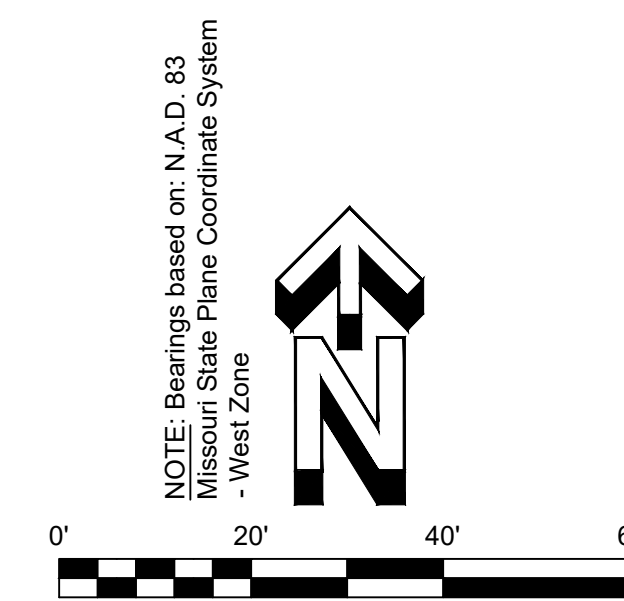




UTILITIES SHOWN HEREON ARE BASED ON PLAN INFORMATION AND ABOVE GROUND FEATURES TO THE BEST OF OUR KNOWLEDGE. THIS EXISTING CONDITIONS DRAWING DOES NOT GUARANTEE THE "EXISTENCE OR NON EXISTENCE" OF UNDERGROUND UTILITIES. PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL CONTACT MISSOURI 811 AND FIELD VERIFY UTILITIES. CONTRACTOR SHALL IMMEDIATELY NOTIFY ENGINEER OF ANY UTILITIES ENCOUNTERED BUT NOT SHOWN HEREON OR IF LOCATION OF UTILITIES VARIES FROM THAT SHOWN ON THE PLANS.

ALL EXISTING ITEMS ON THE SITE SHALL BE DEMOLISHED UNLESS OTHERWISE INDICATED. ITEMS TO BE DEMOLISHED SHALL BE COORDINATED WITH OWNER. CONTRACTOR SHALL HAUL DEMO ITEMS OFF-SITE. EXISTING WATER METER SHALL REMAIN.

ALL REMOVAL AREAS SHOWN SHALL BE SAW CUT TO FULL DEPTH WHEN ADJACENT TO REMAINING PAVEMENT.

Benchmark #1:
Iron Pin
Northing = 997,235.05'
Easting = 2,828,035.85'
Elev. = 1,026.08'

Benchmark #2:
Iron Pin
Northing = 997,050.27'
Easting = 2,828,015.40'
Elev. = 1,026.54'

linear!
Marc Brundige,
Architect
8951 CYPRESS WATERS BLVD., STE 13
DALLAS, TX 75019
PHONE: 972.929.9226
FAX: 972.929.9061



4200 W. 115TH ST. STE. 200
LEAWOOD, KANSAS
66211
OFFICE: (913) 327-3120
CELL: (913) 544-3421

PROJECT TYPE: NEW
SMART 55 - NARROW

MICHAEL E. NEIKIRK PE
Civil Engineer
306 North Market Street Ste. 101
Mt. Carmel, IL 62863
Phone: (618) 263-4100

Wendy's®
#12533 (NPCQB#6042)
711 E MISSOURI 291 HWY
LEE'S SUMMIT, MO 64063

[illegible]

ISSUE DATE: 12-02-19

PROJECT NUMBER:
NPCQB#6042

DRAWN BY: RM, TJL

CHECKED BY: MEN, TJL



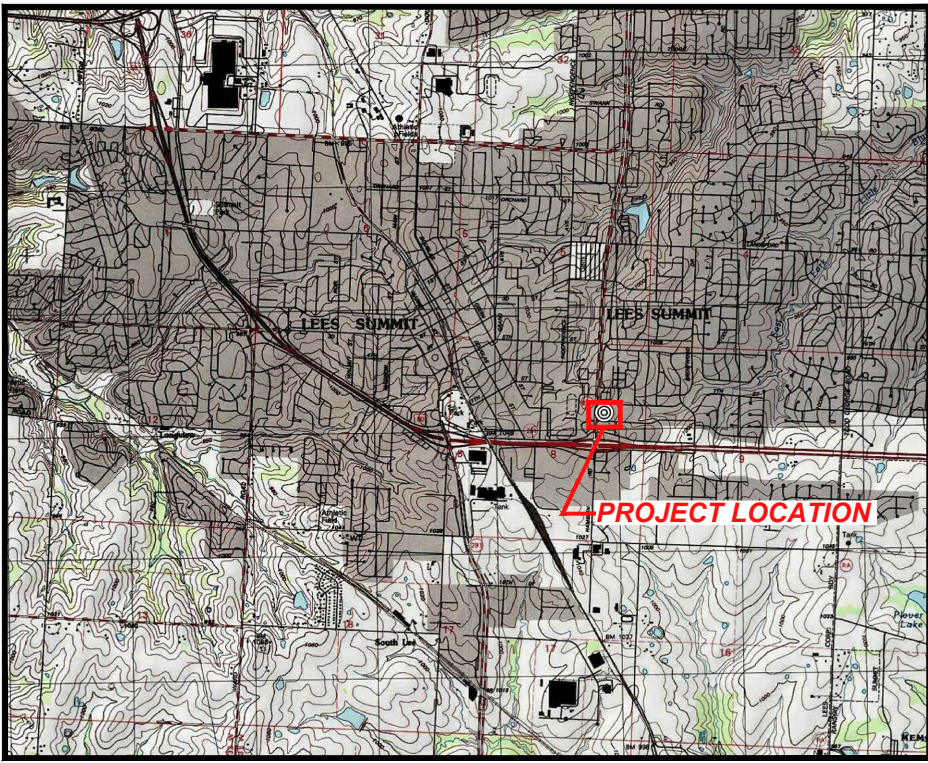
EXISTING CONDITIONS

SHEET NUMBER

C1

NOT FOR CONSTRUCTION - CITY REVIEW SET

\\Users\\Viehm\\Google Drive\\Projects\\Dgn\\2019 JOBS\\1921 NPC - Wendy's Lee's Summit, MO (1)\\CAD\\1921 Wendy's Lee's Summit, MO.dwg, 2/2/2019 1:10:45 PM



VICINITY MAP
(NOT TO SCALE)

SITE PLAN DESIGN NOTES

- | | | | | |
|--|-------|---|--|------|
| 1 TRAFFIC DIRECTIONAL MARKER | 5 C7 | 10 LANDSCAPING AREA | 19 SIDEWALK WITH MIN. 24" DETECTABLE WARNING | 4 C7 |
| 2 DIAGONAL STRIPING - 4" YELLOW @ 24" O.C. | 2 C7 | 11 SAFETY RAILING SEE ARCHITECTURAL DETAILS | 20 SAWCUT CURB / PAVEMENT FULL DEPTH FOR CLEAN JOINT | |
| 3 ADA ACCESSIBLE PARKING STALLS | 2 C7 | 12 SIDEWALK RAMP WITH MIN. 24" DETECTABLE WARNING | 21 5' x 5' CONCRETE STOOP | 1 C7 |
| 4 INTEGRAL CURB AND SIDEWALK | 8 C7 | 13 MENU BOARD | 22 CANOPY PROTECTION BAR | 7 C8 |
| 5 DUMPSTER ENCLOSURE | 9 C8 | 14 ORDER STATION | 23 ADA ACCESSIBLE PARKING SIGN | 7 C7 |
| 6 CONCRETE CURB | 11 C7 | 15 PRE-SELL BOARD | 24 CONCRETE SIDEWALK | 3 C7 |
| 7 ASPHALT PAVEMENT | 9B C7 | 16 BOLLARD | 25 OUTDOOR PATIO SEE ARCHITECTURAL SHEETS | |
| 8 PAVEMENT STRIPING - 4" YELLOW | | 17 CONCRETE PAVEMENT | 26 PYLON SIGN SEE ARCHITECTURAL SHEETS | |
| 9 DUMPSTER PAD - 8" CONCRETE PAVEMENT W/ APRON | 12 C7 | 18 PAVEMENT MARKER DETAIL | 27 AREA LIGHT - SEE SHEET C10 | |
| | | | 28 TRANSITION FROM 6" CURB TO EXISTING CURB | |

LEGEND	
Benchmark	Sanitary Sewer Manhole
Iron Pin Found	Sign
Backflow Preventer	Water Meter
Bollard	Water Valve
Soil Boring Location	Utility Pole
Sanitary Sewer Cleanout	TBR To Be Removed
Gas Meter	TC Top of Curb
Storm Sewer Curb Inlet	PV Pavement
Storm Sewer MH/Open Lid	ME Match Existing
Light Pole or Traffic Light	Grade point
Storm Sewer Manhole	Number of Parking Spaces
Air Conditioner	TBR To Be Removed

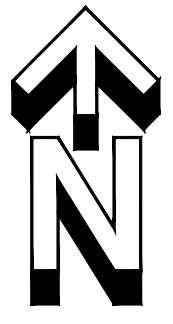
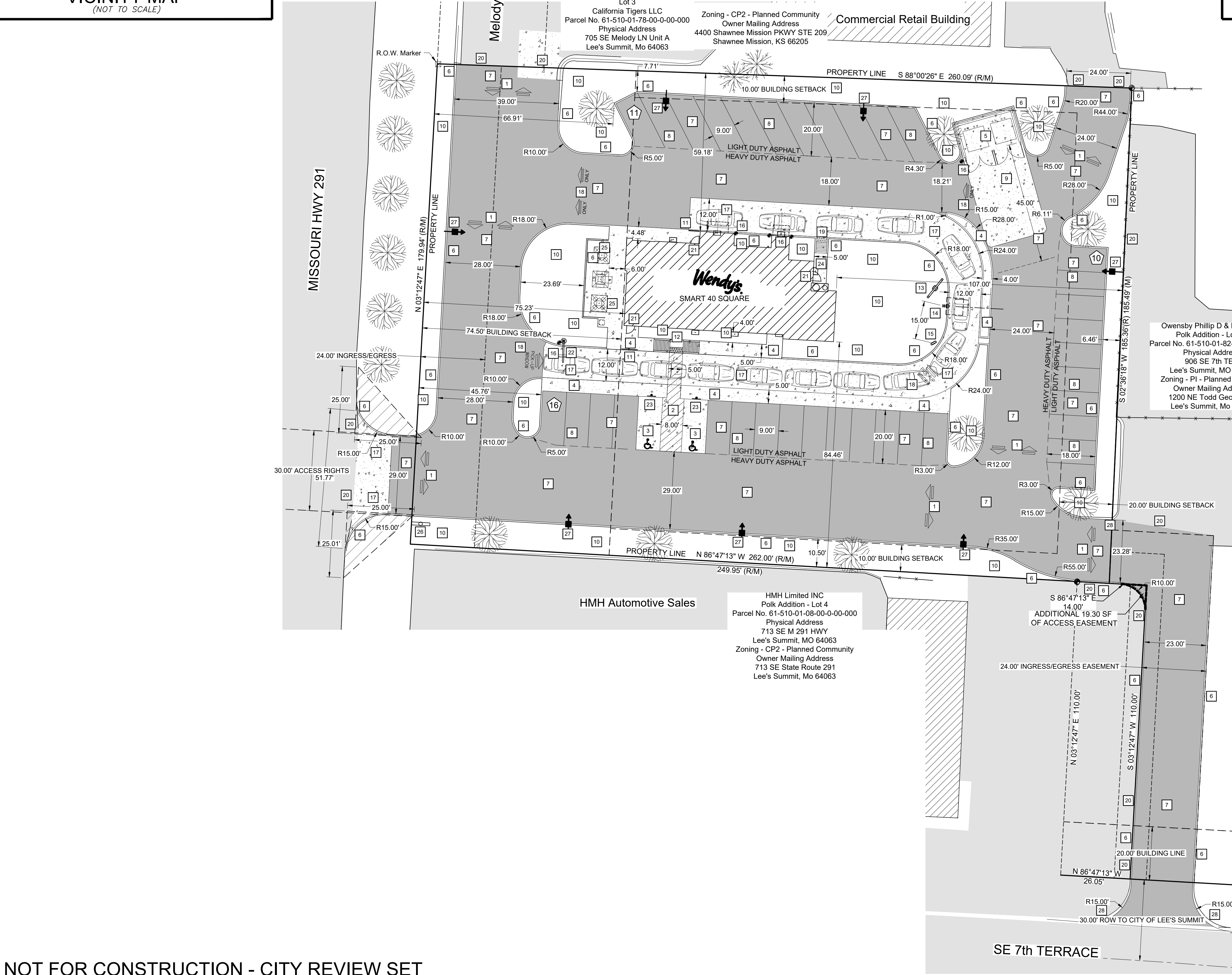
W	W	Water Line
SS	SS	Sanitary Sewer Main
X	X	Fence
470	470	Existing Contours
UGE	UGE	Proposed Contours
S	S	Underground Electric
S	S	Storm Sewer
OHE	OHE	Limits of Pavement Removal
GAS	GAS	Overhead Utility Lines
Ditch / Swale	Ditch / Swale	Gas Lines

Existing Asphalt	Gravel
New Asphalt	Existing Concrete
New Concrete	

SITE DATA

- AREA OF SITE: 47,692.73 SQ.FT. - 1.09 ACRES.
- PARKING CONDITIONS ARE AS FOLLOWS:
MIN. REQUIRED SPACES: 14 PER 1000 SQ.FT. GROSS FLOOR SPACE
TOTAL GROSS FLOOR SPACE: 2,504 SQ. FT.
PARKING REQUIRED: 35 STALLS
ACTUAL SPACES:
35 REGULAR SPACES
2 ACCESSIBLE SPACES
TOTAL SPACES: 37
- PROPERTY ZONING
CP-2, PLANNED COMMUNITY COMMERCIAL
- EXISTING USE: RESTAURANT
PROPOSED USE: RESTAURANT WITH DRIVE THRU
- DRIVE THRU STACKING REQUIRED: 4 FROM MENU BOARD AND 4 FROM FIRST WINDOW
DRIVE THRU STAKING ACTUAL: 14 FROM FIRST WINDOW
- PHYSICAL ADDRESS : 711 SE M 291 HWY
LEE'S SUMMIT, MO 64063
- PARCEL INFORMATION: LEE'S SUMMIT 29197 LLC
POLK ADDITION - LOT 5A
PARCEL NO. 61-510-01-81-01-0-00-000
- OWNER ADDRESS: 605 W 47TH ST 100,
KANSAS CITY, MO 64112
- BUILDING FLOOR AREA: 2,506 SQ.FT.
FLOOR AREA RATIO = 2,506 / 47,692.73 (LOT AREA) = 5.25%
- BUILDING HEIGHT: 24 FT.
- DRAINAGE: LOT AREA= 47,692.73 SQ.FT.
EXISTING:
IMPERVIOUS AREA: 43,283 SQ.FT. = 90.75%
PERVIOUS AREA: 4,409.73 S.F.T. = 9.25%
PROPOSED:
IMPERVIOUS AREA: 35,431.21 SQ.FT. = 74.29%
PERVIOUS AREA: 12,260.52 SQ.FT. = 25.71%

ZONING REQUIREMENTS:
Zoning - CP2 - Planned Community
1. Minimum Front Yard: 15'
2. Minimum Side Yard: 10'
3. Minimum Rear Yard: 20'
4. Building Height: 40'
*74.5' Front Building Setback line per Polk Addition, Lots 5A and 5B plat recorded as document 2001-1 0078588.



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SITE NUMBER:	12802
BASE MDL: SMART 55 - NARROW 2017	
ASSET TYPE:	FRAN
CLASSIFICATION:	NEW
OWNER:	NPCQB
BASE VERSION:	2017
UPGRADE CLASSIFICATION:	NEW BUILD
PROJECT YEAR:	2019
FURNITURE PACKAGE:	2016 V3
DRAWING RELEASE	SPRING 2018

linear!
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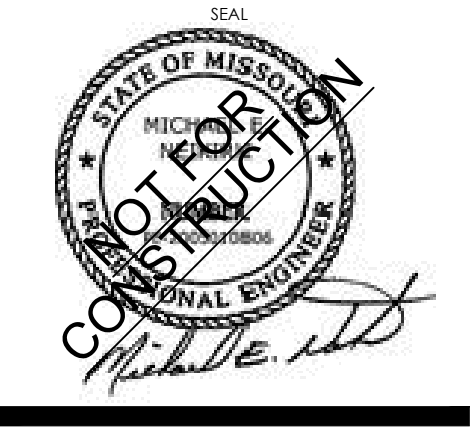
PROJECT TYPE: NEW
SMART 55 - NARROW

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Civil Engineer
306 North Market Street Ste. 101
Mt. Carmel, IL 62863
Phone: (618) 263-4100

Wendy's
#12533 (NPCQB#6042)
711 E MISSOURI 291 HWY
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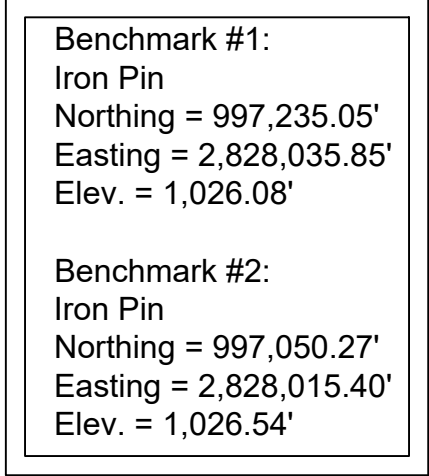
REV.	DATE	DESCRIPTION

ISSUE DATE: 12-02-19
PROJECT NUMBER: NPCQB#6042
DRAWN BY: T.J.L. RM
CHECKED BY: MEN. T.J.L.



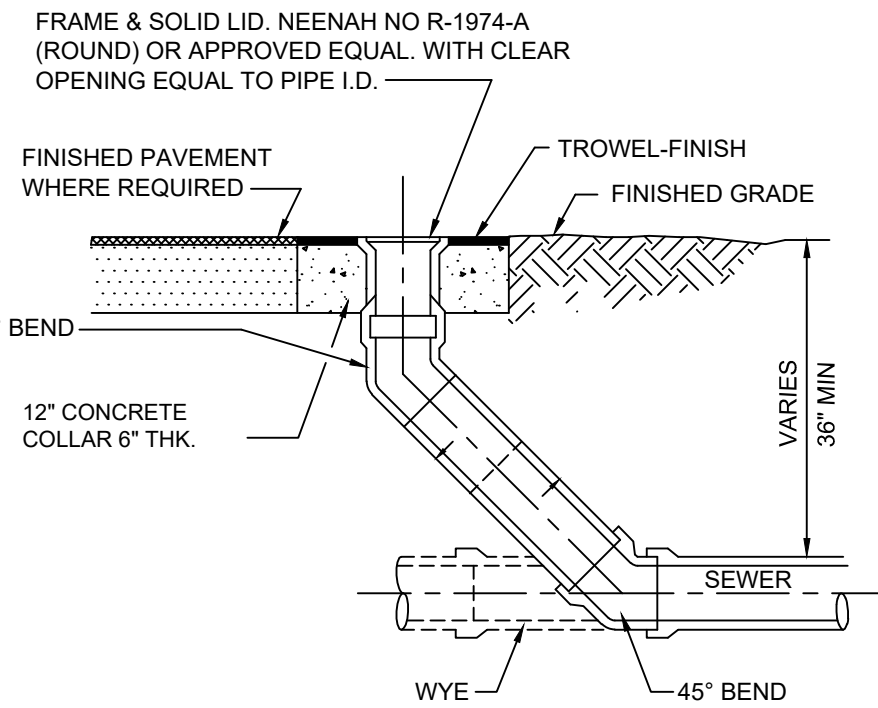
SHEET NAME
SITE PLAN

SHEET NUMBER
C2



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711 E MISSOURI 291 HWY
LEE'S SUMMIT, MO 64063

C3



NOT FOR CONSTRUCTION - CITY REVIEW SET

CONTRACTOR CONSTRUCTION NOTES

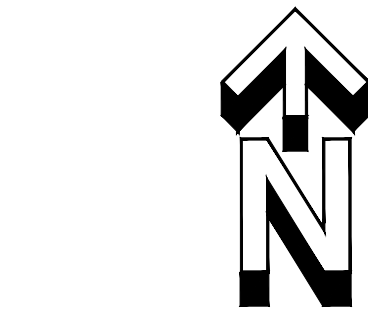
1 CONTRACTOR SHALL VERIFY LOCATION, SIZE, AND ELEVATION OF EXISTING WATER MAIN PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES. ALL WATER CONNECTIONS SHALL BE COORDINATED WITH PROPER UTILITY COMPANY PRIOR TO CONSTRUCTION. CONSTRUCTION SHALL CONFORM TO LOCAL PLUMBING CODE.

2. CONTRACTOR SHALL COORDINATE CONNECTION POINT, SERVICE SIZE AND TRANSFORMER LOCATION WITH ELECTRICAL SERVICE CO. PRIOR TO CONSTRUCTION. METER BASES CANNOT BE MOUNTED ON TRANSFORMERS. CURRENT TRANSFORMERS FOR SERVICES ABOVE 400 AMPERES CAN BE INSTALLED ON POLES, BUILDINGS, OR INSULATED TRANSFORMER. WILSON ENERGY WILL SPOT ALL TRANSFORMER AND METER LOCATIONS. PLEASE NOTIFY ELECTRIC COMPANY OF EXACT ELECTRICAL REQUIREMENTS SUCH AS TOTAL CONNECTED LOAD AND VOLTGE REQUIREMENTS. ANY TREES OR SHRUBBERY THAT INTERFERES WITH WILSON ENERGY ELECTRICAL LINES IN THE FUTURE WILL BE REMOVED.

3 CONTRACTOR SHALL VERIFY LOCATION, SIZE AND INVERT OF EXISTING SANITARY SEWER PRIOR TO CONSTRUCTION AND COORDINATE WITH PROPER UTILITY COMPANY PRIOR TO CONSTRUCTION. NOTIFY ENGINEER OF ANY DISCREPANCIES. CONTRACTOR SHALL INSPECT THE EXISTING LINE TO ENSURE IT IS NOT DAMAGED AND NOTIFY ENGINEER OF UNSATISFACTORY CONDITIONS. CONSTRUCTION SHALL CONFORM TO LOCAL PLUMBING CODE.

4 CONTRACTOR SHALL COORDINATE WITH GAS SERVICE PROVIDER PRIOR TO CONSTRUCTION. EXPOSURES ARE TO BE MADE ON GAS MAIN TO VERIFY LOCATION AND DEPTH PRIOR TO CONSTRUCTION. CONSTRUCTION SHALL CONFORM TO LOCAL GAS AND PLUMBING CODE.

5. CONTRACTOR SHALL COORDINATE CONNECTION POINT AND SERVICE SIZE WITH APPROPRIATE SERVICE PROVIDER PRIOR TO CONSTRUCTION FOR BOTH TELEPHONE AND CABLE TV SERVICE.



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linear!
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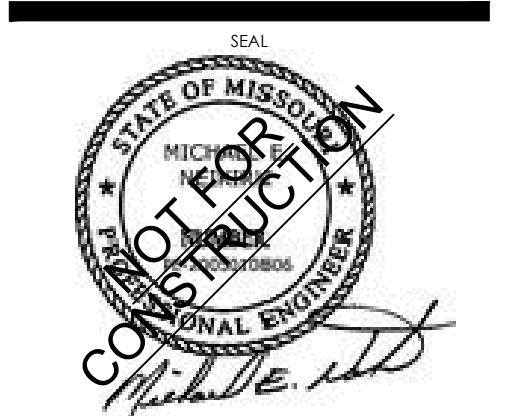
ISSUE DATE: 12-02-19

PROJECT NUMBER:

NPCQB#6042

DRAWN BY: TJL, RM

CHECKED BY: MEN, TJL

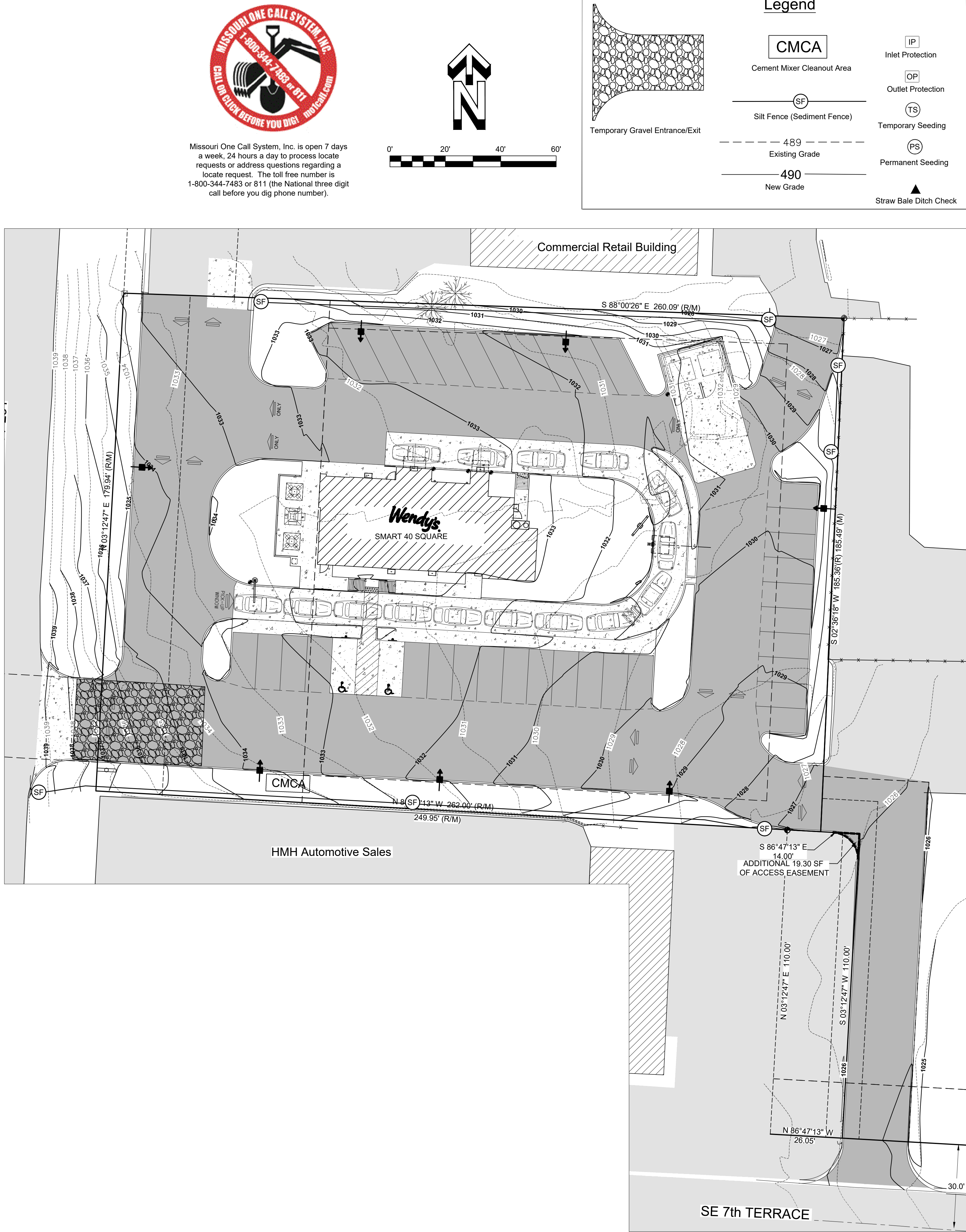
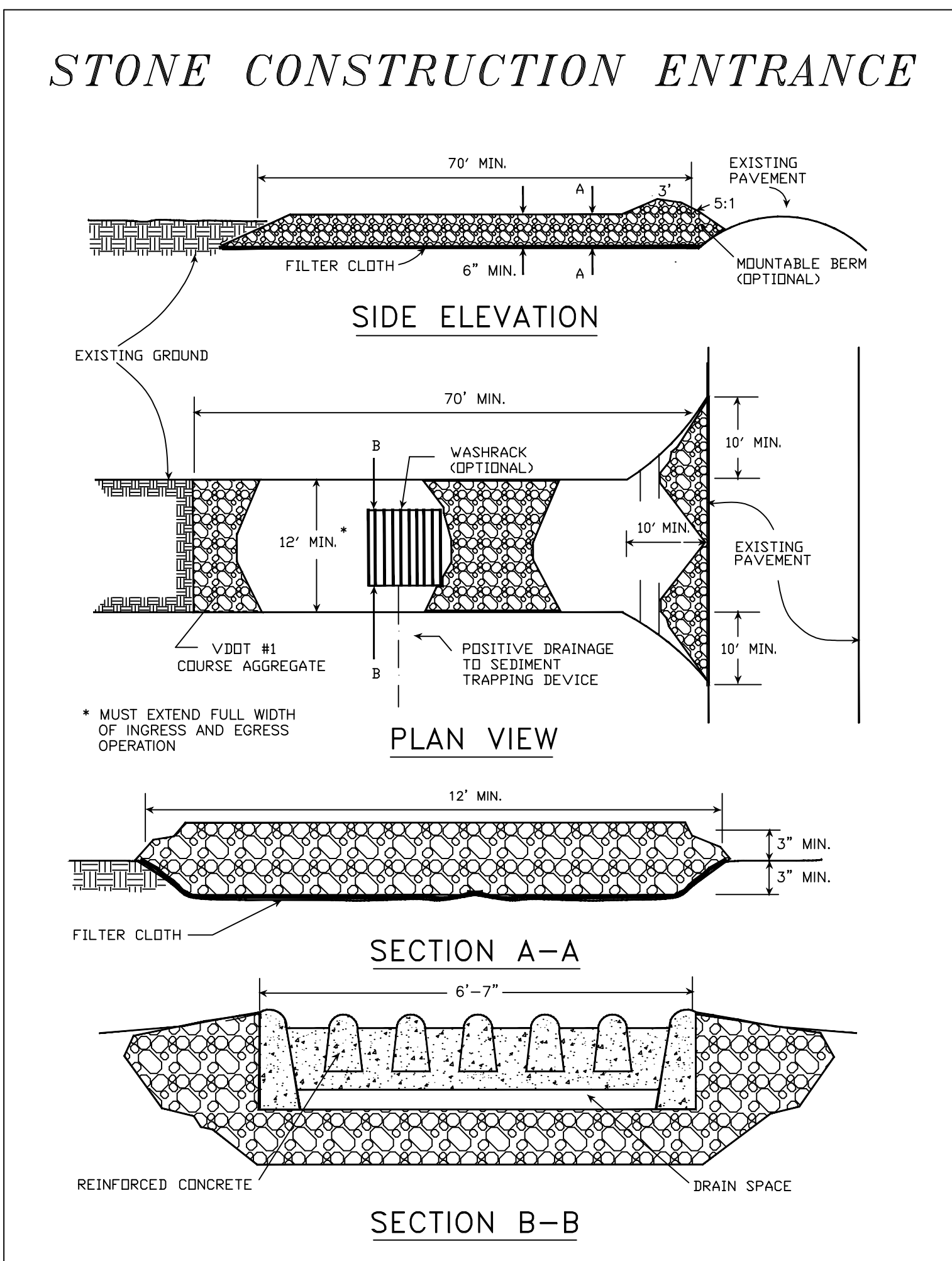


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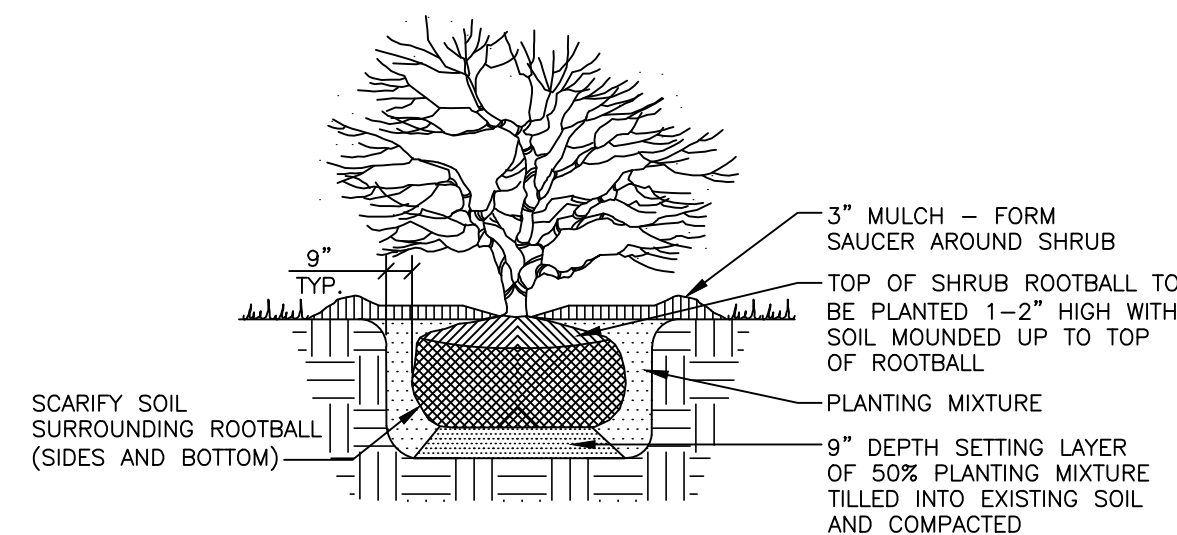
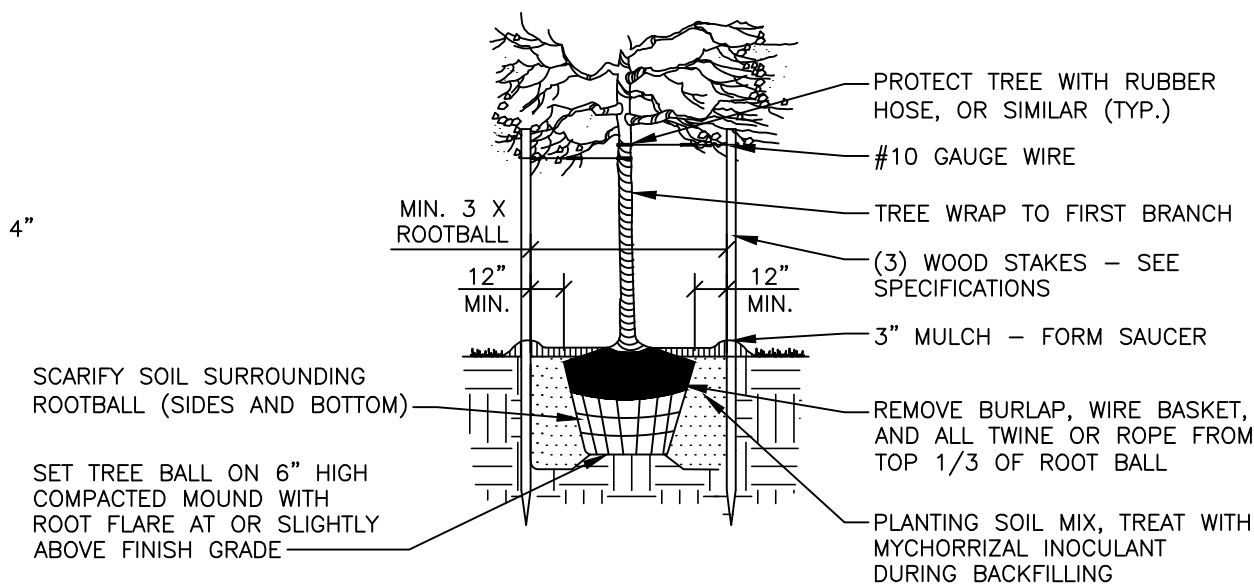
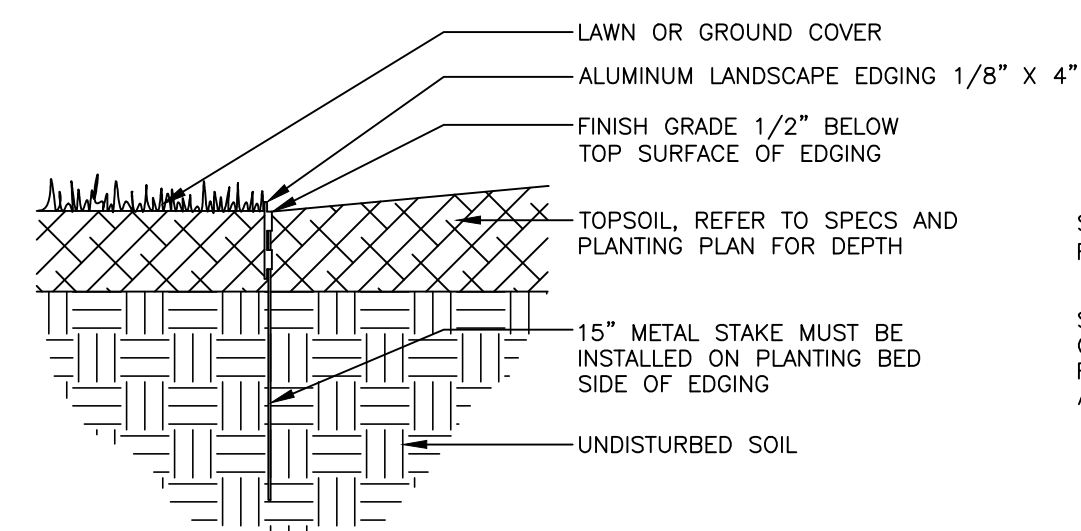
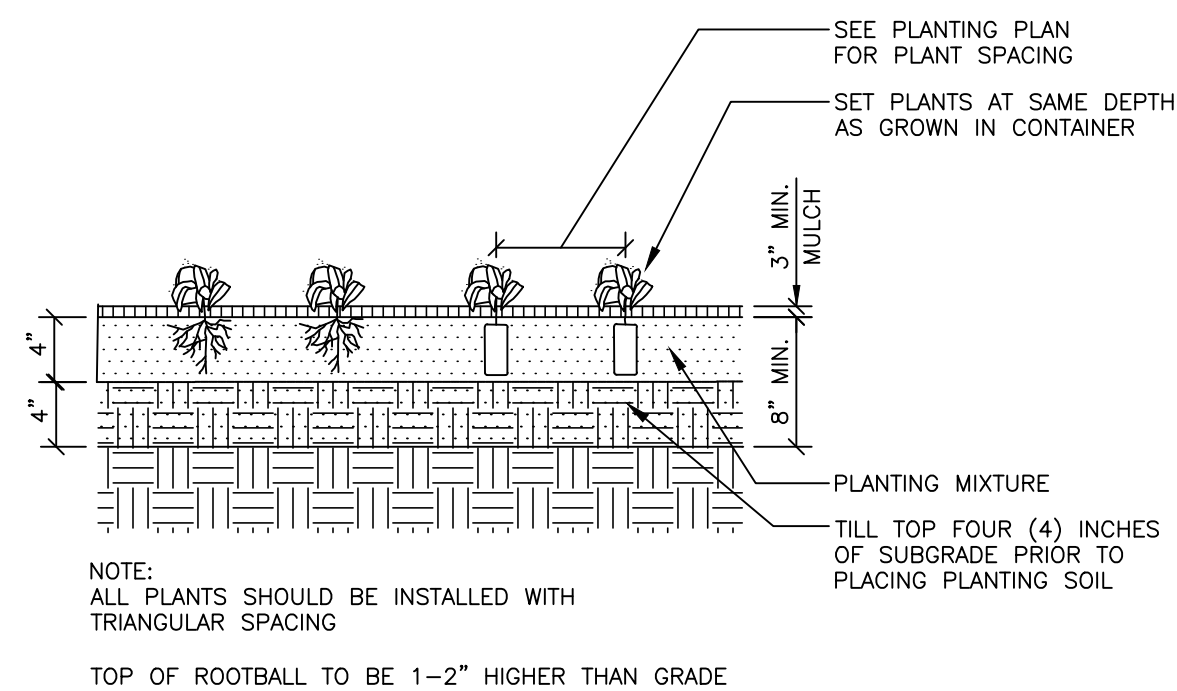
UTILITY PLAN

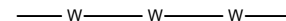
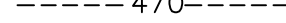
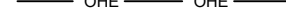
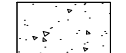
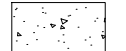
SHEET NUMBER

C4



C5

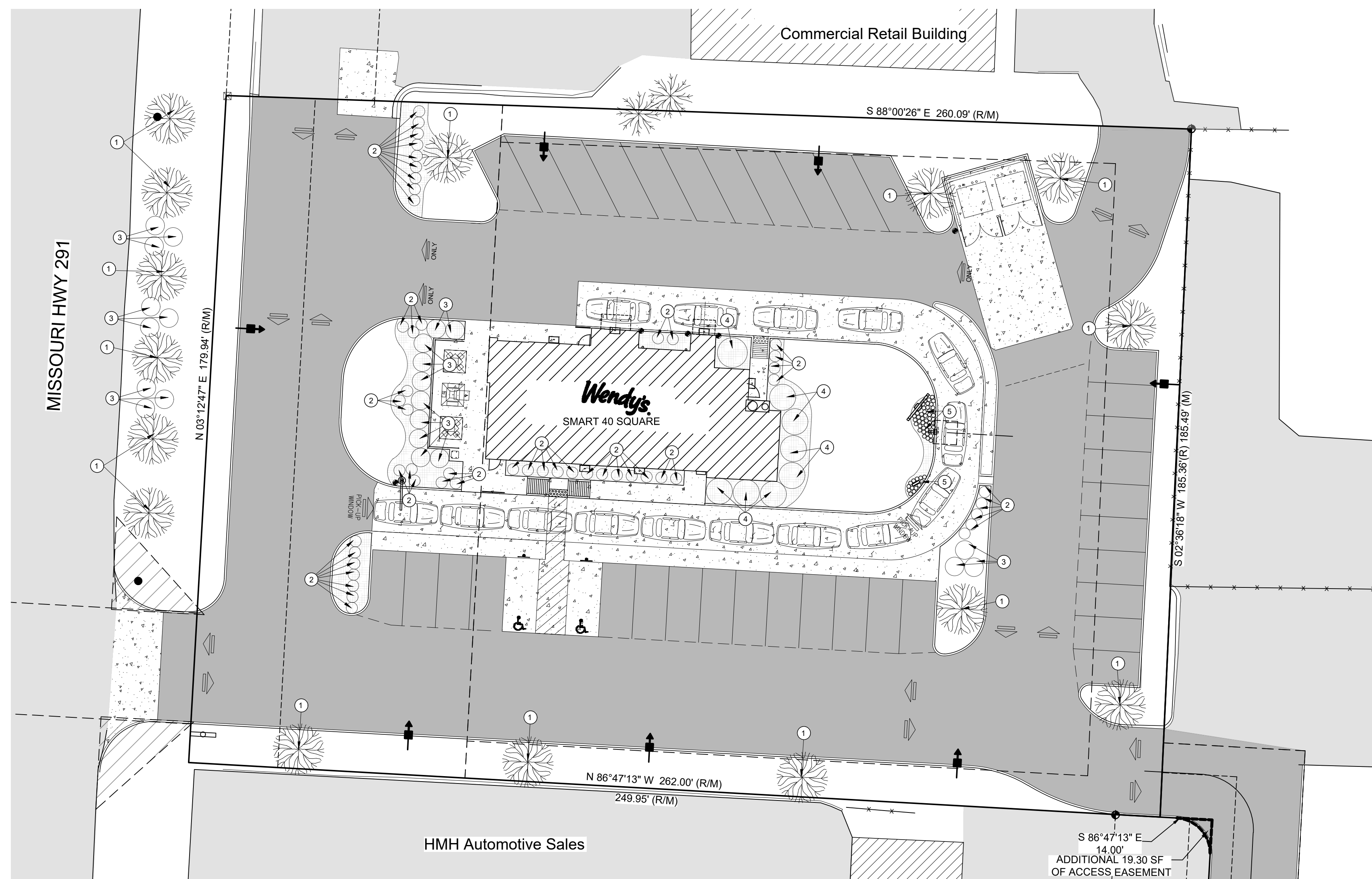


	Benchmark		Sanitary Sewer Manhole	LEGEND	
	Iron Pin Found		Sign		
	Iron Pin Set		Water Meter		
	Bollard		Water Valve		
	Soil Boring Location		Utility Pole		Water Line
	Sanitary Sewer Cleanout	TBR	To Be Removed		Sanitary Sewer Main
	Gas Meter	TC	Top of Curb		Fence
	Storm Sewer Curb Inlet	PV	Pavement		Existing Contours
	Storm Sewer MH/Open Lid	ME	Match Existing		New Contours
	Light Pole or Traffic Light	<u>470.0</u>	Grade point		Underground Electric
	Storm Sewer Manhole		Number of Parking Spaces		Storm Sewer
	Air Conditioner	TBR	To Be Removed		Limits of Pavement Removal
					Overhead Utility Lines
					Gas Lines
					Ditch / Swale
					Existing Asphalt
					New Asphalt
					New Concrete
					Existing Asphalt TBR
					Gravel
					Existing Concrete
					Stormwater Easement

KEYNOTE	COMMON NAME	SCIENTIFIC NAME	QUANTITY	SIZE
①	Red Maple	Acer rubrum	18	3" CALIPER
②	Green Velvet Boxwood	Buxus x 'Green Velvet'	35	2 GAL. CONTAINER
③	Koreanspice Viburnum	Viburnum carlesii 'Compactum'	15	2 GAL. CONTAINER
④	Blue Point Juniper	Juniperus chinensis 'Blue Point'	8	24"-30" BALLED AND BURLAPPED
⑤	Liriope 'Big Blue'	Liriope muscari 'Big Blue'	56	2 1/2" PEA POT

LANDSCAPING REQUIREMENTS

1. Planting areas shall be mulched. All planting areas and lawn areas shall be separated by steel edging. Aluminum edging is not required adjacent to buildings, sidewalks, or curbs. Cut steel edging at 45 degree angle where it intersects walks and curbs.
2. All landscaped and lawn areas shall be irrigated through the use of an automatic underground irrigation system with rain and freeze sensors and evapotranspiration weather-based controllers. Irrigation system shall be designed and installed by a licensed irrigation contractor. Hunter Irrigation System shall be used unless equal is approved by owner.
3. All landscape material shall be maintained in accordance with the American Standard for Nursery Stock as published by the American Association of Nurserymen. All dead, dying, or diseased material will be replaced, in kind, by the contractor within the next available planting season.
4. All portion of the site not covered with paving or buildings shall be landscaped. Open area not covered with other materials shall be covered with sod. Ground cover shall be utilized on all slopes in excess of 3:1 slopes.
5. Street Frontage = 179.94'
Required Trees: 1 tree required for each 30 feet of street frontage = 6 required trees
Actual Trees: 6 trees along frontage.
Required Shrubs: 1 shrub for each 20 feet of street frontage = 9 required shrubs
Actual Shrubs = 9 shrubs along frontage
6. Parking Lot Screening = 48.50'
Required Trees: 12 Shrubs required for each 40 feet of Parking Lot = 15 Shrubs
Actual Shrubs: 16 Shrubs along Parking Lot Frontage
7. Total Lot Area minus Building Footprint = 45,186.73 Sq. Ft.
Required Shrubs: 2 shrubs per 5,000 sq. ft. of total lot area = 18 Shrubs
Actual Shrubs = 56 Shrubs on Lot (not used for Street Frontage or Parking Lot Screening)
Required Trees: 1 Tree per 5,000 sq. ft. of total lot area = 9 Trees
Actual Trees = 9 Trees
8. Total Vehicle Use Area = 30,676.20 Sq. Ft.
Required Interior Landscape Area: 5% of VUA = 1,534 Sq. Ft.
Actual Interior Landscape Area = 1,876 Sq. Ft.



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SITE NUMBER:	12802
BASE MDL: SMART 55 - NARROW 2017	
ASSET TYPE:	FRAM
CLASSIFICATION:	NEW
OWNER:	NPCQB
BASE VERSION:	2017
UPGRADE CLASSIFICATION:	NEW BUILD
PROJECT YEAR:	2019
FURNITURE PACKAGE:	2016 V3
DRAWING RELEASE	SPRING 2018

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711 E MISSOURI 291 HWY
LEES SUMMIT MO 64063

[illegible]

ISSUE DATE: 12-02-19

PROJECT NUMBER:

DRAWN BY: TJL, RM

CHECKED BY: MEN, TJL

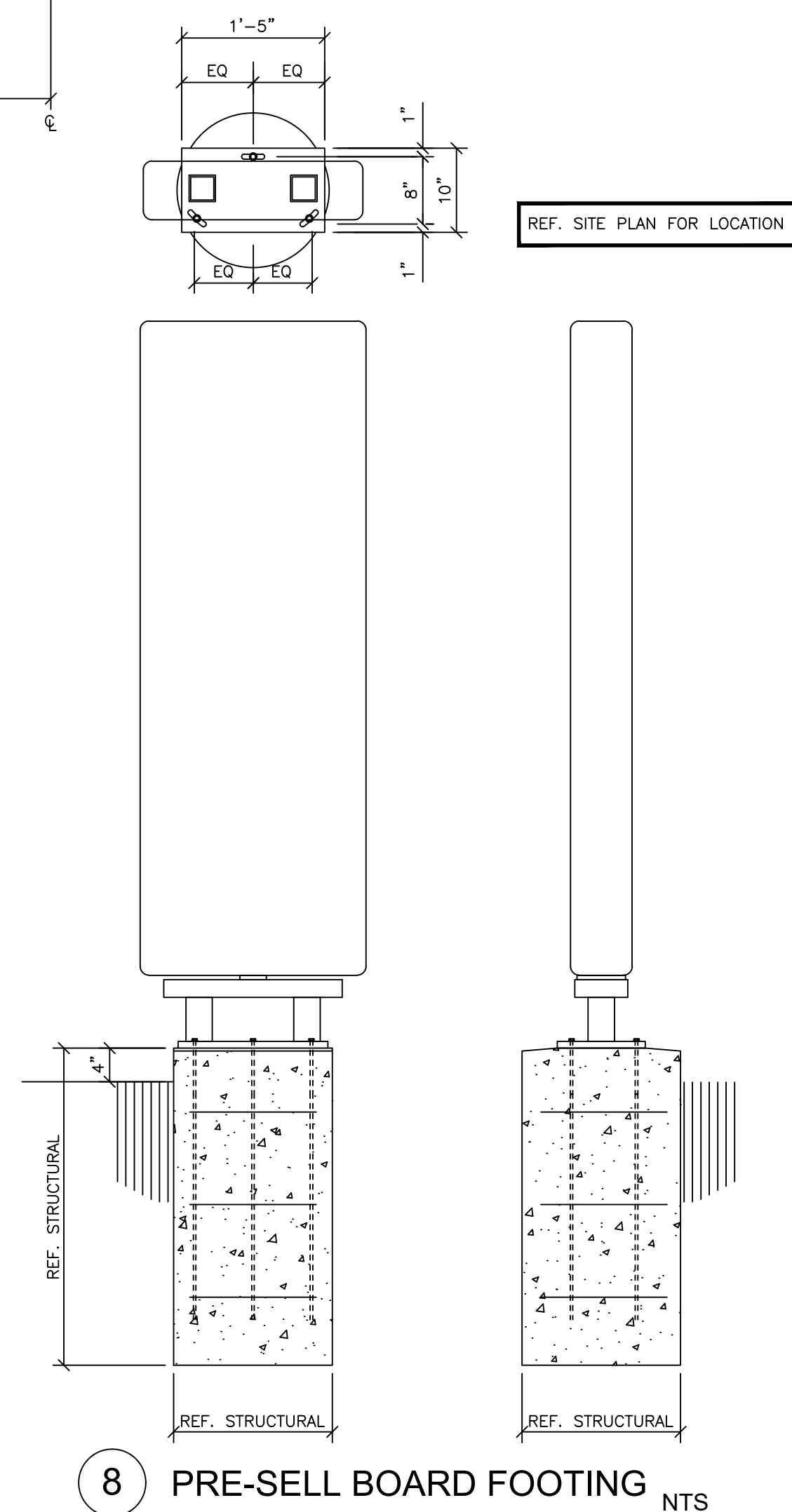
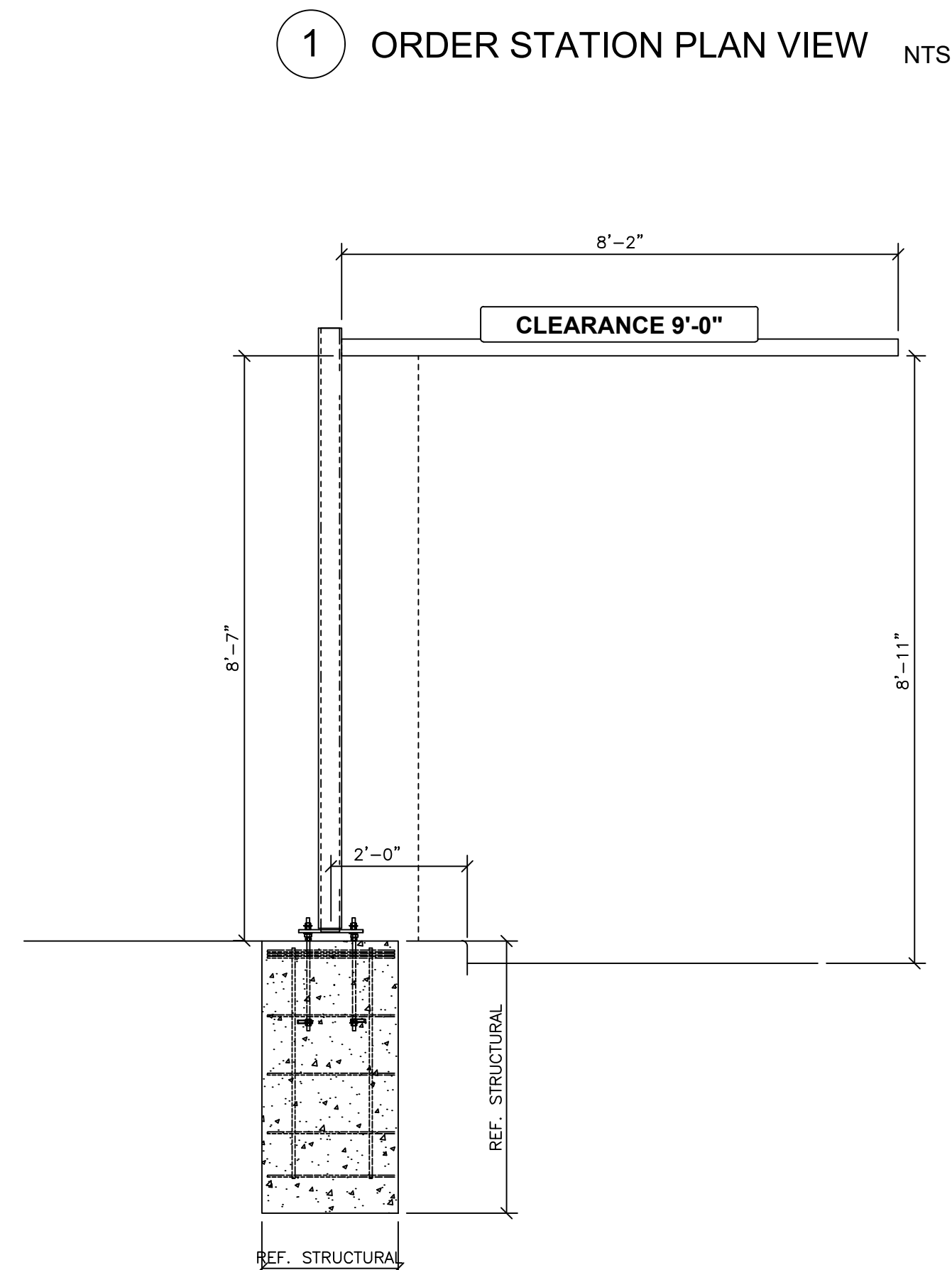
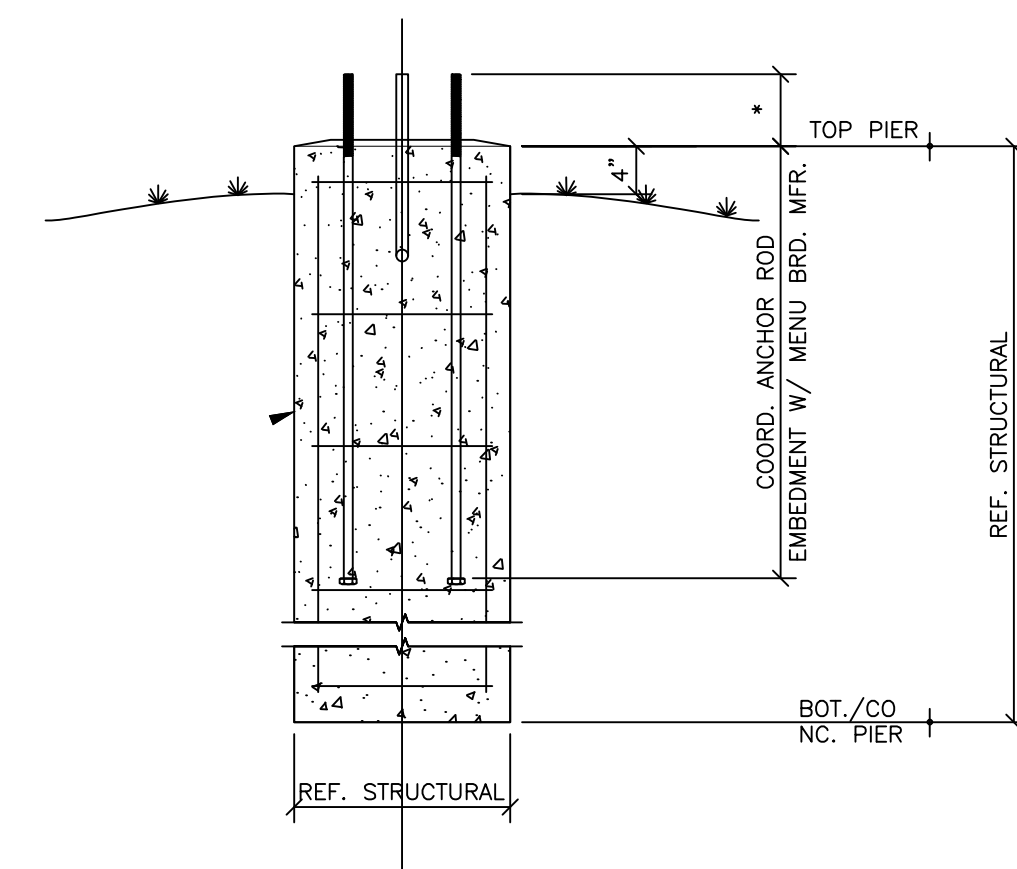
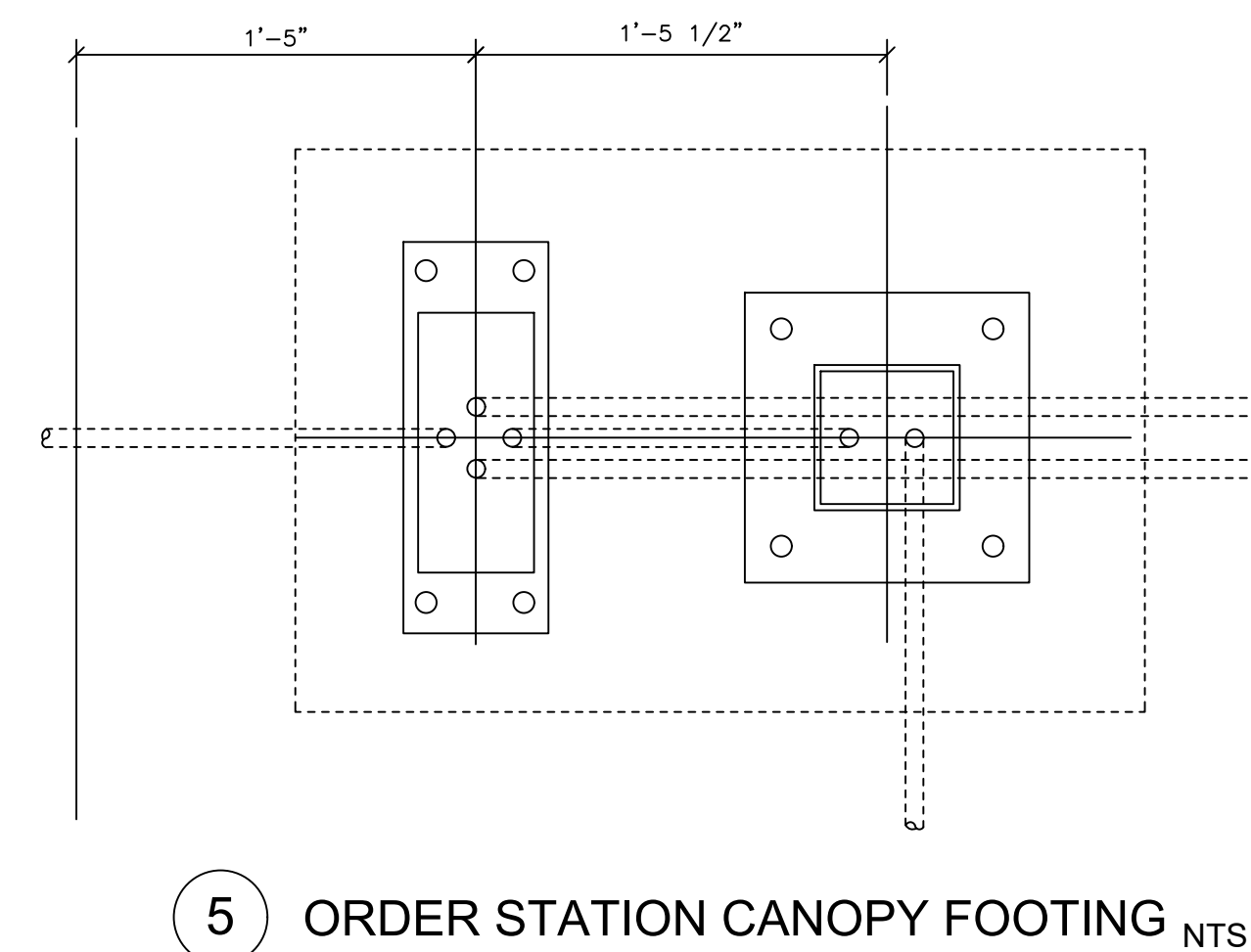
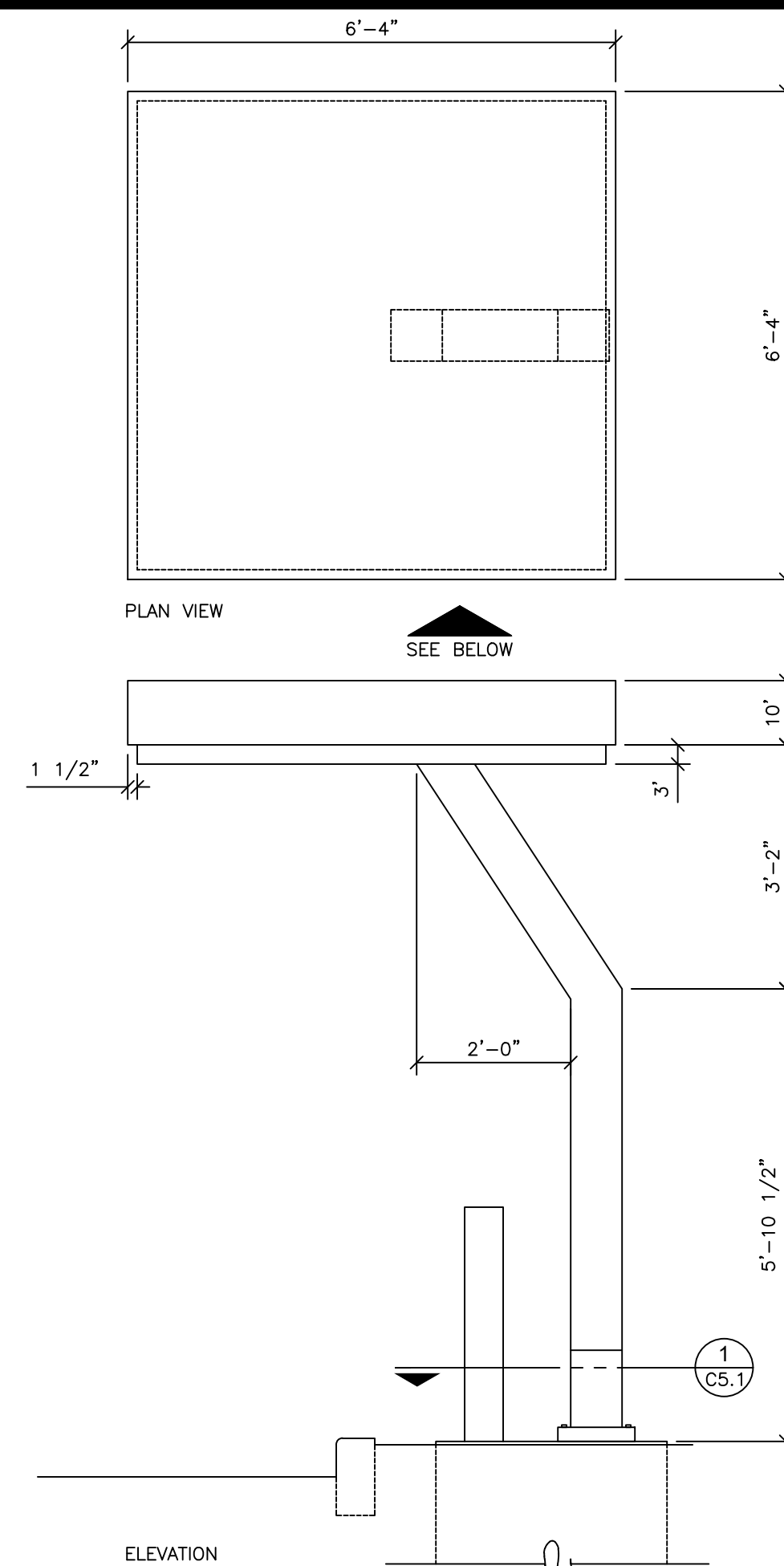
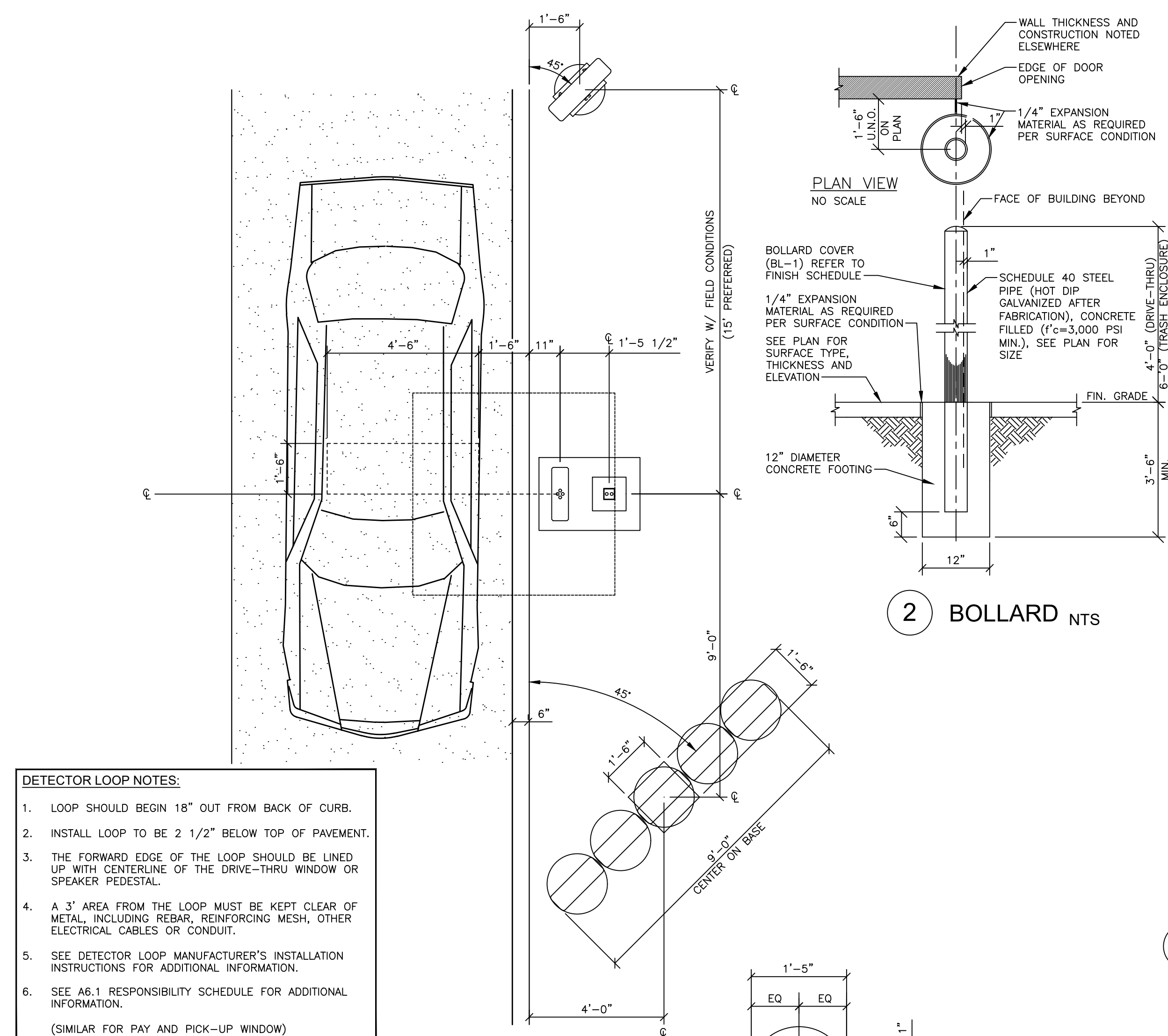


SHEET NAME

LANDSCAPE PLAN

SHEET NUMBER

C6



REF. SITE PLAN FOR LOCATION

DETECTOR LOOP NOTES:

1. LOOP SHOULD BEGIN 18" OUT FROM BACK OF CURB.
2. INSTALL LOOP TO BE 2 1/2" BELOW TOP OF PAVEMENT.
3. THE FORWARD EDGE OF THE LOOP SHOULD BE LINED UP WITH CENTERLINE OF THE DRIVE-THRU WINDOW OR SPEAKER PEDESTAL.
4. A 3' AREA FROM THE LOOP MUST BE KEPT CLEAR OF MATERIAL INCLUDING REBAR, REINFORCING MESH, OTHER ELECTRICAL CABLES OR CONDUIT.
5. SEE DETECTOR LOOP MANUFACTURER'S INSTALLATION INSTRUCTIONS FOR ADDITIONAL INFORMATION.
6. SEE A6.1 RESPONSIBILITY SCHEDULE FOR ADDITIONAL INFORMATION.

(SIMILAR FOR PAY AND PICK-UP WINDOW)

SITE NUMBER:	12802
BASE MDL: SMART 55 - NARROW 2017	
ASSET TYPE:	FRAN
CLASSIFICATION:	NEW
OWNER:	NPCQB
BASE VERSION:	2017
UPGRADE CLASSIFICATION:	NEW BUILD
PROJECT YEAR:	2019
FURNITURE PACKAGE:	2016 V3
DRAWING RELEASE	SPRING 2018

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npc
quality burgers

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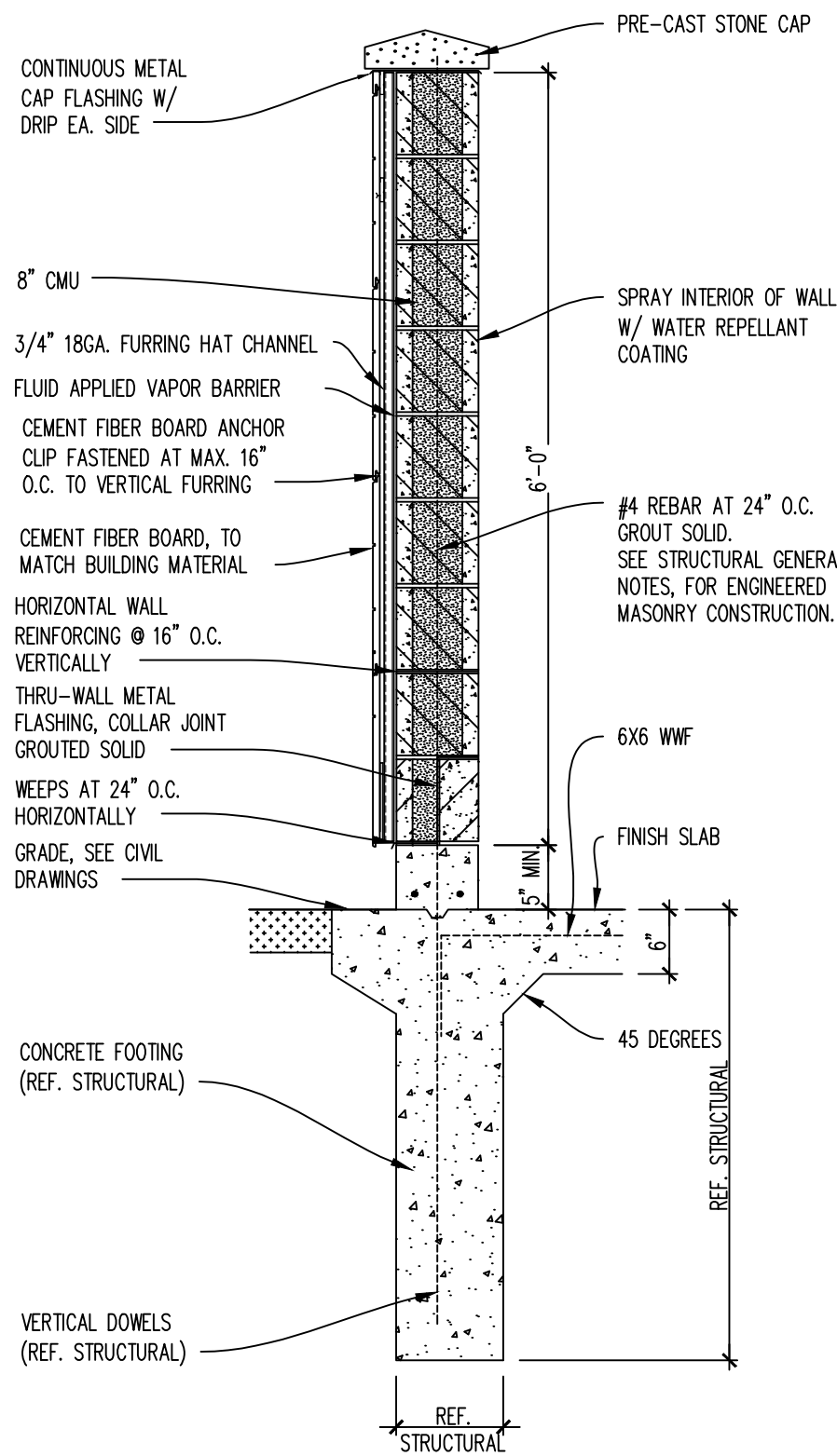
A circular professional engineer seal for the State of Missouri. The outer ring contains the text "STATE OF MISSOURI" at the top and "PROFESSIONAL ENGINEER" at the bottom, separated by two stars on each side. Inside the ring, the name "MICHAEL E. SMITH" is printed above the license number "NO. 00879606". A diagonal watermark reading "COPY FOR CONSTRUCTION" is overlaid across the center of the seal. Below the seal, there is a handwritten signature that appears to read "Michael E. Smith".

SHEET NAME

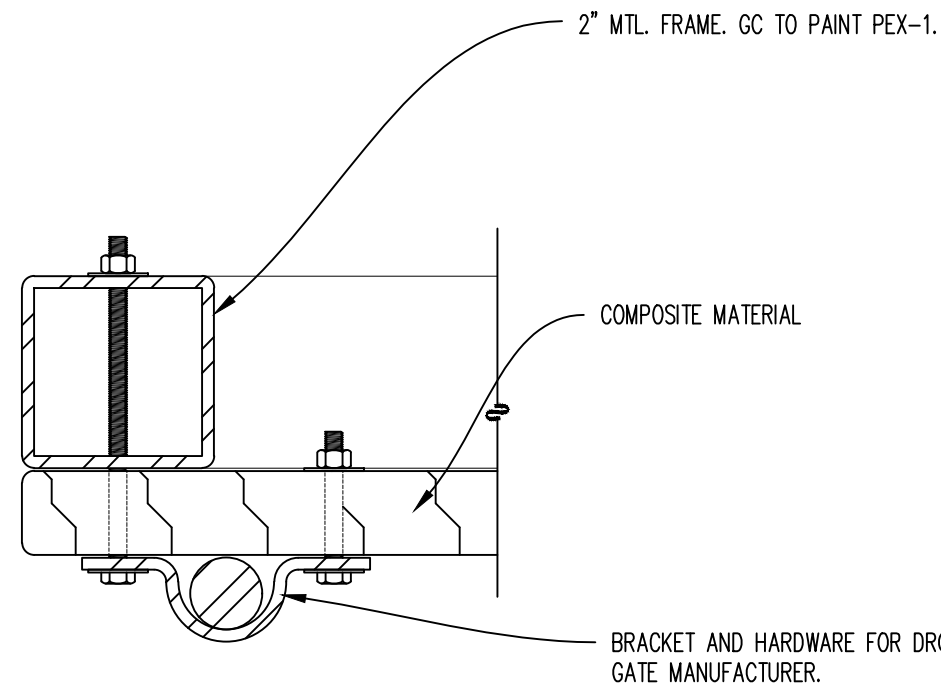
DETAILS

SHEET NUMBER

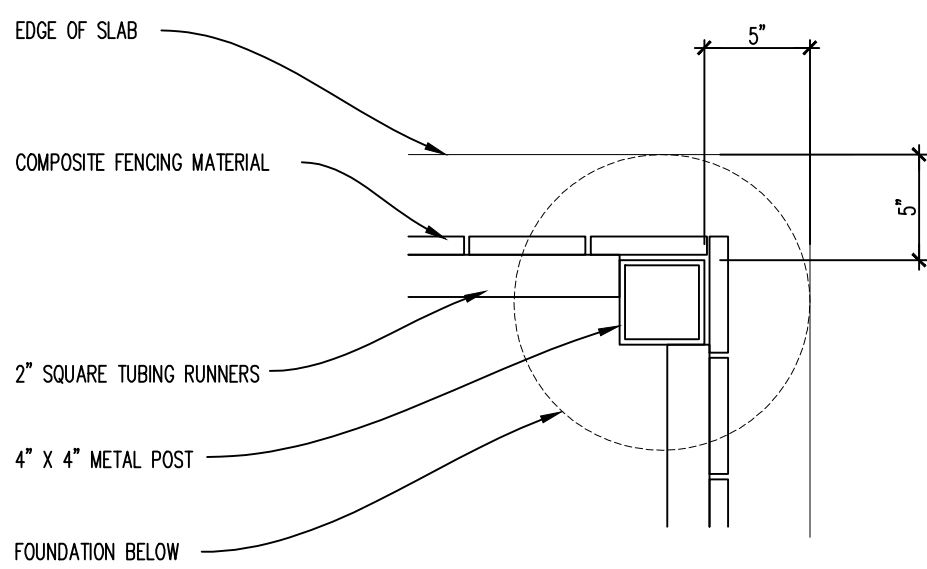
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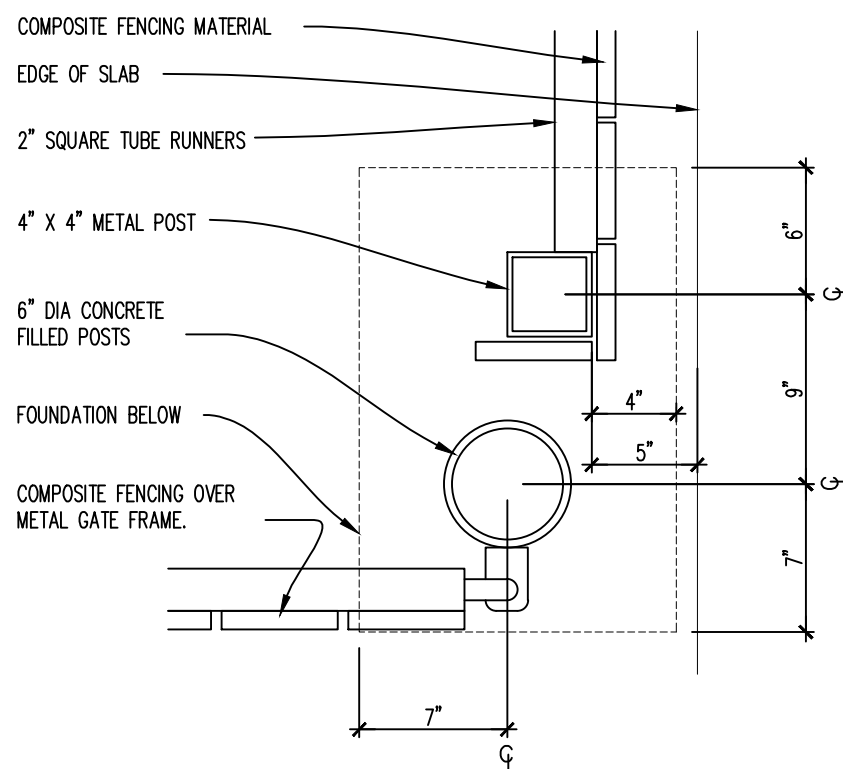
08 WALL SECTION
SCALE: 3/4"=1'-0"



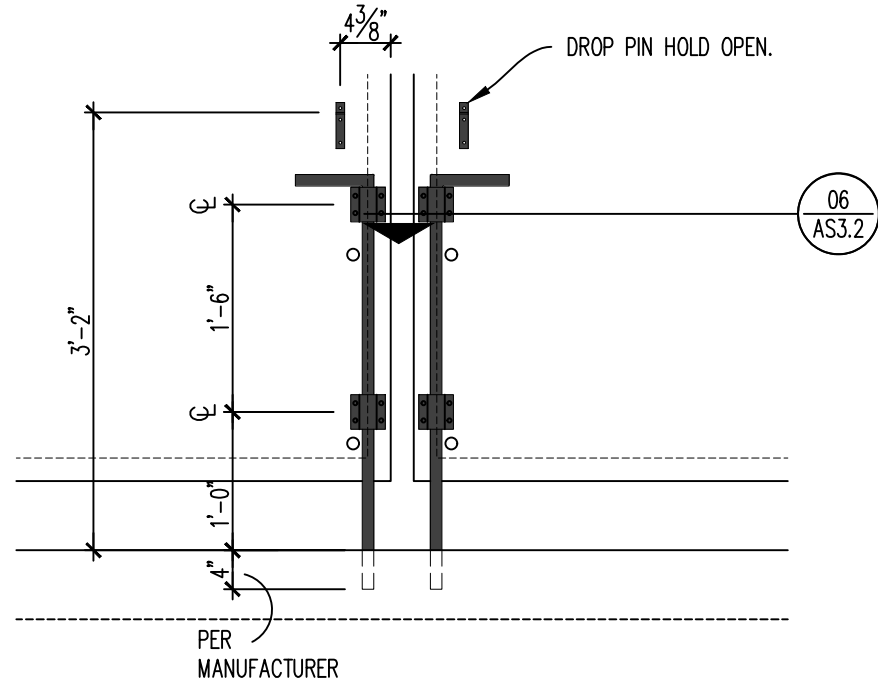
07 DROP-PIN DETAIL COMPOSITE GATE
SCALE: 6"=1'-0"



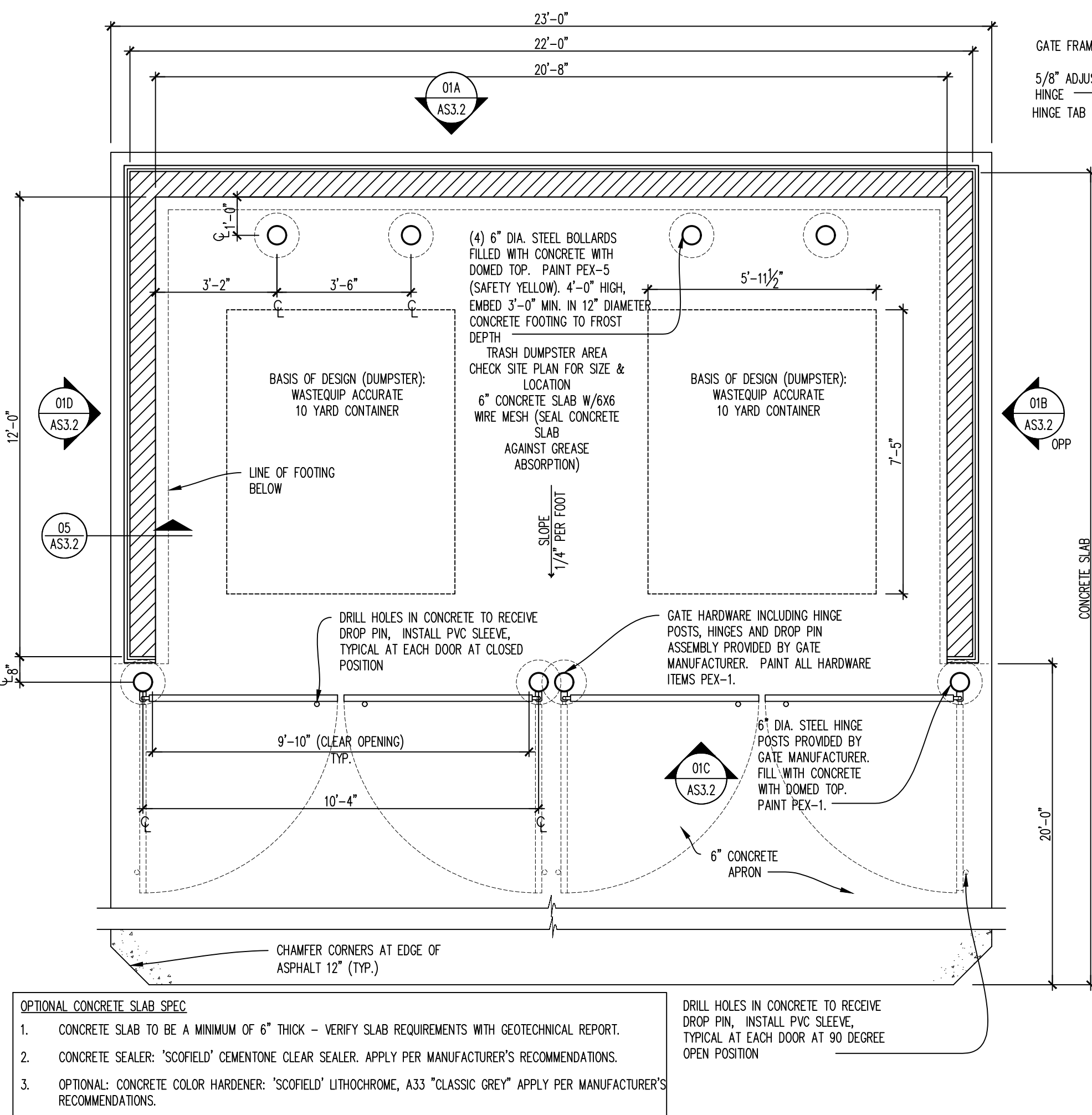
06 PLAN DETAIL
SCALE: 1 1/2"=1'-0"



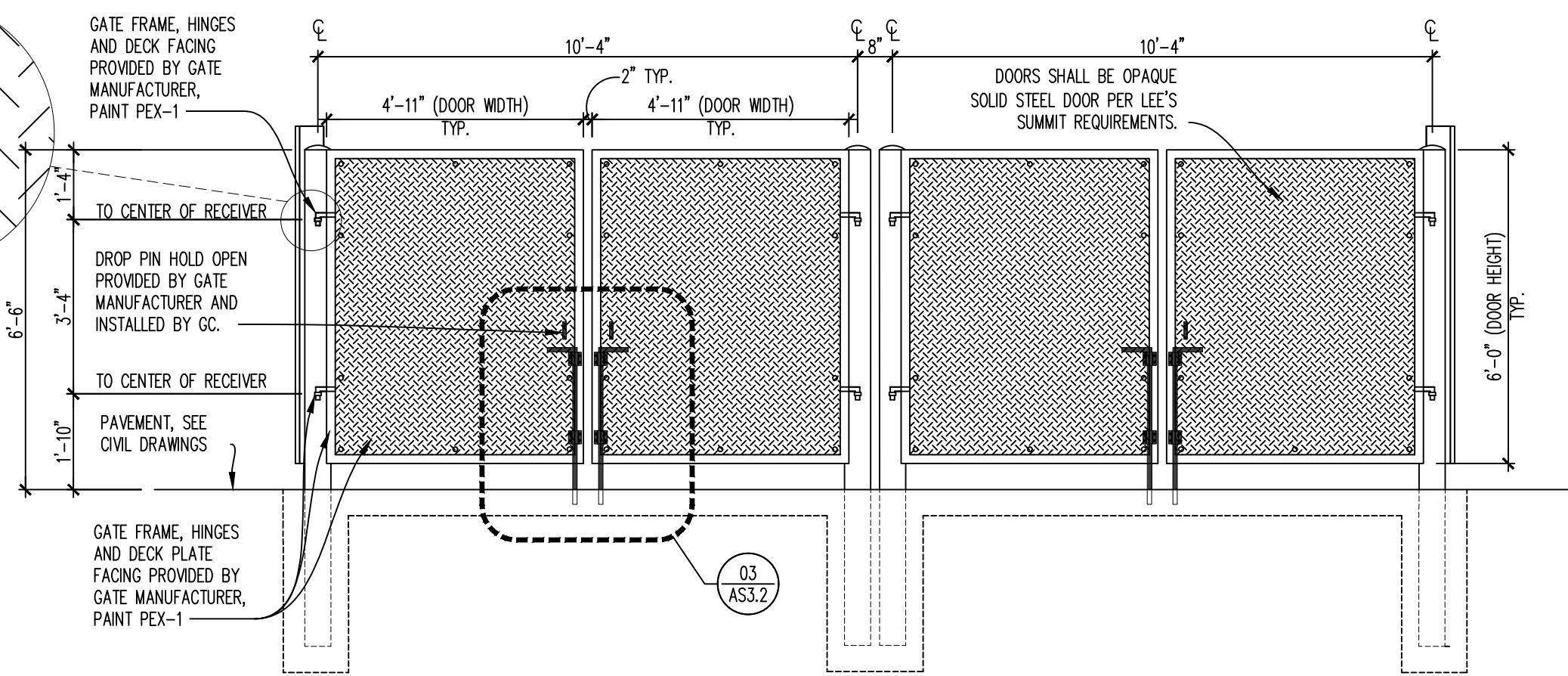
05 PLAN DETAIL
SCALE: 1 1/2"=1'-0"



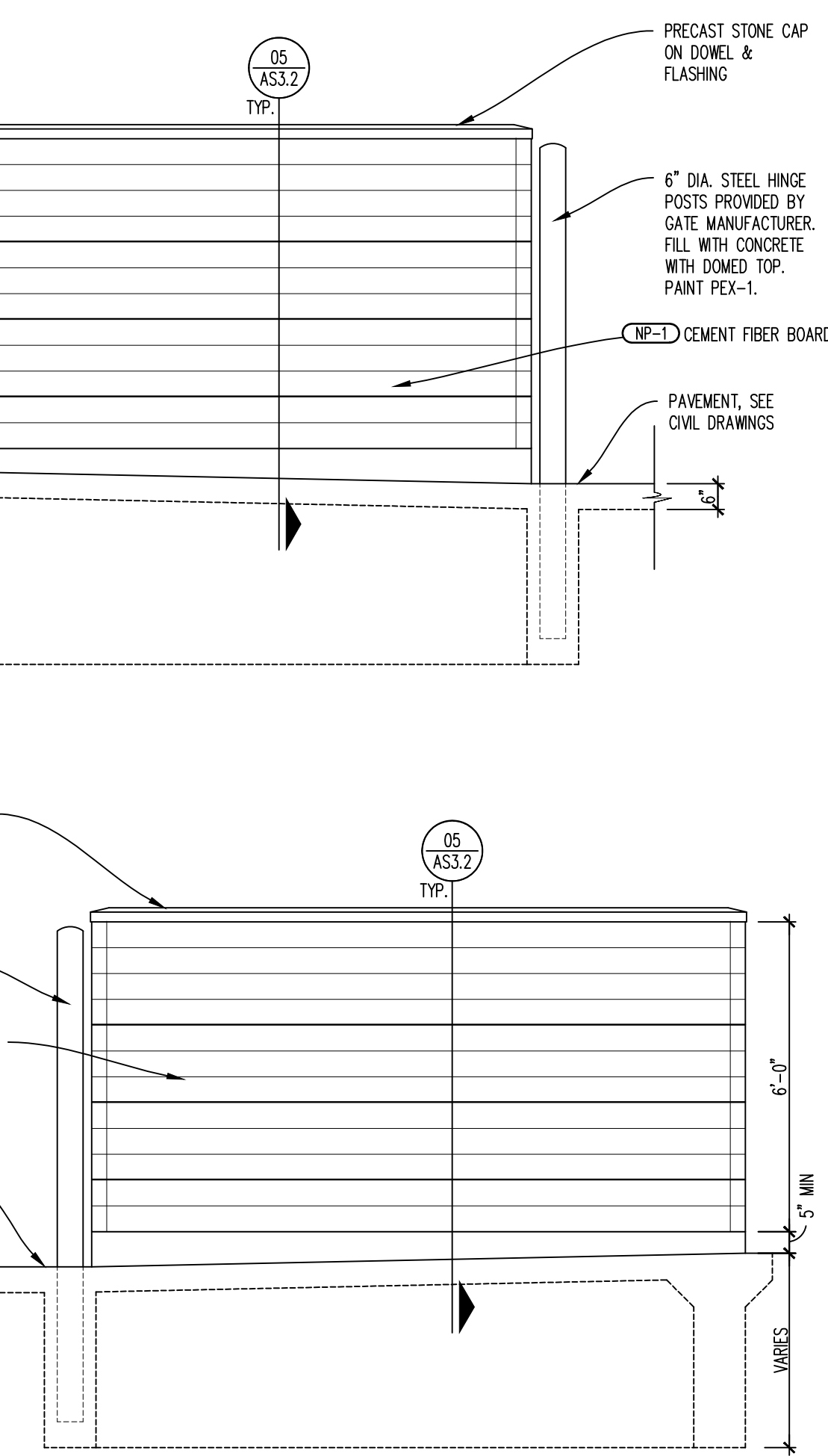
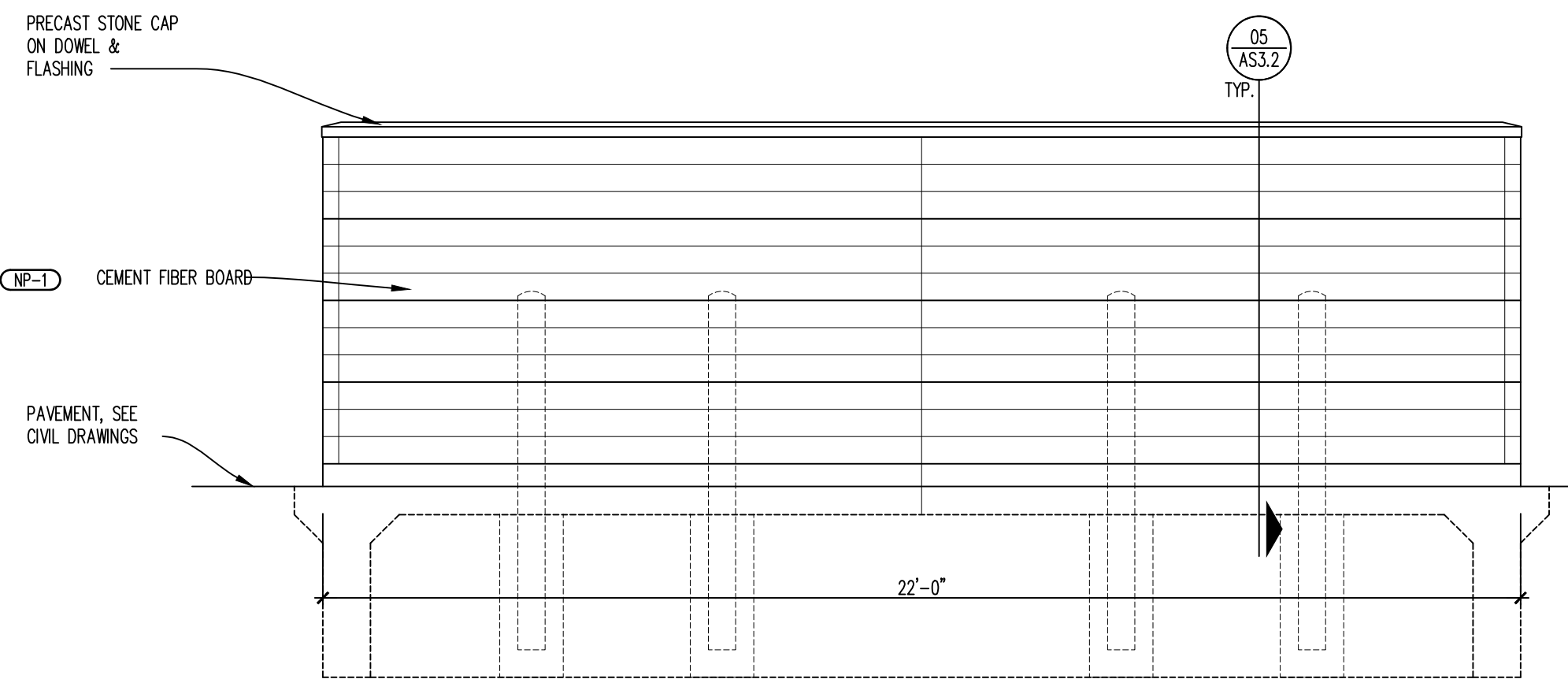
03 DROP PIN DETAIL
SCALE: 3/4"=1'-0"



02 TRASH ENCLOSURE PLAN
SCALE: 3/8"=1'-0"



04 ELEVATION - COMPOSITE GATE
SCALE: 3/8"=1'-0"



01 TRASH ENCLOSURE ELEVATIONS
SCALE: 3/8"=1'-0"

SITE NUMBER:	12802
BASE MDL: SMART 55 - NARROW 2017	
ASSET TYPE:	FRAN
CLASSIFICATION:	NEW
OWNER:	NPCQB
BASE VERSION:	2017
UPGRADE CLASSIFICATION:	
	NEW BUILD
PROJECT YEAR:	2019
FURNITURE PACKAGE:	2016 V3
DRAWING RELEASE	SPRING 2018

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4200 W. 115TH ST. STE. 200
LEAWOOD, KANSAS 66211
OFFICE: (913) 327-3120
CELL: (913) 544-3421

PROJECT TYPE: NEW
SMART 55 - NARROW

MICHAEL E. NEIKIRK PE
Civil Engineer
306 North Market Street Ste. 101
Mt. Carmel, IL 62863
Phone: (618) 263-4100

Wendy's
#12533 (NPCQB#6042)
711 E MISSOURI 291 HWY
LEE'S SUMMIT, MO 64063

REV.	DATE	DESCRIPTION

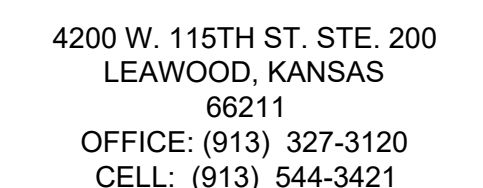


SHEET NAME
DETAILS

SHEET NUMBER

C9

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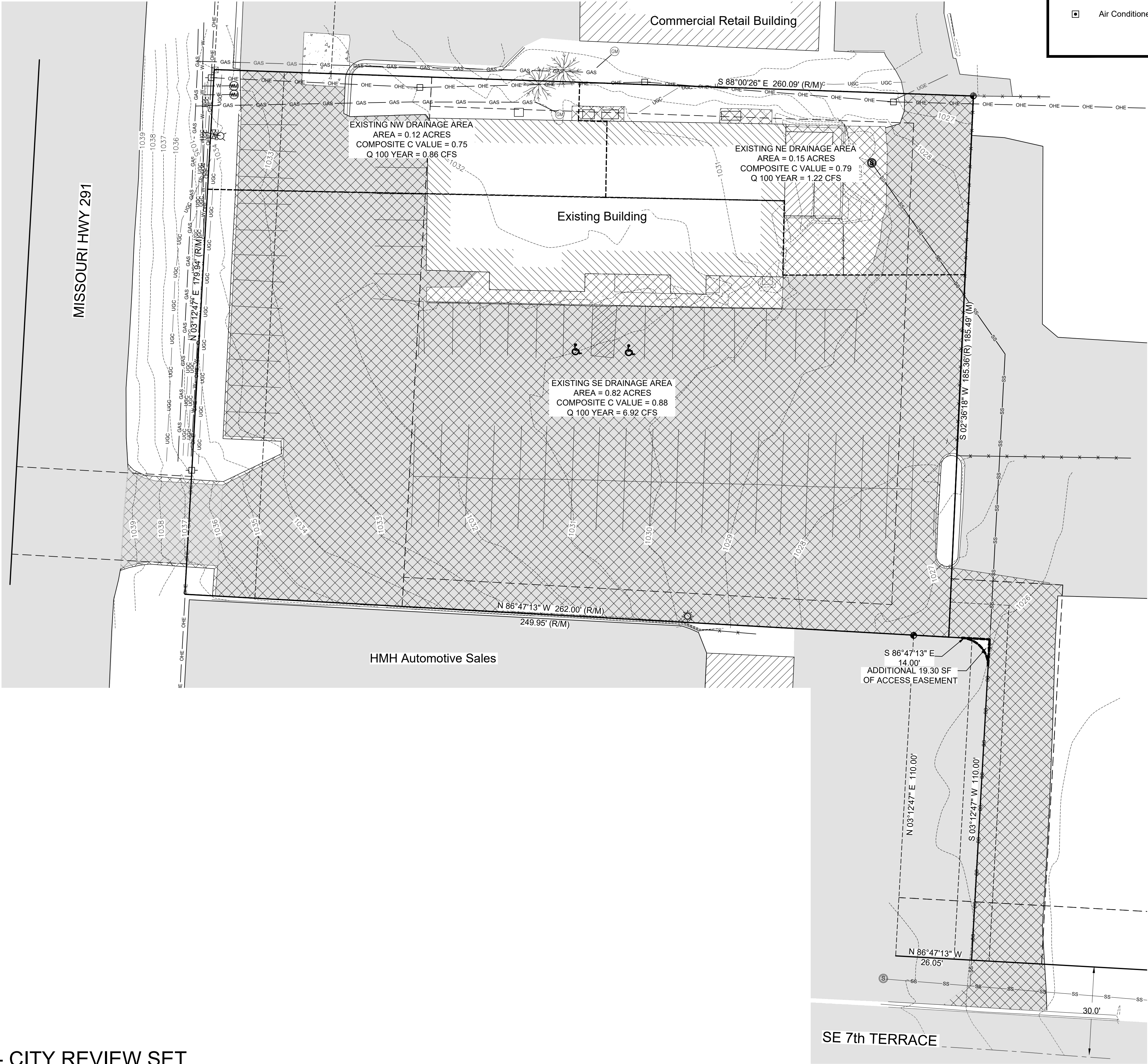
SHEET NUMBER

C10



Total Project Watts
Total Watts = 1441.6

NOT FOR CONSTRUCTION - CITY REVIEW SET



Benchmark

Iron Pin Found

Iron Pin Set

Bollard

Soil Boring Location

Sanitary Sewer Cleanout

Gas Meter

Storm Sewer Curb Inlet

Storm Sewer MH/Open Lid

Light Pole or Traffic Light

Storm Sewer Manhole

Air Conditioner

Sanitary Sewer Manhole

Sign

Water Meter

Water Valve

Utility Pole

To Be Removed

Top of Curb

Pavement

Match Existing

Grade point

Number of Parking Spaces

To Be Removed

LEGEND

W

W

SS

X

X

X

470

470

UGE

S

S

OHE

GAS

Existing Asphalt

New Asphalt

New Concrete

Existing Asphalt TBR

Water Line

Sanitary Sewer Main

Fence

Existing Contours

Proposed Contours

Underground Electric

Storm Sewer

Limits of Pavement Removal

Overhead Utility Lines

Gas Lines

Ditch / Swale

Gravel

Existing Concrete

Existing Concrete TBR

EXISTING NORTHWEST DRAINAGE AREA:

TOTAL AREA = 0.12 ACRES
IMPERVIOUS AREA = 0.09 ACRES @ C=0.90
PERVIOUS AREA = 0.03 ACRES @ C=0.30
COMPOSITE C = 0.75

TIME OF CONCENTRATION = 7.75 MIN.
I 100 YEAR = 9.29 IN/HOUR

Q = CIA = (0.75)(9.29 IN/HOUR)(0.12 ACRES) = 0.84 CFS

EXISTING NORTHEAST DRAINAGE AREA:

TOTAL AREA = 0.15 ACRES
IMPERVIOUS AREA = 0.12 ACRES @ C = 0.90
PERVIOUS AREA = 0.03 ACRES @ C = 0.30
COMPOSITE C = 0.78

TIME OF CONCENTRATION = 2.09 MIN. THEREFORE USE 5 MIN. MIN.
I 100 YEAR = 10.3 IN/HOUR

Q= CIA = (0.78)(10.3 IN/HOUR)(0.15 ACRES) = 1.21 CFS

EXISTING SOUTHEAST DRAINAGE AREA:

TOTAL AREA = 0.82 ACRES
IMPERVIOUS AREA = 0.79 ACRES @ C = 0.90
PERVIOUS AREA = 0.03 ACRES @ C = 0.30
COMPOSITE C = 0.88

TIME OF CONCENTRATION = 6.99 MIN.
I 100 YEAR = 9.6 IN/HOUR

Q = CIA = (0.88)(9.6 IN/HOUR)(0.82 ACRES) = 6.93 CFS

NOTE: Bearings based on: N.A.D. 83
Missouri State Plane Coordinate System
- West Zone

N

0'

20'

40'

60'

SE 7th TERRACE

Missouri One Call System, Inc. logo featuring a shovel and the text "MISSOURI ONE CALL SYSTEM, INC. 1-800-344-7483 or 811".

Missouri One Call System, Inc. is open 7 days a week, 24 hours a day to process locate requests or address questions regarding a locate request. The toll free number is 1-800-344-7483 or 811 (the National three digit call before you dig phone number).

SITE NUMBER:	12802
BASE MDL: SMART 55 - NARROW 2017	
ASSET TYPE:	FRAN
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PROJECT TYPE: NEW
SMART 55 - NARROW

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Wendy's

#12533 (NPCQB#6042)
711 E MISSOURI 291 HWY
LEE'S SUMMIT, MO 64063

REV.	DATE	DESCRIPTION

ISSUE DATE: 12-02-19
PROJECT NUMBER: NPCQB#6042
DRAWN BY: RIA, TIL
CHECKED BY: MEN, TIL

STATE OF MISSOURI

Professional Engineer

Michael E. Neikirk

Professional Engineer

SEAL

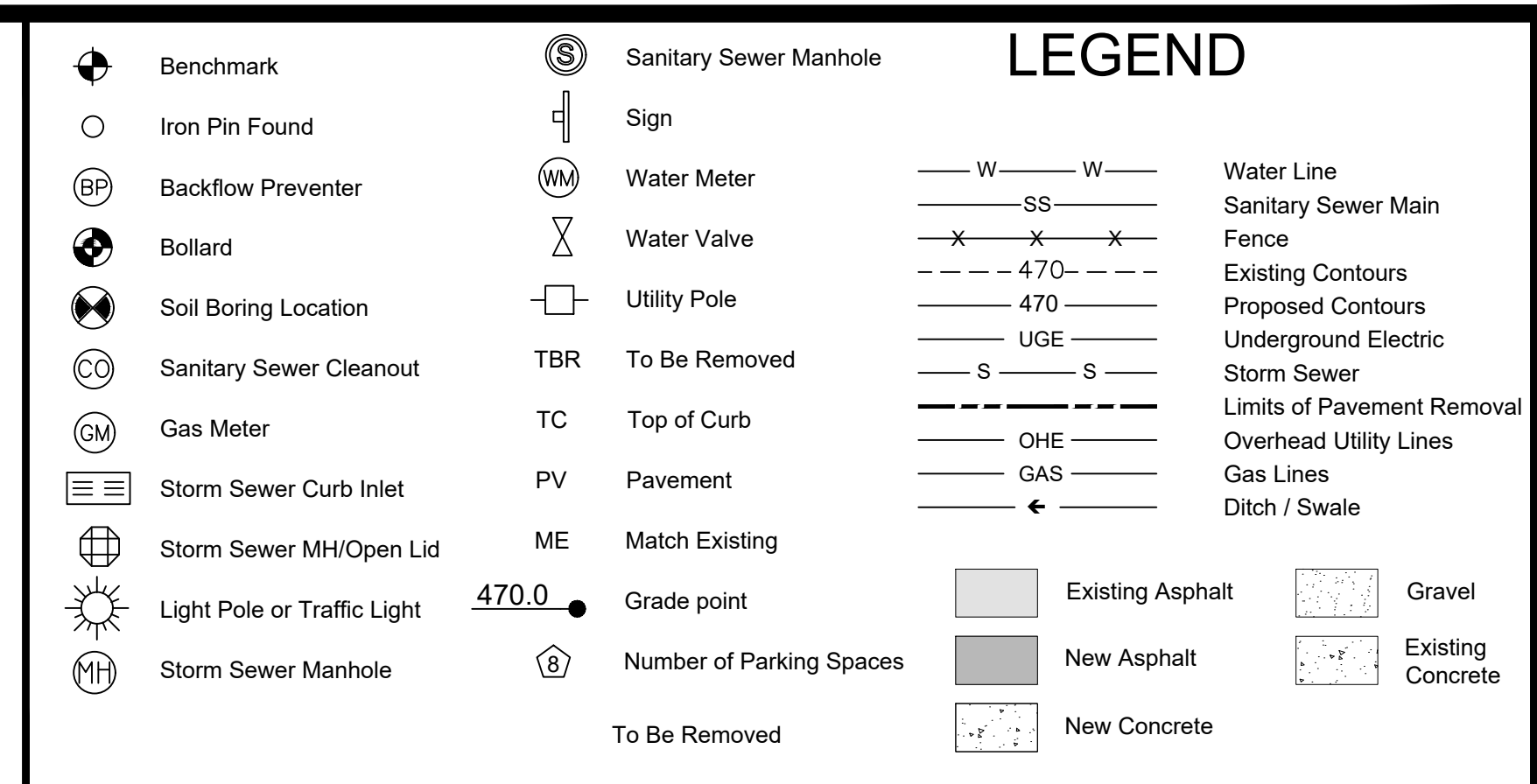
Michael E. Neikirk

Professional Engineer

EXISTING DRAINAGE AREAS

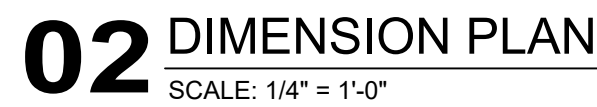
SHEET NUMBER

EX. 1



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EX. 2



- | | | | |
|-----|---|-----|---|
| 1. | 6.C. TO COORDINATE FINAL ROUGH FRAMING DIMENSIONS W/ ELECTRICAL FIREPLACE SPECIFICATIONS. | 17. | PARTIAL HEIGHT WALL 4'-8" A.C.F.F., REFER TO INTERIOR ELEVATIONS. |
| 2. | APPROXIMATE LOCATION OF FRONT COUNTER. REF. SHEET A51 FOR LOCATIONS. | 18. | CLOSURE TRIM / ANGLES BY 6". |
| 3. | 6.C. TO INSTALL STAINLESS STEEL CORNER GUARD, REFER TO EQUIPMENT PLAN SHEET FOR LOCATIONS AND TYPE OF CORNER GUARDS. | 19. | AWNINGS / CANOPY ABOVE. |
| 4. | SAFETY RAILING, REFER TO DETAIL 02/AS2.2. | 20. | FIRE EXTINGUISHER CABINET, 6.C. TO PROVIDE AND INSTALL. REFER TO INTERIOR ELEVATIONS. |
| 5. | ROOF PARAPET OVERHANGS ABOVE, REFER TO ROOF PLAN AND EXTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION. | 21. | 6" CONCRETE CURB FOR ELECTRICAL PANELS, EXPOSED SIDES TO BE 1/2" LESS THAN ELECTRICAL PANELS, REF. DETAILS 03/A1 AND 01/AS2. |
| 6. | ALGAE FINISHES. | 22. | ELECTRICAL PANEL FLOOR CLEARANCE |
| 7. | SOFFIT / BULKHEAD / COVE LIGHT ABOVE, REFER TO REFLECTED CEILING PLAN. | 23. | FACE OF WALL ABOVE. |
| 8. | 6" DIA. METAL PIPE BOLLARD FILLED W/ CONCRETE COVERED WITH BOLLARD SLEEVE. INSTALL BOLLARD 1" CLEAR OF WALL FINISHES, REFER TO DETAIL 03/AS2.1. | 24. | LOCATION OF RECESSED JUNCTION BOX FOR FUTURE CUSTOMER ORDER SCREEN AND WIFI COMMUNITY TABLE. REF. ELECTRICAL DRAWINGS |
| 9. | ROOF ACCESS LADDER RECEIVER. | 25. | GREASE TANK AND CO2 TANK ENCLOSURE SUPPLIED BY OTHERS. |
| 10. | RECESSED MOP SINK, INSTALL WATERPROOF MEMBRANE IN MOP SINK RECESS TO TIE INTO DRAIN AND WRAP UP WALLS 12" OR ON TO FLOOR 12". SET MOP SINK EDGE IN SEALANT ON TILE FLOOR. REFER TO DETAIL 02/AS1. | 26. | DOWNGROUT, REFER TO EXTERIOR ELEVATIONS. |
| 11. | TIE / EXHAUST HOOD, REFER TO MECHANICAL DRAWINGS. | 27. | HOT WATER TANK ON SHELFF. |
| 12. | REMOVE AND INSTALL STAINLESS STEEL PANELS BEHIND AND BESIDES FRYERS. REFER TO INTERIOR ELEVATIONS. | 28. | HATCHED AREA INDICATES SHEAR WALL, REF. STRUCTURAL DRAWINGS. COORDINATE FINISHES WITH NM. OF PLIES PROVIDED. EXTEND PLYWOOD AS REQUIRED TO MAINTAIN FINISH PLANE. |
| 13. | SHADED AREA INDICATES EXTENTS OF METAL STUD FRAMED WALL W/ MINERAL WOOL RIGID INSULATION. | 29. | PROVIDE FURING FOR EXTENT SHOWN. |
| 14. | EQUIPMENT CURB BY KITCHEN VENDOR. REF. SHEET A51 FOR LOCATIONS. | 30. | ALLOVE FOR RECESSED PREVIEW BOARDS ONLY IF DIGITAL BOARDS ARE INSTALLED. REFER TO DETAIL 03/A1. |
| 15. | CONCRETE CURB, REFER TO SECTIONS AND STRUCTURAL DRAWINGS. | 31. | WALK-IN MANUFACTURER TO PROVIDE REINFORCED FRAMED OPENING FOR DOOR AS SCHEDULED. |
| | | | BUILT UP POST. REFER TO STRUCTURAL DRAWINGS. |

[illegible]

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#12533 (NPCQB #6042)
711 SE M-291 HWY
LEE'S SUMMIT, MO 64063

[illegible]

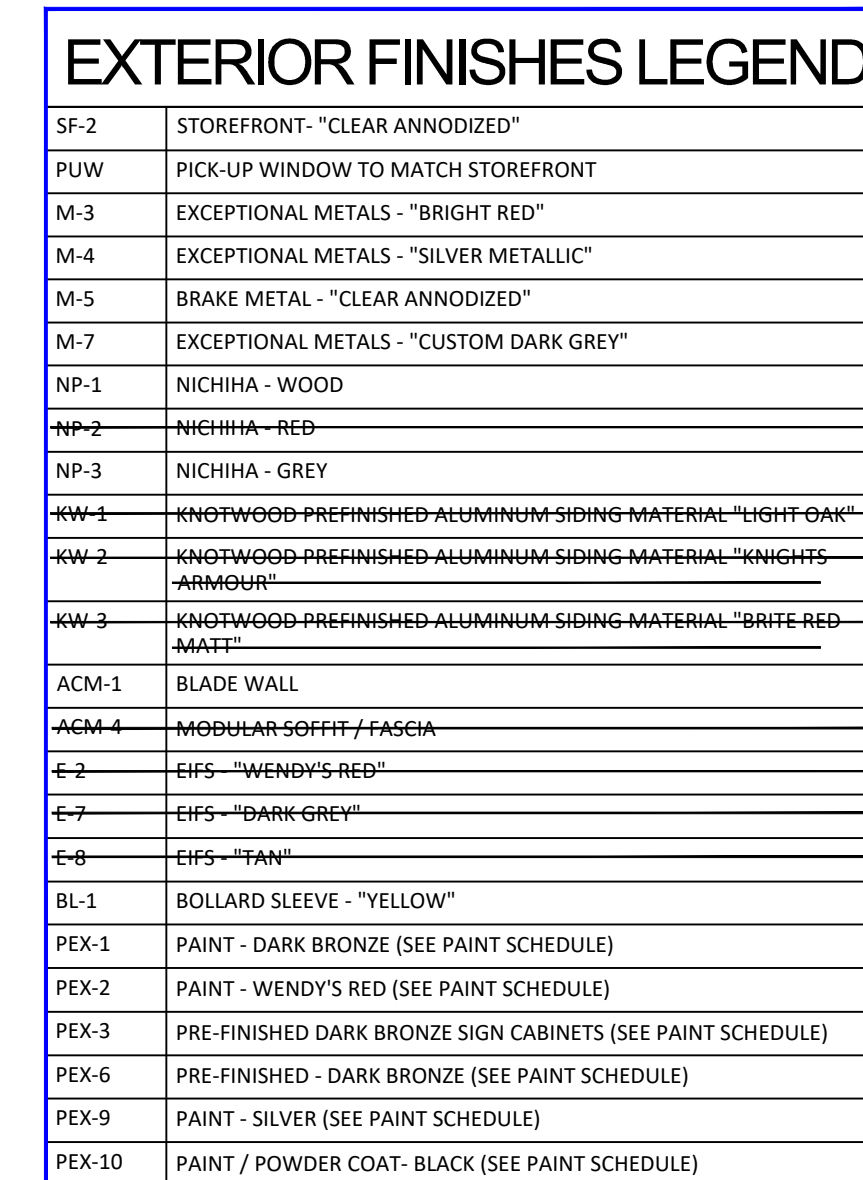
ISSUE DATE: 06/28/2019
PROJECT NUMBER: 19.057
DRAWN BY: TB
CHECKED BY: MG

SHEET NAME

FLOOR PLAN

SHEET NUMBER

A1.1



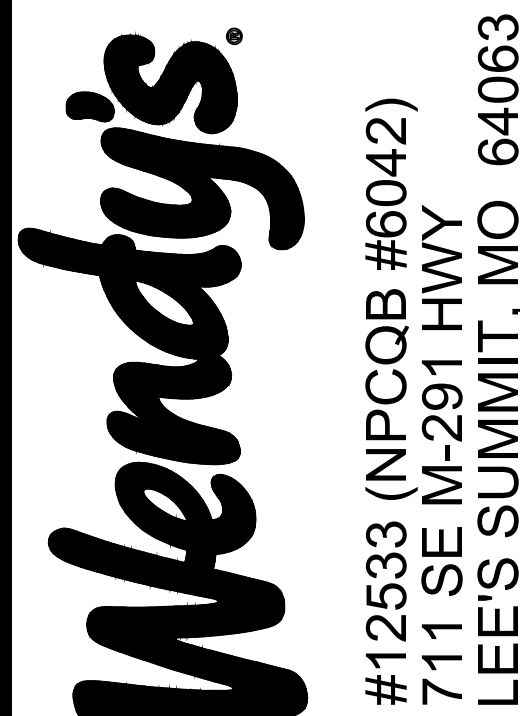
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4200 W. 115TH ST., STE. 200
LEAWOOD, KANSAS
66211
PHONE: (913) 327-5555
FAX: (913) 327-5850

PROJECT TYPE: NEW
SMART 40 - SQUARE

ISSUED FOR
PERMIT
07/26/2019

[illegible]

SHEET NAME
NICHHA FINISH OPTION
SMART 40 SQUARE

A2.1

