

**MINOR PLAT**  
**OLDHAM EAST BUSINESS PARK - LOT 2A**  
**A REPLAT OF LOTS 2 AND 3, OLDHAM EAST BUSINESS PARK**  
**A SUBDIVISION IN THE SOUTHEAST QUARTER OF**  
**SECTION 8, TOWNSHIP 47, RANGE 31 WEST,**  
**Lee's Summit, Jackson County, Missouri**

**PROPERTY DESCRIPTION:**

**DENICATION.** THE UNDERSIGNED OWNER(S) OF THE PROPERTY DESCRIBED HEREIN HAS/HAVE CAUSED THE SAME TO BE SUBDIVIDED IN THE MANNER SHOWN ON THIS PLAN AND THE PROPERTY SHALL HEREAFTER BE KNOWN AS CLAYMAN EAST BUSINESS PARK - LOT 2A.

**EASEMENTS.** IN WISCONSIN, AN EASEMENT OR LICENSE IS REEPLY GRANTED TO THE CITY OF LET'S SUMMIT, MISSOURI, TO LOCATE, CONSTRUCT AND MAINTAIN, OR TO AUTHORIZE THE LOCATION, CONSTRUCTION AND MAINTENANCE OF POLES, LINES, CABLES, CONDUITS, AND/OR STRUCTURES FOR WATER, GAS, SANITARY SEWER, STORM SEWER, ELECTRICITY, TELEPHONE, CABLE TELEVISION, OR ANY OTHER NECESSARY PUBLIC UTILITY OR SERVICES, AND/OR ALL OF THEM, UPON, OVER, OR UNDER THOSE AREAS IDENTIFIED OR DESIGNATED UPON THIS PLAT AS LANDS EASEMENTS (L.E.) OR WITHIN OR ON, OR UNDER THOSE AREAS IDENTIFIED OR DESIGNATED TO PUBLIC USE ON THIS PLAT, THE AREAS OUTLINED OR DESIGNATED AS LANDS EASEMENTS (L.E.) SHALL BE DEDICATED TO THE LEGACY WOOD HOMEOWNER'S ASSOCIATION TO PRESERVE THE GREEN SPACE AND NATURAL BEAUTY OF THE SUBDIVISION.

**DRAINAGE PLAN.** INDIVIDUAL LOT OWNER(S) SHALL NOT CHANGE OR OBSTRUCT THE DRAINAGE FLOW LINES ON THE LOTS, UNLESS SPECIFIC APPLICATION IS MADE AND APPROVED BY THE CITY ENGINEER.

**BUILDING LINES.** BUILDING LINES OR SETBACK LINES ARE HEREBY ESTABLISHED AS SHOWN ON THE ACCOMPANYING PLAT AND NO BUILDING OR PORTION THEREOF SHALL BE CONSTRUCTED BETWEEN THIS LINE AND THE STREET RIGHT OF WAY LINE.

IN TESTIMONY WHEREOF, THE UNDERSIGNED OWNERS HAVE HEREUNTO SET THEIR HANDS THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

TRIDENT LEE'S SUMMIT, LLC. BY TRIDENT PROPERTIES, INC.-BRYANT FRANK, MANAGER/SECRETARY

STATE OF \_\_\_\_\_  
COUNTY OF \_\_\_\_\_  
ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, BEFORE ME PERSONALLY APPEARED \_\_\_\_\_  
THE ABOVE PERSON(S) TO ME KNOWN TO BE THE PERSON(S) DESCRIBED IN AND WHO EXECUTED THE FOREGOING  
INSTRUMENT AND ACKNOWLEDGED THAT THEY EXECUTED THE SAME AS THEIR FREE ACT AND DEED.  
IN WITNESS WHEREOF, I HAVE HEREunto SET MY HAND AND AFFIXED MY NOTARIAL SEAL AT MY OFFICE IN SAID COUNTY  
AND STATE THE DATE AND YEAR LAST WRITTEN ABOVE.

NOTARY PUBLIC \_\_\_\_\_

MY COMMISSION EXPIRES: \_\_\_\_\_

## SURVEY NOTES:

THIS SURVEY MEETS OR EXCEEDS THE ACCURACY STANDARDS OF AN URBAN CLASS SURVEY AS DEFINED BY THE MISSOURI STANDARDS FOR PROPERTY BOUNDARY SURVEYS.

PARENT TRACT OF THIS SURVEY AS RECORDED IN DOCUMENT NO. 2015E0085849, AS RECORDED IN THE JACKSON COUNTY RECORDER OF DEEDS OFFICE.

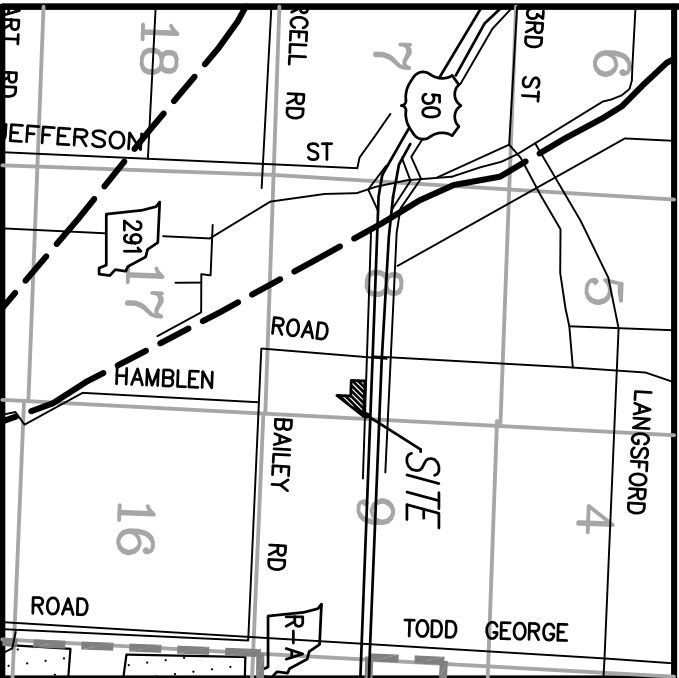
BEARINGS SHOWN ARE BASED ON THE MISSOURI STATE PLANE COORDINATE SYSTEM OF 1983, WESTERN ZONE

MISSOURI STATE PLANE COORDINATES HAVE BEEN CALCULATED BASED ON THE KC METRO CONTROL MONUMENT JA-45.  
MISSOURI COORDINATE SYSTEM 1983.  
GRID FACTOR = 0.9998986.

ACCORDING TO THE U.S. FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 29095004386, EFFECTIVE JANUARY 20, 2017 THIS PROPERTY LIES WITHIN ZONE "X", AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS SHOWN THEREON.

ACCORDING TO AN ENVIRONMENTAL IMPACT STUDY OF ABANDONED OIL AND GAS WELLS IN LEE'S SUMMIT, MISSOURI IN 1995, BY EDWARD ALTON MAY, JR. P.E., THERE ARE NO OIL OR GAS WELLS WITHIN THE PROPERTY SHOWN HEREON.

## VICINITY MAP



**LADWIG & ASSOCIATES, LLC.**

## LAND SURVEYORS

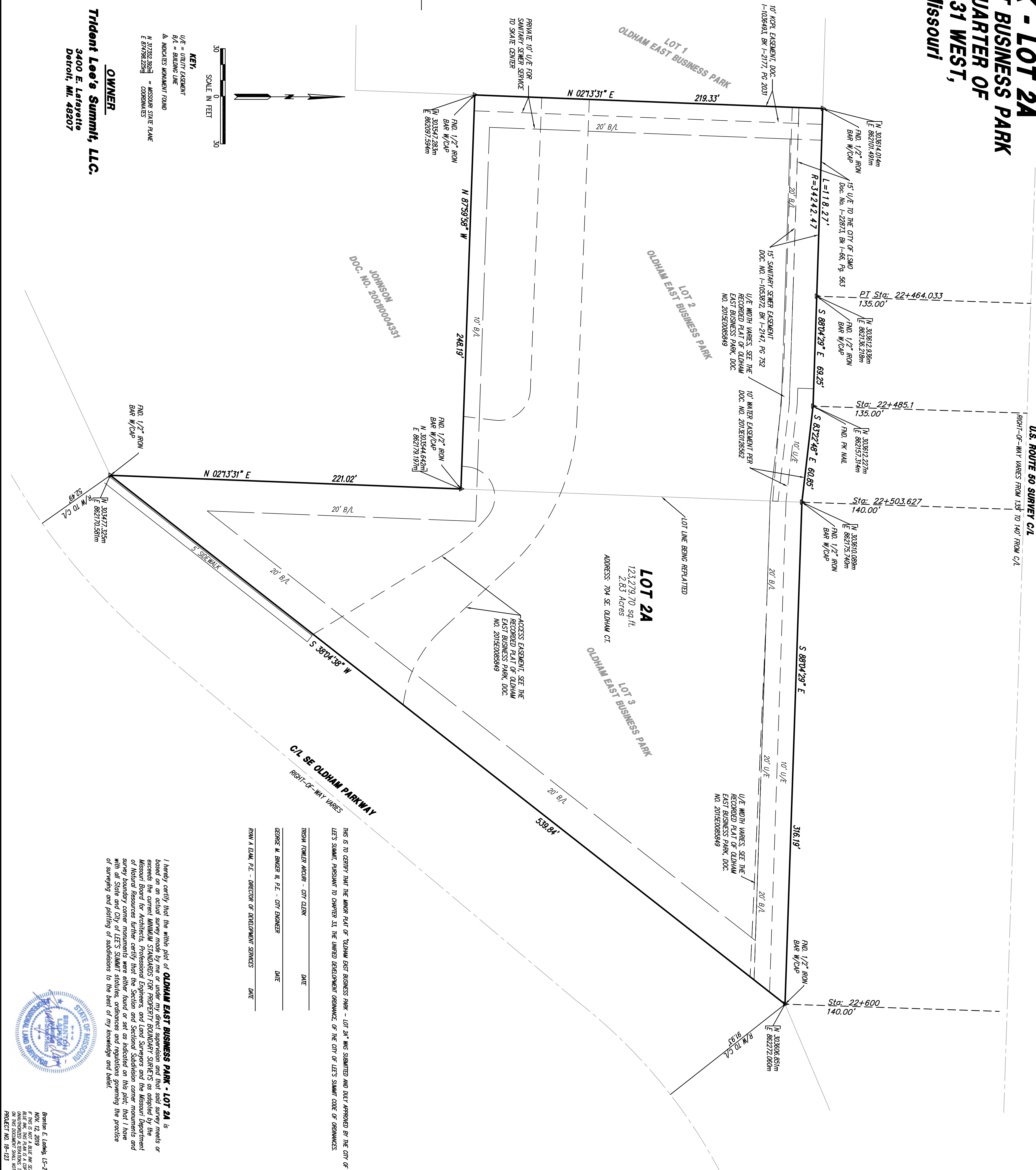
Pleasant Hill, Missouri 64080

816-309-6621

Missouri Certificate of Authority  
Land Surveying - LS-2012028511**OWNER**

**Trident Lee's Summit, LLC.**

**3400 E. Lafayette  
Detroit, MI. 48207**



THIS IS TO CERTIFY THAT THE MINOR PLAT OF "OLDHAM EAST BUSINESS PARK - LOT 2A" WAS SUBMITTED AND DULY APPROVED BY THE CITY OF LET'S SUMMIT, PURSUANT TO CHAPTER 33, THE UNITED DEVELOPMENT ORDINANCE, OF THE CITY OF LET'S SUMMIT CODE OF ORDINANCES.

THOMAS FOWLER ARCHIT - CITY CLERK	DATE
GEORGE M. BINGER III, P.E. - CITY ENGINEER	DATE
RYAN A. ELAM, P.E. - DIRECTOR OF DEVELOPMENT SERVICES	DATE

I hereby certify that the within part of **OLDHAM EAST BUSINESS PARK - LOT 2A** is based on an actual survey made by me or under my direct supervision and that said survey exceeds the current MINIMUM STANDARDS FOR PROPERTY BOUNDARY SURVEYS as adopted by the Missouri Board for Architects, Professional Engineers, and Land Surveyors and the Missouri Department of Natural Resources further certify that the Section and Sectional Subdivision came from monuments and survey boundary corner monuments were either found or set as indicated on this plan; that I have with all State and City of ILLINOIS STANDARDS, ordinances and regulations governing the practice surveying and platting of subdivisions to the best of my knowledge and belief.



Brontë E. Ladd, LS-2006016633  
NOV. 12, 2019  
IF THIS IS NOT A BLUE INK SEAL AND THE SIGNATURE IN  
BLUE INK, THIS PLAN IS A COPY AND MAY CONTAIN  
UNAUTHORIZED ALTERATIONS. THE CERTIFICATION CONTAINED  
ON THIS DOCUMENT SHALL NOT APPLY TO ANY COPIES.  
PROJECT NO. 18-123