

LEGEND	
	SECTION CORNER
	SET 1/2" x 24" REBAR W/ OLSSON CONTROL CAP
	FOUND REBAR
	FIRE HYDRANT
	WATER VALVE
	WATER METER
	WATER MANHOLE
	GAS METER
	STORM SEWER MANHOLE
	SANITARY SEWER MANHOLE
	SANITARY SEWER CLEANOUT
	ELECTRIC RISER
	ELECTRIC METER
	ELECTRIC TRANSFORMER
	ROOF DRAIN
	GAS LINE
	WATER LINE
	UNDERGROUND POWER LINE
	OVERHEAD POWER LINE
	UNDERGROUND FIBER OPTIC LINE
	SANITARY SEWER LINE
	STORM LINE
	FIBER OPTIC VAULT
	BRICK SUPPORT COLUMN
	GRATE INLET
	SIGN
	ACCESSIBLE PARKING SIGN
	POWER POLE
	LIGHT POLE
	YARD LIGHT
	AIR CONDITIONER
	DECIDUOUS TREE
	CONIFEROUS TREE
	BUSH
	TREE LINE
	GUY ANCHOR WIRE
	BUILDING LINE
	ASPHALT
	AMERICAN TELEPHONE & TELEGRAPH
	BOOK
	BUILDING
	BENCHMARK
	CHAIN LINK FENCE
	CORRUGATED METAL PIPE
	CONCRETE
	CONTROL POINT
	CORRUGATED PLASTIC PIPE
	CONTROL
	ELEVATION
	ELECTRIC RISER
	FINISH FLOOR ELEVATION
	FOUND
	CONCRETE HEADWALL
	LANDSCAPE AREA
	METAL HANDRAIL
	PAGE
	PEDESTRIAN TRACTION PAD
	POLYVINYL CHLORIDE PIPE
	RIGHT-OF-WAY
	REBAR WITH CAP
	REINFORCED CONCRETE PIPE
	UNDERGROUND
	WITH
	MEASURED DIMENSION - THIS SURVEY
	PLATTED DIMENSION
	NUMBER OF PARKING STALLS
	ACCESSIBLE PARKING SPOT
	DENOTES OA BENCHMARK

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CONTROL NOTES

Control: Horizontal & Vertical Control is based on the MoDOT Continuously Operating GNSS Network, Missouri Coordinate System 1983, West Zone, Metro Control Points BRAUN 3.

Modified State Plane Coordinates, NAD 1983, Missouri West Zone. Using a CAF of 0.99990007 with Metro Control Point BRAUN 3 as a base point. Distances shown are Ground, US Survey Feet.

NAVD 1988 Elevation Data - Calibrated to BRAUN

BRAUN 3: (Calibration Point - 2003 Adjustment)
KC Metro GRS Control Aluminum Disk, set in concrete
flush with the ground and stamped BRAUN 3 1979.
N: 101218.718 E: 2829254.651
Elev. = 973.40'
Reference Ties:
1. 28.30' North to the South back of curb of an asphalt parking lot for library.
2. 28.50' Northwest to the center of a 15' Maple tree.
3. 44.40' West-Southwest to a benchmark spike in the South face of a power pole.
4. 7.50' North the South edge of a concrete sidewalk.

QA CPT #100:
Set 1/2" Rebar w/Cap "Olsson Survey Control Point"
53'± North of the CL of NE Colbern Road, 600'± East of the CL of NE Rice Road, South of the SW corner of the asphalt parking lot to Mid-Continent Public Library
Headquarters Building
N: 101218.718 E: 2829254.651
Elev. = 973.40'
Reference Ties:
1. 28.30' North to the South back of curb of an asphalt parking lot for library.
2. 28.50' Northwest to the center of a 15' Maple tree.
3. 44.40' West-Southwest to a benchmark spike in the South face of a power pole.
4. 7.50' North the South edge of a concrete sidewalk.

QA CPT #101:
Set 1/2" Rebar, 367'± North of the CL of NE Colbern Road, 640'± East of the CL of NE Rice Road, NW of the NW corner of Mid-Continent Public Library
N: 1012430.309 E: 2829297.287
Elev. = 970.85'
Reference Ties:
1. 25.65' West to the center of an 18" Oak tree.
2. 11.35' South to the center of a chain link fence corner post.
3. 22.65' Southeast to the NW corner of the Mid-Continent Public Library Building.

QA CPT #102:
Set 1/2" Rebar, 229'± North of the CL of NE Colbern Road, 845'± East of the CL of NE Rice Road, SE of the SE corner of Mid-Continent Public Library
N: 1012285.799 E: 2829504.378
Elev. = 967.96'
Reference Ties:
1. 15.00' West-Southwest to the back of curb at the NE corner of an asphalt parking lot at the South face of a concrete sidewalk.
2. 36.70' South-Southwest to the center of a 20" Pine tree.
3. 34.00' North-Northwest to the center of a 22" Ash tree.

Elevations Datum: NAVD 1988

QA Bench Mark #1:
(NAVD'88)
Set Railroad Spike in the South face of a power pole at the SW corner of the Mid-Continent Public Library Building. 51'± North of the CL of NE Colbern Road, 565'± East of the CL of NE Rice Road.
Elevation=976.04'

UTILITY NOTES

Utilities shown have been located from field survey information, together with obtained records. The Surveyor makes no guarantee that the utilities shown comprise all such utilities in the area, either in-service or abandoned. The Surveyor further does not warrant that the utilities shown are in the exact location indicated. Locates are in compliance with Subsurface Utility Engineering Quality Level "B", and were through the Missouri One-Call System.

Private utilities were located by ECHO GPR Services, 24564 Lackman Road, Paola, Kansas, 66071, Phone Number 913-879-2200.

Utilities were ordered to be located through Missouri One Call per One-Call Ticket #192121471. The companies listed on the ticket are: AT&T Distribution, City of Lee's Summit Fiber, City of Lee's Summit Sewer, City of Lee's Summit Storm, City of Lee's Summit Water, Comcast Communications, Google Fiber, Kansas City Power & Light, Spectrum (Formerly Time Warner Cable) and Spire Missouri West.

Notes:
1.) Any boundary or easement information shown is for graphical purposes only, and is not to be relied upon for exact locations.
2.) The sanitary sewer does NOT connect to the sewer manhole North of the library as per the MCPL Plans by T&K Architects, dated February 1992 (No Pipe found from Existing Manhole). The underground storm drainage system is also per the MCPL Plans by T&K Architects, dated February 1992.

DEMOLITION KEYNOTES:XX

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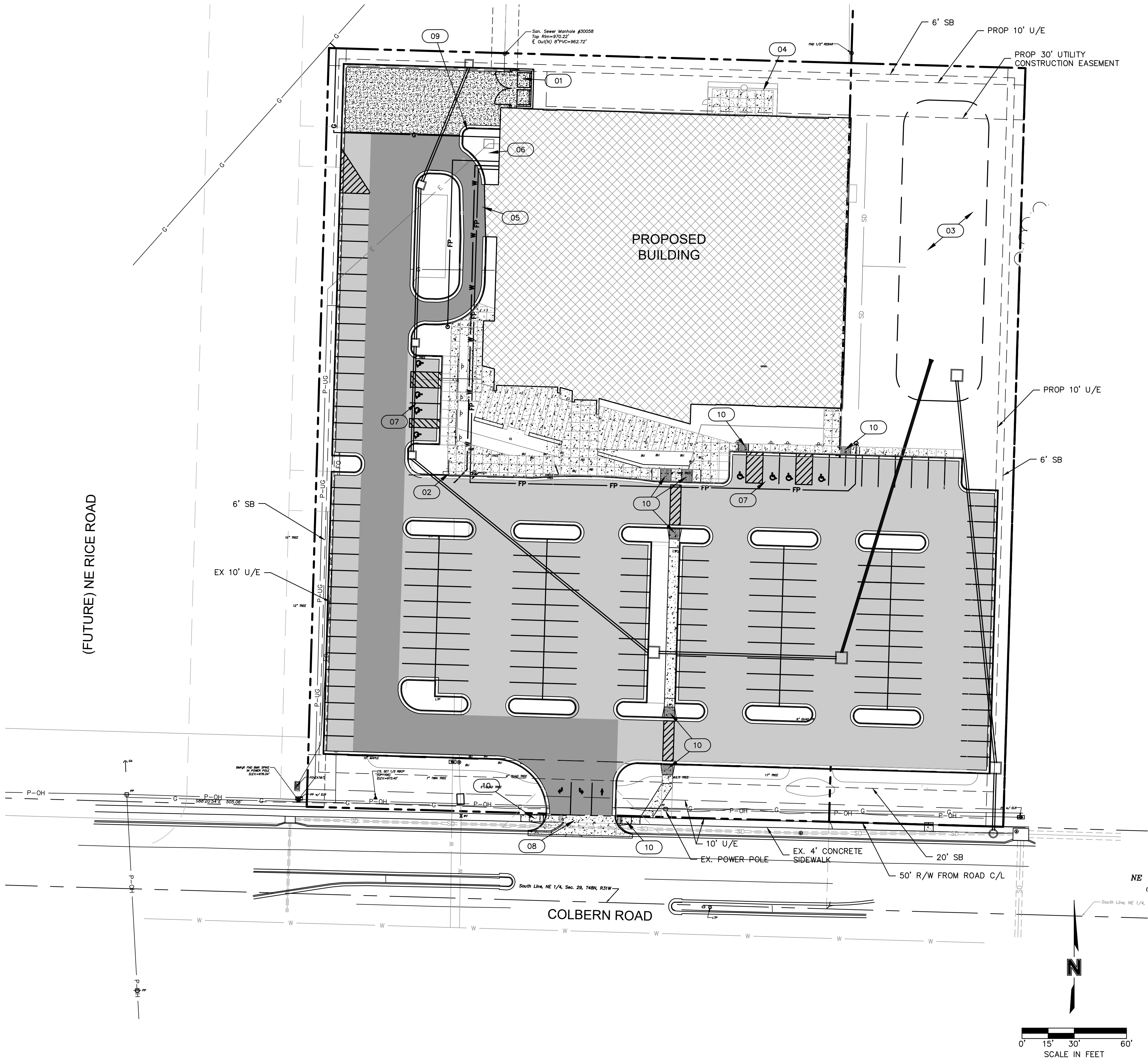
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DWG: F:\2018\0001-0500\018-0330-B\40-Design\AutoCAD\ Preliminary Plans\ Sheets\GNCV\WORK PACKAGE 10\C_GLP_0180330.dwg USER: bkmitch DATE: Dec 10, 2019 8:58am XREFS: C:\BTLK_018330 C:\PBASE_018330 C:\PBASE_0161023 A_PBASE_0161023



SITE DATA			
ZONING & SITE AREA			
PROPOSED USE:		PUBLIC LIBRARY	
		SITE AREA	ZONING
LOT 2 (AS DESCRIBED):	4.00 ACRES (174,237 SF)		CP-2
IMPERVIOUS:	2.58 ACRES (112,384 SF) (64%)		
PERVIOUS:	1.42 ACRES (61,855 SF) (36%)		
FAR (0.55 MAX):	0.15		
BUILDING AREA			
BUILDING TYPE	# STORIES	SQUARE FOOTAGE	
BUILDING	1	34,030 SF	
PARKING			
USE	REQUIRED	PROVIDED	
LIBRARY	4 PER 1000 SF = 136	163	
ADA	4 (PER CITY TABLE)	8	
TOTAL	136	166 (INCLUDING ADA)	

NOTE:
ACCORDING TO MDNR STATE OIL & GAS COUNSEL THERE ARE NO OIL AND GAS WELLS LOCATED WITHIN OR ADJACENT TO THE PROPERTY.

THERE ARE NO FEMA DELINEATED FLOODPLAINS ON THE PROPERTY.

LEGEND

---	PROPERTY LINES
---	RIGHT-OF-WAY LINES
---	LOT LINES
---	ROAD CENTERLINE
---	EASEMENT LINES
---	SETBACK LINES
---	EXISTING GRADE CONTOURS
---	PROPOSED GRADE CONTOURS
P-OH	OVERHEAD ELECTRIC
P-UG	UNDERGROUND ELECTRIC
TEL	UNDERGROUND TELEPHONE
FO	UNDERGROUND FIBER OPTIC
G	GAS LINE
W	WATER LINE
FP	FIRE PROTECTION LINE
SS	STORM SEWER LINE
SS	SANITARY SEWER LINE
---	ACCESSIBLE SIDEWALK RAMP
---	CONCRETE CURB & GUTTER TYPE "B" RE: DETAILS
---	CONCRETE CURB & GUTTER TYPE "B-DRY" RE: DETAILS
---	PROPOSED CONCRETE SIDEWALK
---	PROPOSED HEAVY DUTY CONCRETE PAVEMENT
---	PROPOSED LIGHT DUTY ASPHALT
---	PROPOSED HEAVY DUTY ASPHALT
---	PROPOSED DETENTION BASIN

KEYNOTES:

- 01 TRASH ENCLOSURE - CMU WALLS WITH BRICK FACING AND STEEL DOORS
02 BOOK DROP
03 EXTEND DRY DETENTION BASIN
04 CONCRETE PATIO
05 DRIVE-THRU WINDOW
06 POWER TRANSFORMER
07 ADA ACCESSIBLE SIGNAGE AND STRIPING
08 WIDENED COMMERCIAL ENTRANCE (40') WITH RECONSTRUCTED ADA RAMP
09 REMOTE FIRE DEPARTMENT CONNECTION
10 ADA RAMP PER CITY DETAILS

LEGAL DESCRIPTION

ALL OF LOT 1, RICE ACRES, A SUBDIVISION IN THE CITY OF LEE'S SUMMIT, JACKSONCOUNTY,MISSOURI, TOGETHER WITH ALL THAT PART OF AN UNPLATTED TRAC T OF LAND, ALL LYING IN THE NORTHEAST QUARTER OF SECTION 29, TOWNSHIP 48 NORTH, RANGE 31 WEST, DESCRIBED BY TIMOTHY BLAIR WISWELL, MO-PLS 2009000067, AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF THE NORTHEAST QUARTER OF SECTION 29, TOWNSHIP 48 NORTH, RANGE 31 WEST; THENCE NORTH 88 DEGREES 28 MINUTES 52 SECONDS WEST, ON THE SOUTH LINE OF SAID NORTHEAST QUARTER, A DISTANCE OF 755.18 FEET TO A POINT ON THE SOUTHERLY EXTENSION OF THE WEST LINE OF LOT 1, RICE ACRES, A SUBDIVISION IN THE CITY OF LEE'S SUMMIT, JACKSON COUNTY, MISSOURI; THENCE NORTH 01 DEGREE 23 MINUTES 04 SECONDS EAST, DEPARTING SAID SOUTH LINE, ON SAID SOUTHERLY EXTENSION, A DISTANCE OF 55.66 FEET TO THE SOUTHWEST CORNER OF SAID LOT 1, THE POINT OF BEGINNING; THENCE NORTH 01 DEGREE 23 MINUTES 04 SECONDS EAST, ON SAID WEST LINE, A DISTANCE OF 436.21 FEET TO THE NORTHWEST CORNER OF SAID LOT 1; THENCE SOUTH 88 DEGREES 38 MINUTES 41 SECONDS EAST, ON THE NORTH LINE OF SAID LOT 1 AND ITS EASTERLY EXTENSION, A DISTANCE OF 400.00 FEET TO A POINT; THENCE SOUTH 01 DEGREE 23 MINUTES 04 SECONDS WEST, DEPARTING SAID EASTERLY EXTENSION, A DISTANCE OF 436.21 FEET TO A POINT ON THE EASTERLY EXTENSION OF THE SOUTH LINE OF SAID LOT 1; THENCE NORTH 88 DEGREES 38 MINUTES 41 SECONDS WEST, ON SAID EASTERLY EXTENSION AND ON SAID SOUTH LINE, A DISTANCE OF 400.00 FEET TO THE POINT OF BEGINNING, CONTAINING 174,485 SQUARE FEET OR 4.0056 ACRES, MORE OR LESS.

SAPP DESIGN ARCHITECTS

3750 S. Fremont Ave.
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Missouri State Certificate of Authority #000607

helix.

1629 Walnut
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SPECIAL NOTICES

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Mid-Continent Public Library PRELIMINARY DEVELOPMENT PLANS FOR COLBERN ROAD BRANCH 1000 N.E. COLBERN ROAD LEE'S SUMMIT, MO 64086 JACKSON COUNTY

Engineer of Record
PRELIMINARY
DEVELOPMENT PLAN

NOT FOR CONSTRUCTION

12.10.19

Terry M Parsons, Engineer MO PE-2018010505

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Revision No. Description Date

Project No. B18-0330 Date 09-18-18 Drawn KDP

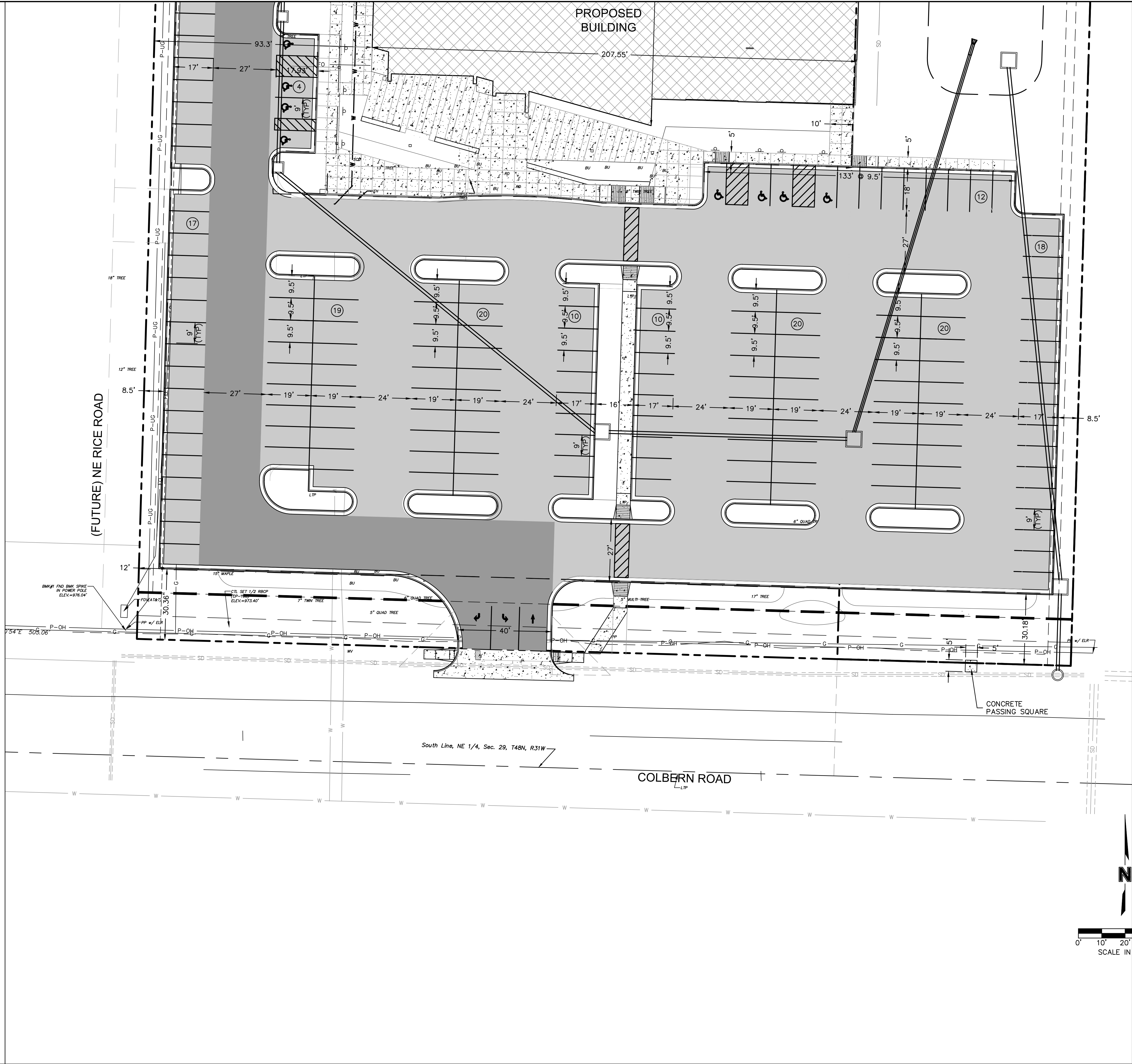
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C2

GENERAL LAYOUT PLAN

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EXISTING CONDITIONS LEGEND

- PROPERTY LINES
- EASEMENT LINES
- P-OH OVERHEAD ELECTRIC
- P-UG UNDERGROUND ELECTRIC
- TEL UNDERGROUND TELEPHONE
- FO UNDERGROUND FIBER OPTIC
- G GAS LINE
- W WATER LINE
- SD STORM SEWER LINE
- SS SANITARY SEWER LINE
- 851 EXISTING GRADE CONTOURS

PROPOSED CONDITIONS LEGEND

- E PROPOSED UNDERGROUND ELECTRIC
- FO PROPOSED FIBER OPTIC
- W PROPOSED WATER LINE
- FP PROPOSED FIRE PROTECTION LINE
- SD PROPOSED STORM SEWER LINE
- SS PROPOSED SANITARY SEWER SERVICE
- CONCRETE CURB & GUTTER
- PROPOSED BUILDING
- PROPOSED CONCRETE SIDEWALK
- PROPOSED LIGHT DUTY ASPHALT
- PROPOSED DETENTION BASIN
- 851 PROPOSED GRADE CONTOURS

**SAPP
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ARCHITECTS**

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JACKSON COUNTY

PACKAGE
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Project No. B18-0330 Date 09-18-18 Drawn KDP

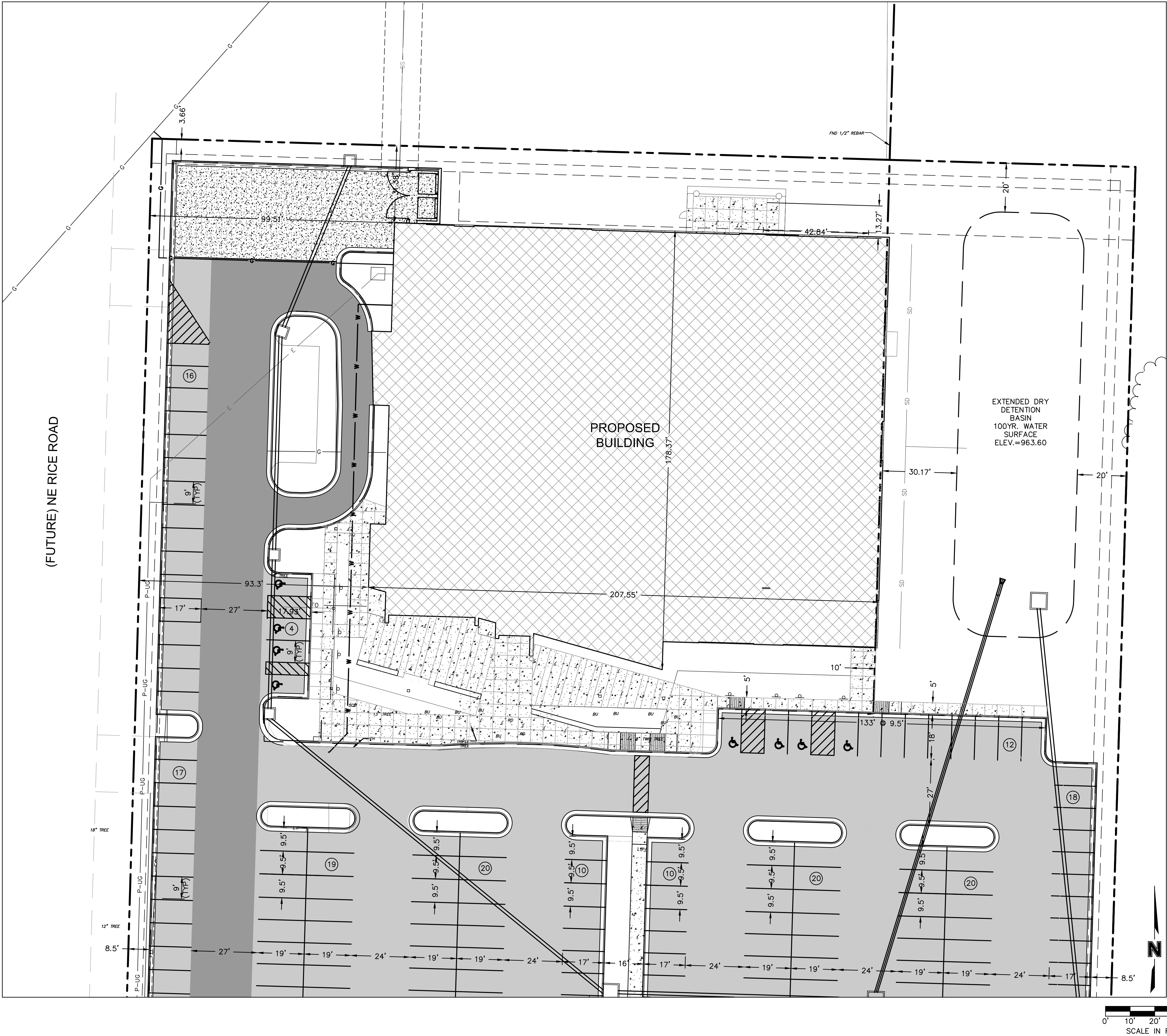
Drawing No.

C3

SITE DIMENSION PLAN

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EXISTING CONDITIONS LEGEND

---	PROPERTY LINES
---	EASEMENT LINES
P-OH	OVERHEAD ELECTRIC
P-UG	UNDERGROUND ELECTRIC
TEL	UNDERGROUND TELEPHONE
FO	UNDERGROUND FIBER OPTIC
G	GAS LINE
W	WATER LINE
SD	STORM SEWER LINE
SS	SANITARY SEWER LINE
85.7	EXISTING GRADE CONTOURS

PROPOSED CONDITIONS LEGEND

E	PROPOSED UNDERGROUND ELECTRIC
FO	PROPOSED FIBER OPTIC
W	PROPOSED WATER LINE
FP	PROPOSED FIRE PROTECTION LINE
SD	PROPOSED STORM SEWER LINE
SS	PROPOSED SANITARY SEWER SERVICE
	CONCRETE CURB & GUTTER
	PROPOSED BUILDING
	PROPOSED CONCRETE SIDEWALK
	PROPOSED LIGHT DUTY ASPHALT
	PROPOSED DETENTION BASIN
85.7	PROPOSED GRADE CONTOURS

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Revision No.	Description	Date
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Project No.	Date	Drawn
B18-0330	09-18-18	KDP

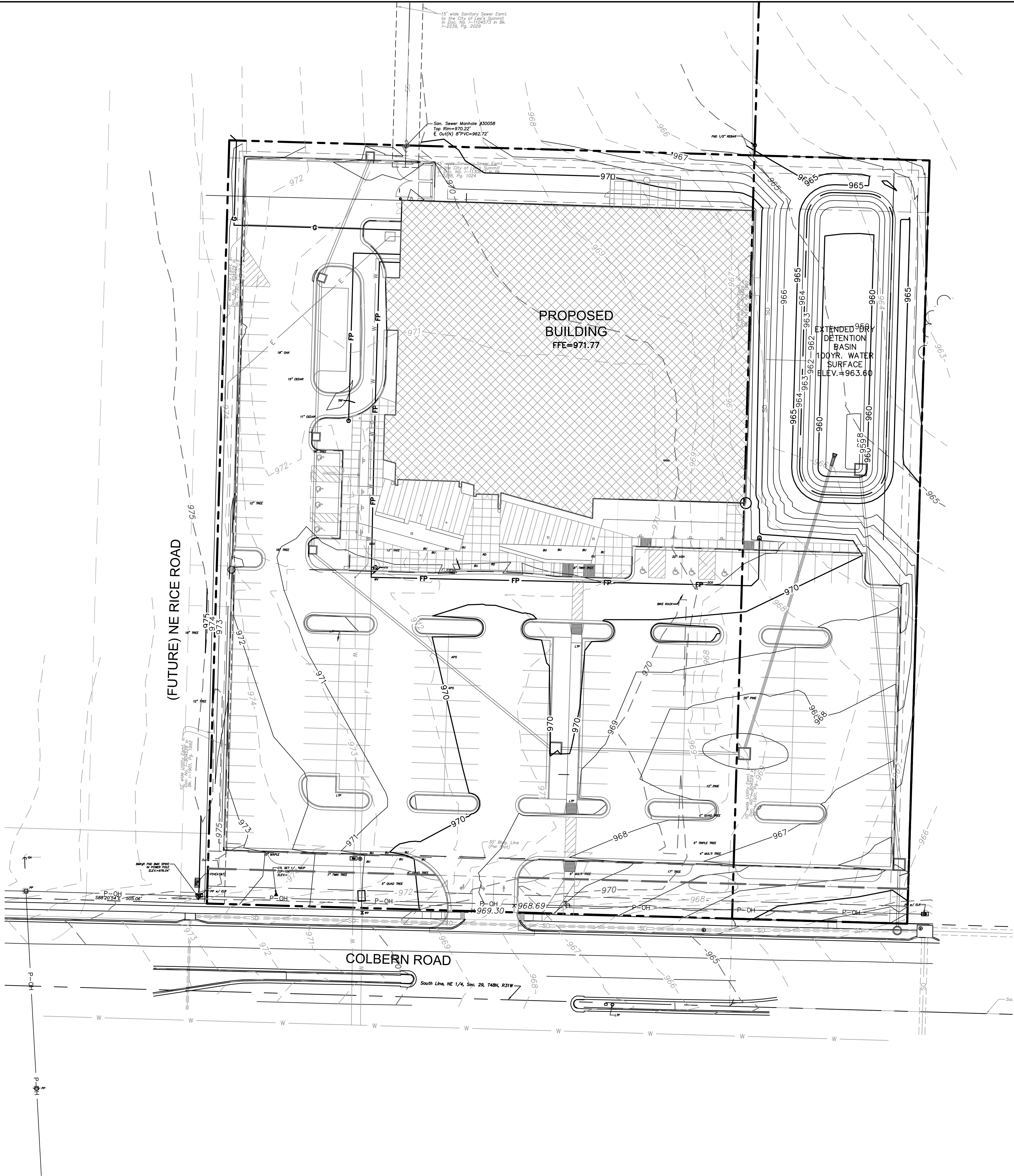
Drawing No.

C4

SITE DIMENSION PLAN

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EXISTING CONDITIONS LEGEND

- PROPERTY LINES
- RIGHT-OF-WAY LINES
- EASEMENT LINES
- P-OH OVERHEAD ELECTRIC
- P-UG UNDERGROUND ELECTRIC
- TEL UNDERGROUND TELEPHONE
- FO UNDERGROUND FIBER OPTIC
- G GAS LINE
- W WATER LINE
- SS STORM SEWER LINE
- SS SANITARY SEWER LINE

PROPOSED CONDITIONS LEGEND

- E PROPOSED UNDERGROUND ELECTRIC
- FO PROPOSED FIBER OPTIC
- W PROPOSED WATER LINE
- FP PROPOSED FIRE PROTECTION LINE
- SD PROPOSED STORM SEWER LINE
- T PROPOSED TURF DRAIN LINE
- SS PROPOSED SANITARY SEWER SERVICE
- CONCRETE CURB & GUTTER
- PROPOSED BUILDING

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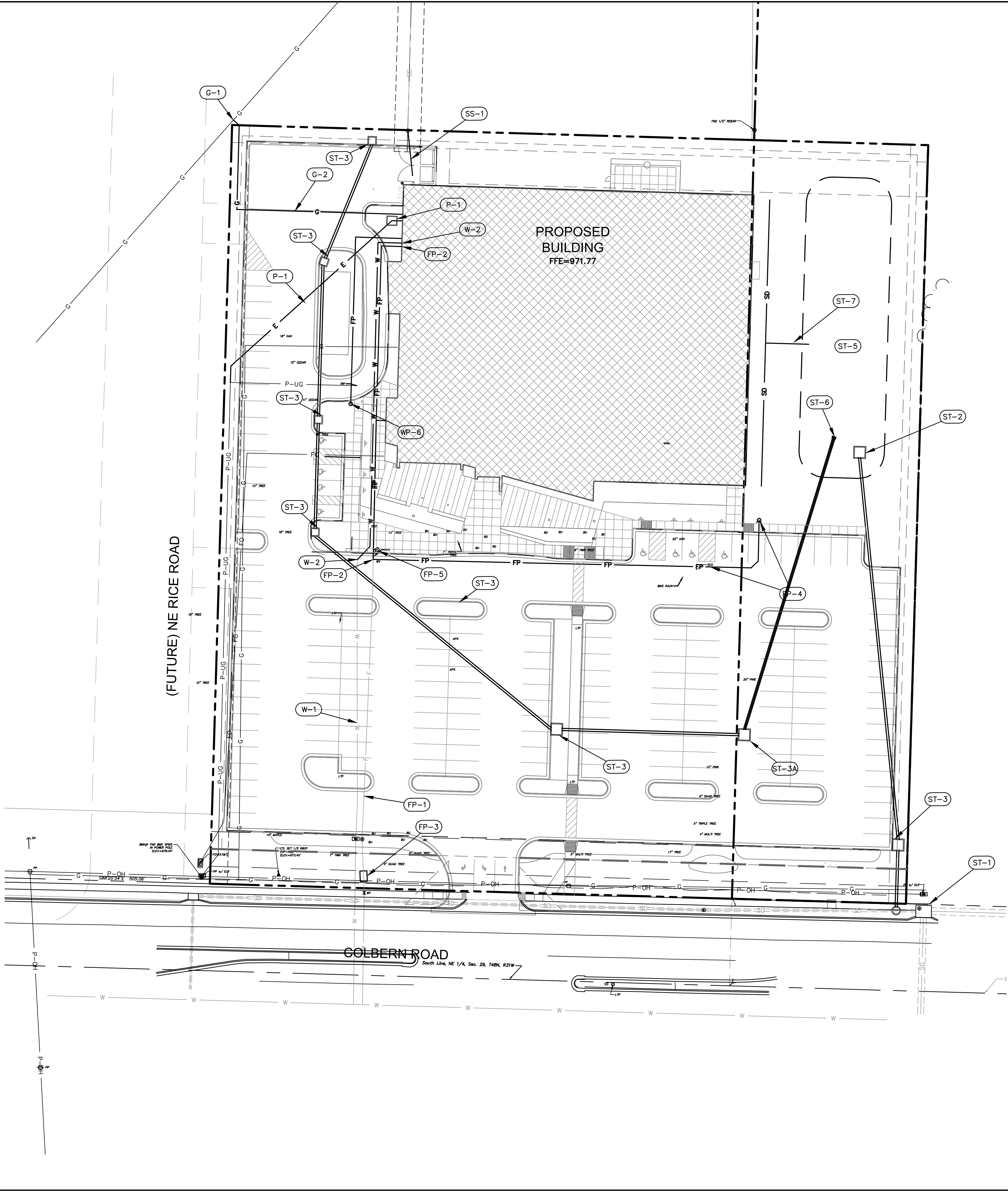
Revision No. Description Date

Project No. B18-0330 Date 09-18-18 Drawn KDP

Drawing No.

C5
GRADING PLAN

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EXISTING CONDITIONS LEGEND

- PROPERTY LINES
- RIGHT-OF-WAY LINES
- EASEMENT LINES
- OVERHEAD ELECTRIC
- UNDERGROUND ELECTRIC
- UNDERGROUND TELEPHONE
- UNDERGROUND FIBER OPTIC
- GAS LINE
- WATER LINE
- STORM SEWER LINE
- SANITARY SEWER LINE

PROPOSED CONDITIONS LEGEND

- PROPOSED UNDERGROUND ELECTRIC
- PROPOSED FIBER OPTIC
- PROPOSED WATER LINE
- PROPOSED FIRE PROTECTION LINE
- PROPOSED STORM SEWER LINE
- PROPOSED TURF DRAIN LINE
- PROPOSED SANITARY SEWER SERVICE
- CONCRETE CURB & GUTTER
- PROPOSED BUILDING

UTILITY KEYNOTES:

WATER

- W-1 EXISTING 2" SERVICE LINE TO REMAIN
- W-2 EXTEND 2" EXISTING SERVICE TO PROPOSED BUILDING

FIRE PROTECTION

- FP-1 EXISTING 6" FIRE SERVICE TO REMAIN
- FP-2 EXTEND 6" FIRE SERVICE LINE TO PROPOSED BUILDING
- FP-3 INSTALL BACK FLOW PREVENTOR ON EXISTING FIRE PROTECTION LINE
- FP-4 INSTALL 6" FIRE LINE W/ HYDRANT
- FP-5 RELOCATE EXISTING HYDRANT
- FP-6 FIRE DEPARTMENT CONNECTION (4" STORZ FITTING)

SANITARY SEWER

- SS-1 INSTALL 4" PVC SERVICE LINE TO PROPOSED BUILDING

STORM SEWER

- ST-1 CONNECT TO EXISTING CURB INLET
- ST-2 CONSTRUCT CONTROL STRUCTURE
- ST-3 CONSTRUCT CURB INLET
- ST-3A CONSTRUCT GRATE INLET
- ST-4 CONSTRUCT STD 4' DIAM MANHOLE
- ST-5 EXTENDED DRY DETENTION BASIN
- ST-6 INSTALL STD 24" FLARED END SECTION
- ST-7 ROOF DRAINS TO DETENTION BASIN

POWER

- P-1 PRIMARY SERVICE -COORDINATE WITH EVERGY.
- P-2 PROPOSED TRANFORMER LOCATION COORDINATE WITH EVERGY AND MEP.

GAS

- G-1 CONNECTION TO EXISTING GAS LINE. COORDINATE WITH ASPIRE.
- G-2 INSTALL 1 1/2" GAS SERVICE TO PROPOSED BUILDING

SPECIAL NOTICES

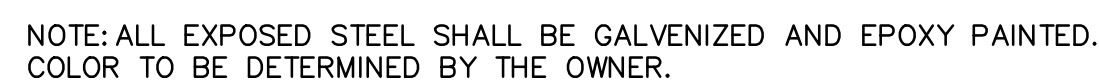
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TRASH ENCLOSURE



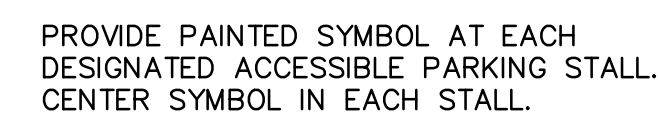
GENERAL NOTES:

1. 3/4" ISOLATION JOINTS WITH 3 (2'-#5 BAR) SMOOTH DOWELS SHALL BE PLACED AT RADIUS POINTS AND AT 150' INTERVALS. THESE DOWEL BARS SHALL BE GREASED AND WRAPPED ON ONE END WITH EXPANSION TUBES.
2. 3" DEEP CONTRACTION JOINTS SHALL BE INSTALLED AT APPROXIMATELY 10' INTERVALS. THESE JOINTS SHALL PASS ACROSS THE ENTIRE CURB SECTION.
3. CONCRETE FILL SHALL HAVE UNIFORM AND SMOOTH FINISH.
4. KCMMB 4K CONCRETE SHALL BE USED FOR ALL CURB.
5. ASPHALT CONCRETE SURFACE COURSE SHALL CONFORM TO STANDARD SPECIFICATIONS SECTION 2205.2.
6. CURBS FOR NEW STREETS SHALL BE BUILT ON ASPHALT OR AGGREGATE BASE AS SHOWN IN TYPICAL SECTION DETAIL.
7. WHITE CURING COMPOUND MUST BE APPLIED UNIFORMLY TO THE CONCRETE SURFACE IMMEDIATELY AFTER FINAL FINISHING.



1. SIGN TO BE PER LOCAL JURISDICTION REQUIREMENTS. VERIFY SIZE, SHAPE & VERBIAGE
2. PROVIDE SIGN AT EACH HANDICAPPED ACCESSIBLE PARKING STALL.

ACCESSIBLE PARKING
SPACE SIGNAGE
NOT TO SCALE



ACCESSIBLE PARKING SYMBOL
NOT TO SCALE

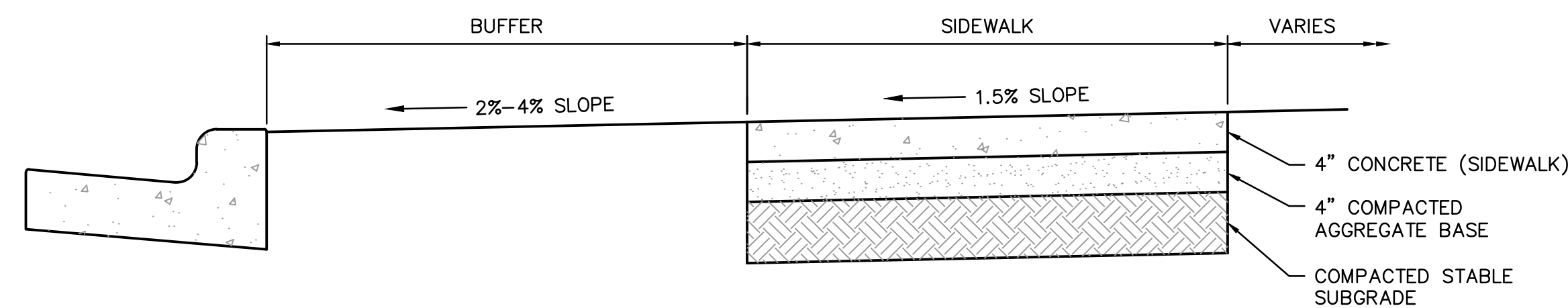


GENERAL NOTES:

1. SUBGRADE MUST BE OF STABLE, COMPACTED EARTH AND SHALL BE OVERLAYED WITH 4" COMPACTED DENSE GRADED AGGREGATE BASE.
2. 1.5% CROSS SLOPE MUST BE MAINTAINED THROUGH DRIVEWAYS.
3. KCMMB 4K CONCRETE MIX SHALL BE REQUIRED FOR ALL SIDEWALKS OR AS APPROVED BY THE CITY INSPECTOR.
4. ALL SIDEWALKS SHALL MEET CURRENT PUBLIC RIGHT OF WAY ACCESSIBILITY GUIDELINES (PROWAG)
5. AN EXPANSION JOINT SHALL BE PLACED AT A MAXIMUM OF 150 FT. CONSTRUCTION JOINTS SHALL BE PLACED THE SAME WIDTH OF SIDEWALK, BUT NO GREATER THAN 10 FT.
6. SIDEWALK FINISHING (NO PICTURE FRAMING) AS DIRECTED BY CITY INSPECTOR.
7. WHITE CURING COMPOUND MUST BE APPLIED UNIFORMLY TO THE CONCRETE SURFACE IMMEDIATELY AFTER FINAL FINISHING.



TYPICAL WALL SECTION



CONCRETE SIDEWALK WITH BUFFER
NOT TO SCALE

GENERAL NOTES:

1. SUBGRADE MUST BE OF STABLE, COMPACTED EARTH AND SHALL BE OVERLAYED WITH 4" COMPACTED DENSE GRADED AGGREGATE BASE.
2. 1.5% CROSS SLOPE MUST BE MAINTAINED THROUGH DRIVEWAYS.
3. KCMMB 4K CONCRETE MIX SHALL BE REQUIRED FOR ALL SIDEWALKS OR AS APPROVED BY THE CITY INSPECTOR.
4. ALL SIDEWALKS SHALL MEET CURRENT PUBLIC RIGHT OF WAY ACCESSIBILITY GUIDELINES (PROWAG)
5. AN EXPANSION JOINT SHALL BE PLACED AT A MAXIMUM OF 150 FT. CONSTRUCTION JOINTS SHALL BE PLACED THE SAME WIDTH OF SIDEWALK, BUT NO GREATER THAN 10 FT.
6. SIDEWALK FINISHING (NO PICTURE FRAMING) AS DIRECTED BY CITY INSPECTOR.
7. WHITE CURING COMPOUND MUST BE APPLIED UNIFORMLY TO THE CONCRETE SURFACE IMMEDIATELY AFTER FINAL FINISHING.

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JACKSON COUNTY

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PRELIMINARY DEVELOPMENT PLAN

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12.10.19

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STANDARD DETAILS

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