

CONSTRUCTION DRAWINGS

DCI - LEE'S SUMMIT

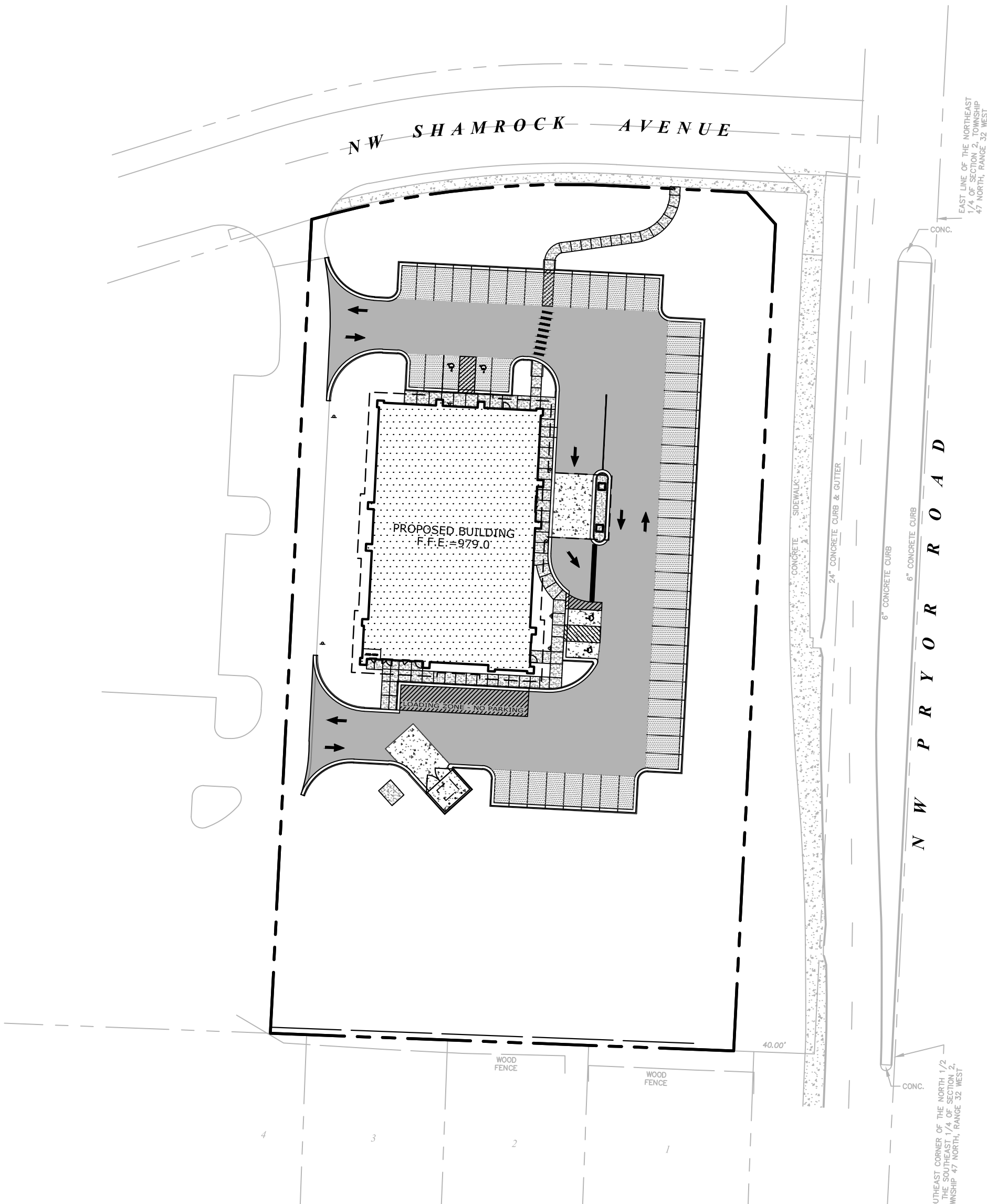
LEE'S SUMMIT, JACKSON COUNTY, MISSOURI

CATALYST PROJECT NO. 20180111
11/06/2019

SITE DATA

PARCEL ID.: 62-240-99-04-00-0-00-000
SITE ADDRESS: 2001 NW SHAMROCK AVENUE
LEE'S SUMMIT, MISSOURI 64081
LEGAL DESCRIPTION: LOT 2, WEST VILLAGE COMMERCIAL DEVELOPMENT
LOTS 1-3, SUBDIVISION IN LEE'S SUMMIT,
JACKSON COUNTY, MISSOURI
SITE ACREAGE: 2.225 AC. (96,932 FT²)
EXISTING ZONING: PMIX - PLANNED MIXED USE DISTRICT
PROPOSED USE: DIALYSIS CLINIC
PROPOSED MAX. BUILDING HEIGHT: 1 STORIES
PROPOSED BUILDING SQUARE FOOTAGE: 10,442 S.F.
FLOOR AREA RATIO OF SITE: 0.11 (10,442 FT²/ 96,932 FT²)
IMPERVIOUS SURFACE AREA
BUILDINGS: 0.24 AC. (10,442 FT²)
DRIVES/SIDEWALKS: 0.78 AC. (34,316 FT²)
TOTAL PROPOSED IMPERVIOUS AREA: 1.02 AC. (44,590 FT²)
PROPOSED ISR: 0.46
ALLOWED ISR: 0.80
PARKING SUMMARY
PARKING REQUIRED: 5 SPACES PER 1,000 S.F.
(PARKING REQUIREMENTS) 52 SPACES REQUIRED
PARKING PROVIDED: 52 SPACES (4 ACCESSIBLE)
OWNER: DIALYSIS CLINIC, INC.
ADDRESS: 1633 CHURCH STREET, STE 500
NASHVILLE, TN 37203
615.327.3061
CONTACT NAME: BILL WOOD
CONTACT E-MAIL ADDRESS: bwood@dcilinc.org
PROJECT REPRESENTATIVE: CATALYST DESIGN GROUP
ADDRESS: 5016 CENTENNIAL BLVD., STE 200
NASHVILLE, TN 37209
615.866.2410
PHONE NO.: PHILLIP PIERCY
CONTACT NAME: ppiercy@catalyst-dg.com
CONTACT E-MAIL ADDRESS:

FEMA PANEL:
THE SUBJECT PROPERTY DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD ZONE ACCORDING TO
COMMUNITY PANEL NO. 29095C0416G, JANUARY 20, 2017, COMMUNITY NAME: FEMA COMMUNITY NAME.



VICINITY MAP
NOT TO SCALE

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ARCHITECT

RANDY DOVER

4121 HILLSBORO RD SUITE 303
NASHVILLE, TN 37215
615.251.3388

PREPARED FOR

DIALYSIS CLINIC, INC.

1633 CHURCH STREET, STE 500
NASHVILLE, TN 37203
615.327.3061



CIVIL ENGINEER/LANDSCAPE ARCHITECT

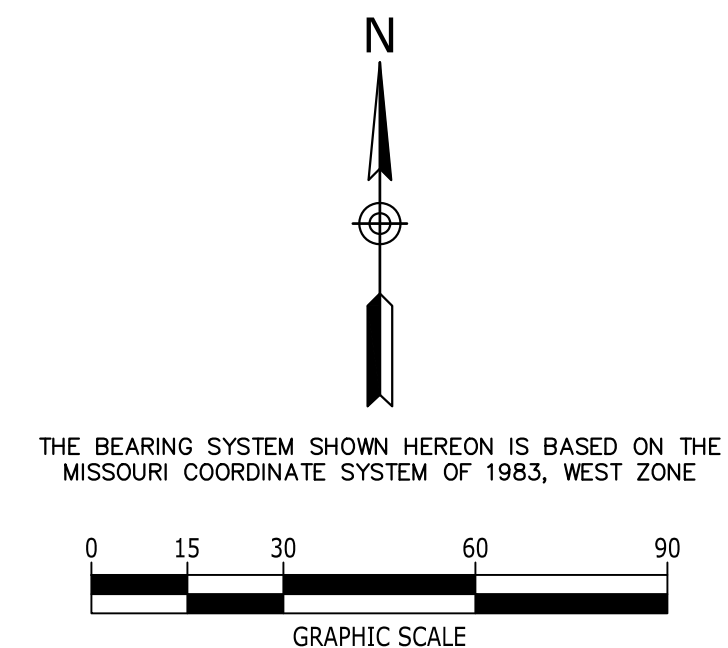
Catalyst
DESIGN GROUP

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COVER SHEET

C0.0



1. EROSION PREVENTION AND SEDIMENT CONTROL (EPC) MEASURES SHALL BE INSTALLED PER LOCAL AND STATE REQUIREMENTS PRIOR TO ANY EARTH MOVING ACTIVITIES.
2. PROVIDE CONSTRUCTION ENTRANCE/EXIT AS DETAILED ON THE PLANS AND PER LOCAL REQUIREMENTS. MAINTAIN ENTRANCE/EXIT THROUGHOUT CONSTRUCTION AND MAINTAIN THE PUBLIC ROADWAY FREE OF TRACKED MUD AND DIRT.
3. EPC MEASURES SHALL BE INSTALLED AND INSPECTED BY LOCAL OFFICIALS (IF REQUIRED) PRIOR TO BEGINNING EARTH MOVING OPERATIONS. EPC MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS.
4. THE CONTRACTOR IS RESPONSIBLE FOR ADHERING TO THE REQUIREMENT OUTLINED IN THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) DEVELOPED FOR THE SITE, AS WELL AS LOCAL AND STATE REQUIREMENTS. THE CONTRACTOR SHALL ALSO PROVIDE THE CERTIFIED EROSION CONTROL INSPECTOR AND CONTINUAL MAINTENANCE OF THE EPC MEASURES.
5. AS THE WORK PROGRESSES THE LOCATION AND TYPE OF MEASURES MAY REQUIRE ADJUSTMENTS. TEMPORARY MEASURES MAY BE REQUIRED IN CERTAIN AREAS THAT CAN BE REMOVED DURING THE WORK DAY AND RE-ESTABLISHED WHEN WORK CEASES FOR THE DAY OR PRIOR TO A DAYTIME RAIN EVENT.
6. SEDIMENT SHALL BE REMOVED FROM EROSION CONTROL MEASURES WHEN THE DESIGN CAPACITIES HAVE BEEN REDUCED BY 50% OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE OR GOVERNING AGENCY. PROPERLY DISPOSE OF ACCUMULATED SEDIMENT.
7. THE CONTRACTOR SHALL PROVIDE A RAIN GAUGE AT THE SITE AND DOCUMENT RAINFALL EVENTS DURING THE CONSTRUCTION PERIOD.
8. THE CONTRACTOR SHALL MAINTAIN THE FOLLOWING RECORDS AT THE SITE: DATE WHEN MAJOR GRADING ACTIVITIES OCCUR, THE DATES WHEN CONSTRUCTION ACTIVITIES TEMPORARILY OR PERMANENTLY CEASE ON PORTIONS OF THE SITE, THE DATES WHEN STABILIZATION MEASURES ARE INITIATED, INSPECTION RECORDS AND RAINFALL EVENTS.
9. EXISTING SITE VEGETATION SHALL REMAIN IN PLACE AS LONG AS POSSIBLE AND SHALL NOT BE REMOVED MORE THAN 10 DAYS PRIOR TO THE DATE AT WHICH EARTHMOVING OPERATIONS ARE TO BEGIN UNLESS TEMPORARY COVER IS INSTALLED DO NOT REMOVE VEGETATION OR TREES UNLESS NECESSARY FOR GRADING OR OTHER PROJECT PURPOSES.
10. THE CONSTRUCTION SHALL BE SEQUENCED TO MINIMIZE THE LENGTH OF TIME THE SITE SOILS ARE EXPOSED TO EROSION PROVIDE TEMPORARY COVER AS NECESSARY.
11. EPC MEASURES SHALL BE REMOVED ONCE PERMANENT VEGETATION IS ESTABLISHED AND WHEN DEEMED NO LONGER NEEDED BY THE OWNER'S REPRESENTATIVE OR GOVERNING AGENCY.

1. INSTALL TREE PROTECTION PRIOR TO DEMOLITION OR EARTH MOVING OPERATIONS ON SITE IN ACCORDANCE WITH THE DETAIL AND NOTES PROVIDED IN THESE PLANS AND SPECIFICATIONS.
2. THE CONTRACTOR SHALL STAKE THE LIMITS OF CONSTRUCTION TO ENSURE THE TREE PROTECTION MEASURES ARE INSTALLED IN THE PROPER LOCATIONS.
3. THE TREE PROTECTION MEASURES SHALL CONSIST OF 48" TALL CHAIN LINK FENCE WITH STEEL TEE POST OR ORANGE CONSTRUCTION BARRICADE FENCE PRIOR TO CONSTRUCTION OPERATIONS. TREE PROTECTION FENCE INSTALLATION SHALL BE INSPECTED BY THE OWNER'S REPRESENTATIVE AND GOVERNING AUTHORITY IF REQUIRED.
4. ANY GRADING OR EXCAVATION WITHIN THE PROTECTED ROOT ZONE SHALL BE ACCOMPLISHED BY HAND OR WITH SMALL EQUIPMENT TO MINIMIZE DAMAGE.
5. ROOTS EXPOSED DURING CONSTRUCTION OPERATIONS SHALL BE PRUNED FLUSH WITH THE GROUND AND COVERED WITH BACKFILL AS SOON AS POSSIBLE. IF CONSTRUCTION OPERATIONS WILL DELAY THE PLACEMENT OF BACK FILL THE ROOTS SHALL BE TEMPORARILY COVERED WITH MULCH AND WATERED UNTIL BACKFILL OPERATIONS CAN BE ACCOMPLISHED.
6. DO NOT STORE EQUIPMENT OR MATERIALS WITHIN THE DRIP LINE OF TREES TO BE PRESERVED.
7. WHEN GRADING OR TRENCHING OPERATIONS ARE DIRECTED WITHIN THE DRIP LINE OF A TREE TO BE PRESERVED THE ROOTS SHALL FIRST BE CUT USING A "DITCH WITCH" OR SIMILAR EQUIPMENT TO PROVIDE A CLEAN CUT OF THE ROOTS AT THE LIMIT OF DISTURBANCE, PRIOR TO USE OF OTHER GRADING MACHINERY. ONCE THE ROOTS HAVE BEEN CUT AS NOTED ALL EQUIPMENT SHALL BE RESTRICTED FROM ENTERING THE AREA BETWEEN THE CUT LINE AND TREE TRUNK. TRENCHES SHALL BE BACKFILLED AND TAMPED TO MINIMIZE SETTLEMENT.
8. BARRICADES SHALL BE INSTALLED WITHIN THE LIMITS OF PROPOSED PAVEMENTS WHEN EXTENDING UNDER THE DRIP LINE OF TREES TO BE PRESERVED UNTIL OPERATIONS TO CONSTRUCT THE PAVED AREAS ARE INITIATED. THEN THE BARRICADES CAN BE RELOCATED TO PROVIDE THE MINIMUM AREA NECESSARY FOR CONSTRUCTION OF THE PROPOSED WORK AND SHALL REMAIN IN PLACE UNTIL ALL WORK IS COMPLETE.
9. PROVIDE WATERING OF SPECIMEN TREES DURING CONSTRUCTION DURING PERIODS OF DROUGHT EXCEED SEVEN DAYS. EVENLY DISTRIBUTE WATER OVER THE ENTIRE ROOT ZONE.
10. ROOT ZONE AREAS OF TREES THAT HAVE BEEN COMPACTED DUE TO CONSTRUCTION ACTIVITIES SHALL BE AERATED AT THE DIRECTION OF A QUALIFIED ARBORIST.
11. HOSE DOWN FOLIAGE OF SPECIMEN TREES SUBJECT TO HEAVY ACCUMULATION OF DUST FROM CONSTRUCTION ACTIVITIES.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE GRASS TO LESS THAN 12" IN HEIGHT WITHIN THE AREAS OF TREE PROTECTION DURING THE CONSTRUCTION PERIOD. DO NOT USE PESTICIDES TO CONTROL VEGETATION WITHIN THE TREE PROTECTION AREA.
13. REMOVAL OF TREE PROTECTION FENCING SHALL NOT OCCUR UNTIL APPROVED BY THE GOVERNING AUTHORITY WHERE REQUIRED OR THE OWNER'S REPRESENTATIVE. ALL REMNANTS OF THE FENCING SHALL BE REMOVED, AND RESTORATION OF THE AREAS SHALL BE COMPLETED.

1. THE DISTURBED AREA FOR THIS PROJECT IS ESTIMATED TO BE ±2.26 ACRES.
2. THE SUBJECT PROPERTY DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD ZONE ACCORDING TO COMMUNITY PANEL NO. 29095C0416G OF THE FEMA FLOOD INSURANCE MAPS FOR JACKSON COUNTY, MISSOURI DATED JANUARY 20, 2017.
3. FOLLOW THE DIRECTIVES OF THE EROSION CONTROL AND TREE PROTECTION NOTES INCLUDED ELSEWHERE IN THESE DOCUMENTS.
4. THE CONTRACTOR SHALL REQUEST UTILITY RELOCATION (811) AND VERIFY LOCATION OF ALL OTHER PRIVATE UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL PROTECT EXISTING UTILITIES FROM DAMAGE AND REPAIR IF DAMAGED PER PROVIDER REQUIREMENTS AT THE CONTRACTOR'S EXPENSE. COORDINATE ALL WORK AROUND EXISTING UTILITIES WITH CORRESPONDING PROVIDER.
5. THE CONTRACTOR SHALL CHECK EXISTING GRADES AND DIMENSIONS IN THE FIELD PRIOR TO CONSTRUCTION AND CONTACT THE ENGINEER WITH ANY DISCREPANCIES.
6. THE CONTRACTOR SHALL OBTAIN ALL APPROVALS AND PERMITS PRIOR TO INITIATING GRADING OPERATIONS.
7. POSITIVE DRAINAGE SHALL BE ESTABLISHED INITIALLY AND MAINTAINED THROUGHOUT CONSTRUCTION.
8. LOCATION OF DIVERSION DITCHES SHALL BE ADJUSTED IN THE FIELD TO AVOID TREES AND OTHER EXISTING FEATURES.
9. STRIP TOPSOIL FROM PROPOSED GRADING AREAS AND STOCKPILE FOR REUSE. PROVIDE TEMPORARY SEEDING FOR STOCKPILE AREAS DURING CONSTRUCTION. REDISTRIBUTE TOPSOIL AT A MINIMUM DEPTH OF 6" IN LAWN AREAS AND 18" IN LANDSCAPE BEDS. PROVIDE ADDITIONAL TOPSOIL WHEN ONSITE QUANTITIES ARE INSUFFICIENT.
10. ALL FILL MATERIAL SHALL BE APPROVED BY THE GEOTECHNICAL REPRESENTATIVE PRIOR TO BEING HAULED TO THE SITE. MATERIAL SHALL BE PLACED AND COMPACTED IN LIFT DEPTHS AS NOTED IN THE SPECIFICATIONS AND INSPECTED BY THE GEOTECHNICAL REPRESENTATIVE. SUBGRADES SHALL BE PROOF ROLLED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT AND GEOTECHNICAL REPRESENTATIVES DIRECTIONS. SOFT AREAS SHALL BE REMOVED AND RECOMPACTED AS DIRECTED.
11. THE CONTRACTOR SHALL AT HIS COST, PROVIDE OFFSITE MATERIAL MEETING THE GEOTECHNICAL REQUIREMENTS WHERE ONSITE SOIL QUANTITIES ARE NOT SUFFICIENT, AND REMOVE ONSITE MATERIALS WHEN EXCESSIVE QUANTITIES EXISTS. SITES USED TO OBTAIN OR WASTE THIS MATERIAL SHALL BE PROPERLY PERMITTED AS REQUIRED BY THE GOVERNING AUTHORITY.
12. REINFORCED CONCRETE PIPE (RCP) SHALL BE CLASS III WALL B. HDPE PIPE SHALL BE TYPE N-12, SMOOTH INTERIOR, CORRUGATED EXTERIOR. ALL PIPES SHALL BE PROVIDED WITH SOIL TIGHT JOINTS.
13. PIPES UNDER EXISTING PAVEMENT AREAS SHALL BE COMPLETELY BACKFILLED WITH CRUSHED STONE.
14. TOP OF GRATE ELEVATIONS AND COORDINATE LOCATIONS FOR DRAINAGE STRUCTURES SHALL BE PROVIDED PER THE DETAILS AND DRAINAGE TABLES.
15. COORDINATE THE LOCATION OF SITE DRAINAGE SYSTEMS WITH THE BUILDING ARCHITECTURE AND PLUMBING PLANS FOR COLLECTION OF ROOF DRAINS AND DOWNSPOUTS.
16. ADJUST THE CASTINGS OF ALL EXISTING AND NEW STRUCTURES TO MATCH PROPOSED FINISH GRADE.
17. THE CONTRACTOR SHALL REVIEW THE PROPOSED GRADING PLAN AND SPOT ELEVATIONS AND REQUEST INFORMATION FROM THE ENGINEER FOR SPOTS OR CONTOURS THAT DO NOT APPEAR TO CORRESPOND WITH OTHER SURROUNDING GRADING. PROPOSED GRADES REFLECT AN INTENT FOR THE SLOPES AND DIRECTION OF DRAINAGE. THE CONTRACTOR SHALL REQUEST DIRECTION FOR AREAS WHERE THE INTENT IS NOT CLEAR.
18. MAXIMUM CUT AND FILL SLOPES SHALL BE 3 HORIZONTAL TO 1 VERTICAL UNLESS DIRECTLY NOTED OTHERWISE ON THE PLAN. FILL SLOPES SHALL BE CONSTRUCTED BY FILLING BEYOND THE DESIRED GRADES TO OBTAIN COMPACTION AND THEN CUT BACK TO THE DESIRED GRADES.
19. MINIMUM GRADES ON PAVEMENT AREAS SHALL BE 1%, AND MINIMUM 2% IN LAWN AREAS UNLESS DIRECTLY SPECIFIED.
20. MAXIMUM GRADES WITHIN ACCESSIBLE PARKING AND ACCESS AISLES SHALL BE 2% IN ANY DIRECTION. WITHIN ACCESSIBLE PATHS MAXIMUM SLOPES FOR SIDEWALKS SHALL BE 5%. FOR RAMPS SHALL BE 1:12, AND CROSS SLOPES SHALL BE 2%. TURNING MOVEMENTS SHALL BE 5X5% MAXIMUM 2% IN ANY DIRECTION.
21. THE CONTRACTOR SHALL TAKE CARE TO PROPERLY COMPACT FILL WITHIN UTILITY TRENCHES AND AROUND OTHER PROJECT FEATURES TO AVOID SETTLEMENT. SETTLEMENT OCCURRING WITHIN 12 MONTHS OF COMPLETION SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
22. ALL DISTURBED AREAS SHALL BE STABILIZED WITHIN 14 DAYS AFTER FINAL GRADING IS ACHIEVED.
23. THE CONTRACTOR SHALL PROVIDE AS-BUILT SURVEYS OF THE EXCAVATED BIO-RETENTION AREAS PRIOR TO THE SPECIALTY SOIL AND GRAVEL BEING INSTALLED. AS-BUILTS OF COMPLETED BIO-RETENTION AREAS, OTHER WATER QUALITY MEASURES, DETENTION/RETENTION AREAS AND PUBLIC STORM SYSTEMS SHALL ALSO BE PROVIDED. SURVEYS SHALL BE STAMPED BY A SURVEYOR LICENSED IN THE STATE OF THE PROJECT.

1. ALL WATER AND SEWER MATERIALS AND CONSTRUCTION SHALL BE IN ACCORDANCE TO THE GOVERNING AUTHORITY'S REQUIREMENTS AND SPECIFICATIONS.
2. SANITARY SEWER LINES SHALL BE AS SPECIFIED ON THE PLANS. DUCTILE IRON PIPE (DIP) SHALL BE CLASS 52, POLYVINYLCHLORIDE PIPE (PVC) SHALL BE SDR 35.
3. THE CONTRACTOR SHALL REQUEST UTILITY LOCATION (\$11) AND VERIFY LOCATION OF ALL OTHER PRIVATE UTILITIES DAMAGED TO CONSTRUCTION. THE CONTRACTOR SHALL PROTECT EXISTING UTILITIES FROM DAMAGE AND REPAIR IF REQUIRED PER PROVIDER REQUIREMENTS AT THE CONTRACTOR'S EXPENSE. COORDINATE ALL WORK AROUND EXISTING UTILITIES WITH CORRESPONDING PROVIDER.
4. THE CONTRACTOR SHALL COORDINATE WITH THE OWNERS OF EACH UTILITY AND VERIFY THE SCOPE OF INSTALLATIONS OR RELOCATIONS THAT WILL BE REQUIRED AND IMPACT EACH COULD HAVE ON THE SCHEDULE OF THE PROJECT.
5. MAINTAIN 10' HORIZONTAL SEPARATION BETWEEN SANITARY SEWER LINES AND WATER LINES WHERE POSSIBLE. IN AREAS WHERE THESE CRITERIA CANNOT BE MET PROVIDE 18" OF VERTICAL SEPARATION.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SEQUENCING OF INSTALLATION OF THE UTILITIES TO AVOID CONFLICTING HORIZONTAL AND VERTICAL LOCATIONS.
7. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION AND ELEVATION OF THE PROPOSED SEWER CONNECTION POINT PRIOR TO INSTALLATION OF NEW LINES. CONTRACTOR TO NOTIFY ENGINEER OF ANY DISCREPANCIES.
8. CONNECTIONS TO EXISTING MANHOLES SHALL BE MADE UTILIZING THE CORING AND RESILIENT SEAL METHOD.
9. THE CONTRACTOR SHALL VERIFY ANY PIPE LENGTHS, MATERIALS AND SIZES PROVIDED ON THE PLANS WITH FIELD CONDITIONS.
10. MINIMUM SLOPE OF 6" SANITARY SEWER SERVICES SHALL BE 1%. INSTALL PER INVERTS PROVIDED ON THE PLAN AND WITH A MINIMUM 48" OF COVER WITHIN ROADWAYS AND 30" OF COVER WITHIN LANDSCAPE AREAS.
11. MARK THE LOCATION OF PVC LINES WITH A #8 WIRE.
12. TRENCHES WITHIN EXISTING PAVEMENTS SHALL BE EVENLY SAW CUT FOR REMOVAL AND COMPLETELY BACKFILLED WITH CRUSHED STONE. REPAIR ROADWAYS PER GOVERNING AGENCY STANDARDS.
13. PROVIDE A MINIMUM OF 42" OF COVER OVER ALL WATER AND FIRE LINES.
14. ALL FIRE LINES SHALL BE INSTALLED FROM THE POINT OF CONNECTION TO THE BUILDING BY A SPRINKLER CONTRACTOR LICENSED IN THE STATE OF THE PROJECT.
15. COORDINATE THE EXACT LOCATION OF THE BUILDING SERVICES WITH THE PLUMBING PLANS.
16. PROVIDE ALL NECESSARY HORIZONTAL AND VERTICAL BENDS AND BLOCKING/RODDING ON WATER/FIRE LINES, TO ACHIEVE THE PROPOSED ALIGNMENT SHOWN ON THE PLANS.
17. BEFORE CONNECTIONS ARE MADE TO EXISTING LINES, INSTALLED LINES SHALL BE FLUSHED, TESTED AND APPROVED BY THE GOVERNING AUTHORITY IN ACCORDANCE WITH THEIR REQUIREMENTS.
18. REPAIR DAMAGE TO EXISTING FEATURES TO PRE-CONSTRUCTION CONDITION IN ACCORDANCE WITH GOVERNING AUTHORITY REQUIREMENTS IN A TIMELY MANNER.
19. THE CONTRACTOR SHALL TAKE CARE TO PROPERLY COMPACT FILL WITHIN UTILITY TRENCHES AND AROUND OTHER PROJECT FEATURES TO AVOID SETTLEMENT. SETTLEMENT OCCURRING WITHIN 12 MONTHS OF COMPLETION SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
20. EXISTING AND NEW CASTINGS SHALL BE ADJUSTED TO MATCH FINISH GRADE.
21. COORDINATE GAS SERVICE, ELECTRICAL SERVICE AND COMMUNICATION SERVICES WITH THE APPROPRIATE PROVIDER AND PAY NECESSARY FEES FOR INSTALLATION.

1. THE CONTRACTOR SHALL REQUEST UTILITY RELOCATION (811) AND VERIFY LOCATION OF ALL OTHER PRIVATE UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL PROTECT EXISTING UTILITIES FROM DAMAGE AND REPAIR IF DAMAGED PER PROVIDER REQUIREMENTS AT THE CONTRACTOR'S EXPENSE. COORDINATE ALL WORK AROUND EXISTING UTILITIES WITH CORRESPONDING PROVIDER.
2. THE CONTRACTOR SHALL PROTECT PROPERTY BOUNDARY PINS AND SURVEY CONTROL POINTS FROM DAMAGE.
3. THE CONTRACTOR SHALL COMPLY WITH EROSION CONTROL REQUIREMENTS AND INSTALL NECESSARY EPPC MEASURES AND CONSTRUCTION ENTRANCE/ EXIT PRIOR TO DISTURBING EXISTING VEGETATION. THE CONTRACTOR SHALL ALSO USE WATER SPRINKLING OR OTHER MEASURES TO CONTROL DUST AND OTHER AIRBORNE DEBRIS RESULTING FROM DEMOLITION.
5. A TREE PROTECTION MEASURES SPECIFIED IN THESE PLANS SHALL BE INSTALLED PRIOR TO BEGINNING DEMOLITION OPERATIONS.
5. THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS FOR DEMOLITION AND TREE REMOVAL.
6. THE CONTRACTOR MAY BE REQUIRED TO PHASE THE DEMOLITION TO MAINTAIN EXISTING UTILITY SERVICES, PROPER DRAINAGE OR ACCESS TO THE SITE OR ADJOINING SITES. THE CONTRACTOR SHALL MINIMIZE THE DISRUPTION OF EXISTING ACTIVE UTILITIES AND TRAFFIC PATTERNS. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER'S REPRESENTATIVE AND PROVIDE A DEMOLITION PHASING SCHEDULE WHERE REQUESTED.
7. UTILITY AND STORM SEWER LINES SHOULD NOT BE DEMOLISHED UNTIL NEW OR RELATED LINES HAVE BEEN INSTALLED AND OPERATIONAL.
8. THE CONTRACTOR SHALL INCLUDE IN HIS COST ANY ISOLATION VALVES OR TEMPORARY MEASURES REQUIRED TO ACCOMPLISH RELOCATIONS AND DEMOLITION OF UTILITIES.
9. THE CONTRACTOR IS RESPONSIBLE FOR ALL DEMOLITION REQUIRED TO ACCOMPLISH THE PROPOSED WORK.
10. PAVEMENTS, SIDEWALKS, CURBS AND OTHER HARD SURFACES SHALL BE EVENLY SAW CUT AT THE LIMITS OF REMOVAL TO PROVIDE A CLEAN EDGE. COORDINATE LIMITS OF REMOVAL WITH PROPOSED CONSTRUCTION INCLUDING GRADING, UTILITY INSTALLATION, PROPOSED LAYOUT, ETC.
11. EXISTING SITE FEATURES NOTED AS BEING ABANDONED, MAY BE ABANDONED IF MORE OF THE ITEMS ARE LOCATED MORE THAN 24" BELOW FINAL SUBGRADES (TO TOP OF PIPE OR OTHER FEATURE) AND NOT LOCATED WITHIN THE PROPOSED OR PLAN FUTURE BUILDING FOOTPRINTS. ENDS OF PIPES SHALL BE SEALED WITH CONCRETE.
12. ALL DEMOLISHED MATERIALS SHALL BE REMOVED FROM THE SITE AT THE CONTRACTORS COST UNLESS NOTED TO BE PROVIDED TO THE OWNER.
13. CAVITIES LEFT BY DEMOLITION SHALL BE PROPERLY BACKFILLED AND COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS.
14. WHERE EXISTING IRRIGATION LINES ARE LOCATED WITHIN THE AREA OF CONSTRUCTION, THEY SHALL BE PROTECTED OR RE-ROUTED AND CONNECTED TO MAINTAIN OPERATION OF LANDSCAPE AREAS WHICH REMAIN DURING CONSTRUCTION. COORDINATE TEMPORARY MEASURES WITH DESIGN OF NEW SYSTEM AND REMOVE TEMPORARY MEASURES WHEN NO LONGER NEEDED.

1. SUBJECT PROPERTY SHOWN AS PARCEL ID 62-240-99-04-00-0-00-000 OF THE JACKSON COUNTY TAX MAPS.
2. SITE EXISTING CONDITIONS TAKEN FROM SURVEY BY ANDERSON SURVEY COMPANY DATED 06/03/2019. CATALYST DESIGN GROUP SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OR OMISSIONS OF THE EXISTING CONDITIONS OR ERRORS RESULTING FROM THESE ITEMS.
3. THE CONTRACTOR SHALL REVIEW THE SITE CONDITIONS PRIOR TO CONSTRUCTION AND MAKE THE ENGINEER AWARE OF ANY INCONSISTENCIES BETWEEN THE SITE CONDITIONS AND EXISTING CONDITION PLAN.
4. DIMENSIONS PROVIDED ON THE PLAN ARE TAKEN TO THE FACE OF CURBS, EDGE OF CONCRETE OR EDGE OF BUILDING.
5. SITE CONTROL SHALL BE BASED OFF THE REFERENCE POINTS PROVIDED. SEE THE ARCHITECTURAL PLANS FOR LAYOUT CONTROL OF BUILDING.
6. CATALYST DESIGN GROUP RECOMMENDS THAT CONSTRUCTION STAKING BE PROVIDED BY A SURVEYOR LICENSED IN THE STATE OF THE PROJECT.
7. THE CONTRACTOR SHALL SUBMIT A REQUEST FOR UTILITIES LOCATIONS (CALL 811) AND HAVE THE UTILITIES MARKED BEFORE BEGINNING CONSTRUCTION. CONTRACTOR SHALL BE FAMILIAR WITH THE UTILITY LOCATIONS, PROTECT UTILITIES WHICH REMAIN IN SERVICE AND REPAIR ANY DAMAGE TO UTILITY SYSTEMS PER THE UTILITY PROVIDER REQUIREMENTS.
8. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY APPROVALS AND PERMITS PRIOR TO INITIATING CONSTRUCTION. THE CONTRACTOR SHALL ADHERE TO PERMIT REQUIREMENTS AS WORK PROCEEDS.
9. THE CONTRACTOR SHALL REPAIR ANY DAMAGE TO PUBLIC ROADWAYS, CURBS AND SIDEWALKS IN ACCORDANCE WITH THE LOCAL REQUIREMENTS AT CONTRACTOR'S EXPENSE.
10. THE CONTRACTOR SHALL REPAIR OR REPLACE ANY WORK UNACCEPTABLE TO THE OWNER REPRESENTATIVE OR GOVERNING AGENCIES AT CONTRACTOR'S EXPENSE.
11. ACCESSIBLE PATHS SHALL HAVE A MAXIMUM RUNNING SLOPE OF 5%, CROSS SLOPE OF 2% AND MAXIMUM 2% SLOPE IN ANY DIRECTION WITHIN TURNING MOVEMENTS AND THE ACCESSIBLE PARKING SPACES / ACCESS AISLES. RAMPS SHALL HAVE A MAXIMUM SLOPE OF 1:12 AND CROSS SLOPES AT 2% MAXIMUM. CURB RAMPS SHALL HAVE A LANDING AT THE TOP MATCHING THE WIDTH OF THE RAMP AND A DEPTH OF 36". RAMPS SHALL HAVE A 5' X 5' LANDING AT THE TOP AND BOTTOM OF THE RAMP.
12. WORK WITHIN THE PUBLIC RIGHT OF WAY SHALL BE CONSTRUCTED IN COMPLIANCE WITH THE LOCAL AND STATE REQUIREMENTS.
13. ON SITE ASPHALT PAVEMENT MATERIALS SHALL BE PER LOCAL AND STATE SPECIFICATIONS.
14. THE CONTRACTOR SHALL ADHERE TO ALL LOCAL, STATE AND FEDERAL SAFETY REGULATIONS AND PRECAUTIONS.



Catalyst
DESIGN GROUP

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CONSTRUCTION DRAWINGS

DCI - LEE'S SUMMIT

2001 NW SHAMROCK AVENUE
LEE'S SUMMIT, MISSOURI, 64081
JACKSON COUNTY

[illegible]

DRAWING TITLE
GENERAL NOTES

PROJECT NUMBER	20180111
DRAWING NUMBER	

C2.0

P:\2018\20180111\dwg\Construction\20180111_C3-0_ERD.dwg-C3.0 INITIAL EROSION CONTROL PLAN Nov 01, 2019 ovaler

LOT 1
2001 NW SHAMROCK AVENUE
OWNER: CITY OF LEE'S SUMMIT, MISSOURI /
ZONED: RP-3 (PLANNED RESIDENTIAL MIXED USE)

**WEST VILLAGE
COMMERCIAL
DEVELOPMENT,
LOTS 1-3**

LOT 2
2023 NW SHAMROCK AVENUE,
96,932 SQUARE FEET
OR 2.225 ACRES, MORE OR LESS
**WEST VILLAGE
COMMERCIAL
DEVELOPMENT,
LOTS 1-3**

FOUND 1/2" STEEL ROD WITH CAP
STAMPED "ASC KLS3 MLS76D"
ON PROPERTY CORNER

EROSION CONTROL KEYNOTES		
CODE	DESCRIPTION	DET #/SHT #
EC1	TEMPORARY CONSTRUCTION ENTRANCE	1 / C3.3
EC2	SILT FENCE	2 / C3.3
EC3	AREA INLET PROTECTION	4 / C3.3
EC10	CONCRETE WASH-OUT	1 / C3.3

SITE DESCRIPTION AND NOTES:

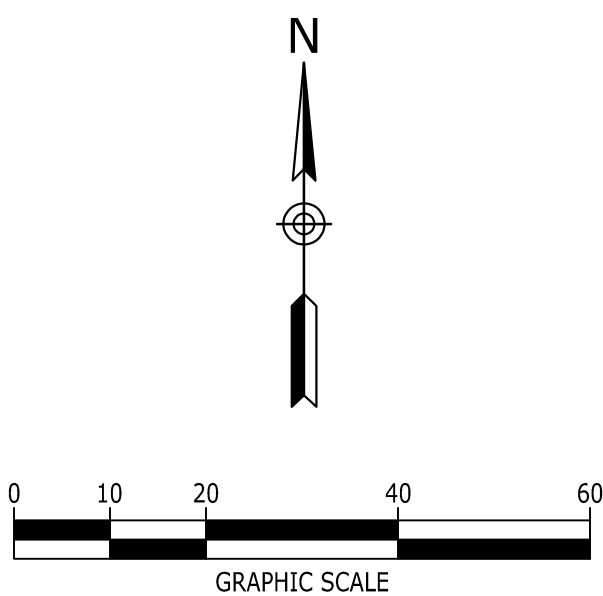
THE SITE IS LOCATED AS PARCEL ID 62-240-99-04-00-0-00-000 IN LEE'S SUMMIT, JACKSON COUNTY, MISSOURI. CONSTRUCTION ACTIVITY ON THIS SITE WILL CONSIST OF DISTURBING APPROXIMATELY 2.26± ACRES TO CONSTRUCT A 10,220 S.F. +/- DIALYSIS CLINIC, PARKING, AND ASSOCIATED SITE IMPROVEMENTS.

- APPROXIMATE CONSTRUCTION TIME TABLE:
BEGIN CONSTRUCTION - [NOV 2019]
COMPLETE CONSTRUCTION - [FEB 2021]
- CONSTRUCTION SEQUENCE:
 - ATTEND WATER QUALITY DIVISION PRE-CONSTRUCTION MEETING.
 - INSTALL CONSTRUCTION ENTRANCE AND SILT FENCE
 - CONTACT WATER QUALITY DIVISION - EROSION CONTROL INSPECTOR FOR INSPECTION OF EROSION CONTROL DEVICES TO OBTAIN GRADING PERMIT.
 - CLEAR AND GRUB THE REMAINING SITE.
 - CONSTRUCT REMAINING SITE ACCORDING TO APPROVED PLANS, INCLUDING ALL ADDITIONAL EROSION CONTROL DEVICES.
 - UPON PERMANENT SITE STABILIZATION SEED AND STRAW.
 - REMOVE ALL OTHER EROSION TEMPORARY CONTROL DEVICES PRIOR TO AS-BUILT APPROVALS.
- TOTAL PROJECT AREA = 96,932 SF (2.225± AC.)
DISTURBED AREA = 98,540 S.F. (2.26± AC.)

EROSION CONTROL NOTES:

- EROSION PREVENTION AND SEDIMENT CONTROL MEASURES MUST BE IN PLACE AND FUNCTIONAL BEFORE EARTH MOVING OPERATION BEGINS AND MUST BE CONSTRUCTED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. TEMPORARY MEASURES MAY BE REMOVED AT THE BEGINNING OF THE WORKDAY BUT MUST BE REPLACED AT THE END OF THE WORKDAY.
- THE FOLLOWING RECORDS SHALL BE MAINTAINED ON OR NEAR SITE: THE DATES WHEN MAJOR GRADING ACTIVITIES OCCUR; THE DATES WHEN CONSTRUCTION ACTIVITIES TEMPORARILY OR PERMANENTLY CEASE ON A PORTION OF THE SITE; THE DATES WHEN STABILIZATION MEASURES ARE INITIATED; INSPECTION RECORDS AND RAINFALL RECORDS.
- THE CONTRACTOR SHALL MAINTAIN A RAIN GAUGE AND DAILY RAINFALL RECORDS AT THE SITE OR USE A REFERENCE SITE FOR A RECORD OF DAILY AMOUNT OF PRECIPITATION.
- PRE-CONSTRUCTION VEGETATIVE GROUND COVER SHALL NOT BE DESTROYED, REMOVED OR DISTURBED MORE THAN 10 DAYS PRIOR TO GRADING OR EARTH MOVING UNLESS THE AREA IS SEEDED AND/OR MULCHED OR OTHER TEMPORARY COVER IS INSTALLED.
- CONSTRUCTION MUST BE SEQUENCED TO MINIMIZE THE EXPOSURE TIME OF GRADED OR DENUDED AREAS.
- SEDIMENT SHOULD BE REMOVED FROM SEDIMENT TRAPS, SILT FENCES, SEDIMENTATION PONDS AND OTHER SEDIMENT CONTROLS AS NECESSARY AND MUST BE REMOVED WHEN DESIGN CAPACITY HAS BEEN REDUCED BY 50% OR AS DIRECTED BY OWNERS REPRESENTATIVE.
- THE CONTRACTOR SHALL REMOVE SEDIMENT FROM ALL DRAINAGE STRUCTURES BEFORE ACCEPTANCE BY LOCAL GOVERNING AGENCY OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE.
- THE CONTRACTOR SHALL REMOVE THE TEMPORARY EROSION AND WATER POLLUTION CONTROL DEVICES ONLY AFTER A SOLID STAND OF GRASS HAS BEEN ESTABLISHED ON GRADED AREAS AND WHEN IN THE OPINION OF THE OWNER'S REPRESENTATIVE, THEY ARE NO LONGER NEEDED.
- DISTURBED AREAS SHALL BE STABILIZED WITHIN 14 DAYS OF THE COMPLETION OF GRADING ACTIVITIES. SLOPES 3:1 OR STEEPER SHALL BE STABILIZED WITHIN 7 DAYS.

LEGEND	
SILT FENCE	—SF—
LIMITS OF DISTURBANCE	—LOD—
INLET PROTECTION	###
EROSION CONTROL MATTING	XXXXXX

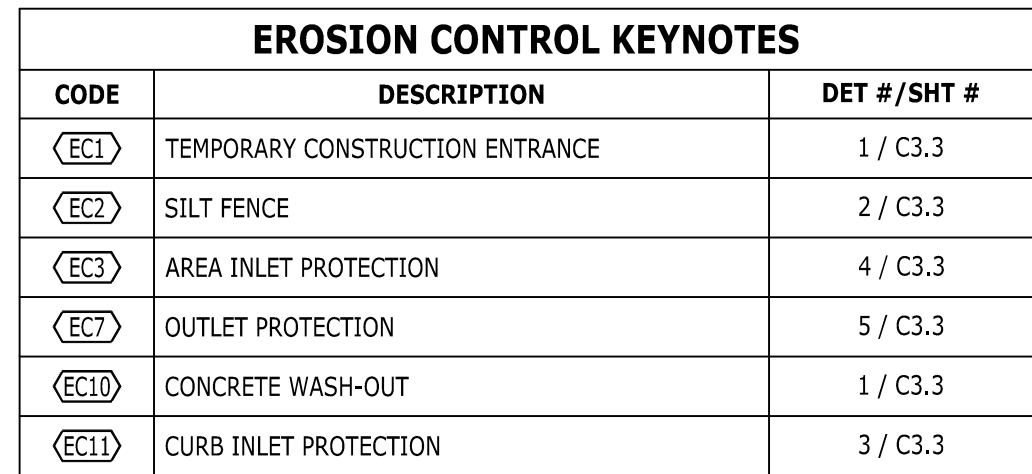


DIALYSIS CLINIC, INC.
1633 CHURCH STREET, STE 500
NASHVILLE, TN 37203
615.327.3061



CONSTRUCTION DRAWINGS
DCI - LEE'S SUMMIT
2001 NW SHAMROCK AVENUE
LEE'S SUMMIT, MISSOURI, 64081
JACKSON COUNTY





DRAWING TITLE	
INITIAL EROSION CONTROL PLAN	
PROJECT NUMBER	20180111
DRAWING NUMBER	C3.0

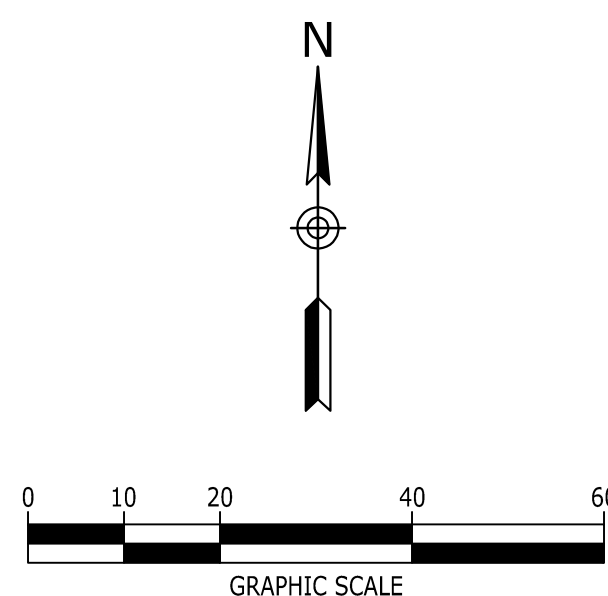


THE SITE IS LOCATED AS PARCEL ID 62-240-99-04-00-0-00-000 IN LEE'S SUMMIT, JACKSON COUNTY, MISSOURI. CONSTRUCTION ACTIVITY ON THIS SITE WILL CONSIST OF DISTURBING APPROXIMATELY 2.26± ACRES TO CONSTRUCT A 10,220 S.F.+/- DIALYSIS CLINIC, PARKING, AND ASSOCIATED SITE IMPROVEMENTS.

1. APPROXIMATE CONSTRUCTION TIME TABLE:
BEGIN CONSTRUCTION - [NOV 2019]
COMPLETE CONSTRUCTION - [FEB 2021]
2. CONSTRUCTION SEQUENCE:
 - A. ATTEND WATER QUALITY DIVISION PRE-CONSTRUCTION MEETING.
 - B. INSTALL CONSTRUCTION ENTRANCE AND SILT FENCE
 - C. CONTACT WATER QUALITY DIVISION - EROSION CONTROL INSPECTOR FOR INSPECTION OF EROSION CONTROL DEVICES TO OBTAIN GRADING PERMIT.
 - D. CLEAR AND GRUB THE REMAINING SITE.
 - E. CONSTRUCT REMAINING SITE ACCORDING TO APPROVED PLANS, INCLUDING ALL ADDITIONAL EROSION CONTROL DEVICES.
 - F. UPON PERMANENT SITE STABILIZATION SEED AND STRAW.
 - G. REMOVE ALL OTHER EROSION TEMPORARY CONTROL DEVICES PRIOR TO AS-BUILT APPROVALS.
3. TOTAL PROJECT AREA = 96,932 SF (2.225± AC.)
DISTURBED AREA = 98,540 S.F. (2.26± AC.)

1. EROSION PREVENTION AND SEDIMENT CONTROL MEASURES MUST BE IN PLACE AND FUNCTIONAL BEFORE EARTH MOVING OPERATION BEGINS AND MUST BE CONSTRUCTED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. TEMPORARY MEASURES MAY BE REMOVED AT THE BEGINNING OF THE WORKDAY BUT MUST BE REPLACED AT THE END OF THE WORKDAY.
2. THE FOLLOWING RECORDS SHOULD BE MAINTAINED ON OR NEAR SITE: THE DATES WHEN MAJOR GRADING ACTIVITIES OCCUR; THE DATES WHEN CONSTRUCTION ACTIVITIES TEMPORARILY OR PERMANENTLY CEASE ON A PORTION OF THE SITE; THE DATES WHEN STABILIZATION MEASURES ARE INITIATED; INSPECTION RECORDS AND RAINFALL RECORDS.
3. THE CONTRACTOR SHALL MAINTAIN A RAIN GAUGE AND DAILY RAINFALL RECORDS AT THE SITE OR USE A REFERENCE SITE FOR A RECORD OF DAILY AMOUNT OF PRECIPITATION.
4. PRE-CONSTRUCTION VEGETATIVE GROUND COVER SHALL NOT BE DESTROYED, REMOVED OR DISTURBED MORE THAN 10 DAYS PRIOR TO GRADING OR EARTH MOVING UNLESS THE AREA IS SEEDED AND/OR MULCHED OR OTHER TEMPORARY COVER IS INSTALLED.
5. CONSTRUCTION MUST BE SEQUENCED TO MINIMIZE THE EXPOSURE TIME OF GRADED OR DENUDED AREAS.
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LEGEND	
SILT FENCE	
LIMITS OF DISTURBANCE	
INLET PROTECTION	
EROSION CONTROL MATTING	



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1633 CHURCH STREET, STE 500
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DCI - LEE'S SUMMIT

2001 NW SHAMROCK AVENUE
LEE'S SUMMIT, MISSOURI, 64081
JACKSON COUNTY

[illegible]

DRAWING TITLE

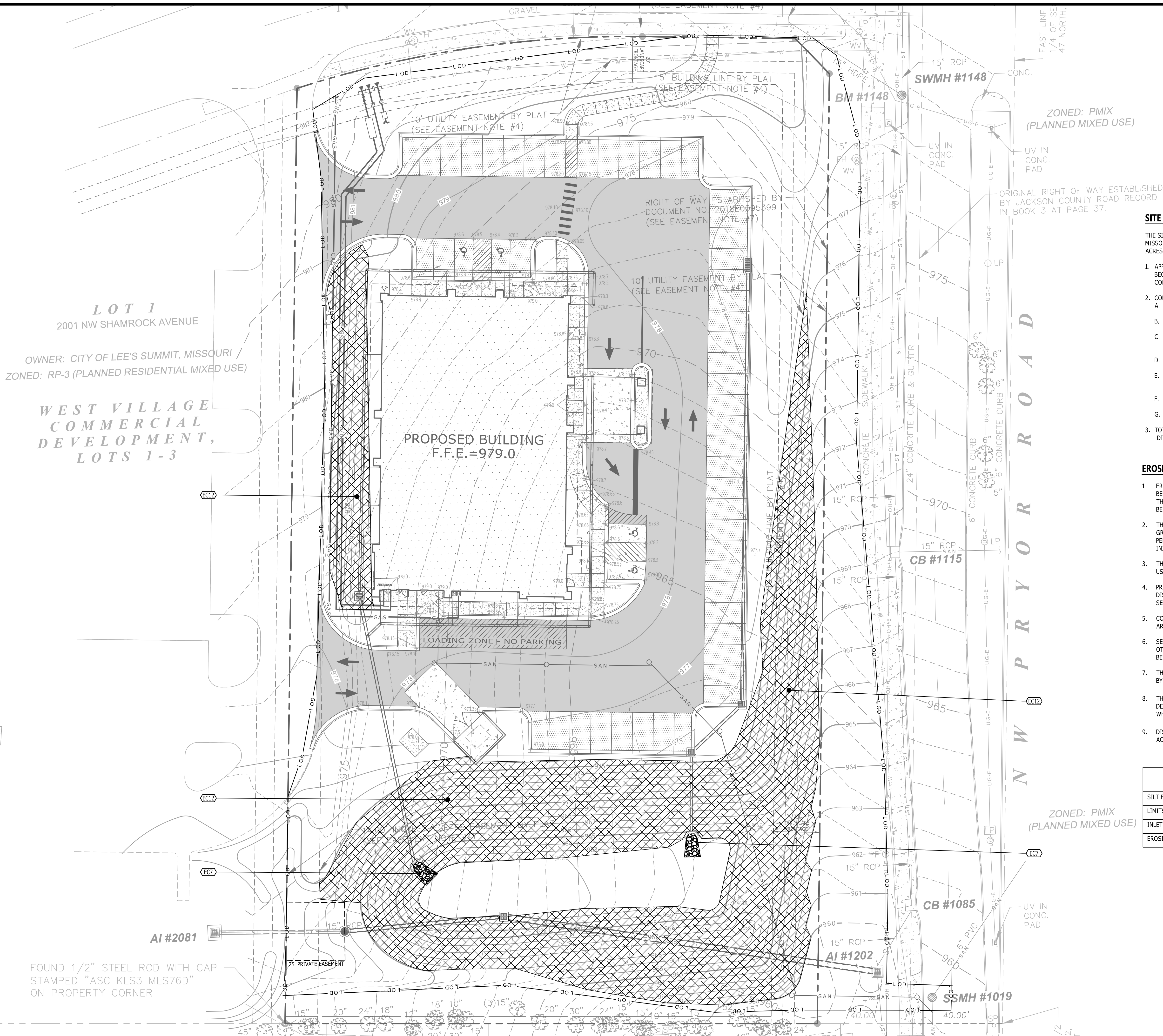
INTERMEDIATE EROSION CONTROL PLAN

PROJECT NUMBER	20180111
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DRAWING NUMBER

C3.1

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EROSION CONTROL KEYNOTES		
CODE	DESCRIPTION	DET #/SHT #
ECT7	OUTLET PROTECTION	5 / C3.3
ECT2	GEOTEXTILE MATTING	6 / C3.3

SITE DESCRIPTION AND NOTES:

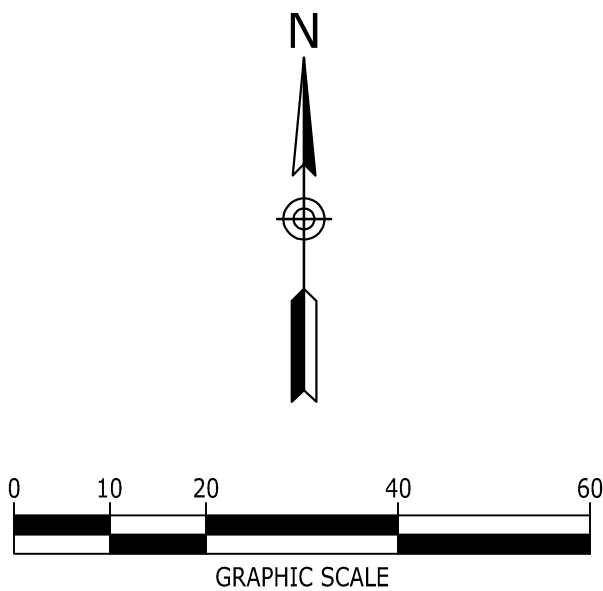
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LEGEND	
SILT FENCE	SF
LIMITS OF DISTURBANCE	L O D
INLET PROTECTION	IP
EROSION CONTROL MATTING	EC



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CONSTRUCTION DRAWINGS
DCI - LEE'S SUMMIT
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LEE'S SUMMIT, MISSOURI, 64081
JACKSON COUNTY

DRAWING TITLE	DATE
FINAL EROSION CONTROL PLAN	
PROJECT NUMBER	20180111
DRAWING NUMBER	C3.2

1. INSPECTIONS DESCRIBED IN PARAGRAPHS 2, 3 AND 4 BELOW, SHALL BE PERFORMED AT LEAST TWICE EVERY CALENDAR WEEK. INSPECTIONS SHALL BE PERFORMED AT LEAST 72 HOURS AHEAD. WHERE SITES OR PORTION(S) OF CONSTRUCTION SITES HAVE BEEN TEMPORARILY STABILIZED, OR RUNOFF IS UNLIKELY DUE TO WINTER CONDITIONS (E.G., SITE COVERED WITH SNOW OR ICE) OR DUE TO EXTREME DROUGHT, SUCH INSPECTION ONLY HAS TO BE CONDUCTED ONCE PER MONTH UNTIL THAWING OR PRECIPITATION RESULTS IN RUNOFF OR CONSTRUCTION ACTIVITY RESUMES. INSPECTION REQUIREMENTS DO NOT APPLY TO DEFINABLE AREAS THAT HAVE BEEN TEMPORARILY STABILIZED, WITH NO NOTIFICATION REQUIRED TO THE TDEC. INSPECTION FREQUENCY AND THE JUSTIFICATION FOR SUCH REQUEST MUST BE SUBMITTED TO THE LOCAL ENVIRONMENTAL FIELD OFFICE, OR THE DIVISION'S NASHVILLE CENTRAL OFFICE FOR PROJECTS OF THE TENNESSEE DEPARTMENT OF TRANSPORTATION (TDOT) AND THE TENNESSEE VALLEY AUTHORITY (TVA). SHOULD TDEC DISCOVER THAT MONTHLY INSPECTIONS OF THE SITE ARE NOT APPROPRIATE DUE TO INSUFFICIENT STABILIZATION MEASURES OR OTHERWISE, TWICE WEEKLY INSPECTIONS SHALL RESUME. TDEC MAY INSPECT THE SITE TO CONFIRM OR DENY THE NOTIFICATION TO CONDUCT MONTHLY INSPECTIONS.

3. QUALIFIED PERSONNEL (PROVIDED BY THE PERMITTEE OR COOPERATIVELY BY MULTIPLE PERMITTEES) SHALL INSPECT DISTURBED AREAS OF THE CONSTRUCTION SITE THAT HAVE NOT BEEN FINALLY STABILIZED, AREAS USED FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION, STRUCTURAL CONTROL MEASURES, LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE, AND EACH OUTFALL.
4. DISTURBED AREAS AND AREAS USED FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION SHALL BE INSPECTED FOR EVIDENCE OF, OR THE POTENTIAL FOR, POLLUTANTS ENTERING THE SITE'S DRAINAGE SYSTEM. EROSION PREVENTION AND SEDIMENT CONTROL MEASURES SHALL BE OBSERVED TO ENSURE THAT THEY ARE OPERATING CORRECTLY.
5. OUTFALL POINTS (WHERE DISCHARGES LEAVE THE SITE AND/OR ENTER WATERS OF THE STATE) SHALL BE INSPECTED TO DETERMINE WHETHER EROSION PREVENTION AND SEDIMENT CONTROL MEASURES ARE EFFECTIVE IN PREVENTING SIGNIFICANT IMPACTS TO RECEIVING WATERS. WHERE DISCHARGE LOCATIONS ARE INACCESSIBLE, NEARBY DOWNSTREAM LOCATIONS SHALL BE INSPECTED. LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE SHALL BE INSPECTED FOR EVIDENCE OF OFFSITE SEDIMENT TRACKING.
6. BASED ON THE RESULTS OF THE INSPECTION, ANY INADEQUATE CONTROL MEASURES OR CONTROL MEASURES IN DISREPAIR SHALL BE REPLACED OR MODIFIED, OR REPAIRED AS NECESSARY, BEFORE THE NEXT RAIN EVENT, BUT IN NO CASE MORE THAN 7 DAYS AFTER THE NEED IS IDENTIFIED.
7. BASED ON THE RESULTS OF THE INSPECTION, THE SITE DESCRIPTION AND POLLUTION PREVENTION MEASURES IDENTIFIED IN THIS SWPPP SHALL BE REVISED AS APPROPRIATE, BUT IN NO CASE LATER THAN 7 DAYS FOLLOWING THE INSPECTION. SUCH MODIFICATIONS SHALL PROVIDE FOR TIMELY IMPLEMENTATION OF ANY CHANGES TO THE SWPPP, BUT IN NO CASE LATER THAN 14 DAYS FOLLOWING THE INSPECTION.
8. ALL INSPECTIONS SHALL BE DOCUMENTED ON THE CONSTRUCTION STORMWATER INSPECTION CERTIFICATION FORM PROVIDED IN APPENDIX D OF THE SWPPP REPORT FOR ALL CONSTRUCTION SITES. INSPECTION DOCUMENTATION WILL BE MAINTAINED ON SITE AND MADE AVAILABLE TO TDEC UPON REQUEST. INSPECTION REPORTS MUST BE SUBMITTED TO TDEC WITHIN 10 DAYS OF THE REQUEST. IF TDEC REQUESTS THE CONSTRUCTION STORMWATER INSPECTION CERTIFICATION FORM TO BE SUBMITTED, THE SUBMITTED FORM MUST CONTAIN THE PRINTED NAME AND SIGNATURE OF THE TRAINED CERTIFIED INSPECTOR AND THE PERSON WHO MEETS THE SIGNATORY REQUIREMENTS OF SECTION 7.7.2 OF THE NPDES GENERAL PERMIT.
9. TRAINED CERTIFIED INSPECTORS SHALL COMPLETE INSPECTION DOCUMENTATION TO THE BEST OF THEIR ABILITY. FALSIFYING INSPECTION RECORDS OR OTHER DOCUMENTATION OR FAILURE TO COMPLETE INSPECTION DOCUMENTATION SHALL RESULT IN A VIOLATION OF THIS PERMIT AND ANY OTHER APPLICABLE ACTS OR RULES.
10. SUBSEQUENT OPERATOR(S) (PRIMARY PERMITTEE(S) WHO HAVE OBTAINED COVERAGE UNDER THE NPDES GENERAL PERMIT SHOULD CONDUCT TWICE WEEKLY INSPECTIONS, UNLESS THEIR PORTION(S) OF THE SITE HAS BEEN TEMPORARILY STABILIZED, OR RUNOFF IS UNLIKELY DUE TO WINTER CONDITIONS OR DUE TO EXTREME DROUGHT AS STATED IN PARAGRAPH A) ABOVE. THE PRIMARY PERMITTEE (SUCH AS A DEVELOPER) IS NO LONGER REQUIRED TO CONDUCT INSPECTIONS OF PORTIONS OF THE SITE THAT ARE COVERED BY A SUBSEQUENT PRIMARY PERMITTEE (SUCH AS A HOME BUILDER).

1. THE SITE ASSESSMENT SHALL BE PERFORMED BY INDIVIDUALS WITH THE FOLLOWING QUALIFICATIONS:
 - A LICENSED PROFESSIONAL ENGINEER OR LANDSCAPE ARCHITECT
 - A CERTIFIED PROFESSIONAL IN EROSION AND SEDIMENT CONTROL (CPESC) OR
 - A PERSON THAT SUCCESSFULLY COMPLETED THE "LEVEL II DESIGN PRINCIPLES FOR EROSION PREVENTION AND SEDIMENT CONTROL FOR CONSTRUCTION SITES" COURSE.
2. QUALITY ASSURANCE OF EROSION PREVENTION AND SEDIMENT CONTROLS SHALL BE DONE BY PERFORMING SITE ASSESSMENT AT A CONSTRUCTION SITE. THE SITE ASSESSMENT SHALL BE CONDUCTED AT EACH OUTFALL INVOLVING DRAINAGE TOTALING MORE THAN ONE (1) MORE ACRE OR IF DRAINAGE TO AN UNPAVED AREAL WITH ADDITIONAL QUALITY WATER WITHIN ONE MONTH OF CONSTRUCTION COMMENCING AT EACH PORTION OF THE SITE THAT DRAINS THE QUALIFYING ACREAGE OF SUCH PORTION OF THE SITE.

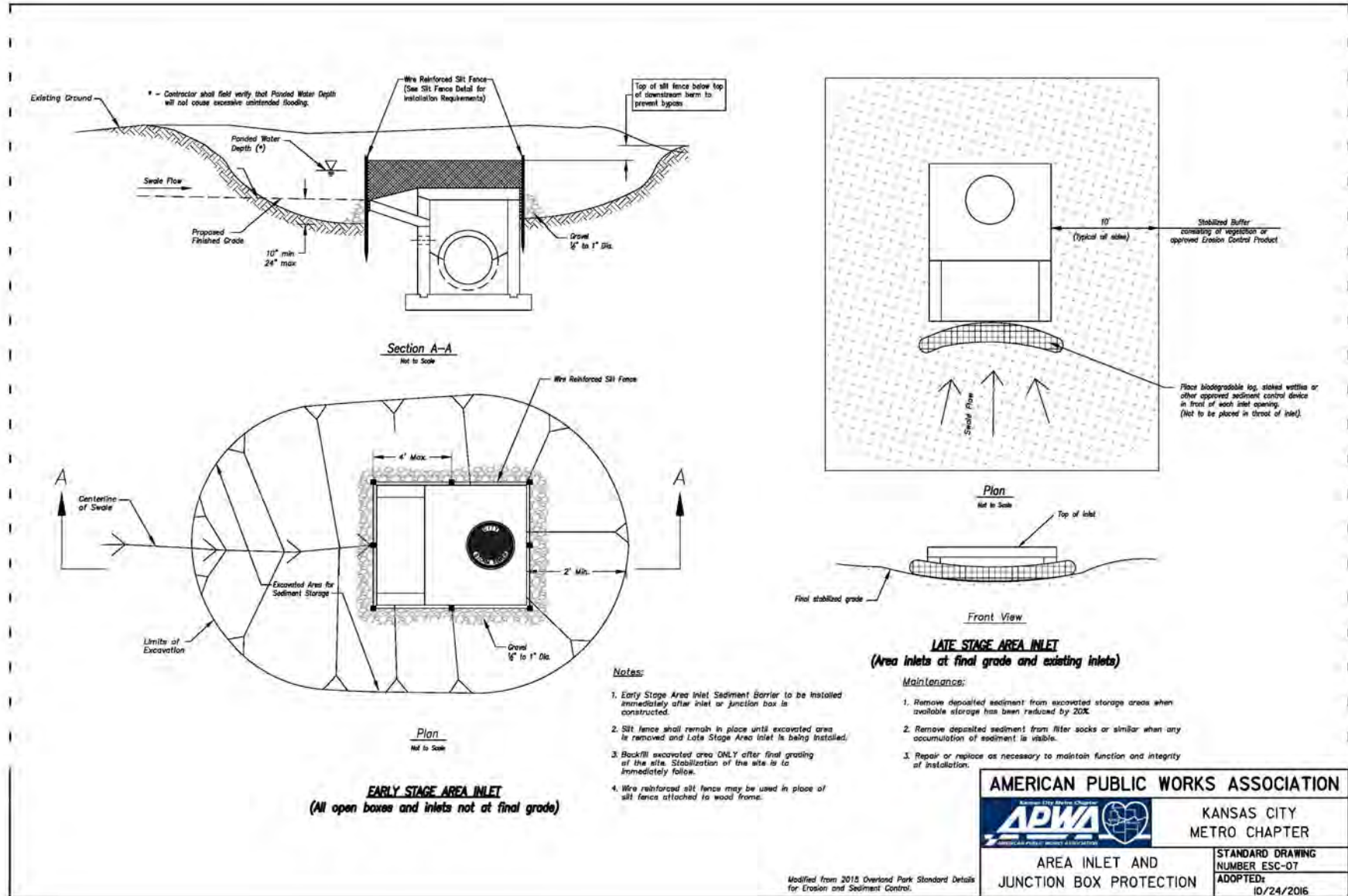
3. AS A MINIMUM, SITE ASSESSMENT SHOULD BE PERFORMED TO VERIFY THE INSTALLATION, FUNCTIONALITY AND PERFORMANCE OF THE EPSM MEASURES DESCRIBED IN THE SWPPP REPORT. THE SITE ASSESSMENT SHOULD BE PERFORMED WITH THE INSPECTOR, AND SHOULD INCLUDE A REVIEW AND UPDATE (IF APPLICABLE) OF THE SWPPP REPORT. MODIFICATIONS OF PLANS AND SPECIFICATIONS FOR ANY BUILDING OR STRUCTURE, INCLUDING THE DESIGN OF SEDIMENT BASINS OR OTHER SEDIMENT CONTROLS INVOLVING STRUCTURAL, HYDRAULIC, HYDROLOGIC OR OTHER ENGINEERING CALCULATIONS SHALL BE PREPARED BY A LICENSED PROFESSIONAL ENGINEER OR LANDSCAPE ARCHITECT AND STAMPED AND CERTIFIED IN ACCORDANCE WITH THE TENNESSEE CODE ANNOTATED, TITLE 62, CHAPTER 2 AND THE RULES OF THE TENNESSEE BOARD OF ARCHITECTURAL AND ENGINEERING EXAMINERS.
4. THE SITE ASSESSMENT FINDINGS SHALL BE DOCUMENTED AND THE DOCUMENTATION KEPT WITH THE SWPPP REPORT AT THE SITE. AT A MINIMUM, THE DOCUMENTATION SHALL INCLUDE INFORMATION INCLUDED IN THE INSPECTION FORM PROVIDED IN APPENDIX D OF THE SWPPP REPORT. THE DOCUMENTATION MUST CONTAIN THE PRINTED NAME AND SIGNATURE OF THE INDIVIDUAL PERFORMING THE SITE ASSESSMENT AND THE FOLLOWING CERTIFICATION:

"I CERTIFY UNDER PENALTY OF LAW THAT THIS REPORT AND ALL ATTACHMENTS ARE, TO THE BEST OF MY KNOWLEDGE AND BELIEF, TRUE, ACCURATE, AND COMPLETE. I AM AWARE THAT THERE ARE SIGNIFICANT PENALTIES FOR SUBMITTING FALSE INFORMATION, INCLUDING THE POSSIBILITY OF FINE AND IMPRISONMENT FOR KNOWING VIOLATIONS."

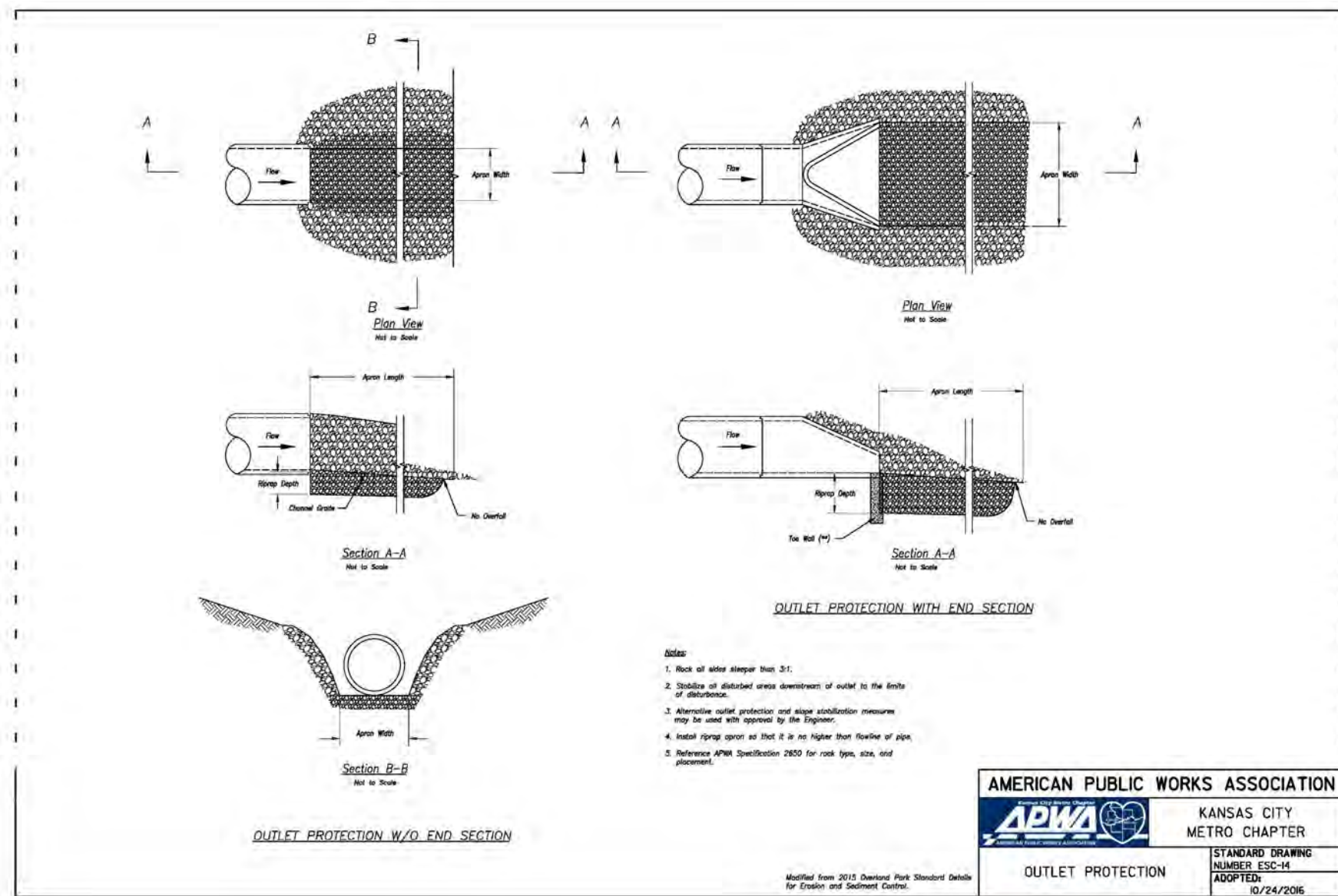
5. THE SITE ASSESSMENT CAN TAKE THE PLACE OF ONE OF THE TWICE WEEKLY INSPECTIONS REQUIREMENT
6. TDEC MAY REQUIRE ADDITIONAL SITE ASSESSMENT(S) TO BE PERFORMED IF SITE INSPECTION BY TDEC'S PERSONNEL REVEALS SITE CONDITIONS THAT HAVE POTENTIAL OF CAUSING POLLUTION TO THE WATERS OF THE STATE.

CONTRACTOR SHALL INSTALL A 4'X4' WEATHER PROOF SIGN (6' HEIGHT) AT THE MAIN CONSTRUCTION ENTRANCE
THE SIGN SHALL HAVE THE FOLLOWING INFORMATION:

1. A COPY OF THE NOTICE OF COVERAGE WITH THE NPDES PERMIT NUMBER (FURNISHED BY ENGINEER).
2. THE NAME AND TELEPHONE NUMBER OF A LOCAL CONTACT PERSON (FURNISHED BY CONSTRUCTION MANAGER).
3. DESCRIPTION OF PROJECT (FURNISHED BY CONSTRUCTION MANAGER).

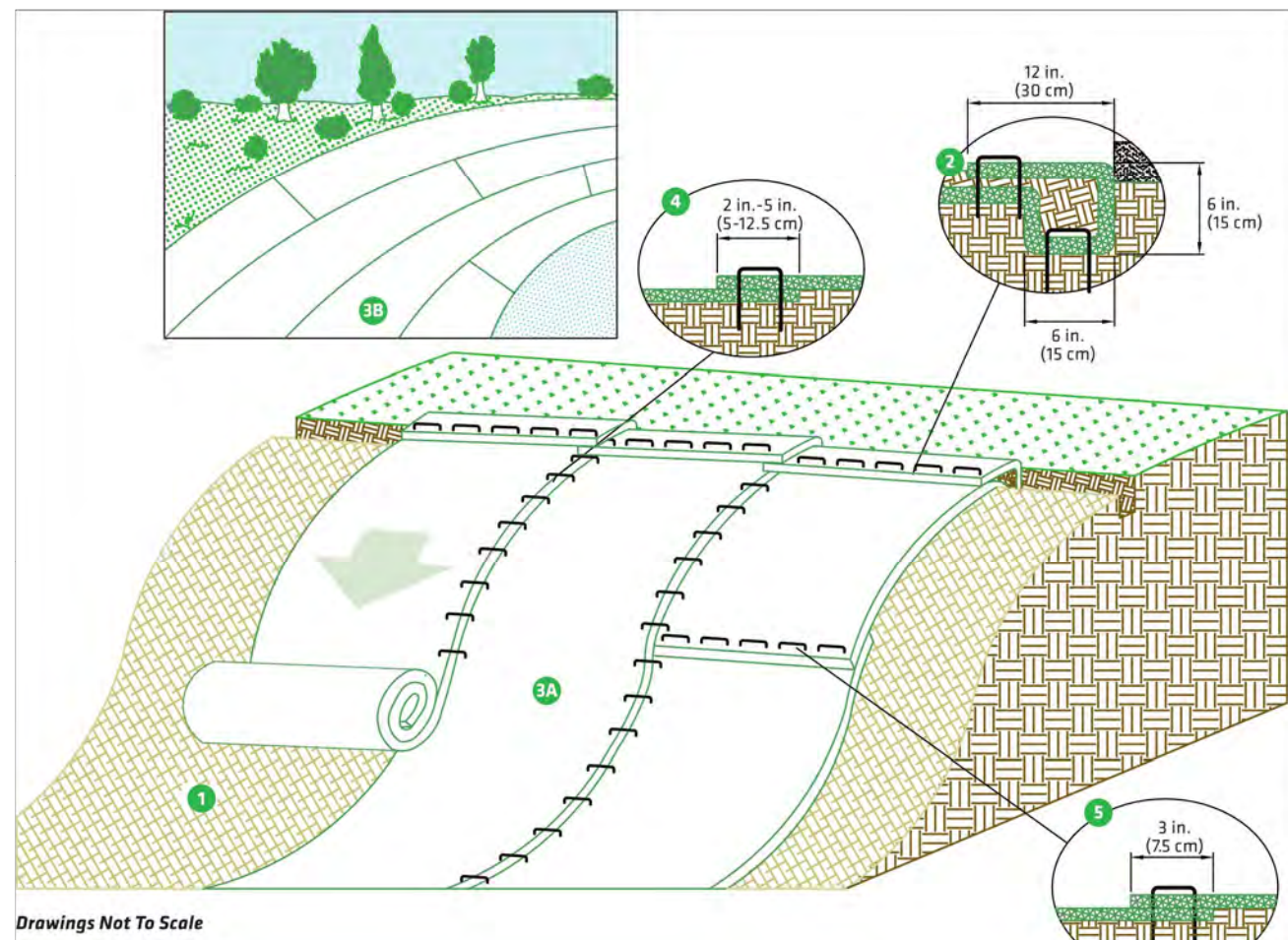


NOT TO SCALE



NOT TO SCALE

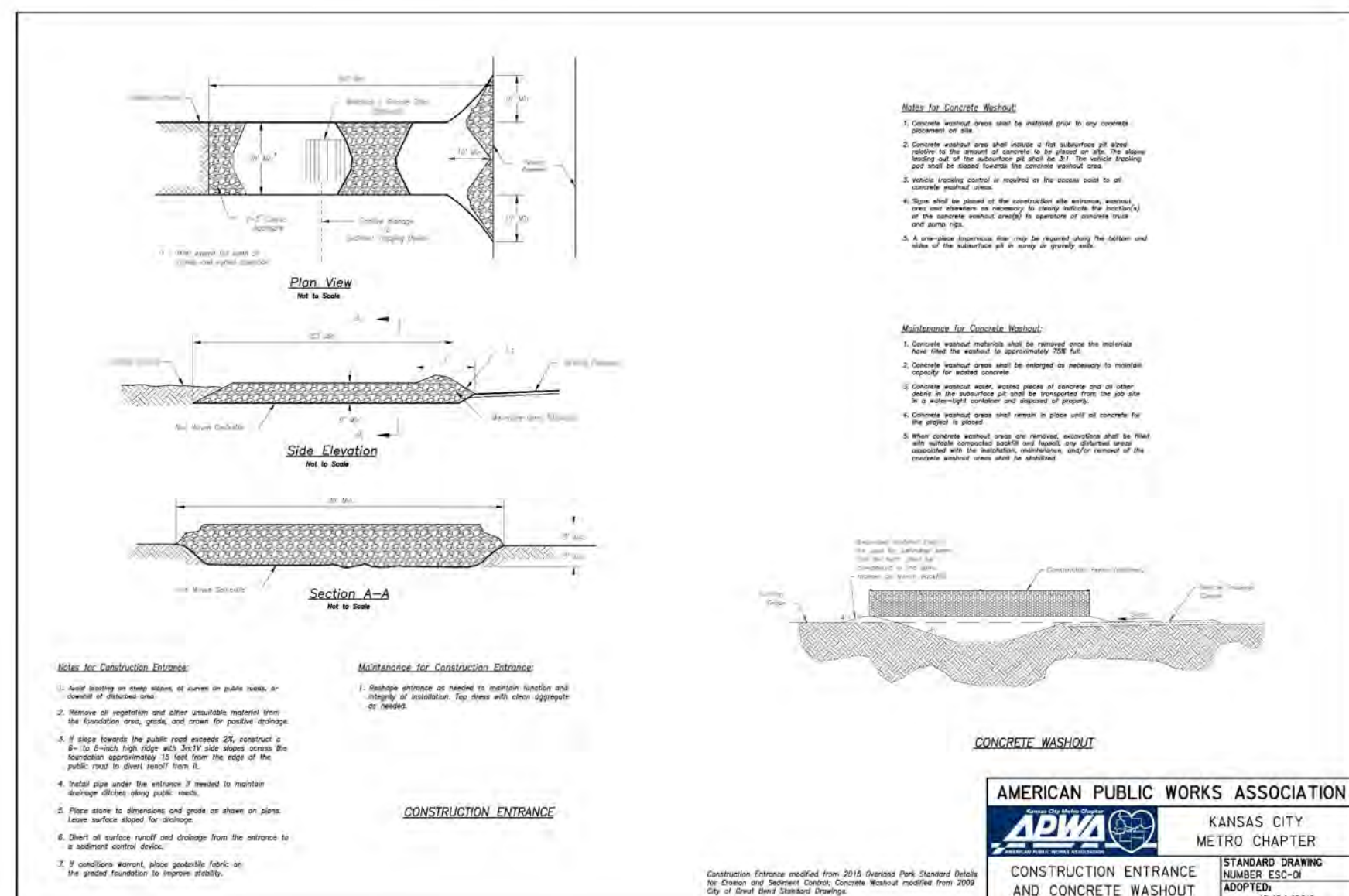
The following slope guide outlines general recommendations for installing RollMax™ System temporary and/or permanent RECPs on sloping applications. Consult the staple pattern guide (Figure 1) for fastener spacing recommendations based on the slope severity.



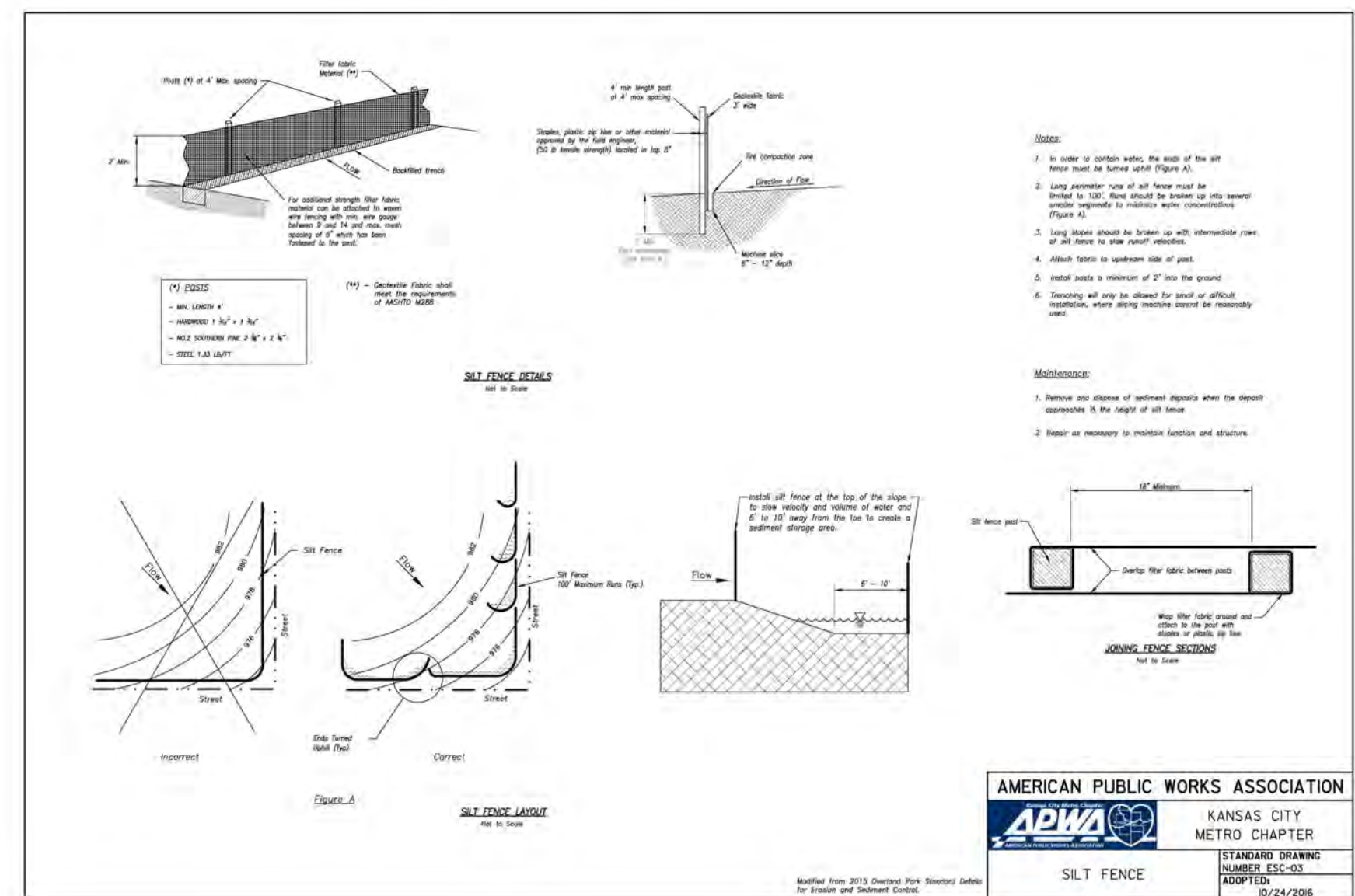
NOTE: TEMPORARY EROSION CONTROL SHALL BE TENSAR NORTH AMERICAN GREEN SC150 OR APPROVED EQUAL, AND SHALL BE INSTALLED AS INDICATED ON SLOPES 3:1 OR LESS.

PERMANENT EROSION CONTROL MATTING SHALL BE TENSAR NORTH AMERICAN GREEN SC250 OR APPROVED EQUAL, AND SHALL BE INSTALLED ON ALL SLOPES GREATER THAN 3:1.

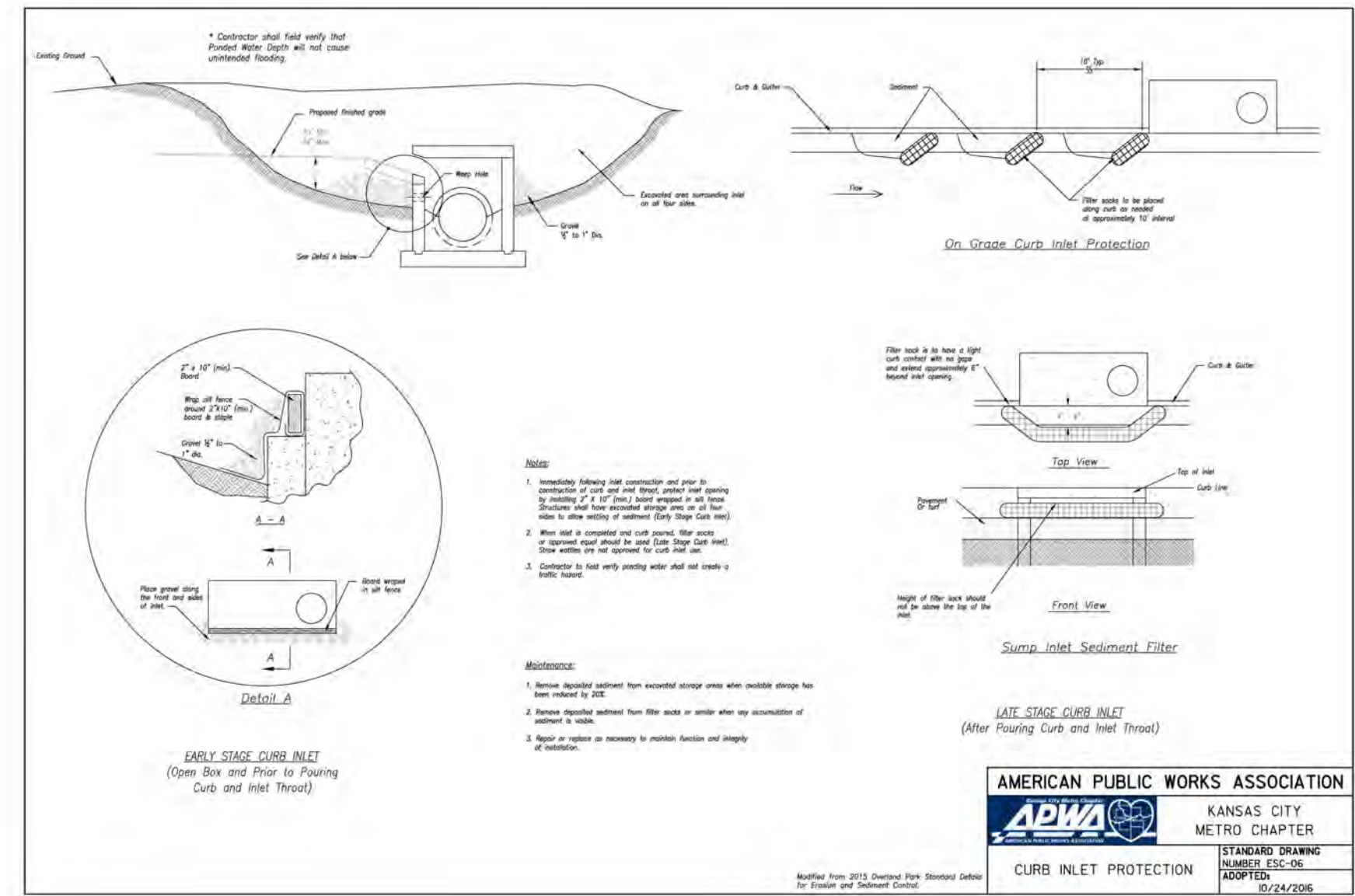
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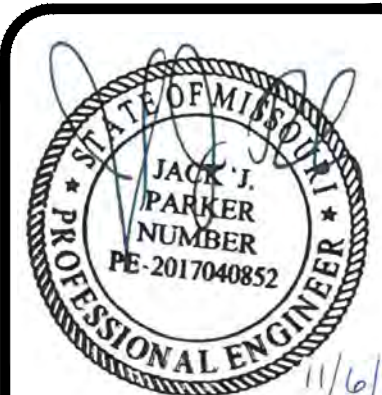


NOT TO SCALE



NOT TO SCALE

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3 CHURCH STREET, STE 500
NASHVILLE, TN 37203
615.327.3061



CONSTRUCTION DRAWINGS

DCI - LEE'S SUMMIT

2001 NW SHAMROCK AVENUE
LEE'S SUMMIT, MISSOURI, 64081
JACKSON COUNTY

DRAWING TITLE

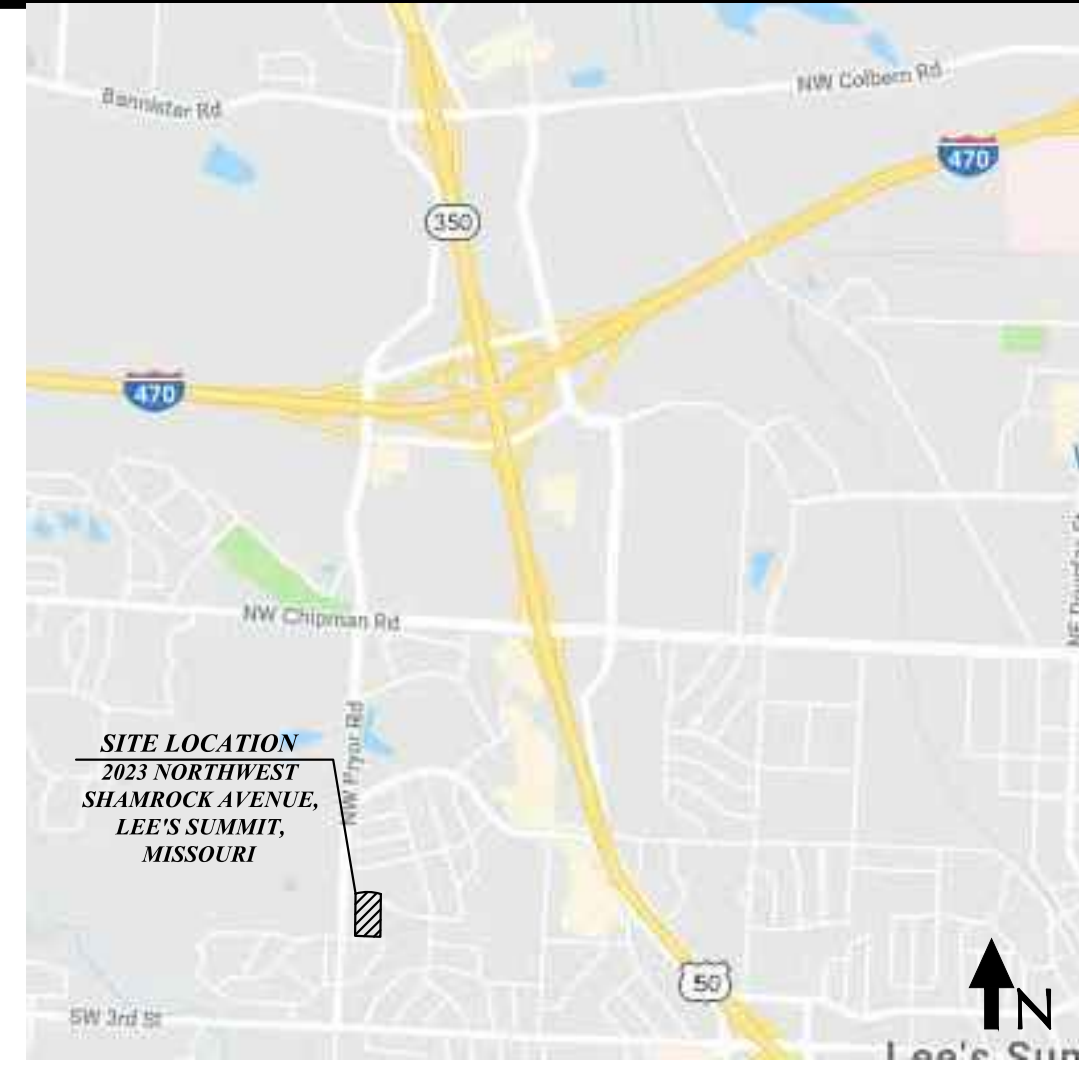
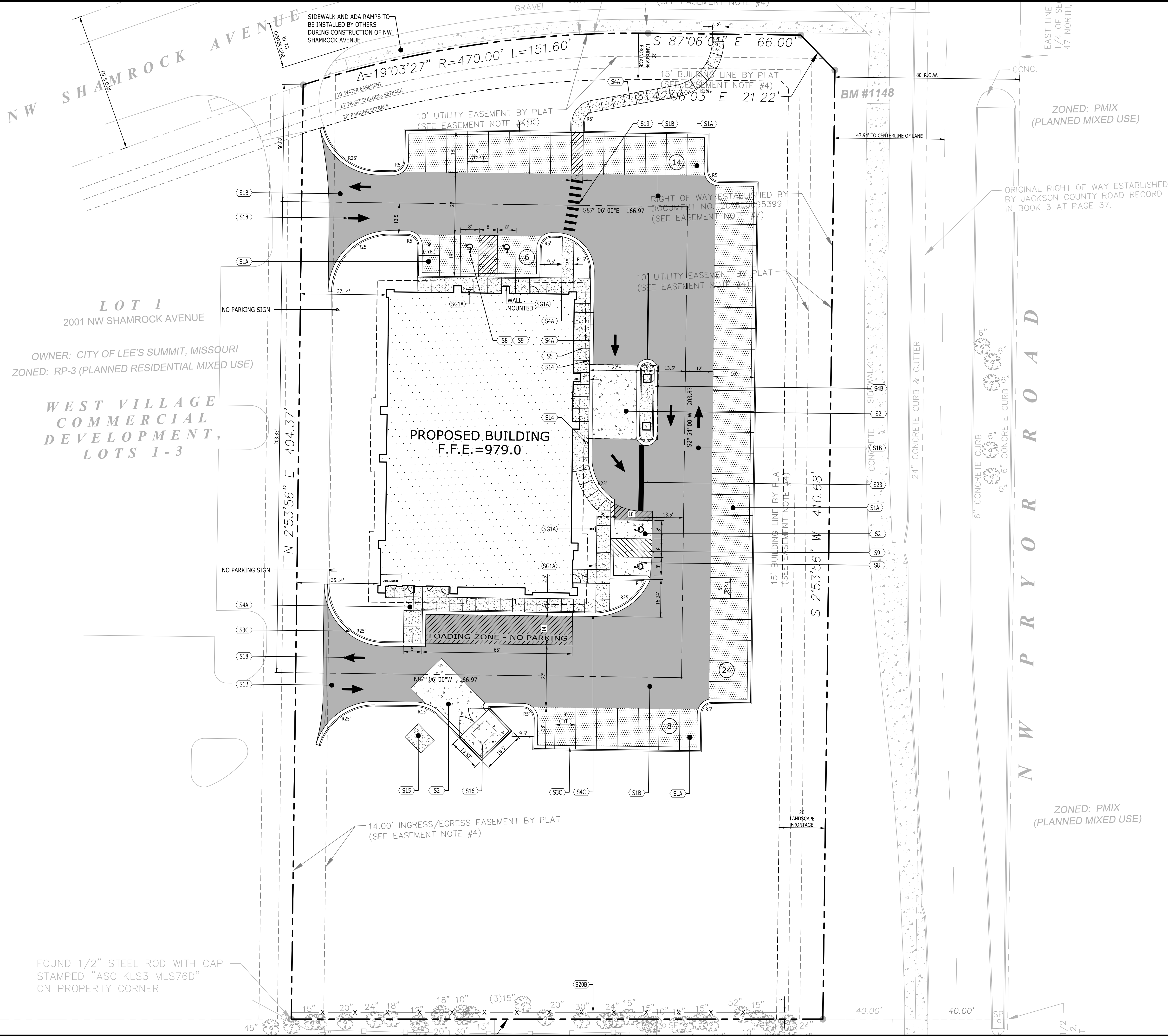
SEDIMENT AND
EROSION CONTROL
DETAILS

PROJECT NUMBER	20180111
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DRAWING NUMBER

C3.3

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VICINITY MAP
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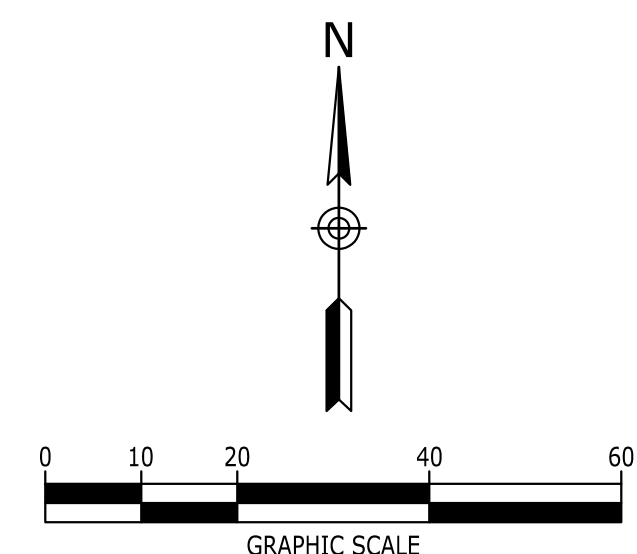
SITE LAYOUT KEYNOTES		
CODE	DESCRIPTION	DET #/SHT #
S1A	ASPHALT PAVEMENT - LIGHT DUTY	7 / C7.0
S1B	ASPHALT PAVEMENT - HEAVY DUTY	7 / C7.0
S2	CONCRETE PAVEMENT	1 / C7.0
S3C	CONCRETE CURB & GUTTER	2 / C7.0
S4A	CONCRETE SIDEWALK	3 / C7.0
S4B	CONCRETE SIDEWALK WITH TURN DOWN CURB	4 / C7.0
S4C	CONCRETE SIDEWALK AT CURB & GUTTER	5 / C7.0
S5	SIDEWALK JOINTS	6 / C7.0
S8	ACCESSIBLE SYMBOL	4 / C7.1
S9	ACCESSIBLE PARKING SPACE	8 / C7.0
S14	BOLLARD	9 / C7.0
S15	UTILITY PAD	10 / C7.0
S16	DUMPSTER ENCLOSURE - SEE ARCHITECTURAL PLANS	-
S18	DIRECTIONAL ARROWS	1 / C7.1
S19	PEDESTRIAN CROSSWALK	2 / C7.2
S20B	OPAQUE VINYL SCREEN FENCE (6')	-
S23	PAINTED STOP BAR (24')	9 / C7.1

SITE SIGNAGE KEYNOTES		
CODE	DESCRIPTION	DET #/SHT #
SG1A	ACCESSIBLE PARKING SIGN	10 / C7.0
SG1B	ACCESSIBLE PARKING SIGN IN BOLLARD	11 / C7.0

NOTE:

PER THE RECORDED PLAT AND ACCORDING TO AN ENVIRONMENTAL IMPACT STUDY OF ABANDONED OIL AND GAS WELLS IN LEE'S SUMMIT, MO, IN 1995 BY EDWARD ALTON MAY, JR., P.E., THERE ARE NO OIL AND GAS WELLS WITHIN THE SUBJECT PROPERTY.

LEGEND	
BUILDING	
CONCRETE PAVEMENT	
CONCRETE SIDEWALK	
HEAVY DUTY PAVEMENT	
LIGHT DUTY PAVEMENT	
PAINTED STRIPE	
CONCRETE CURB	
CENTERLINE	



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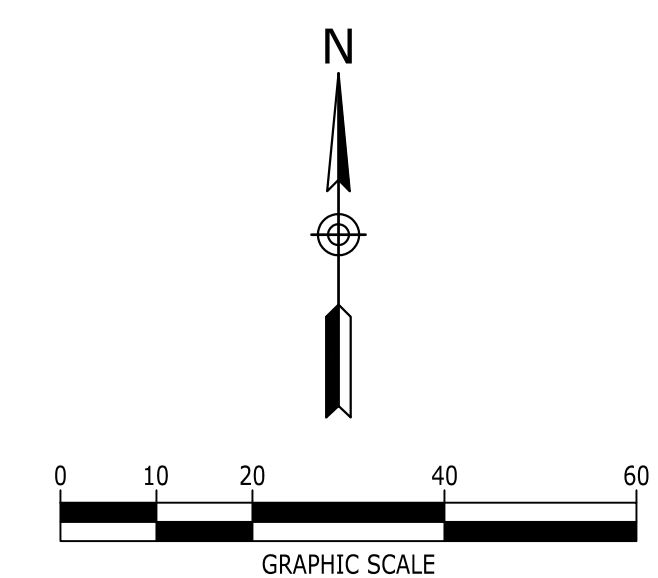
DIALYSIS CLINIC, INC.
1633 CHURCH STREET, STE 500
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615.327.3061

CONSTRUCTION DRAWINGS

DCI - LEE'S SUMMIT

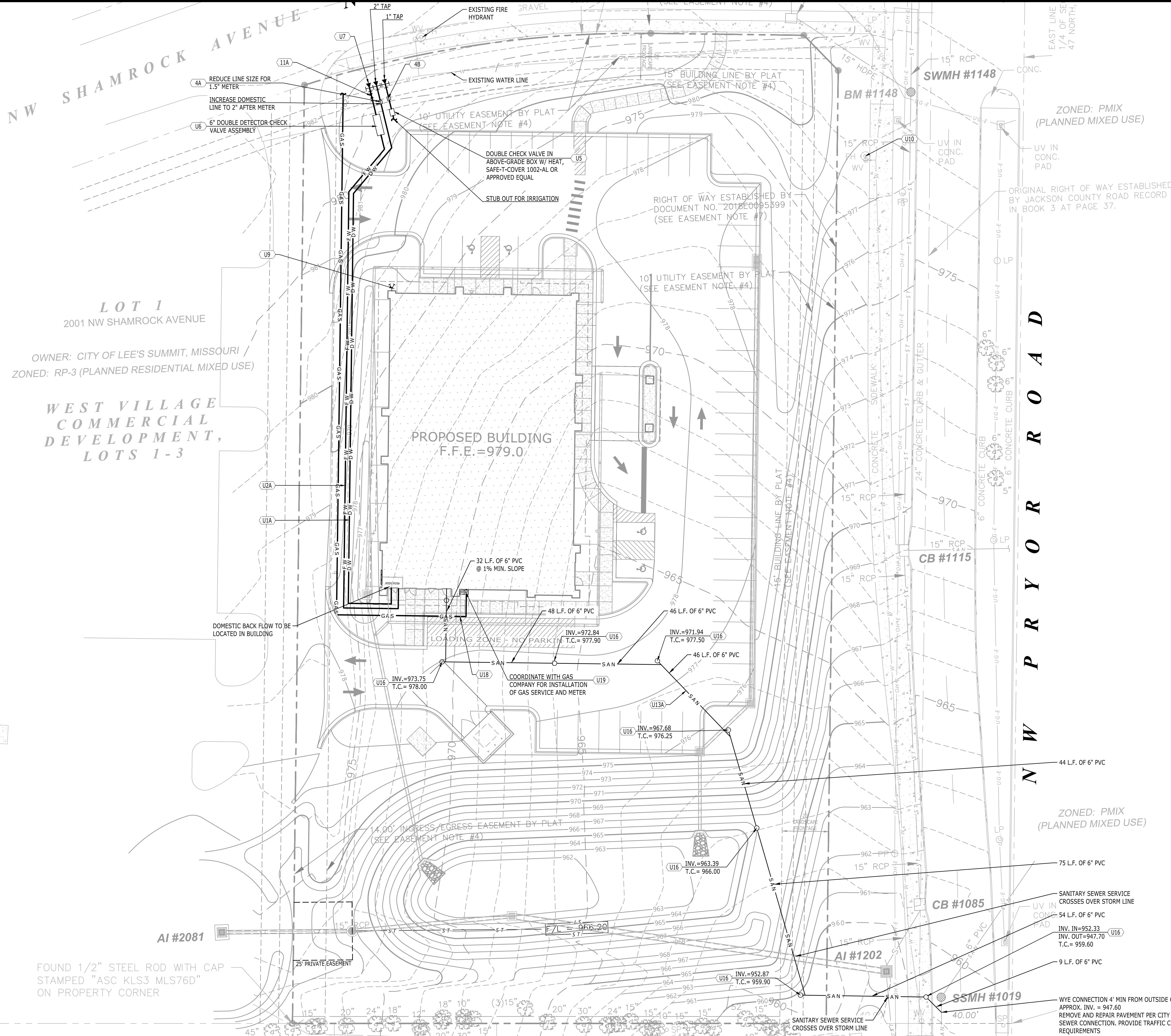
2001 NW SHAMROCK AVENUE
LEE'S SUMMIT, MISSOURI, 64081
JACKSON COUNTY

DRAWING TITLE	LAYOUT PLAN
PROJECT NUMBER	20180111
DRAWING NUMBER	C4.0



DRAWING TITLE	
GRADING & DRAINAGE PLAN	
PROJECT NUMBER 20180111	
DRAWING NUMBER C5.0	

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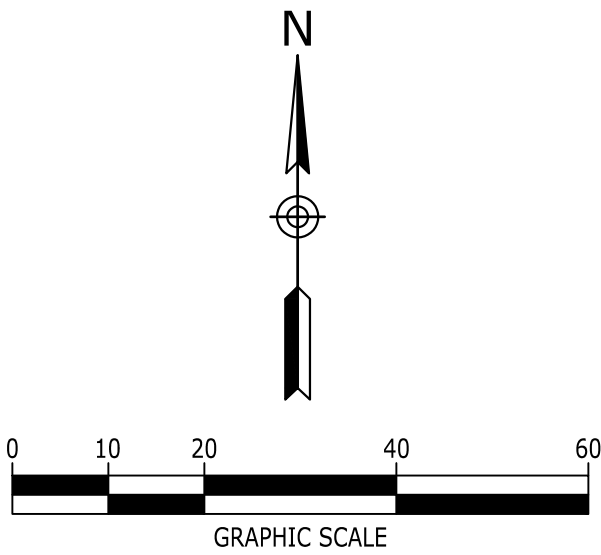


UTILITY KEYNOTES		
CODE	DESCRIPTION	DET #/SHT #
U1A	WATER LINE (1.5")	.
U2A	FIRE LINE (6")	.
U3A	IRRIGATION LINE (1")	.
U4A	WATER METER (1.5")	.
U4B	WATER METER (1")	.
U5	DOUBLE CHECK VALVE	4 / C7.1
U6	DOUBLE DETECTOR CHECK VALVE ASSEMBLY (6")	5 / C7.2
U7	WATER BLOCKING/KICKERS	5 / C7.1
U9	FIRE DEPARTMENT CONNECTION	.
U11A	WATER VALVE (6")	.
U13A	SANITARY SEWER LINE (6")	.
U16	SANITARY SEWER CLEANOUT	8 / C7.1
U18	NATURAL GAS LINE	.
U19	NATURAL GAS METER	.

LEGEND	
DOMESTIC WATER SERVICE	W
FIRE SERVICE	F
GAS LINE	GAS
THRUST BLOCK	
CLEANOUT ON SANITARY SEWER LINE	
PROPOSED FIRE HYDRANT	
UNDERGROUND ELECTRIC	UGE

NOTE:
REDUCED PRESSURE BACKFLOW PREVENTORS FOR THE DOMESTIC SERVICE SHALL BE LOCATED INSIDE THE BUILDINGS SEE PLUMBING PLANS.

NOTE:
CONTRACTOR SHALL PROVIDE AN AS-BUILT SURVEY OF THE DUCT SYSTEM AND PAD MOUNTED EQUIPMENT LOCATIONS PER NES REQUIREMENTS PRIOR TO ENERGIZING THE SITE.



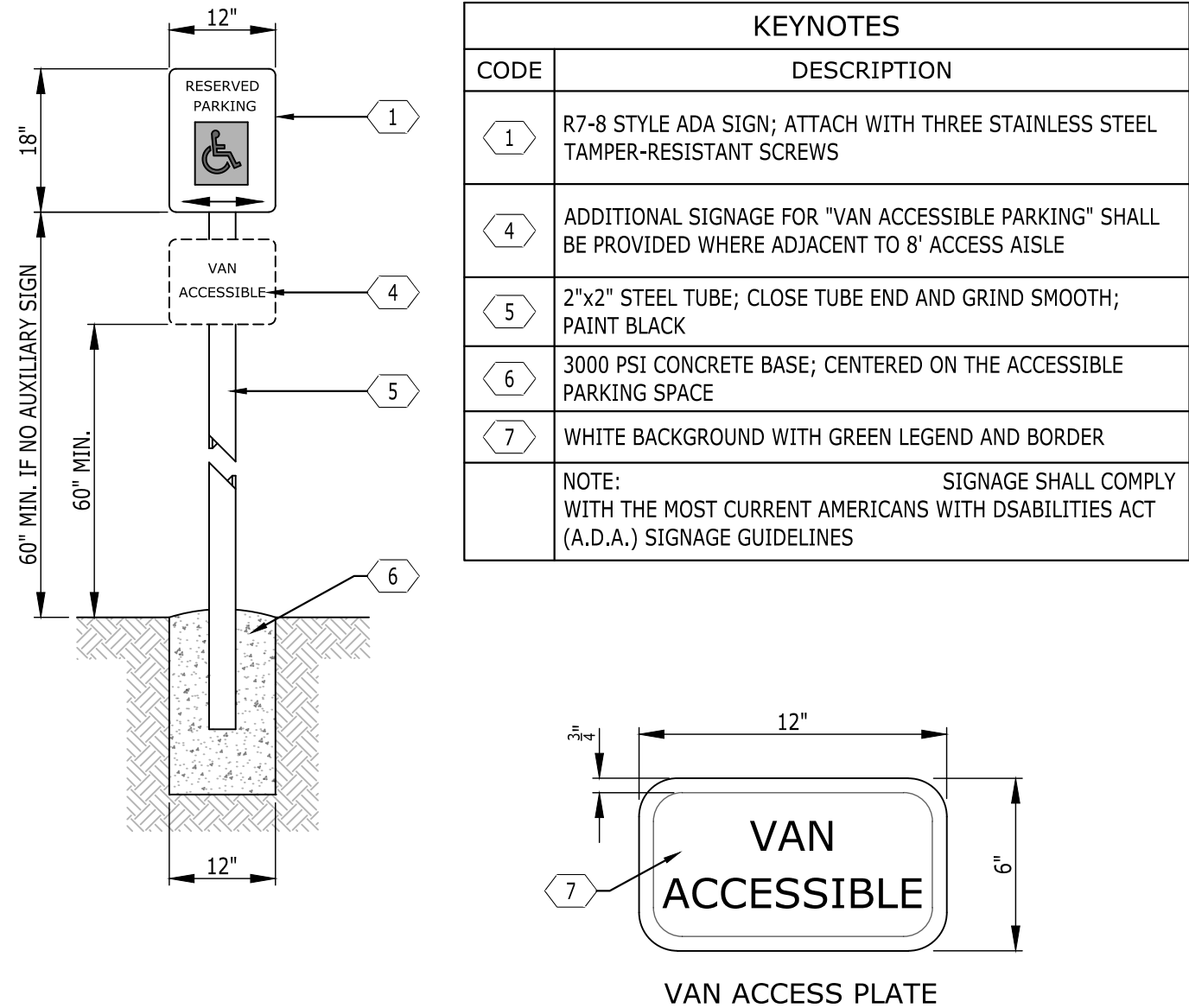
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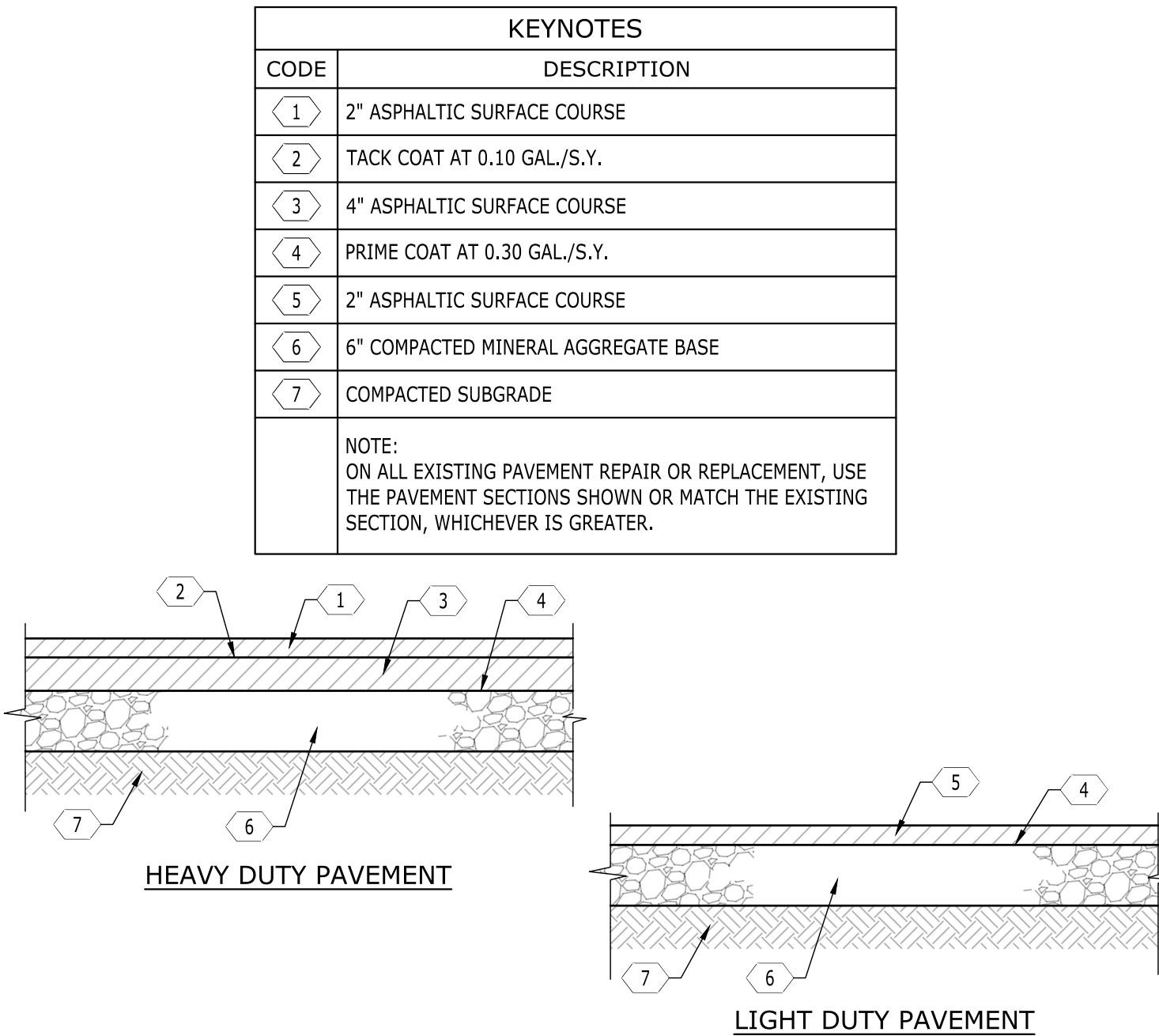
CONSTRUCTION DRAWINGS

DCI - LEE'S SUMMIT
2001 NW SHAMROCK AVENUE
LEE'S SUMMIT, MISSOURI, 64081
JACKSON COUNTY

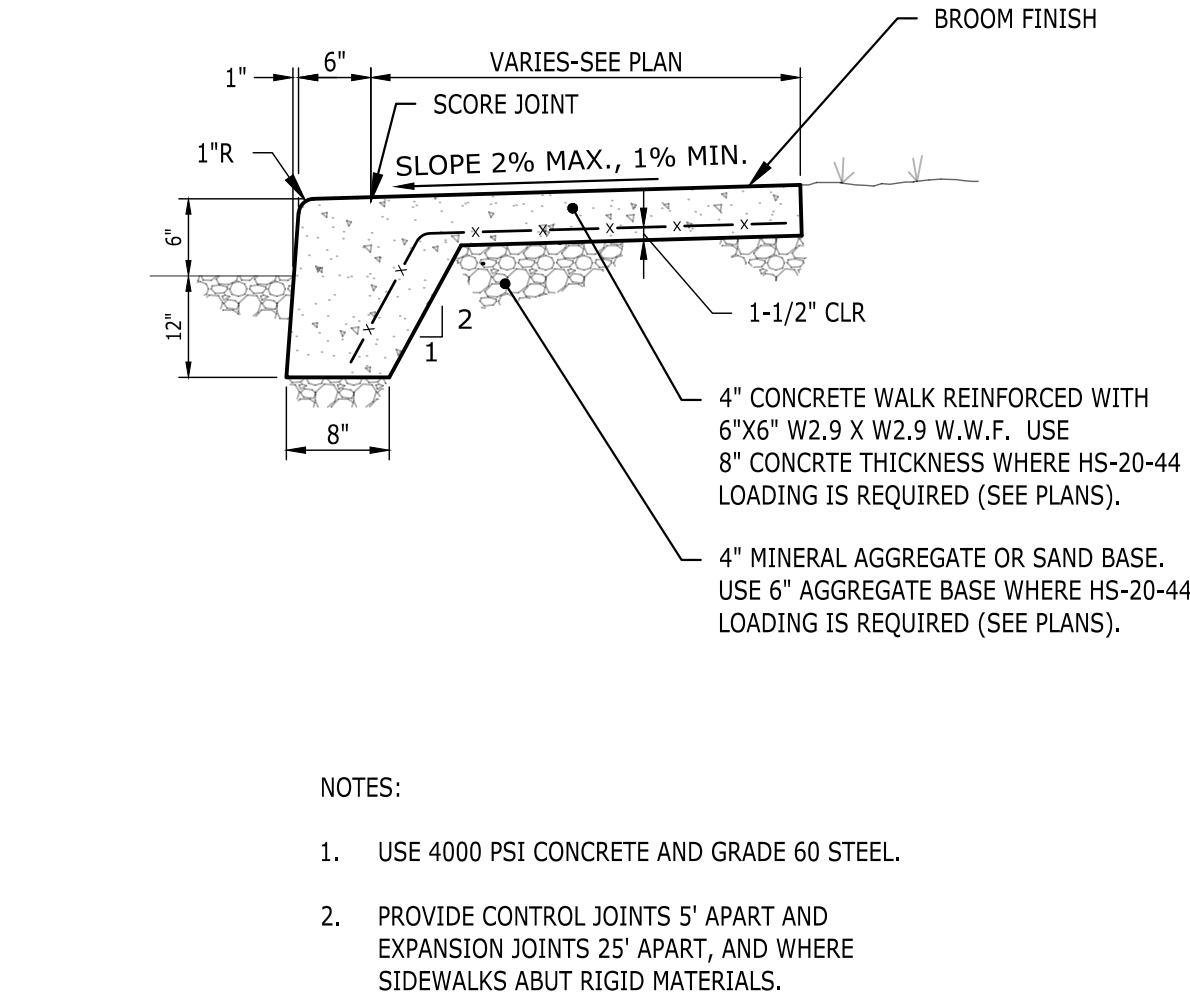
DRAWING TITLE	UTILITY PLAN
PROJECT NUMBER	20180111
DRAWING NUMBER	C6.0



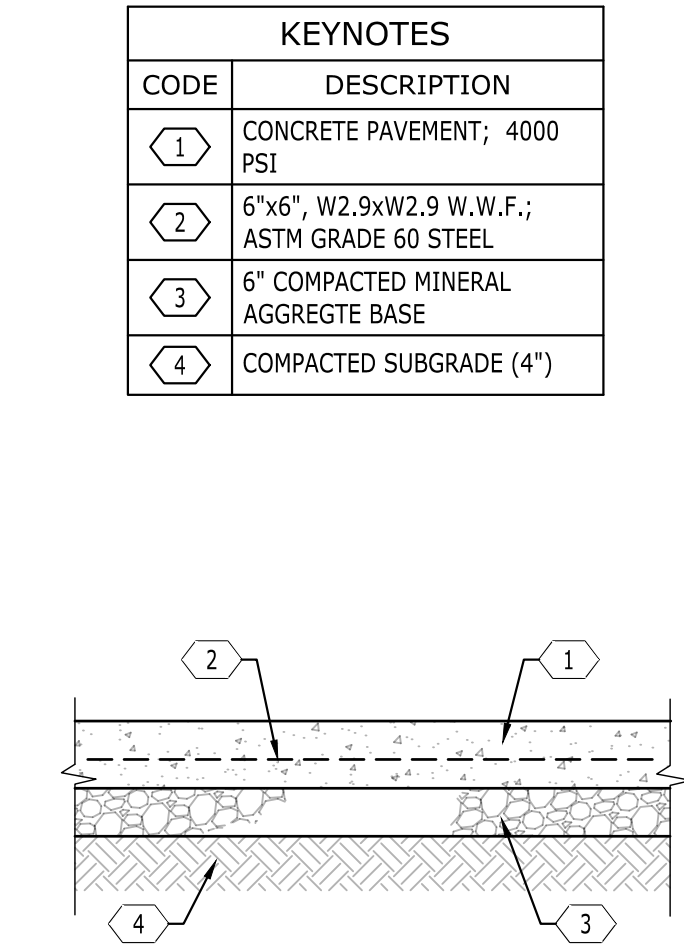
10 ACCESSIBLE PARKING SIGN
NOT TO SCALE



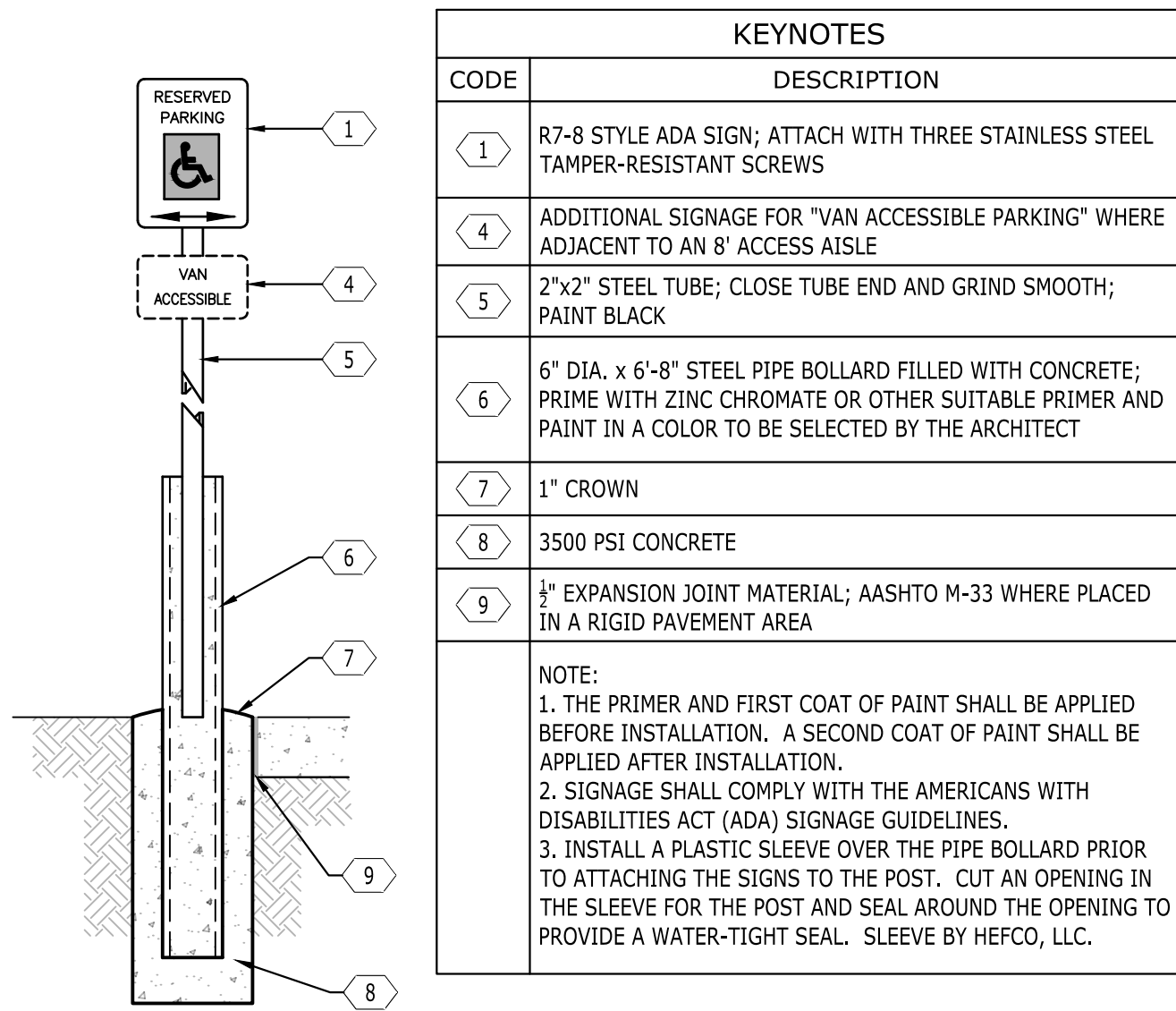
7 ASPHALT PAVEMENT
NOT TO SCALE



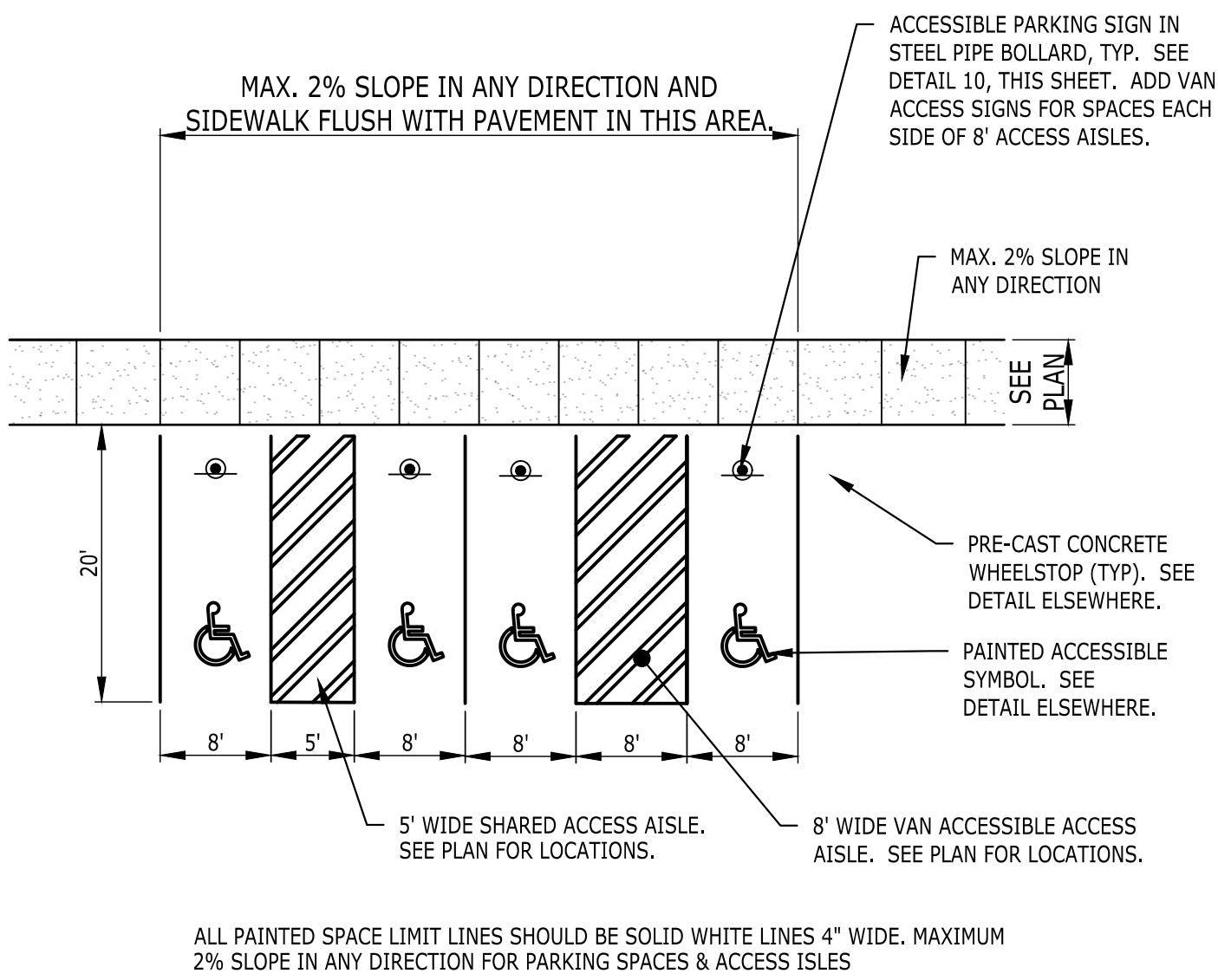
4 SIDEWALK WITH TURN-DOWN CURB
NO SCALE



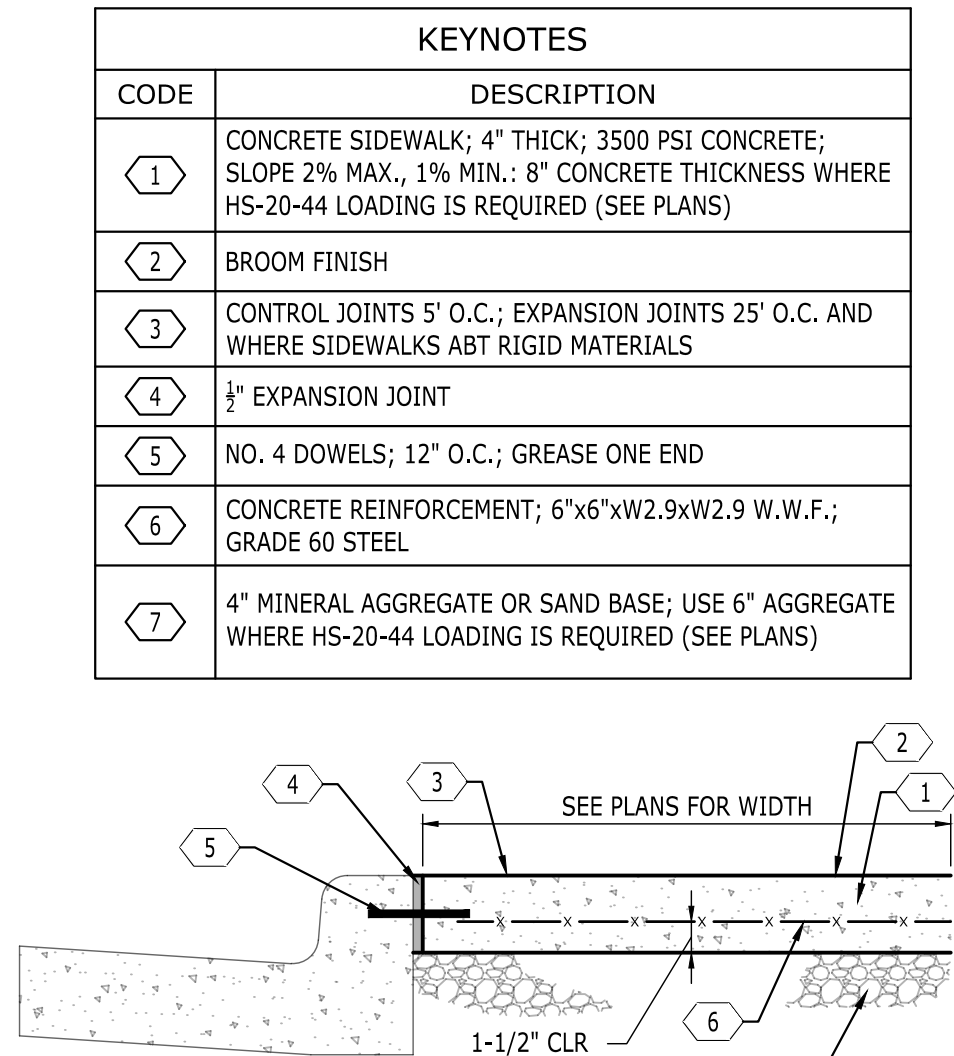
1 CONCRETE PAVEMENT
NOT TO SCALE



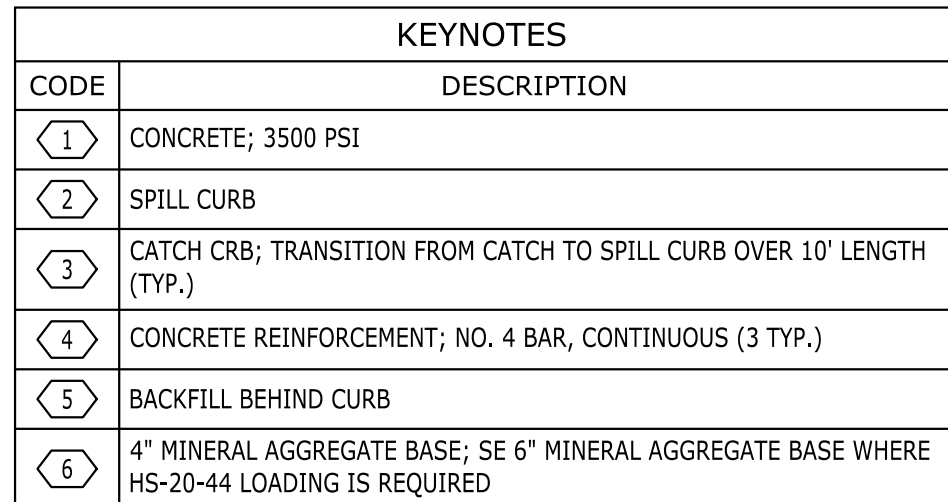
11 ACCESSIBLE PARKING SIGN
IN BOLLARD
NOT TO SCALE



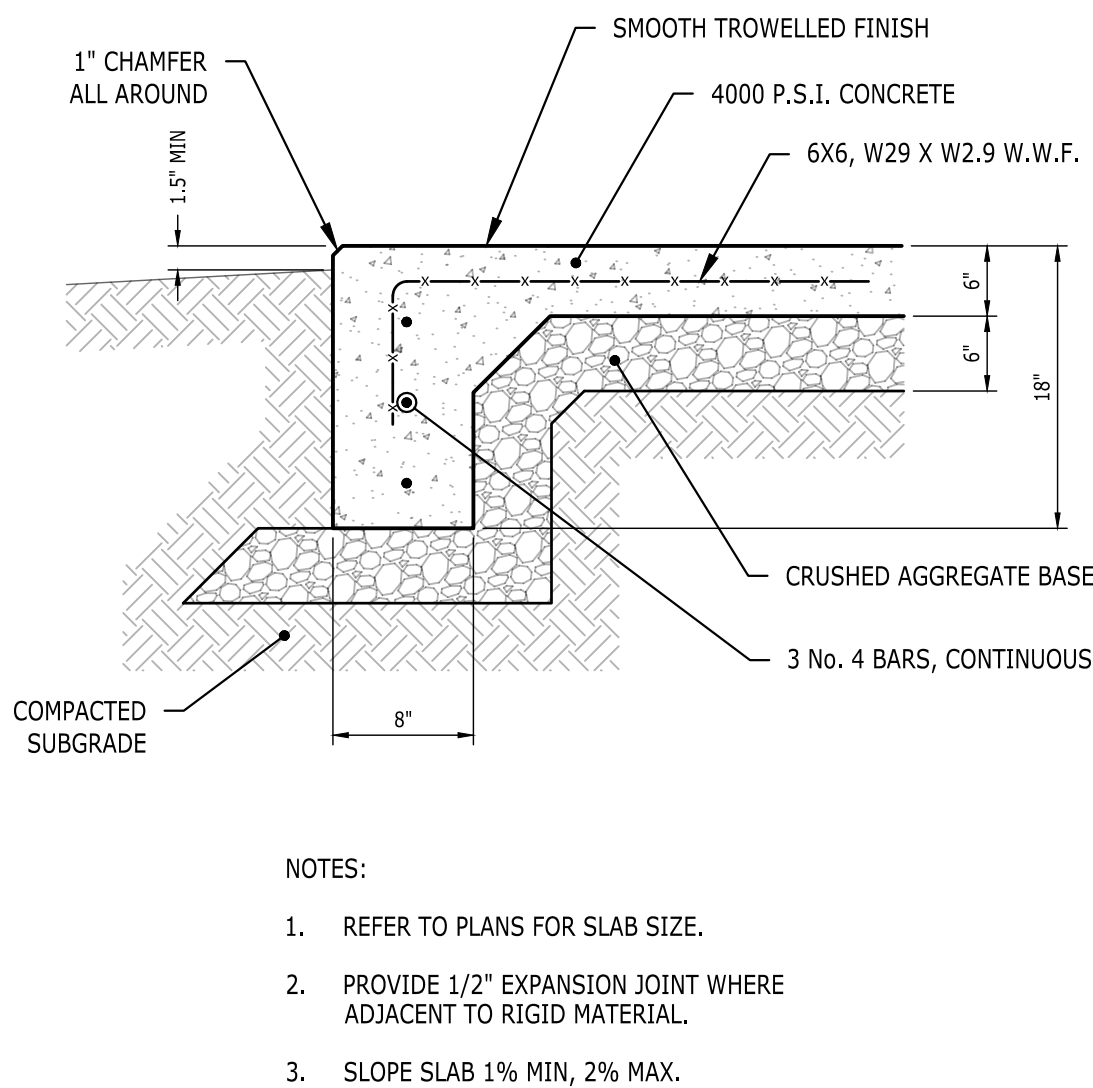
8 ACCESSIBLE PARKING LAYOUT
NO SCALE



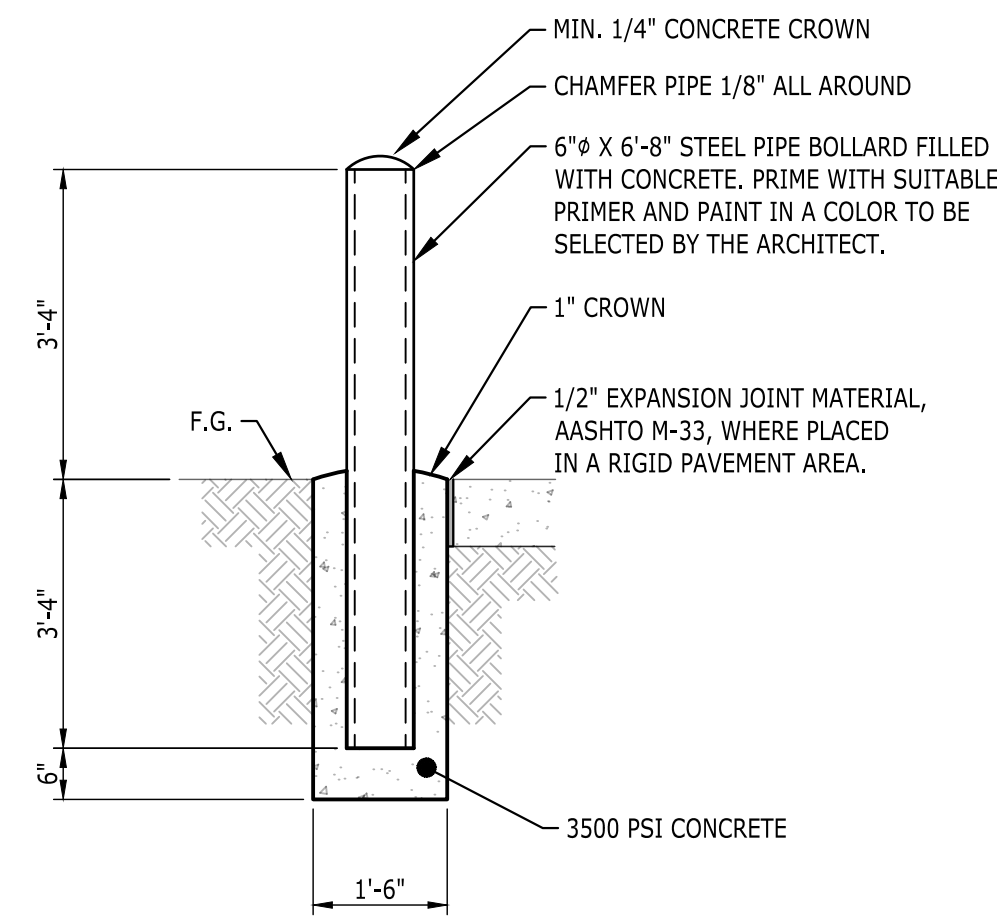
5 CONCRETE SIDEWALK
AT CURB AND GUTTER
NOT TO SCALE



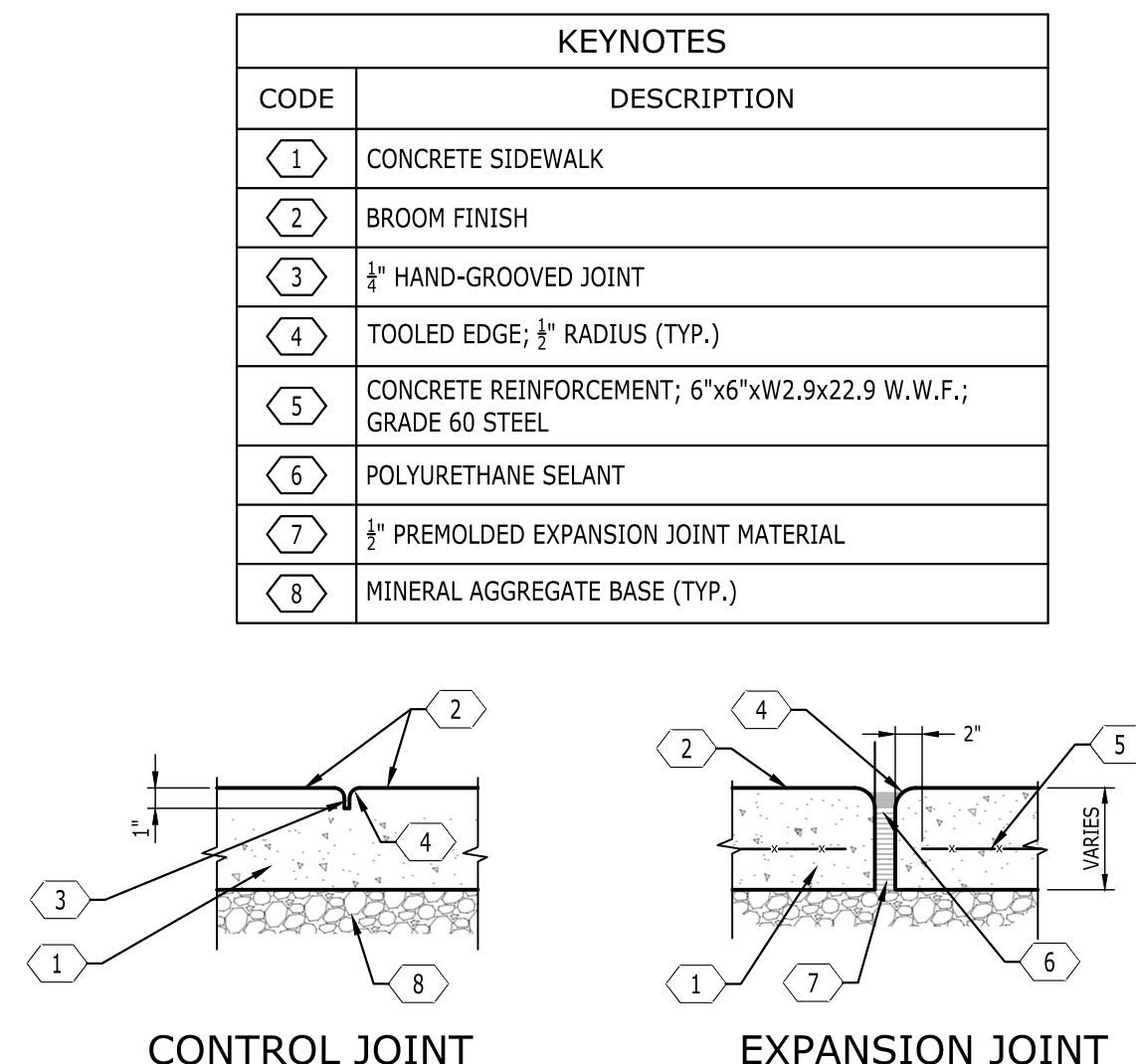
2 CONCRETE CURB AND GUTTER
NOT TO SCALE



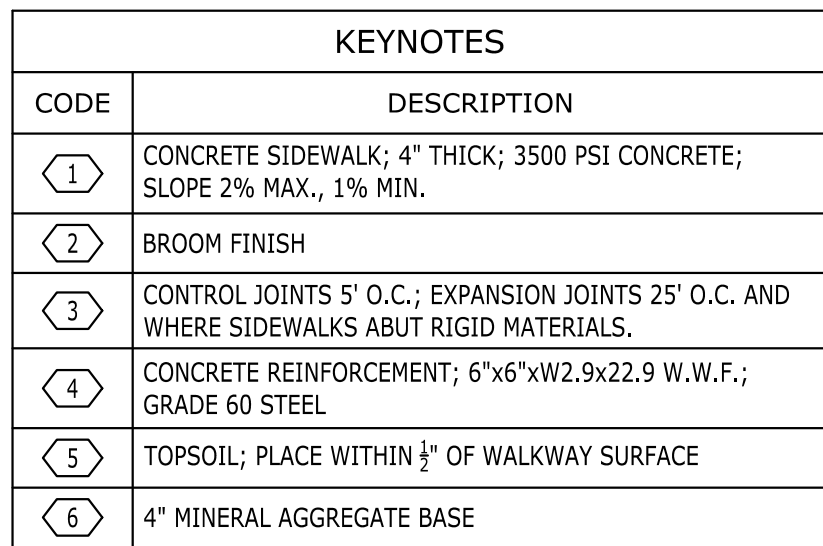
12 HEAVY DUTY UTILITY PAD
NO SCALE



9 STEEL BOLLARD
NO SCALE



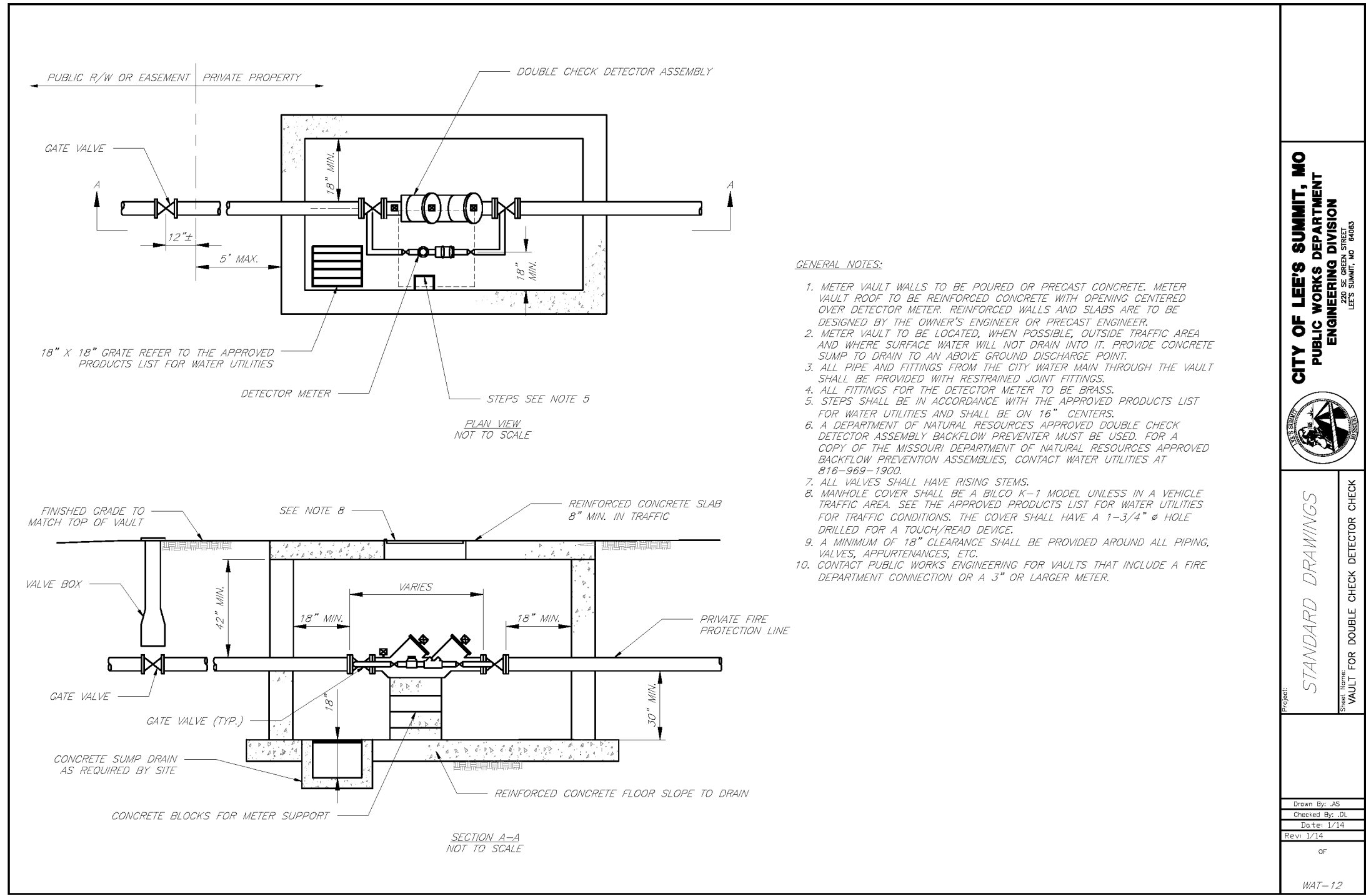
6 SIDEWALK JOINTS
NOT TO SCALE



3 CONCRETE SIDEWALK
NOT TO SCALE

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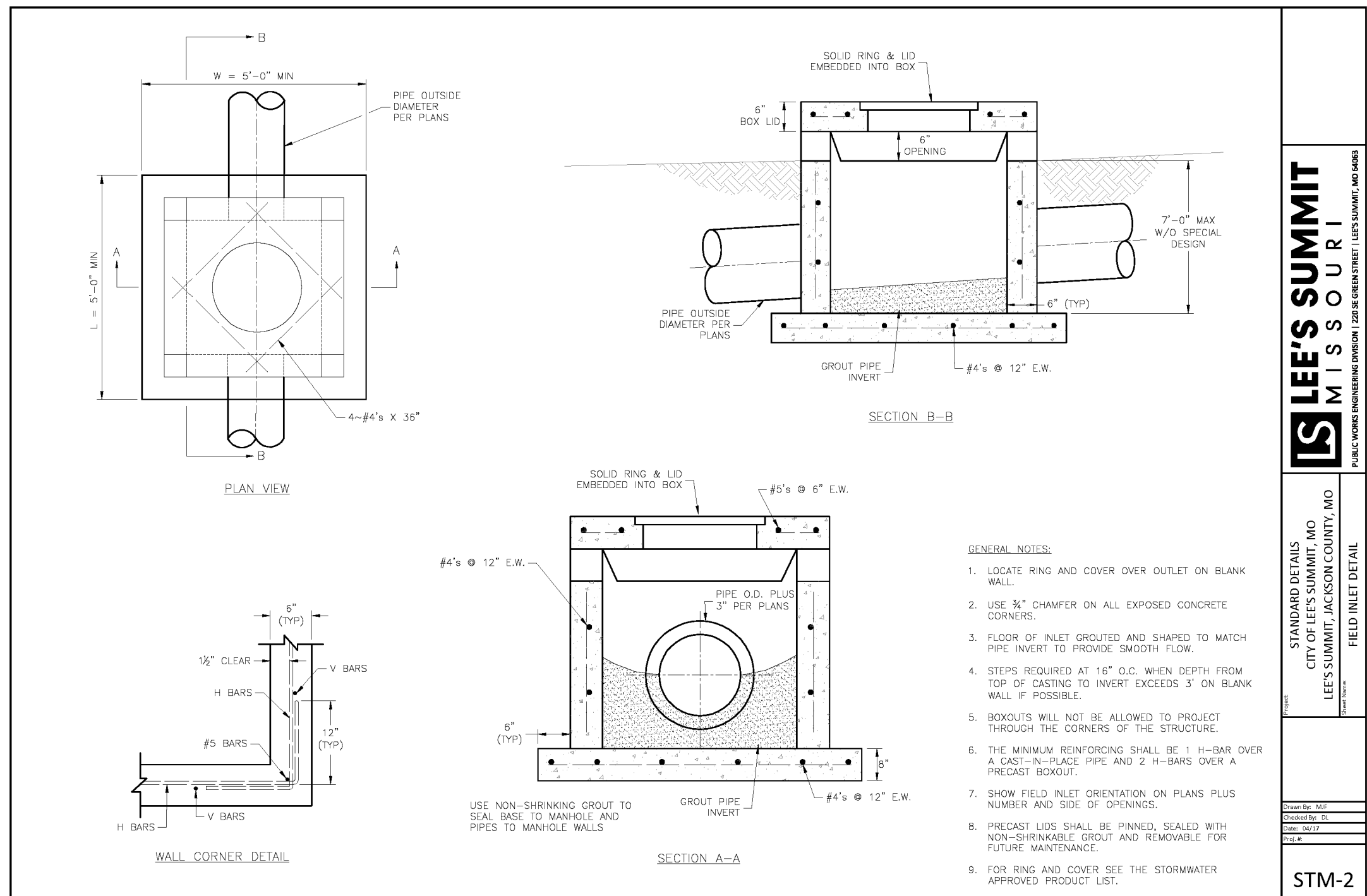
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Vault for Double Detector Check

NOT TO SCALE

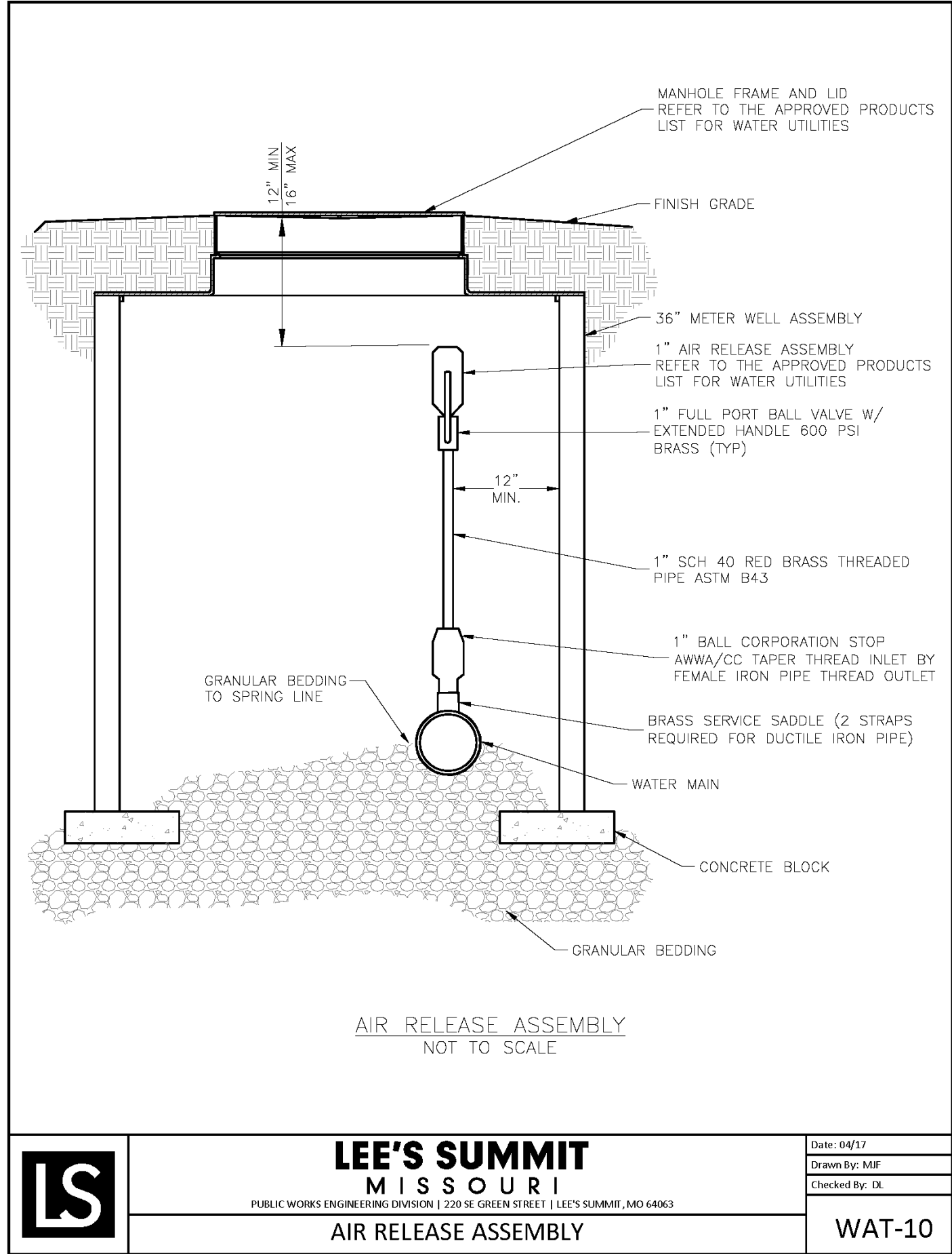
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Catch Basin

NOT TO SCALE

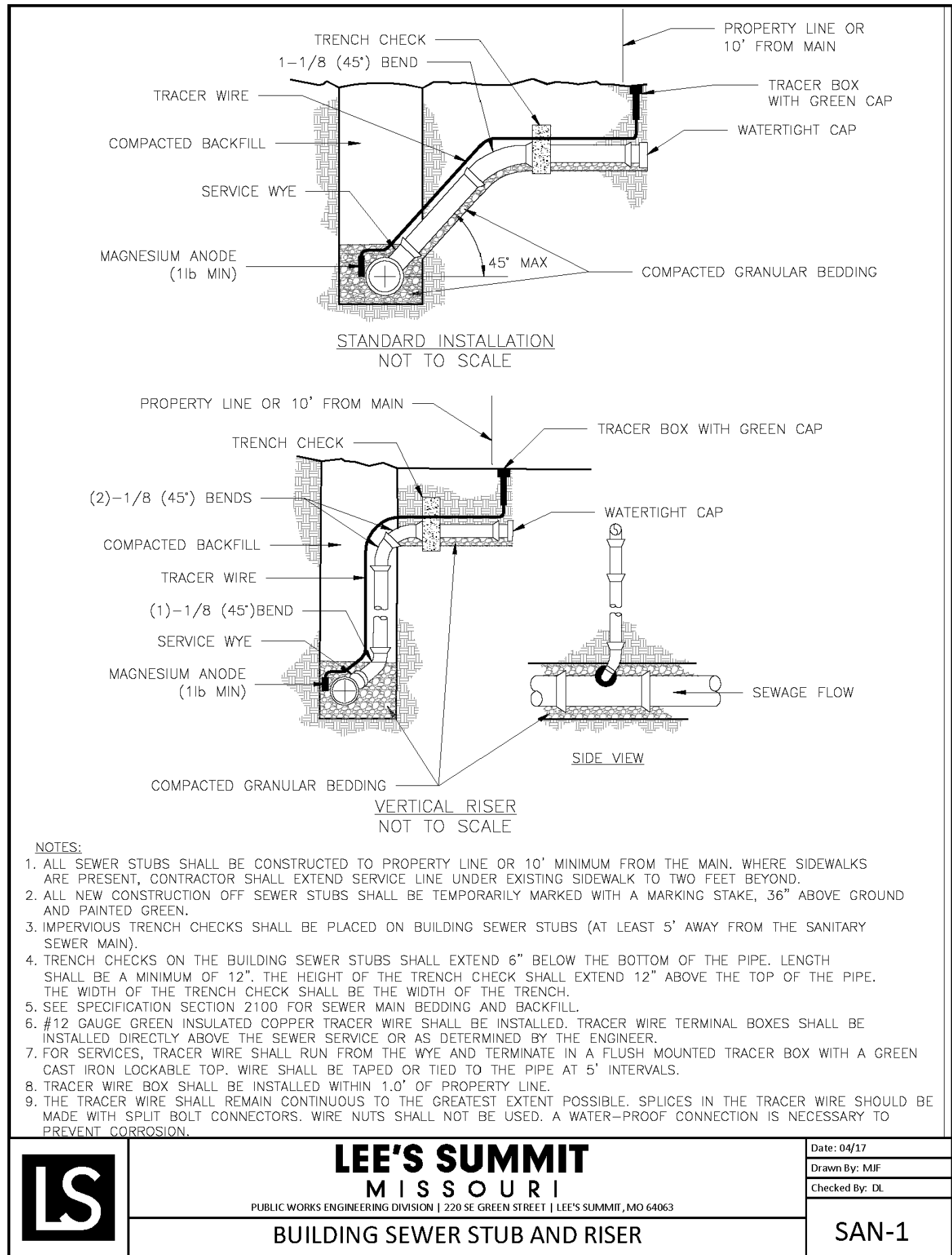
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AIR RELEASE ASSEMBLY

NOT TO SCALE

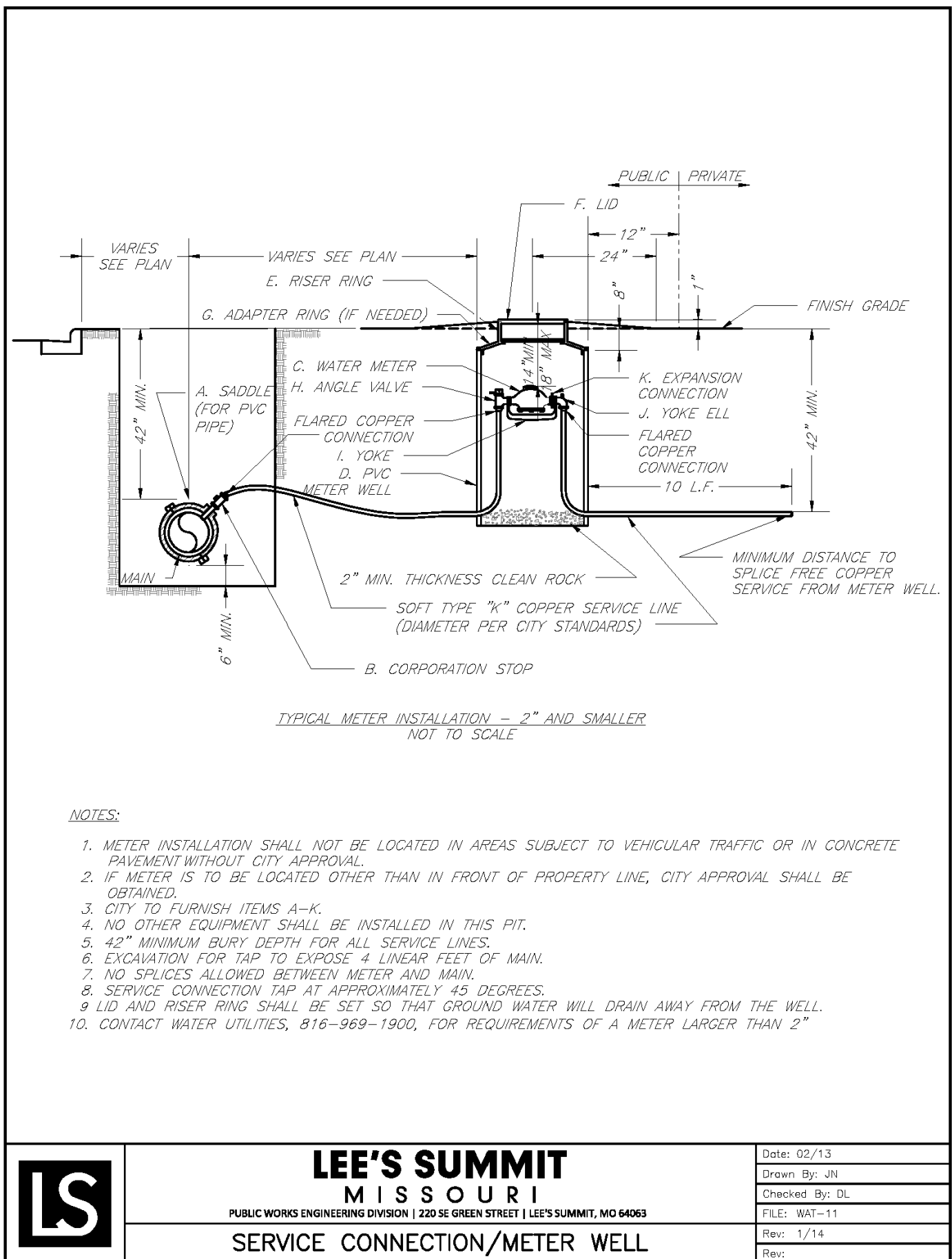
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BUILDING SEWER STUB AND RISER

NOT TO SCALE

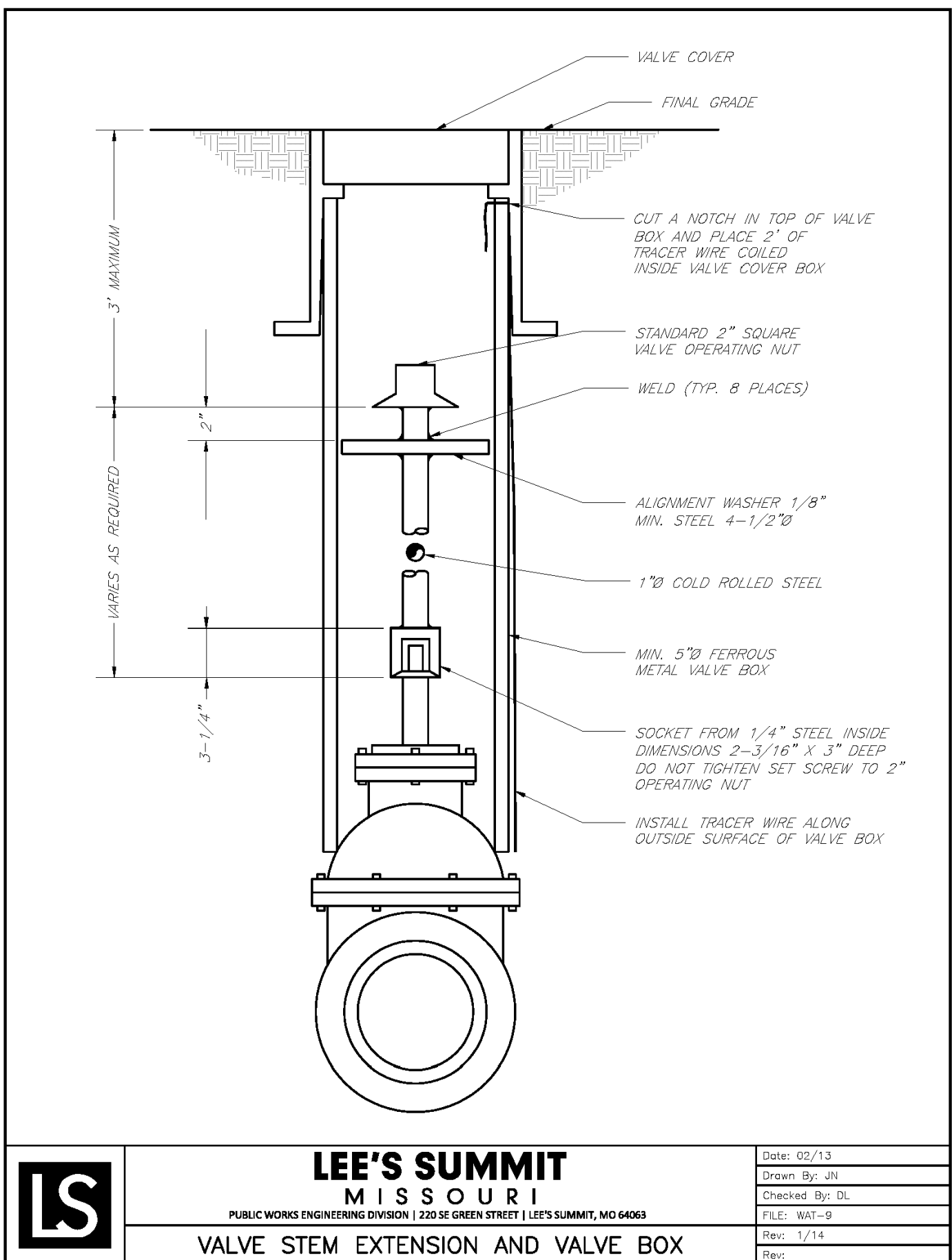
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SERVICE CONNECTION / METER WELL

NOT TO SCALE

2



VALVE STEM EXTENSION AND VALVE BOX

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DESIGN GROUP

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1633 CHURCH STREET, STE 500
NASHVILLE, TN 37203
615.327.8061

STATE OF MISSOURI
JACK J. PARKER
NUMBER
PE-2017040852
11/6/19
PROFESSIONAL ENGINEER

CONSTRUCTION DRAWINGS

DCI - LEE'S SUMMIT

2001 NW SHAMROCK AVENUE
LEE'S SUMMIT, MISSOURI, 64081
JACKSON COUNTY

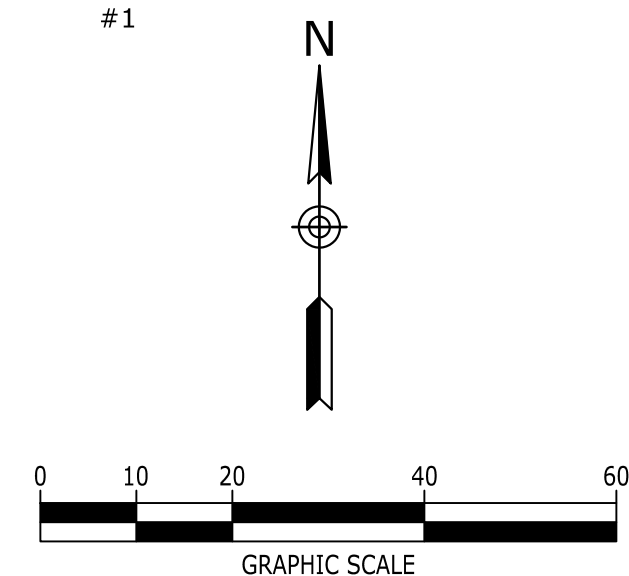
PROJECT NUMBER
20180111

DRAWING NUMBER
C7.2

DRAWING TITLE
SITE DETAILS

DESCRIPTION
DATE
NO.



SEED / SOD SCHEDULE

LANDSCAPE DATA

OVERALL SITE ACERAGE: 2.225
PARCEL ID: 62-240-99-04-00-0-00-000
ZONING.: PMIX - PLANNED MIXED USE DISTRICT

SITE LANDSCAPE CALCULATIONS

OVERALL SITE REQUIREMENTS:	
REQUIRED LANDSCAPE COVERAGE (15%):	.334 AC
PROVIDED LANDSCAPE COVERAGE:	.97 AC
REQUIRED TREES (1 PER 5,000 SF OF LOT AREA):	20
PROVIDED TREES:	64
REQUIRED SHRUBS (1 PER 2,500 SF OF LOT AREA):	39
PROVIDED SHRUBS:	340

<u>FRONTAGE REQUIREMENTS:</u>	
LENGTH:	616 LF
REQUIRED FRONTAGE (STREET) TREES (1 PER 30 LF):	21
PROVIDED FRONTAGE (STREET) TREES:	22
REQUIRED FRONTAGE SHRUBS (1 PER 20 LF):	31
PROVIDED FRONTAGE SHRUBS:	93
<u>PARKING SCREEN REQUIREMENTS:</u>	
LENGTH:	504 LF
REQUIRED SHRUBS (12 SHRUBS / 40 LF):	152
PROVIDED SHRUBS:	177

BUFFER CALCULATIONS

BUFFER 1 - "A" BUFFER - HIGH IMPACT:
AREA: 8,080 SF

REQUIRED SHADE TREES (1 / 500 SF):
REQUIRED ORNAMENTAL TREES (1 / 750 SF):
REQUIRED EVERGREEN TREES (1 / 300 SF):
REQUIRED SHRUBS (1 / 200 SF):
REQUIRED FENCE

PROVIDED SHADE TREES:	23 (EXISTING)
PROVIDED ORNAMENTAL TREES:	11
PROVIDED EVERGREEN TREES:	27
PROVIDED SHRUBS:	41
PROVIDED 6' HIGH PRIVACY FENCE	

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CONSTRUCTION DRAWINGS

DCI - LEE'S SUMMIT

NW SHAMROCK AVENUE
JUMMIT, MISSOURI, 64081
JACKSON COUNTY

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DRAWING TITLE

LANDSCAPE PLAN

PROJECT NUMBER
20180111

DRAWING NUMBER

L1.0

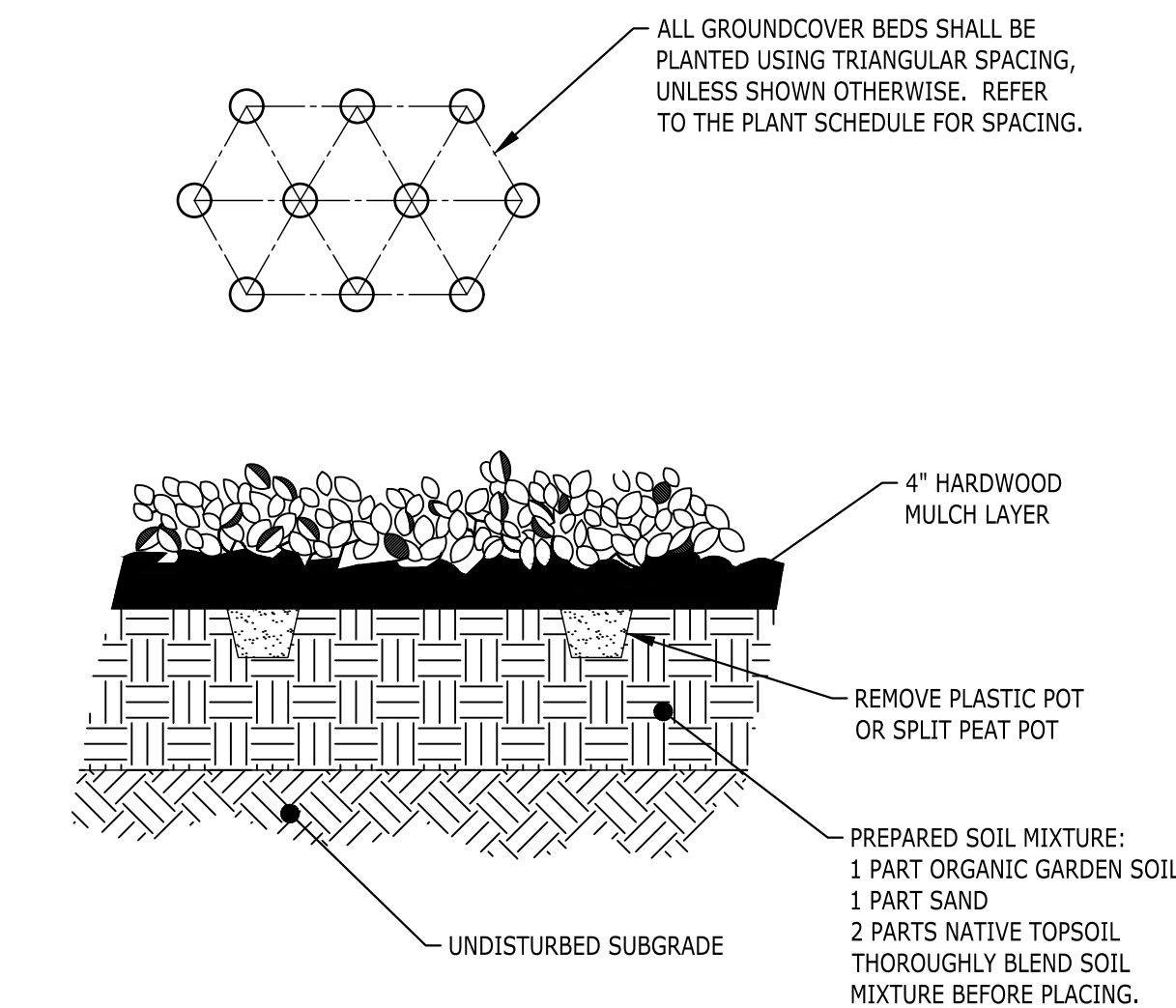
1. BASE INFORMATION WAS TAKEN FROM A SURVEY PREPARED BY ANDERSON SURVEY COMPANY DATED 06/03/2019. CATALYST DESIGN GROUP AND ANY OF THEIR CONSULTANTS SHALL NOT BE HELD RESPONSIBLE FOR THE ACCURACY AND/OR COMPLETENESS OF THAT INFORMATION SHOWN HEREON OR ANY ERRORS OR OMISSIONS RESULTING FROM SUCH.
2. IT IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO CONFIRM ALL MATERIAL QUANTITIES. IN THE EVENT OF A DISCREPANCY, THE QUANTITIES SHOWN ON THE PLAN SHALL TAKE PRECEDENCE OVER THE MATERIAL SCHEDULE.
3. NO SUBSTITUTIONS AS TO TYPE, SIZE, OR SPACING OF PLANT MATERIALS SPECIFIED ON THIS PLAN MAY BE MADE WITHOUT THE APPROVAL OF THE OWNER'S REPRESENTATIVE.
4. THE CONTRACTOR IS TO VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES. TAKE CARE TO PROTECT UTILITIES THAT ARE TO REMAIN, REPAIR ANY DAMAGE ACCORDING TO LOCAL STANDARDS AND AT CONTRACTOR'S EXPENSE. COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY.
5. ALL PLANTING BEDS TO RECEIVE "CHANCELLOR" HARDWOOD MULCH. MULCH TO BE INSTALLED TO 4" DEPTH UNLESS OTHERWISE INDICATED ON THE PLANTING DETAILS.
6. NEW TREE PLANTINGS TO BE STAKED PER PLANTING DETAILS
7. DIMENSIONS LISTED FOR HEIGHTS, SPREAD AND TRUNK SPECIFICATIONS ON THE PLANT MATERIAL SCHEDULE ARE GENERAL GUIDE FOR THE MINIMUM REQUIRED SIZE OF EACH PLANT.
8. PRE-EMERGENT HERBICIDE SHALL BE APPLIED TO ALL PLANTING BEDS IMMEDIATELY PRIOR TO PLACEMENT OF MULCH FOR WEED CONTROL.
9. ALL DISTURBED AREAS OF THE SITE ARE TO BE SEEDED AND/OR SODDED IN ACCORDANCE WITH THE SPECIFICATIONS.
10. NO EXCAVATION OR PLANTING PIT SHALL BE LEFT OPEN OVERNIGHT.
11. THE LANDSCAPE CONTRACTOR SHALL OBTAIN ANY NECESSARY PERMITS, LICENSES, ETC. AND SHALL GIVE ALL NOTICES AND COMPLY WITH ALL APPLICABLE LAWS, ORDINANCES, CODES, RULES AND REGULATIONS DURING THE COURSE OF THE INSTALLATION OF THIS PROJECT.
12. ALL PLANT MATERIALS TO BE NURSERY GROWN AND TO COMPLY WITH THE AMERICAN STANDARD FOR NURSEY STOCK FOR SIZE AND QUALITY.
13. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REFUSE ANY PLANT MATERIAL OR ANY DEFECTIVE WORKMANSHIP.
14. ALL PLANTS SHALL HAVE A WELL-FORMED HEAD WITH MINIMUM CALIPER, HEIGHT AND SPREAD OF THE SIDE BRANCHES AS SHOWN ON THE PLANT LIST. TRUNKS SHALL BE UNDAMAGED AND SHAPE SHALL BE TYPICAL OF THE SPECIES.
15. MEASUREMENT OF CONIFER HEIGHT SHALL INCLUDE NOT MORE THAN FIFTY PERCENT (50%) OF THIS YEARS VERTICAL GROWTH (TOP CANDLE).
16. THE LANDSCAPE CONTRACTOR WILL BE RESPONSIBLE FOR STAKING AND LAYOUT OF PLANTINGS ON THIS PROJECT. THE LANDSCAPE ARCHITECT OR OWNER SHALL BE ADVISED WHEN STAKES ARE READY FOR INSPECTION ON VARIOUS PLANTING AREAS. ALL LAYOUT WORK SHALL BE INSPECTED AND APPROVED BY THE LANDSCAPE ARCHITECT OR OWNER PRIOR TO OPENING ANY PLANT PITS.
17. IT IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO VERIFY THAT EACH EXCAVATED TREE OR SHRUB PIT WILL PERCOLATE (DRAIN) PRIOR TO ADDING TOPSOIL AND INSTALLING TREES OR SHRUBS. THE CONTRACTOR SHALL FILL THE BOTTOM OF SELECTED HOLES WITH SIX INCHES OF WATER. THIS WATER SHOULD PERCOLATE OUT WITHIN A 24-HOUR PERIOD. THE OWNER OR LANDSCAPE ARCHITECT SHALL VERIFY ACCURACY AND EFFECT OF PERCOLATION TESTING. IF THE SOIL AT A GIVEN AREA DOES NOT DRAIN PROPERLY, A P V C DRAIN OR GRAVEL SLUMP SHALL BE INSTALLED OR THE PLANTING RELOADED.
18. SHOULD THE LANDSCAPE CONTRACTOR ENCOUNTER UNSATISFACTORY SURFACE OR OTHER SUBSURFACE DRAINAGE CONDITIONS, SOIL DEPTH, LATENT SOILS, HARD PAN, STEAM OF OTHER UTILITY LINES OR OTHER CONDITIONS THAT WILL JEOPARDIZE THE HEALTH AND VIGOR OF THE PLANTS, HE MUST ADVISE THE LANDSCAPE ARCHITECT IN WRITING OF THE CONDITIONS PRIOR TO INSTALLING THE PLANTS, OTHERWISE THE LANDSCAPE CONTRACTOR WARRANTS THAT THE PLANTING AREAS ARE SUITABLE PROPER GROWTH AND DEVELOPMENT OF THE PLANTS TO BE INSTALLED.
19. NO MATERIAL SHALL BE PLANTED BEFORE FINISH GRADING HAS BEEN COMPLETED.
20. EXISTING TREES TO BE PRESERVED ARE TO BE BARRICADED BEFORE BEGINNING CONSTRUCTION. IN ACCORDANCE WITH THE TREE PRESERVATION NOTES AND DETAILS ON THE LANDSCAPE PLAN.
21. SELECTIVE CLEARING CONSISTING OF REMOVAL OF VINES, SAPLINGS UNDER 1" DIAMETER AND UNDERBRUSH SHALL BE PERFORMED IN TREE PRESERVATION AREAS INTERNAL TO THE PROJECT AND NOTED ON PLANS.
22. PLANTS IDENTIFIED IN ALTERNATE AREAS ARE TO BE BID SEPARATELY.
23. ALL BEDS ARE TO BE TILLED TO A DEPTH OF 8" WITH THE ADDITION OF: (1) 6 CU. FT. BALE OR SPHAGNUM PEAT MOSS PER 40 SQ. FT. OF BED AREA; (2) 5# 10-10-10 FERTILIZER PER 1000 SQ. FT. If azaleas, rhododendrons or PERIS are USED, ADD 1 3 CU. FT. FINELY GROUND "PINE" BARK MULCH PER 25 SQ. FT. OF BED AREA. ALL ADDITIONS ARE TO BE SPREAD AND TILLED INTO THE SOIL UNIFORMLY.
24. CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT WHEN THE PLANT MATERIALS ARE AVAILABLE AT THE JOB SITE FOR REVIEW BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

NOT TO SCALE

NOT TO SCALE

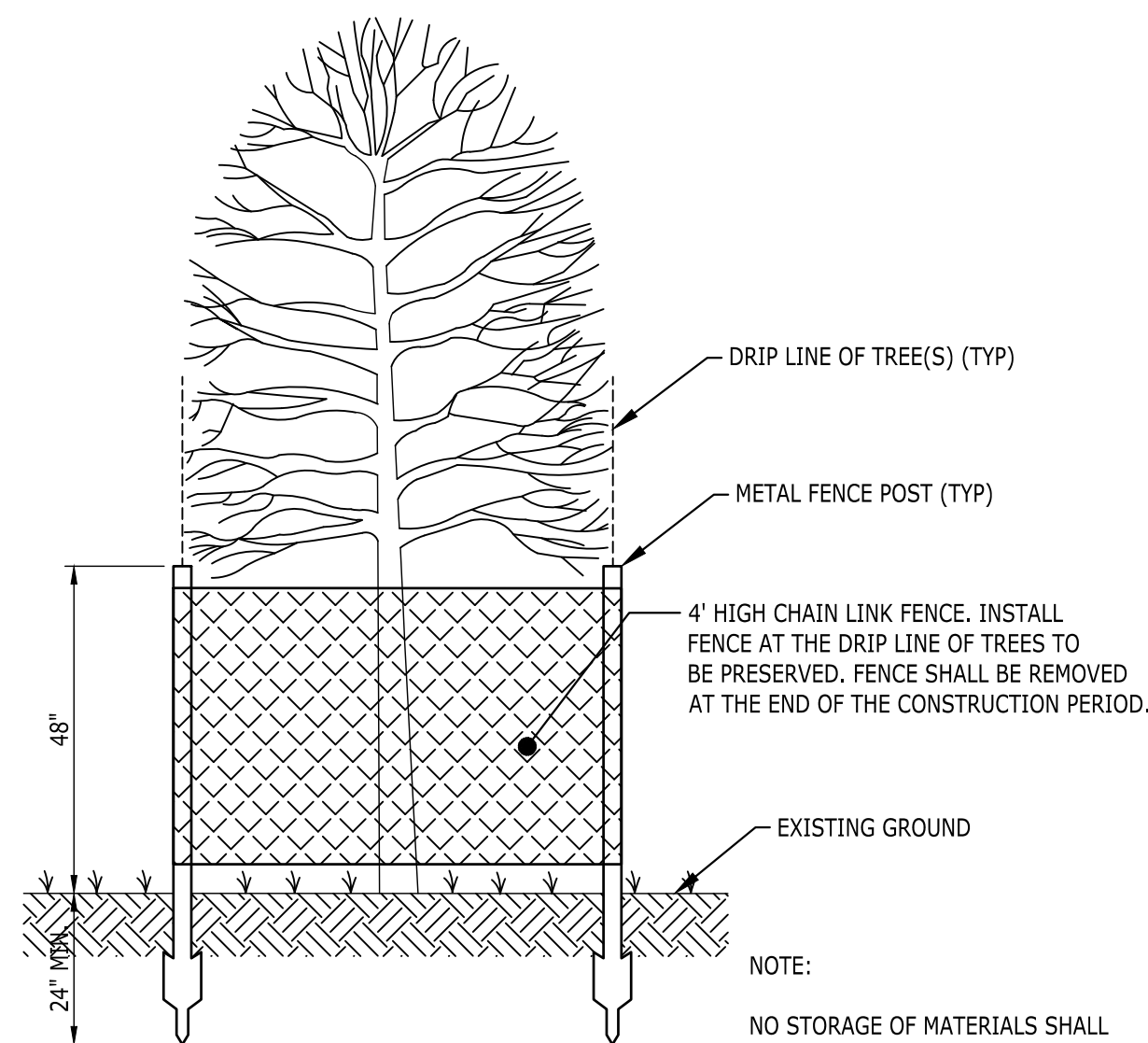
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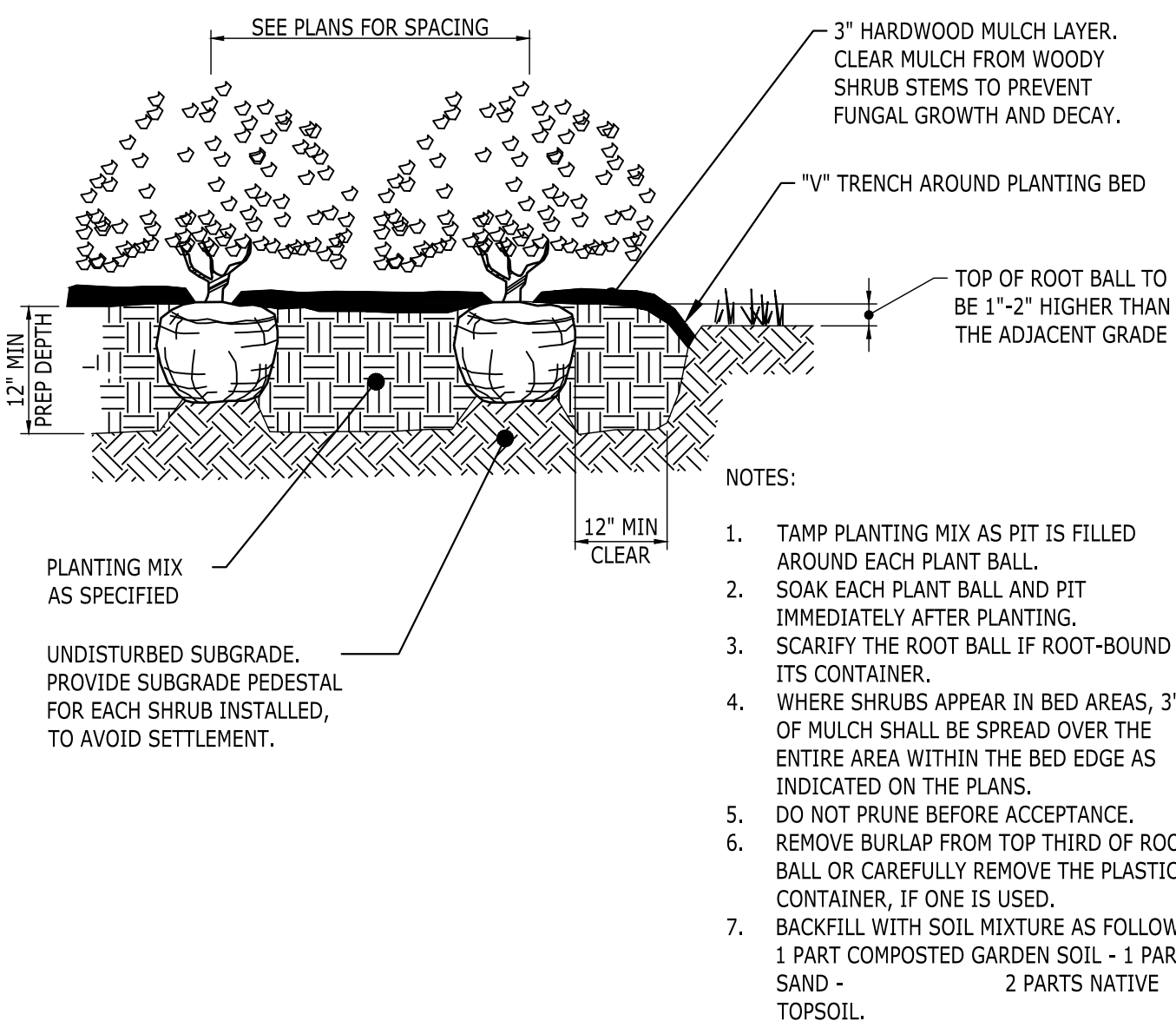


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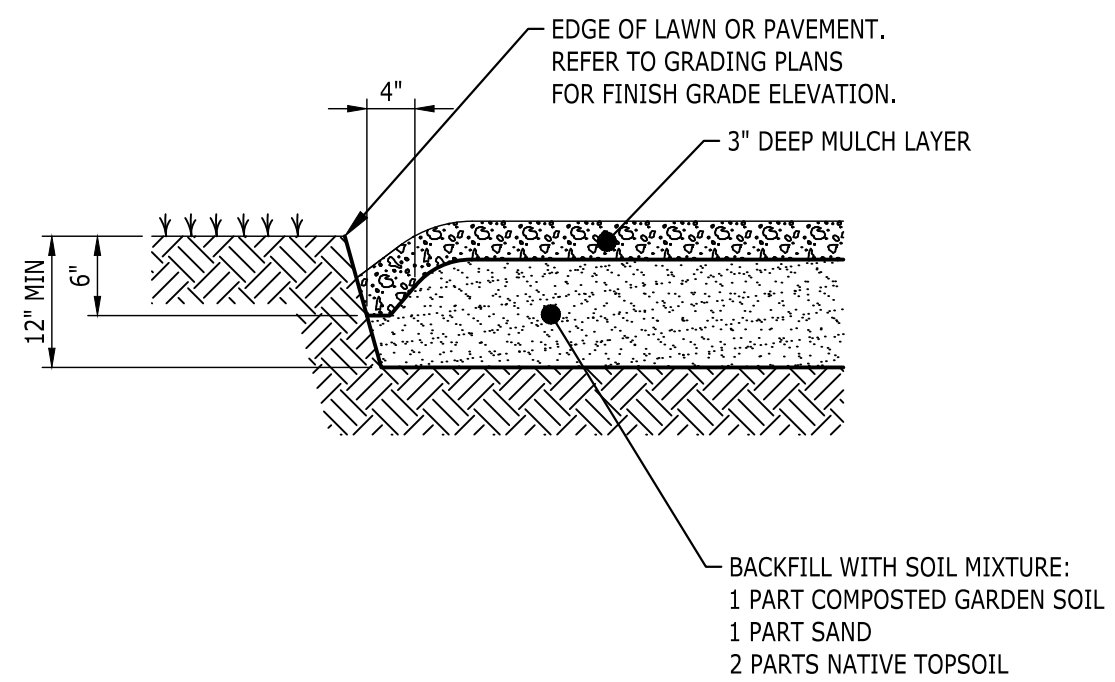
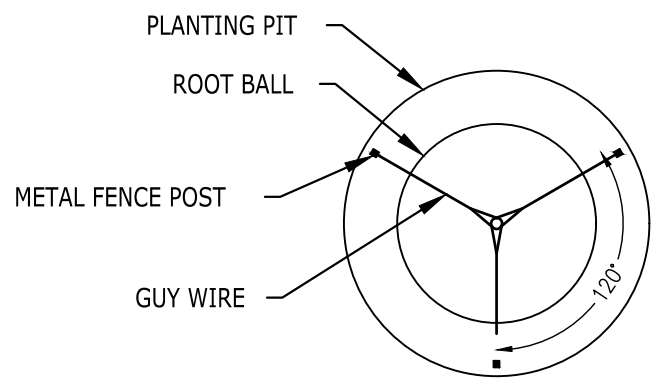


Diagram illustrating the components and installation of a tree root ball container:

- TWO-PLY REINFORCED RUBBER HOSE WITH CABLE OR GALV. WIRE IF NECESSARY, SPACED 120° APART AROUND TREE FOR TREES OVER 2" DIAMETER.
- LOCATE METAL "T" POST 18" MIN. FROM TRUNK ON SIDE OF PREVAILING WIND. DRIVE POST MIN. 24" INTO SUB-GRADE. TREATED WOODEN POST MAY BE USED.
- 3" DEEP LAYER OF MULCH
- FINISH GRADE
- CROWN OF ROOT BALL SHALL BE INSTALLED FLUSH WITH FINISHED GRADE ELEVATION.
- FOLD DOWN OR CUT AND REMOVE TOP THIRD OF BURLAP. IF NON-BIODEGRADABLE WRAP IS USED, REMOVE COMPLETELY. REMOVE WIRE BASKET COMPLETELY.
- FORM RAISED SOIL RING WITH TOPSOIL (MINIMUM 3" HIGH, CONTINUOUS AROUND TREE).
- SLOPE AND SCARIFY SIDES OF PIT
- BACKFILL WITH SOIL MIXTURE. SEE NOTE.
- SET ROOT BALL ON UNDISTURBED SOIL AT BOTTOM OF PIT.
- 2 TIMES ROOT BALL CONTAINER DIAMETER

NOTES;

1. TREE STAKING IS NOT PREFERRED BUT TO BE USED AS A LAST RESORT ON WINDY SITES. INSTALL TWO OF THE THREE STAKES AND GUY WIRES ON THE UPHILL SIDE OF THE TREE.
2. DO NOT DAMAGE MAIN ROOTS OR DESTROY ROOT BALL WHEN INSTALLING TREE STAKES.
3. WATER THOROUGHLY AFTER INSTALLATION.
4. REMOVE GUY WIRES AND TIES AFTER 6 MONTHS OR AT THE DIRECTION OF THE LANDSCAPE ARCHITECT.
5. TREE SHALL STAND PLUMB.
6. SOIL MIX: 1 PART ORGANIC MATERIAL, 1 PART SAND AND 2 PARTS TOPSOIL.
7. REMOVE ALL TAGS, ROPE, AND CONTAINERS. APPLY TREE WRAP STARTING AT THE BOTTOM AND CONTINUE TO FIRST BRANCH.
8. CLEAN TRUNK TO HEIGHT SPECIFIED AND PAINT WOUNDS WITH APPROVED DRESSING COMPOUND.



DCI - LEE'S SUMMIT

2001 NW SHAMROCK AVENUE
LEE'S SUMMIT, MISSOURI, 64081
JACKSON COUNTY

CONSTRUCTION DRAWINGS

Catalyst
DESIGN GROUP

DIALYSIS CLINIC, INC.
1633 CHURCH STREET, STE 500
NASHVILLE, TN 37203
615.327.3061

[illegible]

DRAWING TITLE

LANDSCAPE
DETAILS

PROJECT NUMBER
20180111

DRAWING NUMBER

L2.0

- 1 SIDEWALK FLUSH W/ PARKING @ HANDICAP SPACES. SEE CIVIL.
- 2 HANDICAPPED PARKING SPACE, SIGN AND BOLLARD SEE CIVIL
- 3 PROVIDE DUMPSTER ENCLOSURE. SEE DETAILS A0.1
- 4 DRIVE UNDER PORTE COCHERE TO RAMP UP TO SIDEWALK
- 5 PROVIDE 8" THICK CONCRETE APRON AT DUMPSTER PAD
- 6 PROVIDE 8'-0" x 6'-0" TRANSFORMER LOCATION (SEE ELECTRICAL)

Date / Issue
NOVEMBER 6, 2019
PRICING & PERMIT

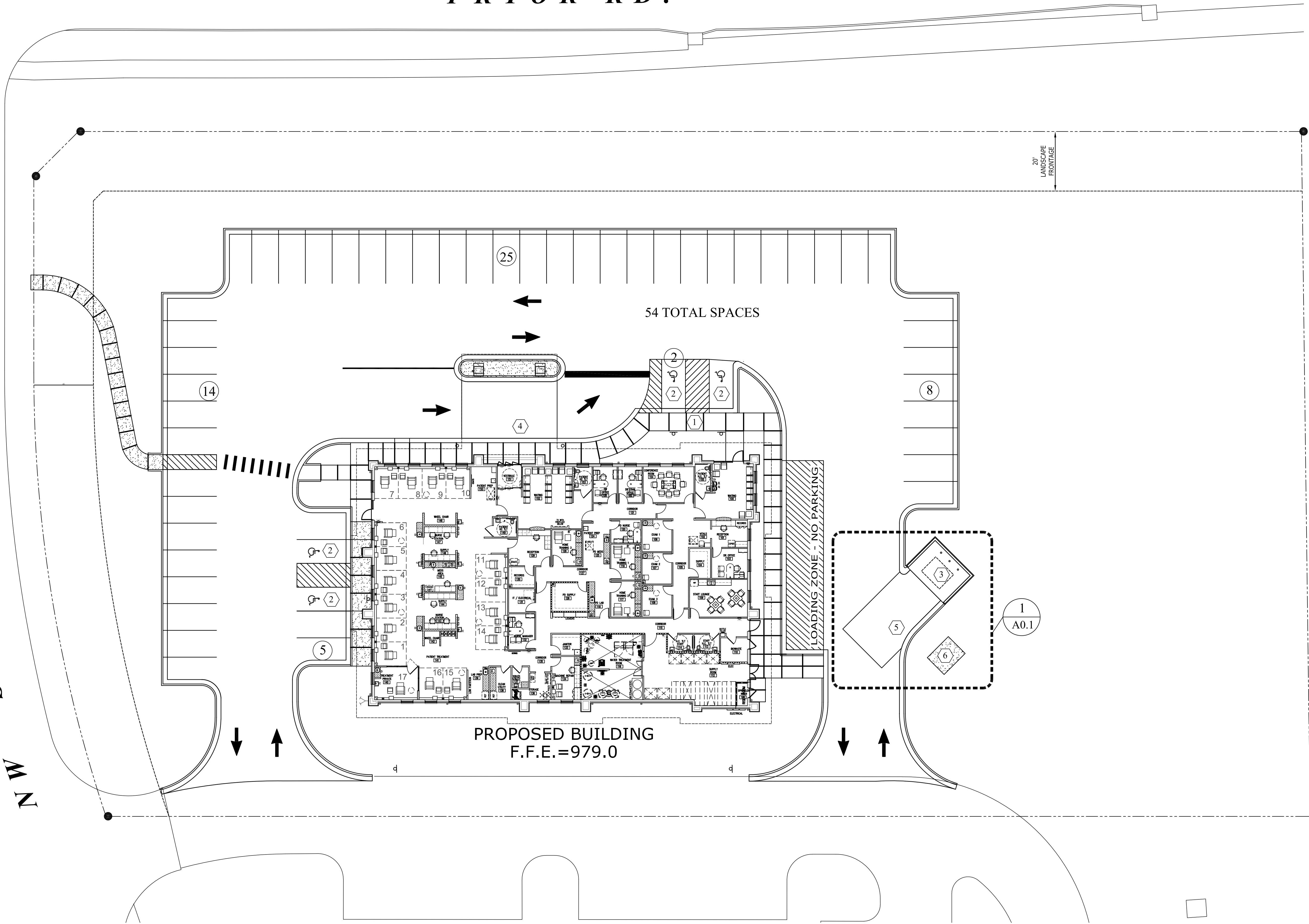
NOTES TO SHEET

5

PRYOR RD.

SHAMROCK AVENUE

NW



PROPOSED BUILDING
F.F.E.=979.0

54 TOTAL SPACES

20'
LANDSCAPE
FRONTAGE

LOADING ZONE, NO PARKING

1
A0.1

ARCHITECTURAL SITE PLAN

SCALE: 1"=20' 1

DCI
LEE'S SUMMIT FACILITY
2001 NW SHAMROCK RD
LEE'S SUMMIT, MISSOURI 64081

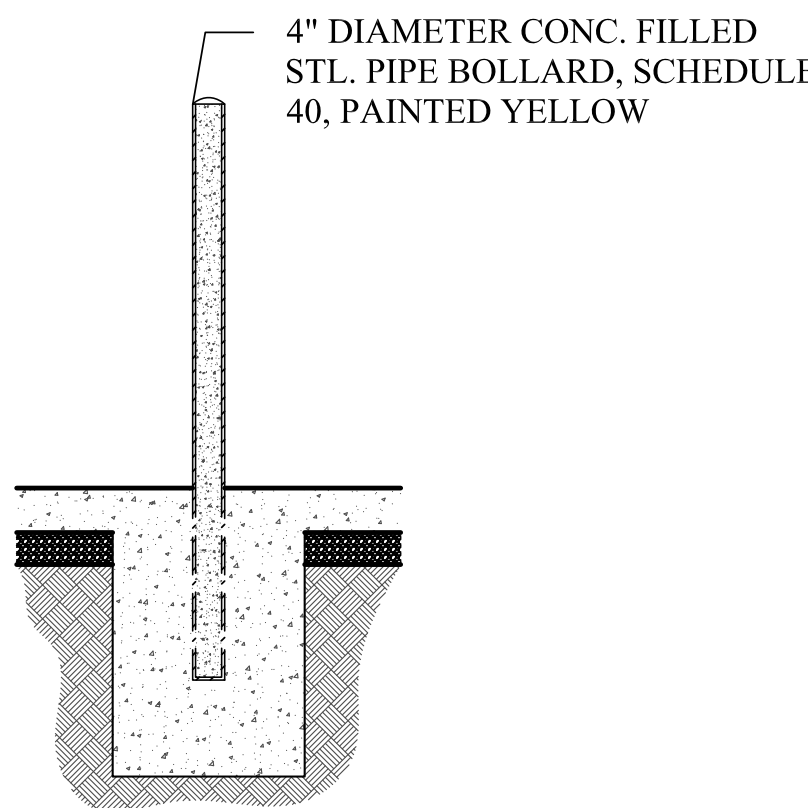
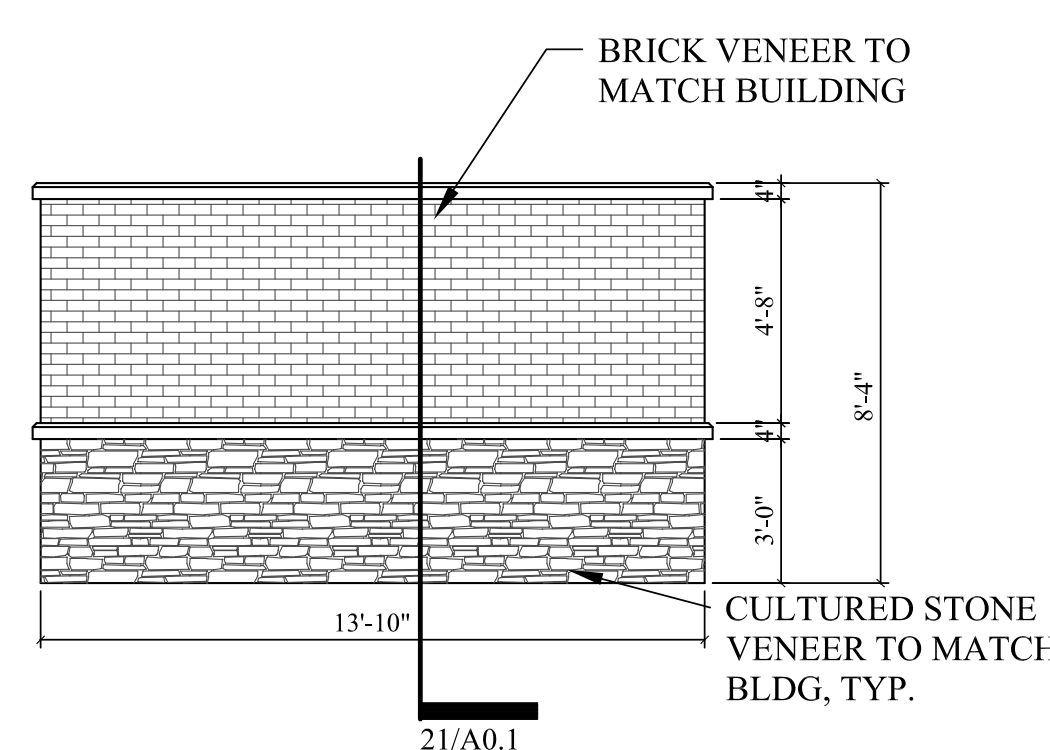
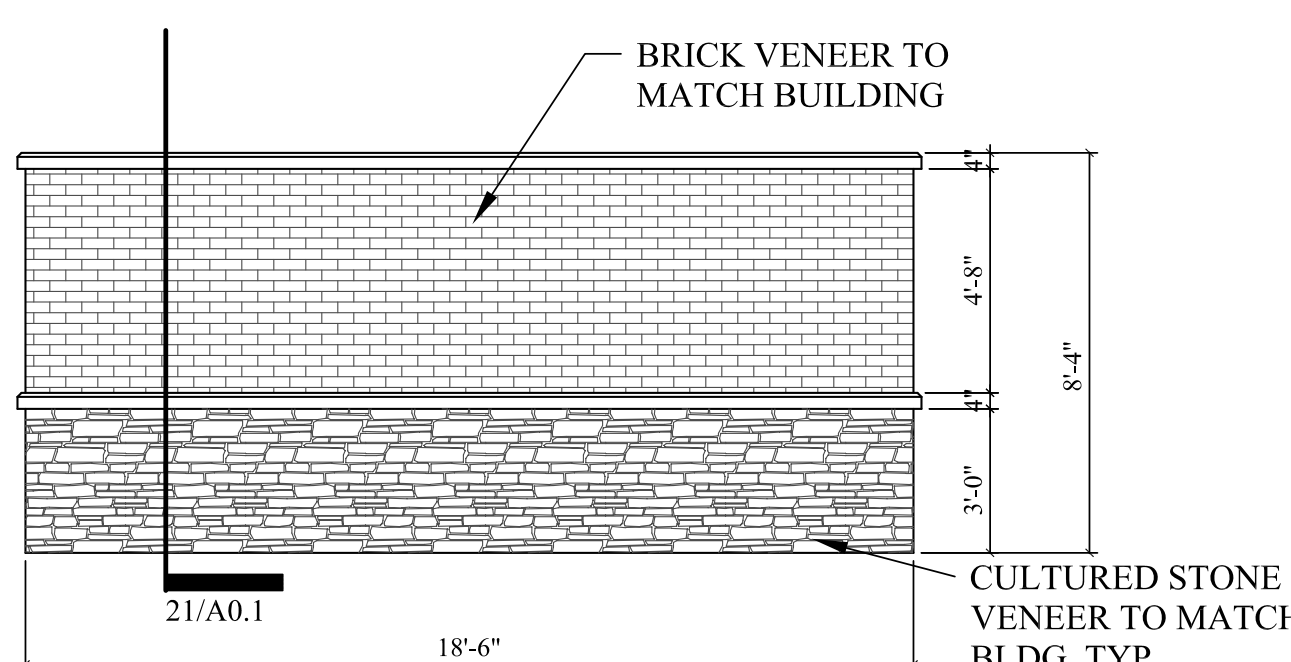
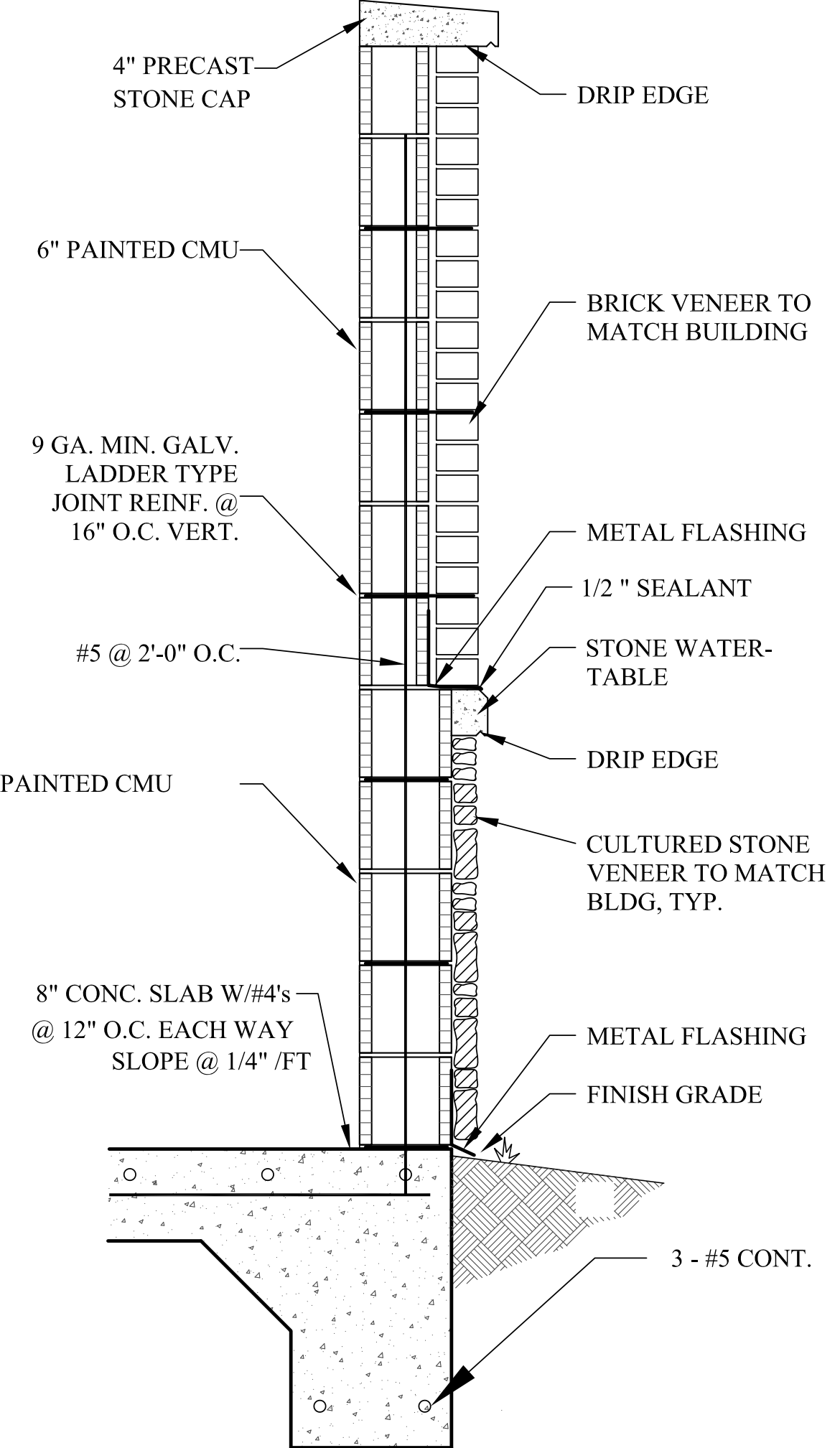
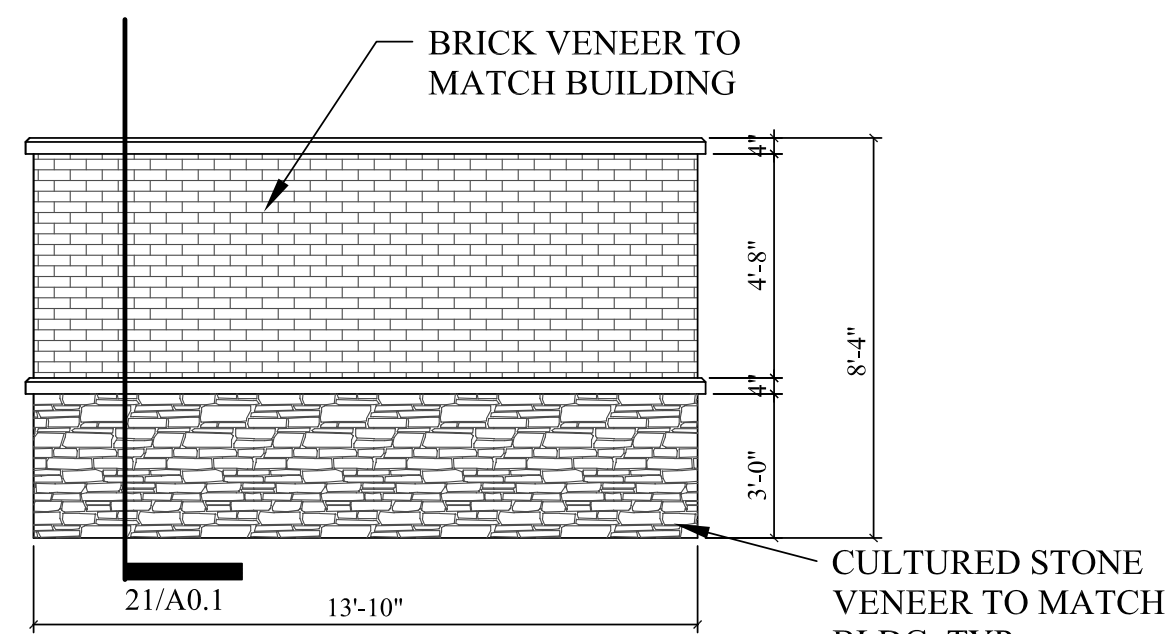
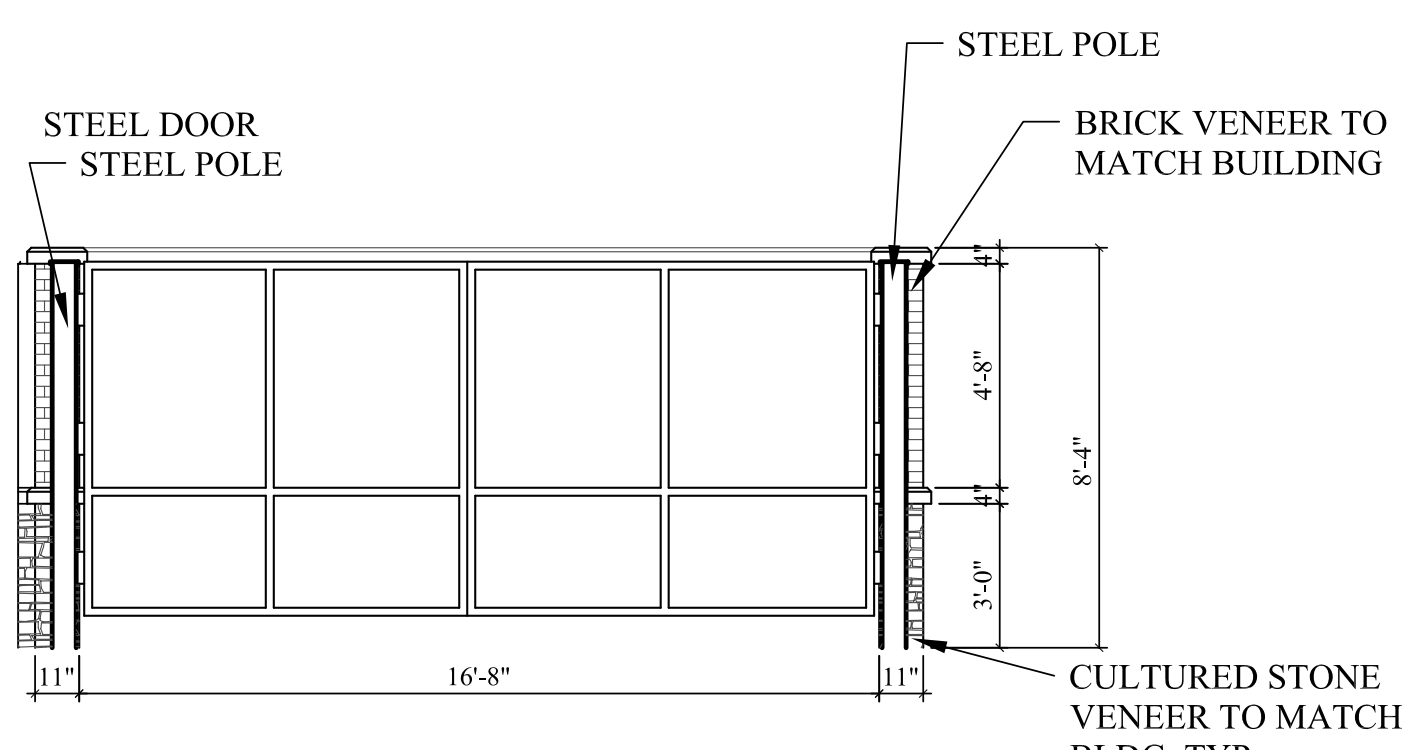
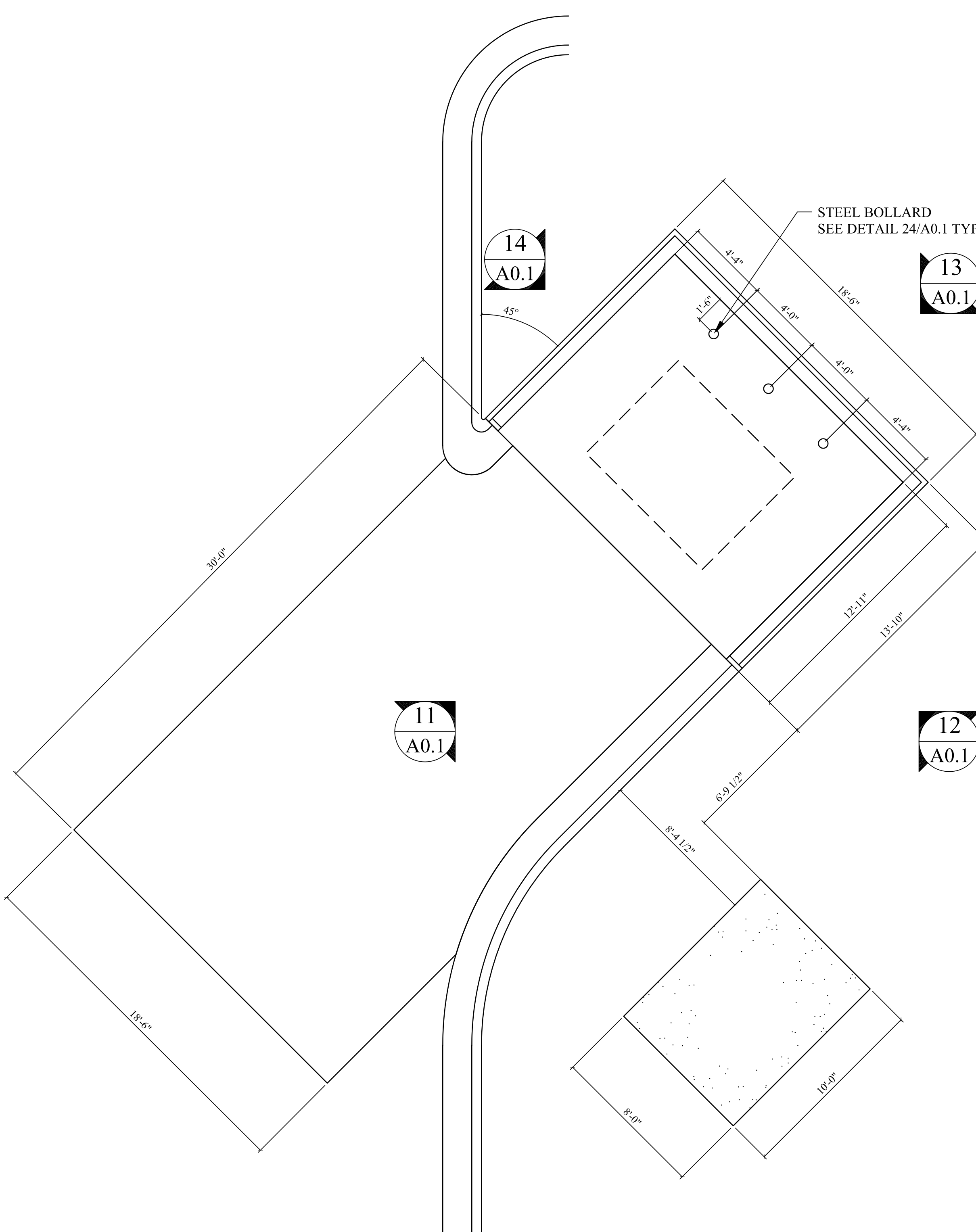
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A0.0

					Date / Issue NOVEMBER 6, 2019 PRICING & PERMIT
	25	20	15	10	5
					
BOLLARD DETAIL	SCALE: 1/2" = 1'-0" 24	DUMPSTER ELEVATION	SCALE: 1/4" = 1'-0" 14		
					
		DUMPSTER ELEVATION	SCALE: 1/4" = 1'-0" 13		
					
		DUMPSTER ELEVATION	SCALE: 1/4" = 1'-0" 12		
					
		DUMPSTER ELEVATION	SCALE: 1/4" = 1'-0" 11		
ENCLOSURE WALL DETAIL	1" = 1'-0" 21	DUMPSTER ELEVATION	SCALE: 1/4" = 1'-0" 11		
				ENLARGED DUMPSTER PLAN	SCALE: 1/4" = 1'-0" 1

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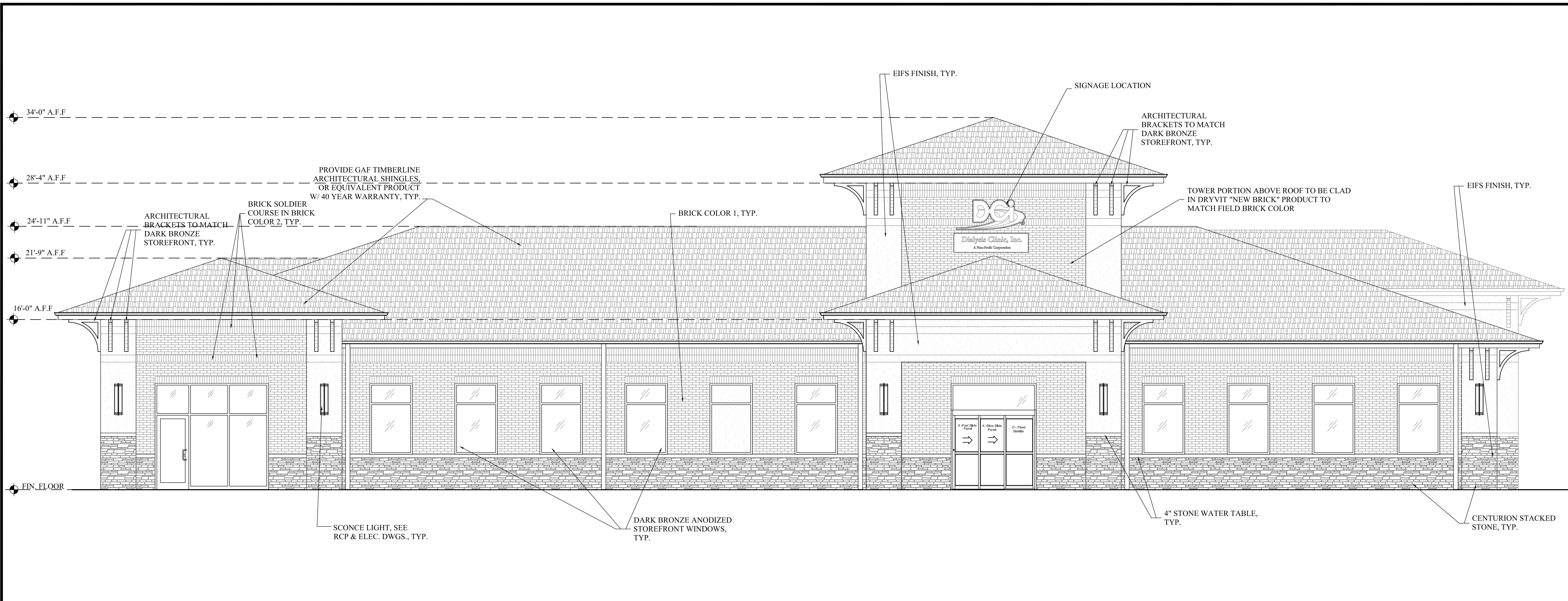
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STATE OF MISSOURI
JULIA W. DOVER
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DUMPSTER &
SITE DETAILS

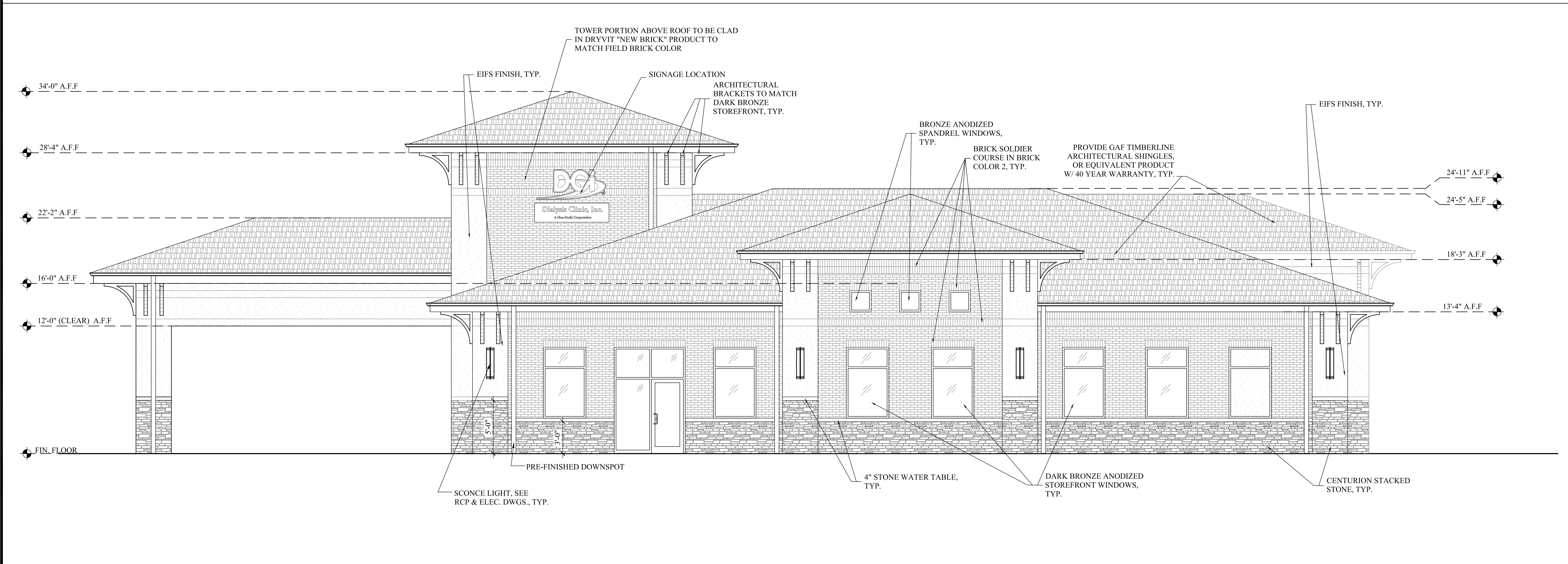
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FRONT ELEVATION

SCALE: 1/4" = 1'-0"

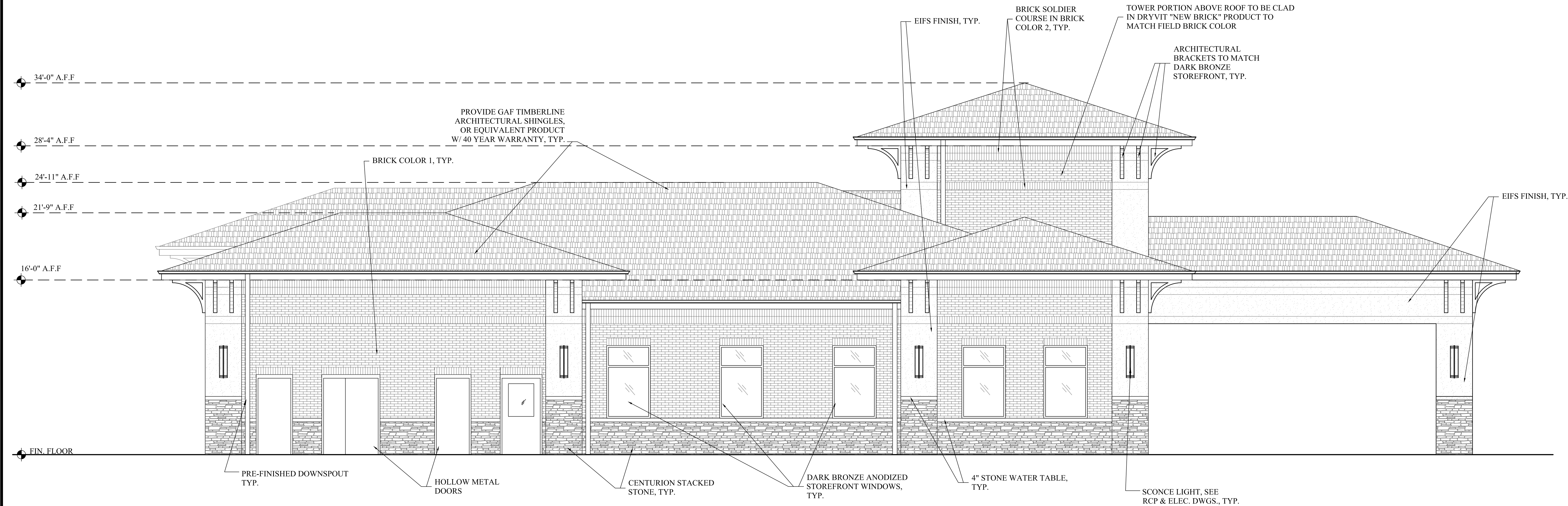
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LEFT SIDE ELEVATION

SCALE: 1/4" = 1'-0"

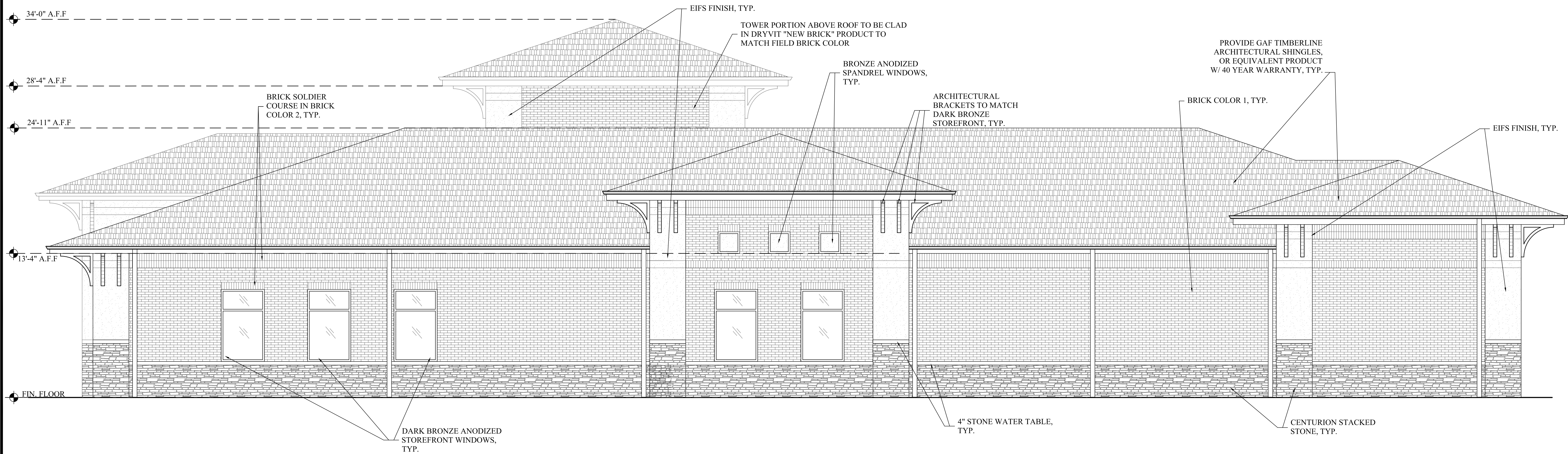
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FRONT ELEVATION

SCALE: 1/4" = 1'-0"

3



LEFT SIDE ELEVATION

SCALE: 1/4" = 1'-0"

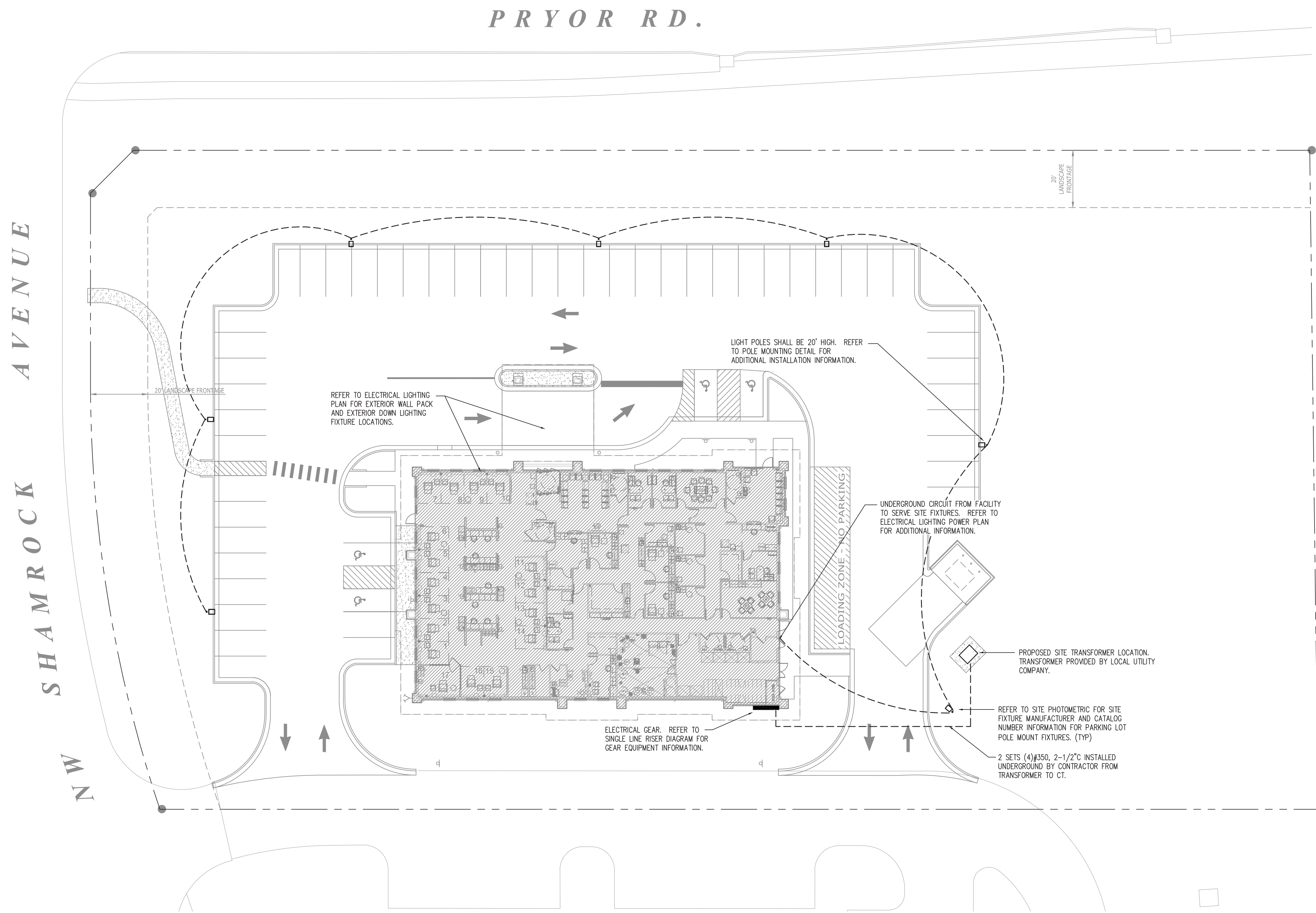
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N
10' 0' 20' 40'
ELECTRICAL SITE PLAN

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ELECTRICAL SITE PLAN

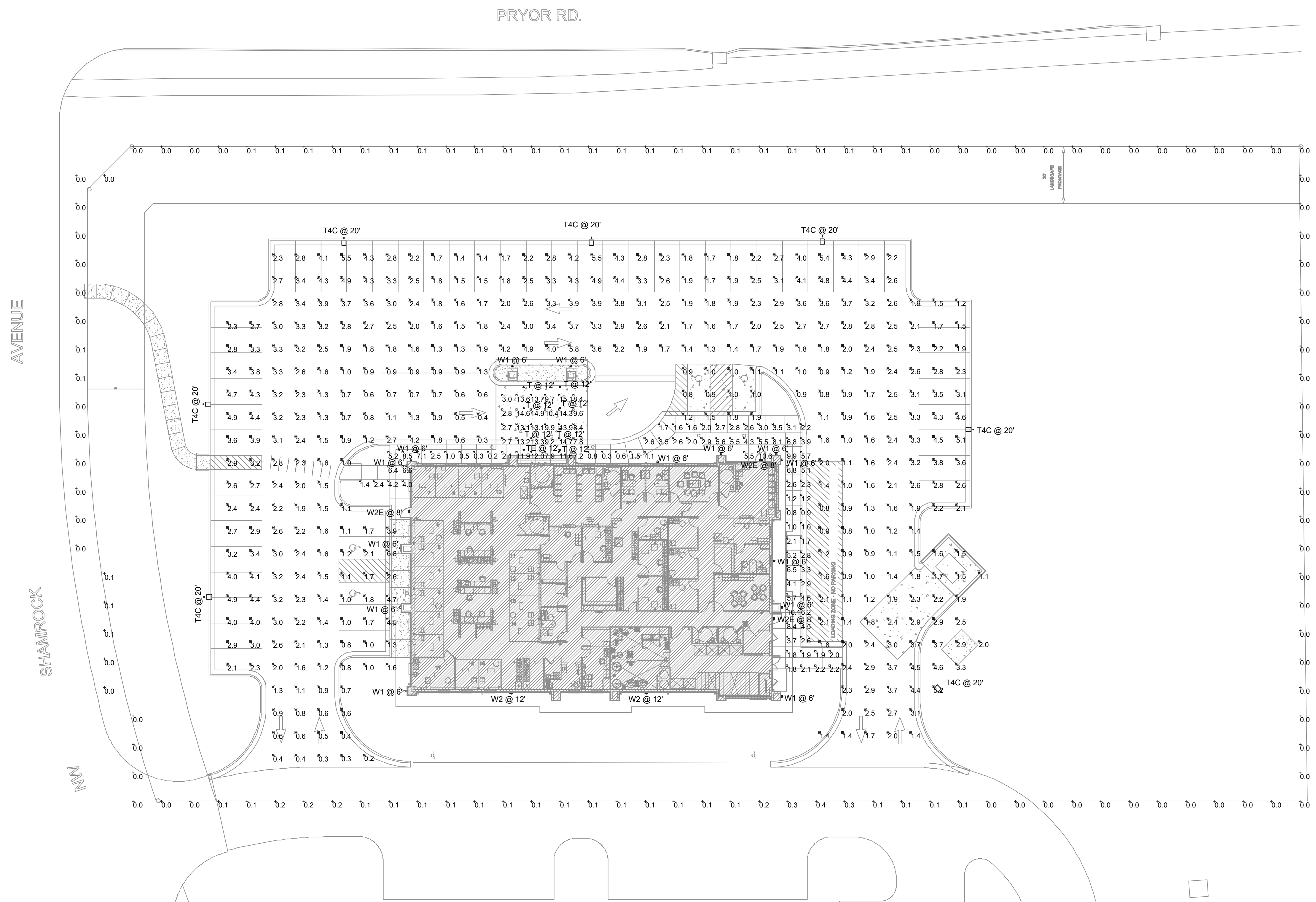
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Schedule				
Symbol	Label	Catalog Number	Description	Wattage
	T	LDN6 27/15 LW&R LD	6IN LDN WALLWASH, 2700K, 1500LM, CLEAR, MATTE DIFFUSE REFLECTOR	17.06
	TE	LDN6 27/15 LW&R LD	6IN LDN WALLWASH, 2700K, 1500LM, CLEAR, MATTE DIFFUSE REFLECTOR	17.06
	W1	OW1287	WALL MOUNT RECTANGULAR 48" VERTICAL	38
	W2E	DSKW1 LED 10C 350 40K ASYDF MVOLT	DSKW1 LED WITH (1) 10 LED LIGHT ENGINES, TYPE ASYDF OPTIC, 4000K, @ 350MA	13.3
	T4C	DSK1 LED P3 40K T4M MVOLT HS	DSK1 LED P3 40K T4M MVOLT with housewide shield	102
	W2	DSKW1 LED 10C 350 40K ASYDF MVOLT	DSKW1 LED WITH (1) 10 LED LIGHT ENGINES, TYPE ASYDF OPTIC, 4000K, @ 350MA	13.3

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Parking/Drive	X	2.3 fc	6.8 fc	0.2 fc	34.0:1	11.5:1
Property Line	+	0.1 fc	0.4 fc	0.0 fc	N/A	N/A
Sidewalk/Courtyard	□	5.3 fc	15.1 fc	0.2 fc	75.5:1	26.5:1



GENERAL NOTES:

- SITE POLE LIGHTING SHALL BE AT A 20FT ELEVATION.
- CONTRACTOR SHALL REFER TO ALL LOCAL CODES AND ORDINANCES FOR ANY ADDITIONAL SITE LIGHTING REQUIREMENTS.

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SITE PHOTOMETRICS

Sheet Number

E1.1