S SUMMIT, MISSOURI.

WHEREAS, Application #PL2019-351, submitted by Clayton Properties Group, Inc., requesting approval of a preliminary development plan in District RP-3 (Planned Residential Mixed Use District) on land located at 2030 NW O'Brien Rd was referred to the Planning Commission to hold a public hearing; and,

WHEREAS, the Unified Development Ordinance provides for the approval of a preliminary development plan by the City following public hearings by the Planning Commission and City Council, and,

WHEREAS, after due public notice in the manner prescribed by law, the Planning Commission held a public hearing for the consideration of the preliminary development plan on December 12, 2019, and rendered a report to the City Council recommending that the preliminary development plan be approved; and,

WHEREAS, after due public notice in the manner prescribed by law, the City Council held a public hearing on January 7, 2020 and approved a motion for a second ordinance reading to approve the preliminary development plan for said property.

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF LEE'S SUMMIT, MISSOURI, as follows:

SECTION 1. That a preliminary development plan is hereby approved in District RP-3 on the following described property:

A tract of land in the Northeast Quarter and Southeast Quarter of Section 2, Township 47 North, Range 32 West of the 5th Principal Meridian in Lee's Summit, Jackson County, Missouri being bounded and described as follows: Commencing at the Southeast corner of said Southeast Quarter; thence North 02°53'56" East, along the East line of said Southeast Quarter, 1,328.34 feet; thence North 87°49'43" West, along the South line of the North Half of said Southeast Quarter, said line also being the North line and it's Easterly extension of STERLING HILLS 1ST PLAT, a subdivision of land in said Lee's Summit, Jackson County, Missouri, 580.00 feet to the Point of Beginning of the tract of land to be herein described; thence continuing North 87°49'43" West along said line and the North line of STERLING HILLS 3RD PLAT, a subdivision of land in said Lee's Summit, Jackson County, Missouri, 2,048.70 feet to the Southwest corner of the North Half of said Southeast Quarter, said corner also being a point on the East line of STERLING HILLS 5TH PLAT, a subdivision of land in said Lee's Summit, Jackson County, Missouri; thence North 03°05'41" East, along the West line of said Southeast Quarter, said line also being the East line of said STERLING HILLS 5TH PLAT, 1,325.87 feet to the Northwest corner of said Southeast Quarter; thence North 03°26'14" East, along the West line of said Northeast Quarter, said line also being the East line of WINTERSET WOODS 3RD PLAT, a subdivision of land in said Lee's Summit, Jackson County, Missouri, 665.72 feet to the Northwest corner of the South Half of the South Half of said Northeast Quarter, said corner also

being a point on the South line of THE FORESTS OF BROOKRIDGE ESTATES SECOND PLAT, a subdivision of land in said Lee's Summit, Jackson County, Missouri; thence South 87°37'42" East, along the South line of said THE FORESTS OF BROOKRIDGE ESTATES SECOND PLAT and the South line of THE FORESTS OF BROOKRIDGE ESTATES THIRD PLAT, a subdivision of land in said Lee's Summit, Jackson County, Missouri 1,210.45 feet to the Southeast corner of said THE FORESTS OF BROOKRIDGE ESTATES THIRD PLAT; thence North 03°27'53" East, along the East line of said THE FORESTS OF BROOKRIDGE ESTATES THIRD PLAT, 765.70 feet to the Southwest corner of Lot 1, VILLAGE CARE CENTER PLAT, a subdivision of land in said Lee's Summit, Jackson County, Missouri; thence South 87°23'49" East, along the South line of said Lot 1, 1,343.72 feet to a point on the West right-of-way line of NW Pryor Road, as now established, said point also being the Northeast corner of Lot 1, FOREST LAKE AT JOHN KNOX VILLAGE 1ST PLAT, a subdivision of land in said Lee's Summit, Jackson County, Missouri; thence South 03°27'53" West, along said West right-of-way line, 243.74 feet; thence South 87°23'49" East, continuing along said West right-of-way line, 20.00 feet; thence South 03°27'53" West, continuing along said West right-of-way line, 237.99 feet; thence North 86°32'07" West, 499.90 feet; thence South 03°27'53" West, 70.20 feet; thence North 86°32'07" West, 200.00 feet; thence South 03°27'53" West, 221.62 feet to a point on the North line of the South Half of the South Half of said Northeast Quarter; thence South 87°37'42" East, 200.04 feet to the Northwest corner of Lot 1, JOHN KNOX RETIREMENT VILLAGE 9TH/ PLAT, a subdivision of land in said Lee's Summit, Jackson County, Missouri; thence South 03°27'53" West, along the West line of said Lot 1, 362.00 feet to the Southwest corner of said Lot 1, said corner also being a point on the North right-of-way line of O'Brien Road, as now established; thence continuing South 03°27'53" West, 38.00 feet to a point on the South right-of-way line of said O'Brien Road; thence South 04°27'07" West, 289.53 feet; thence North 85°32'53" West, 175.00 feet; thence South 04°27'07" West, 425.00 feet; thence South 85°32'53" East, 175.00 feet; thence South 04°27'07" West, 484.59 feet; thence South 02°53'56" West, 60.12 feet; thence continuing South 02°53'56" West along said line, 325.85 feet to the Point of Beginning. Containing 4,872,919 square feet or 112.13 acres, more or less.

SECTION 2. That the following conditions of approval apply:

1. A modification shall be granted to the required 50' sports court setback along the west property line, to allow a 33' sports court setback along the west property line.

SECTION 3. That development shall be in accordance with the preliminary development plan, date stamped November 12, 2019.

SECTION 4. Nonseverability. All provisions of this ordinance are so essentially and inseparably connected with, and so dependent upon, each other that no such provision would be enacted without all others. If a court of competent jurisdiction enters a final judgment on the merits that is not subject to appeal and that declares any provision or part of this ordinance void, unconstitutional, or unenforceable, then this ordinance, in its collective entirety, is invalid and shall have no legal effect as of the date of such judgment.

SECTION 5. That failure to comply with all of the provisions contained in this ordinance shall constitute violations of both this ordinance and Chapter 33, the City's Unified Development Ordinance, of the Code of Ordinances for the City of Lee's Summit.

BILL NO. 20-03**ORDINANCE NO. 8792(a)**

SECTION 6. That this ordinance shall be in full force and effect from and after the date of its passage and adoption, and approval by the Mayor.

PASSED by the City Council of the City of Lee's Summit, Missouri, this 14th day of January, 2020.


Mayor William A. Baird

ATTEST:


City Clerk Trisha Fowler Arcuri

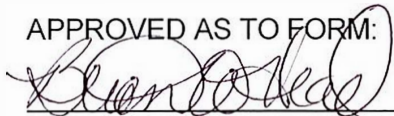
APPROVED by the Mayor of said city this 17th day of January, 2020.

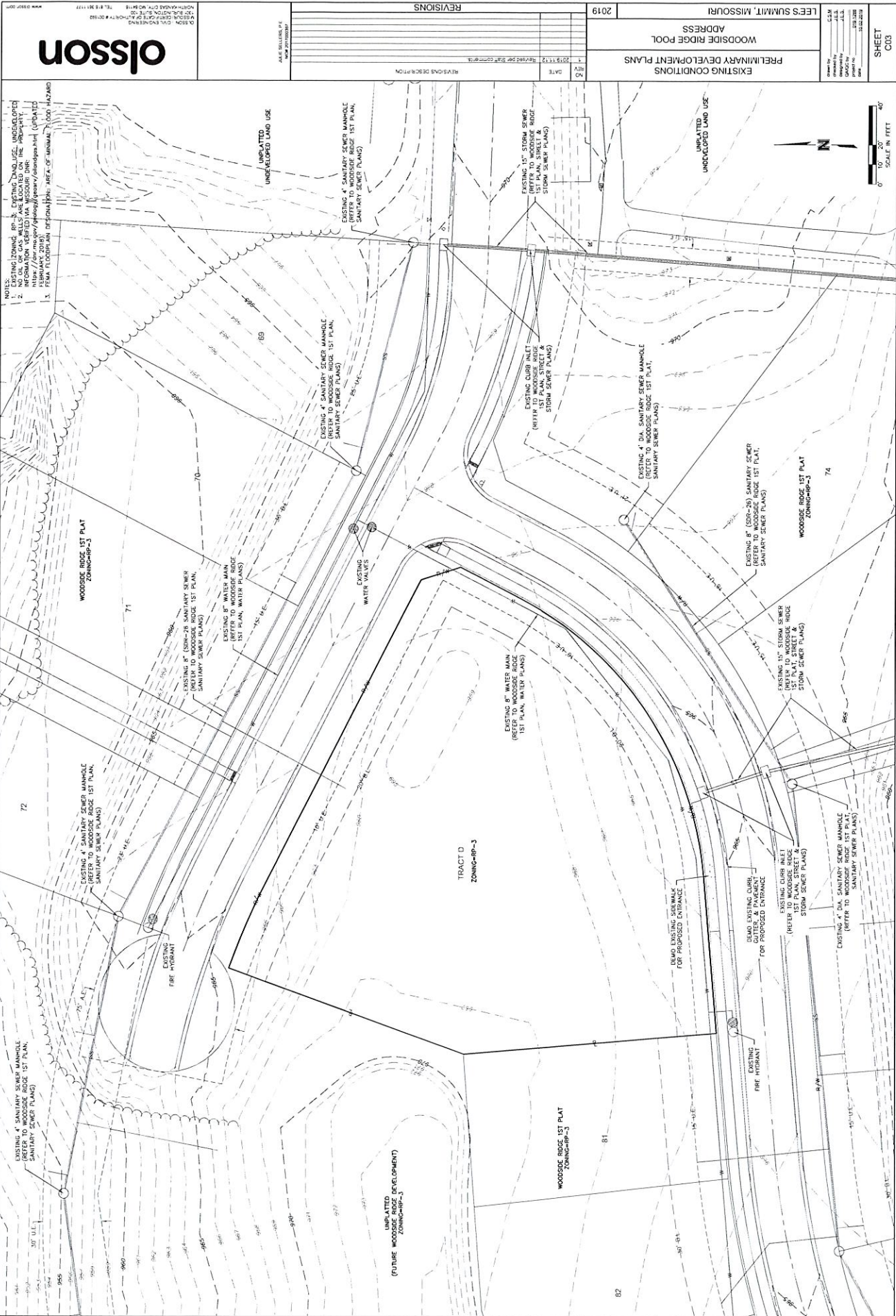

Mayor William A. Baird

ATTEST:


City Clerk Trisha Fowler Arcuri

APPROVED AS TO FORM:


City Attorney Brian W. Head



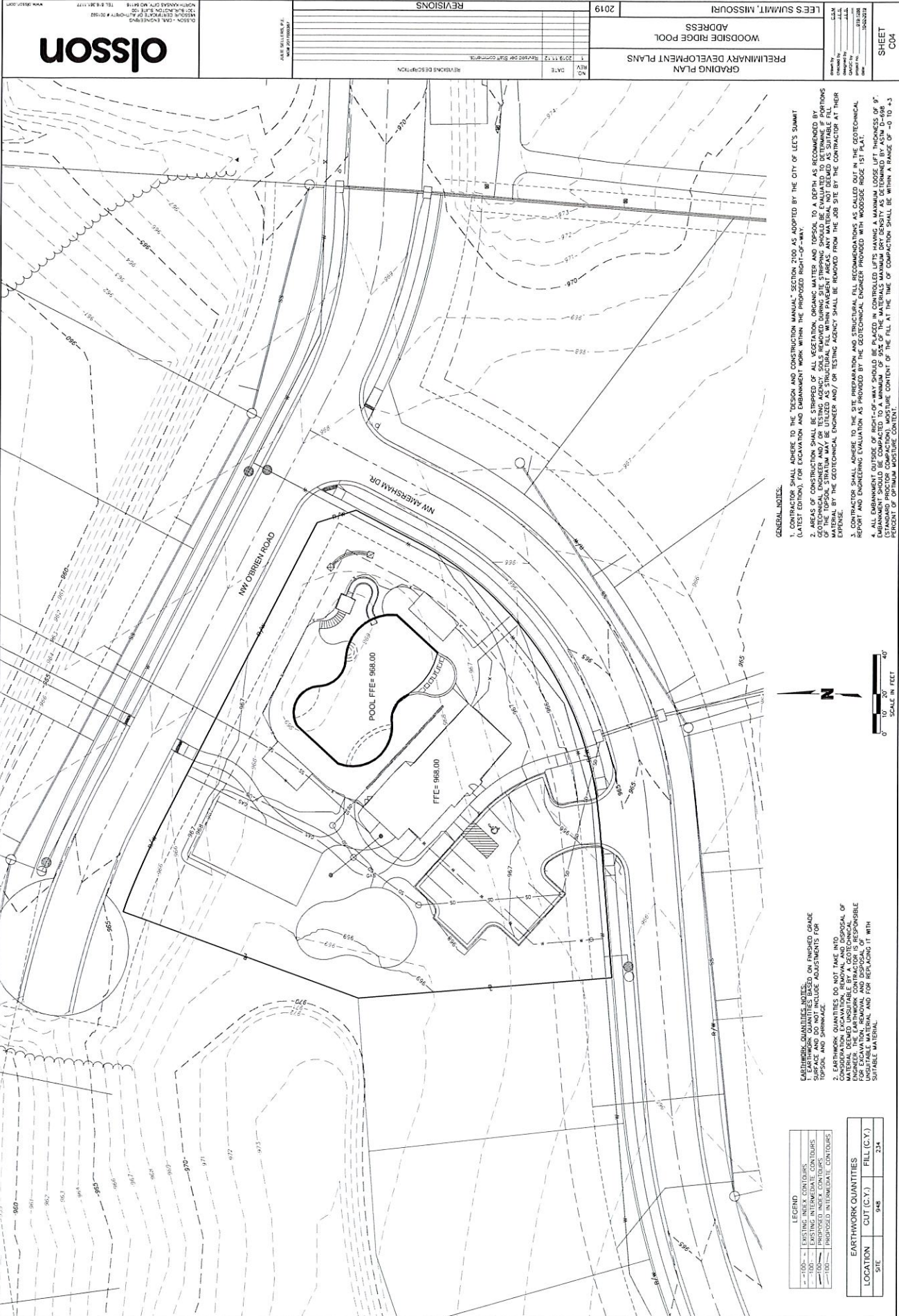
DATE: OCT 10, 2019 5:50PM
PROJECT: WOODSIDE RIDGE POOL
SHEET: C003

NOTES:
1. EXISTING ZONING: RP-3, EXISTING LAND USE: UNDEVELOPED
2. EXISTING 4\"/>

WOODSIDE RIDGE POOL
ADDRESS
PRELIMINARY DEVELOPMENT PLANS
EXISTING CONDITIONS
LEES SUMMIT, MISSOURI
2019

REVISIONS
REV. NO. DATE REVISION DESCRIPTION
1 10/10/19 1.00

olsson
NORTH MISSOURI CITY, MISSOURI
300 SOUTH MAIN STREET
TEL: 816.337.1177
WWW.OLSSON.COM



EARTHWORK QUANTITIES NOTES:

1. EARTHWORK QUANTITIES SHALL BE BASED ON FINISHED GRADE SURFACE AND NOT INCLUDE ADJUSTMENTS FOR TOPSOIL AND SHRINKAGE.
2. EARTHWORK QUANTITIES DO NOT TAKE INTO CONSIDERATION THE REMOVAL OF MATERIAL DEEMED UNSUITABLE BY A GEOTECHNICAL ENGINEER. THE EARTHWORK CONTRACTOR IS RESPONSIBLE FOR REMOVING AND REPLACING IT WITH SUITABLE MATERIAL.

LEGEND

100' = 1"	EXISTING INDEX CONTOURS
100' = 1"	EXISTING INTERMEDIATE CONTOURS
100' = 1"	PROPOSED INTERMEDIATE CONTOURS

EARTHWORK QUANTITIES

LOCATION	CUT (C.Y.)	FILL (C.Y.)
SITE	948	214

GENERAL NOTES:




1. CONTRACTOR SHALL ADHERE TO THE "DESIGN AND CONSTRUCTION MANUAL" SECTION 2100 AS ADOPTED BY THE CITY OF LEE'S SUMMIT (LATEST EDITION), FOR EXCAVATION AND EMBANKMENT WORK WITHIN THE PROPOSED RIGHT-OF-WAY.
2. AREAS OF CONSTRUCTION SHALL BE STRIPPED OF ALL VEGETATION, ORGANIC MATTER AND TOPSOIL TO A DEPTH AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER. THE REMOVED MATERIAL SHALL BE STOCKPILED IN A DESIGNATED AREA AND NOT BE USED FOR EMBANKMENT. THE MATERIAL SHALL BE UTILIZED AS STRUCTURAL FILL OR AS A FILL MATERIAL FOR THE PROPOSED RIGHT-OF-WAY. THE MATERIAL SHALL BE REMOVED FROM THE JOB SITE BY THE CONTRACTOR AT THEIR EXPENSE.
3. CONTRACTOR SHALL ADHERE TO THE EMBANKMENT AND STRUCTURAL FILL RECOMMENDATIONS AS CALLED OUT IN THE GEOTECHNICAL REPORT AND ENGINEERING EVALUATION. EMBANKMENT SHALL BE CONSTRUCTED IN A MINIMUM OF 35% OF THE MATERIALS MANUAL DRY DENSITY AS DETERMINED BY ASTM D-1557.
4. ALL EMBANKMENT OUTSIDE OF RIGHT-OF-WAY SHOULD BE PLACED IN CONTROLLED EMBANKMENT AREAS OF 5'.

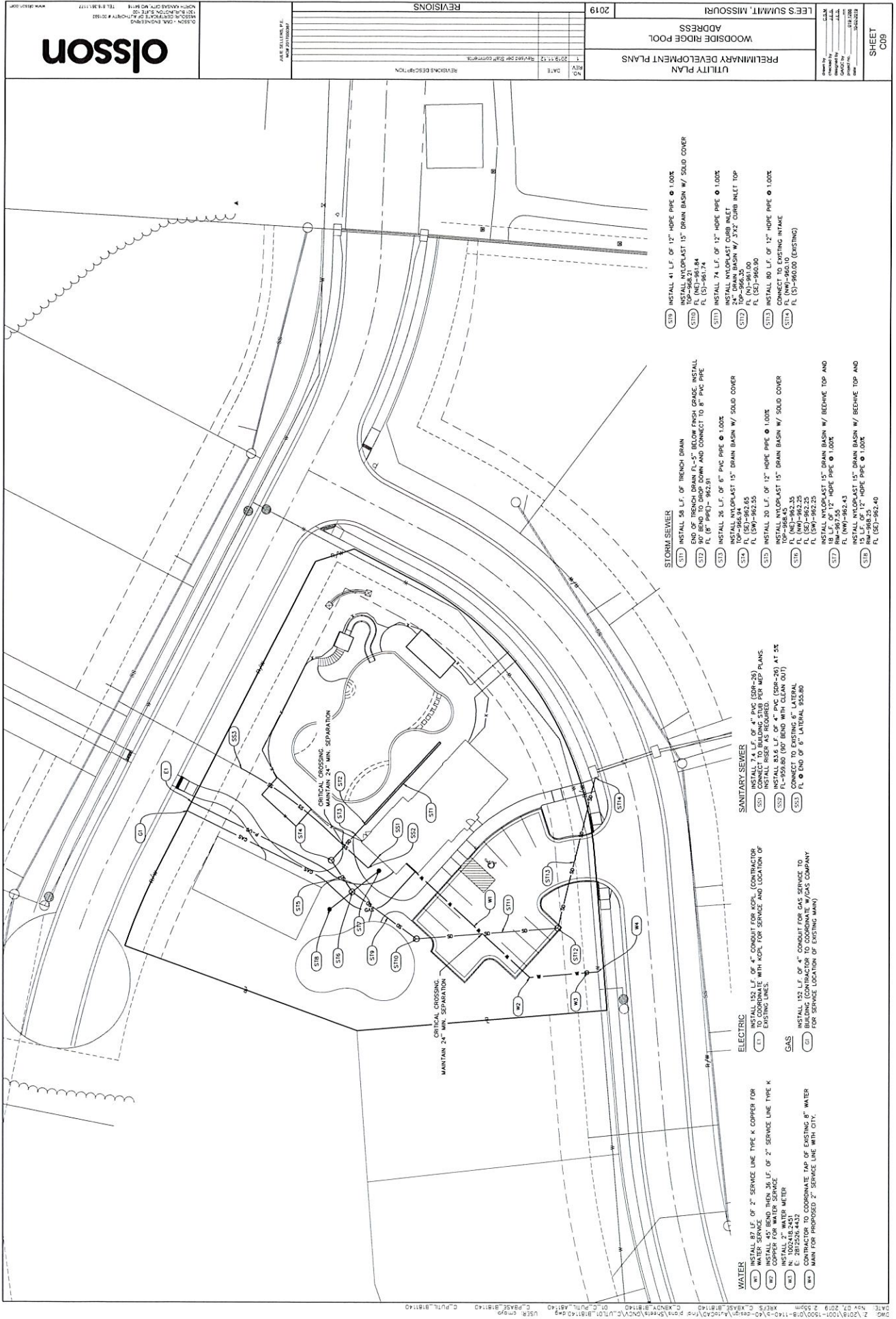
SHEET C04	
GRADING PLAN PRELIMINARY DEVELOPMENT PLANS WOODSIDE RIDGE POOL ADDRESS LEE'S SUMMIT, MISSOURI 2019	
NO. 1 DATE 2019.11.12	REVISIONS REVISION DESCRIPTION 1. 2019.11.12 REVISION FOR SITE CORRECTIONS
DESIGNER: JAMES SULLIVAN, P.E. CHECKED: JAMES SULLIVAN, P.E. DRAWN: JAMES SULLIVAN, P.E. SCALE: AS SHOWN PROJECT: WOODSIDE RIDGE POOL NORTH ARROW: NORTH ARROW CITY MAP 10118 TEL: 816-331-1177 FAX: 816-331-1178 WWW.OLSSON.COM	





1	CONSTRUCT STANDARD DUTY ASPHALT PAVEMENT (SEE LEGEND)
2	CONSTRUCT STANDARD CONCRETE PAVEMENT - 10'WIDE (SEE LEGEND)
3	TYPE CG-1 CONCRETE CURB AND GUTTER (SEE LEGEND)
4	TYPE CG-1 DRY CONCRETE CURB AND GUTTER (SEE LEGEND)
5	TYPE CG-2 CONCRETE CURB AND GUTTER (SEE LEGEND)
6	CONSTRUCT PRIVATE SIDEWALK
7	PROPOSED ACCESSIBLE PARKING SIGN

LEGEND		
	CONCRETE SIDEWALK (See Detail Sheet)	CO-1 CURB & GUTTER (See Detail Sheet)
	STANDARD DUTY SPRINKLER PAVEMENT	CO-1 CURB & GUTTER (DRY) (See Detail Sheet)
	CONCRETE PAVEMENT (See Detail Sheet)	CO-2 CURB & GUTTER (See Detail Sheet)
		# OF PARKING STALLS



olsson

OLSSON & ASSOCIATES, INC.
1000 NORTH KANSAS CITY, MO 64108
TEL: 816-381-1177
FAX: 816-381-1178
WWW.OLSSON-INC.COM

SHEET
C09



WOODSIDE RIDGE CLUBHOUSE

NW PRYOR ROAD AND NW O'BRIEN ROAD
LEE'S SUMMIT, MISSOURI



ARCHITECT
B+A ARCHITECTURE
100 W 31ST STREET, SUITE 100
KANSAS CITY, MO 64108
PH: 816-734-0100

CIVIL ENGINEER
OLSSON
1301 BURLINGTON STREET, SUITE 100
NORTH KANSAS CITY, MO 64116
PH: 816-361-1177

LANDSCAPE ARCHITECT
JASON MEER
15245 METCAL AVE.
OVERLAND PARK, KS 66223
PH: 913-678-0817

INTERIOR
SUMMIT HOMES
120 SE 30TH STREET
LEE'S SUMMIT, MO 64082
PH: 816-462-0100

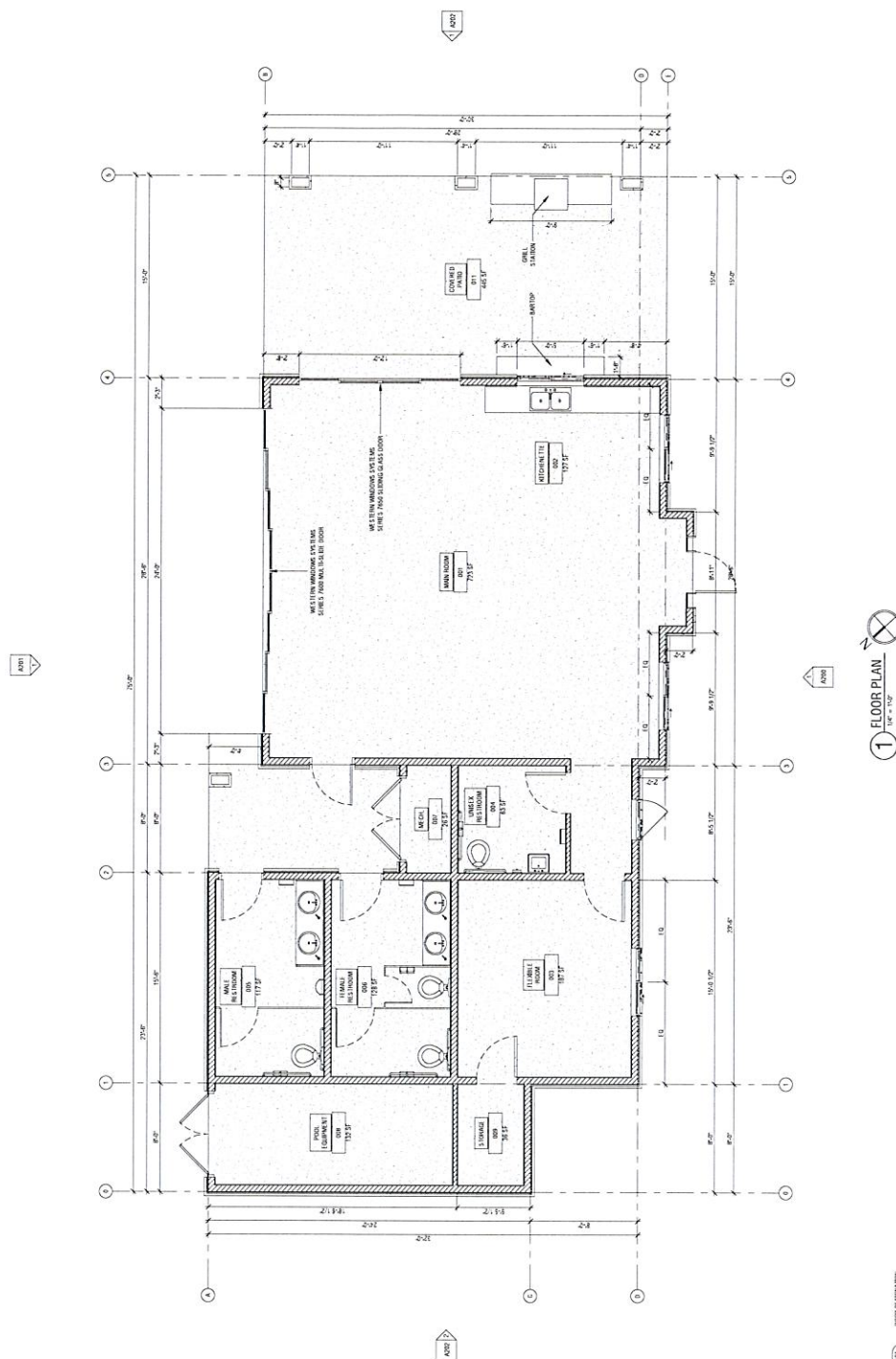




LEE'S SUMMIT, MISSOURI

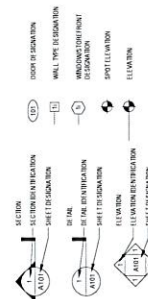
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FLOOR PLAN
A100



GENERAL NOTES

- [illegible]



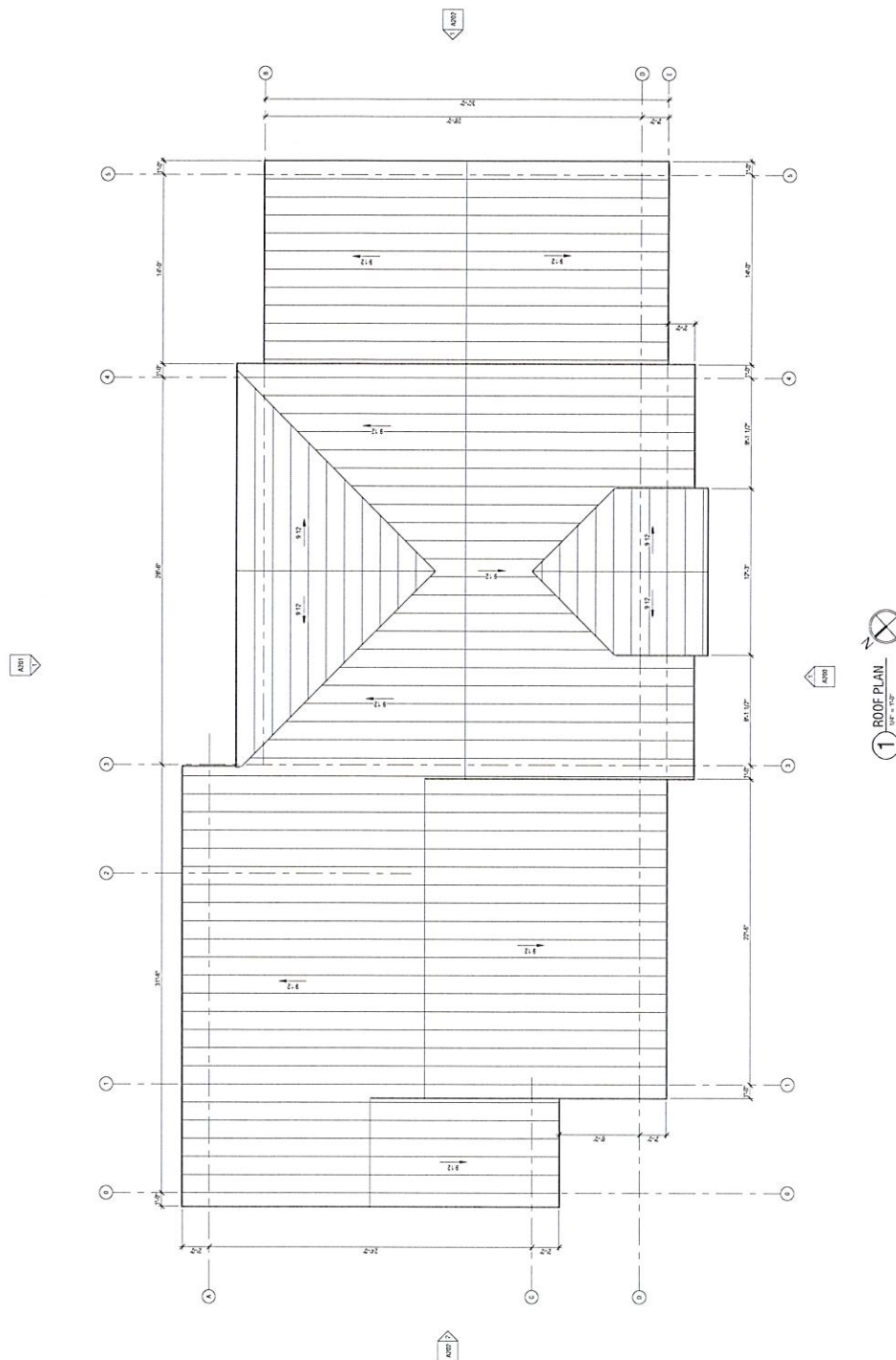


LEES SUMMIT, MISSOURI

[illegible]

SIGNED BY FOR
MAILED BY FOR
RECEIVED BY TUDOR

ROOF PLAN
A101



GENERAL NOTES

1. REFER TO STRUCTURAL DRAWINGS FOR FRAMING AND CHIMNEY
2. INSTALL ALL ROOF PENETRATIONS AND EQUIPMENT (E. VENT PIPES,
ROOF VENTILATORS) ON THE LEAN SIDE OF THE ROOF. TO THE GREATEST
EXTENT POSSIBLE
3. REFER TO PLUMBING DRAWINGS FOR ROOF CHIMNEY AND OVERFLOW
CHIMNEYS



WOODSIDE RIDGE CLUBHOUSE ARCHITECTURE
100 W. 11th St. Suite 100
Des Moines, IA 50319
PH: 515-281-8888
FAX: 515-281-8889
WWW.WOODSIDERIDGECLUBHOUSE.COM

DESIGNER
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ENGINEER
PRAIRIE ENGINEERS
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WOODSIDE RIDGE CLUBHOUSE

1100 W. 11th St. Suite 100
Des Moines, IA 50319

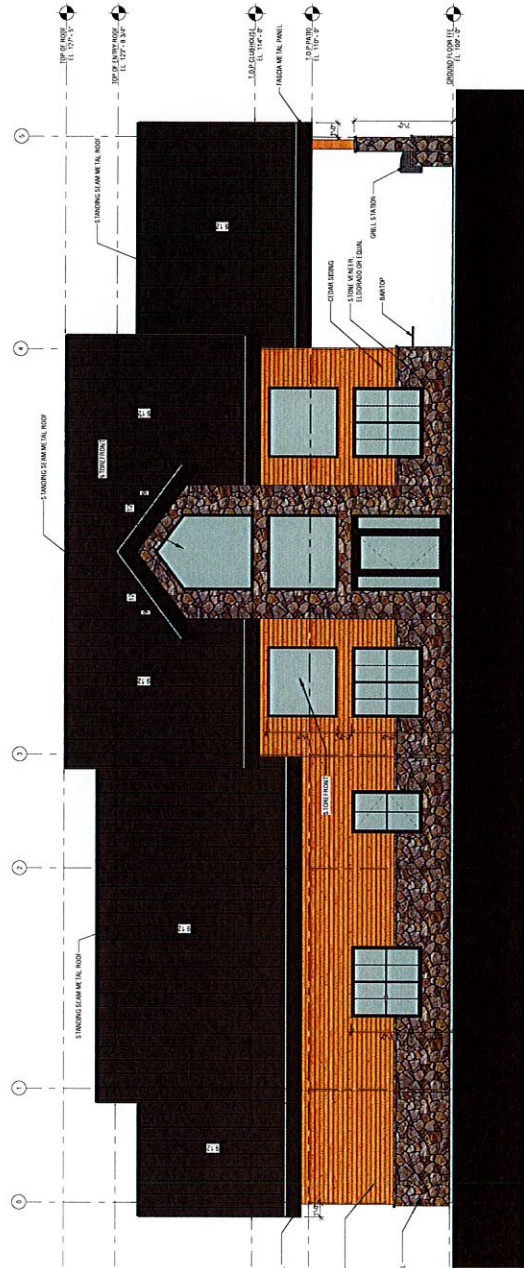
3/16

DATE	DESCRIPTION	BY	CHKD
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11/16/2011	REVISION 3	WJ	WJ
11/16/2011	REVISION 4	WJ	WJ
11/16/2011	REVISION 5	WJ	WJ
11/16/2011	REVISION 6	WJ	WJ
11/16/2011	REVISION 7	WJ	WJ
11/16/2011	REVISION 8	WJ	WJ
11/16/2011	REVISION 9	WJ	WJ
11/16/2011	REVISION 10	WJ	WJ
11/16/2011	REVISION 11	WJ	WJ
11/16/2011	REVISION 12	WJ	WJ
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11/16/2011	REVISION 16	WJ	WJ
11/16/2011	REVISION 17	WJ	WJ
11/16/2011	REVISION 18	WJ	WJ
11/16/2011	REVISION 19	WJ	WJ
11/16/2011	REVISION 20	WJ	WJ

ELEVATIONS
A200

EXTERIOR FINISHING SCHEDULE

NO.	MATERIALS	DESCRIPTION	COLOR/NOTE
1	STANDING SEAM METAL ROOF	ROOFING	FACE DOWN
2	STANDING SEAM METAL ROOF	ROOFING	FACE DOWN
3	STANDING SEAM METAL ROOF	ROOFING	FACE DOWN
4	STANDING SEAM METAL ROOF	ROOFING	FACE DOWN
5	STANDING SEAM METAL ROOF	ROOFING	FACE DOWN
6	STANDING SEAM METAL ROOF	ROOFING	FACE DOWN
7	STANDING SEAM METAL ROOF	ROOFING	FACE DOWN
8	STANDING SEAM METAL ROOF	ROOFING	FACE DOWN
9	STANDING SEAM METAL ROOF	ROOFING	FACE DOWN
10	STANDING SEAM METAL ROOF	ROOFING	FACE DOWN
11	STANDING SEAM METAL ROOF	ROOFING	FACE DOWN
12	STANDING SEAM METAL ROOF	ROOFING	FACE DOWN
13	STANDING SEAM METAL ROOF	ROOFING	FACE DOWN
14	STANDING SEAM METAL ROOF	ROOFING	FACE DOWN
15	STANDING SEAM METAL ROOF	ROOFING	FACE DOWN
16	STANDING SEAM METAL ROOF	ROOFING	FACE DOWN
17	STANDING SEAM METAL ROOF	ROOFING	FACE DOWN
18	STANDING SEAM METAL ROOF	ROOFING	FACE DOWN
19	STANDING SEAM METAL ROOF	ROOFING	FACE DOWN
20	STANDING SEAM METAL ROOF	ROOFING	FACE DOWN



1 SOUTH-WEST ELEVATION
1/8" = 1'-0"



CIVIL ENGINEER
OLSSON
1301 BURLINGTON ST. SUITE 100
NORTH KANSAS CITY, MO 64116
PH: 816.361-1127

2102 TOWN DRIVE
BELLTON, MO 64712
PH 816-767-7772

PROIR ENGINEERS
13300 W 98TH STREET
LENEXA, KS 66215

LANDSCAPE ARCHITECT
JASON MEIER
ISSUES, METACALCULUS

ON ROAD AND NW ORLEN ROAD
LEES SUMMIT, MISSOURI

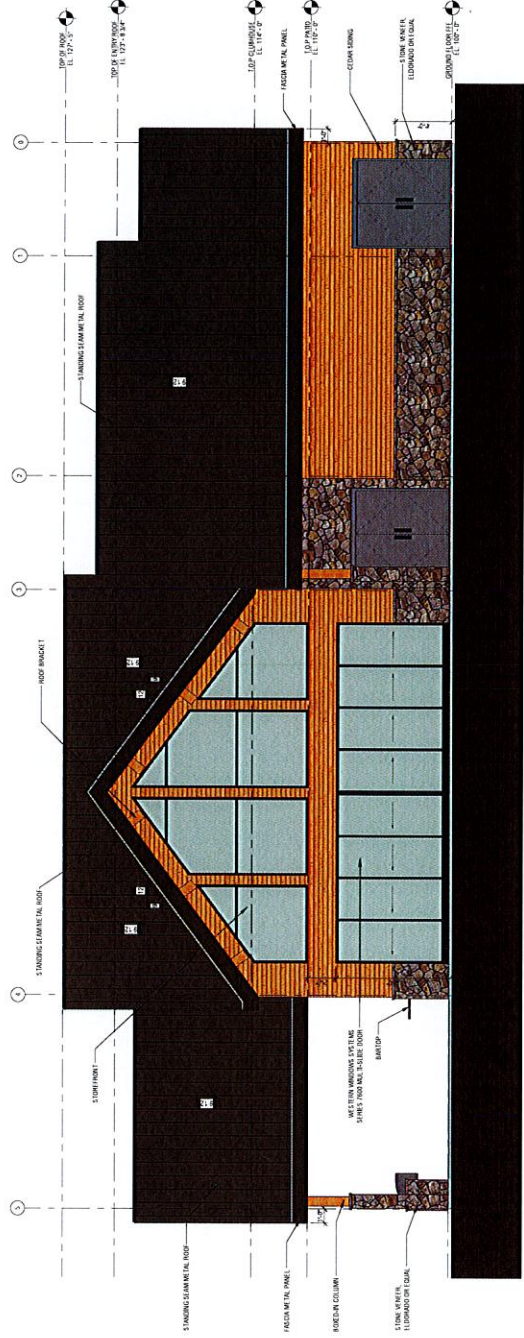
DATE ISSUED OCTOBER 9, 2019

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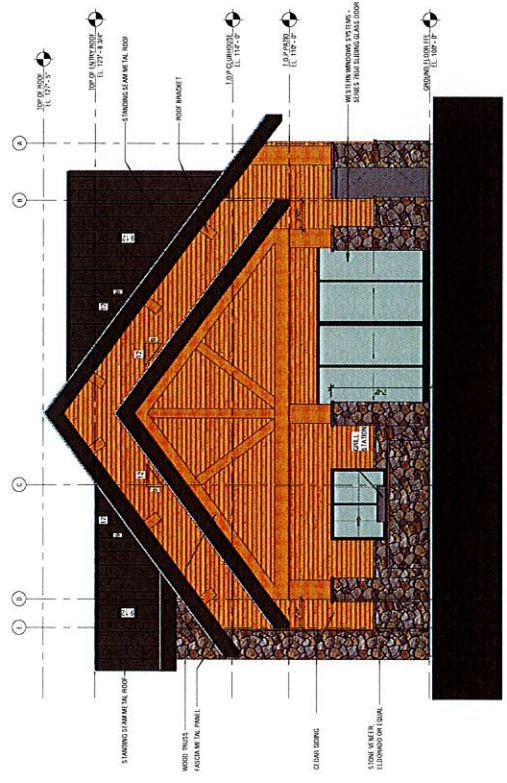
QUESTIONS

ELEVATIONS
1001[illegible][illegible]

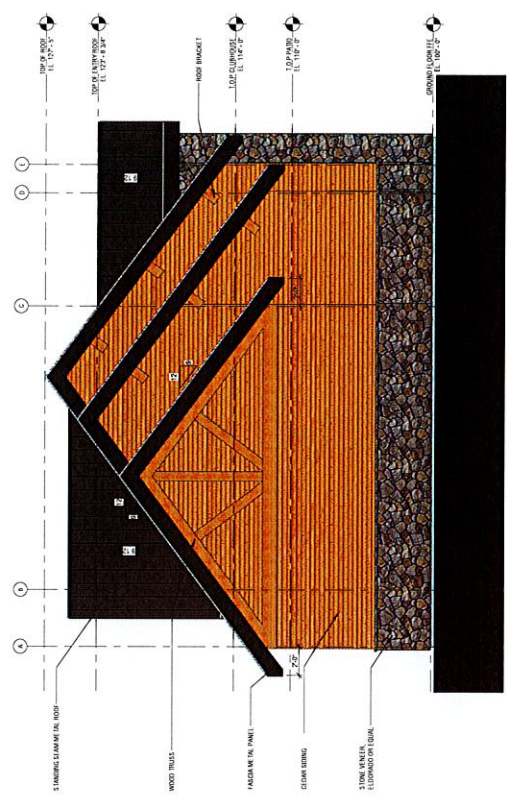
1 NORTH-EAST ELEVATION
1/4" = 1'-0"

EXTERIOR FINISHING SCHEDULE

NO.	FINISHING ITEM	DESCRIPTION	COLOR FINISH
1	STANDING SEAM METAL ROOF	STANDING SEAM METAL ROOF	ASBESTOS FREE
2	STONE VENEER	STONE VENEER ON EXTERIOR WALLS	ASBESTOS FREE
3	CEDAR SIDING	CEDAR SIDING ON EXTERIOR WALLS	ASBESTOS FREE
4	AGED BRONZE METAL PANELS	AGED BRONZE METAL PANELS ON EXTERIOR WALLS	ASBESTOS FREE
5	WOOD TRUSSES	WOOD TRUSSES ON EXTERIOR WALLS	ASBESTOS FREE
6	CEILING	CEILING ON EXTERIOR WALLS	ASBESTOS FREE
7	ROOFING	ROOFING ON EXTERIOR WALLS	ASBESTOS FREE
8	WOOD TRUSSES	WOOD TRUSSES ON EXTERIOR WALLS	ASBESTOS FREE
9	CEILING	CEILING ON EXTERIOR WALLS	ASBESTOS FREE
10	ROOFING	ROOFING ON EXTERIOR WALLS	ASBESTOS FREE



1 SOUTH-EAST ELEVATION
1/4" = 1'-0"



2 NORTH-WEST ELEVATION
1/4" = 1'-0"

WOODSIDE RIDGE CLUBHOUSE
 NW PLYOR ROAD AND NW ORBEN ROAD
 LEES SUMMIT, MISSOURI



B&B ARCHITECTURE
100 N. 11TH STREET, SUITE 100
NORTH KANSAS CITY, MO 64108
PH: 816-754-8100

DESIGN
100 N. 11TH STREET, SUITE 100
NORTH KANSAS CITY, MO 64108
PH: 816-754-8100

ARCHITECTURAL ENGINEER
23202 GARDEN DRIVE
NORTH KANSAS CITY, MO 64116
PH: 816-754-7222

MECHANICAL ENGINEER
11800 N. 40TH ST.
NORTH KANSAS CITY, MO 64116
PH: 816-754-7222

ELECTRICAL ENGINEER
11800 N. 40TH ST.
NORTH KANSAS CITY, MO 64116
PH: 816-754-7222

LANDSCAPE ARCHITECT
11800 N. 40TH ST.
NORTH KANSAS CITY, MO 64116
PH: 816-754-7222

WOODSIDE RIDGE CLUBHOUSE

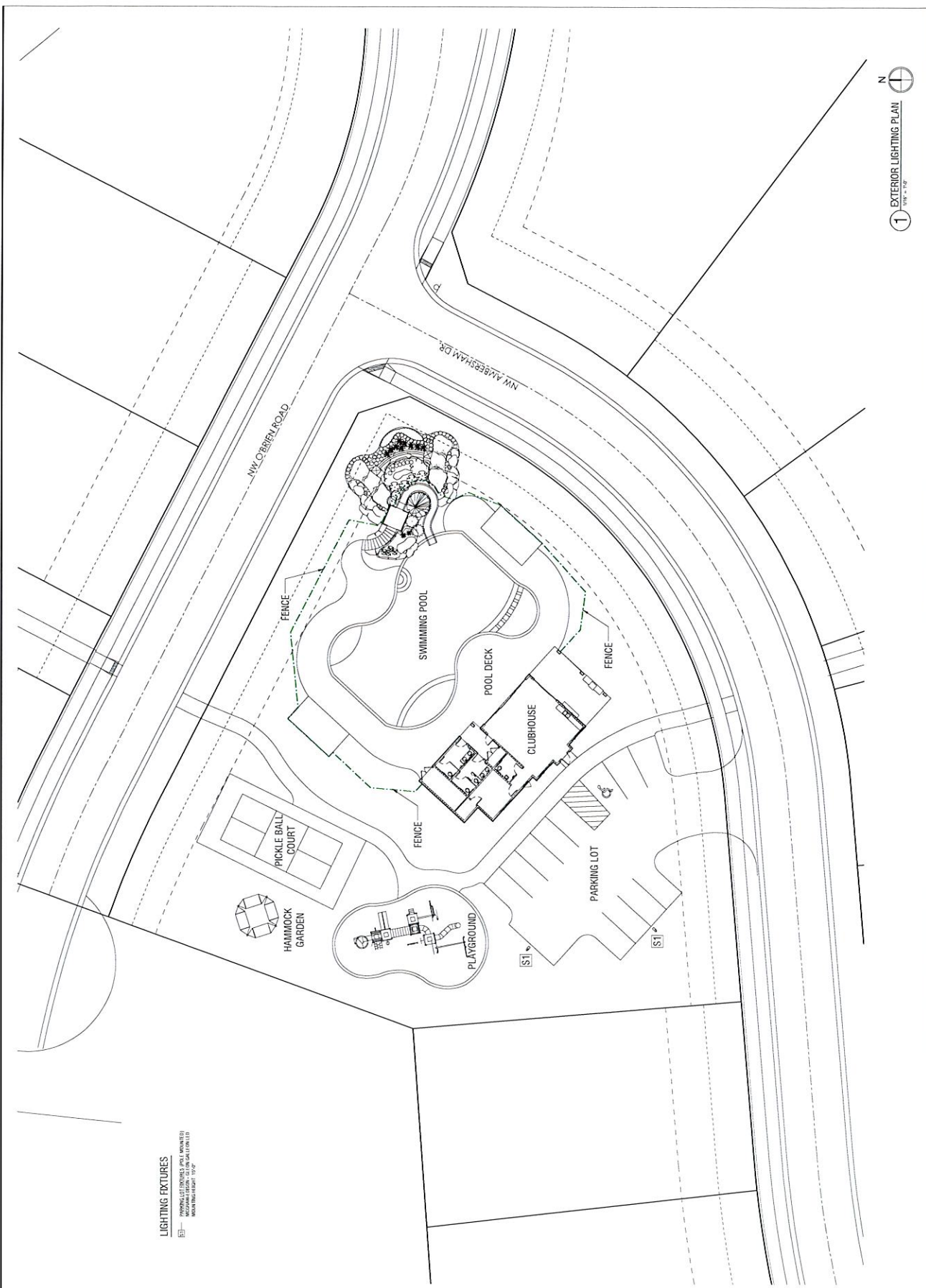
NW PRYOR ROAD AND NW O'BRIEN ROAD
LEES SUMMIT, MISSOURI

DATE

NO.	REVISION	DATE
1	ISSUED FOR PERMIT	10/1/2011

DESIGNED BY: B&B
DRAWN BY: J. L. COLE
CHECKED BY: J. L. COLE
APPROVED BY: J. L. COLE
DATE: 10/1/2011

EXTERIOR LIGHTING PLAN
EL-1



LIGHTING FIXTURES

□ = FLOOD LIGHT
□ = WALL MOUNTED LIGHT
□ = RECESSED LIGHT
□ = DOWN LIGHT

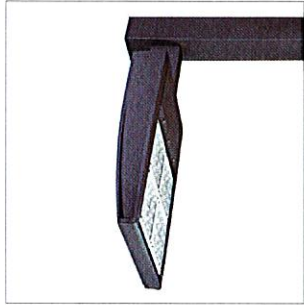
Woodside Ridge Parking-Galleon

Calculated By: Kevin Hooley
Requested By:
Date: 10/7/2019
Scale: N/A

Calc. Info	
Light Loss Factor	0.91
Calculation plane	0'-00"
Reluctances	NA
Mounting height	15'



Scale: 1 inch= 20 Ft.



Galleon

DISCLAIMER:

These calculations have been performed according to IES standards and good practice. There may be differences between measured values and the results presented herein, based on the extent in which field conditions deviate from the input data. These conditions include room dimensions, luminaire position, surface reflectances, architectural elements and furniture, temperature, voltage, measurement techniques and equipment tolerances. All attached drawings and images are for photometric reference only they are not made for construction.

AREA INFORMATION:

Area label :
Wall height : 0'00"
Mounting height : 15'
Reflectances : NA

Calculation Summary						
Label	Units	Avg	Max	Min	Avg/Min	Max/Min
Parking_Surface	Fc	2.68	7.9	0.0	N.A.	N.A.

Luminaire Schedule					
Symbol	Qty	Label	Description	Lum. Watts	Lum. Lumens
→	2	S1	GLEON-AF-02-LED-E1-T4FT	113	12533
				LLF	0.910

Revisions	
#	Date
	Comments





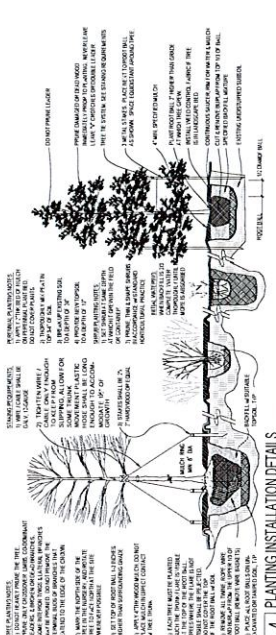
CLIENT
Summit Homes
120 SE 30th St.
Lee's Summit, MO 64082

PROJECT
Woodside Ridge
Community
NW 10th Road and NW
O'Brien Road
Lee's Summit, MO



Date: 11.7.2019
Project #: 485
Landscape Plan

1



2 GROUND COVER/SHRUB DETAIL
SCALE: 1/8" = 1'-0"

Plant Species	Plant Size	Plant Spacing
SPERMATOPHYTES	12"	12" x 12"
ANGIOSPERMS	12"	12" x 12"
CONIFERS	12"	12" x 12"
SHRUBS	12"	12" x 12"
GROUND COVERS	12"	12" x 12"

3 CULTIVATED EDGE DETAIL
SCALE: 1/8" = 1'-0"

Planting Notes

1. All plants shall be installed in accordance with the following specifications.
2. The planting hole shall be dug to the depth of the root ball and shall be wide enough to allow the roots to spread.
3. All trees shall be installed in a hole that is 1/2" larger than the root ball.
4. All shrubs shall be installed in a hole that is 1/2" larger than the root ball.
5. All ground covers shall be installed in a hole that is 1/2" larger than the root ball.
6. All plants shall be installed in a hole that is 1/2" larger than the root ball.
7. All plants shall be installed in a hole that is 1/2" larger than the root ball.
8. All plants shall be installed in a hole that is 1/2" larger than the root ball.
9. All plants shall be installed in a hole that is 1/2" larger than the root ball.
10. All plants shall be installed in a hole that is 1/2" larger than the root ball.

Landscaping Calculations/Requirements

Sheet Landscaping: (For all Sheets) One (1) tree shall be planted for each sheet.

Sheet Landscaping: (For all Sheets) One (1) tree shall be planted for each sheet.

Sheet Landscaping: (For all Sheets) One (1) tree shall be planted for each sheet.

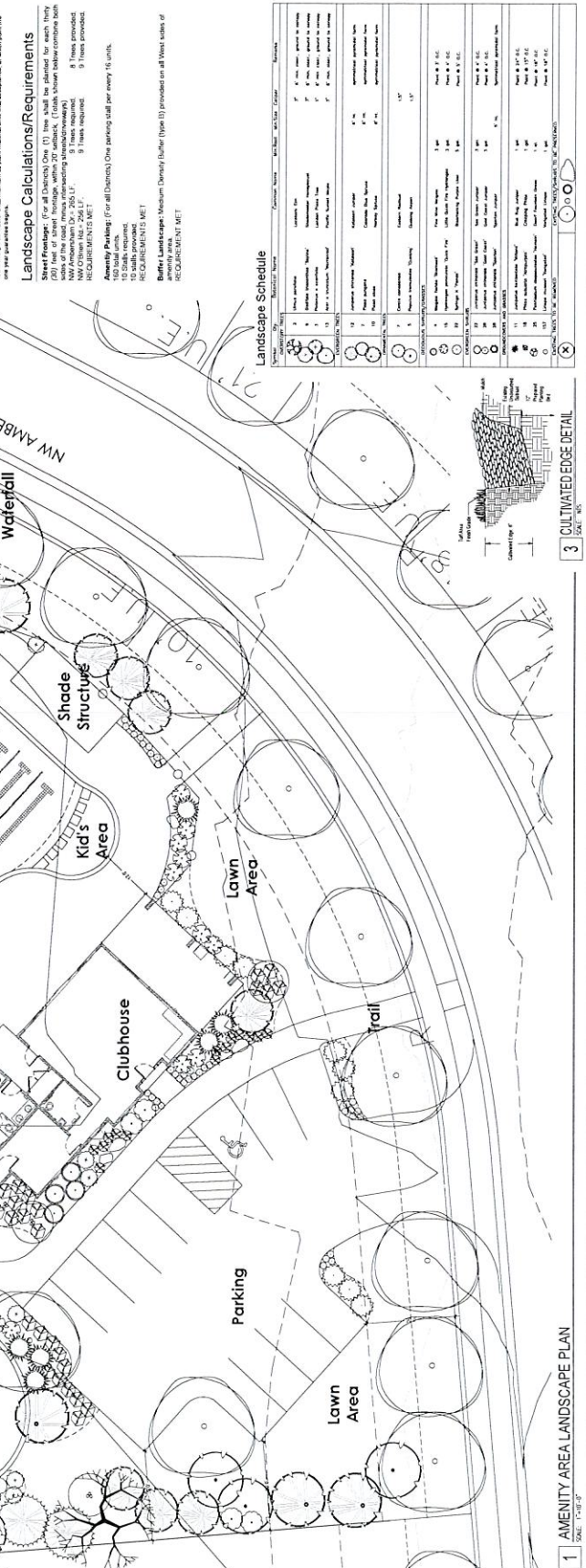
Buffer Landscaping: Medium Density Buffer (Type I) provided on all West sides of amenity areas.

Requirements MET

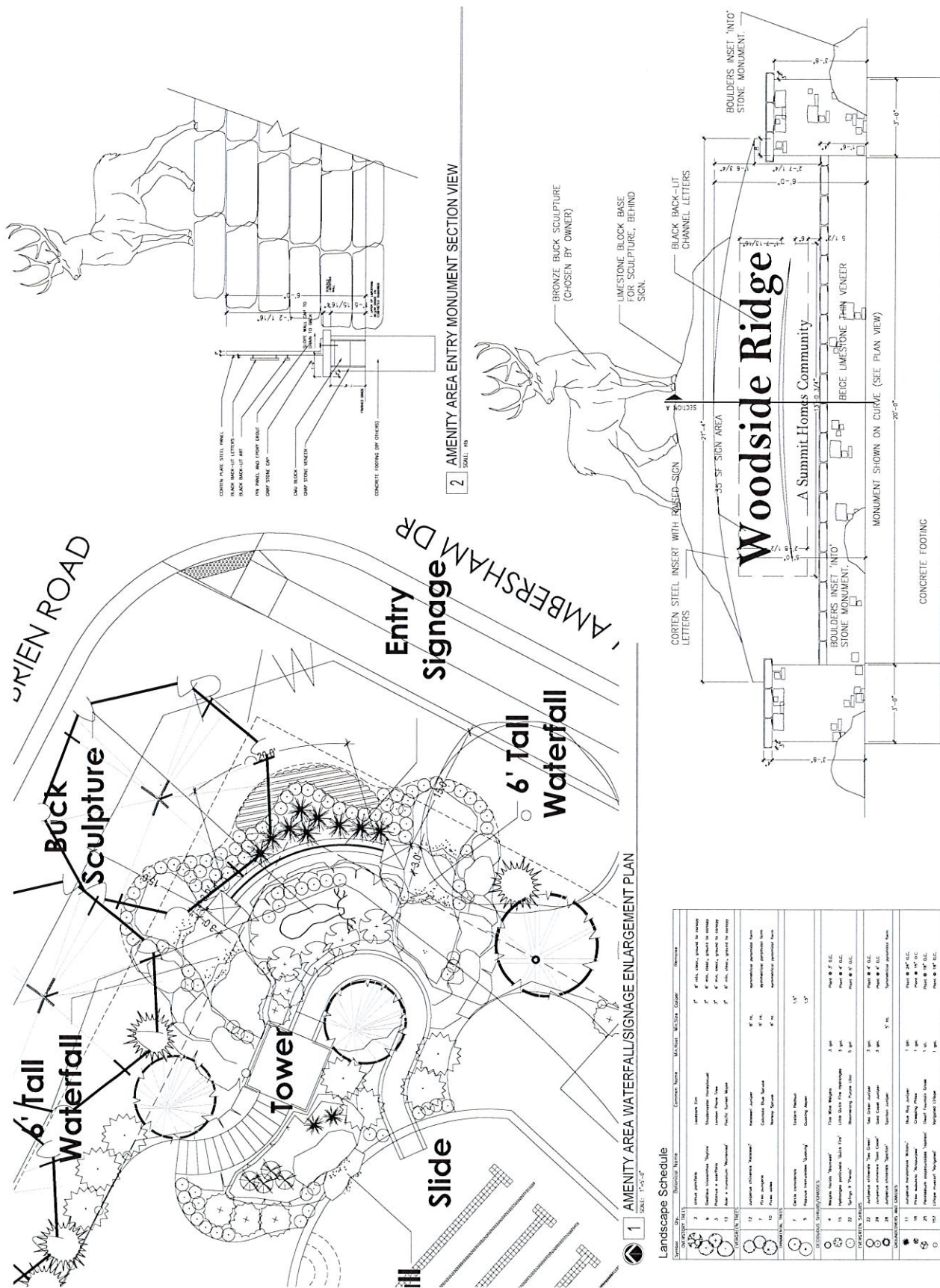
Landscaping Schedule

Plant Species	Plant Size	Plant Spacing	Planting Date
SPERMATOPHYTES	12"	12" x 12"	12/1/2019
ANGIOSPERMS	12"	12" x 12"	12/1/2019
CONIFERS	12"	12" x 12"	12/1/2019
SHRUBS	12"	12" x 12"	12/1/2019
GROUND COVERS	12"	12" x 12"	12/1/2019

1 AMENITY AREA LANDSCAPE PLAN
SCALE: 1/8" = 1'-0"



1 AMENITY AREA LANDSCAPE PLAN
SCALE: 1/8" = 1'-0"



3 AMENITY AREA ENTRY MONUMENT ELEVATION VIEW

CALF- 010

[illegible]



MEMO

<input type="checkbox"/>	Overnight
<input type="checkbox"/>	Regular Mail
<input type="checkbox"/>	Hand Delivery
<input checked="" type="checkbox"/>	Other: <u>courier</u>

TO:	Mike Weisenborn
FROM:	Chris Holmquist
RE:	Woodside Ridge Pool PDP – Modification Request
DATE:	2019.10.10
PROJECT #:	B18-1140
PHASE:	100
TASK:	100001

NOTES:

To Whom It May Concern:

We would like to request the following modifications to the UDO requirements for the case above:

Side Yard Setback

Requesting to reduce the required side yard setback as it relates to the proposed pickleball court from 50' to 30'. The proposed modification should have minimal impact to the adjacent residential lots as a medium-density landscape buffer is provided between the court and the lot line. Locating the court in its current position allows for a larger usable area for the other amenities and is a positive to the neighborhood.

Appl. #PL2019-351 – PRELIMINARY DEVELOPMENT PLAN
Woodside Ridge subdivision pool
2030 NW O'Brien Rd
Clayton Properties Group, Inc., applicant

