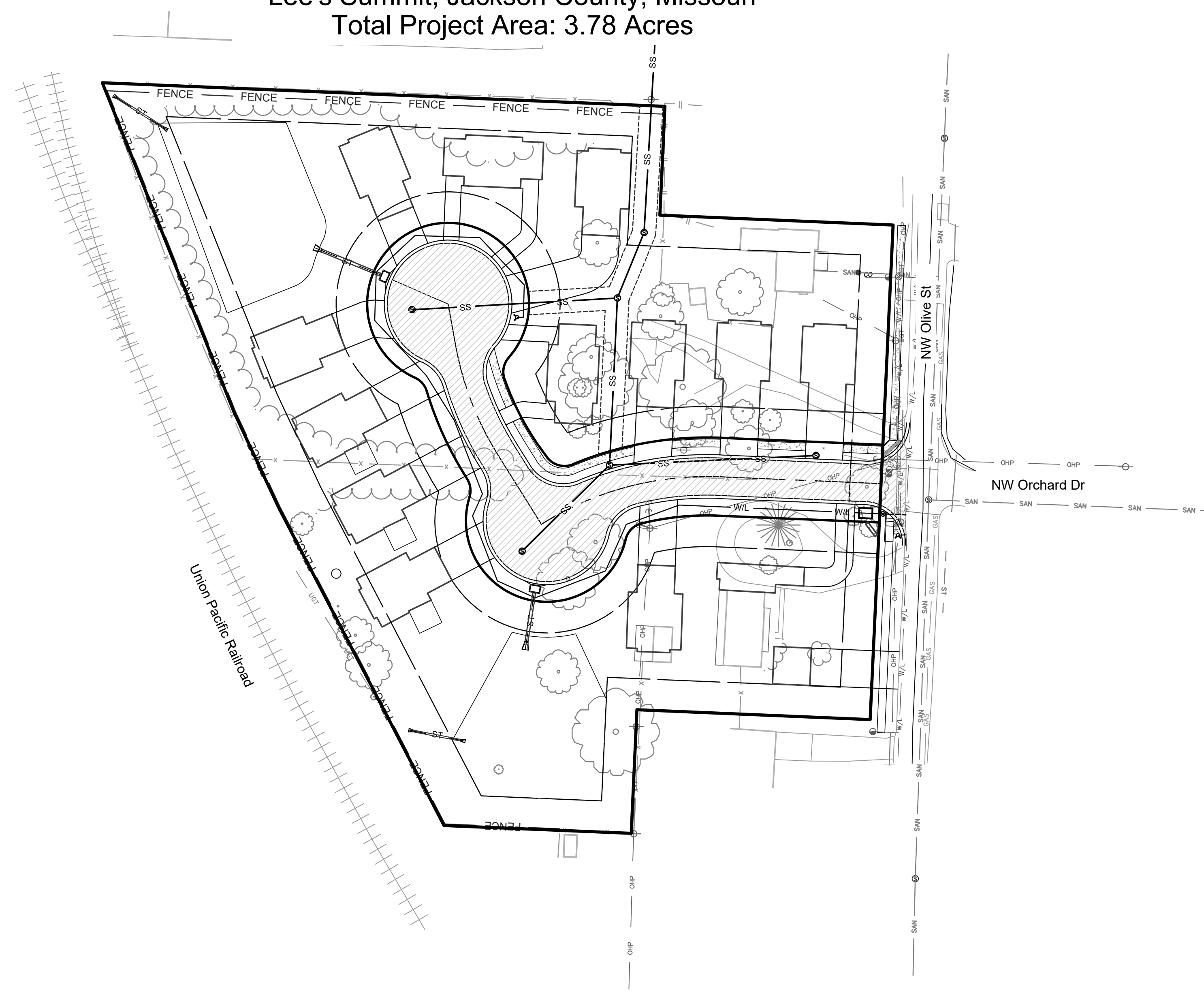
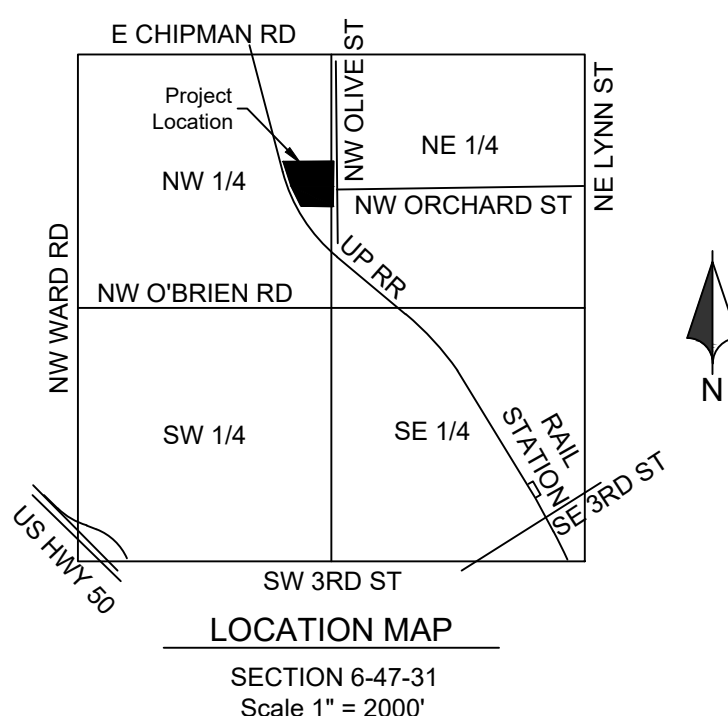
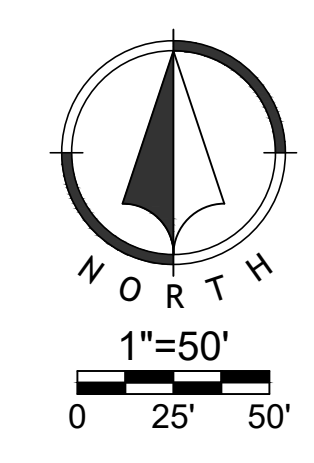


Preliminary Development Plans For
Sequoia
Lee's Summit, Jackson County, Missouri
Total Project Area: 3.78 Acres



Sheet List Table	
Sheet Number	Sheet Title
C01	Cover Sheet
C02	Existing Conditions
C03	General Layout
C04	Grading Plan
C05	Utility Plan
C06	Hydrant Coverage
C07	Drainage Map
C08	Erosion Control Phase I
C09	Erosion Control Phase II
C10	Erosion Control Phase III
L01	Landscape Plan
L02	Separate Schedules 1
L03	Separate Schedules 2
L04	Landscape Notes & Details



Know what's below.
Call before you dig.

UTILITIES

WATER & SANITARY SEWER
City of Lee's Summit Water Utilities
220 SE Green St
Lee's Summit, MO
Phone: 816.969.1900
After Hours: 816.969.7407

TELEPHONE
AT&T
2121 E 63rd St., C101
Kansas City, MO 64130
Darrin Shepard
Mgr OSP Planning and
Engineering Design Office
Phone: 816.772.0336
Email: ds616h@att.com

ELECTRIC
Evergy
Ron DeJarnette
401 SE Bailey Rd.
Lee's Summit, MO 64080
Phone: 816-347-4316
Email: Ron.DeJarnette@kcpl.com

CABLE TV
Charter/Spectrum
8221 W 119th St
Overland Park, KS 66213
Troy Prewitt
Construction Coordinator II
Cable Management Inc.
Phone: 816-401-3573
Email: troy.prewitt@charter.com

GAS
Spire Energy
3025 SE Clover Dr
Lee's Summit, MO 64082
Katelynn Liberty
Construction Engineer I
Phone: 816.260.6581
Email: katelynn.liberty@spireengery.com

BENCHMARK:
BM-A: 1.0 mi NW along the Missouri Pacific Railroad from the station at Lee's Summit, at the crossing of Sheer Road, 86 ft southeast of the center line of Sheer Road, 36 ft northeast of the northwest rail, 28.4 ft south of a telephone pole, 697 ft southwest of a fence, 1.8 ft west of a witness post, set in the top of a concrete post which projects 0.3 ft above the ground. Elev: 994.87

BM-B: 1.3 mi N along the Missouri Pacific Railroad from the station at Lee's Summit, Jackson County, at semaphore 2611, on the top of the concrete base, and 10 ft east of the track. A chiseled square. Elev: 971.80

CONTROL POINTS
CP-1: Station JA-51
The station is about 0.5 miles west of the intersection of highway 50 and I-470 in the NW part of Lee's Summit at Lowenstien Park. It is 137.5 ft SW of the center of NW Lowenstien Rd; 39 ft SE of the center of NW Blacktwig Ln. and 84.9 ft E of a nail and shiner in a power pole.
N: 306638.907
E: 857091.827
Station JA-136
The station is located near the intersection of Hwy 50 and 3rd St. It is located near the intersection of SW Oldham Pkwy and SW Ward Rd.; 61 ft S of the center of SW Oldham Rd.; 28.9 ft E of the E edge of SW Ward Rd.; 38.1 ft NE of an angle point in the curb and 43.9 ft. W of an angle point in the curb.
N: 304466.750
E: 859083.036

GENERAL NOTES

- All construction shall follow the City of Lee's Summit Design and Construction Manual as adopted by Ordinance 5813. Where discrepancies exist between the Preliminary Development Plan and the Design and Construction Manual, the Design and Construction Manual shall govern.
- The contractor will be responsible for securing all bonds, and insurance required by the contract documents, City of Lee's Summit, Mo., and all other governing agencies (including local, county, state, and federal authorities) having jurisdiction over the work proposed by these construction documents. The cost for all bonds, and insurance shall be the contractor's responsibility and shall be included in the bid for the work.
- All existing utilities indicated on the drawings are according to the best information available to the engineer; however, all utilities actually existing may not be shown. The contractor shall be responsible for contacting all utility companies for an exact field location of each utility prior to any construction. All utilities, shown and un-shown, damaged through the negligence of the contractor shall be repaired or replaced by the contractor at his/her expense.
- The contractor will be responsible for all damages to existing utilities, pavement, fences, structures, and other features not designated for removal. The contractor shall repair all damages at his/her expense.
- The demolition of existing pavement, curbs, structures, and all other features necessary to construct the proposed improvements, shall be performed by the contractor. All waste material removed during construction shall be disposed off the project site. The contractor shall be responsible for all permits for hauling and disposing of waste material. The disposal of waste material shall be in accordance with all local, state, and federal regulations.
- By use of these construction documents the contractor hereby agrees that he shall be solely responsible for the safety of the construction workers and the public. The contractor agrees to hold the engineer and owner harmless for any and all injuries, claims, losses, or damages related to the project.
- The contractor will be responsible for providing all signage, barricades, lighting, etc., as required for temporary traffic control during the construction of this project. Maintenance of the temporary traffic control devices will be the contractor's responsibility. All traffic control in conduction with construction in the right-of-way shall be in conformance with the City Traffic Control Requirements.
- Contractor shall furnish evidence that his/her insurance meets the requirements of the City of Lee's Summit, Missouri Municipal Code.
- Prior to installing, constructing, or performing any work on the public storm sewer line (including connecting private drainage systems to the storm sewer), contact Lee's Summit Inspections.
- Connections to the public storm sewers between structures will not be permitted.
- Contractor shall verify and accept existing topography shown herein. Contractor shall notify Engineer if any discrepancies are found prior to any earthwork activities.
- Planning and Codes Administration will require a retaining wall design by a registered engineer in the State of Missouri.
- Geo-grid, footings, or other elements of the retaining wall(s) cannot encroach into the right of way or public easements.
- A Knox Box shall be provided for Each Building.
- All building and life safety issues shall comply with the 2012 International Fire Code and local amendments as adopted by the City of Lee's Summit.

Description:

Tract I:
Lot 22, and 23, HEARNE'S ADDITION, a subdivision in Lee's Summit, Jackson County, Missouri, EXCEPT the South 8 feet of the West 50 feet of Lot 22 and also EXCEPT, the South 8 feet of Lot 23, and ALSO EXCEPT the South 88 feet of the East 150 feet of Lot 22, together with the South ½ of vacated Orchard Street lying North of and Adjacent to the said premises in questions.

Tract II:
Lots 1, 2, and 3, EXCEPT the North 140 feet of the East 150 feet of Lot 3, HEARNE'S ADDITION, (aka/ HEARNE'S FIRST ADDITION) and the North Half of vacated Orchard Street lying South and adjacent, a subdivision in Lee's Summit, Jackson County, Missouri.

Tract III:
All that part of Lot 3, HEARNE'S ADDITION to Lee's Summit, Jackson County, Missouri, described as follows: Beginning at a point 70 feet South of the Northeast corner of said Lot 3; thence South 65 feet; thence West 150 feet; thence North 65 feet; thence East 150 feet to the point of beginning.

Common Property:

All common property and common property maintenance plans shall be maintained in accordance with Article 5, Division V of the City of Lee's Summit Unified Development Ordinance. The homeowners association shall have ownership and responsibility of common property and common property maintenance plan revisions.

Oil / Gas Well Note:

There is no visible evidence, this date, of abandoned oil or gas wells located within the property boundary, as identified in "Environmental Impact Study of Abandoned Oil and Gas Wells in Lee's Summit, Missouri." (Figure B-4, pg. 91)

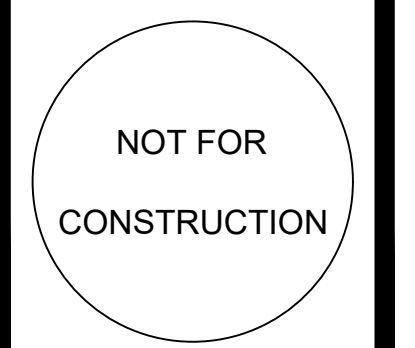
Flood Plain Note

We have reviewed the F.E.M.A. Flood Insurance Rate Map Number 29095C0417G, revised January 20, 2017, this tract graphically lies in OTHER AREAS, ZONE X, defined as areas determined to be outside the 0.2% annual chance floodplain.

NO.	BY	DATE	REVISION
1	JLD	MES 12/11/19	ORIGINAL SUBMITTAL
			REVISION

Renaissance Infrastructure Consulting
1815 MCCREE STREET, SUITE 200
KANSAS CITY, MISSOURI 64108
816.800.0950
WWW.RIC-CONSULT.COM

MO Certificate of Authority: E-2010035930

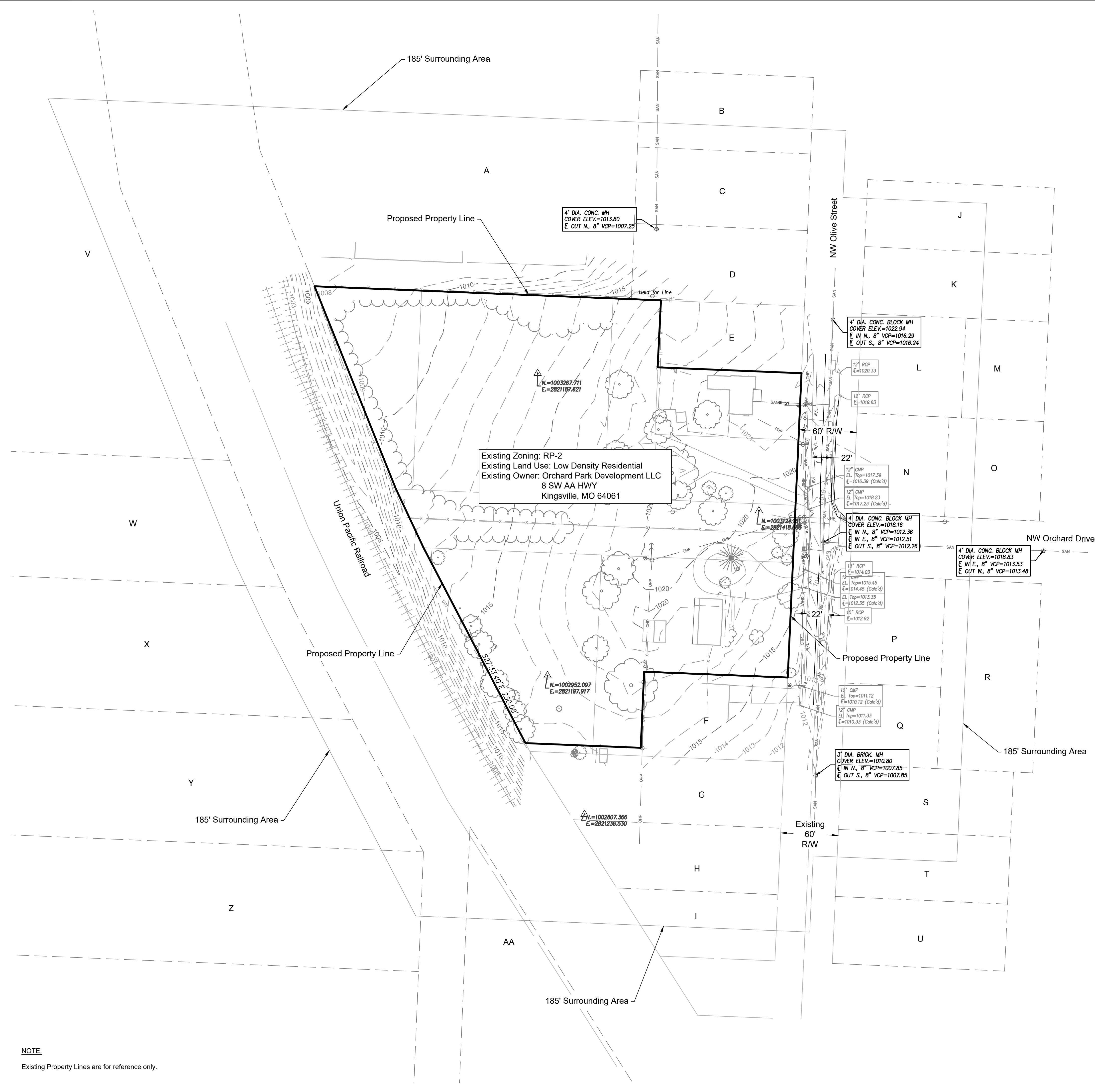


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NO.	BY	DATE	REVISION
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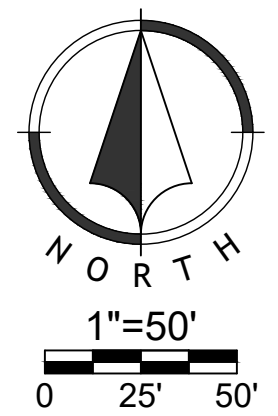
Renaissance Infrastructure Consulting
1815 MCCREE STREET, SUITE 200
KANSAS CITY, MISSOURI 64108
816.800.0950
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MO Certificate of Authority: E-2010033830

Zoning	Land Use	Surrounding Properties	Ownership
A	PI	3216 - Wholesale Trade	221 NW CHIPMAN ROAD LLC 110 N GRAND AVE MARYVILLE MO 64468
B	RP-2	1120 - Duplex	BURNETT INVESTMENTS LLC 4621 NW BIRKDALE CT LEES SUMMIT MO 64064
C	RP-2	1120 - Duplex	BRAY-MAGEE CHERIE 1210 E LUCY WEBB RD RAYMORE MO 64083-9422
D	RP-2	1120 - Duplex	BURNETT INVESTMENTS LLC 4621 NW BIRKDALE CT LEES SUMMIT MO 64064
E	RP-2	1110 - Single Family Residence	STEWARDSHIP INVESTMENTS LLC 7215 TROOST AVE KANSAS CITY MO 64131
F	RP-2	1110 - Single Family Residence	SANDY WILLIAM R JR & MICHELLE C 31205 E 179TH ST PLEASANT HILL MO 64080
G	RP-2	1110 - Single Family Residence	PEOPLES DIANNA L & PAUL S 404 NW OLIVE ST LEES SUMMIT MO 64063-1949
H	RP-2	1110 - Single Family Residence	VANBEBBER RALPH & PATSY C 701 SW MURRAY LEES SUMMIT MO 64081
I	RP-2	1110 - Single Family Residence	REDMON ALBERT D 400 NW OLIVE ST LEES SUMMIT MO 64063
J	RP-2	1100 - Single Family Residence	TAYLOR MICHAEL S & KAREN L 509 NW OLIVE ST LEES SUMMIT MO 64063
K	RP-2	1110 - Single Family Residence	FORESTER HEATHER 507 NW OLIVE ST LEES SUMMIT MO 64063
L	RP-2	1120 - Duplex	LW PROPERTIES LLC 612 NE ENGLISH MANOR DR UNIT D LEES SUMMIT MO 64086
M	RP-2	1120 - Duplex	LW PROPERTIES LLC 612 NE ENGLISH MANOR DR UNIT D LEES SUMMIT MO 64086
N	RP-2	1110 - Single Family Residence	MATSON AMY 106 NW ORCHARD DR LEES SUMMIT MO 64063
O	RP-2	1120 - Duplex	SEILER TIM & MACHELL 224 SW SEAGULL CT LEES SUMMIT MO 64082
P	RP-2	1110 - Single Family Residence	NEWMAN JANICE 109 NW ORCHARD DR LEES SUMMIT MO 64063
Q	RP-2	1110 - Single Family Residence	MCCLINTOCK CATHY D 407 NW OLIVE LEES SUMMIT MO 64063
R	RP-2	1110 - Single Family Residence	NEILL TRACEY A & TANA M 107 NW ORCHARD DR LEES SUMMIT MO 64063
S	RP-2	1110 - Single Family Residence	POSEY CAROL S 405 NW OLIVE ST LEES SUMMIT MO 64063
T	RP-2	1110 - Single Family Residence	LONG ERIC & ZEHNDER LINDSAY 403 NW OLIVE ST LEES SUMMIT MO 64063
U	RP-2	1100 - Single Family Residence	FARNAM HARVIE L & SHARON L 401 NW OLIVE ST LEES SUMMIT MO 64063-1948
V	PI	2290 - Mini Warehouse	STOW IT ASSOCIATED LLC 4400 SHAWNEE MISSION PKWY STE 209 SHAWNEE MISSION, KS 66205
W	RP-1	1110 - Single Family Residence	PJCJ DONOVAN LLC 2709 SW REGAL DR LEES SUMMIT MO 64082
X	RP-1	1100 - Single Family Residence	NICHOLS TENA R & JOHNNIE J 501 NW DONOVAN RD LEES SUMMIT MO 64063
Y	RP-1	1100 - Single Family Residence	FARHNER MARK 201 TUSCARORA LN LAKE WINNEBAGO MO 64034
Z	RP-1	1100 - Single Family Residence	FARHNER MARK & FARHNER DAROLD 201 TUSCARORA LN LAKE WINNEBAGO MO 64034
A	RP-1	1100 - Single Family Residence	FARHNER MARK D & FARHNER DAROLD 201 TUSCARORA LN LAKE WINNEBAGO MO 64034



Existing Zoning: RP-2
Existing Land Use: Low Density Residential
Existing Owner: Orchard Park Development LLC
8 SW AA HWY
Kingsville, MO 64061

NOTE:
Existing Property Lines are for reference only.



NO.	BY	DATE	REVISION
1	JGD	MES 12/11/19	ORIGINAL SUBMITTAL

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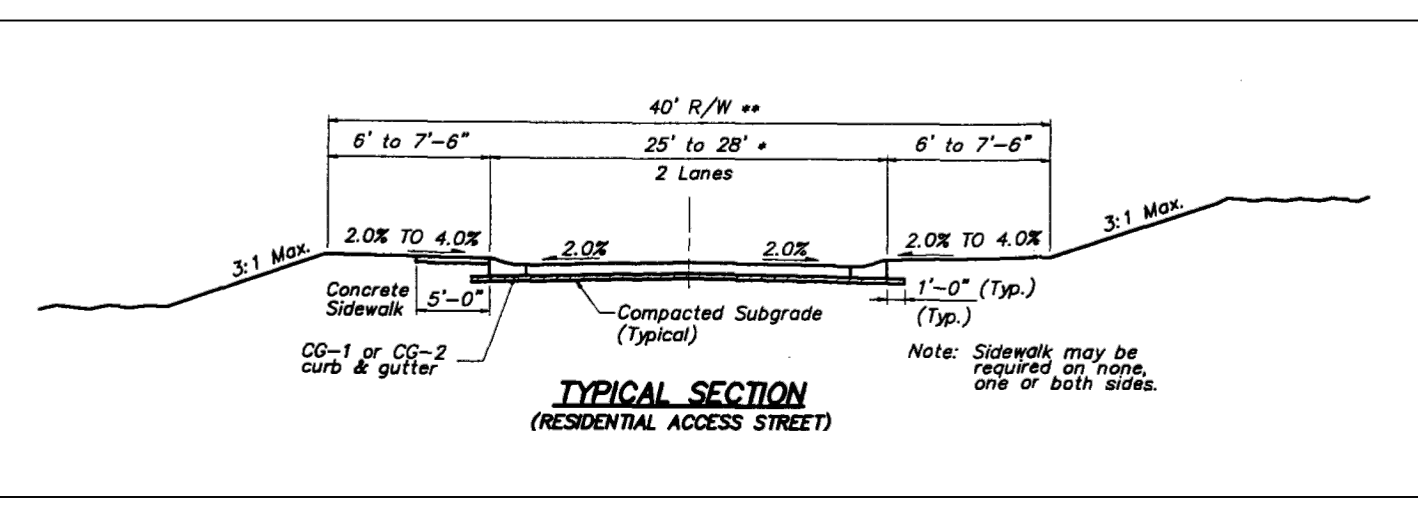
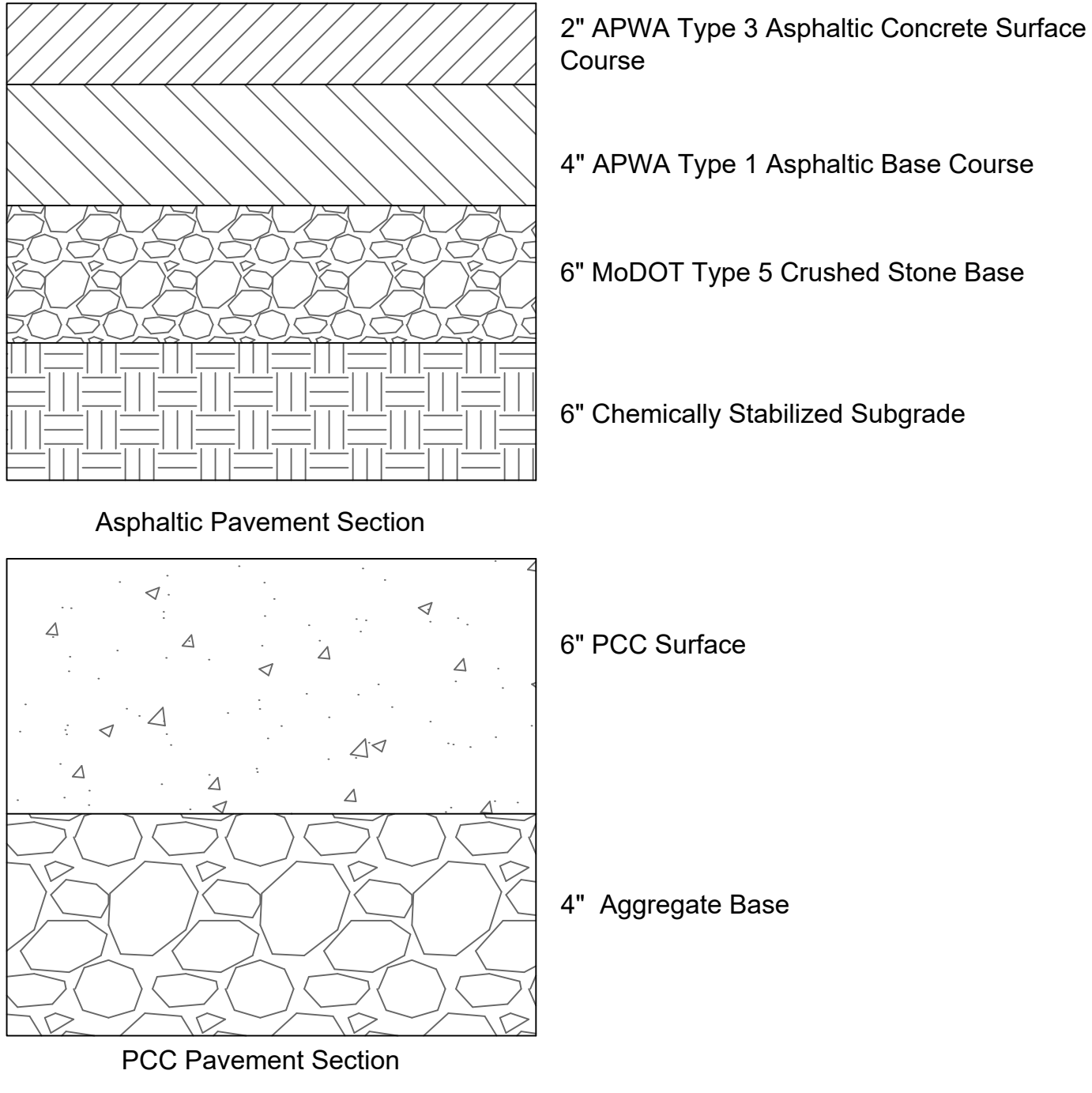
MO Certificate of Authority: E-201003930

Land Use Schedule
 Total Floor Area = 23,007 SF
 Dwelling Units/AC (MAX 7.5/AC) = 6.88
 Land Area = 3.78 AC
 Parking Required: 52 (2/Unit)
 Parking Provided: 52
 Impervious Coverage = 2.43 AC
 Floor Area Ratio (FAR) = 0.14

LEGEND

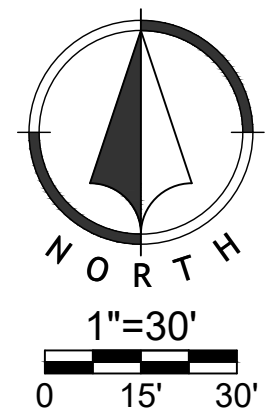
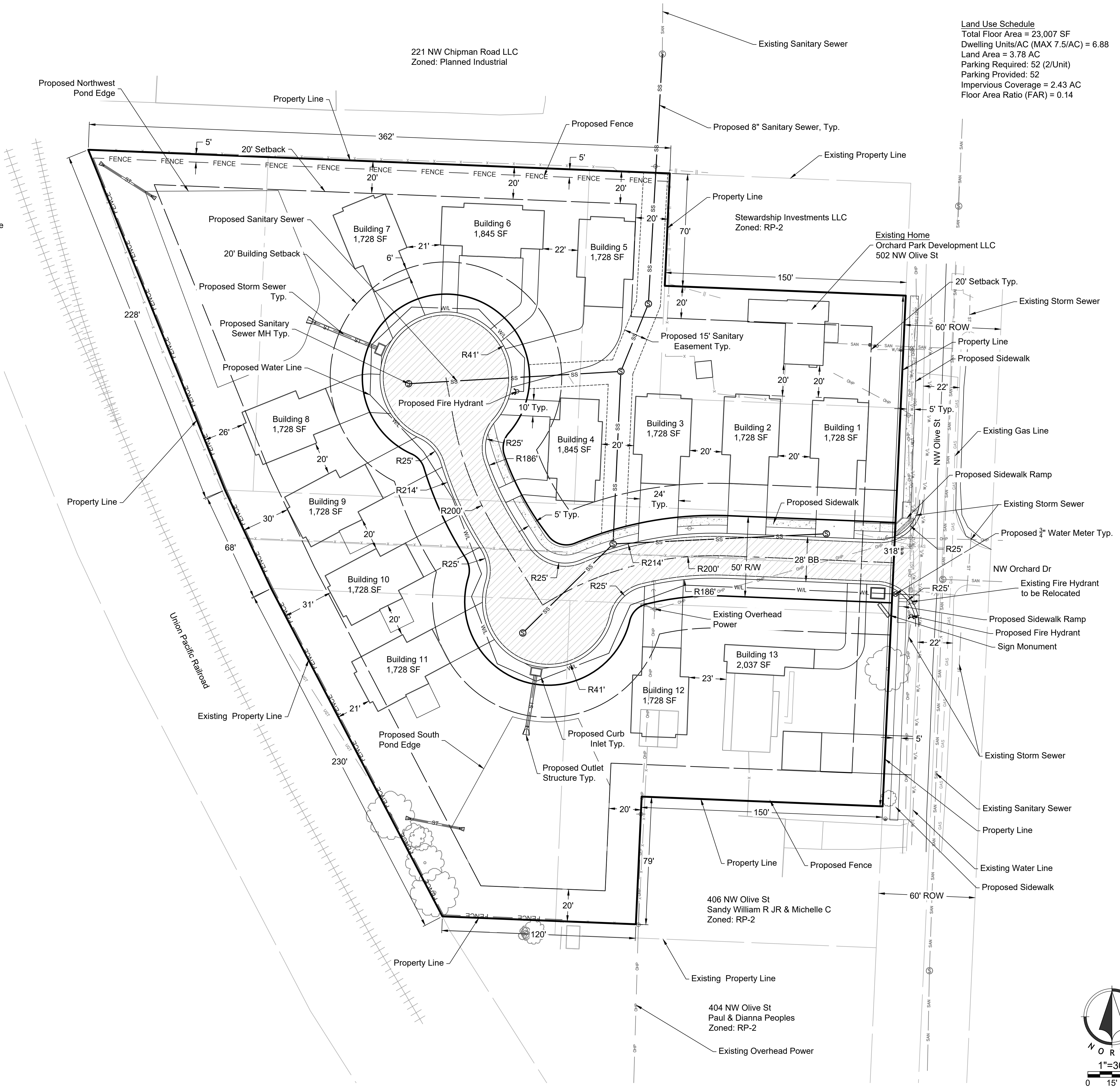
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|-----|-----------------------------|-----|---------------------------|
| --- | Existing Section Line | --- | Proposed Right-of-Way |
| --- | Existing Right-of-Way Line | --- | Proposed Property Line |
| --- | Existing Lot Line | --- | Proposed Lot Line |
| --- | Existing Easement Line | --- | Proposed Easement |
| --- | Existing Curb & Gutter | --- | Proposed Curb & Gutter |
| --- | Existing Sidewalk | --- | Proposed Sidewalk |
| --- | Existing Storm Sewer | --- | Proposed Storm Sewer |
| □ | Existing Storm Structure | □ | Proposed Storm Structure |
| --- | Existing Waterline | --- | Proposed Fire Hydrant |
| --- | Existing Gas Main | --- | Proposed Waterline |
| --- | Existing Sanitary Sewer | --- | Proposed Sanitary Sewer |
| ⊙ | Existing Sanitary Manhole | ⊙ | Proposed Sanitary Manhole |
| --- | Existing Contour Major | --- | Proposed Contour Major |
| --- | Existing Contour Minor | --- | Proposed Contour Minor |
| --- | Proposed Asphaltic Pavement | --- | Future Curb & Gutter |

Note:
 1) All fencing constructed adjacent to PI zoning districts shall conform to City of Lee's Summit UDO Section 8.890 minimum buffer screen requirements.

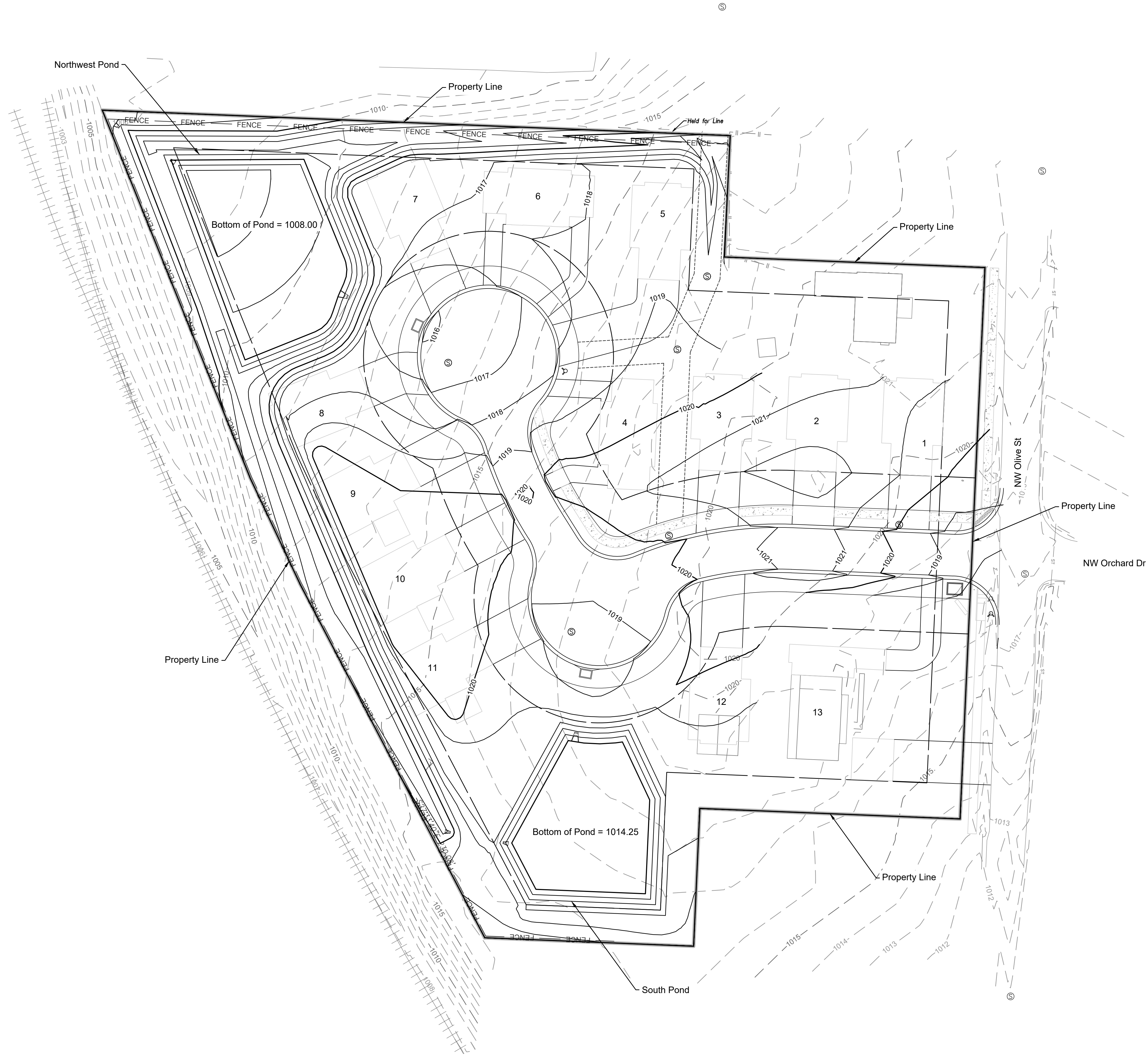


*This width may be used only in planned development where a minimum of 4 off street parking spaces are provided for each dwelling unit.

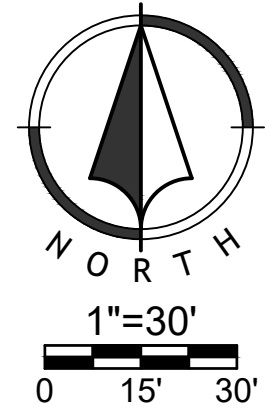
**Must be approved by the local authority during the preliminary planned development stage under special conditions such as extremely hilly topography, preserving existing trees or other site conditions.



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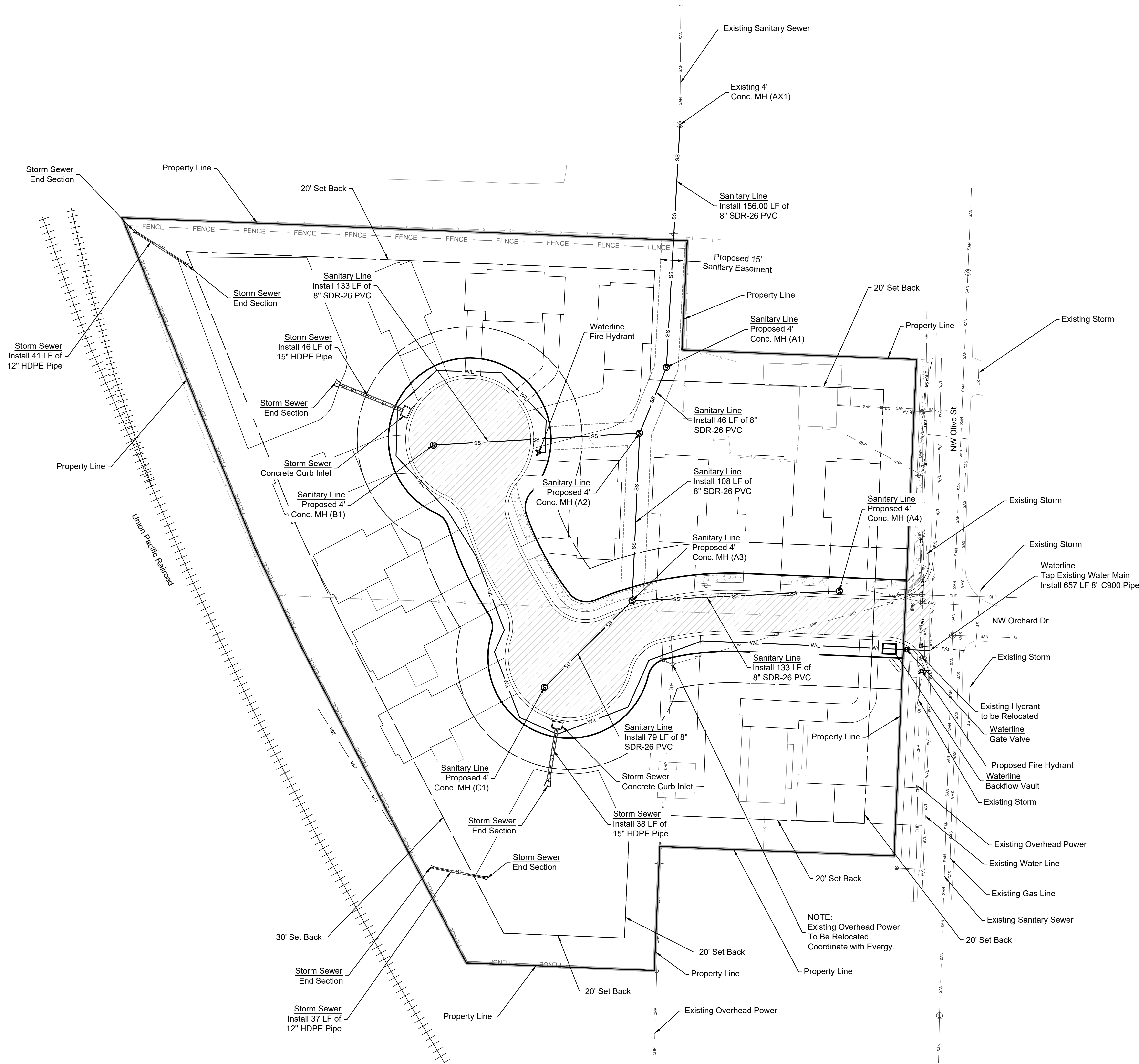


- Legend**
- Proposed Major Contour
 - Proposed Minor Contour
 - Existing Major Contour
 - Existing Minor Contour



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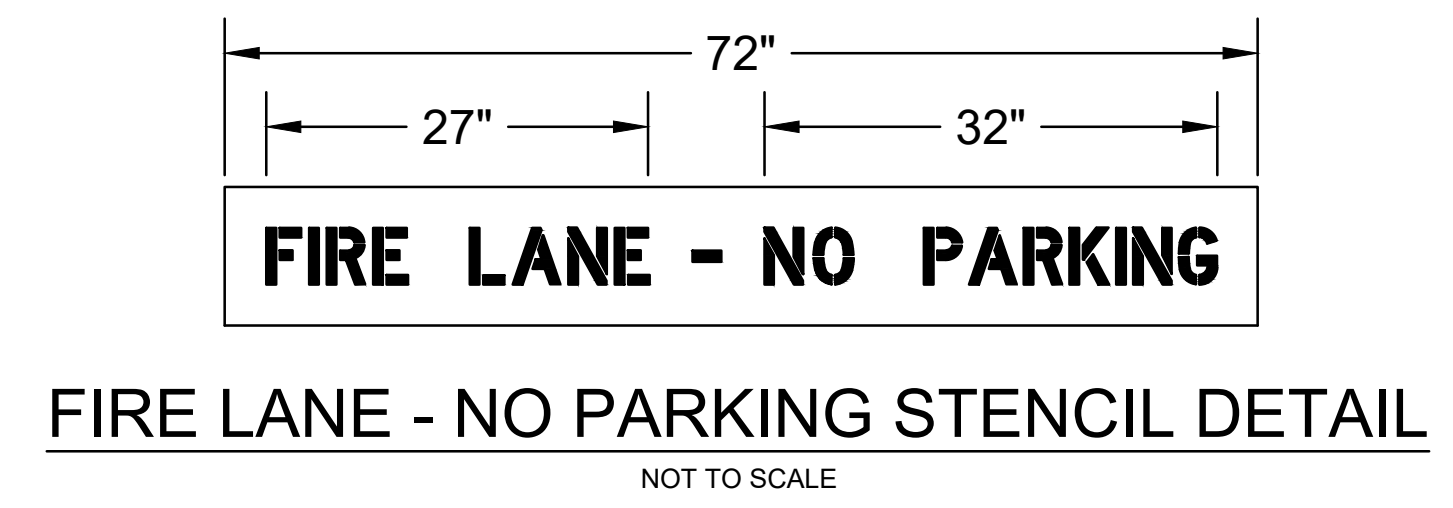
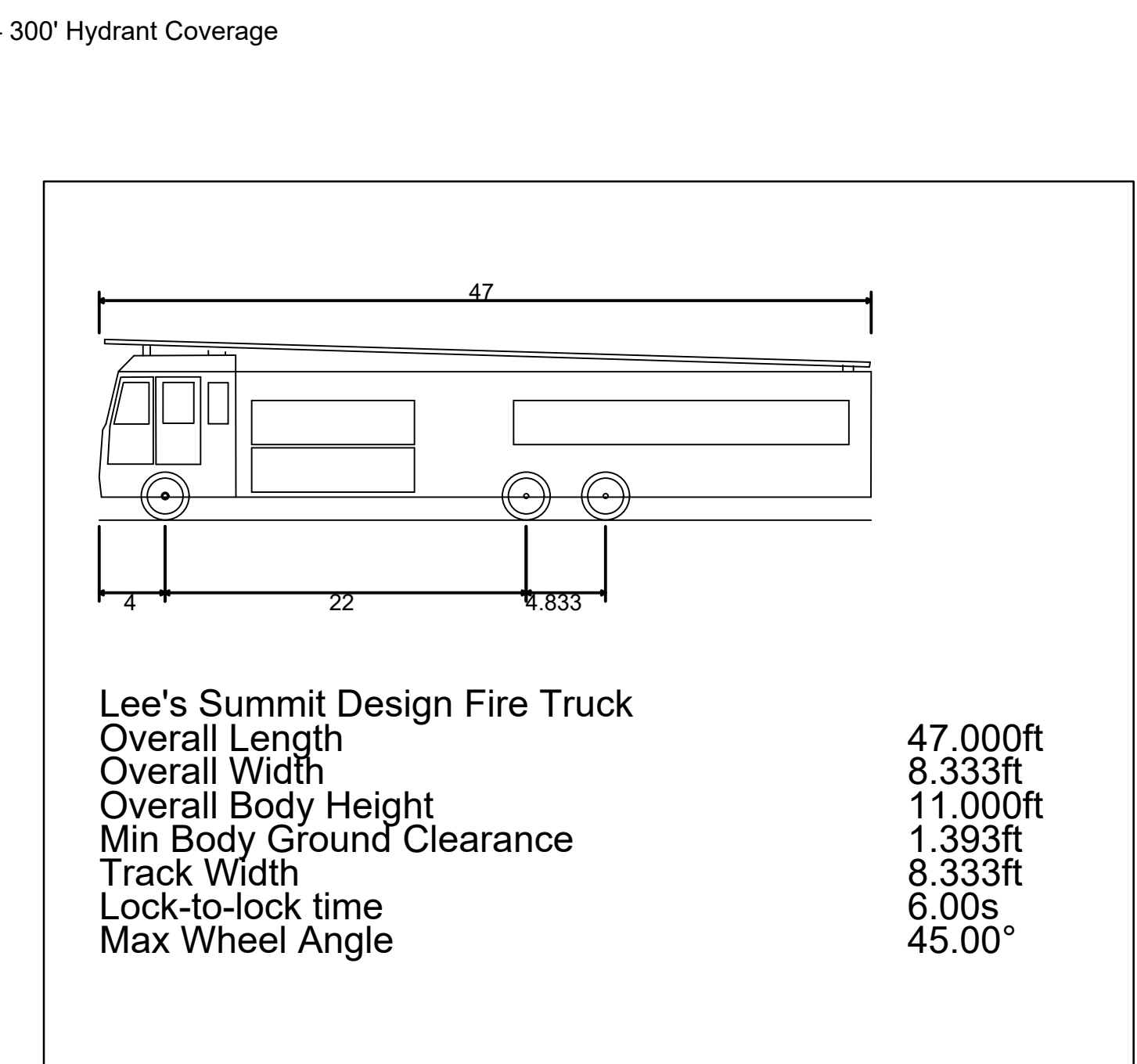


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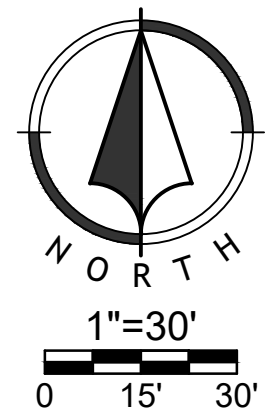
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Note:
 See the Water Impact Statement, Dated
 January 14, 2019, for Fire Flow
 Calculations and test results.



Sheet
 C06

Preliminary Development Plans
 18-0251
 Sequoia
 Lee's Summit, Jackson County, Missouri

Hydrant Coverage

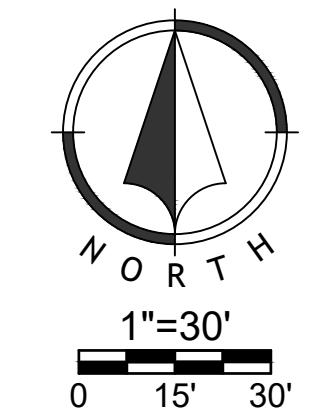
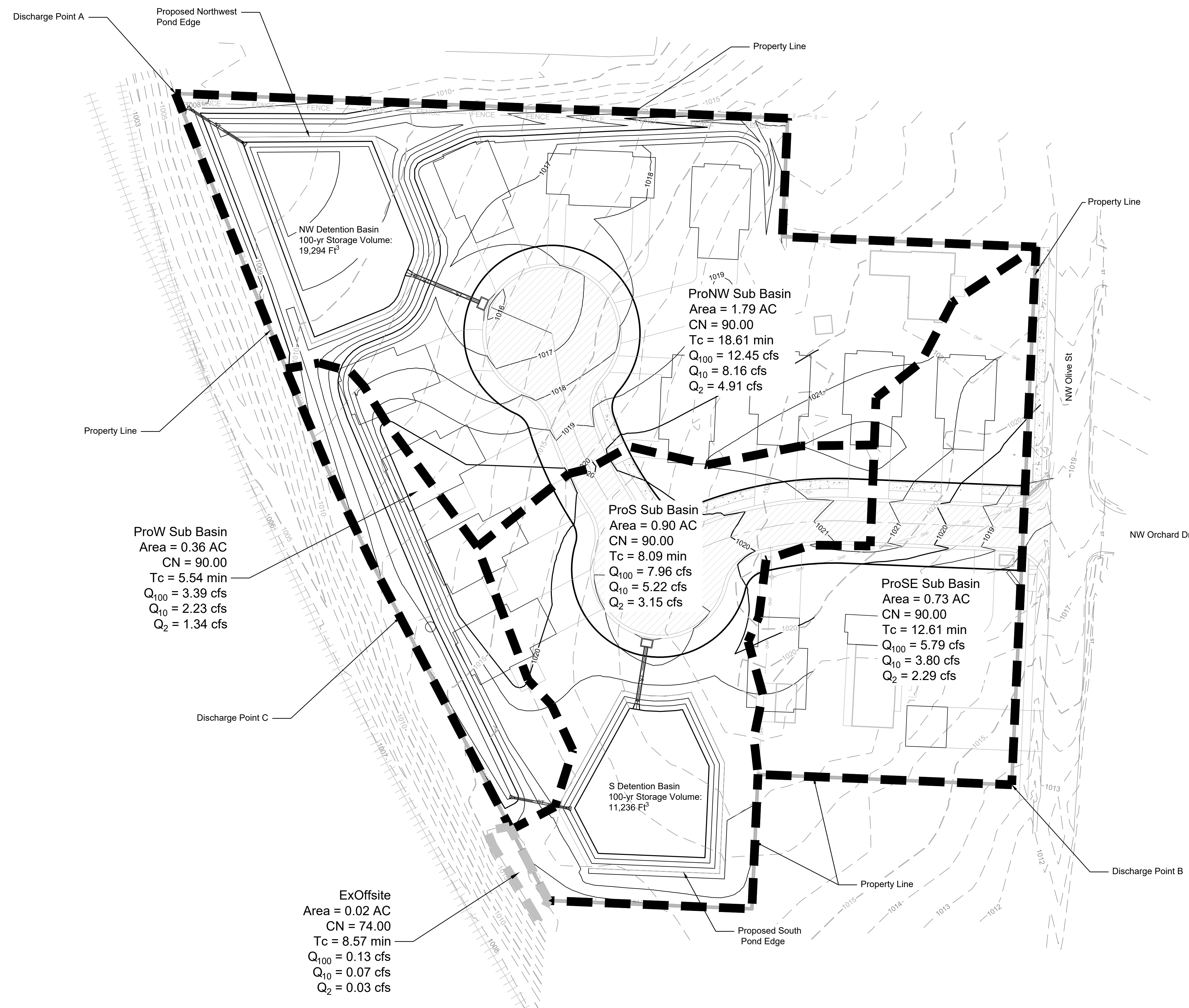
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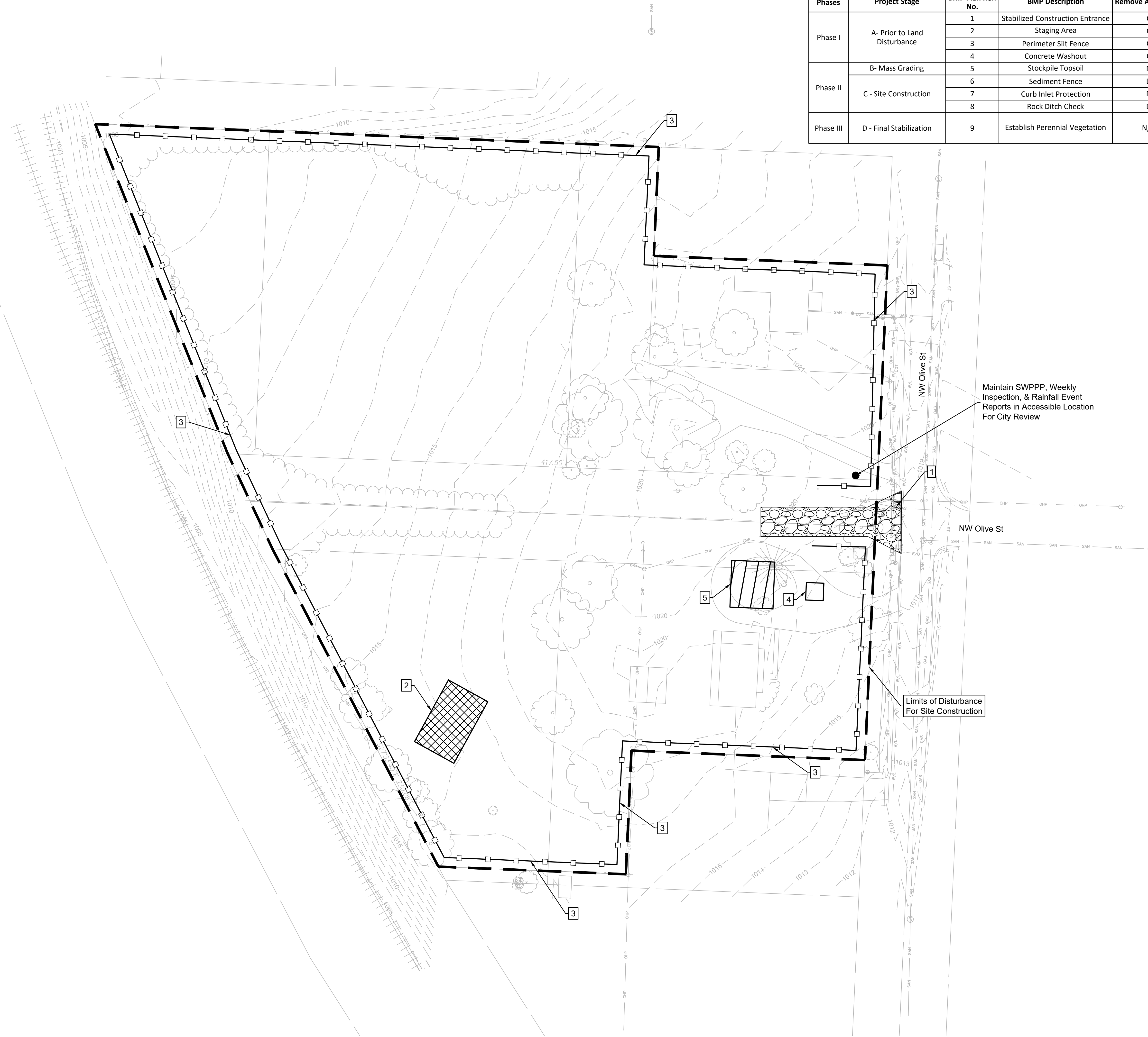
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Dec 10, 2019 4:10pm
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Phases	Project Stage	BMP Plan Ref. No.	BMP Description	Remove After Stage	Notes
Phase I	A- Prior to Land Disturbance	1	Stabilized Construction Entrance	C	Install Construction Entrance, as shown on Plans.
		2	Staging Area	C	Install Staging Area
		3	Perimeter Silt Fence	C	Install Perimeter Silt Fence, as Shown on Plans.
		4	Concrete Washout	C	Install Concrete Washout as shown on plans prior to pouring any concrete
Phase II	B- Mass Grading	5	Stockpile Topsoil	D	Install Sediment Fence a Minimum of 5' Beyond Toe of Slope
		6	Sediment Fence	D	Install Sediment Fence, as Shown on Plans
	C - Site Construction	7	Curb Inlet Protection	D	Install Filter Bags around Proposed Curb Inlets
		8	Rock Ditch Check	D	Install Rock Ditch Check, as Shown on Plans
Phase III	D - Final Stabilization	9	Establish Perennial Vegetation	N/A	Redistribute topsoil and seed and mulch all disturbed areas. Sod right-of-way. Stabilization complete when 100% disturbed area is established with perennial vegetation with a density of 70%.

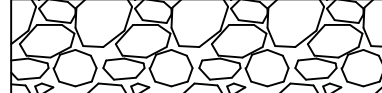
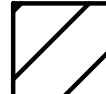
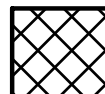
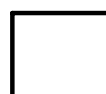

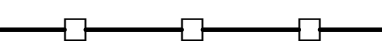
Disturbed Area: 3.78 AC

ESTIMATED EARTHWORK

Cut: 955.60 CY
 Fill: 10128.72 CY

Earthwork calculations are informational only. Contractor shall be responsible for their own earthwork calculations and perform all necessary earthwork shown herein without additional cost to the owner if quantities differ than above. Earthwork numbers are unadjusted.

EROSION CONTROL LEGEND

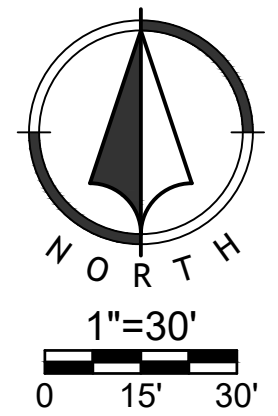
-  Stabilized Construction Entrance
-  Staging Area
-  Stockpile Area
-  Concrete Washout
-  Limits of Disturbance
-  Silt Fence

Maintain SWPPP, Weekly Inspection, & Rainfall Event Reports in Accessible Location For City Review

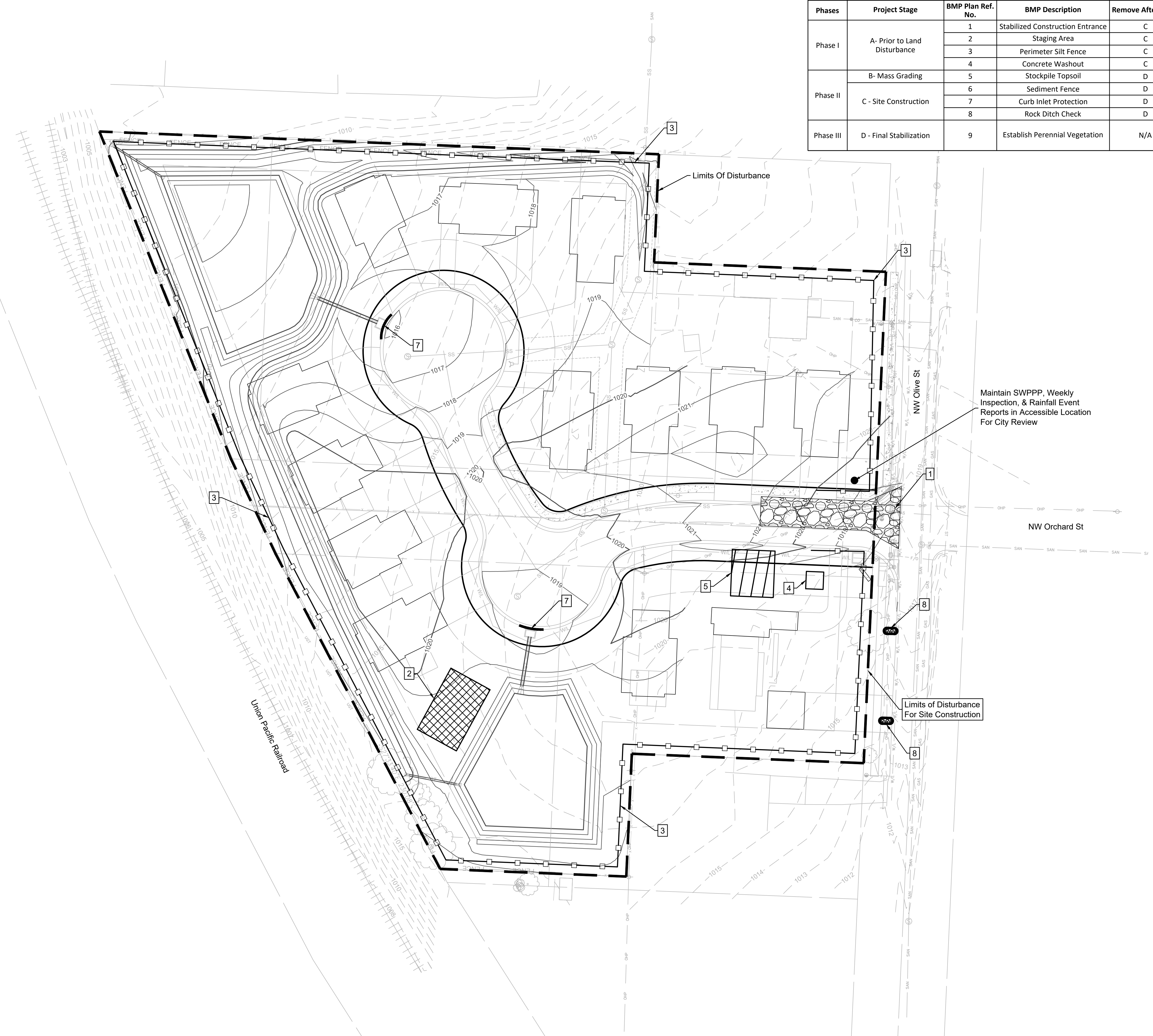
Limits of Disturbance For Site Construction

NO.	BY	CD	DATE	DESCRIPTION
1	JGD	MES	12/11/19	ORIGINAL SUBMITTAL
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Phases	Project Stage	BMP Plan Ref. No.	BMP Description	Remove After Stage	Notes
Phase I	A- Prior to Land Disturbance	1	Stabilized Construction Entrance	C	Install Construction Entrance, as shown on Plans.
		2	Staging Area	C	Install Staging Area
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Phase III	D - Final Stabilization	8	Rock Ditch Check	D	Install Rock Ditch Check, as Shown on Plans
		9	Establish Perennial Vegetation	N/A	Redistribute topsoil and seed and mulch all disturbed areas. Sod right-of-way. Stabilization complete when 100% disturbed area is established with perennial vegetation with a density of 70%.




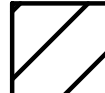
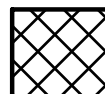
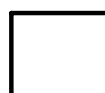




Disturbed Area: 3.78 AC

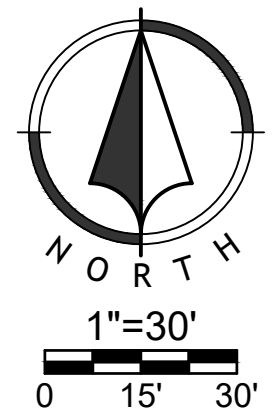
ESTIMATED EARTHWORK

Cut: 955.60 CY
 Fill: 10128.72 CY

Earthwork calculations are informational only. Contractor shall be responsible for their own earthwork calculations and perform all necessary earthwork shown herein without additional cost to the owner if quantities differ than above. Earthwork numbers are unadjusted.

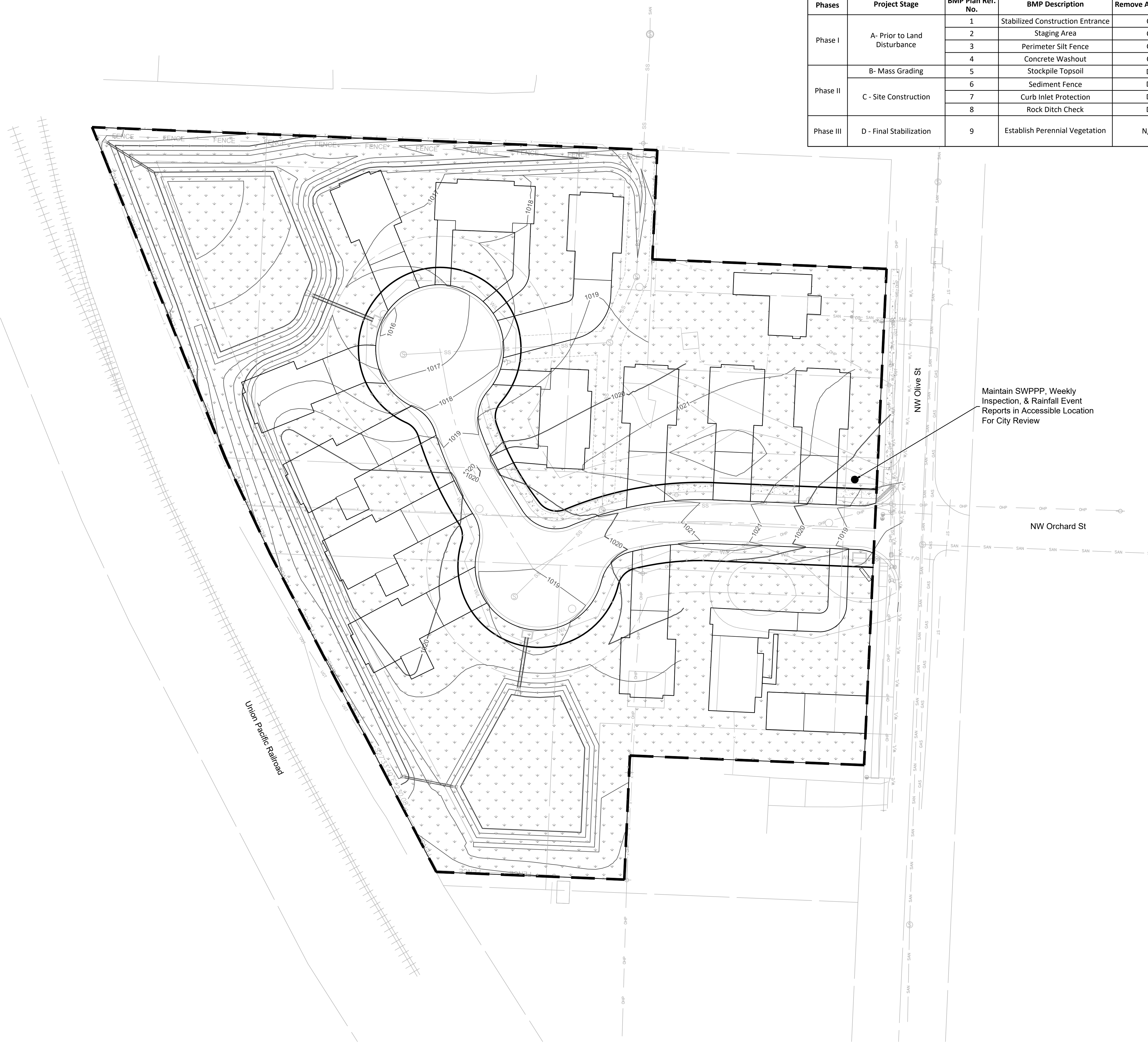
EROSION CONTROL LEGEND

-  Stabilized Construction Entrance
-  Staging Area
-  Stockpile Area
-  Concrete Washout
-  Limits of Disturbance
-  Silt Fence
-  Curb Inlet Protection
-  Rock Ditch Check



NO.	BY	CD	DATE	REVISION
1	JGD	MES	12/11/19	ORIGINAL SUBMITTAL

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 KANSAS CITY, MISSOURI 64108
 816.800.0950
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Disturbed Area: 3.78 AC

ESTIMATED EARTHWORK

Cut: 955.60 CY
 Fill: 10128.72 CY

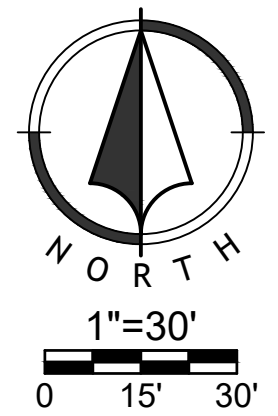
Earthwork calculations are informational only. Contractor shall be responsible for their own earthwork calculations and perform all necessary earthwork shown herein without additional cost to the owner if quantities differ than above. Earthwork numbers are unadjusted.

LEGEND

 See Landscape Plan

Maintain SWPPP, Weekly Inspection, & Rainfall Event Reports in Accessible Location For City Review

Phases	Project Stage	BMP Plan Ref. No.	BMP Description	Remove After Stage	Notes
Phase I	A- Prior to Land Disturbance	1	Stabilized Construction Entrance	C	Install Construction Entrance, as shown on Plans.
		2	Staging Area	C	Install Staging Area
		3	Perimeter Silt Fence	C	Install Perimeter Silt Fence, as Shown on Plans.
		4	Concrete Washout	C	Install Concrete Washout as shown on plans prior to pouring any concrete
Phase II	B- Mass Grading	5	Stockpile Topsoil	D	Install Sediment Fence a Minimum of 5' Beyond Toe of Slope
		6	Sediment Fence	D	Install Sediment Fence, as Shown on Plans
	C - Site Construction	7	Curb Inlet Protection	D	Install Filter Bags around Proposed Curb Inlets
		8	Rock Ditch Check	D	Install Rock Ditch Check, as Shown on Plans
Phase III	D - Final Stabilization	9	Establish Perennial Vegetation	N/A	Redistribute topsoil and seed and mulch all disturbed areas. Sod right-of-way. Stabilization complete when 100% disturbed area is established with perennial vegetation with a density of 70%.



NO.	BY	CD	DATE	DESCRIPTION
1	JGD	MES	12/11/19	ORIGINAL SUBMITTAL
				REVISION

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NO.	DATE	BY	DESCRIPTION
1	JUN 18 2019	AG	ORIGINAL SUBMITTAL
2			REVISION

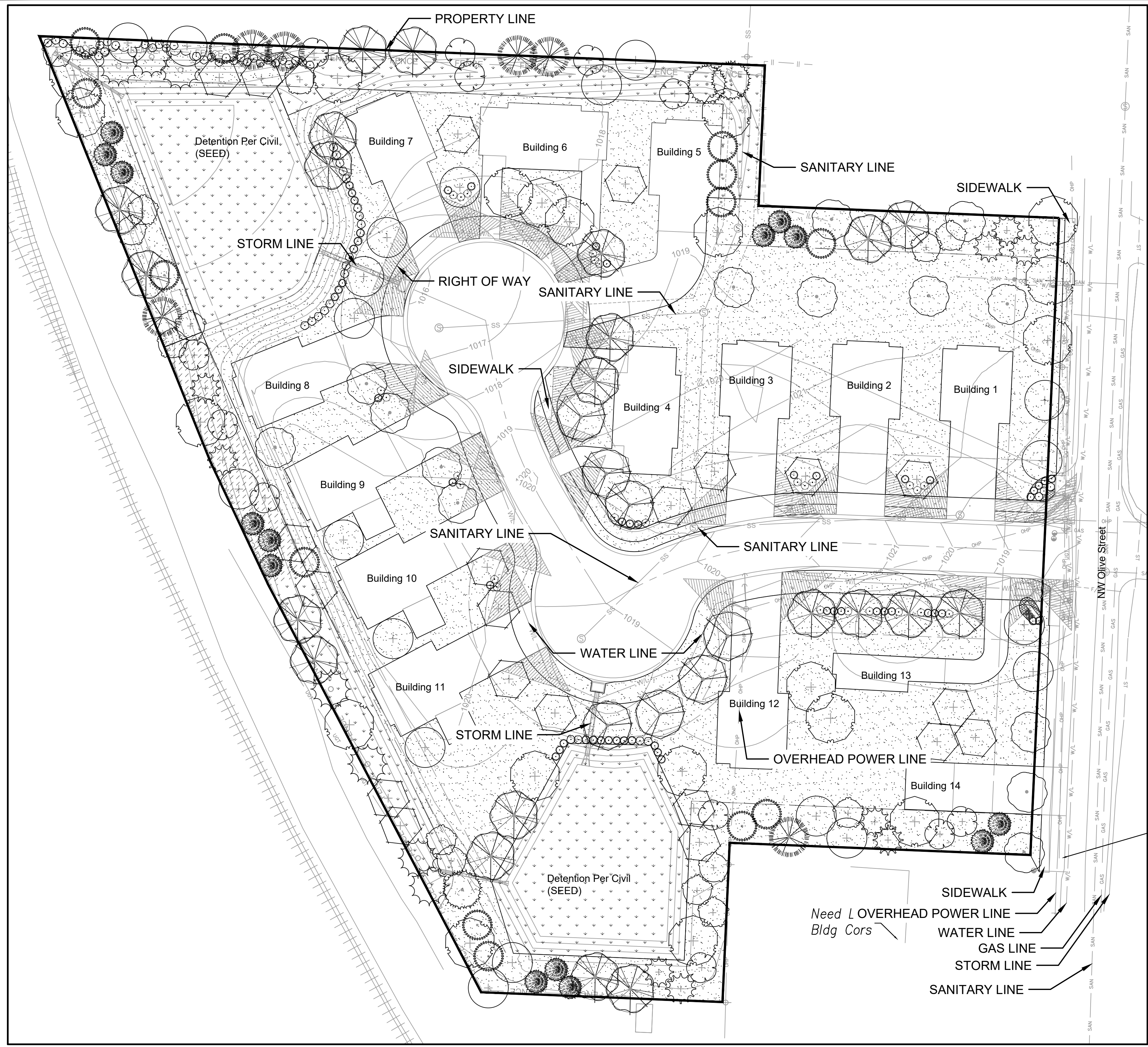
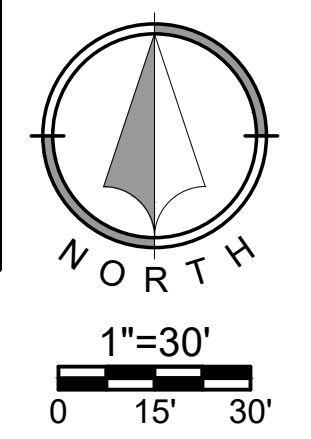
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132 ABREE AVENUE
KANSAS CITY, KANSAS 66103
WWW.RIC-CONSULT.COM
E-1814



PLANT SCHEDULE OVERALL LANDSCAPE

ORNAMENTAL	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY
	Cercis canadensis 'Forest Pansy' TM / Forest Pansy Redbud	B&B	2"	Cal.	12
	Magnolia grandiflora 'Brackens Brown Beauty' / Bracken's Southern Magnolia	B&B	2"	Cal.	14
	Malus x 'Spring Snow' / Spring Snow Crab Apple	B&B	2"	Cal.	13
DECIDUOUS TREES	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY
	Acer rubrum 'October Glory' TM / October Glory Maple	B&B	2.5"	Cal.	20
	Gleditsia triacanthos inermis 'Shademaster' TM / Shademaster Locust	B&B	2.5"	Cal.	20
	Nyssa sylvatica 'Wildfire' / Black Gum	B&B	2.5"	Cal.	21
	Quercus shumardii / Shumard Red Oak	B&B	2.5"	Cal.	14
	Ulmus americana 'Valley Forge' / American Elm	B&B	2.5"	Cal.	21
	Zelkova serrata 'City Sprite' TM / City Sprite Zelkova	B&B	2.5"	Cal.	7
EVERGREEN TREES	BOTANICAL / COMMON NAME	CONT	CAL	SIZE	QTY
	Juniperus virginiana 'Canaerti' / Canaerti Juniper	B&B	6"	Ht. Min.	9
	Picea pungens 'Fat Albert' / Colorado Spruce	B&B	6"	Ht. Min.	14
	Pinus strobus / White Pine	B&B	6"	Ht. Min.	6
	Taxodium distichum / Bald Cypress	B&B	6"	Ht. Min.	7
SHRUBS	BOTANICAL / COMMON NAME	CONT	QTY		
	Aronia melanocarpa 'Morton' TM / Iroquois Beauty Black Chokeberry	3 Gal.	18		
	Hypericum frondosum 'Sunburst' / Sunburst Hypericum	3 Gal.	26		
	Ilex glabra / Inkberry Holly	6" Ht.	7		
	Juniperus chinensis 'Gold Lace' / Gold Lace Juniper	5 Gal.	45		
	Panicum virgatum 'Haense Herms' / Haense Herms Switch Grass	5 Gal.	5		
	Physocarpus opulifolius 'Diablo' / Diablo Ninebark	5 Gal.	37		
GROUND COVERS	BOTANICAL / COMMON NAME	CONT	SPACING	QTY	
	ANNUAL/SEASONAL Plants Per OWNER	TBD	12" o.c.	72	
	Detention Basin and BioSwale Seed Mix / Seed Prairie Nursery Detention Basin - Bioswale Seed Mix	SEED		26,261 sf	
	Native Seed Prairie Nursery Short Prairie for Medium Soils	SEED		2,619 sf	
	Turfgrass Sod Fescue Mix / Fescue Sod	SOD		89,545 sf	

PLANT SCHEDULE NOTE:
SEE SHEET L02 FOR SEPARATE BUFFER PLANTING SCHEDULES
 • NORTH PROPERTY LINE BUFFER
 • NORTHEAST PROPERTY LINE BUFFER
 • SOUTH PROPERTY LINE BUFFER
 • WEST PROPERTY LINE BUFFER
 SEE SHEET L03 FOR SEPARATE OPEN SPACE AND STREET FRONTAGE SCHEDULES
 • OPEN SPACE
 • NW OLIVE STREET
 • NW ORCHARD STREET



Landscape Data
Sight Distance Triangle 25x25'

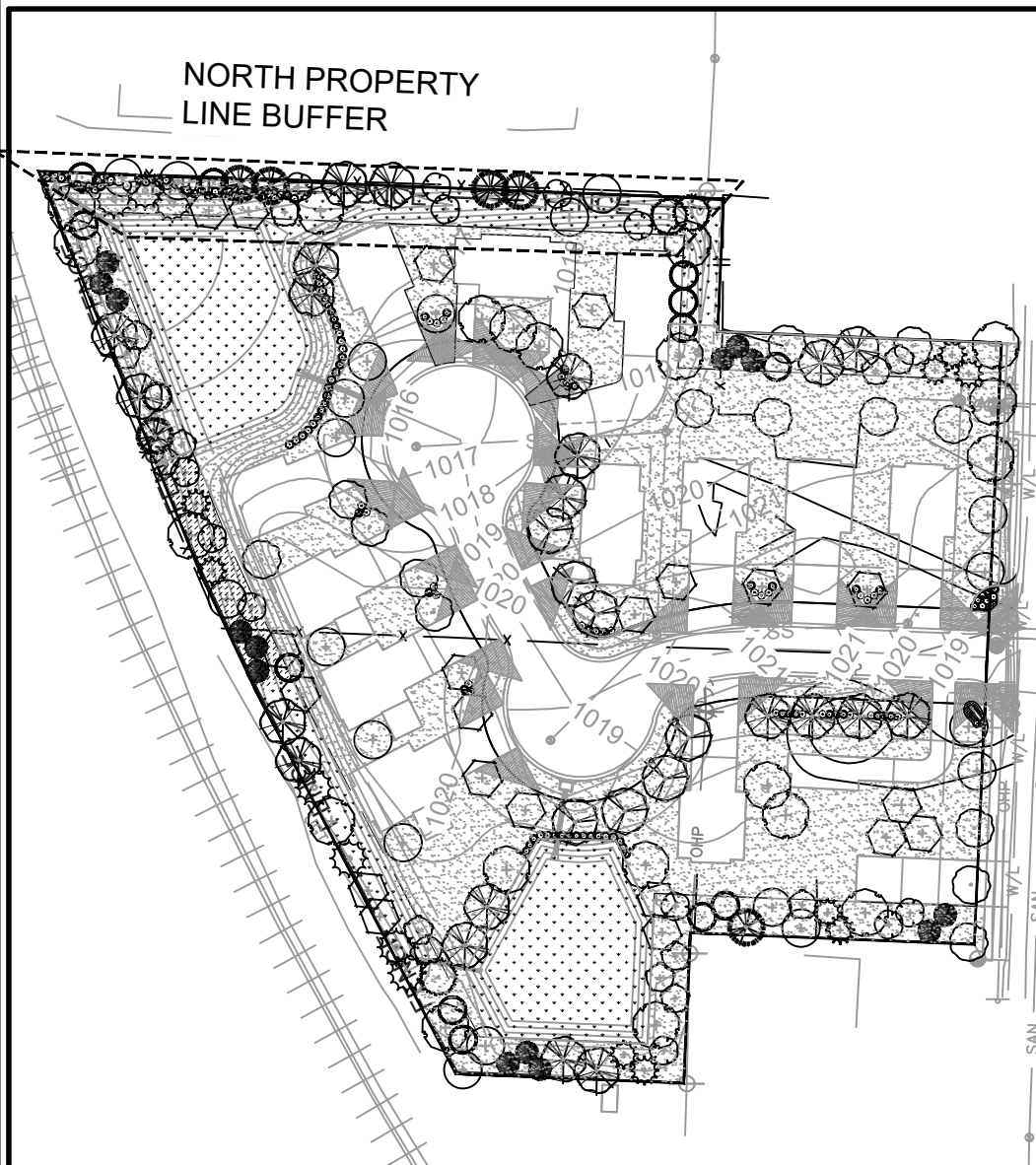
Street Frontage
Required Width = 20 ft
NW OLIVE STREET
Required Trees = 1/30 ft
Required Shrubs = 1/20 ft
NW ORCHARD STREET
Required Trees = 1/30 ft
Required Shrubs = 1/20 ft

Distance in ft:	Provided Width:	Provided Trees:	Provided Shrubs:
285.7	20 ft	10	15
975	20 ft	33	49
32.5	20 ft	21	42
48.8	20 ft	21	42

Screening	Distance in ft:	High	Low	Provided Width:	Provided Trees:	Provided Shrubs:
North Property Line	330	20.0	20.0	20 ft	20	33
Northeast Property Line	220	20.0	20.0	20 ft	6	6
South Property Line	340	20.0	20.0	20 ft	10	10
West Property Line	503	20.0	20.0	20 ft	14	14

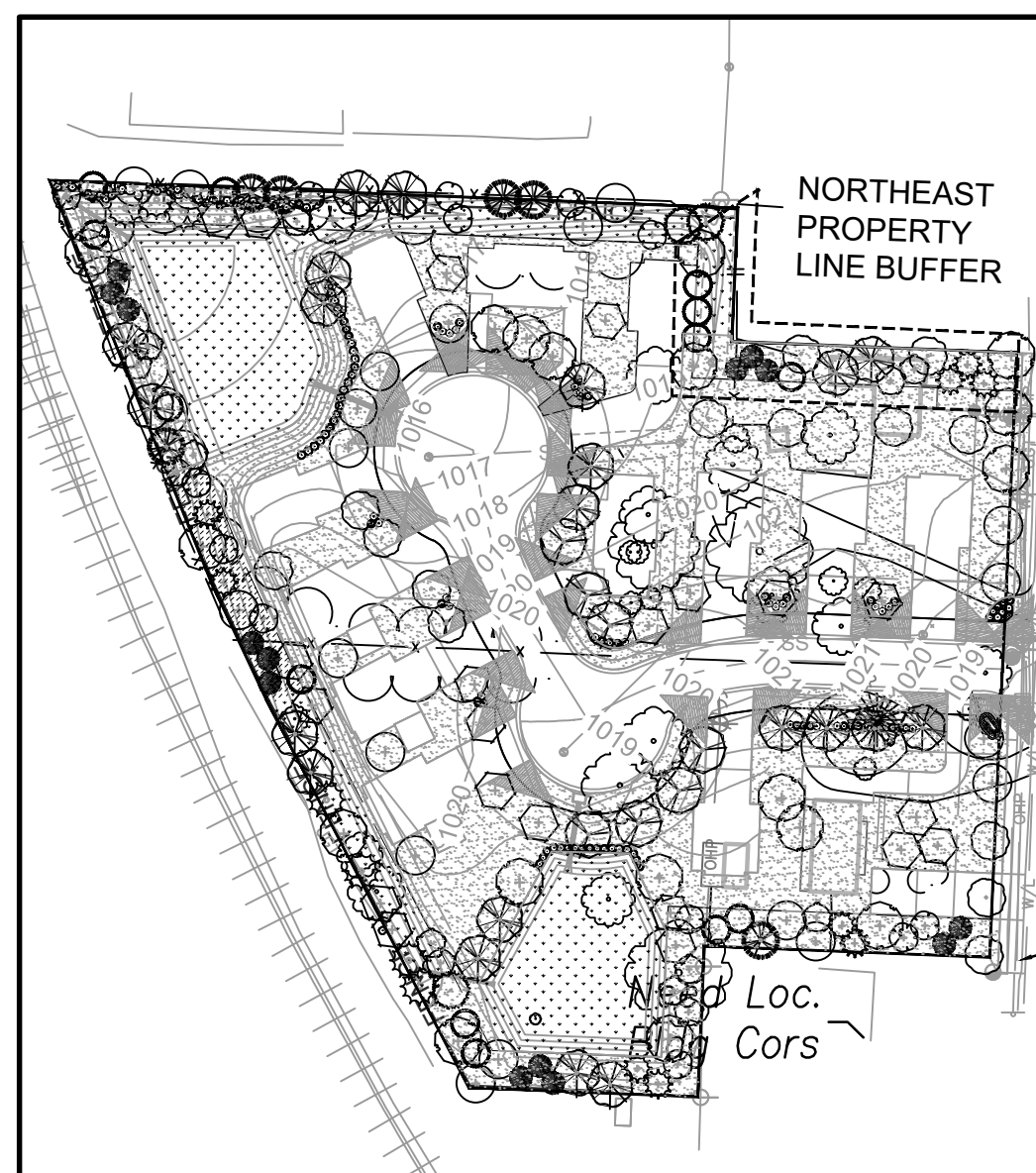
SIGHT TRIANGLE - NTS

Dec 11, 2019 9:37am \\rio-riverside\Library\RC Design\2018\18-0251 Burton Townhomes Lee's Summit\DWG\PDFs\18-0251 LND.dwg



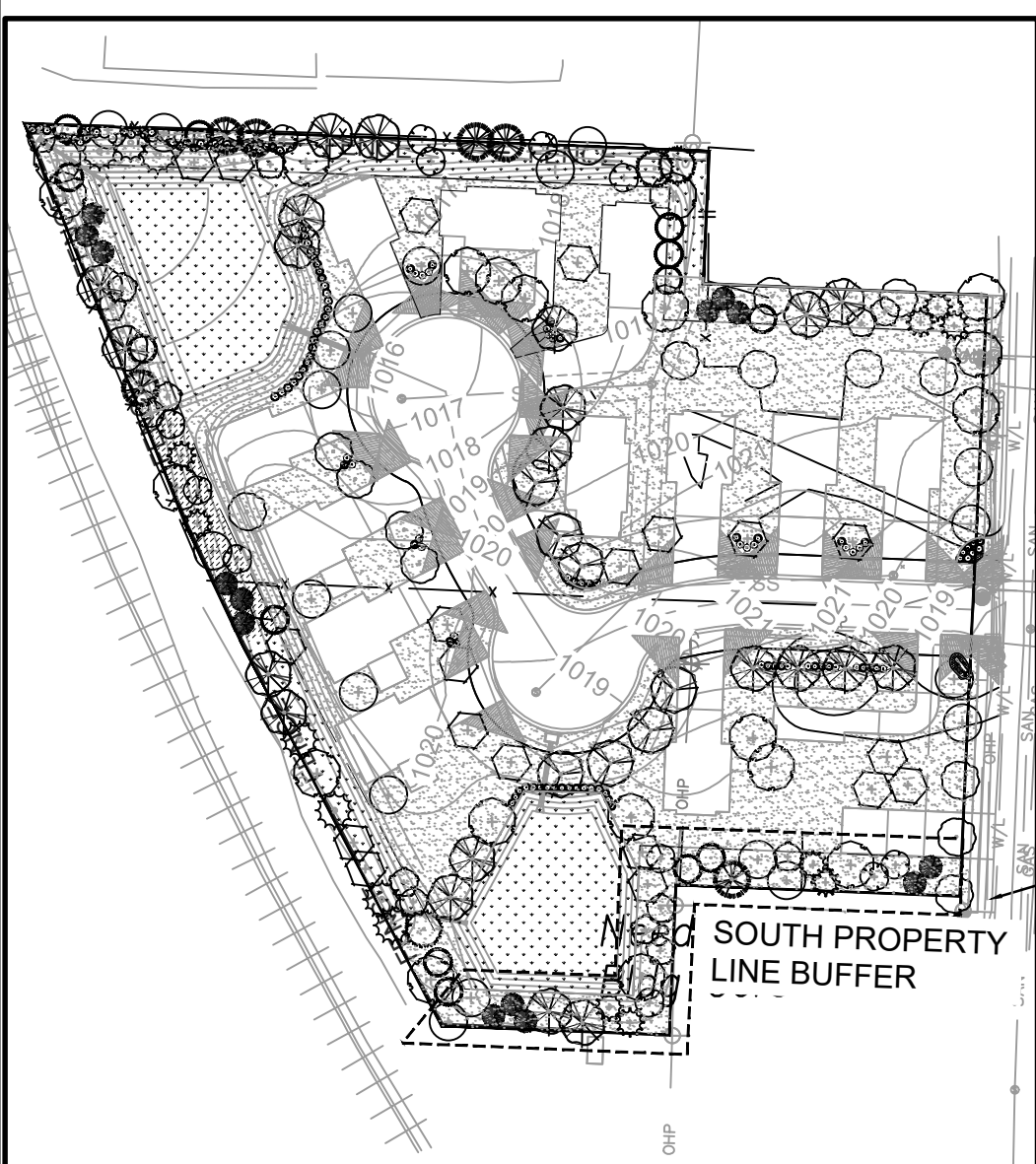
PLANT SCHEDULE NORTH PROPERTY LINE BUFFER

Table for North Property Line Buffer with columns: ORNAMENTAL, BOTANICAL / COMMON NAME, CONT, CAL, SIZE, QTY. Includes plants like Cercis canadensis, Magnolia grandiflora, Malus x 'Spring Snow', Acer rubrum, Gleditsia triacanthos inermis, Nyssa sylvatica, Ulmus americana, Pinus strobus, Taxodium distichum, Aronia melanocarpa, and Physocarpus opulifolius.



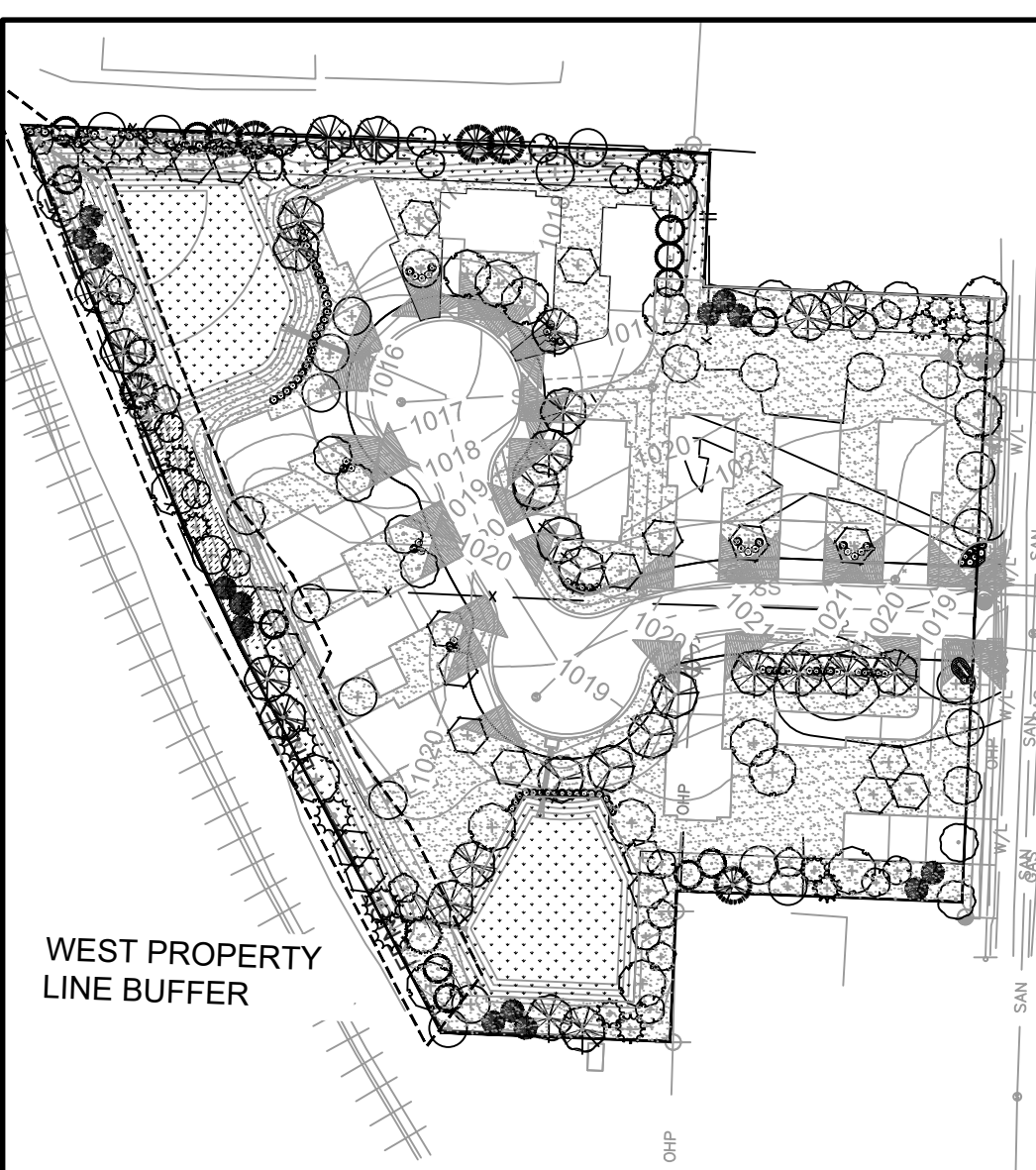
PLANT SCHEDULE NORTHEAST PROPERTY LINE BUFFER

Table for Northeast Property Line Buffer with columns: ORNAMENTAL, BOTANICAL / COMMON NAME, CONT, CAL, SIZE, QTY. Includes plants like Magnolia grandiflora, Malus x 'Spring Snow', DECIDUOUS TREES: Acer rubrum, Nyssa sylvatica, Quercus shumardii, EVERGREEN TREES: Juniperus virginiana, Picea pungens.



PLANT SCHEDULE SOUTH PROPERTY LINE BUFFER

Table for South Property Line Buffer with columns: ORNAMENTAL, BOTANICAL / COMMON NAME, CONT, CAL, SIZE, QTY. Includes plants like Cercis canadensis, Magnolia grandiflora, Malus x 'Spring Snow', Acer rubrum, Gleditsia triacanthos inermis, Nyssa sylvatica, Ulmus americana, Juniperus virginiana, Picea pungens, Pinus strobus.



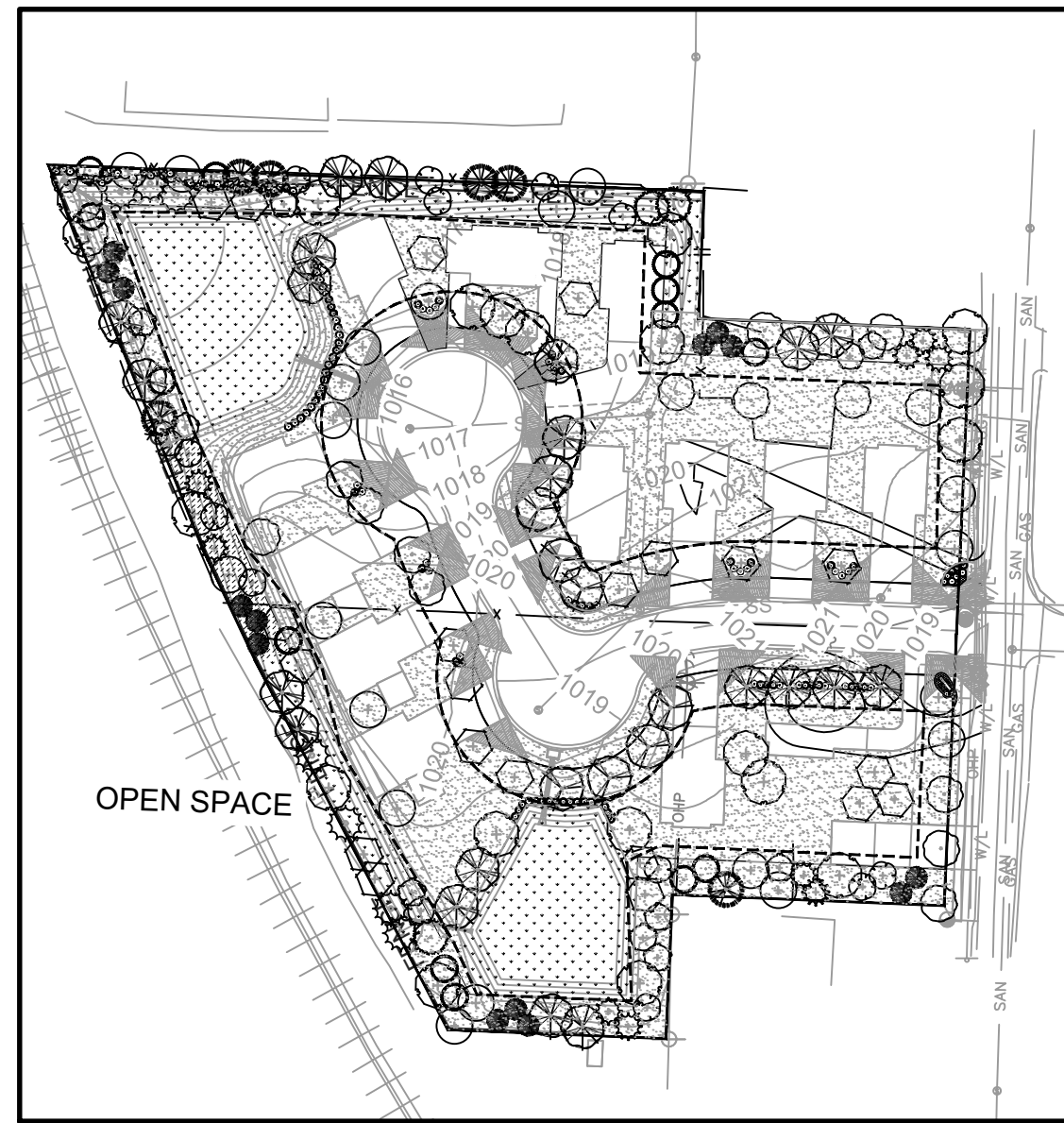
PLANT SCHEDULE WEST PROPERTY LINE BUFFER

Table for West Property Line Buffer with columns: ORNAMENTAL, BOTANICAL / COMMON NAME, CONT, CAL, SIZE, QTY. Includes plants like Cercis canadensis, Magnolia grandiflora, Malus x 'Spring Snow', Acer rubrum, Gleditsia triacanthos inermis, Nyssa sylvatica, Ulmus americana, Juniperus virginiana, Picea pungens, Pinus strobus, Taxodium distichum.

PLANT SCHEDULE NOTE:
SEE SHEET L01 FOR OVERALL LANDSCAPE PLAN AND SCHEDULE
SEE SHEET L01 FOR SOD SCHEDULE
SEE SHEET L03 FOR SEPARATE OPEN SPACE AND STREET FRONTAGE SCHEDULES

Revision table with columns: NO., BY, DATE, and content for ORIGINAL SUBMITTAL and REVISION.

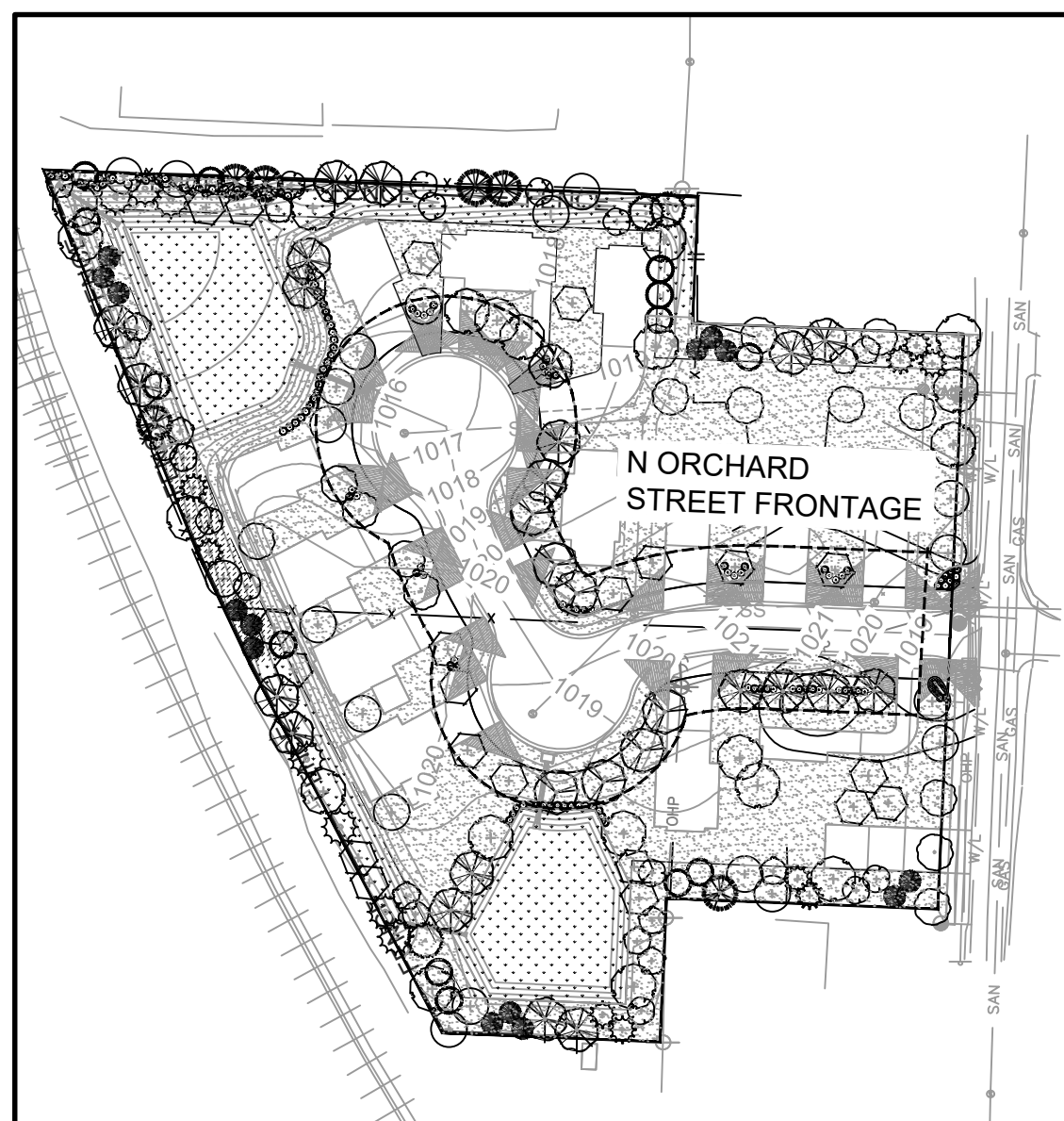
Renaissance Infrastructure Consulting logo and contact information: 132 ABRIE AVENUE, KANSAS CITY, KANSAS 66103, WWW.RIC-CONSULT.COM, E-1814, KS Certificate of Authority.



PLANT SCHEDULE OPEN SPACE

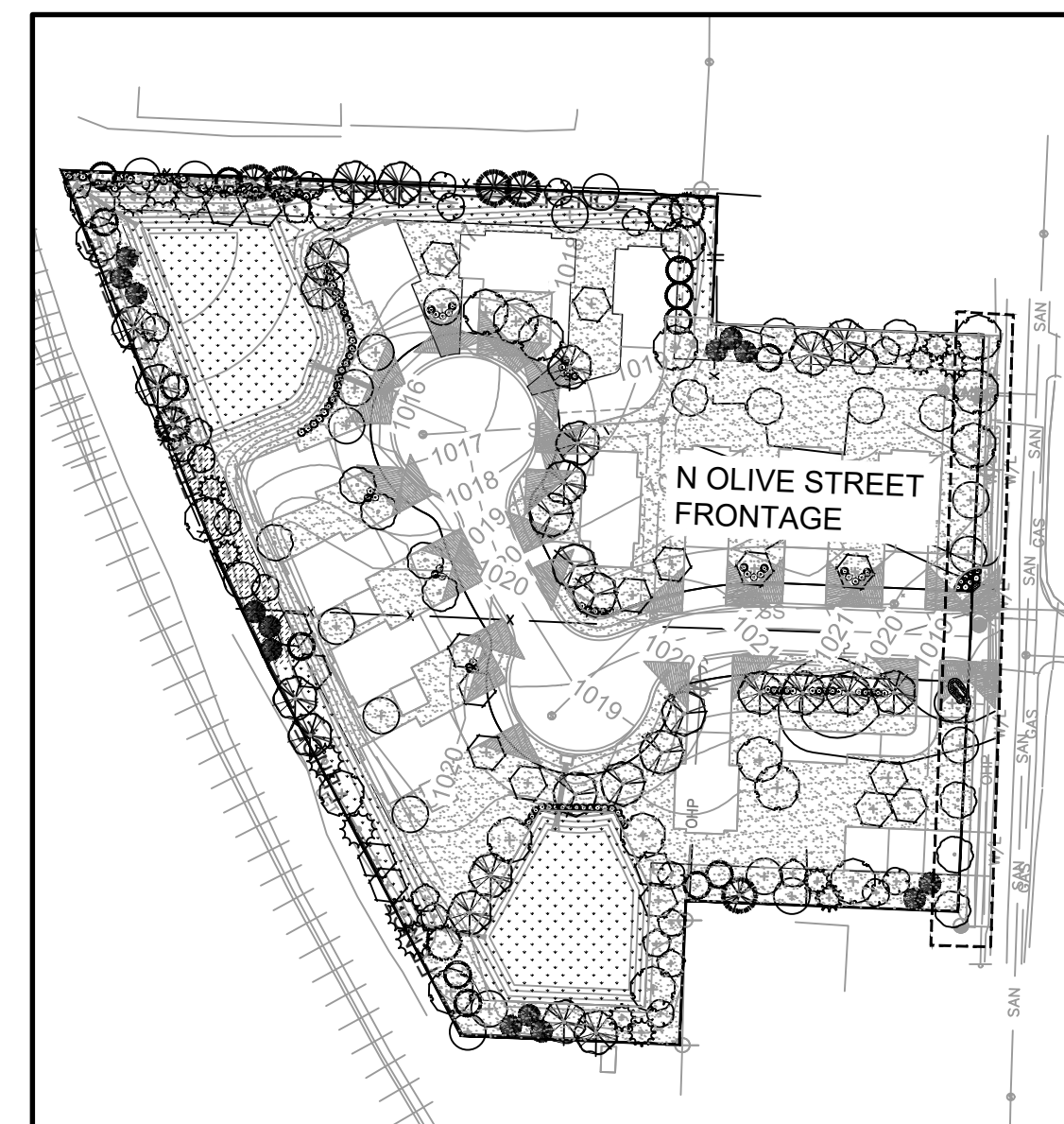
DECIDUOUS TREES	BOTANICAL / COMMON NAME	CONT	CAL	QTY
	Acer rubrum 'October Glory' TM / October Glory Maple	B&B	2.5" Cal.	4
	Gleditsia triacanthos inermis 'Shademaster' TM / Shademaster Locust	B&B	2.5" Cal.	3
	Nyssa sylvatica 'Wildfire' / Black Gum	B&B	2.5" Cal.	4
	Quercus shumardii / Shumard Red Oak	B&B	2.5" Cal.	5
	Ulmus americana 'Valley Forge' / American Elm	B&B	2.5" Cal.	5
SHRUBS	BOTANICAL / COMMON NAME	CONT		QTY
	Ilex glabra / Inkberry Holly	6" Ht.		7
	Juniperus chinensis 'Gold Lace' / Gold Lace Juniper	5 Gal.		15
	Physocarpus opulifolius 'Diablo' / Diablo Ninebark	5 Gal.		20
GROUND COVERS	BOTANICAL / COMMON NAME	CONT	SPACING	QTY
	Detention Basin and BioSwale Seed Mix / Seed Prairie Nursery Detention Basin - Bioswale Seed Mix	SEED		8,454 sf

PLANT SCHEDULE NOTE:
SEE SHEET L01 FOR OVERALL LANDSCAPE PLAN AND SCHEDULE
SEE SHEET L01 FOR SOD SCHEDULE
SEE SHEET L02 FOR SEPARATE BUFFER SCHEDULES



PLANT SCHEDULE N ORCHARD STREET FRONTAGE

DECIDUOUS TREES	BOTANICAL / COMMON NAME	CONT	CAL	QTY
	Acer rubrum 'October Glory' TM / October Glory Maple	B&B	2.5" Cal.	3
	Gleditsia triacanthos inermis 'Shademaster' TM / Shademaster Locust	B&B	2.5" Cal.	4
	Nyssa sylvatica 'Wildfire' / Black Gum	B&B	2.5" Cal.	7
	Quercus shumardii / Shumard Red Oak	B&B	2.5" Cal.	4
	Ulmus americana 'Valley Forge' / American Elm	B&B	2.5" Cal.	7
	Zelkova serrata 'City Sprite' TM / City Sprite Zelkova	B&B	2.5" Cal.	7
SHRUBS	BOTANICAL / COMMON NAME	CONT		QTY
	Hypericum frondosum 'Sunburst' / Sunburst Hypericum	3 Gal.		26
	Juniperus chinensis 'Gold Lace' / Gold Lace Juniper	5 Gal.		23



PLANT SCHEDULE N OLIVE STREET FRONTAGE

DECIDUOUS TREES	BOTANICAL / COMMON NAME	CONT	CAL	QTY
	Acer rubrum 'October Glory' TM / October Glory Maple	B&B	2.5" Cal.	3
	Gleditsia triacanthos inermis 'Shademaster' TM / Shademaster Locust	B&B	2.5" Cal.	4
	Quercus shumardii / Shumard Red Oak	B&B	2.5" Cal.	3
SHRUBS	BOTANICAL / COMMON NAME	CONT		QTY
	Aronia melanocarpa 'Morton' TM / Iroquois Beauty Black Chokeberry	3 Gal.		3
	Juniperus chinensis 'Gold Lace' / Gold Lace Juniper	5 Gal.		7
	Panicum virgatum 'Haense Herms' / Haense Herms Switch Grass	5 Gal.		5
GROUND COVERS	BOTANICAL / COMMON NAME	CONT	SPACING	QTY
	ANNUAL/SEASONAL Plants Per OWNER	TBD	12" o.c.	72

NO.	BY	DATE	REVISION
1	JMM/AC	12/11/19	ORIGINAL SUBMITTAL

LANDSCAPE NOTES

- LOCATE UTILITIES PRIOR TO COMMENCING LANDSCAPE OPERATIONS. ALL TREES SHALL BE FIELD POSITIONED AS TO AVOID CONFLICTS WITH EXISTING AND PROPOSED UTILITIES. NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICTS OR OBSTRUCTIONS.
- CONTRACTOR SHALL STAKE ALL PLANTING AREAS IN THE FIELD PRIOR TO PLANTING FOR APPROVAL OF THE OWNER OR THEIR REPRESENTATIVE.
- CONTRACTOR SHALL VERIFY ALL PLANT QUANTITIES PRIOR TO PLANTING. ANY DISCREPANCIES WITH THE PLAN SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT. THE PLAN QUANTITIES SHALL SUPERCEDE SCHEDULED QUANTITIES.
- ALL PLANT MATERIAL SHALL BE SPECIMEN QUALITY AND SHALL COMPLY WITH RECOMMENDATIONS AND REQUIREMENTS OF ANSI Z60.1 THE 'AMERICAN STANDARD FOR NURSERY STOCK'.
- TOPSOIL MIX: ASTM 5268, PH RANGE OF 5.5 TO 7%, MINIMUM OF 4% ORGANIC MATERIAL. SOIL SHALL BE FREE OF STONE 1/2" OR LARGER IN ANY DIMENSION, SUBSOIL, CLAY LUMPS, ROOTS, BRUSH, WEEDS, WEED SEED, AND OTHER EXTRANEOUS OR TOXIC MATERIALS HARMFUL TO PLANT GROWTH. CONTENTS OF SOIL SHOULD CONTAIN NO MORE THAN 15% SILT AND 15% CLAY. SOIL SHOULD ALSO CONTAIN NO LESS THAN 40% SAND. TOPSOIL SOURCE SHALL BE FROM ON-SITE MATERIALS; IF ON-SITE SOURCE IS UNAVAILABLE, SUPPLEMENT WITH IMPORTED TOPSOIL FROM A PRE-APPROVED SOURCE. ALL IMPORTED TOPSOIL MIXES SHALL BE TESTED BY THE CONTRACTOR AND APPROVED BY THE OWNER PRIOR TO INSTALLATION.
- PREPARE PLANTING BEDS AND INCORPORATE AMENDMENTS AS FOLLOWS:
 - PLANTING BEDS:
 - LOOSE PEAT HUMUS BY VOLUME: 1 PART
 - WELL-ROTTED COMPOSTED MANURE BY VOLUME: 1 PART
 - TOPSOIL (AS DEFINED IN NOTE 13): 2 PARTS
 - FERTILIZER: 3 LBS./100SF
 - BACKFILL FOR TREES
 - LOOSE PEAT HUMUS BY VOLUME: 1 PART
 - WELL-ROTTED COMPOSTED MANURE BY VOLUME: 1 PART
 - TOPSOIL (AS DEFINED IN NOTE 5): 3 PARTS
 - FERTILIZER: AGRIFORM TABLET (OR APPROVED EQUAL) PER MANUFACTURERS RECOMMENDATION
- AGGREGATE MULCH TO MATCH ON-SITE PRODUCT SHALL BE USED AS A THREE INCH (3") TOP DRESSING IN ALL PLANTING BEDS, ISLANDS AND AROUND ALL TREES. SINGLE TREES AND SHRUBS SHALL BE MULCHED TO THE OUTSIDE EDGE OF THE SAUCER OR LANDSCAPE ISLAND. ALL AGGREGATE MULCH SHALL BE INSTALLED OVER A GEOTEXTILE FABRIC (MIRAFI 140N OR APPROVED EQUAL) PER THE DETAIL.
- ALL TREES SHALL BE STAKED PER DETAIL.
- ALL PLANT MATERIAL SHALL BE INSTALLED TO ALLOW A ONE FOOT (1') CLEARANCE BETWEEN PLANT AND ADJACENT PAVEMENT.
- THE LANDSCAPE CONTRACTOR SHALL NOT COMMENCE WORK UNTIL THE SITE IS FREE OF DEBRIS CAUSED BY ON-GOING CONSTRUCTION OPERATIONS. REMOVAL OF DEBRIS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. LANDSCAPE WORK SHALL NOT BEGIN UNTIL THE LANDSCAPE ARCHITECT AND OWNER HAVE GIVEN WRITTEN APPROVAL FOR SUCH. THERE SHALL BE NO DELAYS DUE TO LACK OF COORDINATION FOR THIS ACTIVITY.
- THE LANDSCAPE ARCHITECT AND/OR OWNER SHALL APPROVE GRADES AND CONDITION OF SITE PRIOR TO SODDING/SEEDING OPERATIONS.
- ALL AREAS DISTURBED DURING CONSTRUCTION AND NOT DESIGNATED FOR OTHER PLANTINGS OR HARDSCAPE SHALL BE SODDED. PROVIDE SOD OF GRASS SPECIES AND VARIETIES, PROPORTIONS BY WEIGHT, AND MINIMUM PERCENTAGES OF PURITY, GERMINATION, AND MAXIMUM PERCENTAGE OF WEED SEED TO MATCH ON SITE TURFGRASS TYPE. SOD SHALL BE INSTALLED IN A PROFESSIONAL MANNER, DURING NORMAL PLANTING SEASONS FOR TYPE OF LAWN WORK REQUIRED. FINAL ACCEPTANCE OF SOD INSTALLATION SHALL BE BY THE OWNER.
- ALL LANDSCAPE SHALL BE MONITORED AND MAINTAINED BY THE LANDSCAPE CONTRACTOR; REFER TO MAINTENANCE NOTES THIS SHEET.
- CONTRACTOR SHALL WARRANTY ALL LIVING PLANTING MATERIAL (INCLUDING BUT NOT LIMITED TO TREES, SHRUBS, GROUNDCOVERS, & TURF) FOR A PERIOD OF TWO (2) YEARS AFTER DATE OF SUBSTANTIAL COMPLETION, AGAINST DEFECTS INCLUDING DEATH AND UNSATISFACTORY GROWTH, EXCEPT FOR DEFECTS RESULTING FROM LACK OF ADEQUATE MAINTENANCE, NEGLIGENCE, OR ABUSE BY THE OWNER, ABNORMAL WEATHER CONDITIONS UNUSUAL FOR WARRANTY PERIOD OR INCIDENTS THAT ARE BEYOND THE CONTRACTOR'S CONTROL.
- ALL LANDSCAPE AREAS SHALL BE IRRIGATED. TURF AREAS SHALL BE IRRIGATED BY SPRAY OR ROTOR. PLANT BEDS SHALL BE IRRIGATED BY DRIP IRRIGATION. IRRIGATION SYSTEM SHALL INCLUDE AUTOMATIC RAIN-SENSOR DEVICE. IRRIGATION SHOP DRAWINGS SHALL BE PROVIDED BY THE CONTRACTOR FOR APPROVAL PRIOR TO CONSTRUCTION.

LANDSCAPE MAINTENANCE

GENERAL LANDSCAPE

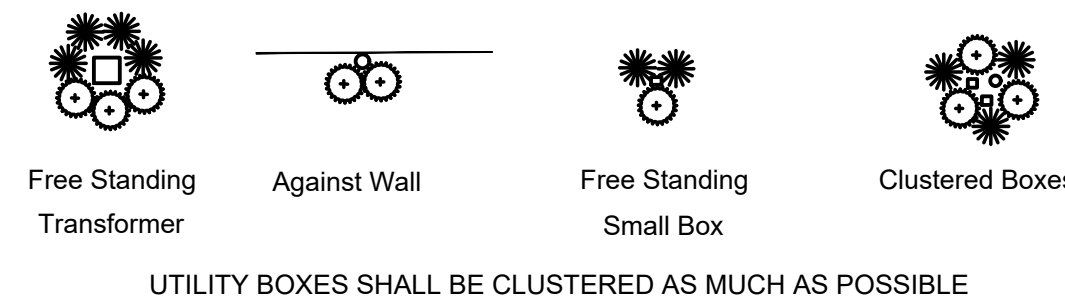
- BEGIN MAINTENANCE IMMEDIATELY AFTER PLANTING. MAINTENANCE SHALL CONTINUE FROM INSTALLATION TO THE TIME OF SUBSTANTIAL COMPLETION, AND FOR NO LESS THAN 60 DAYS AFTER SUBSTANTIAL COMPLETION.
- CONTRACTOR SHALL SUPPLY THE OWNER A WEEKLY LOG OF MAINTENANCE ACTIVITY BEGINNING AFTER PLANTING CONTINUING THROUGHOUT THE ENTIRE MAINTENANCE PERIOD.
- ALL LANDSCAPE SHALL BE, AT A MINIMUM, INSPECTED ONCE PER WEEK BY THE CONTRACTOR THROUGHOUT THE MAINTENANCE PERIOD.
- LANDSCAPE WORK MAY BE OBSERVED FOR ACCEPTANCE IN PORTIONS AS AGREEABLE TO THE OWNER OR LANDSCAPE ARCHITECT, PROVIDED EACH PORTION OF WORK OFFERED FOR OBSERVATION IS COMPLETE, INCLUDING MAINTENANCE. SUBSTANTIAL COMPLETION WILL NOT BE CONSIDERED UNTIL ALL LANDSCAPING HAS BEEN INSTALLED PER THE CONTRACT.

TREES AND SHRUBS

- MAINTAIN TREES AND SHRUBS BY PRUNING, WATERING, CULTIVATING, MULCHING, AND WEEDING AS REQUIRED FOR HEALTHY GROWTH. RESTORE PLANTING SAUCERS, TIGHTEN AND REPAIR STAKE AND GUY SUPPORTS AND RESET TREES AND SHRUBS TO PROPER GRADES OR VERTICAL POSITION AS REQUIRED.
- WATER TREES AND SHRUBS WEEKLY TO A DEPTH EQUAL TO THE SIZE OF THE ROOTBALL OR CONTAINER WHEN PLANTED. SOIL SHOULD BE KEPT MOIST BUT NOT OVERLY SATURATED. DURING TIMES OF DROUGHT OR EXTREME HEAT, CONTRACTOR SHALL WATER ENOUGH TO SUSTAIN PLANT LIFE. THE USE OF WATER BAGS SHALL BE APPROVED BY THE OWNER PRIOR TO USE AND DOES NEGATE THE CONTRACTOR FROM INSPECTIONS OR ROUTINE MAINTENANCE.
- RESTORE OR REPLACE DAMAGED WRAPPINGS
- SPRAY AS REQUIRED TO KEEP TREES AND SHRUBS FREE FROM DISEASE AND INSECTS.

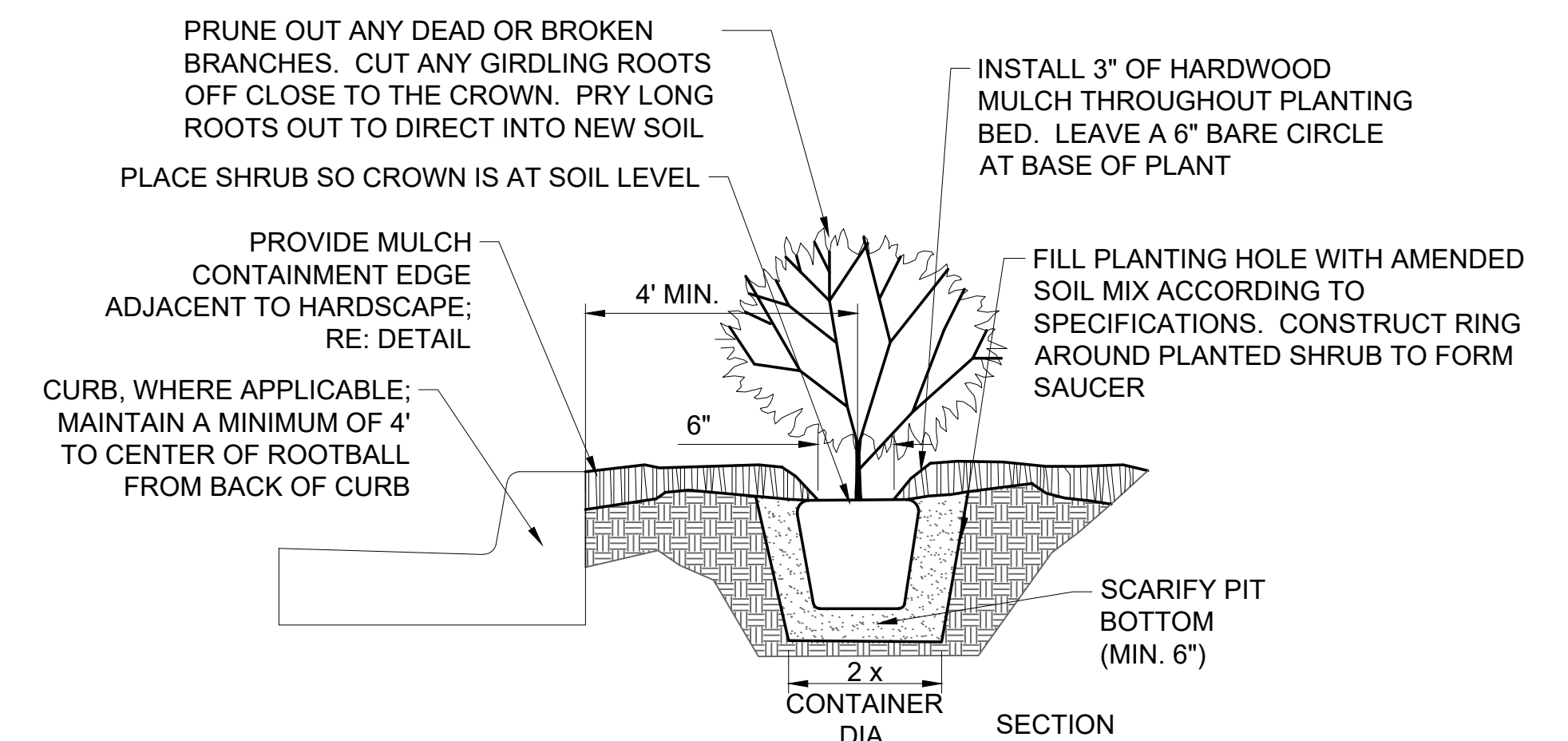
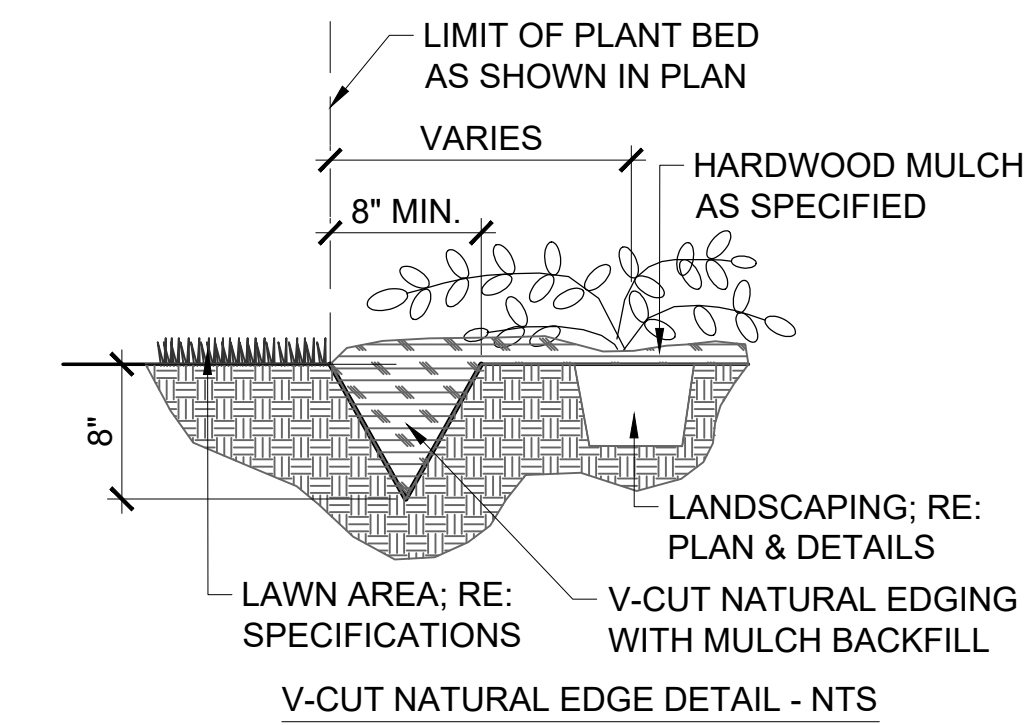
LAWNS

- MAINTAIN AND ESTABLISH LAWNS BY WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING, REPLANTING AND OTHER OPERATIONS AS DIRECTED BY OWNER. ROLL, RE-GRADE AND REPLANT BARE OR ERODED AREAS AND REMULCH TO PRODUCE A UNIFORMLY SMOOTH LAWN.
 - KEEP LAWNS UNIFORMLY MOIST TO A DEPTH OF 4 INCHES BY:
 - APPLYING 1" OF WATER IMMEDIATELY AFTER SOD IS LAID
 - APPLYING 1/4" MINIMUM PER DAY FOR THE NEXT 14 DAYS
 - WATERING THE LAWN AT A RATE OF 1" PER WEEK THROUGHOUT THE MAINTENANCE PERIOD. WATER SHALL NOT BE DISTRIBUTED IN ONE APPLICATION
 - DURING DROUGHT OR EXCESSIVE HEAT, CONTRACTOR SHALL APPLY WATER IN AN AMOUNT NEEDED TO SUSTAIN THE TURF.
- MOW LAWNS AS SOON AS THERE IS ENOUGH TOP GROWTH TO CUT WITH MOWER SET AT NORMAL (SEASONAL) HEIGHT FOR PRINCIPAL SPECIES PLANTED. REPEAT MOWINGS AS REQUIRED TO MAINTAIN HEIGHT WITHOUT CUTTING MORE THAN 30 PERCENT OF THE GRASS HEIGHT. DO NOT DELAY MOWING UNTIL GRASS BLADES BEND OVER AND BECOME MATTED. DO NOT MOW WHEN GRASS IS WET.
- POST FERTILIZATION: APPLY FERTILIZER TO LAWN AFTER FIRST MOWING AND WHEN GRASS IS DRY. USE FERTILIZER THAT WILL PROVIDE ACTUAL NITROGEN OF AT LEAST 1 LB. PER 1000 SF OF LAWN AREA. WATER FERTILIZER INTO SOIL AS DIRECTED BY THE MANUFACTURER.



TYPICAL UTILITY BOX SCREENING DETAILS - NTS

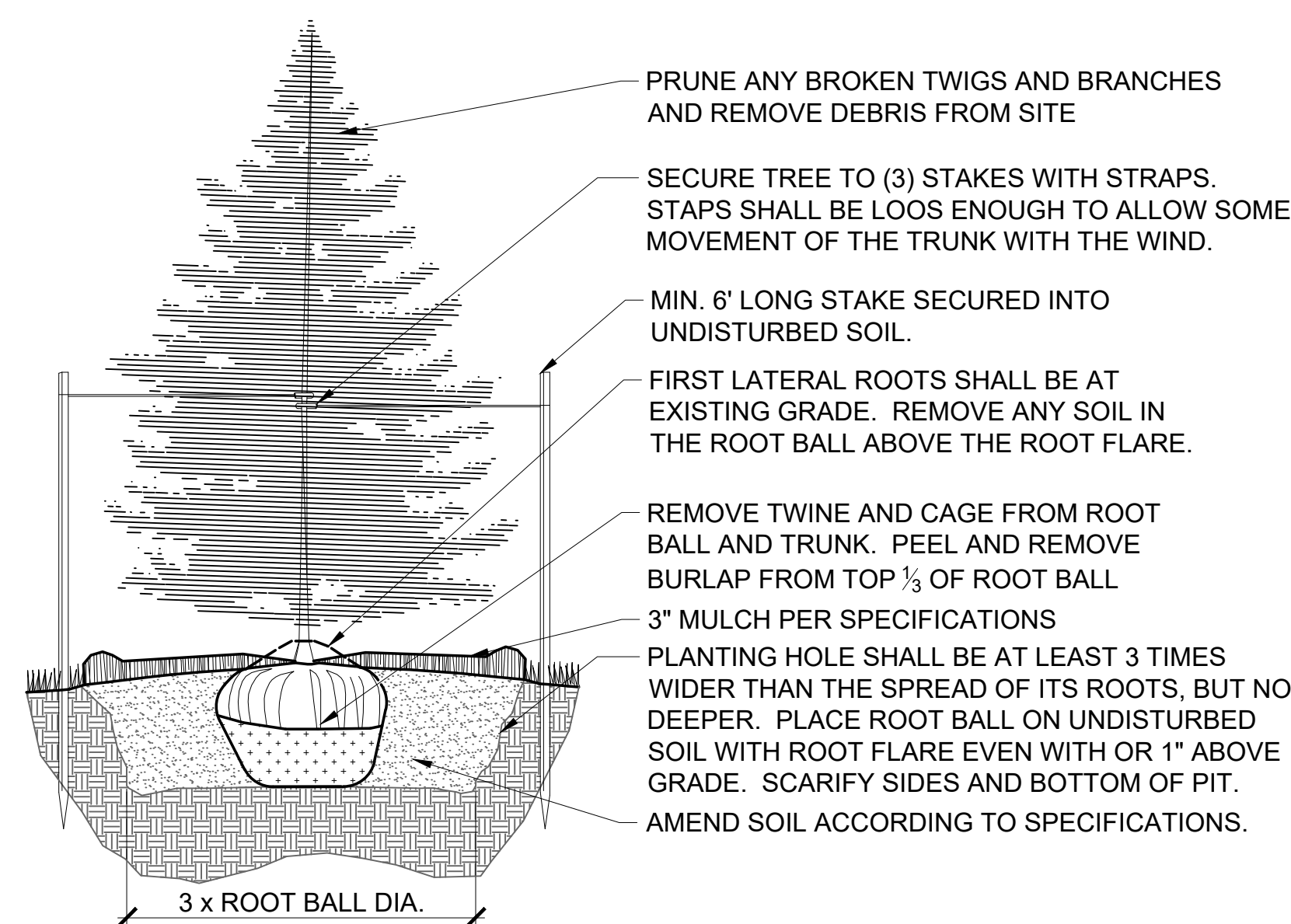
- NOTES:
- CONTRACTOR SHALL LOCATE AND MARK ALL PLANTBED LOCATIONS PRIOR TO EXCAVATING FOR FINAL APPROVAL BY OWNER OR LANDSCAPE ARCHITECT.
 - TRANSITION TO MULCH CONTAINMENT DETAIL AT ALL LOCATIONS ADJACENT TO CURBS & SIDEWALKS. RE: DETAIL, THIS SHEET.
 - CONTRACTOR TO VERIFY ALL UTILITY LOCATIONS PRIOR TO TRENCHING OR LANDSCAPE INSTALLATION.



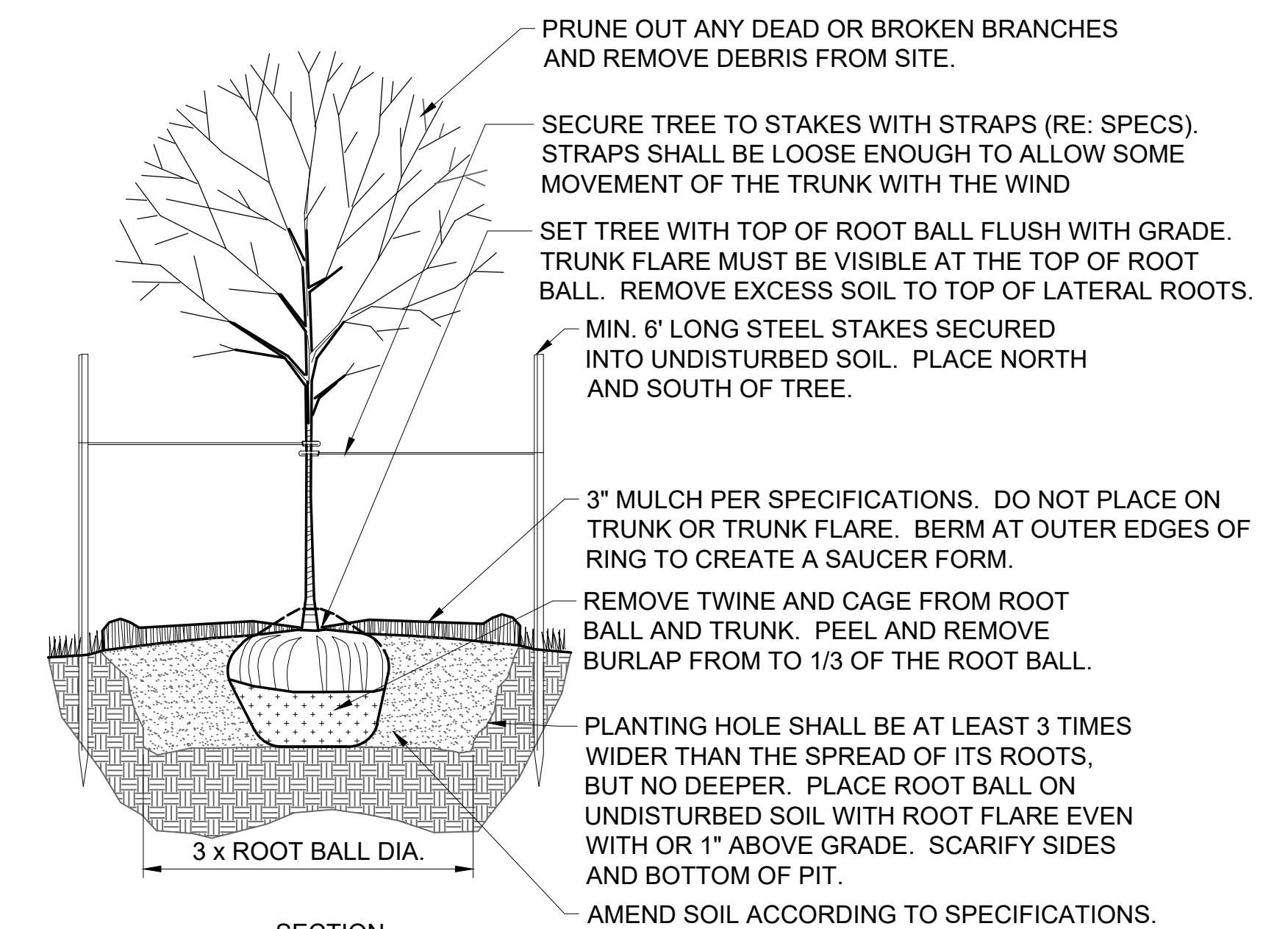
- NOTES:
- REFER TO SPECIFICATIONS FOR TOPSOIL BACKFILL MIX.
 - CONTRACTOR TO WATER THOROUGHLY AFTER PLANTING
 - INSTALLATION TO BE IN ACCORDANCE WITH PLANTING SPECIFICATIONS
 - WHERE ADJACENT TO CURB, MAINTAIN THE MINIMUM OFFSET SHOWN. FOR SHRUBS LARGER THAN 4" MATURE DIAMETER, PROVIDE A GREATER OFFSET EQUAL TO 1/2 OF THE MATURE DIAMETER MINIMUM.

SHRUB PLANTING DETAIL - NTS

- NOTES:
- TREES THAT DO NOT MEET THE SIZE REQUIREMENT WILL BE REJECTED
 - TREES SHALL BE INSPECTED BY OWNERS REPRESENTATIVE PRIOR TO INSTALLATION.



EVERGREEN TREE PLANTING DETAIL - NTS



DECIDUOUS TREE PLANTING DETAIL - NTS

NO.	BY	DATE	REVISION
1	JMM/AG	12/11/19	ORIGINAL SUBMITTAL