

AN ORDINANCE APPROVING A REZONING FROM DISTRICT AG AND R-1 TO DISTRICT RP-3 AND PRELIMINARY DEVELOPMENT PLAN FOR APPROXIMATELY 32 ACRES LOCATED AT SOUTHWEST CORNER OF SW M-150 HIGHWAY AND SW PRYOR ROAD, PROPOSED OSAGE IN ACCORDANCE WITH THE PROVISIONS OF CHAPTER 33, THE UNIFIED DEVELOPMENT ORDINANCE OF LEE'S SUMMIT CODE OF ORDINANCES, FOR THE CITY OF LEE'S SUMMIT, MISSOURI.

WHEREAS, Application #PL2019-307 submitted by Clayton Properties Group, Inc., requesting approval of a rezoning from AG (Agricultural District) and R-1 (Single-Family Residential District) to RP-3 (Planned Residential Mixed Use District) and preliminary development plan on land located at the southwest corner of SW M-150 Hwy and SW Pryor Rd was referred to the Planning Commission to hold a public hearing; and,

WHEREAS, the Unified Development Ordinance provides for the approval of a rezoning and preliminary development plan by the City following public hearings by the Planning Commission and City Council, and,

WHEREAS, after due public notice in the manner prescribed by law, the Planning Commission held public hearings for the consideration of the rezoning and preliminary development plan on November 14, 2019 and rendered a report to the City Council recommending that the rezoning and preliminary development plan be approved; and,

WHEREAS, after due public notice in the manner prescribed by law, the City Council held a public hearing on December 3, 2019, and rendered a decision to approve the rezoning and preliminary development plan for said property.

NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF LEE'S SUMMIT, MISSOURI, as follows:

SECTION 1. That a rezoning and preliminary development plan is hereby approved on the following described property:

*A tract of land in the Northeast Quarter of the Northeast Quarter of Section 35, Township 47 North, Range 32 West of the 5th Principal Meridian, including part of Lots 1, 2 and 3, SALVAGGIO'S RANCH, a subdivision of land, all in Lee's Summit, Jackson County, Missouri being bounded and described as follows: Commencing at the Northeast corner of the Northeast Quarter of said Section 35; thence South 02°08'00" West, along the East line of said Northeast Quarter, 658.78 feet to the Southeast corner of the North Half of the Northeast Quarter of the Northeast Quarter of said Section 35; thence North 88°08'29" West, along the South line of said North Half, 50.00 feet to the Southeast Corner of said Lot 3, said point also being on the Westerly right of way line of SW Prior Road as now established and the Point of Beginning of the tract of land to be herein described; thence South 88°08'29" East, along said North Line and along said Westerly right of way line, 10.00 feet; to the Westerly right of way line of said SW Pryor Road as established by Document 19631814460, in Book 1634, at page 487, being on a line that 40.00 West of and parallel with the East line of the Northeast Quarter of said Section 35; thence South 02°08'00" West, along last said Westerly right of way line and said parallel line, 658.80 feet to a point on the South line of the Northeast Quarter of the Northeast Quarter of said Section 35; thence North 88°09'45" West, along said South line, 1280.31 feet to the*



*Southwest corner of the Northeast Quarter of the Northeast Quarter of said Section 35; thence North 02°10'22" East, along the West line of the Northeast Quarter of the Northeast Quarter of said Section 35, 659.27 feet to the Southwest corner of the North Half of the Northeast Quarter of the Northeast Quarter of said Section 35; thence South 88°08'29" East, along the South line of said North Half of the Northeast Quarter of the Northeast Quarter of said Section 35, 329.96 feet to the Southwest corner of the East Half of the Northwest Quarter of the Northeast Quarter of the Northeast Quarter of said Section 35; thence North 02°09'46" East, along the West line of East Half of the Northwest Quarter of the Northeast Quarter of the Northeast Quarter of said Section 35, 558.45 feet to a point on the Southerly right of way line of Missouri State Highway No. 150 as established by Document 2009E0064160, being 80.00 feet right of centerline Station 316+29.79 (Station 316+29.51 Deed); thence South 88°11'07" East, along said Southerly right of way line 170.21 feet to a point that is 80.00 feet right of centerline Station 318+00.00; thence South 58°26'25" East, along said Southerly right of way line, 40.31 feet to a point that is 100.00 feet right of centerline Station 318+35.00; thence South 88°11'07" East, along said Southerly right of way line, 30.00 feet to a point that is 100.00 feet right of centerline Station 318+65.00; thence North 76°55'17" East, along said Southerly right of way line, 97.27 feet to a point on the Southerly right of way line of Missouri State Highway No. 150 as established by Document 2009E0006361, being 75.00 feet right of centerline Station 319+59.00; thence South 88°11'07" East, along said Southerly right of way line, 126.00 feet to a point that is 75.00 feet right of centerline Station 320+85.00; thence North 85°28'29" East, along said Southerly right of way line, 90.55 feet to a point that is 65.00 feet right of centerline Station 321+75.00; thence South 88°11'07" East, along said Southerly right of way line and along the Southerly right of way line of Missouri State Highway No. 150 as established by Document 2009E0006351, 175.00 feet to a point that is 65.00 feet right of centerline Station 323+50.00; thence South 82°44'41" East, along said Southerly right of way line, 105.48 feet to a point that is 75.00 feet right of centerline Station 324+55.00; thence South 88°11'07" East, along said Southerly right of way line, 45.00 feet to a point that is 75.00 feet right of centerline Station 325+00.00; thence South 49°40'27" East, along said Southerly right of way line, 88.33 feet to a point that is 130.00 feet right of centerline Station 325+69.12 (Station 325+69.30 Deed), said point also being on the East line of said Lot 2, SALVAGGIO'S RANCH and on the West right of way of said SW Pryor Road as now established; thence South 02°08'00" West, along said East lot line and said West right of way line, 509.17 feet to the Point of Beginning. Containing 1,370,951 square feet or 31.473 acres, more or less.*

SECTION 2. That the following conditions of approval apply:

1. Development shall comply with the recommendation of the Transportation Impact Analysis (TIA) dated November 7, 2019, prepared by Michael Park, City Traffic Engineer.
2. Development shall comply with the Preliminary Development Plan with a revision date of October 15, 2019.

SECTION 3. Nonseverability. All provisions of this ordinance are so essentially and inseparably connected with, and so dependent upon, each other that no such provision would be enacted without all others. If a court of competent jurisdiction enters a final judgment on the merits that is not subject to appeal and that declares any provision or part of this ordinance void, unconstitutional, or unenforceable, then this ordinance, in its collective entirety, is invalid and shall have no legal effect as of the date of such judgment.

**BILL NO. 19-262****ORDINANCE NO. 8784**

SECTION 4. That failure to comply with all of the provisions contained in this ordinance shall constitute violations of both this ordinance and Chapter 33, the City's Unified Development Ordinance, of the Code of Ordinances for the City of Lee's Summit.

SECTION 5. That this ordinance shall be in full force and effect from and after the date of its passage and adoption, and approval by the Mayor.

PASSED by the City Council of the City of Lee's Summit, Missouri, this 10<sup>th</sup> day of December, 2019.

  
\_\_\_\_\_  
Mayor William A. Baird

ATTEST:

  
\_\_\_\_\_  
City Clerk Trisha Fowler Arcuri

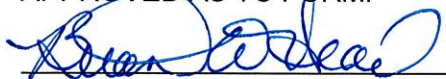
APPROVED by the Mayor of said city this 12<sup>th</sup> day of December, 2019.

  
\_\_\_\_\_  
Mayor William A. Baird

ATTEST:

  
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City Clerk Trisha Fowler Arcuri

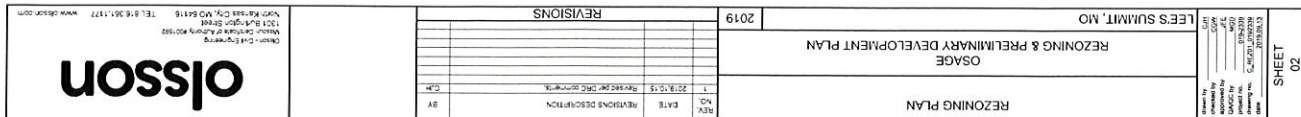
APPROVED AS TO FORM:

  
\_\_\_\_\_  
City Attorney Brian W. Head

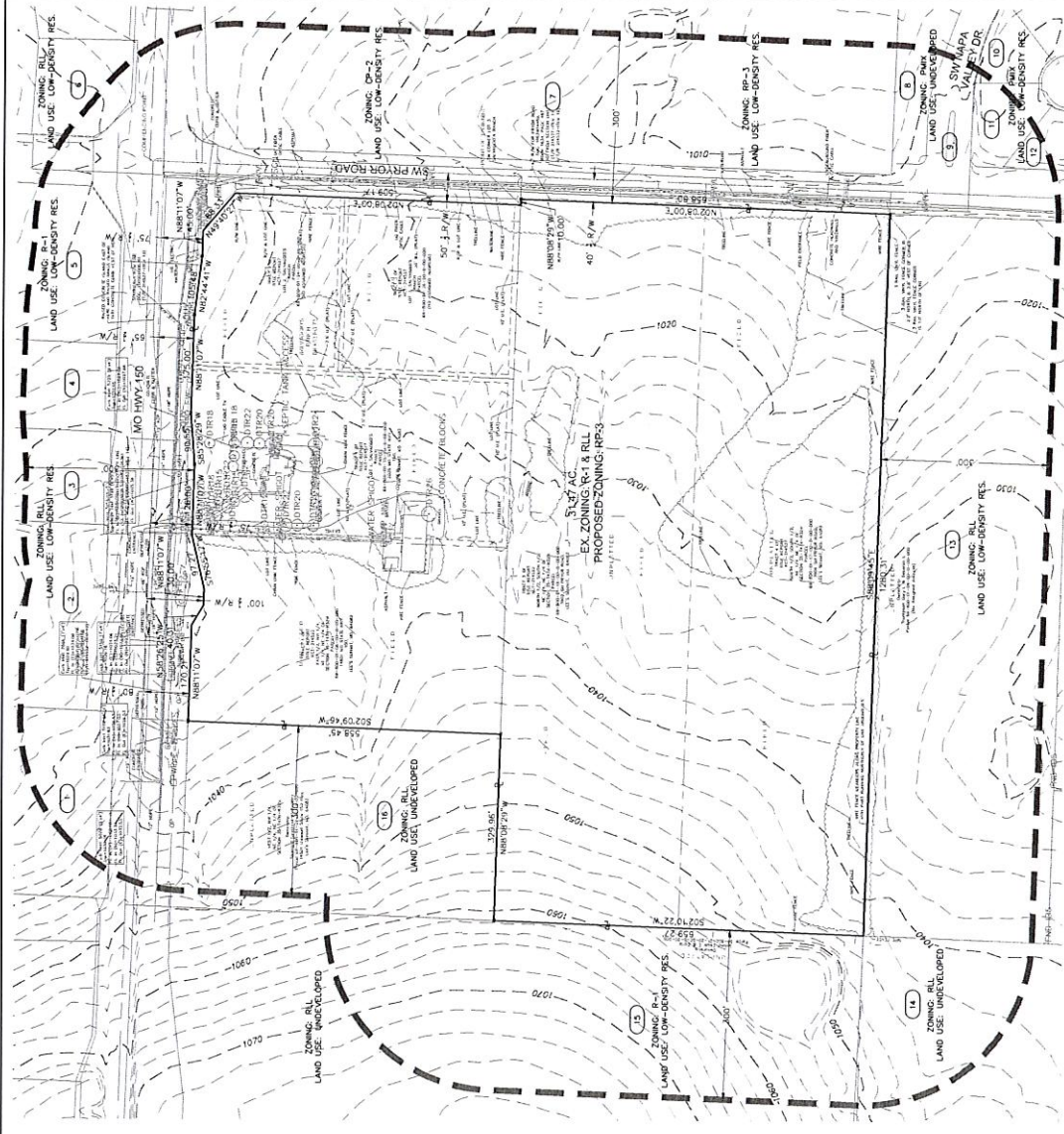






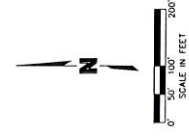
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| PROPERTY OWNERS WITHIN 300' |                                                  | ADDRESS                                                                            |
|-----------------------------|--------------------------------------------------|------------------------------------------------------------------------------------|
| KEY                         | OWNERS' & MAILING ADDRESS                        |                                                                                    |
| 1                           | 2124 SW 150 HWY<br>LET'S SUMMIT, MO 64062        | DANIELS, LINDA S & MARK-TR<br>12025 S 150 HWY<br>LET'S SUMMIT, MO 64062            |
| 2                           | 2052 SW 150 HWY<br>LET'S SUMMIT, MO 64062        | DALE DONALD RAY-TRUSTEE<br>1917 SW SAGE CANYON RD<br>LET'S SUMMIT, MO 64062        |
| 3                           | 2040 SW 150 HWY<br>LET'S SUMMIT, MO 64062        | RYAN JOHN C<br>2040 SW 150 HWY<br>LET'S SUMMIT, MO 64062                           |
| 4                           | 2030 SW 150 HWY<br>LET'S SUMMIT, MO 64062        | HARRISON, JERRY DALE & JONNA C<br>1917 SW SAGE CANYON RD<br>LET'S SUMMIT, MO 64062 |
| 5                           | 3340 SW PHOENIX RD<br>LET'S SUMMIT, MO 64062     | DOANE ERIC J & JULIE A-TRUSTEES<br>3340 SW PHOENIX RD<br>LET'S SUMMIT, MO 64062    |
| 6                           | 3699 SW PHOENIX RD<br>LET'S SUMMIT, MO 64062     | MOULLEN PAULA<br>3699 SW PHOENIX RD<br>LET'S SUMMIT, MO 64062                      |
| 7                           | 1958 SW 150 HWY<br>LET'S SUMMIT, MO 64062        | GRIFIN, REBEY INVESTMENTS LLC<br>1201 SE 30TH ST<br>LET'S SUMMIT, MO 64062         |
| 8                           | ** NO ADDRESS **                                 | NAPPA VALLEY INVESTMENTS LLC<br>PO BOX 275<br>GREENWOOD, MO 64034                  |
| 9                           | TRUSTEE WITHIN<br>LET'S SUMMIT, MO 64062         | NAPPA VALLEY INVESTMENTS LLC<br>PO BOX 275<br>GREENWOOD, MO 64034                  |
| 10                          | 1912 SW SAGE CANYON RD<br>LET'S SUMMIT, MO 64062 | COOPER, JAMES<br>1912 SW SAGE CANYON RD<br>LET'S SUMMIT, MO 64062                  |
| 11                          | 1918 SW SAGE CANYON RD<br>LET'S SUMMIT, MO 64062 | DELL PAUL<br>1918 SW SAGE CANYON RD<br>LET'S SUMMIT, MO 64062                      |
| 12                          | 1917 SW SAGE CANYON RD<br>LET'S SUMMIT, MO 64062 | THOMSON, CARL & JUDITH D<br>1917 SW SAGE CANYON RD<br>LET'S SUMMIT, MO 64062       |
| 13                          | ** NO ADDRESS **                                 | THOMSON, CARL & JUDITH L<br>1917 SW SAGE CANYON RD<br>LET'S SUMMIT, MO 64062       |
| 14                          | ** NO ADDRESS **                                 | HIGHVIEW PROPERTIES LLC<br>1917 SW SAGE CANYON RD<br>LET'S SUMMIT, MO 64062        |
| 15                          | 2201 SW 150 HWY<br>LET'S SUMMIT, MO 64062        | SOLANO OSCAR E. & CARLA EVANS<br>1917 SW SAGE CANYON RD<br>LET'S SUMMIT, MO 64062  |
| 16                          | 14501 SW 150 HWY<br>LET'S SUMMIT, MO 64062       | SHERRARD LAWRENCE W. & MARY<br>4600 S 150 HWY<br>LEWISWOOD, KS 66209               |



NOTES:

1. EXISTING ZONING: R-1 & RLL
2. EXISTING LAND USE: LOW-DENSITY RESIDENTIAL & UNDEVELOPED
3. NO OIL OR GAS WELLS ARE LOCATED ON THE PROPERTY. INFORMATION VERIFIED VIA MISSOURI DNR: <https://dnr.mo.gov/geology/geoserver/olindigos.htm> (UPDATED AUGUST 2018)
4. FEMA FLOODPLAIN ZONE: AREA OF MINIMAL FLOOD HAZARD, PER MAP 250950C0531G, EFF. 1/26/2017



|                                         |  |                   |  |                         |  |                           |  |                    |  |                       |  |                 |  |      |  |           |  |
|-----------------------------------------|--|-------------------|--|-------------------------|--|---------------------------|--|--------------------|--|-----------------------|--|-----------------|--|------|--|-----------|--|
| SHEET<br>21                             |  | DATE<br>10/1/2019 |  | DRAWN BY<br>J. L. Smith |  | CHECKED BY<br>J. L. Smith |  | SCALE<br>1" = 100' |  | PROJECT NO.<br>19-030 |  | LEES SUMMIT, MO |  | 2019 |  | REVISIONS |  |
| EXISTING CONDITIONS                     |  |                   |  |                         |  |                           |  |                    |  |                       |  |                 |  |      |  |           |  |
| OSAGE                                   |  |                   |  |                         |  |                           |  |                    |  |                       |  |                 |  |      |  |           |  |
| REZONING & PRELIMINARY DEVELOPMENT PLAN |  |                   |  |                         |  |                           |  |                    |  |                       |  |                 |  |      |  |           |  |
| 1 10/1/2019 Revised per public comment  |  |                   |  |                         |  |                           |  |                    |  |                       |  |                 |  |      |  |           |  |
| DATE REVISION DESCRIPTION               |  |                   |  |                         |  |                           |  |                    |  |                       |  |                 |  |      |  |           |  |
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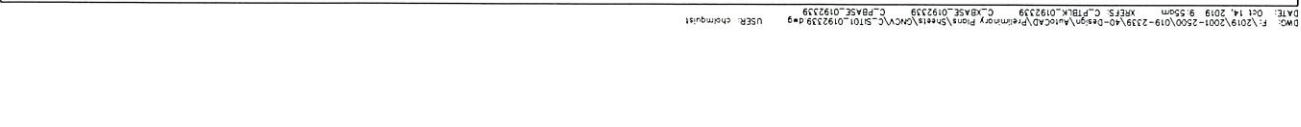
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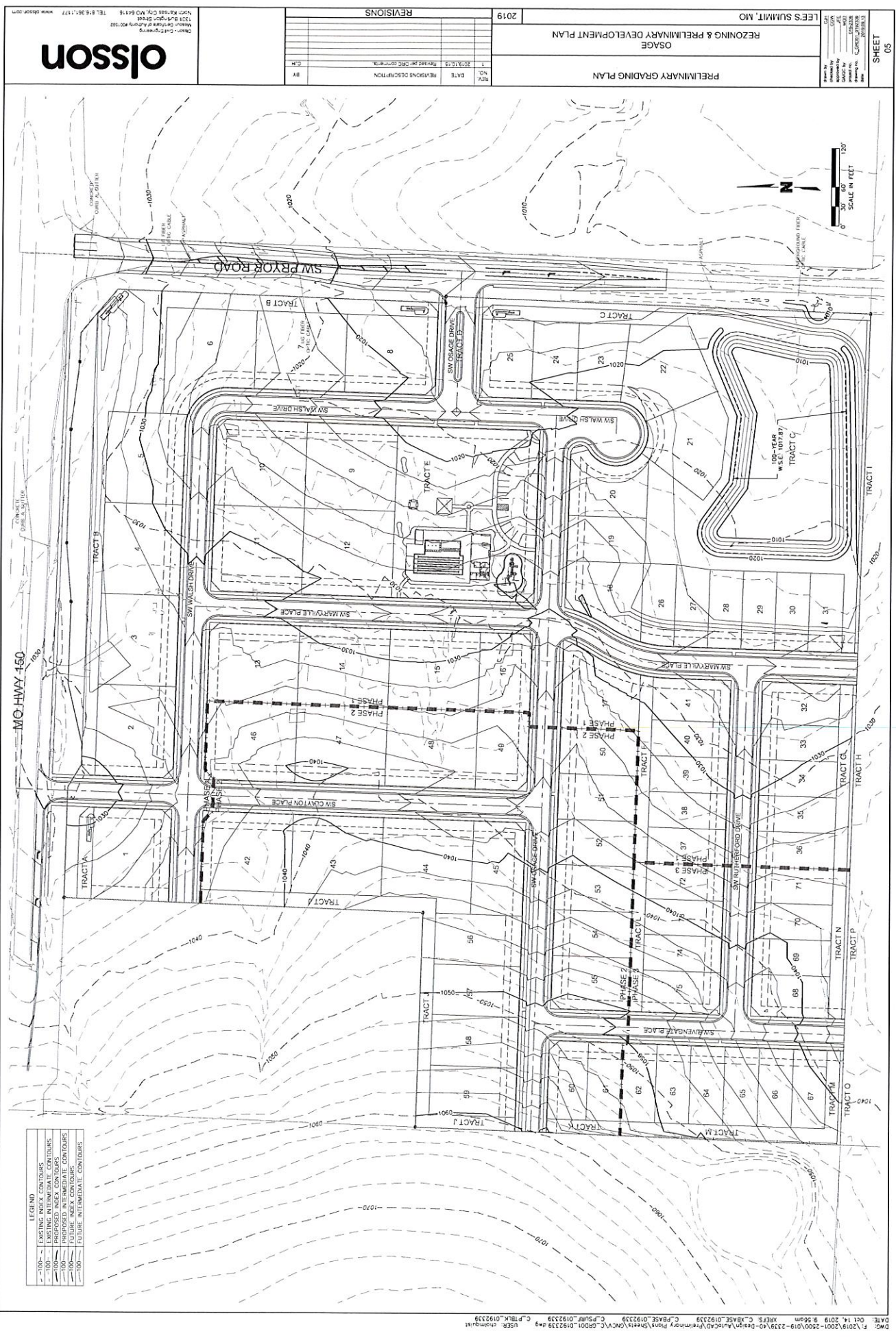
## SITE PLAN

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MO HWY 450

SW PRYOR ROAD

SW WALSH DRIVE

SW MARYVILLE PLACE

SW CLAYTON PLACE

SW AVENGER PLACE

SW SUNSET DRIVE

TRACT A

TRACT B

TRACT C

TRACT D

TRACT E

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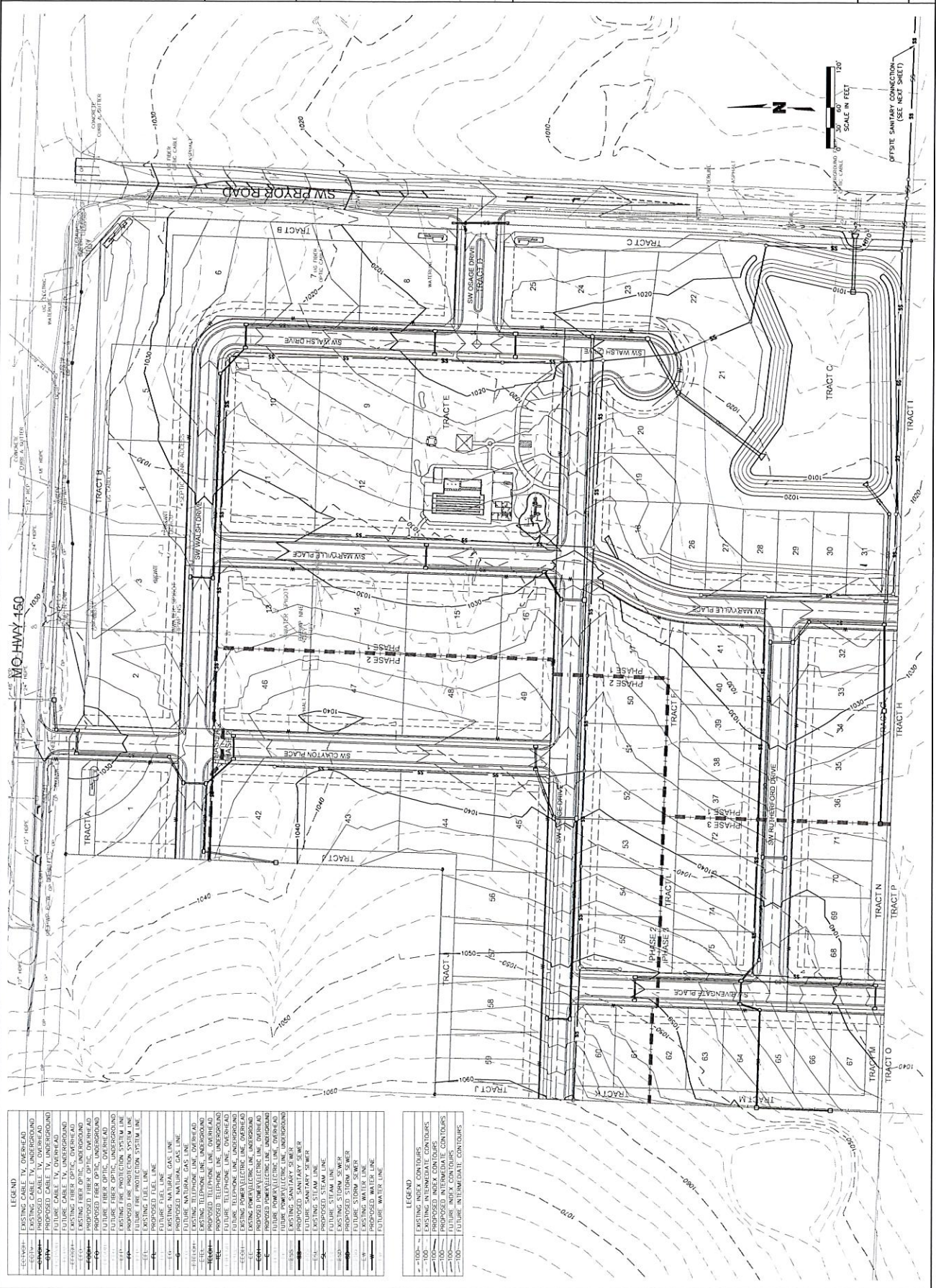
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| REV. | DATE       | REVISIONS DESCRIPTION    | BY | CHK |
| 1    | 2019/10/15 | Revise per CIGC comments |    |     |
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**olsson**



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| - - -  | EXISTING INTERMEDIATE CONTOURS |
| —      | PROPOSED INDEX CONTOURS        |
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| —      | FUTURE INDEX CONTOURS          |
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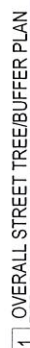
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| EXISTING CABLE TV, OVERHEAD          | — |
| PROPOSED CABLE TV, OVERHEAD          | — |
| EXISTING TV, UNDERGROUND             | — |
| EXISTING CABLE TV, UNDERGROUND       | — |
| PROPOSED CABLE TV, UNDERGROUND       | — |
| EXISTING FIBER OPTIC, OVERHEAD       | — |
| EXISTING FIBER OPTIC, UNDERGROUND    | — |
| PROPOSED FIBER OPTIC, OVERHEAD       | — |
| PROPOSED FIBER OPTIC, UNDERGROUND    | — |
| EXISTING FIRE PROTECTION SYSTEM LINE | — |
| PROPOSED FIRE PROTECTION SYSTEM LINE | — |
| EXISTING FUEL LINE                   | — |
| PROPOSED FUEL LINE                   | — |
| EXISTING NATURAL GAS LINE            | — |
| PROPOSED NATURAL GAS LINE            | — |
| EXISTING TELEPHONE LINE, OVERHEAD    | — |
| EXISTING TELEPHONE LINE, UNDERGROUND | — |
| PROPOSED TELEPHONE LINE, OVERHEAD    | — |
| PROPOSED TELEPHONE LINE, UNDERGROUND | — |
| EXISTING TELEPHONE LINE, OVERHEAD    | — |
| EXISTING TELEPHONE LINE, UNDERGROUND | — |
| EXISTING POWER/LINE, OVERHEAD        | — |
| EXISTING POWER/LINE, UNDERGROUND     | — |
| PROPOSED POWER/LINE, OVERHEAD        | — |
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| EXISTING POWER/LINE, OVERHEAD        | — |
| EXISTING POWER/LINE, UNDERGROUND     | — |
| EXISTING SANITARY SEWER              | — |
| PROPOSED SANITARY SEWER              | — |
| EXISTING SANITARY SEWER              | — |
| EXISTING STORM LINE                  | — |
| PROPOSED STORM LINE                  | — |
| EXISTING STORM SEWER                 | — |
| PROPOSED STORM SEWER                 | — |
| EXISTING WATER LINE                  | — |
| PROPOSED WATER LINE                  | — |
| EXISTING WATER LINE                  | — |



14-0192339

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All planting beds shall be amended with 1 cubic yard of peat moss per 1,000 square feet.

All existing beds shall be amended with 1 cubic yard of peat moss per 1,000 square feet. All plant moss must be at least A grade. A 10-10-10 fertilizer shall be applied to all planting areas prior to starting. At a rate of 5 pounds per 2,000 square feet.

After plants have been installed, all planting beds shall be mulched with Duxbury brand mulch. The depth of mulch shall be 50% peat or well composted material and 50% topsoil.

Dried material shall be maintained and guaranteed for a period of one year after Contractor's acceptance of finished job. All dried or damaged plant material shall be replaced at Landscape Contractor's expense.

The Contractor shall guarantee the plants against death until final acceptance, at which point the one-year guarantee begins.



1 PRYOR ROAD ENTRY MONUMENT LANDSCAPE PLAN  
SCALE: 1"=10'-0"







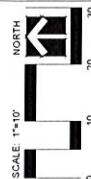


**CLIENT**  
Summit Homes  
120 SE 30th St  
Lee's Summit, MO 64082

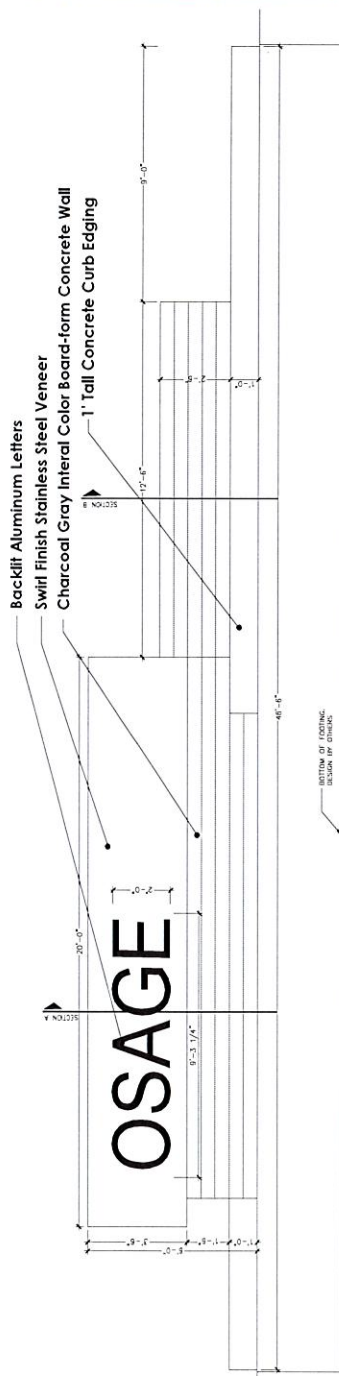
**PROJECT**  
Osage  
Highway 150 and  
Pryor Road  
Lee's Summit, MO

Date: 10.3.19  
Project #: 482  
Entry Monuments

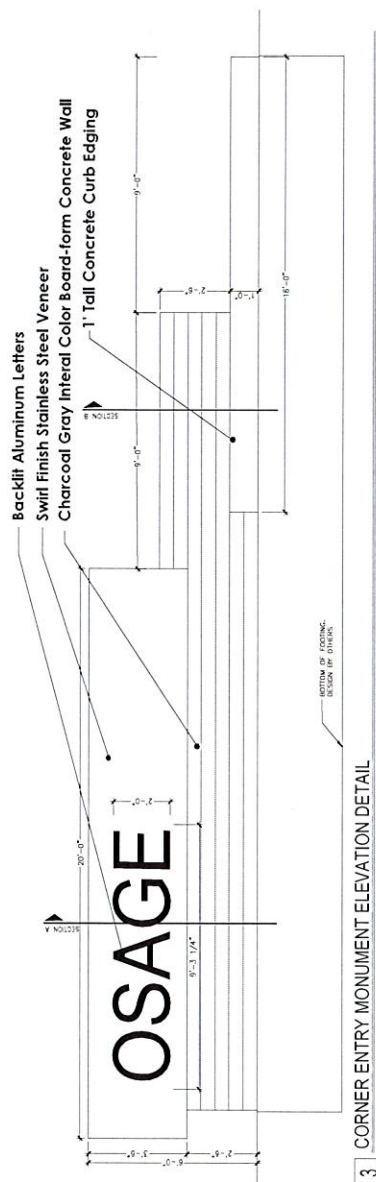
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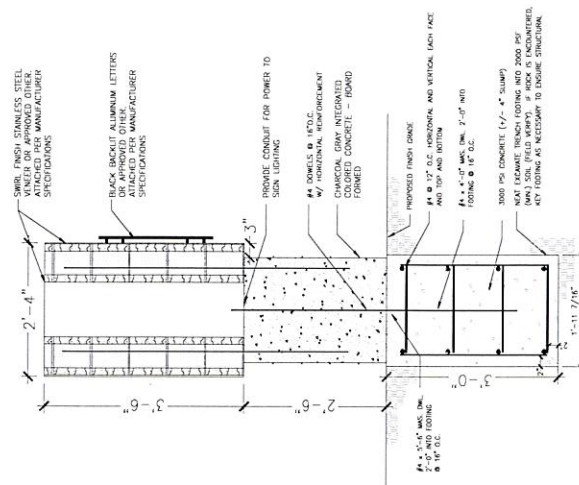
2 BOARD FORMED WALL IMAGE



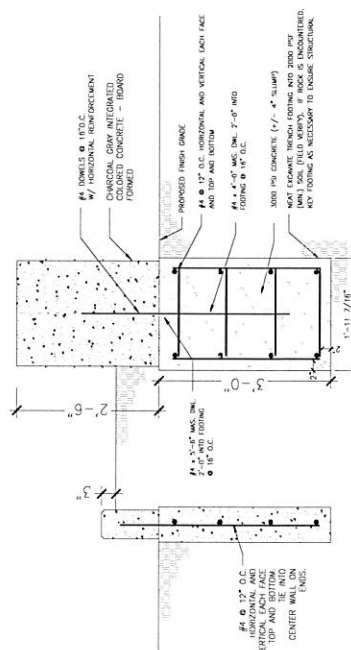
1 MAIN ENTRY MONUMENT ELEVATION DETAIL



3 CORNER ENTRY MONUMENT ELEVATION DETAIL



5 SECTION DETAILS FOR ENTRY MONUMENTS



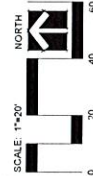
# 4 SECTION DETAILS FOR ENTRY MONUMENTS





**CLIENT**  
Summit Homes  
120 SE 30th St  
Lee's Summit, MO 64082

**PROJECT**  
Osage  
Highway 150 and  
Pryor Road  
Lee's Summit, MO

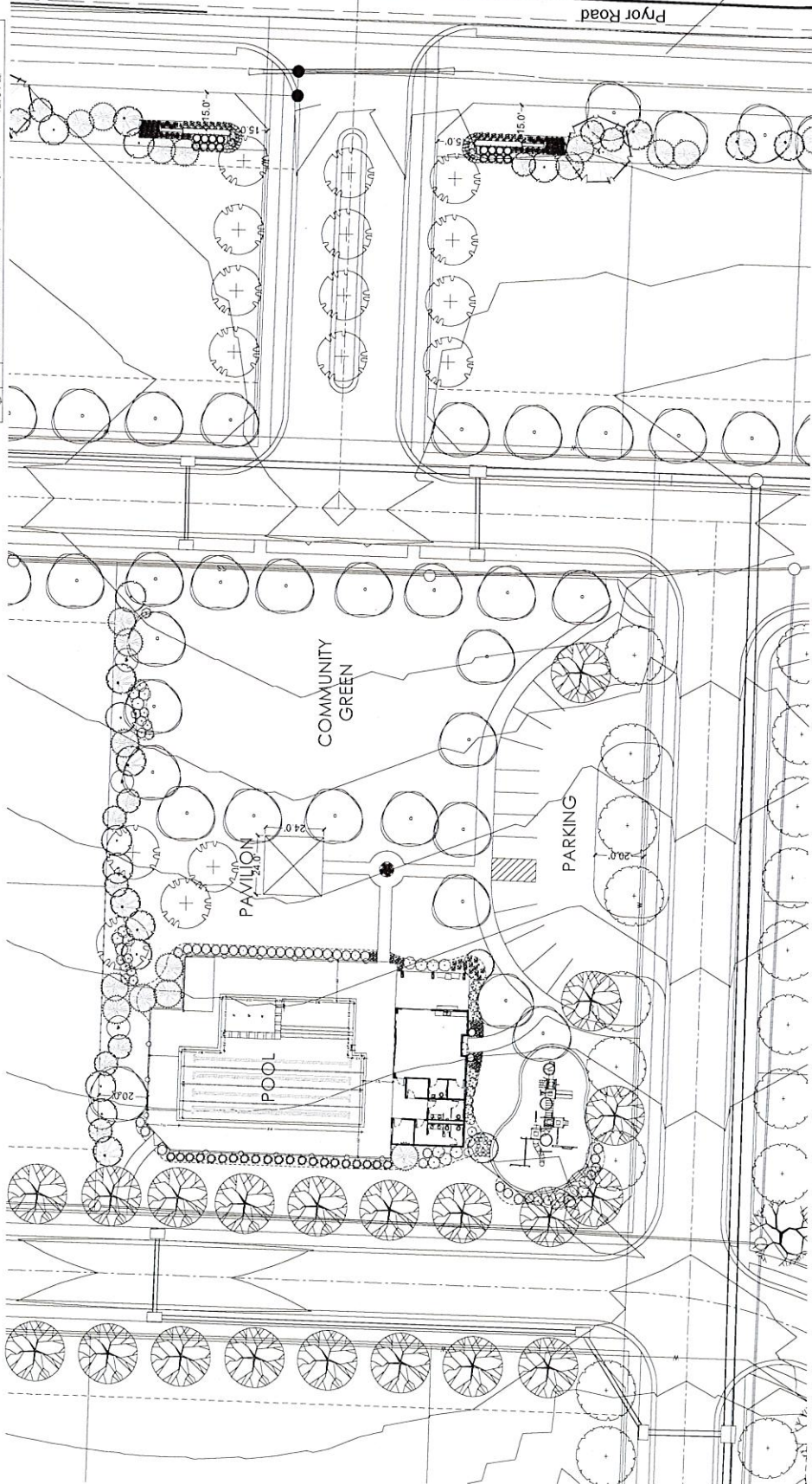


Date: 10.3.19  
Project #: 482  
Amenity Area Plan

**L5**

**Landscape Schedule (Amenity area only)**

| Symbol | Qty | Plant Name           | Notes                |
|--------|-----|----------------------|----------------------|
| 1      | 1   | Platanus xandersonii | Platanus xandersonii |
| 2      | 1   | Platanus xandersonii | Platanus xandersonii |
| 3      | 1   | Platanus xandersonii | Platanus xandersonii |
| 4      | 1   | Platanus xandersonii | Platanus xandersonii |
| 5      | 1   | Platanus xandersonii | Platanus xandersonii |
| 6      | 1   | Platanus xandersonii | Platanus xandersonii |
| 7      | 1   | Platanus xandersonii | Platanus xandersonii |
| 8      | 1   | Platanus xandersonii | Platanus xandersonii |
| 9      | 1   | Platanus xandersonii | Platanus xandersonii |
| 10     | 1   | Platanus xandersonii | Platanus xandersonii |
| 11     | 1   | Platanus xandersonii | Platanus xandersonii |
| 12     | 1   | Platanus xandersonii | Platanus xandersonii |
| 13     | 1   | Platanus xandersonii | Platanus xandersonii |
| 14     | 1   | Platanus xandersonii | Platanus xandersonii |
| 15     | 1   | Platanus xandersonii | Platanus xandersonii |
| 16     | 1   | Platanus xandersonii | Platanus xandersonii |
| 17     | 1   | Platanus xandersonii | Platanus xandersonii |
| 18     | 1   | Platanus xandersonii | Platanus xandersonii |
| 19     | 1   | Platanus xandersonii | Platanus xandersonii |
| 20     | 1   | Platanus xandersonii | Platanus xandersonii |
| 21     | 1   | Platanus xandersonii | Platanus xandersonii |
| 22     | 1   | Platanus xandersonii | Platanus xandersonii |
| 23     | 1   | Platanus xandersonii | Platanus xandersonii |
| 24     | 1   | Platanus xandersonii | Platanus xandersonii |
| 25     | 1   | Platanus xandersonii | Platanus xandersonii |
| 26     | 1   | Platanus xandersonii | Platanus xandersonii |
| 27     | 1   | Platanus xandersonii | Platanus xandersonii |
| 28     | 1   | Platanus xandersonii | Platanus xandersonii |
| 29     | 1   | Platanus xandersonii | Platanus xandersonii |
| 30     | 1   | Platanus xandersonii | Platanus xandersonii |
| 31     | 1   | Platanus xandersonii | Platanus xandersonii |
| 32     | 1   | Platanus xandersonii | Platanus xandersonii |
| 33     | 1   | Platanus xandersonii | Platanus xandersonii |
| 34     | 1   | Platanus xandersonii | Platanus xandersonii |
| 35     | 1   | Platanus xandersonii | Platanus xandersonii |
| 36     | 1   | Platanus xandersonii | Platanus xandersonii |
| 37     | 1   | Platanus xandersonii | Platanus xandersonii |
| 38     | 1   | Platanus xandersonii | Platanus xandersonii |
| 39     | 1   | Platanus xandersonii | Platanus xandersonii |
| 40     | 1   | Platanus xandersonii | Platanus xandersonii |
| 41     | 1   | Platanus xandersonii | Platanus xandersonii |
| 42     | 1   | Platanus xandersonii | Platanus xandersonii |
| 43     | 1   | Platanus xandersonii | Platanus xandersonii |
| 44     | 1   | Platanus xandersonii | Platanus xandersonii |
| 45     | 1   | Platanus xandersonii | Platanus xandersonii |
| 46     | 1   | Platanus xandersonii | Platanus xandersonii |
| 47     | 1   | Platanus xandersonii | Platanus xandersonii |
| 48     | 1   | Platanus xandersonii | Platanus xandersonii |
| 49     | 1   | Platanus xandersonii | Platanus xandersonii |
| 50     | 1   | Platanus xandersonii | Platanus xandersonii |

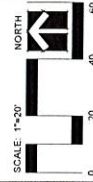


**1 AMENITY AREA ENLARGEMENT PLAN**  
SCALE: 1"=20'



**CLIENT**  
Summit Homes  
120 SE 30th St  
Lee's Summit, MO 64082

**PROJECT**  
Osage  
Highway 150 and  
Pryor Road  
Lee's Summit, MO

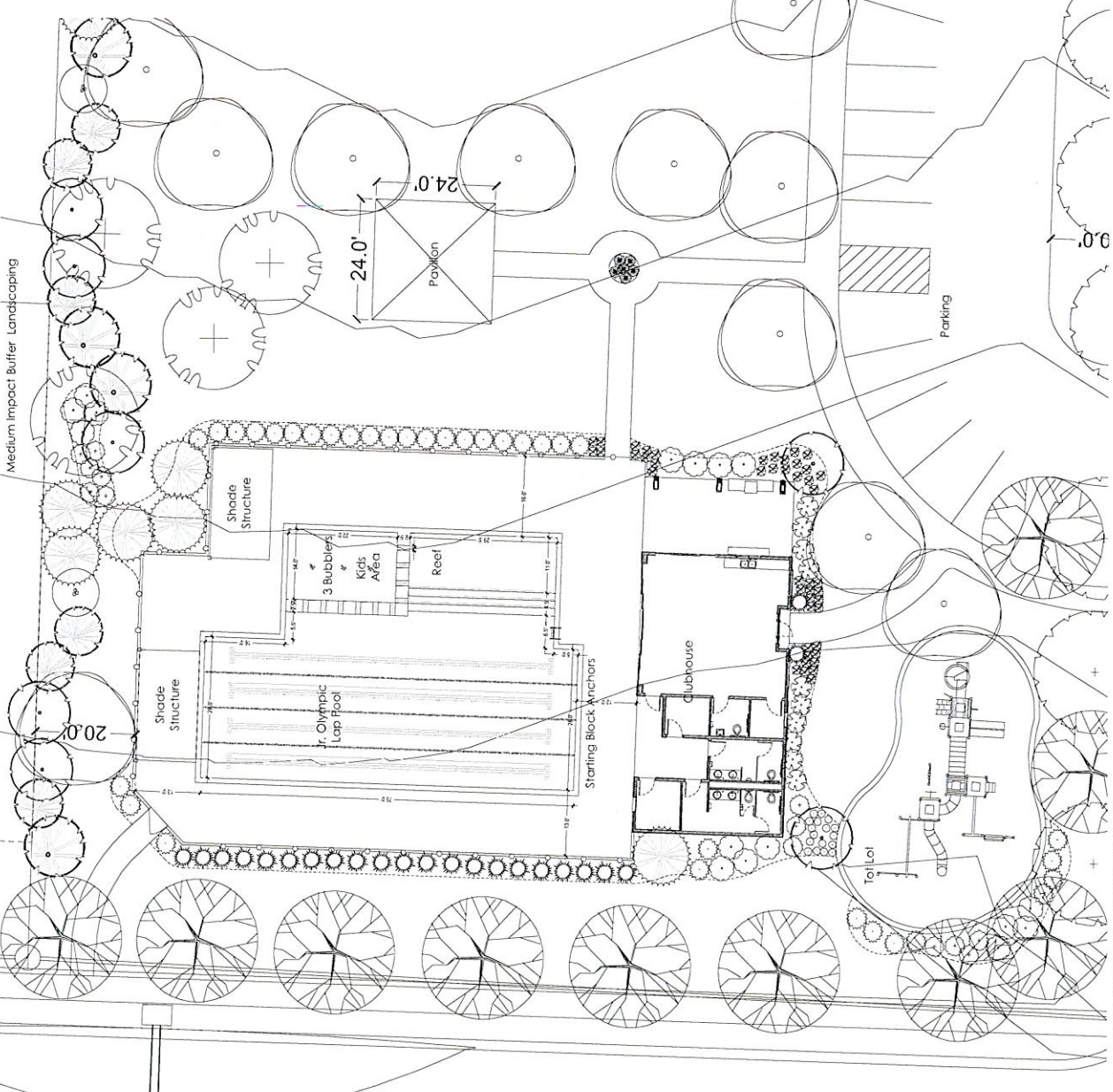


Date: 10.3.19  
Project #: 482  
Annenity Area Plan

**L6**

**Landscape Schedule (Annenity area only)**

| Symbol | Qty | Plant Name          | Customer Name | Material  | Notes               |
|--------|-----|---------------------|---------------|-----------|---------------------|
| 1      | 1   | Platanus x 10' tall | Platanus      | 10' x 10' | Platanus x 10' tall |
| 2      | 1   | Platanus x 10' tall | Platanus      | 10' x 10' | Platanus x 10' tall |
| 3      | 1   | Platanus x 10' tall | Platanus      | 10' x 10' | Platanus x 10' tall |
| 4      | 1   | Platanus x 10' tall | Platanus      | 10' x 10' | Platanus x 10' tall |
| 5      | 1   | Platanus x 10' tall | Platanus      | 10' x 10' | Platanus x 10' tall |
| 6      | 1   | Platanus x 10' tall | Platanus      | 10' x 10' | Platanus x 10' tall |
| 7      | 1   | Platanus x 10' tall | Platanus      | 10' x 10' | Platanus x 10' tall |
| 8      | 1   | Platanus x 10' tall | Platanus      | 10' x 10' | Platanus x 10' tall |
| 9      | 1   | Platanus x 10' tall | Platanus      | 10' x 10' | Platanus x 10' tall |
| 10     | 1   | Platanus x 10' tall | Platanus      | 10' x 10' | Platanus x 10' tall |
| 11     | 1   | Platanus x 10' tall | Platanus      | 10' x 10' | Platanus x 10' tall |
| 12     | 1   | Platanus x 10' tall | Platanus      | 10' x 10' | Platanus x 10' tall |
| 13     | 1   | Platanus x 10' tall | Platanus      | 10' x 10' | Platanus x 10' tall |
| 14     | 1   | Platanus x 10' tall | Platanus      | 10' x 10' | Platanus x 10' tall |
| 15     | 1   | Platanus x 10' tall | Platanus      | 10' x 10' | Platanus x 10' tall |
| 16     | 1   | Platanus x 10' tall | Platanus      | 10' x 10' | Platanus x 10' tall |
| 17     | 1   | Platanus x 10' tall | Platanus      | 10' x 10' | Platanus x 10' tall |
| 18     | 1   | Platanus x 10' tall | Platanus      | 10' x 10' | Platanus x 10' tall |
| 19     | 1   | Platanus x 10' tall | Platanus      | 10' x 10' | Platanus x 10' tall |
| 20     | 1   | Platanus x 10' tall | Platanus      | 10' x 10' | Platanus x 10' tall |
| 21     | 1   | Platanus x 10' tall | Platanus      | 10' x 10' | Platanus x 10' tall |
| 22     | 1   | Platanus x 10' tall | Platanus      | 10' x 10' | Platanus x 10' tall |
| 23     | 1   | Platanus x 10' tall | Platanus      | 10' x 10' | Platanus x 10' tall |
| 24     | 1   | Platanus x 10' tall | Platanus      | 10' x 10' | Platanus x 10' tall |
| 25     | 1   | Platanus x 10' tall | Platanus      | 10' x 10' | Platanus x 10' tall |
| 26     | 1   | Platanus x 10' tall | Platanus      | 10' x 10' | Platanus x 10' tall |
| 27     | 1   | Platanus x 10' tall | Platanus      | 10' x 10' | Platanus x 10' tall |
| 28     | 1   | Platanus x 10' tall | Platanus      | 10' x 10' | Platanus x 10' tall |
| 29     | 1   | Platanus x 10' tall | Platanus      | 10' x 10' | Platanus x 10' tall |
| 30     | 1   | Platanus x 10' tall | Platanus      | 10' x 10' | Platanus x 10' tall |



**1 POOL AREA ENLARGEMENT PLAN**

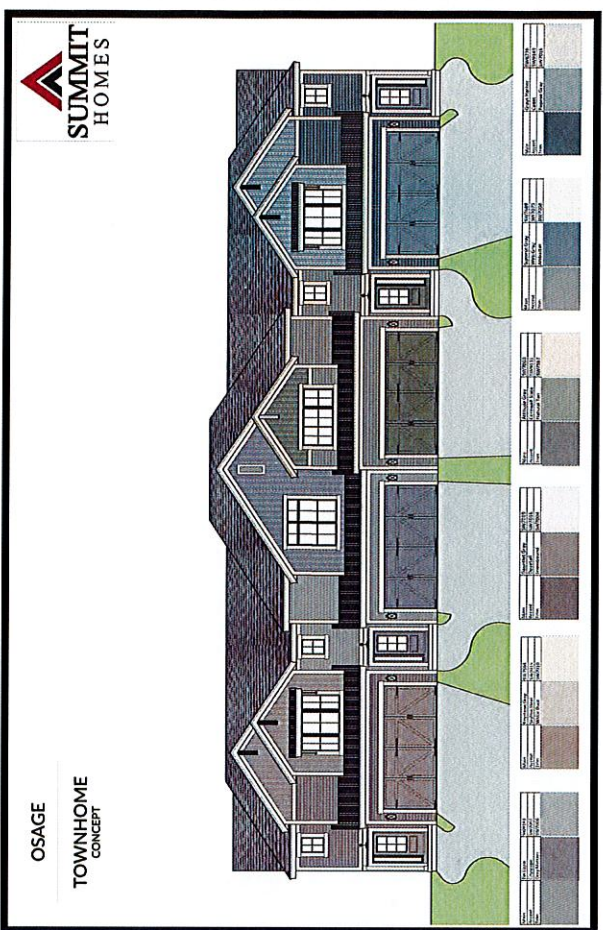


SHEET  
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LEES SUMMIT, MO  
REZONING & PRELIMINARY DEVELOPMENT PLAN  
ARCHITECTURAL ELEVATIONS - TOWNHOMES

| REV | DATE     | REVISIONS DESCRIPTION          |
|-----|----------|--------------------------------|
| 1   | 05/15/19 | REVISED PER LDC SPECIFICATIONS |
| 2   | 05/15/19 | REVISED PER LDC SPECIFICATIONS |
| 3   | 05/15/19 | REVISED PER LDC SPECIFICATIONS |
| 4   | 05/15/19 | REVISED PER LDC SPECIFICATIONS |
| 5   | 05/15/19 | REVISED PER LDC SPECIFICATIONS |
| 6   | 05/15/19 | REVISED PER LDC SPECIFICATIONS |
| 7   | 05/15/19 | REVISED PER LDC SPECIFICATIONS |
| 8   | 05/15/19 | REVISED PER LDC SPECIFICATIONS |
| 9   | 05/15/19 | REVISED PER LDC SPECIFICATIONS |
| 10  | 05/15/19 | REVISED PER LDC SPECIFICATIONS |

olsson  
Olsson - Consulting  
1001 North 10th Street  
North Kansas City, MO 64116  
TEL: 816-351-1177 WWW.OLSSON.COM



- BUILDING MATERIALS:
  - LP SMART PANEL
  - 1/2" OSB
  - BOARD AND BAT
  - 1/2" SHANK SHINGLE SIDING
  - MANUFACTURED STONE VENEER
  - CLIMATE BRACKETS AND CORBELS
  - FINISHES: PAINT, STAIN, LAMINATE
  - CONCRETE LIGHTS



DATE: 10/14/2019  
PROJECT: LEE'S SUMMIT, MO  
DRAWN BY: J. HARRIS  
CHECKED BY: J. HARRIS  
APPROVED BY: J. HARRIS

ARCHITECTURAL ELEVATIONS - TWIN GALLERY  
OSAGE  
REZONING & PRELIMINARY DEVELOPMENT PLAN

2019

| REV | DATE     | REVISIONS DESCRIPTION      |
|-----|----------|----------------------------|
| 1   | 10/14/19 | Revisions per City Request |
| 2   |          |                            |
| 3   |          |                            |
| 4   |          |                            |
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olsson  
1524 Kalkstein Drive  
North Kansas City, MO 64116  
TEL: 816-361-1777  
WWW.OLSSON.COM



- BUILDING MATERIALS:
- STUCCO
  - LP SMART PANEL
  - SIDING AND BAT
  - STUCCO
  - SINGLE GING
  - MANUFACTURED STONE VENEER
  - MANUFACTURED STONE VENEER
  - CLAY BRICKS AND CORBEL
  - TRIMMED FAUX LOWER ACCENTS
  - COACH LIGHTS



|             |               |
|-------------|---------------|
| Drawn by    | CJH           |
| Checked by  | CGH           |
| Approved by | JL            |
| QC'd by     | WJO           |
| Project no. | 015-2339      |
| Drawing no. | C-AS03_014239 |
| Date        | 2019.09.13    |

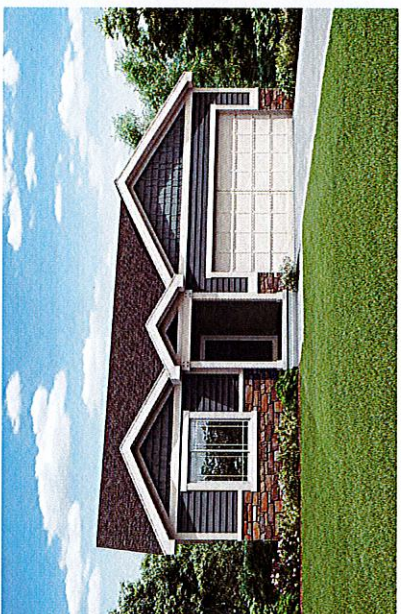
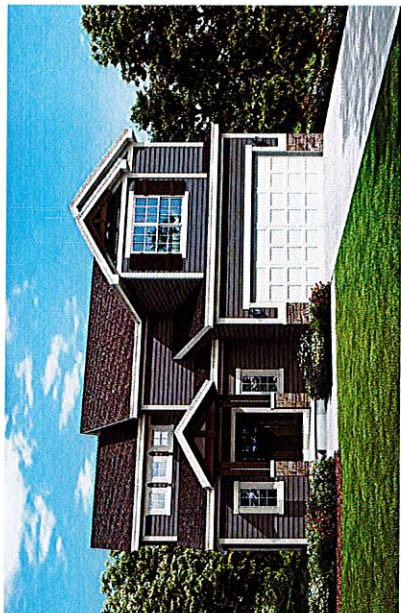
ARCHITECTURAL ELEVATIONS - SINGLE-FAMILY  
OSAGE  
REZONING & PRELIMINARY DEVELOPMENT PLAN  
J. MO

|      |  |  |
|------|--|--|
| 2019 |  |  |
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**uosslo**

Olsson • Civil Engineering  
1301 Burlington Street  
North Kansas City, MO 64116  
TEL: 816.361.1177  
www.olson.com



- BUILDING MATERIALS:
- LP SMART LAP
- LP SMART PANEL
- LP TRIM
- BOARD AND BATT
- STUCCO
- LP SHAKE SHINGLE SIDING
- MANUFACTURED STONE VENEER
- COMPOSITE SHINGLES
- CEDAR BRACKETS AND CORBEL
- TRIMMED FAUX LOUVER ACCENTS
- CRACK LIGHTS







**Appl. #PL2019-307 - REZONING from AG and R-1 to RP-3  
and PRELIMINARY DEVELOPMENT PLAN - Osage  
Approximately 32 acres located at the southwest corner  
of SW M-150 Hwy and SW Pryor Rd  
Clayton Properties Group, Inc., applicant**

