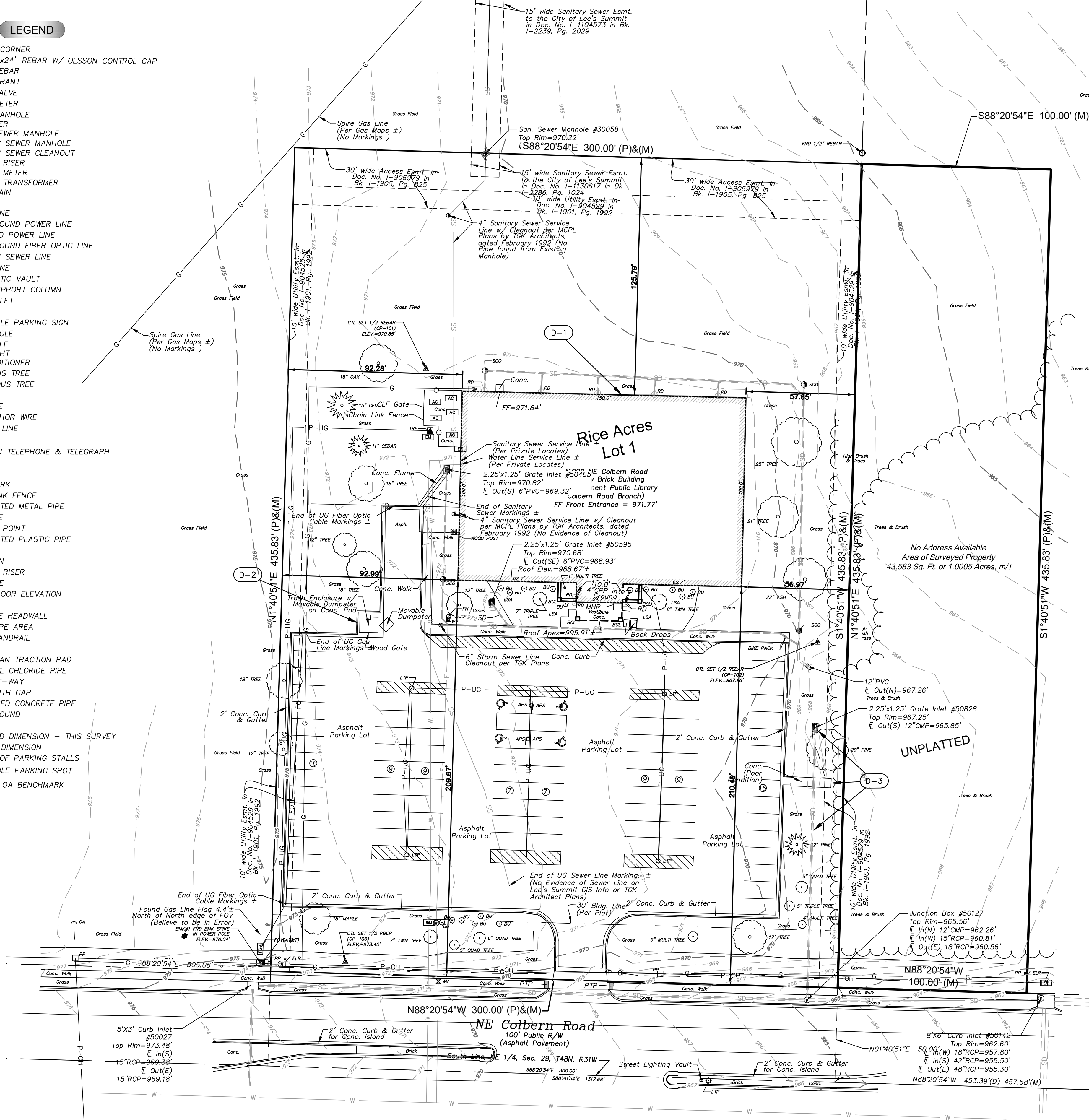


| LEGEND | |
|--------|--|
| | SECTION CORNER |
| | SET 1/2" x 24" REBAR W/ OLSSON CONTROL CAP |
| | FOUND REBAR |
| | FIRE HYDRANT |
| | WATER VALVE |
| | WATER METER |
| | WATER MANHOLE |
| | GAS METER |
| | STORM SEWER MANHOLE |
| | SANITARY SEWER MANHOLE |
| | SANITARY SEWER CLEANOUT |
| | ELECTRIC RISER |
| | ELECTRIC METER |
| | ELECTRIC TRANSFORMER |
| | ROOF DRAIN |
| | GAS LINE |
| | WATER LINE |
| | UNDERGROUND POWER LINE |
| | OVERHEAD POWER LINE |
| | UNDERGROUND FIBER OPTIC LINE |
| | SANITARY SEWER LINE |
| | STORM LINE |
| | FIBER OPTIC VAULT |
| | BRICK SUPPORT COLUMN |
| | GRATE INLET |
| | SIGN |
| | ACCESSIBLE PARKING SIGN |
| | POWER POLE |
| | LIGHT POLE |
| | YARD LIGHT |
| | AIR CONDITIONER |
| | DECIDUOUS TREE |
| | CONIFEROUS TREE |
| | BUSH |
| | TREE LINE |
| | GUY ANCHOR WIRE |
| | BUILDING LINE |
| | ASPHALT |
| | AMERICAN TELEPHONE & TELEGRAPH |
| | BOOK |
| | BUILDING |
| | BENCHMARK |
| | CHAIN LINK FENCE |
| | CORRUGATED METAL PIPE |
| | CONCRETE |
| | CONTROL POINT |
| | CORRUGATED PLASTIC PIPE |
| | CONTROL |
| | ELEVATION |
| | ELECTRIC RISER |
| | FINISH FLOOR ELEVATION |
| | FOUND |
| | CONCRETE HEADWALL |
| | LANDSCAPE AREA |
| | METAL HANDRAIL |
| | PAGE |
| | PEDESTRIAN TRACTION PAD |
| | POLYVINYL CHLORIDE PIPE |
| | RIGHT-OF-WAY |
| | REBAR WITH CAP |
| | REINFORCED CONCRETE PIPE |
| | UNDERGROUND |
| | WITH |
| | MEASURED DIMENSION - THIS SURVEY |
| | PLATTED DIMENSION |
| | NUMBER OF PARKING STALLS |
| | ACCESSIBLE PARKING SPOT |
| | DENOTES OA BENCHMARK |

LEGEND

SECTION CORNER
SET 1/2" x 24" REBAR W/ OLSSON CONTROL CAP
FOUND REBAR
FIRE HYDRANT
WATER VALVE
WATER METER
WATER MANHOLE
GAS METER
STORM SEWER MANHOLE
SANITARY SEWER MANHOLE
SANITARY SEWER CLEANOUT
ELECTRIC RISER
ELECTRIC METER
ELECTRIC TRANSFORMER
ROOF DRAIN
GAS LINE
WATER LINE
UNDERGROUND POWER LINE
OVERHEAD POWER LINE
UNDERGROUND FIBER OPTIC LINE
SANITARY SEWER LINE
STORM LINE
FIBER OPTIC VAULT
BRICK SUPPORT COLUMN
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POWER POLE
LIGHT POLE
YARD LIGHT
AIR CONDITIONER
DECIDUOUS TREE
CONIFEROUS TREE
BUSH
TREE LINE
GUY ANCHOR WIRE
BUILDING LINE
ASPHALT
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CONTROL POINT
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CONTROL
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ELECTRIC RISER
FINISH FLOOR ELEVATION
FOUND
CONCRETE HEADWALL
LANDSCAPE AREA
METAL HANDRAIL
PAGE
PEDESTRIAN TRACTION PAD
POLYVINYL CHLORIDE PIPE
RIGHT-OF-WAY
REBAR WITH CAP
REINFORCED CONCRETE PIPE
UNDERGROUND
WITH
MEASURED DIMENSION - THIS SURVEY
PLATTED DIMENSION
NUMBER OF PARKING STALLS
ACCESSIBLE PARKING SPOT
DENOTES OA BENCHMARK



CONTROL NOTES

Control: Horizontal & Vertical Control is based on the MoDOT Continuously Operating GNSS Network, Missouri Coordinate System 1983, West Zone, Metro Control Points BRAUN 3.

Modified State Plane Coordinates, NAD 1983, Missouri West Zone. Using a CAF of 0.99990007 with Metro Control Point BRAUN 3 as a base point. Distances shown are Ground, US Survey Feet.

NAVD 1988 Elevation Data - Calibrated to BRAUN

BRAUN 3 (Calibration Point - 2003 Adjustment)
KC Metro GRS Control Aluminum Disk, set in concrete
flush with the ground and stamped BRAUN 3 1979.
N: 310136.375 (m) N: 1017505.756 (ft)
E: 862153.323 (m) E: 282581.358 (ft)
Elev.: 1,002.95'

QA CPT #100:
Set 1/2" Rebar w/ Cap "Olsson Survey Control Point"
53'± North of the CL of NE Colbern Road, 600'± East of the CL of NE Rice Road, South of the SW corner of the asphalt parking lot to Mid-Continent Public Library
Headquarters Building
N: 101218.718
E: 2829254.651
ELEV. = 973.40'
Reference Ties:
1. 28.30' North to the South back of curb of an asphalt parking lot for library.
2. 28.50' Northwest to the center of a 15' Maple tree.
3. 44.40' West-Southwest to a benchmark spike in the South face of a power pole.
4. 7.50' North the South edge of a concrete sidewalk.

QA CPT #101:
Set 1/2" Rebar, 367'± North of the CL of NE Colbern Road, 640'± East of the CL of NE Rice Road, NW of the NW corner of Mid-Continent Public Library
N: 1012430.309
E: 2829297.287
ELEV. = 970.85'
Reference Ties:
1. 25.65' West to the center of an 18" Oak tree.
2. 11.35' South to the center of a chain link fence corner post.
3. 22.65' Southeast to the NW corner of the Mid-Continent Public Library Building.

QA CPT #102:
Set 1/2" Rebar, 229'± North of the CL of NE Colbern Road, 845'± East of the CL of NE Rice Road, SE of the SE corner of Mid-Continent Public Library
N: 1012285.799
E: 2829504.378
ELEV. = 967.96'
Reference Ties:
1. 15.00' West-Southwest to the back of curb at the NE corner of an asphalt parking lot at the South face of a concrete sidewalk.
2. 36.70' South-Southwest to the center of a 20" Pine tree.
3. 34.00' North-Northwest to the center of a 22" Ash tree.

Elevations Datum: NAVD 1988

QA Bench Mark #1:
(NAVD'88)
Set Railroad Spike in the South face of a power pole at the SW corner of the Mid-Continent Public Library Building. 51'± North of the CL of NE Colbern Road, 565'± East of the CL of NE Rice Road.

UTILITY NOTES

Utilities shown have been located from field survey information, together with obtained records. The Surveyor makes no guarantee that the utilities shown comprise all such utilities in the area, either in-service or abandoned. The Surveyor further does not warrant that the utilities shown are in the exact location indicated. Locates are in compliance with Subsurface Utility Engineering Quality Level "B", and were through the Missouri One-Call System.
Private utilities were located by ECHO GPR Services, 24564 Lackman Road, Paola, Kansas, 66071, Phone Number 913-879-2200.

Utilities were ordered to be located through Missouri One Call per One-Call Ticket #192121471. The companies listed on the ticket are: AT&T Distribution, City of Lee's Summit Fiber, City of Lee's Summit Sewer, City of Lee's Summit Storm, City of Lee's Summit Water, Comcast Communications, Google Fiber, Kansas City Power & Light, Spectrum (Formerly Time Warner Cable) and Spire Missouri West.

- Notes:**
- Any boundary or easement information shown is for graphical purposes only, and is not to be relied upon for exact locations.
 - The sanitary sewer does NOT connect to the sewer manhole North of the library as per the MCPL Plans by T&K Architects, dated February 1992 (No Pipe found from Existing Manhole). The underground storm drainage system is also per the MCPL Plans by T&K Architects, dated February 1992.

DEMOLITION KEYNOTES: XX

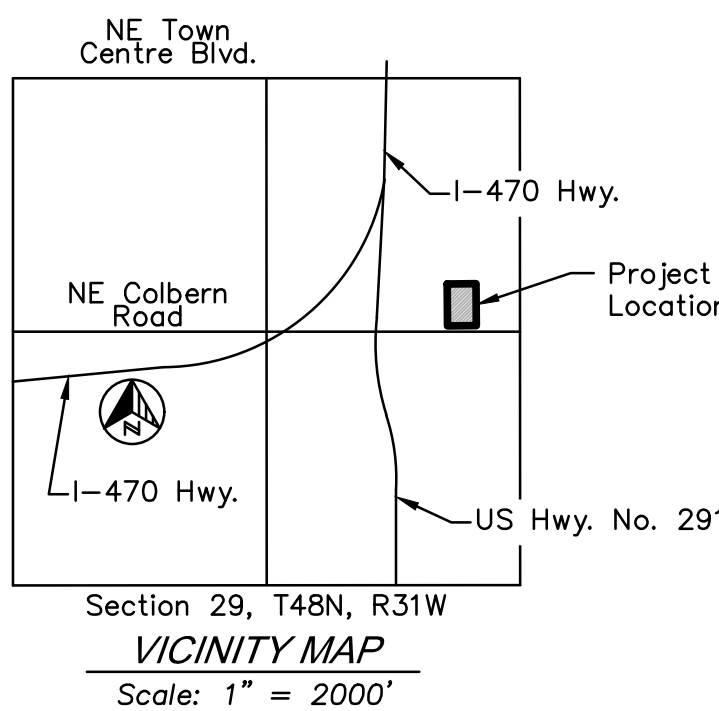
- D-1 EXISTING BUILDING TO BE REMOVED
D-2 EXISTING TRASH ENCLOSURE TO BE REMOVED
D-3 EXISTING STORM TO BE REMOVED AND ABANDONED

NE Colbern Road

100' Public R/W
(Asphalt Pavement)

South Line, NE 1/4, Sec. 29, T48N, R31W

0' 15' 30' 60'
SCALE IN FEET



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Mid-Continent Public Library PRELIMINARY DEVELOPMENT PLANS FOR COLBERN ROAD BRANCH 1000 N.E. COLBERN ROAD LEE'S SUMMIT, MO 64086 JACKSON COUNTY

Engineer of Record

Terry M Parsons, Engineer MO PE-2018010505

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Revision No. Description Date

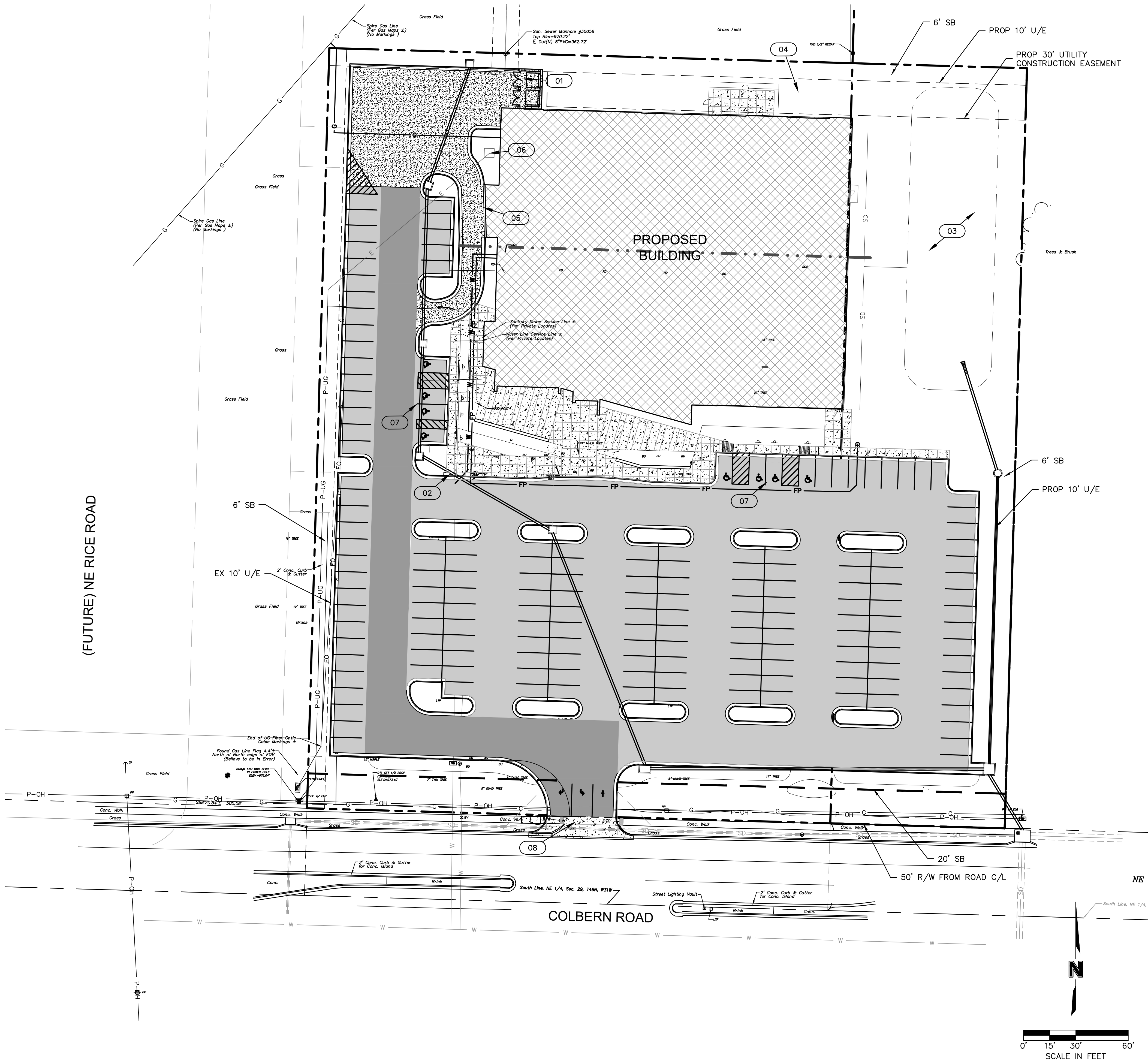
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Drawing No.

C1 EXISTING CONDITIONS

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| SITE DATA | | | |
|-----------------------|-------------------------------|---------------------|--------|
| ZONING & SITE AREA | | | |
| PROPOSED USE: | | PUBLIC LIBRARY | |
| | SITE AREA | | ZONING |
| LOT 2 (AS DESCRIBED): | 4.00 ACRES (174,237 SF) | | CP-2 |
| IMPERVIOUS: | 2.58 ACRES (112,384 SF) (64%) | | |
| PERVIOUS: | 1.42 ACRES (61,855 SF) (36%) | | |
| FAR (0.55 MAX): | 0.15 | | |
| BUILDING AREA | | | |
| BUILDING TYPE | # STORIES | SQUARE FOOTAGE | |
| BUILDING | 1 | 34,030 SF | |
| PARKING | | | |
| USE | REQUIRED | PROVIDED | |
| LIBRARY | 4 PER 1000 SF = 136 | 163 | |
| ADA | 4 (PER CITY TABLE) | 8 | |
| TOTAL | 136 | 171 (INCLUDING ADA) | |

NOTE:
ACCORDING TO MDNR STATE OIL & GAS COUNSEL THERE ARE NO OIL AND GAS WELLS LOCATED WITHIN OR ADJACENT TO THE PROPERTY.

THERE ARE NO FEMA DELINEATED FLOODPLAINS ON THE PROPERTY.

| LEGEND | |
|--------|--|
| | PROPERTY LINES |
| | RIGHT-OF-WAY LINES |
| | LOT LINES |
| | ROAD CENTERLINE |
| | EASEMENT LINES |
| | SETBACK LINES |
| | EXISTING GRADE CONTOURS |
| | PROPOSED GRADE CONTOURS |
| | OVERHEAD ELECTRIC |
| | UNDERGROUND ELECTRIC |
| | UNDERGROUND TELEPHONE |
| | UNDERGROUND FIBER OPTIC |
| | GAS LINE |
| | WATER LINE |
| | FIRE PROTECTION LINE |
| | STORM SEWER LINE |
| | SANITARY SEWER LINE |
| | ACCESSIBLE SIDEWALK RAMP |
| | CONCRETE CURB & GUTTER TYPE "B" RE: DETAILS |
| | CONCRETE CURB & GUTTER TYPE "B-DRY" RE: DETAILS |
| | PROPOSED CONCRETE SIDEWALK |
| | PROPOSED HEAVY DUTY CONCRETE PAVEMENT |
| | PROPOSED LIGHT DUTY ASPHALT |
| | PROPOSED HEAVY DUTY ASPHALT |
| | PROPOSED DETENTION BASIN |

KEYNOTES: XX

- 01 TRASH ENCLOSURE - CMU WALLS WITH BRICK FACING AND STEEL DOORS
- 02 BOOK DROP
- 03 EXTEND DRY DETENTION BASIN
- 04 CONCRETE PATIO
- 05 DRIVE-THRU WINDOW
- 06 POWER TRANSFORMER
- 07 ADA ACCESSIBLE SIGNAGE AND STRIPING
- 08 WIDENED COMMERCIAL ENTRANCE (40') WITH RECONSTRUCTED ADA RAMP

LEGAL DESCRIPTION

All of Lot 1, Rice Acres, a subdivision in the City of Lee's Summit, Jackson County, Missouri, together with all that part of an unplatted tract of land, all lying in the Northeast Quarter of Section 29, Township 48 North, Range 31 West, described by Timothy Blair Wiswell, MO-PLS 2009000067, as follows:

COMMENCING at the Southeast corner of the Northeast Quarter of Section 29, Township 48 North, Range 31 West; thence North 88 degrees 28 minutes 52 seconds West, on the South line of said Northeast Quarter, a distance of 755.18 feet to a point on the Southerly extension of the West line of Lot 1, Rice Acres, a subdivision in the City of Lee's Summit, Jackson County, Missouri; thence North 01 degree 23 minutes 04 seconds East, departing said South line, on said Southerly extension, a distance of 55.66 feet to the Southwest corner of said Lot 1, the POINT OF BEGINNING; thence North 01 degree 23 minutes 04 seconds East, on said West line, a distance of 436.21 feet to the Northwest corner of said Lot 1; thence South 88 degrees 38 minutes 41 seconds East, on the North line of said Lot 1 and its Easterly extension, a distance of 400.00 feet to a point; thence South 01 degree 23 minutes 04 seconds West, departing said Easterly extension, a distance of 436.21 feet to a point on the Easterly extension of the South line of said Lot 1; thence North 88 degrees 38 minutes 41 seconds West, on said Easterly extension and on said South line, a distance of 400.00 feet to the POINT OF BEGINNING, containing 174,485 Square Feet or 4.0056 Acres, more or less.

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PRELIMINARY DEVELOPMENT PLANS FOR
COLBERN ROAD BRANCH
1000 N.E. COLBERN ROAD
LEE'S SUMMIT, MO 64086
JACKSON COUNTY

PACKAGE
10

Engineer of Record

Terry M Parsons, Engineer MO PE-2018010505

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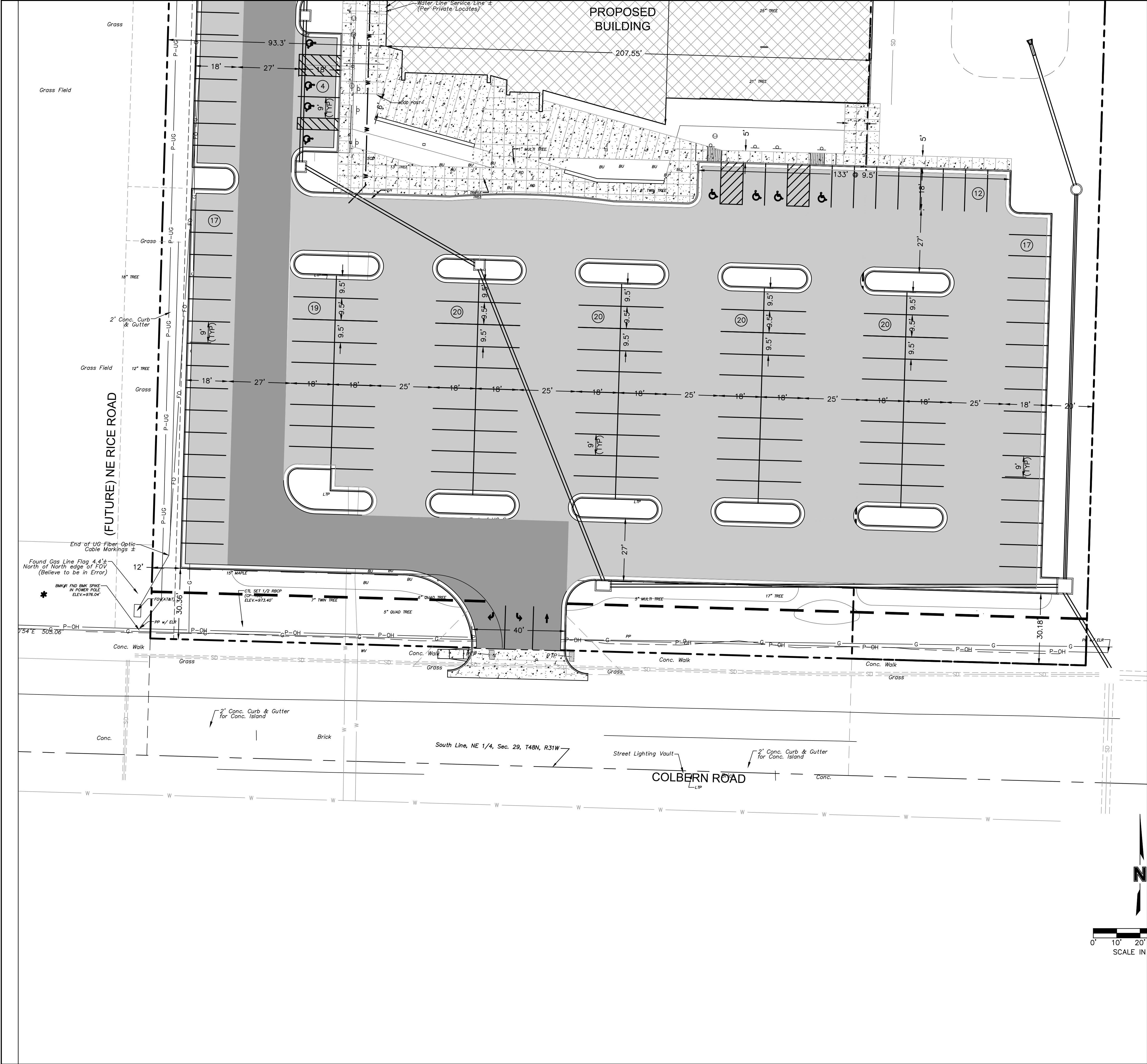
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C2

GENERAL LAYOUT PLAN

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EXISTING CONDITIONS LEGEND

- PROPERTY LINES
- EASEMENT LINES
- P-OH OVERHEAD ELECTRIC
- P-UG UNDERGROUND ELECTRIC
- TEL UNDERGROUND TELEPHONE
- FO UNDERGROUND FIBER OPTIC
- G GAS LINE
- W WATER LINE
- SD STORM SEWER LINE
- SS SANITARY SEWER LINE
- 85' EXISTING GRADE CONTOURS

PROPOSED CONDITIONS LEGEND

- E PROPOSED UNDERGROUND ELECTRIC
- FO PROPOSED FIBER OPTIC
- W PROPOSED WATER LINE
- FP PROPOSED FIRE PROTECTION LINE
- SD PROPOSED STORM SEWER LINE
- SS PROPOSED SANITARY SEWER SERVICE
- CONCRETE CURB & GUTTER
- PROPOSED BUILDING
- PROPOSED CONCRETE SIDEWALK
- PROPOSED LIGHT DUTY ASPHALT
- PROPOSED DETENTION BASIN
- 85' PROPOSED GRADE CONTOURS

KEYNOTES:

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JACKSON COUNTY

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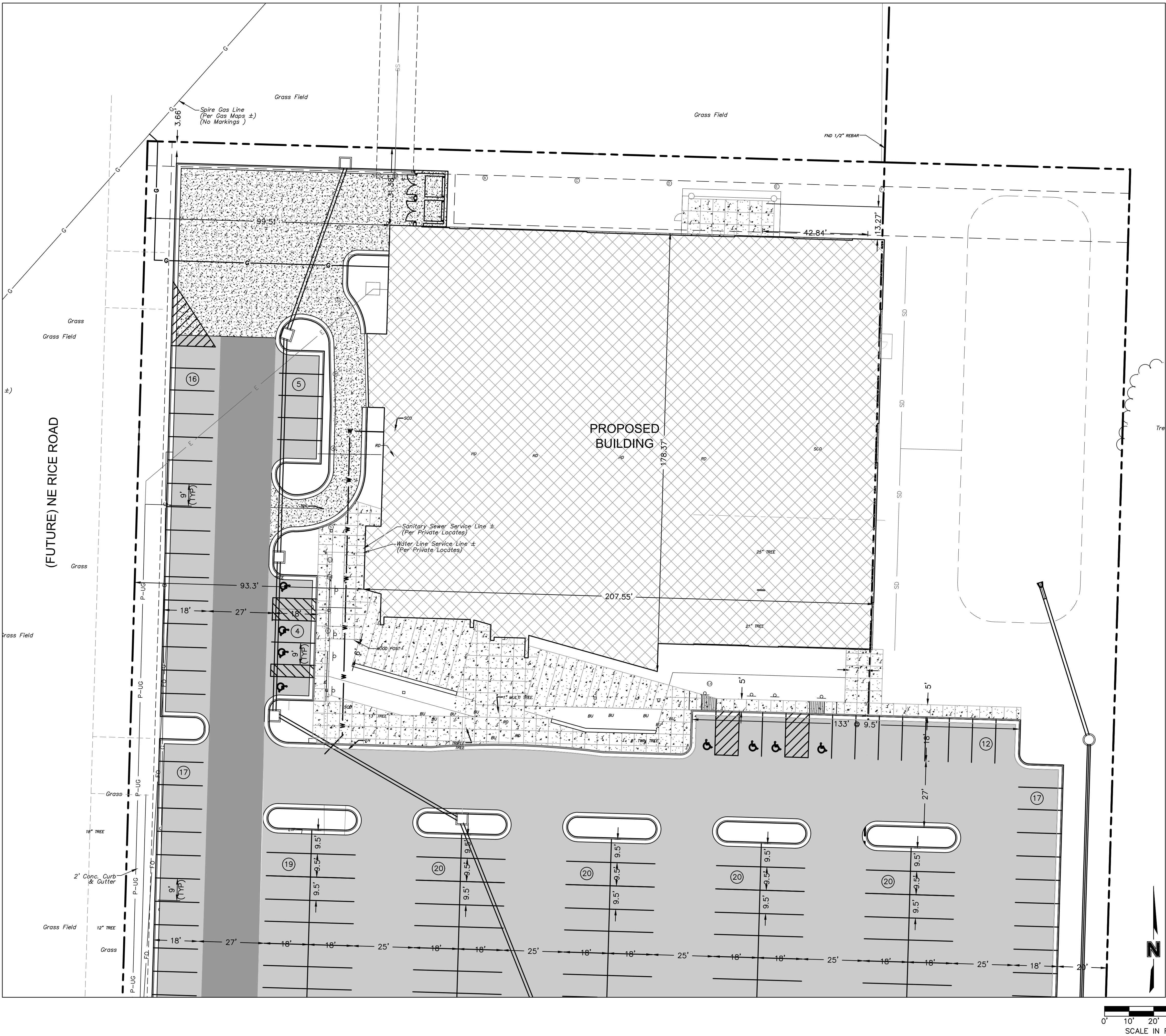
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| Project No. B18-0330 | Date 09-18-18 | Drawn KDP |
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C3

SITE DIMENSION PLAN

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EXISTING CONDITIONS LEGEND

- PROPERTY LINES
- EASEMENT LINES
- P-OH OVERHEAD ELECTRIC
- P-UG UNDERGROUND ELECTRIC
- TEL UNDERGROUND TELEPHONE
- FO UNDERGROUND FIBER OPTIC
- G GAS LINE
- W WATER LINE
- SD STORM SEWER LINE
- SS SANITARY SEWER LINE
- 85.7 EXISTING GRADE CONTOURS

PROPOSED CONDITIONS LEGEND

- E PROPOSED UNDERGROUND ELECTRIC
- FO PROPOSED FIBER OPTIC
- W PROPOSED WATER LINE
- FP PROPOSED FIRE PROTECTION LINE
- SD PROPOSED STORM SEWER LINE
- SS PROPOSED SANITARY SEWER SERVICE
- CONCRETE CURB & GUTTER
- PROPOSED BUILDING
- PROPOSED CONCRETE SIDEWALK
- PROPOSED LIGHT DUTY ASPHALT
- PROPOSED DETENTION BASIN
- 85.7 PROPOSED GRADE CONTOURS

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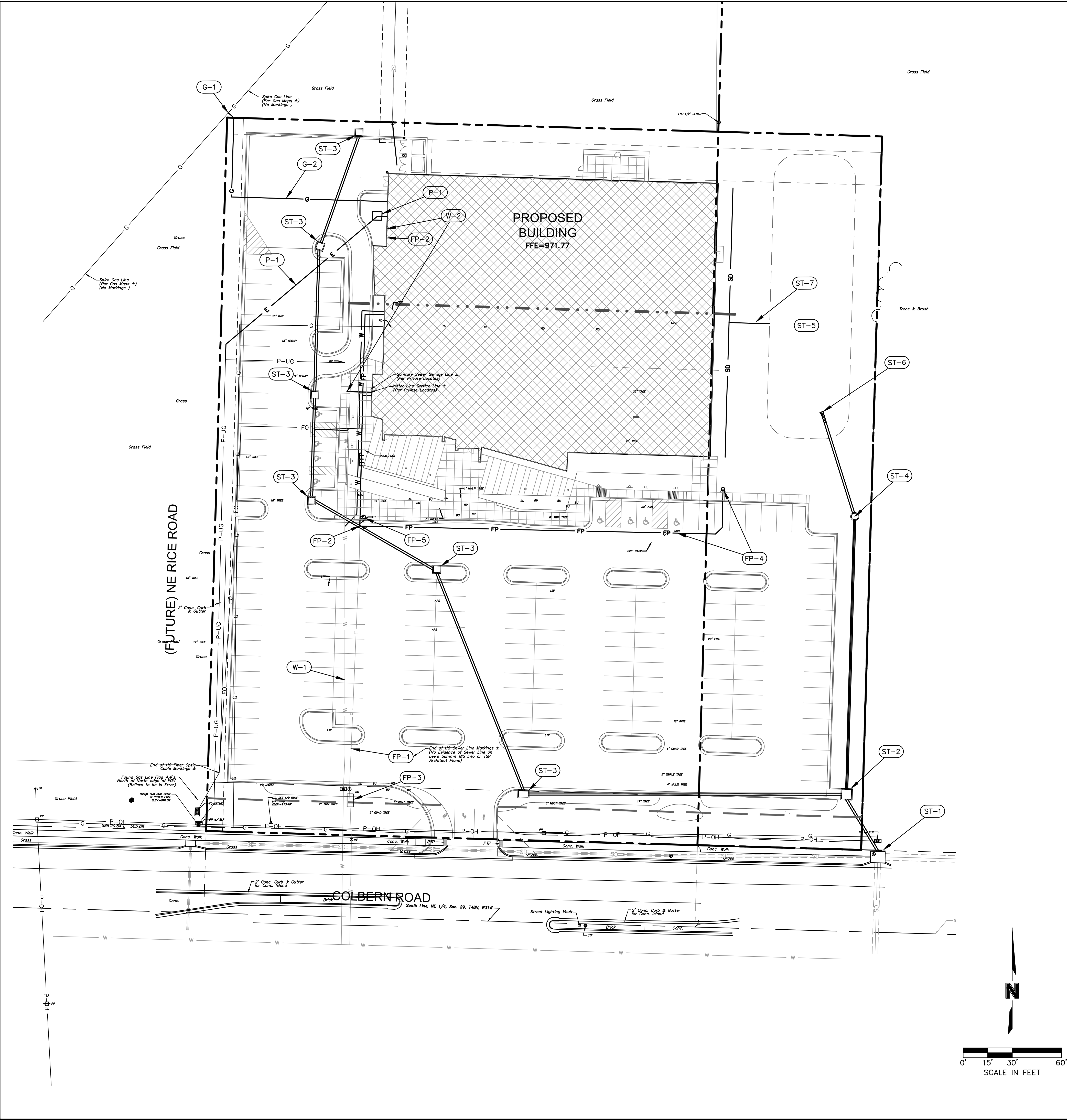
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C4

SITE DIMENSION PLAN

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EXISTING CONDITIONS LEGEND

| | |
|------|-------------------------|
| --- | PROPERTY LINES |
| --- | RIGHT-OF-WAY LINES |
| --- | EASEMENT LINES |
| P-OH | OVERHEAD ELECTRIC |
| P-UG | UNDERGROUND ELECTRIC |
| TEL | UNDERGROUND TELEPHONE |
| FO | UNDERGROUND FIBER OPTIC |
| G | GAS LINE |
| W | WATER LINE |
| SS | STORM SEWER LINE |
| SS | SANITARY SEWER LINE |

PROPOSED CONDITIONS LEGEND

| | |
|----|---------------------------------|
| E | PROPOSED UNDERGROUND ELECTRIC |
| FO | PROPOSED FIBER OPTIC |
| W | PROPOSED WATER LINE |
| FP | PROPOSED FIRE PROTECTION LINE |
| SD | PROPOSED STORM SEWER LINE |
| T | PROPOSED TURF DRAIN LINE |
| SS | PROPOSED SANITARY SEWER SERVICE |
| | CONCRETE CURB & GUTTER |
| | PROPOSED BUILDING |

UTILITY KEYNOTES:

- WATER**
W-1 EXISTING 2" SERVICE LINE TO REMAIN
W-2 EXTEND 2" EXISTING SERVICE TO PROPOSED BUILDING
- FIRE PROTECTION**
FP-1 EXISTING 6" FIRE SERVICE TO REMAIN
FP-2 EXTEND 6" FIRE SERVICE LINE TO PROPOSED BUILDING
FP-3 INSTALL BACK FLOW PREVENTOR ON EXISTING FIRE PROTECTION LINE
FP-4 INSTALL 6" FIRE LINE W/ HYDRANT
FP-5 RELOCATE EXISTING HYDRANT
- SANITARY SEWER**
SS-1 INSTALL 4" PVC SERVICE LINE TO PROPOSED BUILDING
- STORM SEWER**
ST-1 CONNECT TO EXISTING CURB INLET
ST-2 CONSTRUCT CURB INLET/ CONTROL STRUCTURE
ST-3 CONSTRUCT CURB INLET
ST-4 CONSTRUCT STD 4' DIAM MANHOLE
ST-5 EXTENDED DRY DETENTION BASIN
ST-6 INSTALL STD 24" FLARED END SECTION
ST-7 ROOF DRAINS TO DETENTION BASIN
- POWER**
P-1 PRIMARY SERVICE -COORDINATE WITH EVERGY.
P-2 PROPOSED TRANFORMER LOCATION COORDINATE WITH EVERGY AND MEP.
- GAS**
G-1 CONNECTION TO EXISTING GAS LINE. COORDINATE WITH ASPIRE.
G-2 INSTALL 1 1/2" GAS SERVICE TO PROPOSED BUILDING

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SPECIAL NOTICES

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Mid-Continent Public Library
PRELIMINARY DEVELOPMENT PLANS FOR
COLBERN ROAD BRANCH
1000 N.E. COLBERN ROAD
LEE'S SUMMIT, MO 64086
JACKSON COUNTY

Engineer of Record

Terry M Parsons, Engineer MO PE-2018010505

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Revision No. Description Date

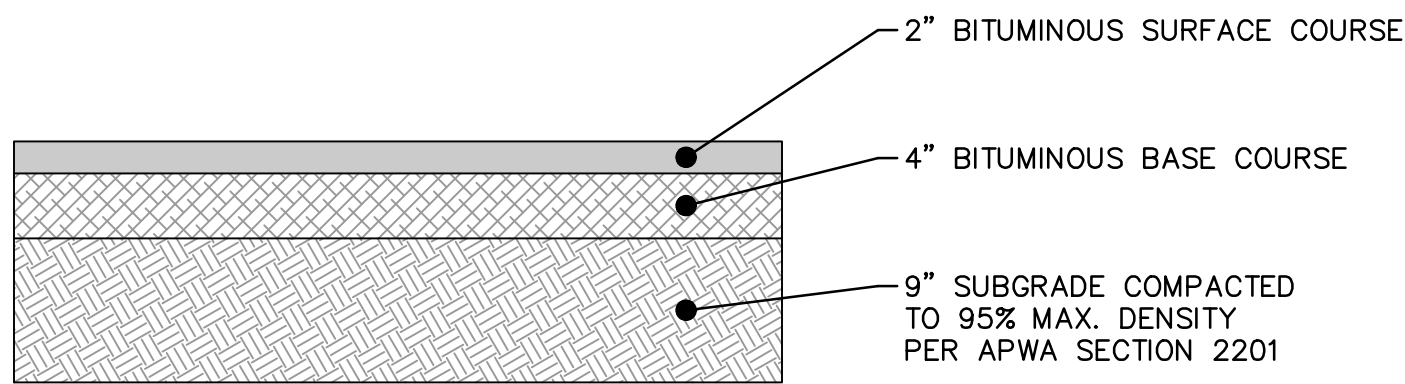
Project No. B18-0330 Date 09-18-18 Drawn KDP

Drawing No.

C6
UTILITY PLAN

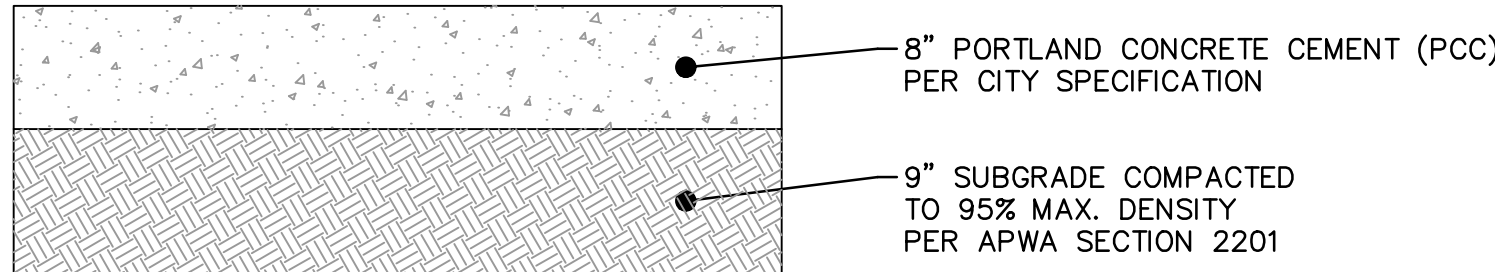
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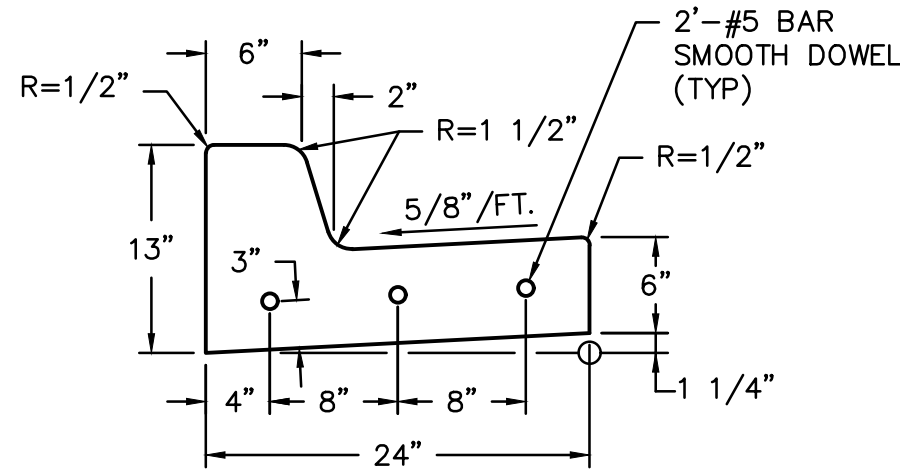
NOTE: ALL CONSTRUCTION, SITE PREPARATION, GRADING, AND EXCAVATION PROCEDURES SHALL CONFORM TO RECOMMENDATIONS AS OUTLINED IN THE GEOTECHNICAL REPORT INCLUDING ADDENDUMS. CONTRACTOR SHALL CONTACT ENGINEER WITH ANY DISCREPANCIES OR CONCERNS BASED ON ACTUAL SITE CONDITIONS.

ASPHALT PAVEMENT SECTION
NOT TO SCALE

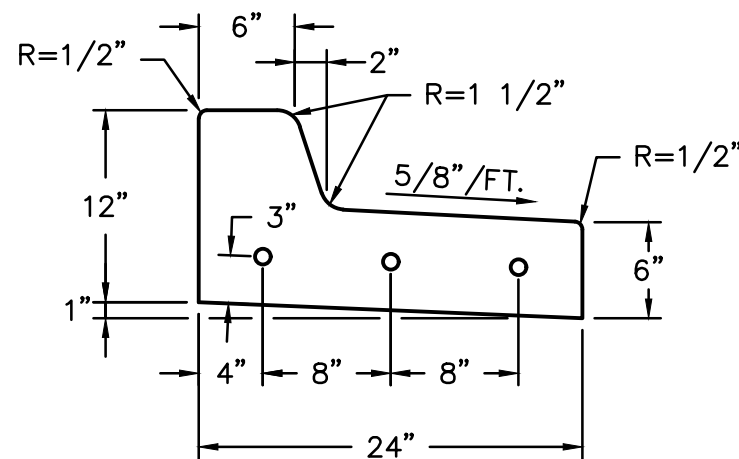


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PCC PAVEMENT SECTION
NOT TO SCALE



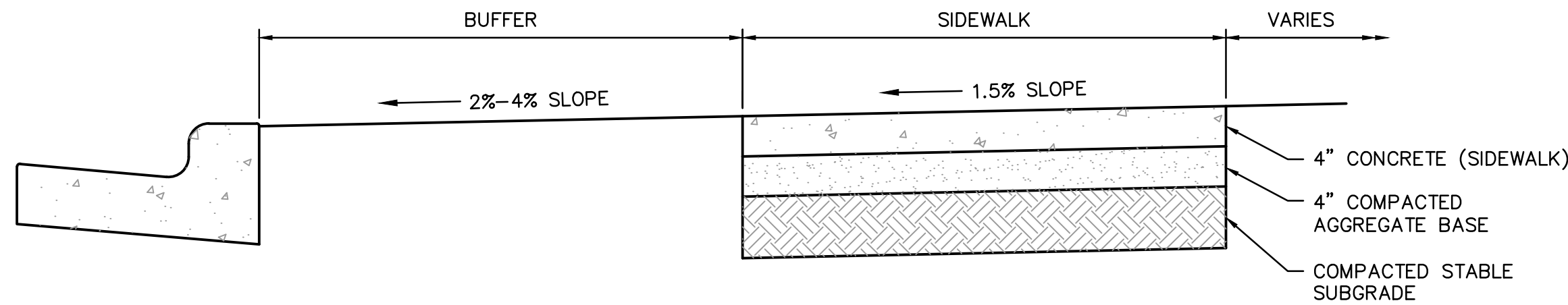
STRAIGHT BACK CURB & GUTTER
(TYPE CG-1)



STRAIGHT BACK DRY CURB & GUTTER
(TYPE CG-1 DRY)

GENERAL NOTES:

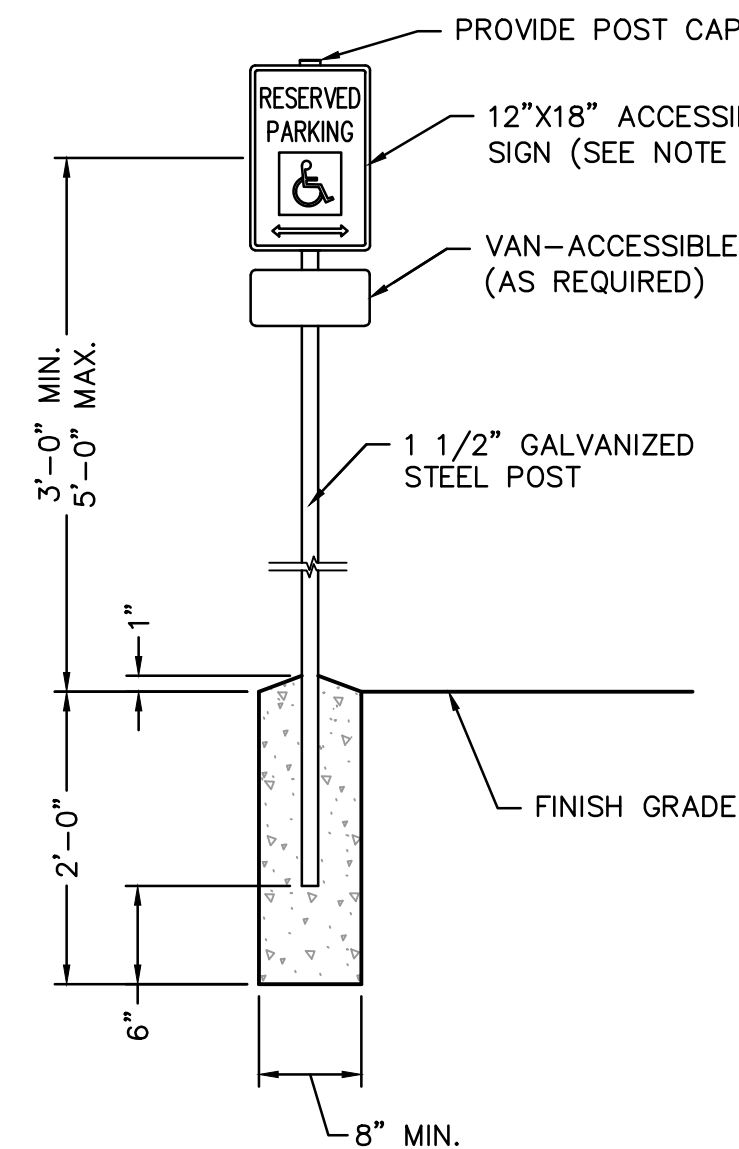
- 3/4" ISOLATION JOINTS WITH 3 (2'-#5 BAR) SMOOTH DOWELS SHALL BE PLACED AT RADIUS POINTS AND AT 150' INTERVALS. THESE DOWEL BARS SHALL BE GREASED AND WRAPPED ON ONE END WITH EXPANSION TUBES.
- 3" DEEP CONTRACTION JOINTS SHALL BE INSTALLED AT APPROXIMATELY 10' INTERVALS. THESE JOINTS SHALL PASS ACROSS THE ENTIRE CURB SECTION.
- CONCRETE FILL SHALL HAVE UNIFORM AND SMOOTH FINISH.
- KCMMB 4K CONCRETE SHALL BE USED FOR ALL CURB.
- ASPHALT CONCRETE SURFACE COURSE SHALL CONFORM TO STANDARD SPECIFICATIONS SECTION 2205.2.
- CURBS FOR NEW STREETS SHALL BE BUILT ON ASPHALT OR AGGREGATE BASE AS SHOWN IN TYPICAL SECTION DETAIL.
- WHITE CURING COMPOUND MUST BE APPLIED UNIFORMLY TO THE CONCRETE SURFACE IMMEDIATELY AFTER FINAL FINISHING.



CONCRETE SIDEWALK WITH BUFFER
NOT TO SCALE

GENERAL NOTES:

- SUBGRADE MUST BE OF STABLE, COMPACTED EARTH AND SHALL BE OVERLAYED WITH 4" COMPACTED DENSE GRADED AGGREGATE BASE.
- 1.5% GROSS SLOPE MUST BE MAINTAINED THROUGH DRIVEWAYS.
- KCMMB 4K CONCRETE MIX SHALL BE REQUIRED FOR ALL SIDEWALKS OR AS APPROVED BY THE CITY INSPECTOR.
- ALL SIDEWALKS SHALL MEET CURRENT PUBLIC RIGHT OF WAY ACCESSIBILITY GUIDELINES (PROWAG).
- AN EXPANSION JOINT SHALL BE PLACED AT A MAXIMUM OF 150 FT. CONSTRUCTION JOINTS SHALL BE PLACED THE SAME WIDTH OF SIDEWALK, BUT NO GREATER THAN 10 FT.
- SIDEWALK FINISHING (NO PICTURE FRAMING) AS DIRECTED BY CITY INSPECTOR.
- WHITE CURING COMPOUND MUST BE APPLIED UNIFORMLY TO THE CONCRETE SURFACE IMMEDIATELY AFTER FINAL FINISHING.



NOTES

- SIGN TO BE PER LOCAL JURISDICTION REQUIREMENTS. VERIFY SIZE, SHAPE & VERBIAGE
- PROVIDE SIGN AT EACH HANDICAPPED ACCESSIBLE PARKING STALL.

ACCESSIBLE PARKING
SPACE SIGNAGE
NOT TO SCALE

SAPP
DESIGN
ARCHITECTS

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PACKAGE
10

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C7

STANDARD DETAILS

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