

Minor Plat
Napa Valley - Lots 113A & 115A

Replat of Lots 113 & 115, Napa Valley - 2nd Plat

Section 36, Township 47, Range 32

Lee's Summit, Jackson County, Missouri

PLAT DESCRIPTION:

ALL OF LOTS 113 & 115, NAPA VALLEY 2ND PLAT, A SUBDIVISION IN LEE'S SUMMIT, JACKSON COUNTY, MISSOURI.

CONTAINS 26,391.03 Square Feet or 0.61 Acres.

DEDICATION:

THE UNDERSIGNED PROPRIETOR OF THE ABOVE DESCRIBED TRACT OF LAND HAS CAUSED THE SAME TO BE SUBDIVIDED IN THE MANNER SHOWN ON THE ACCOMPANYING MINOR PLAT, WHICH PLAT AND SUBDIVISION SHALL HEREAFTER BE KNOWN AS:

"Napa Valley - Lots 113A & 115A"

EASEMENTS:

AN EASEMENT OR LICENSE IS HEREBY GRANTED TO THE CITY OF LEE'S SUMMIT, MISSOURI, TO LOCATE, CONSTRUCT AND MAINTAIN, OR TO AUTHORIZE THE LOCATION, CONSTRUCTION AND MAINTENANCE OF POLES, WIRES, ANCHORS, CONDUITS, AND/OR STRUCTURES FOR WATER, GAS, SANITARY SEWER, STORM SEWER, SURFACE DRAINAGE CHANNEL, ELECTRICITY, TELEPHONE, CABLE TV, OR ANY OTHER NECESSARY PUBLIC UTILITY OR SERVICES, ANY OR ALL OF THEM, UPON, OVER, OR UNDER THOSE AREAS OUTLINED AND DESIGNATED UPON THIS PLAT AS "UTILITY EASEMENTS" (U.E.), "DRAINAGE EASEMENT" (D.E.) OR WITHIN ANY STREET OR THOROUGHFARE DEDICATED TO THE PUBLIC USE ON THIS PLAT. GRANTOR, ON BEHALF OF HIMSELF, HIS HEIRS, HIS ASSIGNS AND SUCCESSORS IN INTEREST, HEREBY WAIVES, TO THE FULLEST EXTENT ALLOWED BY LAW, INCLUDING, WITHOUT LIMITATIONS, SECTION 527.188, RSMo (2006), ANY RIGHT TO REQUEST RESTORATION OF RIGHTS PREVIOUSLY TRANSFERRED AND VACATION OF THE EASEMENTS HEREIN GRANTED.

BUILDING LINES:

BUILDING LINES OR SETBACK LINES ARE HEREBY ESTABLISHED AS SHOWN ON THE ACCOMPANYING PLAT AND NO BUILDING OR PORTION THEREOF SHALL BE CONSTRUCTED BETWEEN THIS LINE AND THE STREET RIGHT OF WAY LINE

OIL - GAS WELLS:

THERE IS NO VISIBLE EVIDENCE OF ABANDONED OIL OR GAS WELLS LOCATED WITHIN THE PLAT BOUNDARIES, AS IDENTIFIED IN "ENVIRONMENTAL IMPACT STUDY OF ABANDONED OIL AND GAS WELLS IN LEE'S SUMMIT, MISSOURI," EDWARD ALTON MAY JR., P.E., 1995.

DRAINAGE NOTE:

THE INDIVIDUAL LOT OWNER SHALL NOT CHANGE OR OBSTRUCT THE DRAINAGE FLOW LINES OR PATHS ON THE LOT, UNLESS SPECIFIC APPLICATION IS MADE AND APPROVED BY THE CITY ENGINEER.

OWNER LOT 115

IN TESTIMONY THEREOF:

MAR INVESTMENTS INC. A MISSOURI CORPORATION, HAS CAUSED THESE PRESENT TO BE SIGNED THIS _____ DAY OF _____ 2019.

MANAGER: ELIZABETH MARTIN

NOTARY CERTIFICATION

STATE OF _____)

COUNTY OF _____)SS

ON THIS _____ DAY OF _____, 2019, BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, PERSONALLY APPEARED ELIZABETH MARTIN, MANAGER OF MAR INVESTMENTS INC., A MISSOURI CORPORATION, TO ME KNOWN TO BE THE PERSON DESCRIBED HEREIN AND WHO EXECUTED THE FOREGOING INSTRUMENT ON BEHALF OF SAID COMPANY AND BEING DULY SWORN BY ME DID ACKNOWLEDGE THAT HE/SHE EXECUTED THE FOREGOING INSTRUMENT AS THEIR FREE ACT AND DEED.

IN WITNESS WHEREOF

I HAVE SET MY HAND AND AFFIXED MY SEAL THE DAY AND YEAR LAST WRITTEN ABOVE.

NOTARY PUBLIC

MY COMMISSION EXPIRES _____

OWNER LOT 113

IN TESTIMONY THEREOF:

BRETT AND AMANDA FISHER, HUSBAND AND WIFE, HAVE CAUSED THESE PRESENT TO BE SIGNED THIS _____ DAY OF _____ 2019.

BRETT FISHER

AMANDA FISHER

NOTARY CERTIFICATION

STATE OF _____)

COUNTY OF _____)SS

ON THIS _____ DAY OF _____, 2019, BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, PERSONALLY APPEARED BRETT AND AMANDA FISHER, HUSBAND AND WIFE, TO ME KNOWN TO BE THE PERSONS DESCRIBED HEREIN AND BEING DULY SWORN BY ME DID ACKNOWLEDGE THAT THEY EXECUTED THE FOREGOING INSTRUMENT AS THEIR FREE ACT AND DEED.

IN WITNESS WHEREOF

I HAVE SET MY HAND AND AFFIXED MY SEAL THE DAY AND YEAR LAST WRITTEN ABOVE.

NOTARY PUBLIC

MY COMMISSION EXPIRES _____

CITY OF LEE'S SUMMIT:

THIS IS TO CERTIFY THAT THE MINOR PLAT OF NAPA VALLEY - LOTS 113A & 115A WAS SUBMITTED TO AND DULY APPROVED BY THE CITY OF LEE'S SUMMIT, MISSOURI, PURSUANT TO CHAPTER 33 OF THE CITY OF LEE'S SUMMIT CODE OF ORDINANCES, THE UNIFIED DEVELOPMENT ORDINANCE.

By

Ryan A. Elam, P.E., Director of Development Services Date

By

Trisha Fowler Arcuri, City Clerk Date

By

George M Binger, III P.E., City Engineer Date

APPROVED BY JACKSON COUNTY ASSESSOR/GIS DEPT:

By

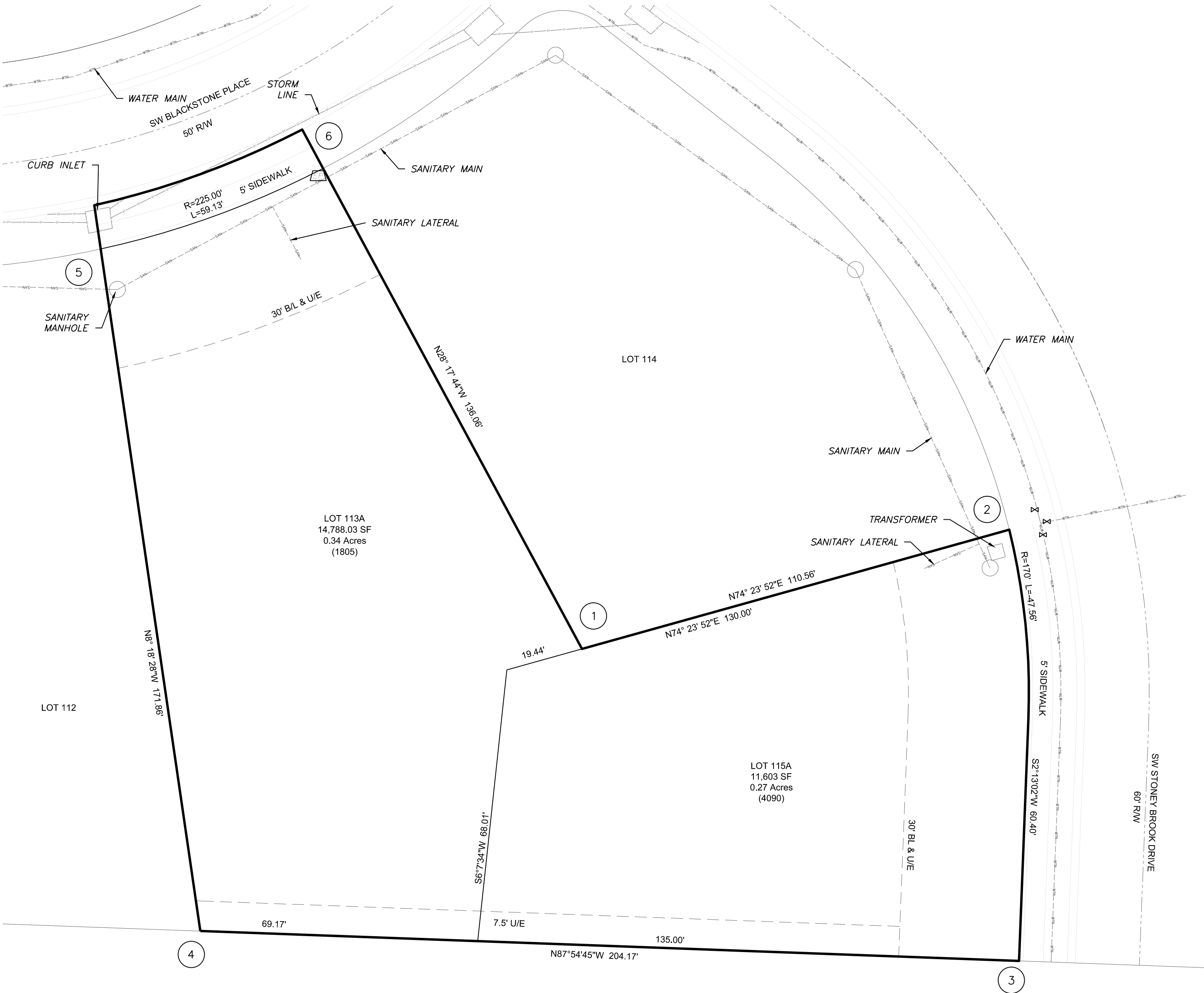
Date

SURVEYOR'S CERTIFICATION:

I HEREBY CERTIFY THAT I HAVE MADE A SURVEY OF THE PREMISES DESCRIBED HEREIN WHICH MEETS OR EXCEEDS THE CURRENT "MISSOURI MINIMUM STANDARDS FOR PROPERTY BOUNDARY SURVEYS" AS JOINTLY ESTABLISHED BY THE MISSOURI BOARD FOR ARCHITECTS, PROFESSIONAL ENGINEERS, PROFESSIONAL LAND SURVEYORS, AND LANDSCAPE ARCHITECTS AND THE MISSOURI DEPARTMENT OF AGRICULTURE AND RESOURCE ASSESSMENT AND THAT THE RESULTS OF SAID SURVEY ARE REPRESENTED ON THIS PLAT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE AND BELIEF.

DATE: _____

MATTHEW J. SCHLICHT, MOPLS 2012000102
ENGINEERING SOLUTIONS, LLC, MO CORP LS 2005008319-D



SURVEYOR'S GENERAL NOTES:

- THIS SURVEY IS BASED UPON THE FOLLOWING INFORMATION PROVIDED BY THE CLIENT OR RESEARCHED BY THIS SURVEYOR.
(A). PLAT OF NAPA VALLEY 2nd PLAT, RECORDED AS INSTRUMENT NO. 2016E0116406.
- THIS SURVEY MEETS OR EXCEEDS THE ACCURACY STANDARDS OF A (URBAN) PROPERTY BOUNDARY SURVEY AS DEFINED BY THE MISSOURI STANDARDS FOR PROPERTY BOUNDARY SURVEYS.
- NO TITLE REPORT WAS FURNISHED.
- THIS COMPANY ASSUMES NO RESPONSIBILITY IN THE LOCATION OF EXISTING UTILITIES WITHIN THE SUBJECT PREMISES. THIS IS AN ABOVE-GROUND SURVEY. THE UNDERGROUND UTILITIES, IF SHOWN, ARE BASED ON INFORMATION PROVIDED BY THE VARIOUS UTILITY COMPANIES AND THESE LOCATIONS SHOULD BE CONSIDERED APPROXIMATE. THERE MAY BE ADDITIONAL UNDERGROUND UTILITIES NOT SHOWN ON THIS DRAWING.
- SUBSURFACE AND ENVIRONMENTAL CONDITIONS WERE NOT SURVEYED OR EXAMINED OR CONSIDERED AS A PART OF THIS SURVEY. NO EVIDENCE OR STATEMENT IS MADE CONCERNING THE EXISTENCE OR UNDERGROUND OR OVERHEAD CONDITIONS, CONTAINERS OR FACILITIES THAT MAY AFFECT THE USE OR DEVELOPMENT OF THIS PROPERTY. NO ATTEMPT HAS BEEN MADE TO OBTAIN OR SHOW DATA CONCERNING EXISTENCE, SIZE, DEPTH, CONDITIONS, CAPACITY OR LOCATION OF ANY UTILITY EXISTING ON THE SITE, WHETHER PRIVATE, MUNICIPAL OR PUBLIC OWNED.
- BEARINGS SHOWN HEREIN ARE BASED ON THE PLAT OF NAPA VALLEY 2ND PLAT
- THE SUBJECT PROPERTY SURVEYED LIES WITHIN A FLOOD ZONE DESIGNATED ZONE (X). AREAS LOCATED OUTSIDE THE 100 YEAR FLOOD PLAIN, PER F.E.M.A. COMMUNITY PANEL NO. 29095C0531 G EFFECTIVE DATE: JANUARY 20, 2017.
- (####) - INDICATES STREET ADDRESS.

Missouri State Plane Coordinate System
1983, Missouri West Zone

POINT	NORTHING	EASTING
1	297429.123	857564.548
2	297438.188	857597.003
3	297405.422	857597.746
4	297407.683	857535.561
5	297459.518	857527.993
6	297465.644	857544.888
CA08	295023.772	857606.886
CA08AZ	295008.486	857868.230

Coordinates Shown in Meters

REVISIONS

DATE	REVISIONS

Minor Plat - Napa Valley Lots 113A & 115A
Section 36, Township 47, Range 32
Lee's Summit, Jackson County, Missouri

Minor Plat

SHEET	SECTION	TOWNSHIP	RANGE	COUNTY	JOB NO.
1	36	47	32	Jackson	Napa Valley 113, 115
DATE OF PREPARATION	SCALE	DATE OF PREPARATION	SCALE	DATE OF PREPARATION	SCALE
October 2, 2019	1" = 20'	October 2, 2019	1" = 20'	October 2, 2019	1" = 20'

PROFESSIONAL SEAL

ENGINEERING
ENGINEERING & SURVEYING
SOLUTIONS
50 SE 30TH STREET
LEE'S SUMMIT, MO 64082
P: (816) 623-9888 F: (816) 623-9849