

Sheet
1 of 23

FINAL DEVELOPMENT PLANS

LAKEWOOD RETAIL
5030 LAKEWOOD WAY

COVER SHEET

All of Lot 11C, EXECUTIVE LAKES CENTER, LOTS 11B AND 11C, a subdivision in the City of Lee's Summit, Jackson County, Missouri. Containing 79,760.41 Sq.Ft. or 1.8310 Acres.

1. ALL CONSTRUCTION METHODS AND MATERIALS SHALL MEET THE LATEST REQUIREMENTS OF THE CITY OF LEE'S SUMMIT, MISSOURI.
2. THE CONTRACTOR IS REQUIRED TO CALL "MISSOURI ONE-CALL" AT 1-800-DIG-RITE (344-7483) AND HAVE UTILITIES LOCATED BEFORE UNDERTAKING EXCAVATION. THIS ACTION DOES NOT RELIEVE THE CONTRACTOR OF INDEPENDENT VERIFICATION BY HIS OWN FORCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING AT HIS OWN EXPENSE ANY EXISTING UTILITIES DAMAGED DURING CONSTRUCTION.
3. RECONNAISSANCE INFRASTRUCTURE CONSULTING DOES NOT CERTIFY AS TO THE LOCATION OF ANY UNDERGROUND UTILITIES NOR AS TO SOIL AND GROUND CONDITIONS.
4. CONTRACTOR TO VERIFY ALL DIMENSIONS AND ELEVATIONS IN THE FIELD BEFORE STARTING CONSTRUCTION AND NOTIFY THE ENGINEER OF ANY DIFFERENCES.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING WITH MATCHING MATERIALS ANY PAVEMENT, DRIVEWAYS, WALKS, CURBS, ETC. THAT MUST BE CUT OR THAT ARE DAMAGED DURING CONSTRUCTION.
6. RELOCATION OF ANY UTILITIES IS TO BE AT THE CONTRACTOR'S EXPENSE AND COMPLETED WITH SITE WORK. ALL NEW UTILITY LINE INSTALLATION MUST BE UNDERGROUND (I.E., TELEPHONE, ELECTRIC, ETC.)

THE PROPERTY SHOWN HEREON LIES WITHIN SHADED FLOOD HAZARD ZONE "X", AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS DEPICTED ON FLOOD INSURANCE RATE MAP, COMMUNITY PANEL #29095C031G, HAVING AN EFFECTIVE DATE OF JANUARY 20, 2017 AND PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

MO UTILITIES ONE-CALL SYSTEM	800-DIG-RITE (344-7483)
LEE'S SUMMIT, MO WATER/SEWER AFTER HOURS EMERGENCIES	816-969-1900 816-969-7407
MISSOURI HIGHWAY & TRANSPORTATION DEPT	816-889-6416
KANSAS CITY POWER & LIGHT	888-471-5275
SPIRE ENERGY (MISSOURI GAS ENERGY)	816-756-5252
A&T CABLE HAZARD CENTER	800-252-1133



PARCEL# 43-240-08-05-00-0-00-000
1.831 Ac.
5030 NE LAKEWOOD WAY, LEE'S
SUMMIT, MO

TOP STAR, LLC
244 WEST MILL STREET
SUITE 101
LIBERTY, MO 64068
TELEPHONE: (816) 781-3322
FAX: (816) 781-0816

RENAISSANCE INFRASTRUCTURE CONSULTING 5015 NW CANAL
STREET, SUITE 100
RIVERSIDE, MISSOURI 64150
(816) 800-0950
CONTACT: BRETT A. COX, PE
EMAIL: bcox@ric-consult.com

I, BRETT A. COX, A PROFESSIONAL ENGINEER IN THE STATE OF MISSOURI, DO HEREBY CERTIFY THAT, TO THE BEST OF MY KNOWLEDGE, THIS PLAN CONFORMS TO ALL APPLICABLE STATE AND LOCAL STANDARDS.

BRETT A. COX, PE

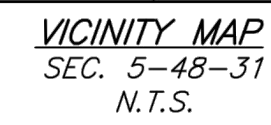
A101
A201
A202
LAKEWOOD
A101
A201
A202

COVER SHEET
EXISTING CONDITIONS
GENERAL LAYOUT
GRADING PLAN
EROSION CONTROL PHASE 1
EROSION CONTROL PHASE 2
EROSION CONTROL PHASE 3
UTILITY PLAN
STORM SEWER PLAN & PROFILE
FLUME CALCULATIONS & DETAILS
STORM SEWER CALCULATIONS
EXISTING DETENTION BASIN PLAN
DETAILS
LANDSCAPE PLAN
SITE PHOTOMETRIC PLAN

COMMUNITY DEVELOPMENT DEPARTMENT

DATE _____

LOT 11C, EXECUTIVE LAKES CENTER
LEE'S SUMMIT, JACKSON COUNTY, MISSOURI



CERTIFICATION: I hereby certify, that this drawing is based on an actual field survey made by me or under my direct supervision on the 9th day of August, 2018 and that said survey meets or exceeds the current Missouri Standards for Property Boundary Surveys, as established by the Missouri Board for Architects, Professional Engineers and Land Surveyors, and the Missouri Department of Natural Resources, Division of Geology and Land Survey.



<i>Point #</i>	<i>Northing</i>	<i>Easting</i>	<i>Elevation</i>	<i>Description</i>
<i>1</i>	<i>1034478.70</i>	<i>2829553.63</i>	<i>944.22</i>	<i>JA-29 2</i>
<i>110</i>	<i>1033003.09</i>	<i>2829800.39</i>	<i>913.66</i>	<i>SET 1/2" BA</i>
<i>111</i>	<i>1033209.61</i>	<i>2829811.86</i>	<i>908.52</i>	<i>SET "+ " CUT</i>
<i>112</i>	<i>1032758.44</i>	<i>2829977.85</i>	<i>913.24</i>	<i>SET "+ " CUT</i>
<i>113</i>	<i>1032833.11</i>	<i>2829780.95</i>	<i>916.57</i>	<i>SET "+ " CUT</i>

PROPERTY DESCRIPTION:
All of Lot 11C, EXECUTIVE LAKES CENTER, LOTS 11B AND 11C, a subdivision in the City of Lee's Summit, Jackson County, Missouri.

1.) The plat of EXECUTIVE LAKES CENTER, LOTS 11B AND 11C, is recorded in Book 1142 at Page 72 in the Recorder of Deeds Office in Jackson County, Missouri.

2.) No Title Report was provide by client at the time of this survey, therefore all easements may not be shown.

3.) Basis of Bearings were established by the Missouri State Plane Coordinate System from GPS Observations.

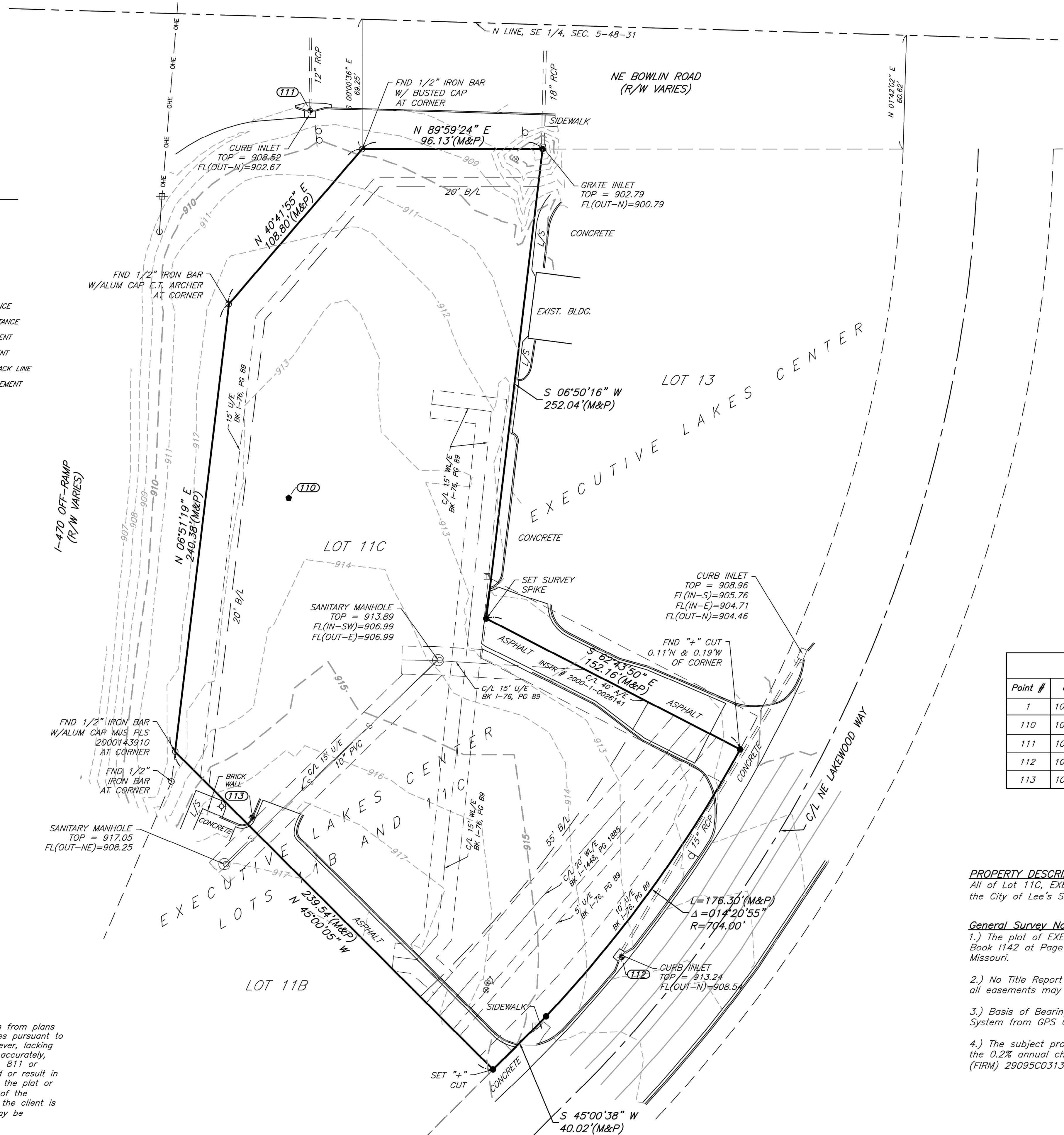
4.) The subject property is located in Zone X, areas determined to be outside the 0.2% annual chance floodplain, as shown on Flood Insurance Rate Map (FIRM) 29095C0313G, effective January 20, 2017.

●	- 1/2" BAR SET w/ J & J CAP	⊗ GV	- GAS VALVE
◆	- MONUMENT SET AS NOTED	⊗ M	- GAS METER
○	- 1/2" BAR FOUND	⊗ WV	- WATER VALVE
☆	- MONUMENT FND. AS NOTED	⊗ W	- WATER METER
⊕	- BENCHMARK	⊗ F	- FIRE HYDRANT
⊞ PP	- POWER POLE	○ BD	- PIPE BOLLARD
⌋	- GUY ANCHOR	(P)	- PLATTED DISTANCE
⊕	- LIGHT POLE	(M)	- MEASURED DISTANCE
⊞	- TELEPHONE PEDESTAL	A/E	- ACCESS EASEMENT
⊞ SMH	- SANITARY MANHOLE	U/E	- UTILITY EASEMENT
⊞	- SIGN POST	B/L	- BUILDING SETBACK LINE
— OH —	- OVERHEAD ELECTRIC	WL/E	- WATERLINE EASEMENT
— T —	- UNDERGROUND TELEPHONE		
— GAS —	- UNDERGROUND GAS LINE		
— W — W —	- UNDERGROUND WATER		
— S —	- SANITARY SEWER LINE		

CLIENT:
AGC Engineers

PROPERTY LOCATION:
5030 NE Lakewood Way
Lee's Summit, MO

The utilities on this survey are shown based on source information from plans and markings and were combined with observed evidence of utilities pursuant to Section 5.E.iv. to develop a view of the underground utilities. However, lacking excavation, the exact location of underground features cannot be accurately, completely, and reliably depicted. In addition, in some jurisdictions, 811 or other similar utility locate requests from surveyors may be ignored or result in an incomplete response, in which case the surveyor shall note on the plat or in the notes to this survey that the assessment of the location of the utilities where additional or more detailed information is required. The client is advised that excavation and/or a private utility locate request may be necessary.



Location: S:\18.223 - 5030 NE Lakewood Way\DRAWINGS\BOU&TOPO.dwg



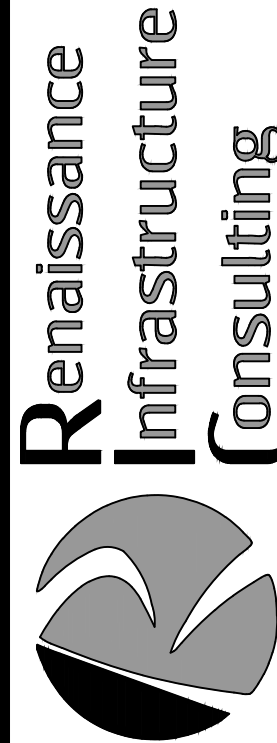
J & J
SURVEY
LLC

3550 NW TOWER DR., SUITE 102 • PLATTE WOODS, MO 64151
TEL: 816.221.1111 FAX: 816.221.1112
WWW.JANDJSURVEYLLC.COM

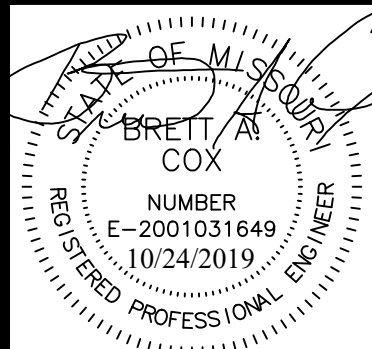
PHONE (616) 741-1017 • FAX (616) 741-1018

INITIAL SUBMITTAL	8/15/18

NO.	BY	DATE	REVISION
1.	BAC	08/12/19	REVISED PER CITY COMMENTS
	BAC		ORIGINAL SUBMITTAL



5015 NW CANAL STREET, SUITE 100
RIVERVIEW, MISSOURI 64150
816.800.0950
WWW.RIC-CONSULT.COM



MISSOURI CERTIFICATE OF AUTHORITY NO. 20100363630

LAND USE SCHEDULE

PROJECT NAME

LAKESWOOD RETAIL

ZONING:

CP-2

SITE CALCULATIONS

TOTAL SITE AREA:

1,831-ACRES OR 79,760-SQUARE FEET

PROPOSED IMPERVIOUS AREA:

51,854-SQUARE FEET

BUILDING INFORMATION

BUILDING #1

4,800-SQUARE FEET

BUILDING #2

4,800-SQUARE FEET

TOTAL FLOOR AREA:

9,600-SQUARE FEET

FLOOR AREA RATIO:

0.12 (MAX 0.55 FAR)

PARKING REQUIREMENTS

PARKING (OFFICE/RETAIL @ 5/1000 S.F.):

48 SPACES REQUIRED IN C-2 ZONE

PARKING PROVIDED:

53 SPACES (INCLUDES 6 HANDICAPPED)

HANDICAPPED SPACES REQUIRED:

3 SPACES

HANDICAPPED SPACES PROVIDED:

6 SPACES

VAN ACCESSIBLE SPACES:

1 SPACE PER 8 HDCP SPACES (1 MIN.)

VAN ACCESSIBLE SPACES PROVIDED:

3 SPACES

CONTACT

APPLICANT/OWNER:

STAR ACQUISITIONS, INC. (TOP STAR LLC)
244 WEST MILL STREET, SUITE 101
LIBERTY, MO 64068
(816) 781-3322

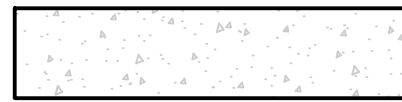
ARCHITECT:

HERMAN SCHARHAG CO.
JEFF SCHROEDER, AIA
(816) 656-5055

ENGINEER:

RENAISSANCE INFRASTRUCTURE CONSULTING
BRETT A. COX, PE
(816) 800-0950

Pavement Legend

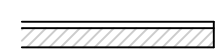


Concrete Pavement

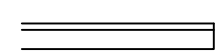


Asphalt Pavement

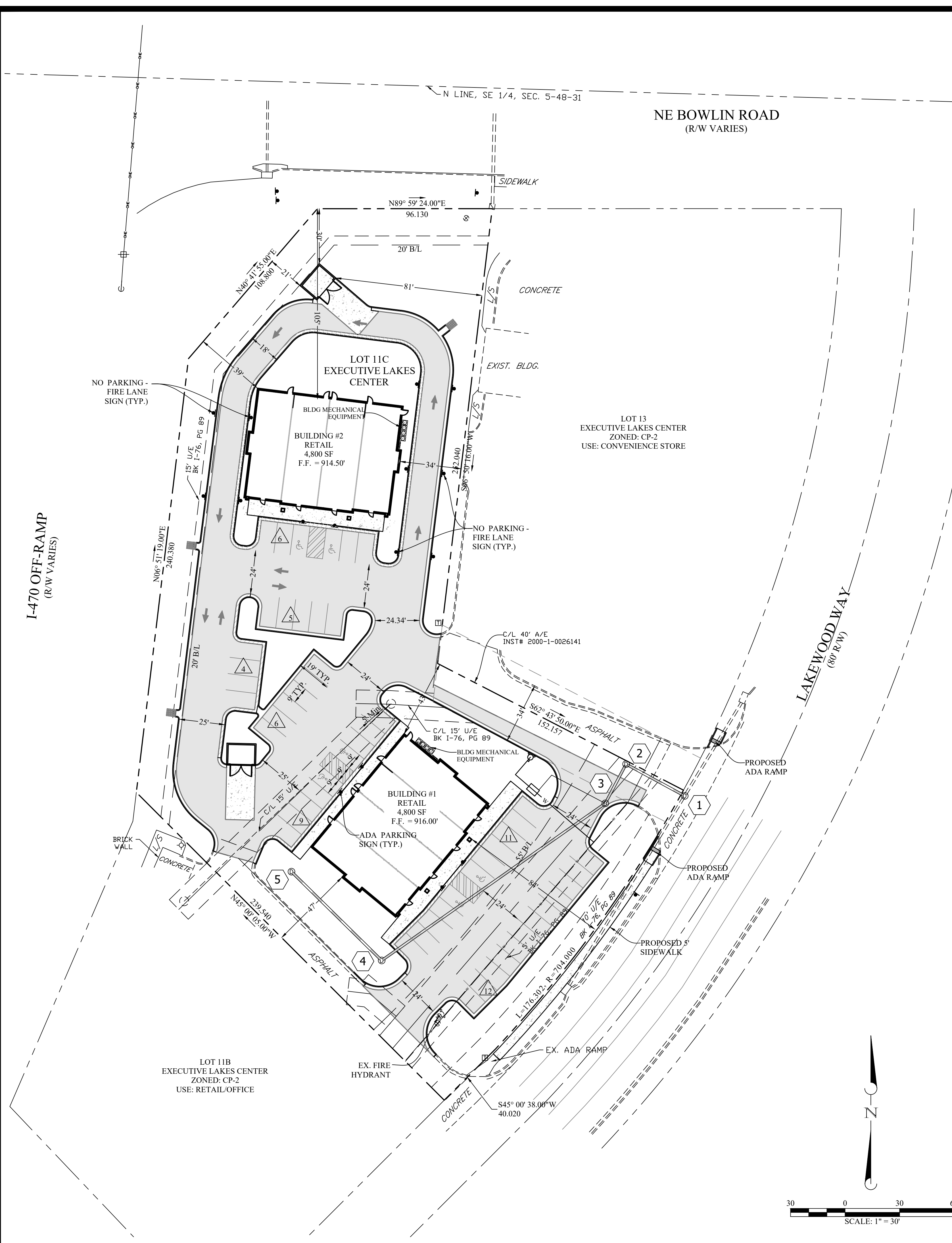
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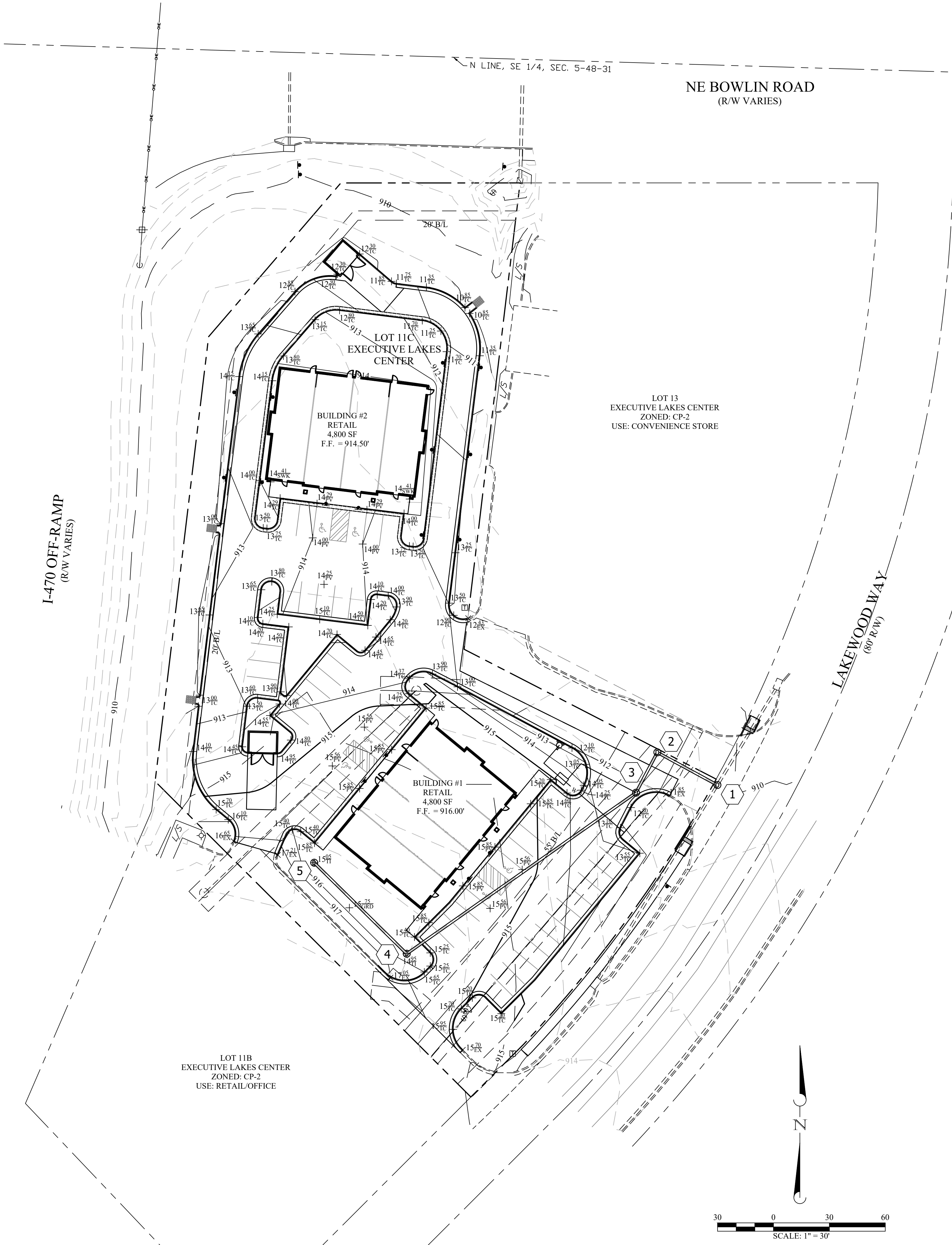
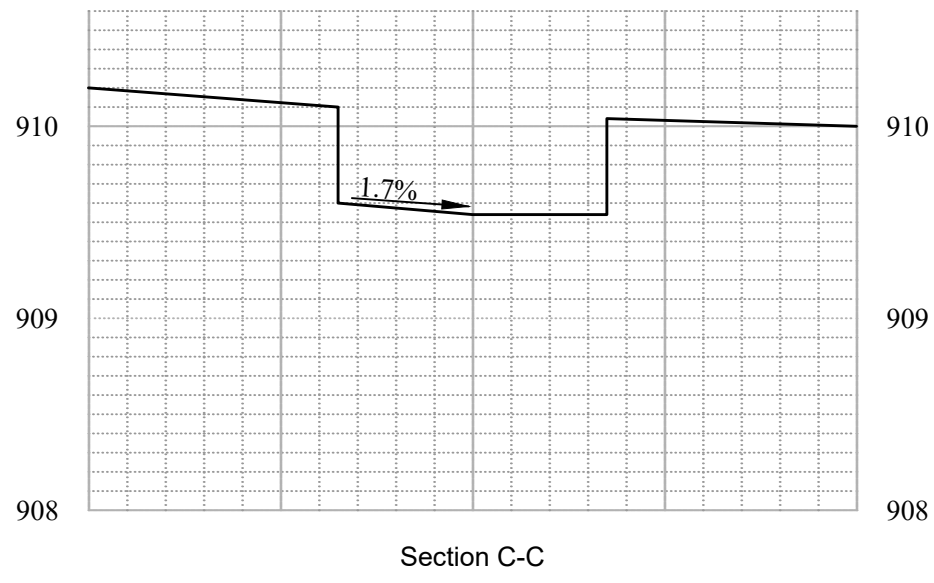
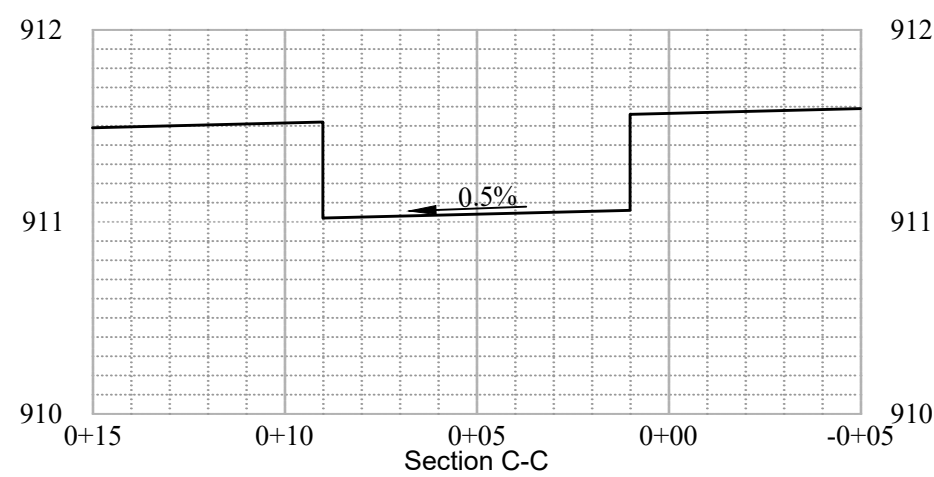
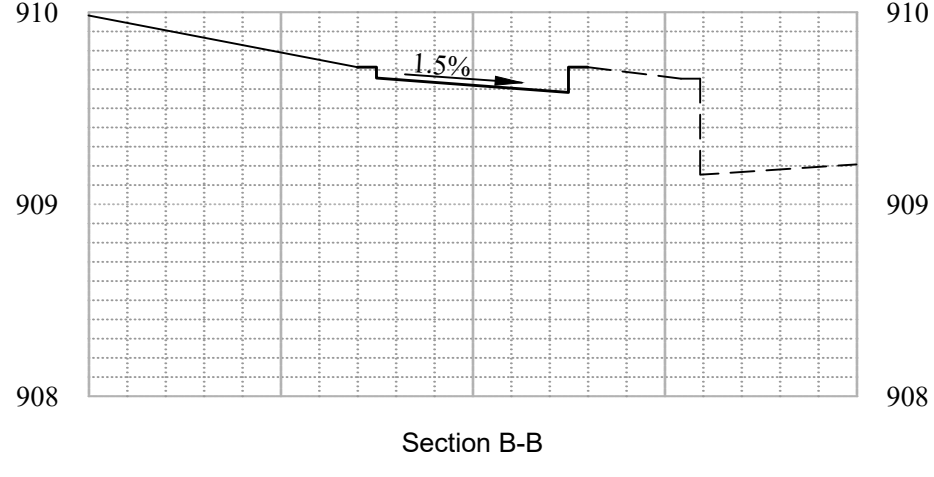
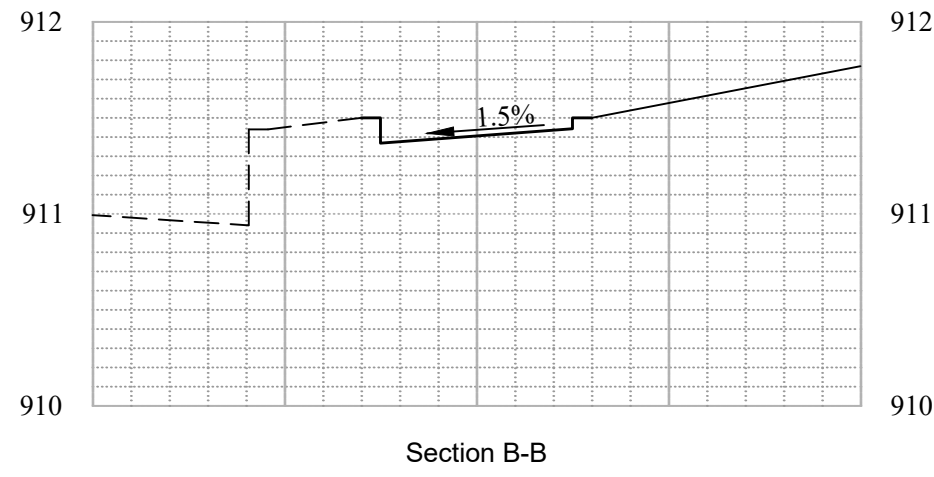
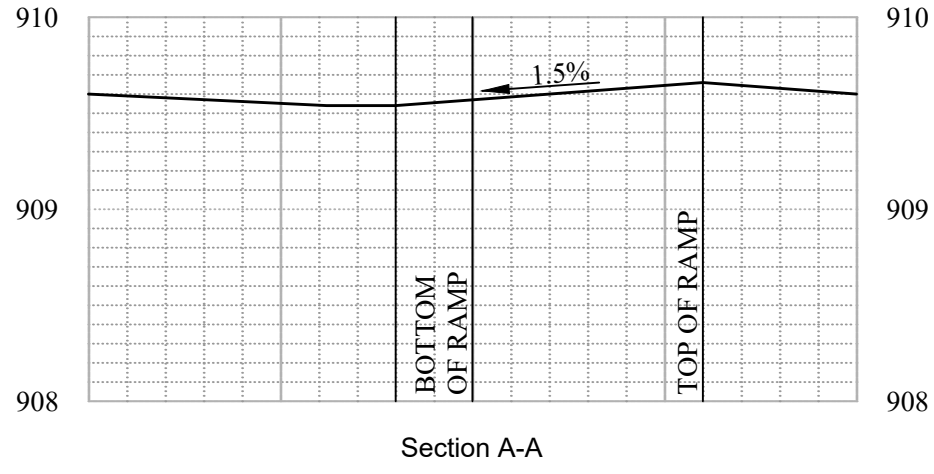
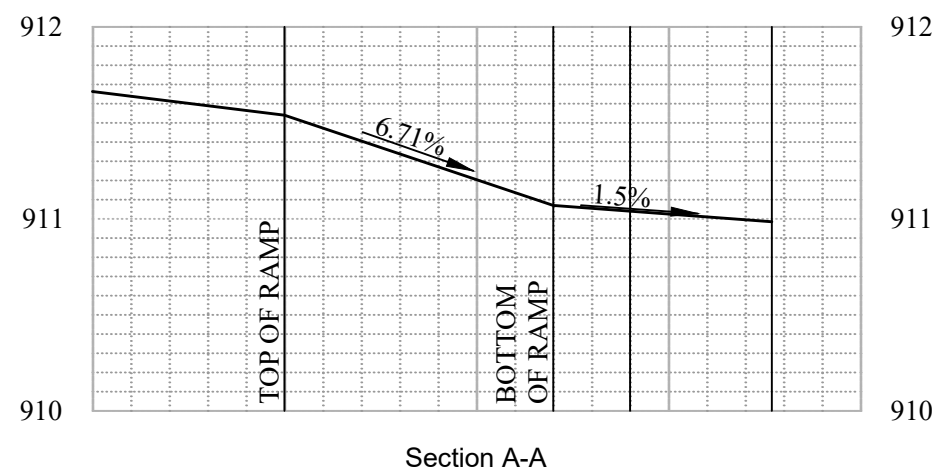
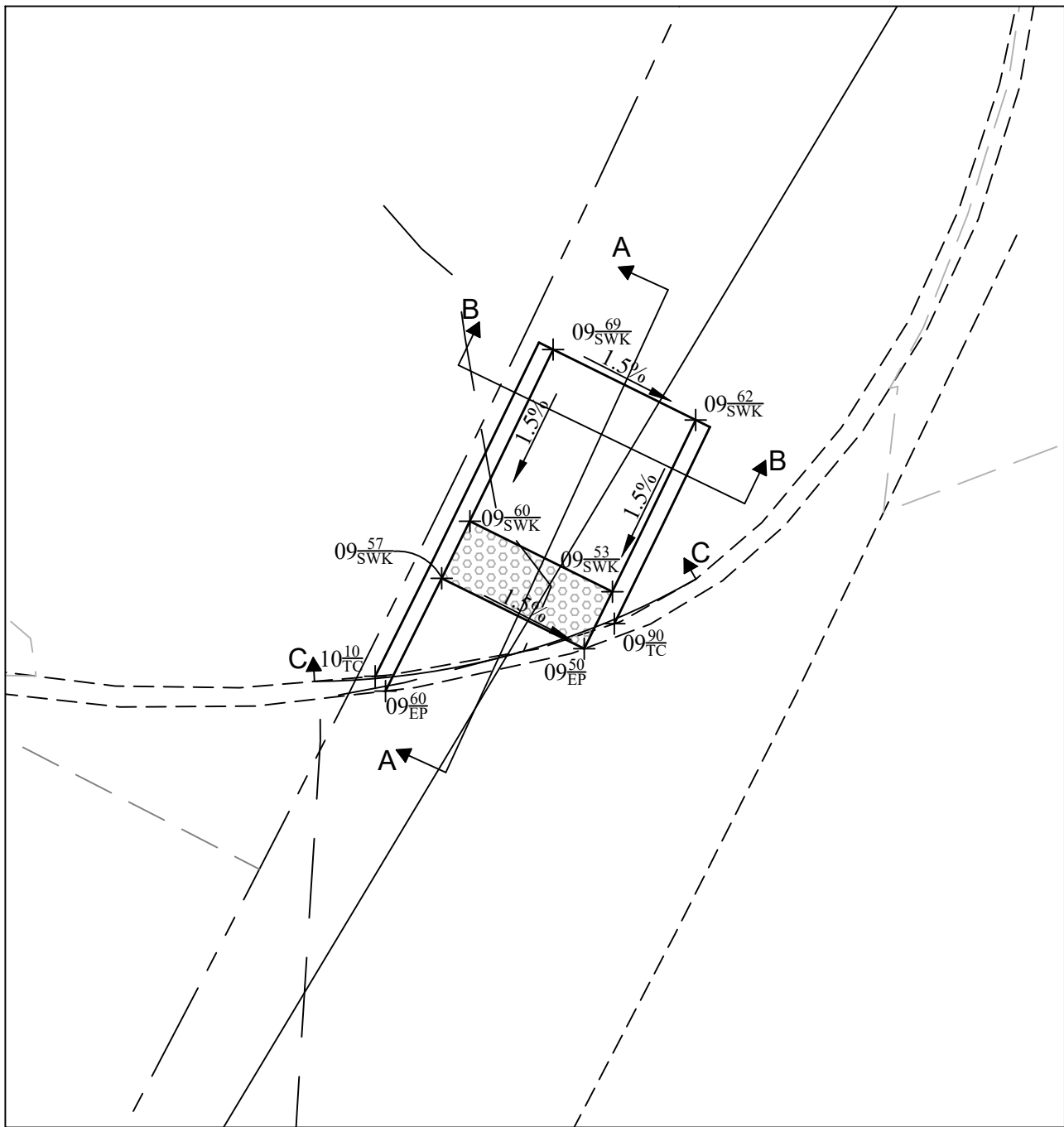


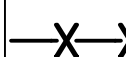
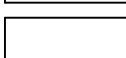
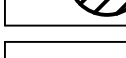
Dry Curb

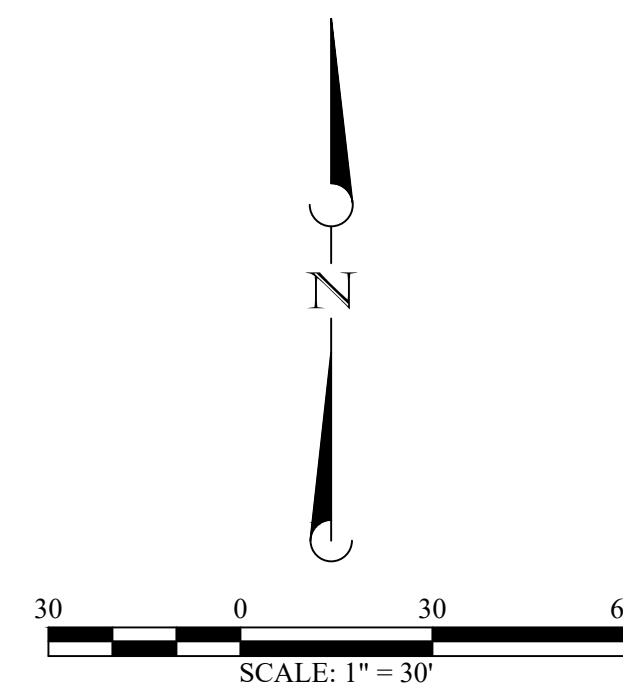
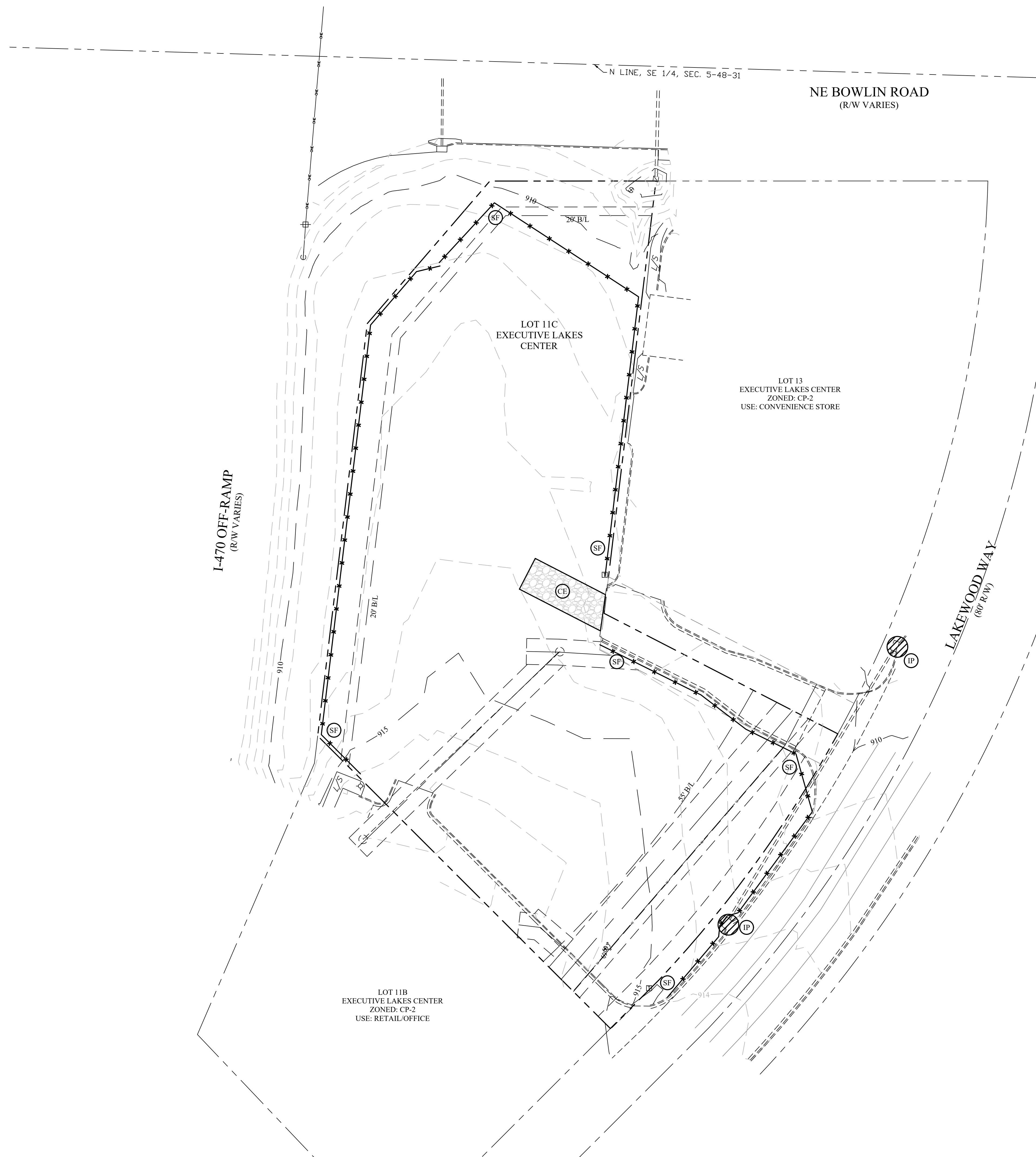


Wet Curb



[illegible][illegible]

EROSION CONTROL LEGEND		
TITLE	KEY	SYMBOL
TEMPORARY GRAVEL CONSTRUCTION ENTRANCE	CE	
SUPER SILT FENCE	SSF	
SILT FENCE (MACHINE LAID)	SF	
INLET PROTECTION	IP	
TEMPORARY DIVERSION DIKE	DD	



FINAL DEVELOPMENT PLANS

LAKEWOOD RETAIL
5030 LAKEWOOD WAY

EROSION CONTROL
PLAN - PHASE 1

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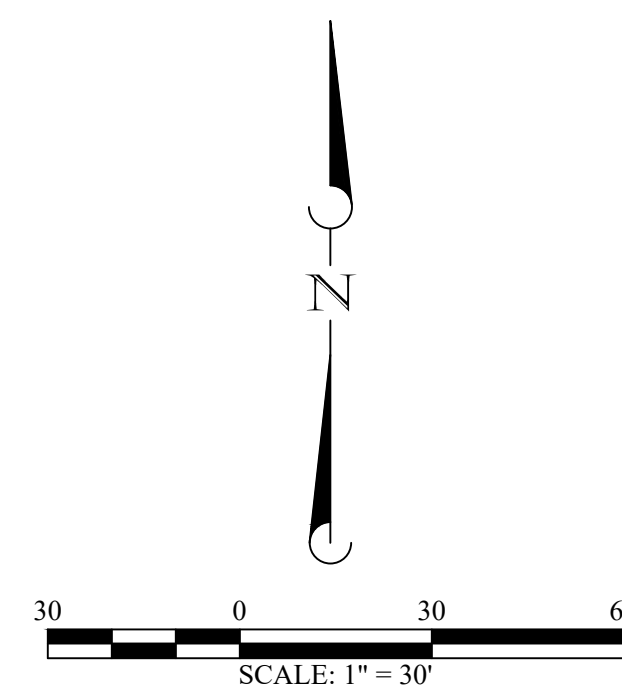
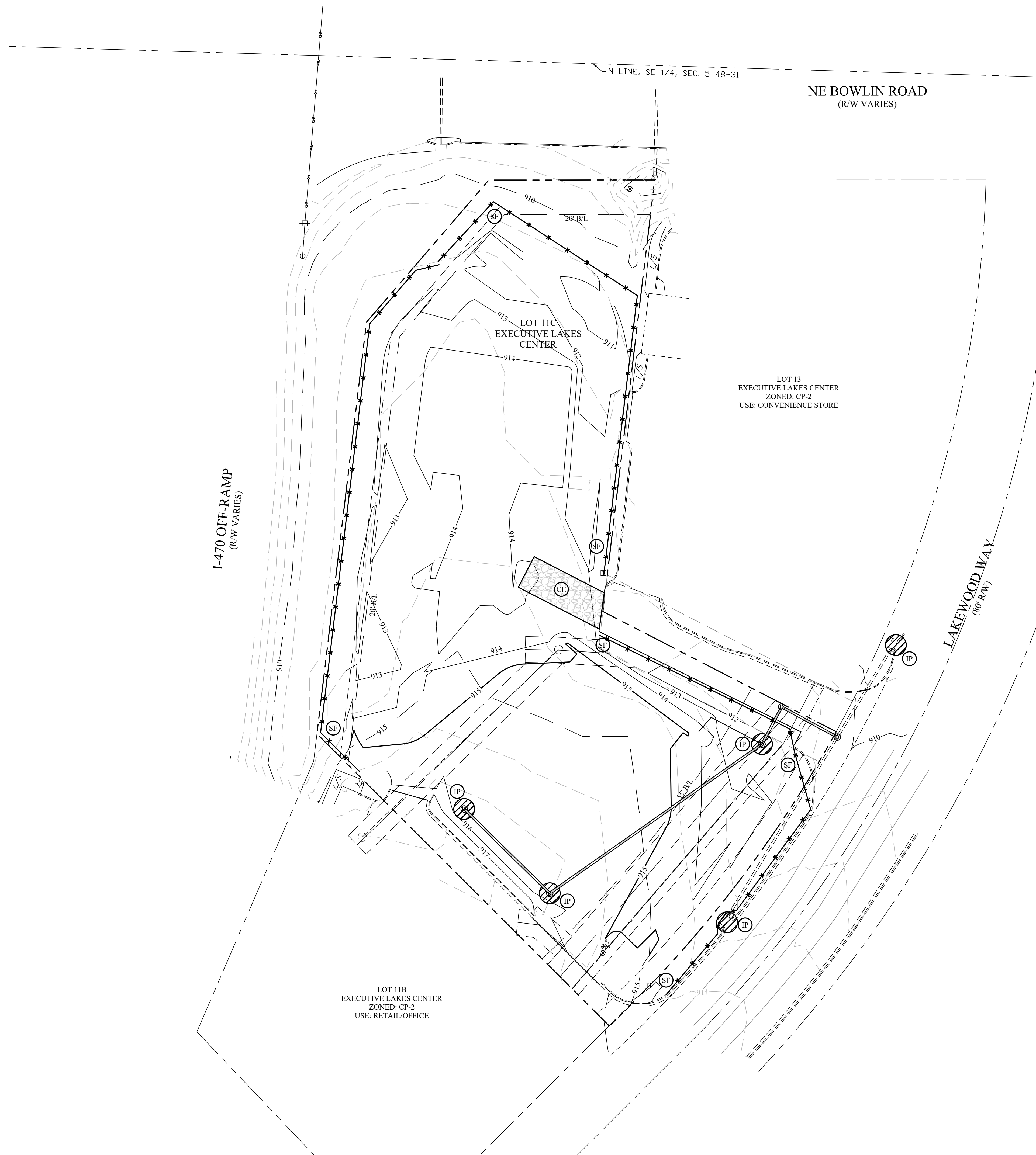
**Renaissance
Infrastructure
Consulting**

816.800.0950
www.RIC-consult.com

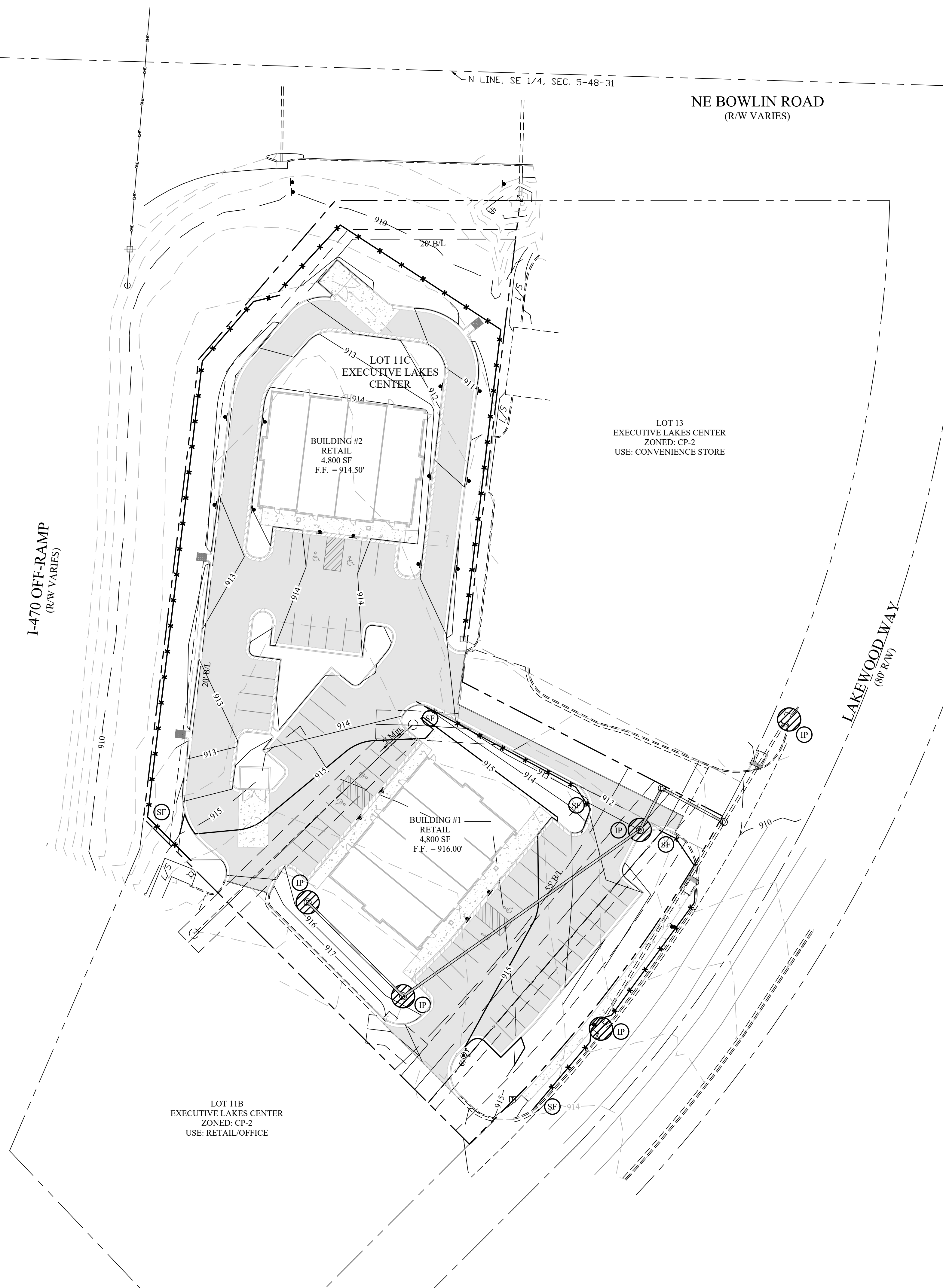
5015 NW CANAL STREET, SUITE 100
RIVERVIEW, MISSOURI 64150

MISSOURI CERTIFICATE OF AUTHORITY NO. 2010033630

EROSION CONTROL LEGEND		
TITLE	KEY	SYMBOL
TEMPORARY GRAVEL CONSTRUCTION ENTRANCE	CE	
SUPER SILT FENCE	SSF	
SILT FENCE (MACHINE LAID)	SF	
INLET PROTECTION	IP	
TEMPORARY DIVERSION DIKE	DD	



EROSION CONTROL LEGEND		
TITLE	KEY	SYMBOL
TEMPORARY GRAVEL CONSTRUCTION ENTRANCE	CE	
SUPER SILT FENCE	SSF	
SILT FENCE (MACHINE LAID)	SF	
INLET PROTECTION	IP	
TEMPORARY DIVERSION DIKE	DD	



Sheet
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FINAL DEVELOPMENT PLANS

LAKEWOOD RETAIL
5030 LAKEWOOD WAY

EROSION CONTROL
PLAN - PHASE 3

[illegible]



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RIVERVIEW, MISSOURI 64150

MISSOURI CERTIFICATE OF AUTHORITY NO. 20100336330



SANITARY SEWER CAPACITY

UPSTREAM BASE FLOW

EX. OFFICE BUILDING: 14,500 S.F.
EQUIVALENT DEVELOPMENT UNITS: 0.3/1,000 S.F. = 4.35 EDU's
BASE FLOW (EDU's X 300 gpd): 1,305 gpd

SITE BASE FLOW

PROP. BUILDINGS: 9,600 S.F.
EQUIVALENT DEVELOPMENT UNITS: 0.3/1,000 S.F. = 2.88 EDU's
BASE FLOW (EDU's X 300 gpd): 864 gpd

TOTAL BASE FLOW: 2,169 gpd = 0.0034 cfs

INFILTRATION

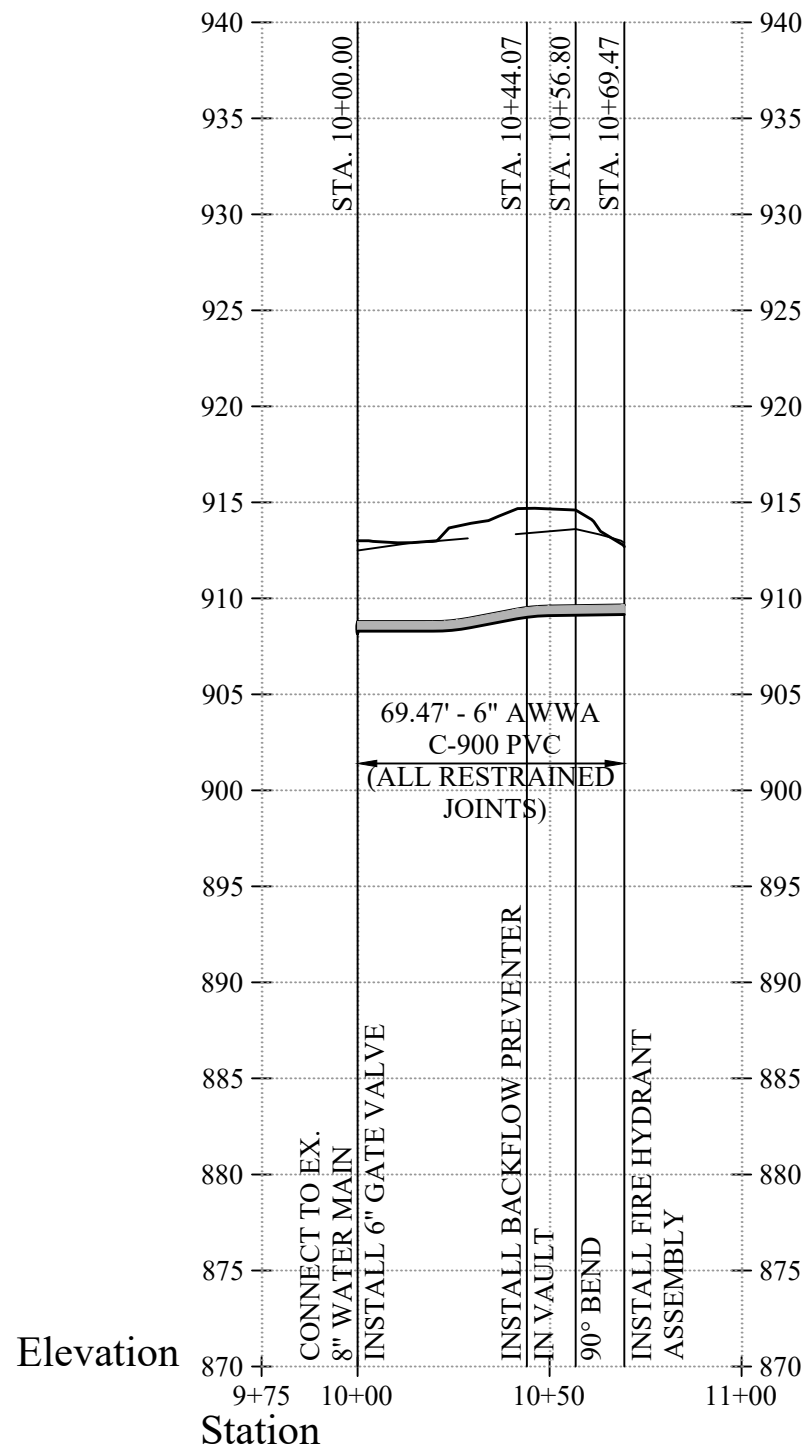
NON-RESIDENTIAL RATE: 250 gpd/ac
TRIBUTARY AREA: 3.181 ac
TOTAL INFILTRATION: 795.25 gpd = 0.0012 cfs

INFLOW

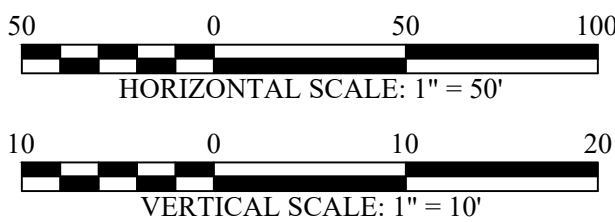
PEAK INFLOW $Q = K i A$
TRIBUTARY AREA: 3.181 ac
INFLOW FACTOR (K): 0.003 (NON-RESIDENTIAL)
 $T_c (18.56 X A^{0.2524})$: 24.86 min
RAINFALL INTENSITY (i): 5.64 in/hr
PEAK INFLOW Q: 0.0538 cfs

TOTAL SANITARY SEWER FLOW: 0.0584 cfs

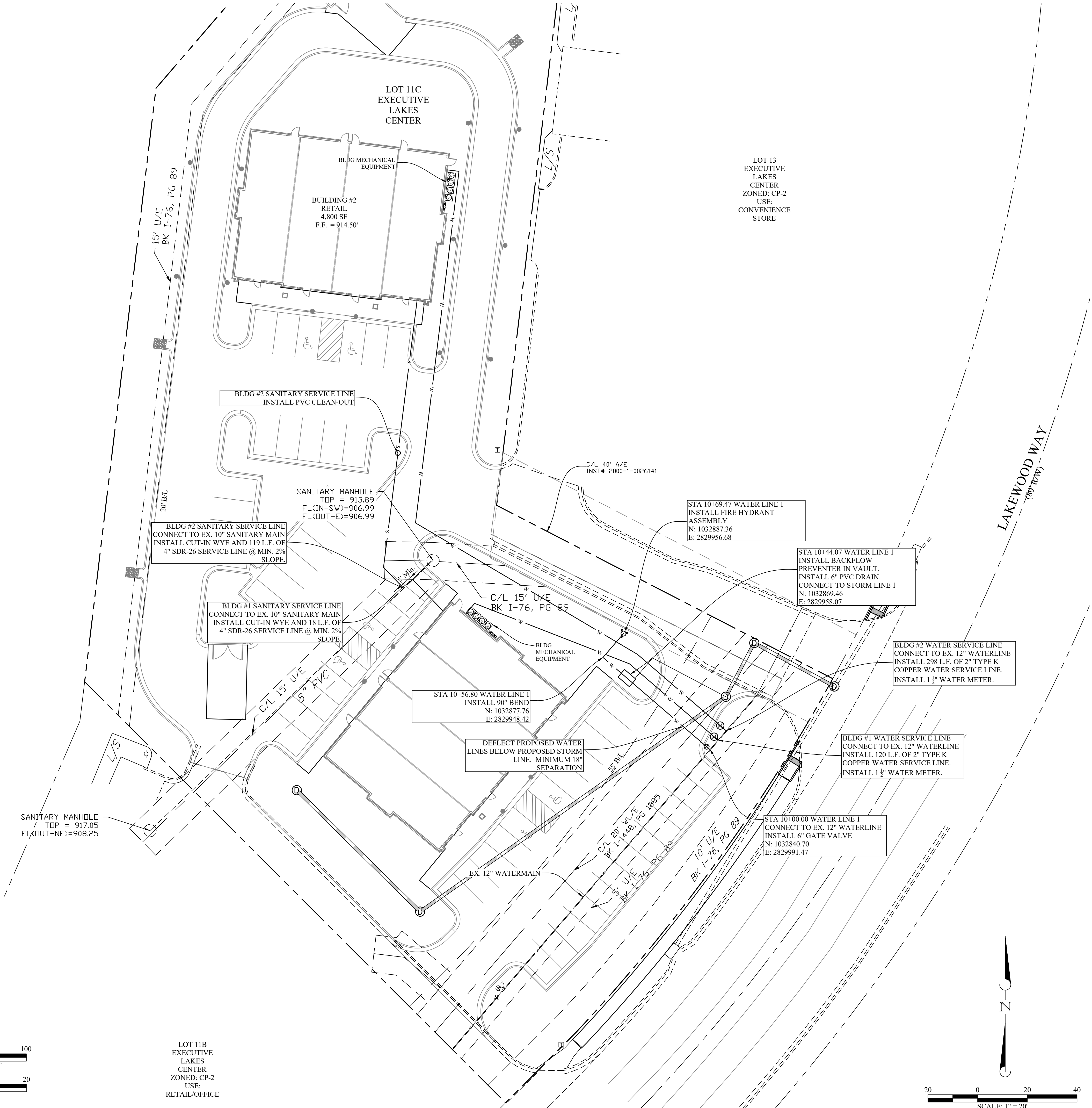
EX. 10" PVC SANITARY SEWER @ 0.8%: 2.123 cfs CAPACITY



PRIVATE WATER LINE



LOT 11B
EXECUTIVE
LAKES
CENTER
ZONED: CP-2
USE:
RETAIL/OFFICE



NO.	BY	CD	DATE	REVISION
1.	BAC	BAC	08/12/19	ORIGINAL SUBMITTAL
				REVISED PER CITY COMMENTS

NO.	BY	CD	DATE	REVISION
1.	BAC	BAC	08/12/19	REVISED PER CITY COMMENTS
	BAC	BAC	08/12/19	ORIGINAL SUBMITTAL

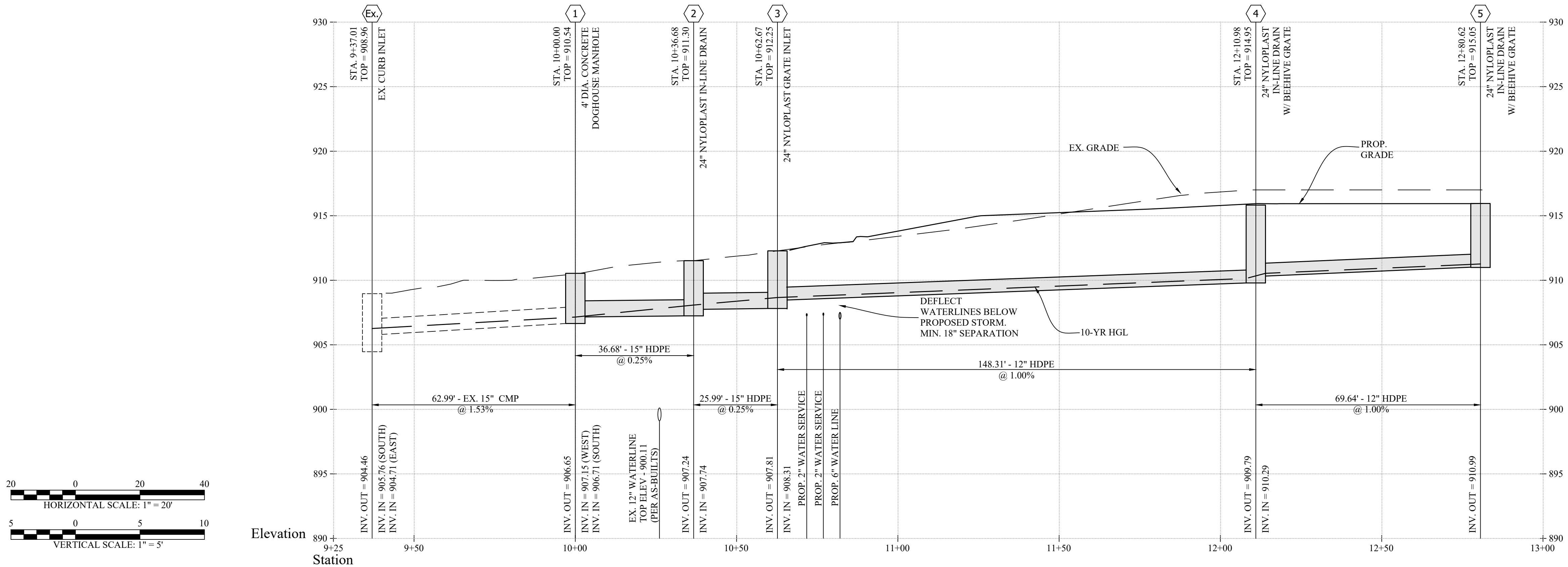
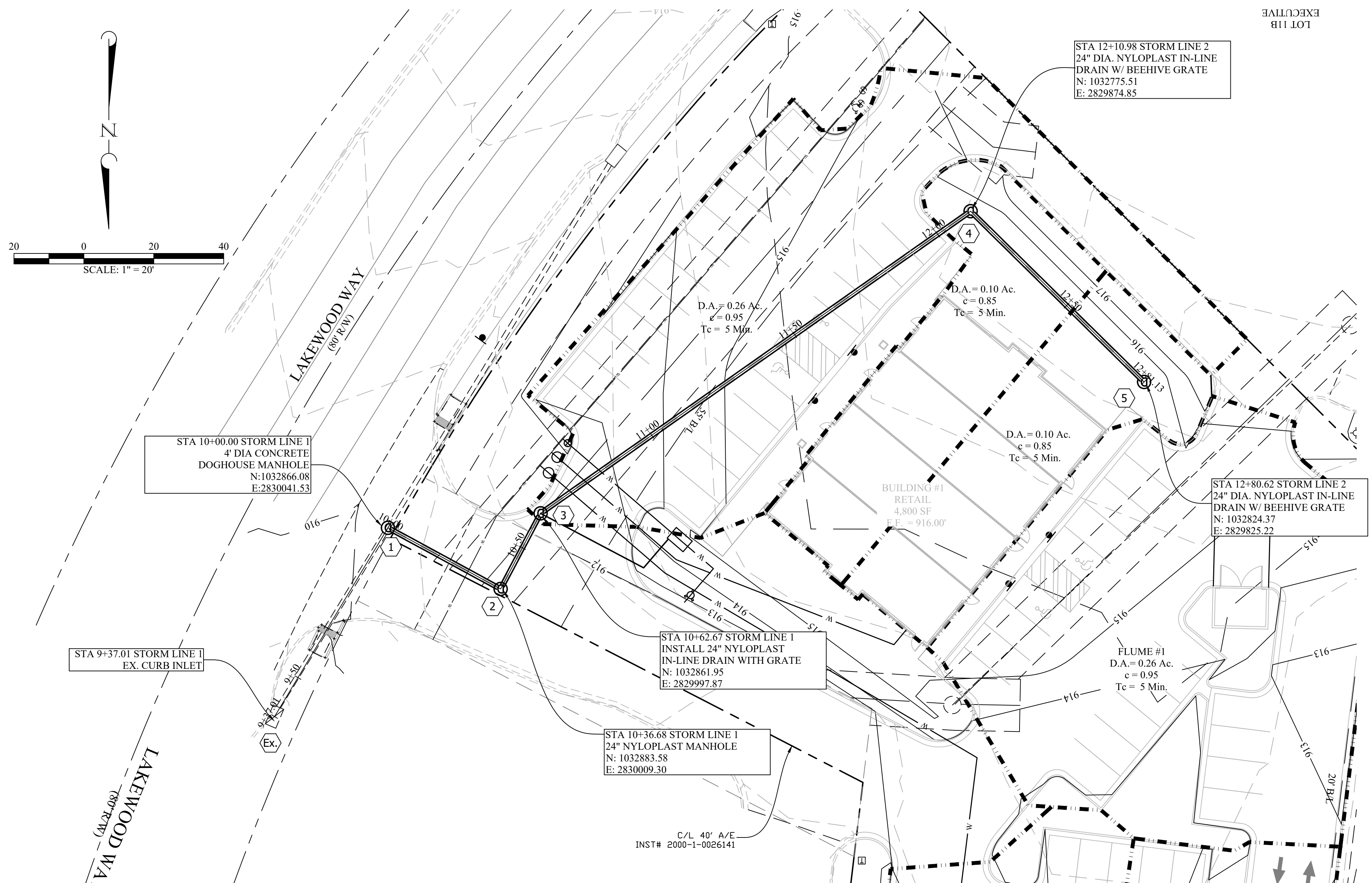
Renaissance Infrastructure Consulting

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RIVERVIEW, MISSOURI 64150

816.800.0950
WWW.RIC-CONSULT.COM

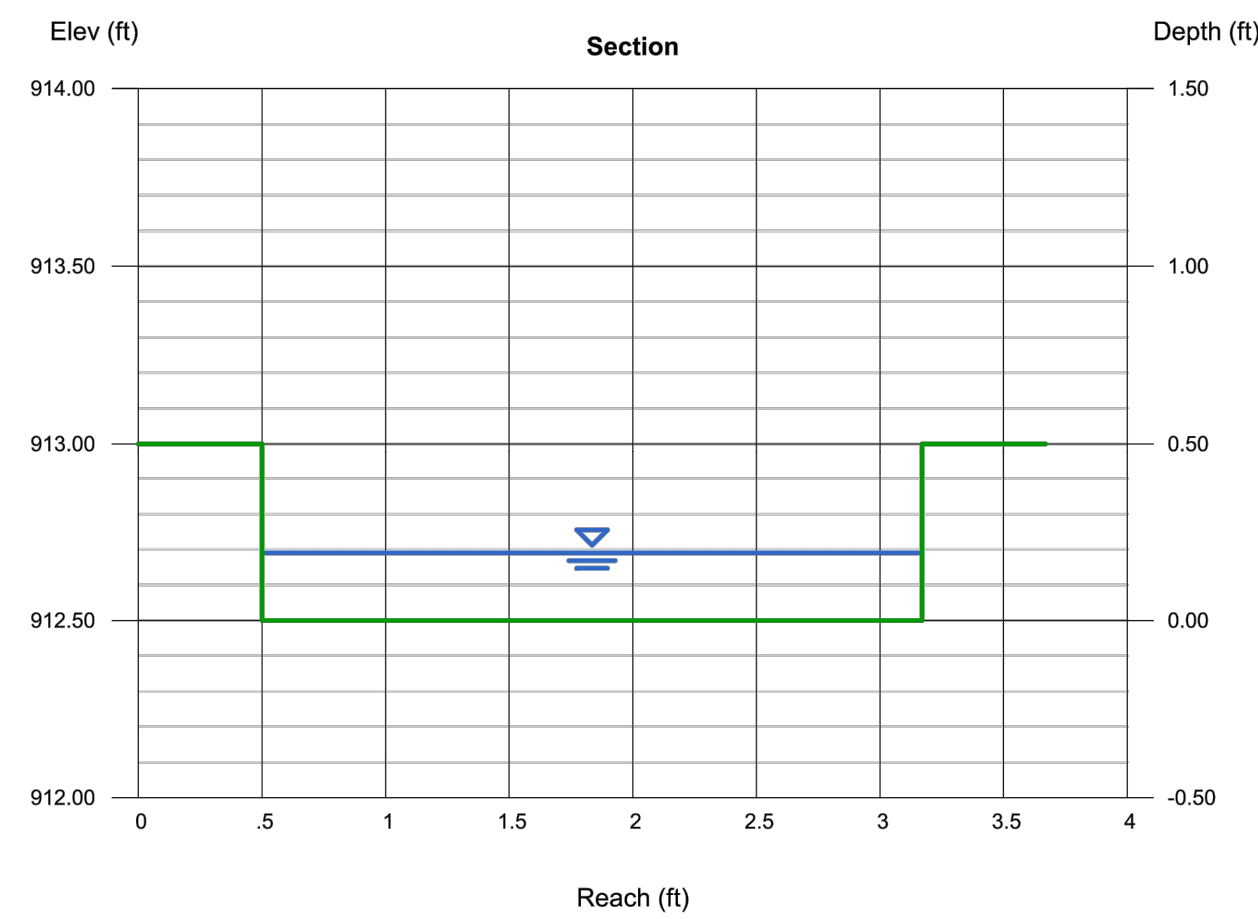
STATE OF MISSOURI
BRETT A. COX
NUMBER
E-2001031649
10/24/2019
REGISTERED PROFESSIONAL ENGINEER

MISSOURI CERTIFICATE OF AUTHORITY NO. 2010033630

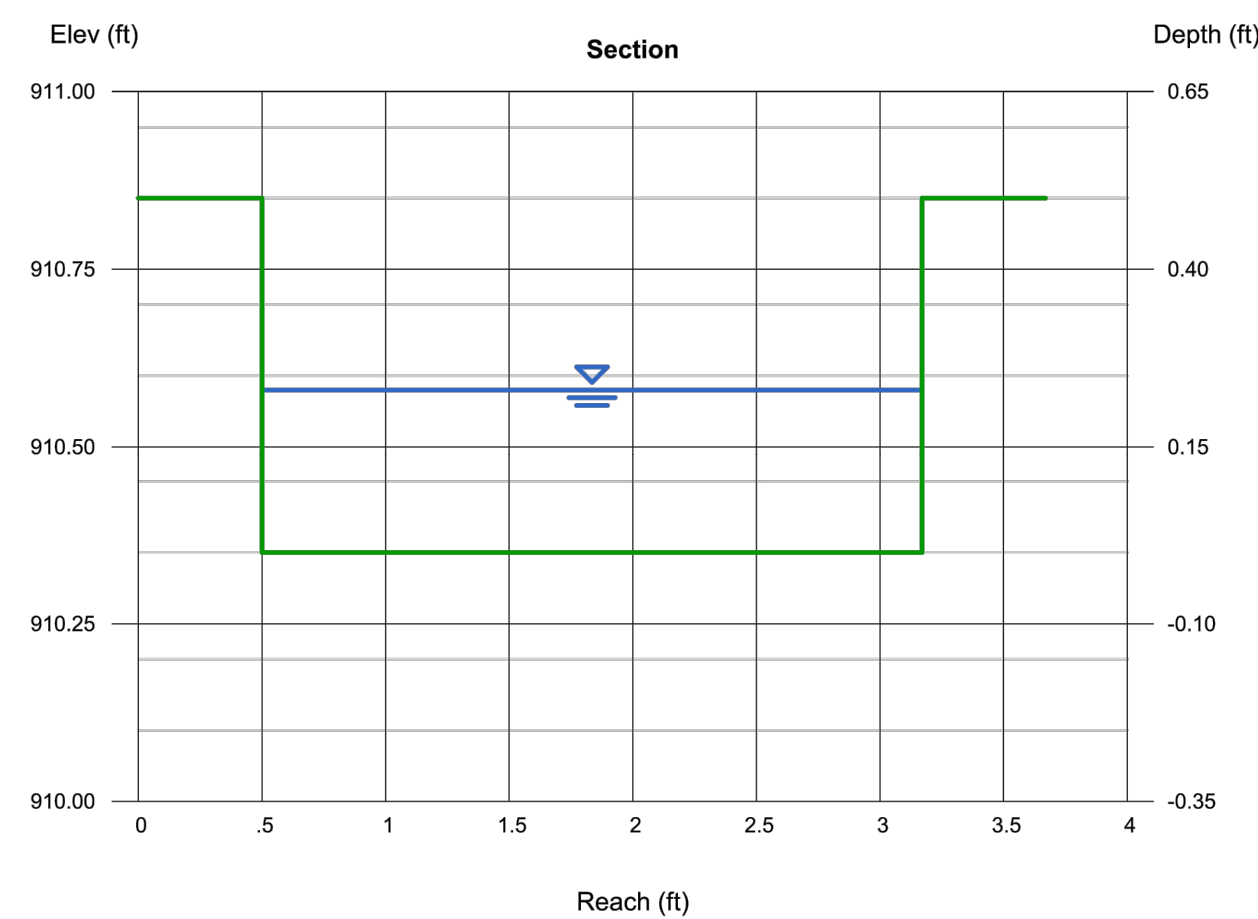


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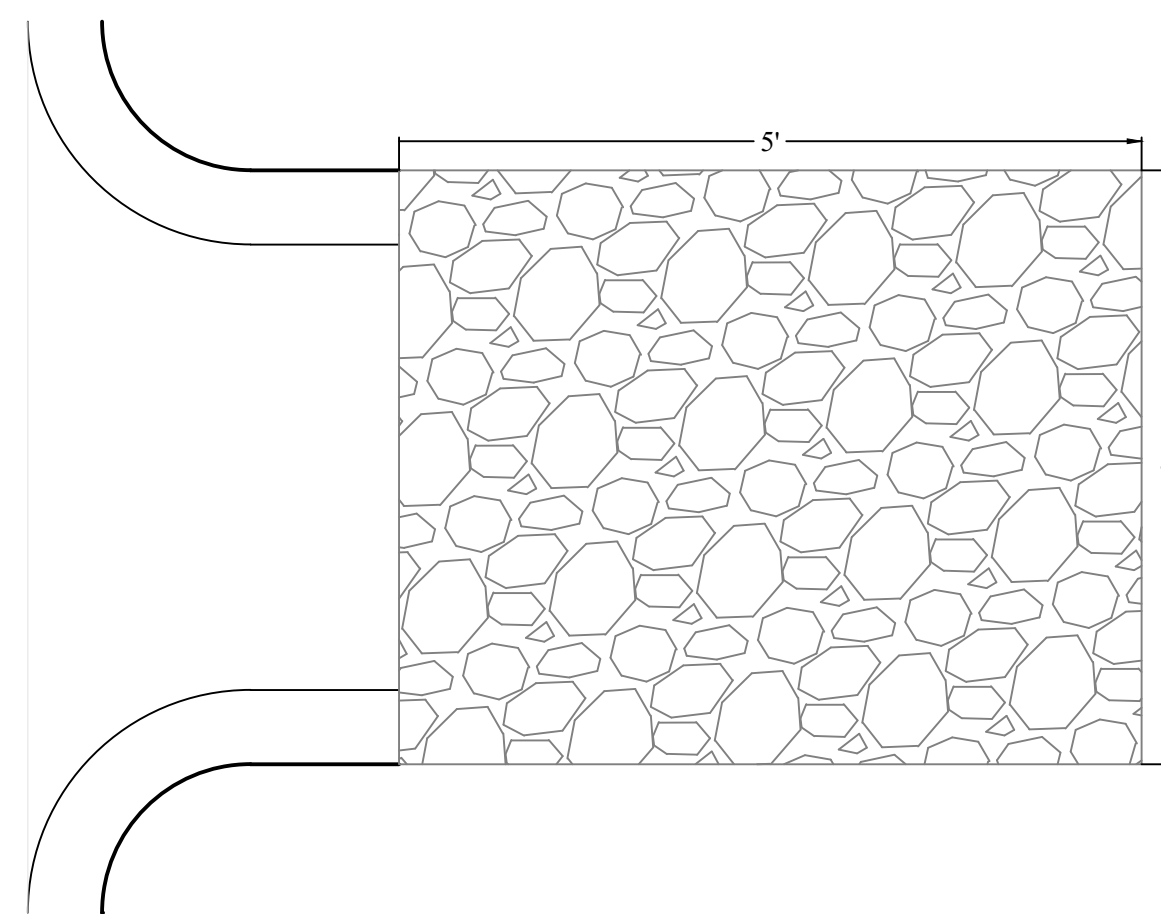
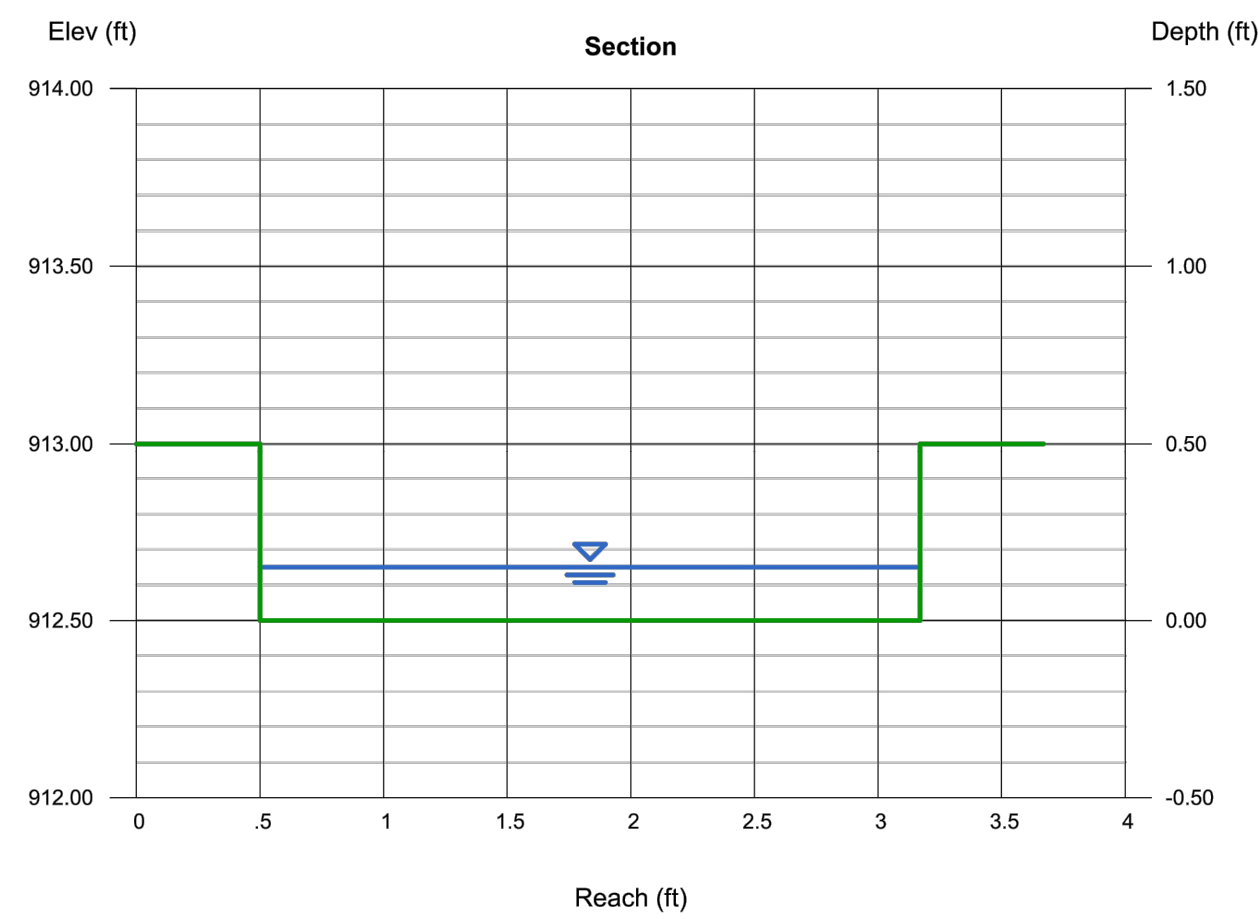
Highlighted	
Depth (ft)	= 0.19
Q (cfs)	= 1.72
Area (sqft)	= 0.51
Velocity (ft/s)	= 3.39
Wetted Perim (ft)	= 3.05
Crit Depth, Yc (ft)	= 0.24
Top Width (ft)	= 2.67
EGL (ft)	= 0.37



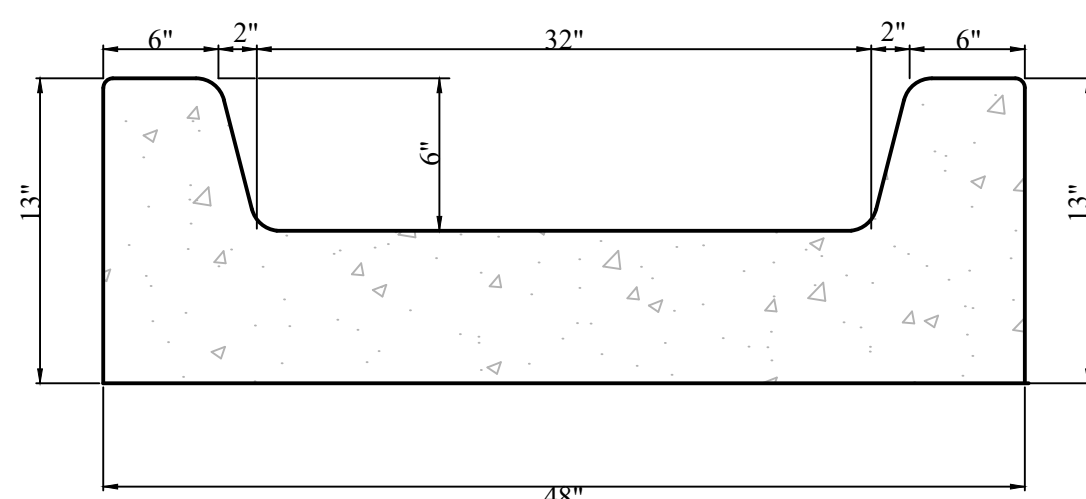
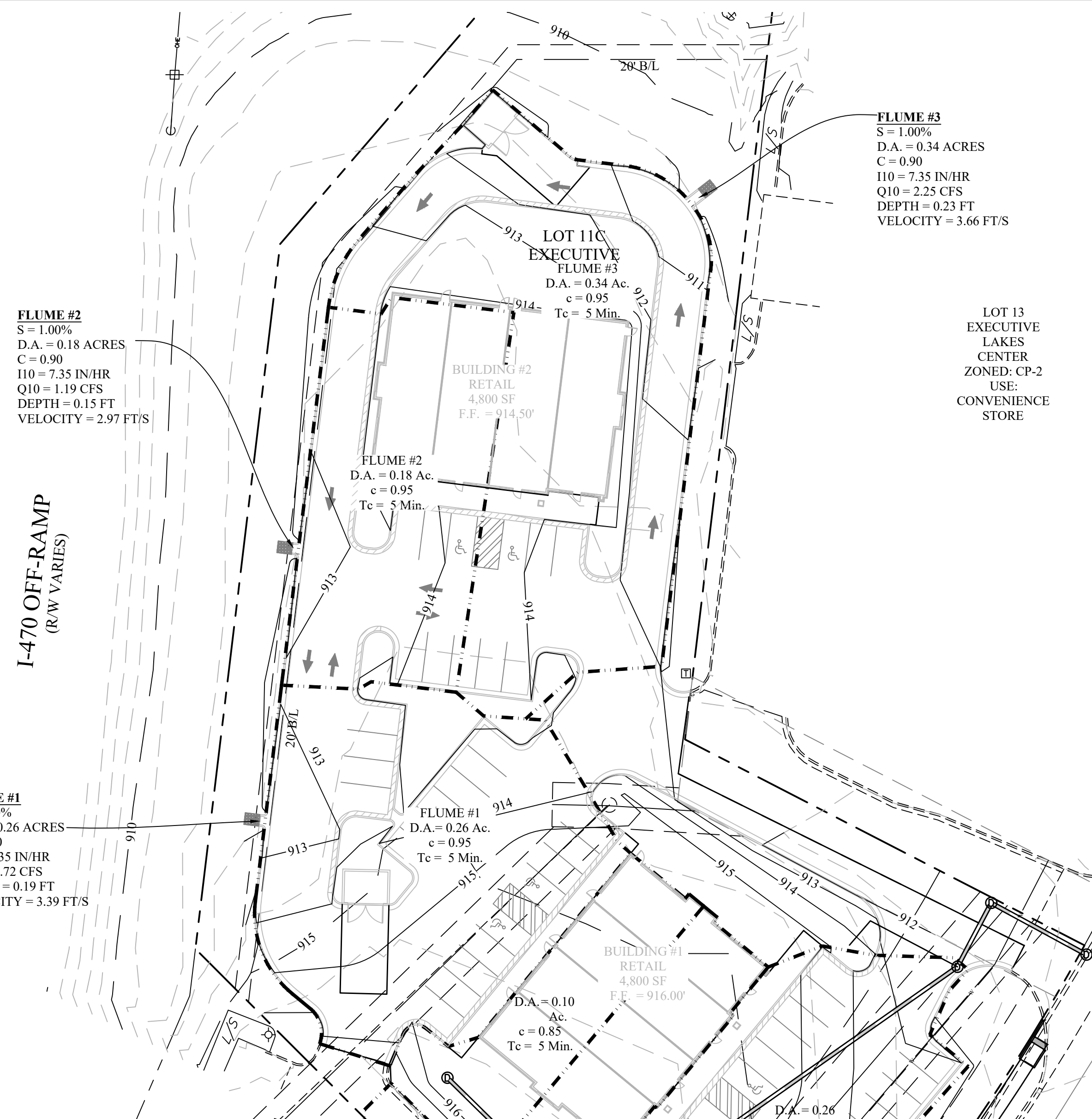
Rectangular	
Bottom Width (ft)	= 2.67
Total Depth (ft)	= 0.50
Invert Elev (ft)	= 910.35
Slope (%)	= 1.00
N-Value	= 0.013
Calculations	
Compute by:	Known Q
Known Q (cfs)	= 2.25



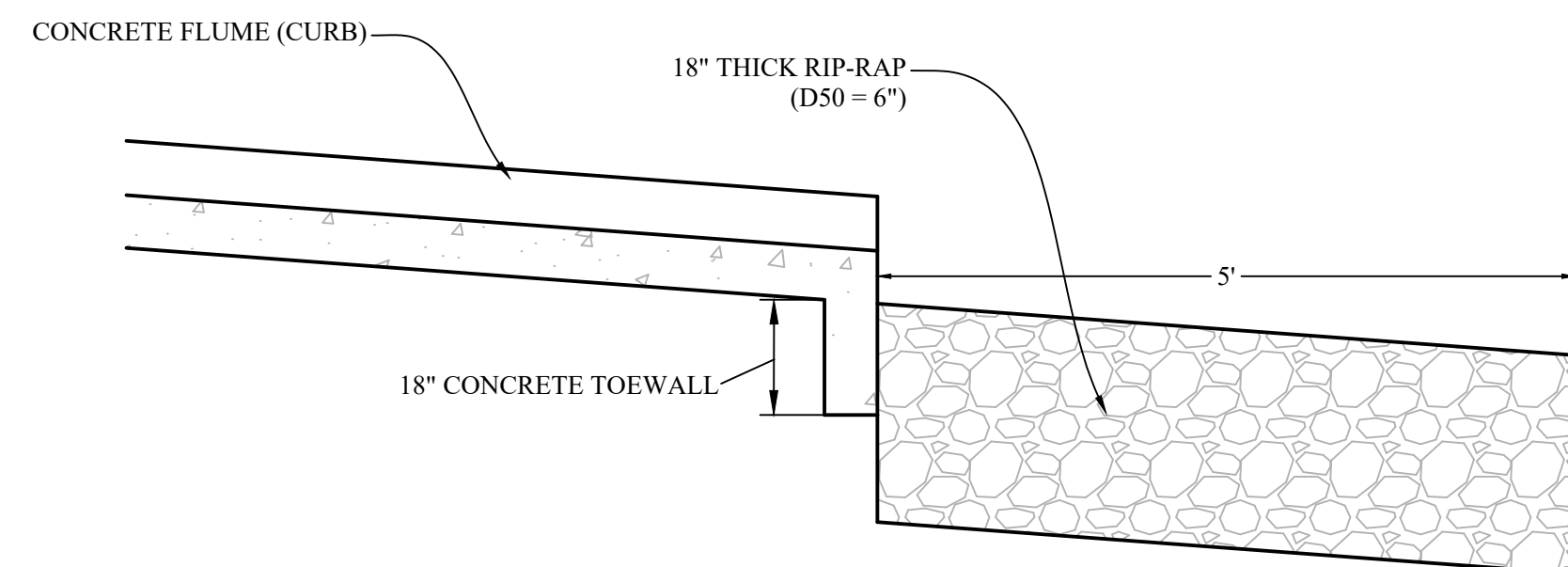
Rectangular	
Bottom Width (ft)	= 2.67
Total Depth (ft)	= 0.50
Invert Elev (ft)	= 912.50
Slope (%)	= 1.00
N-Value	= 0.013
Calculations	
Compute by:	Known Q
Known Q (cfs)	= 1.19



CONCRETE FLUME PLAN VIEW
NTS



CONCRETE FLUME CROSS SECTION
NTS



CONCRETE FLUME LONGITUDINAL SECTION
NTS

HYDRAULIC GRADE LINE CALCULATION TABLE (10-YEAR RETURN FREQUENCY)																	
Storm Sewer			FL	HGL	HGL	Top of	FL		FL		FL		Top of	HGL	HGL	Grav. or	HGL
Line	From	To	Out	(ft.)	Grade	Struct.	In (1) (ft.)	From Node	In (2) (ft.)	From Node	In (3) (ft.)	From Node	Pipe Out	in Pipe (ft.)	Grav. Cond.	Press.	Press. Condition
1	5	4	910.99	911.26	OK	915.05							911.99	911.26	911.26	G	910.19
1	4	3	909.79	910.56	OK	914.95	910.29	5					910.79	910.17	910.17	G	908.85
1	3	2	907.81	908.69	OK	912.25	908.31	4					909.06	908.68	908.68	G	908.19
1	2	1	907.24	908.62	OK	911.30	907.74	3					908.49	908.10	908.10	G	907.08
1	1	Ex	906.65	908.01	OK	910.54	907.15	2					907.90	907.28	907.28	G	907.28

HYDRAULIC GRADE LINE CALCULATION TABLE (100-YEAR RETURN FREQUENCY)																
Sewer			FL	HGL	HGL	Top	FL	FL	FL	FL	FL	Top of	HGL	HGL	Grav.	HGL
Line	From	To	Out	(ft.)	Below Grade	Struct.	In (1) (ft.)	From Node	In (2) (ft.)	From Node	In (3) (ft.)	From Node	Pipe Out	in Pipe (ft.)	Grav. Cond.	or Press.
1	5	4	910.99	911.46	OK	915.05							911.99	911.35	911.46	G
1	4	3	909.79	910.65	OK	914.95	910.29	5					910.79	910.32	910.48	G
1	3	2	907.81	909.25	OK	912.25	908.31	4					909.06	909.06	909.17	P
1	2	1	907.24	908.99	OK	911.30	907.74	3					908.49	908.49	908.60	P
1	1	Ex	906.65	909.00	OK	910.54	907.15	2					907.90	907.90	908.59	P

FIELD INLET DESIGN TABLE (100-yr Return Frequency)										WEIR FLOW EQUATION= $CLH^{3/2}$ (C=3.00)												
K= 1.25										ORIFICE EQUATION(IF APPLICABLE)= $0.6A(2GH)^{1/2}$												
Struc. No.	Overland Flow				Channel Flow				Tc (min)	"C"	"i" (in/hr)	"A" (ac)	"Q" (cfs)	Upper Inlet Bypass	Total Design Flow (cfs)	Open -ing (ft)	Open Ht. (ft)	No. Open -ing (ea)	Max. Head Avail (ft)	Weir "h" (ft)	Orifice "h" (ft)	Pond -ing Depth (ft)
	Dist. (ft)	Slope (%)	"C"	Time (min)	Dist. (ft)	Slope (%)	"V" (fps)	Time (min)														
5	10	2.0	0.85	1.10	0	2.0	3.84	0.00	5.0	0.85	10.32	0.10	1.10	0.0	1.10	3.00	0.5	3	1.0	0.25	0.00	0.25
4	10	2.0	0.85	1.10	0	2.0	3.84	0.00	6.0	0.85	9.92	0.10	1.05	1.0	1.05	3.00	0.5	3	1.0	0.24	0.00	0.24
3	10	2.0	0.95	0.70	0	2.0	3.84	0.00	7.0	0.95	9.55	0.26	2.95	2.0	2.95	3.00	0.5	3	1.0	0.48	0.00	0.48

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MISSOURI CERTIFICATE OF AUTHORITY NO. 2010035630



EX. BASIN - LOOKING NORTHEAST

EX. BASIN - LOOKING NORTHWEST
(POINT OF ENTRY INTO BASIN)

EX. BASIN - NORTH END
(LOOKING AT OUTFALL CULVERT)



EX. BASIN - LOOKING SOUTH
(FROM OVERFLOW WEIR)

EXISTING DETENTION BASIN NOTES:

1. BASIN TO BE ACCESSED FROM NE BOWLIN ROAD
2. ALL WOODED VEGETATION TO BE REMOVED FROM BASIN AND HAULED OFF-SITE. DEBRIS TO BE DISPOSED OF IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL STANDARDS.
3. ALL DISTURBED AREA TO BE RESEEDD IN ACCORDANCE WITH KCAPWA SECTION 2401.

[illegible]

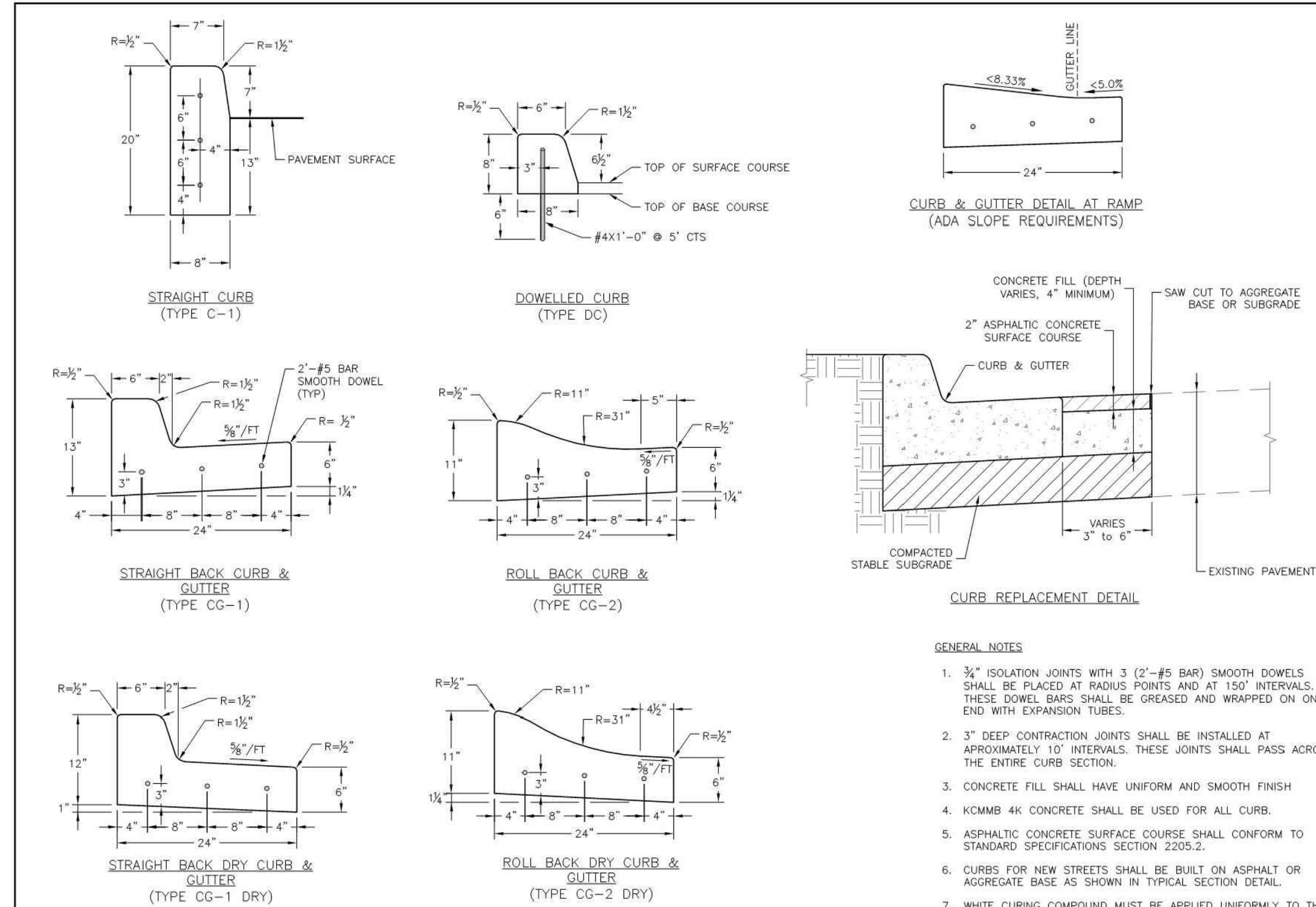
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MISSOURI CERTIFICATE OF AUTHORITY NO. 20100333630

STATE OF MISSOURI
BRETT A.
COX
NUMBER
E-2001031649
10/24/2019
REGISTERED PROFESSIONAL ENGINEER

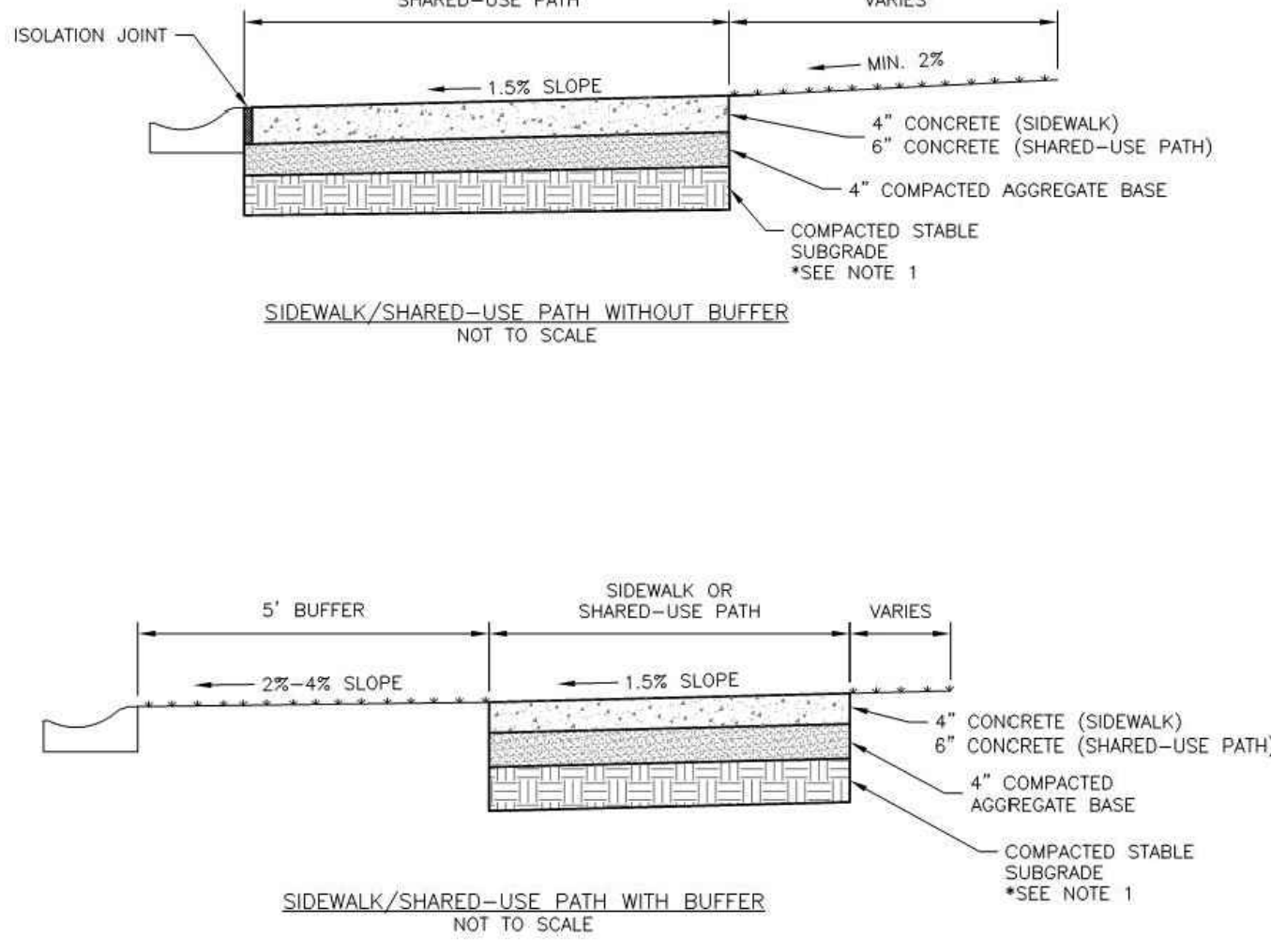


**LEE'S SUMMIT
MISSOURI**
PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64083

STANDARD DETAILS
CITY OF LEE'S SUMMIT, MO
LEE'S SUMMIT, JACKSON COUNTY, MO
CURB & GUTTER DETAIL

Drawn By: MIF
Checked By: DL
Date: 08/17
Sheet: 13 of 23
Project: 19-0197

GEN-4



- GENERAL NOTES:**
- SUBGRADE MUST BE OF STABLE, COMPACTED EARTH AND SHALL BE OVERLAYED WITH 4" COMPACTED DENSE GRADED AGGREGATE BASE.
 - 1.5% CROSS SLOPE MUST BE MAINTAINED THROUGH DRIVEWAYS.
 - KCMMB 4K CONCRETE MIX SHALL BE REQUIRED FOR ALL SIDEWALKS/SHARED-USE PATHS OR AS APPROVED BY THE CITY INSPECTOR.
 - ALL SIDEWALK/SHARED-USE PATHS SHALL MEET CURRENT PUBLIC RIGHT OF WAY ACCESSIBILITY GUIDELINES (PROWAG).
 - AN ISOLATION JOINT SHALL BE PLACED AT A MAXIMUM OF 150 FT. CONSTRUCTION JOINTS SHALL BE PLACED THE SAME WIDTH OF SIDEWALK/SHARED-USE PATHS, BUT NO GREATER THAN 10 FT.
 - AN ISOLATION JOINT SHALL BE PLACED WHERE THE SIDEWALK/SHARED-USE PATHS MEETS A RESIDENTIAL DRIVEWAY.
 - SHARED-USE PATHS WIDTH SHALL BE 10 FT. WIDE.
 - SIDEWALK/SHARED-USE PATHS FINISHING SHALL BE FULL BROOM FINISH OR AS DIRECTED BY CITY INSPECTOR.
 - WHITE CURING COMPOUND MUST BE APPLIED UNIFORMLY TO THE CONCRETE SURFACE IMMEDIATELY AFTER FINAL FINISHING.

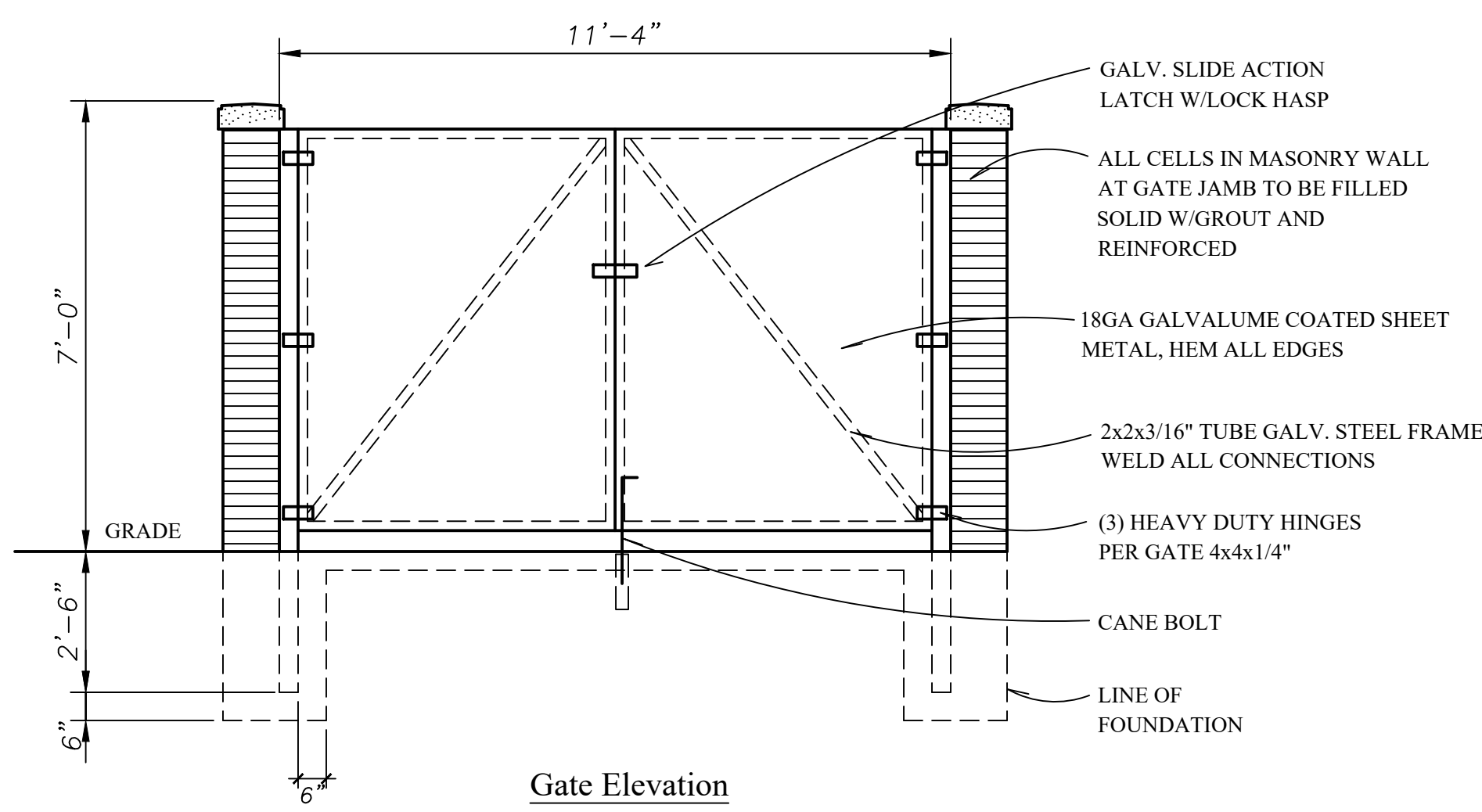
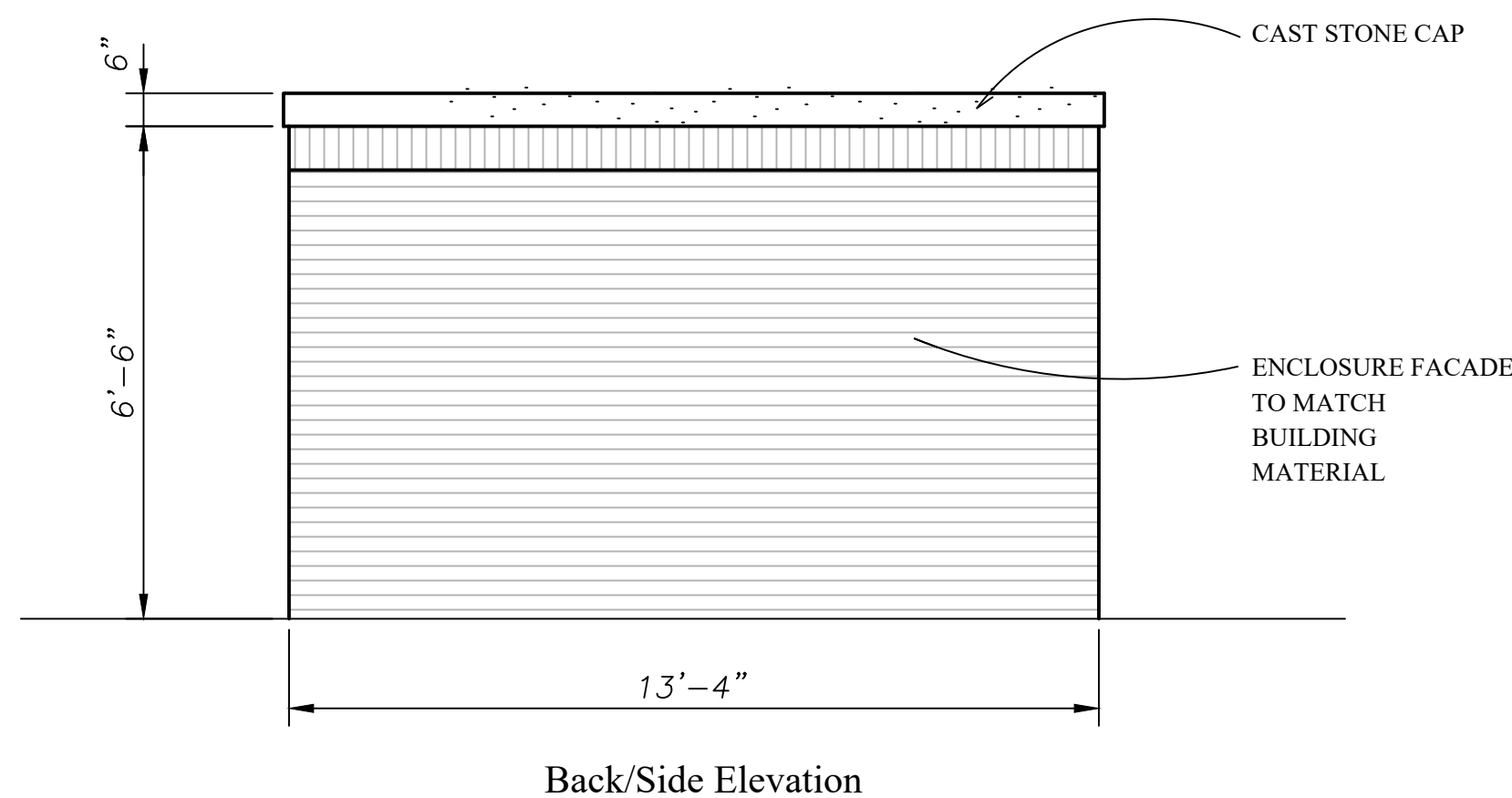
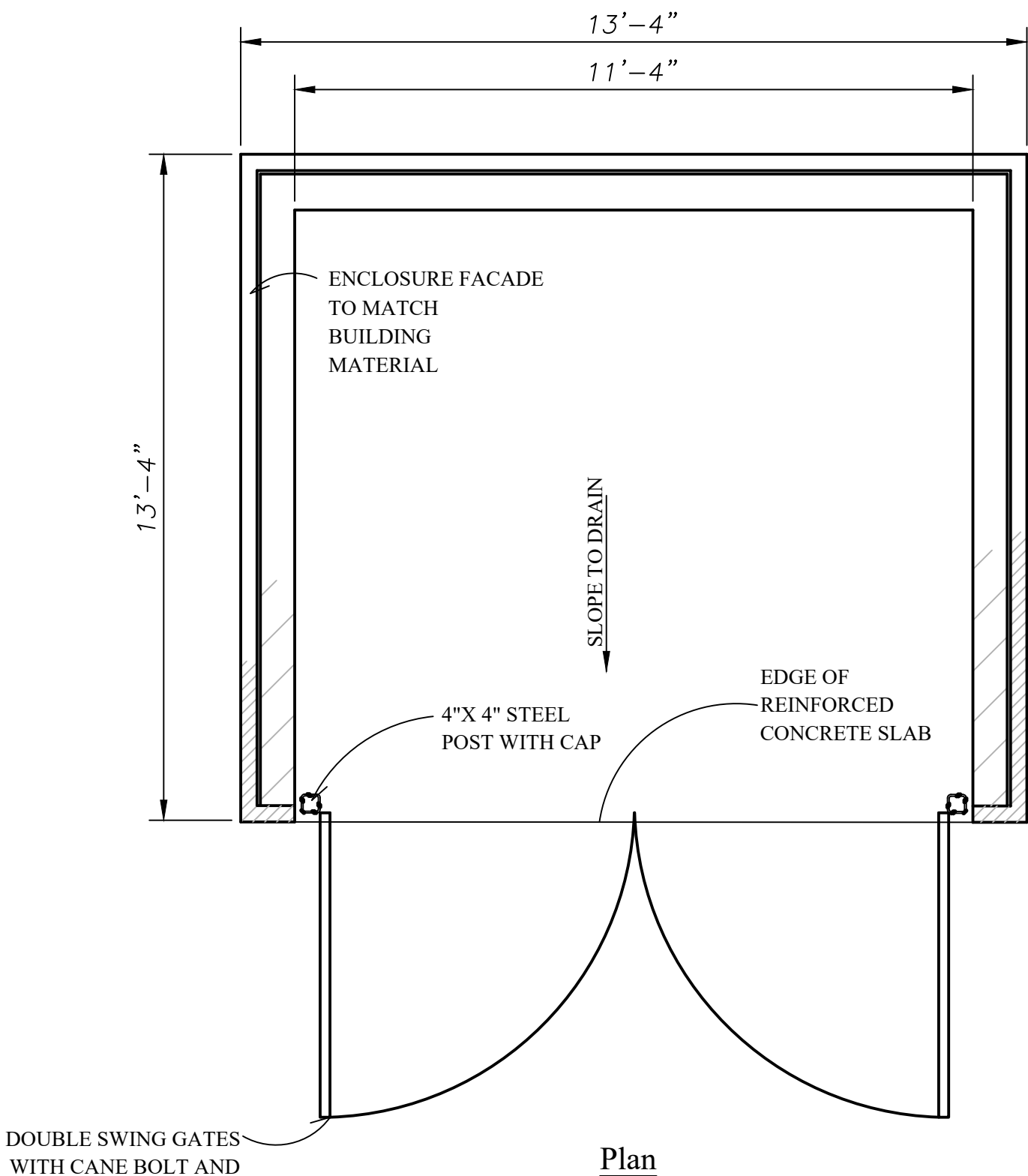
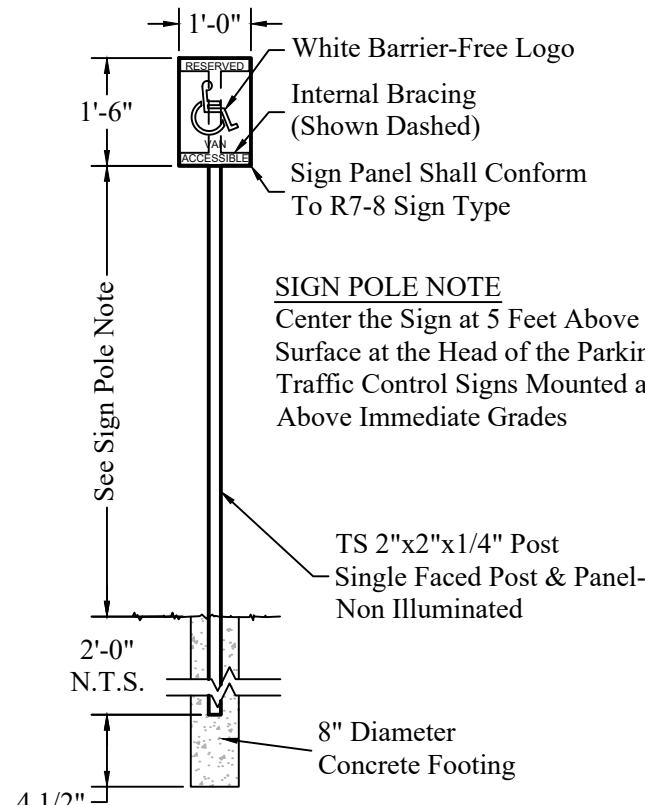
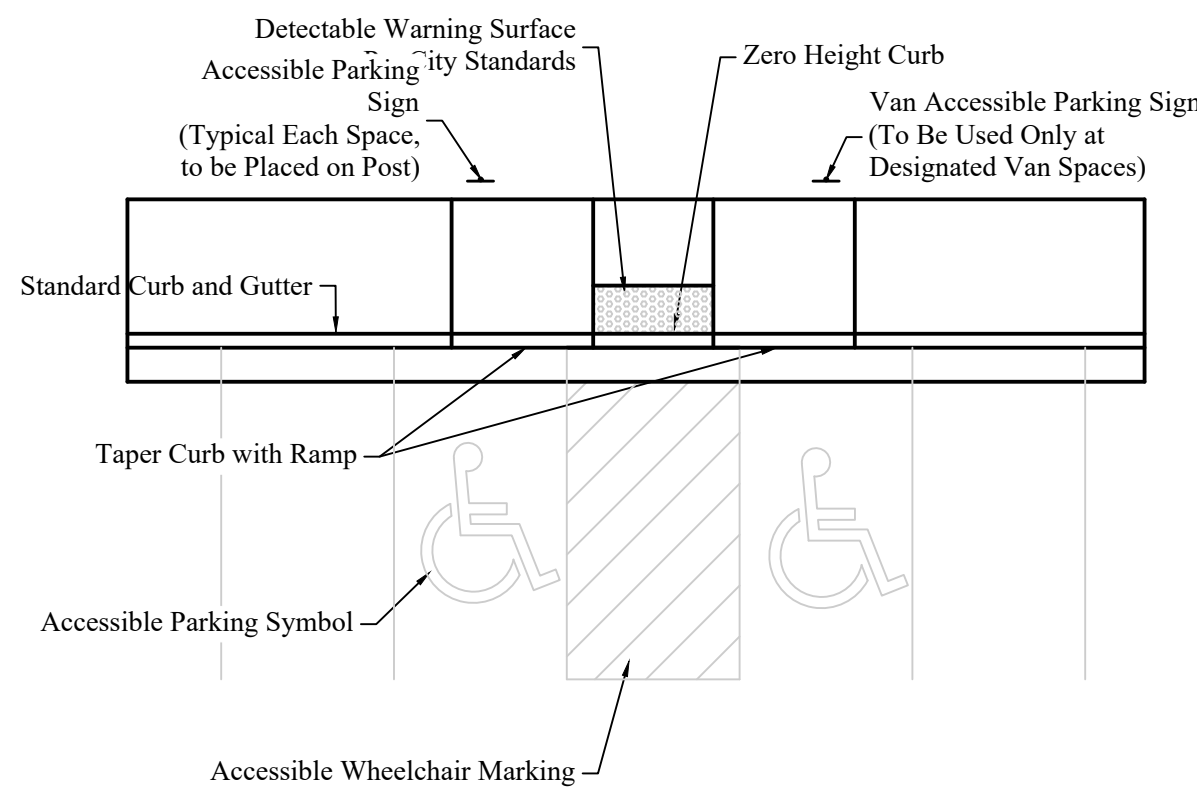


**LEE'S SUMMIT
MISSOURI**
PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64083

Date: 08/17
Drawn By: MIF
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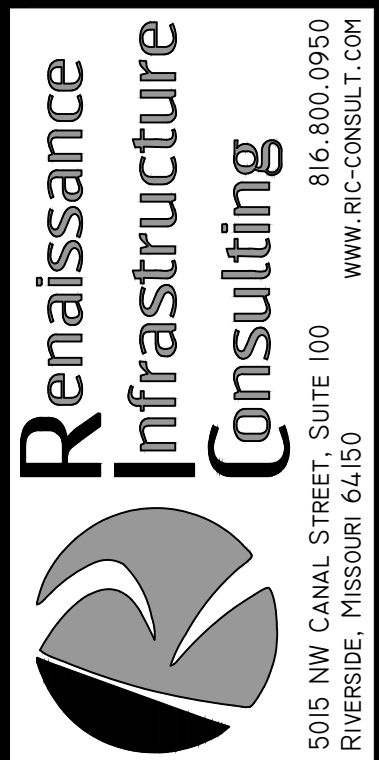
GEN-2

CURB SUBGRADE NOTE
Aggregate subgrade shall be extended a minimum of 1 foot beyond the back of curb.



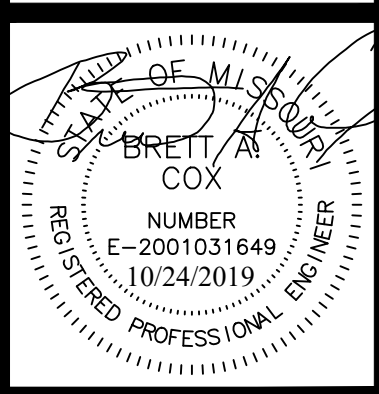
TRASH ENCLOSURE
N.T.S.

NO.	BY	DATE	REVISION
1.	BAC	08/12/19	REVISED PER CITY COMMENTS
	BAC	08/12/19	ORIGINAL SUBMITTAL



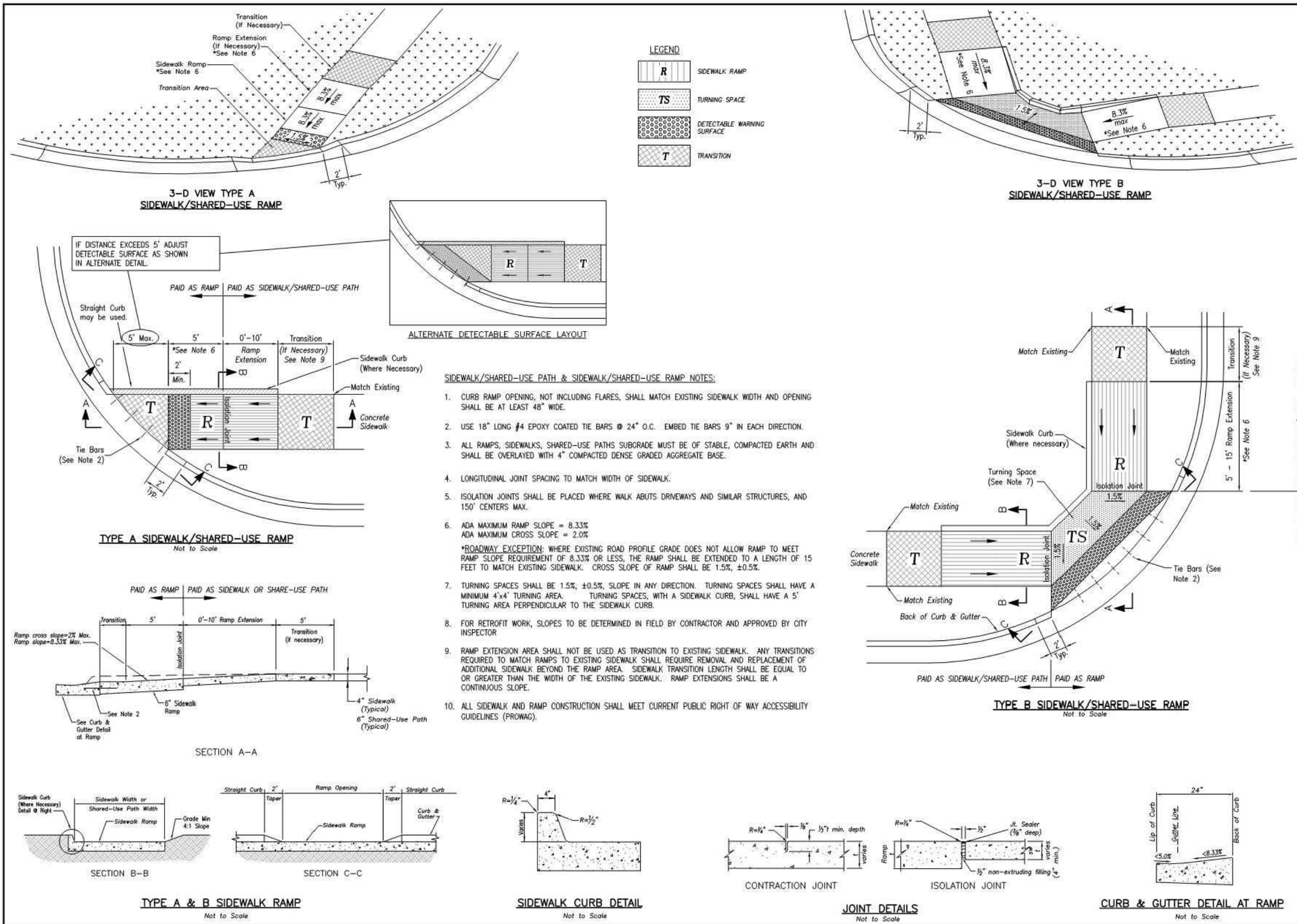
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BRETT A. COX
NUMBER
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10/24/2019
REGISTERED PROFESSIONAL ENGINEER

MISSOURI CERTIFICATE OF AUTHORITY NO. 20100363630

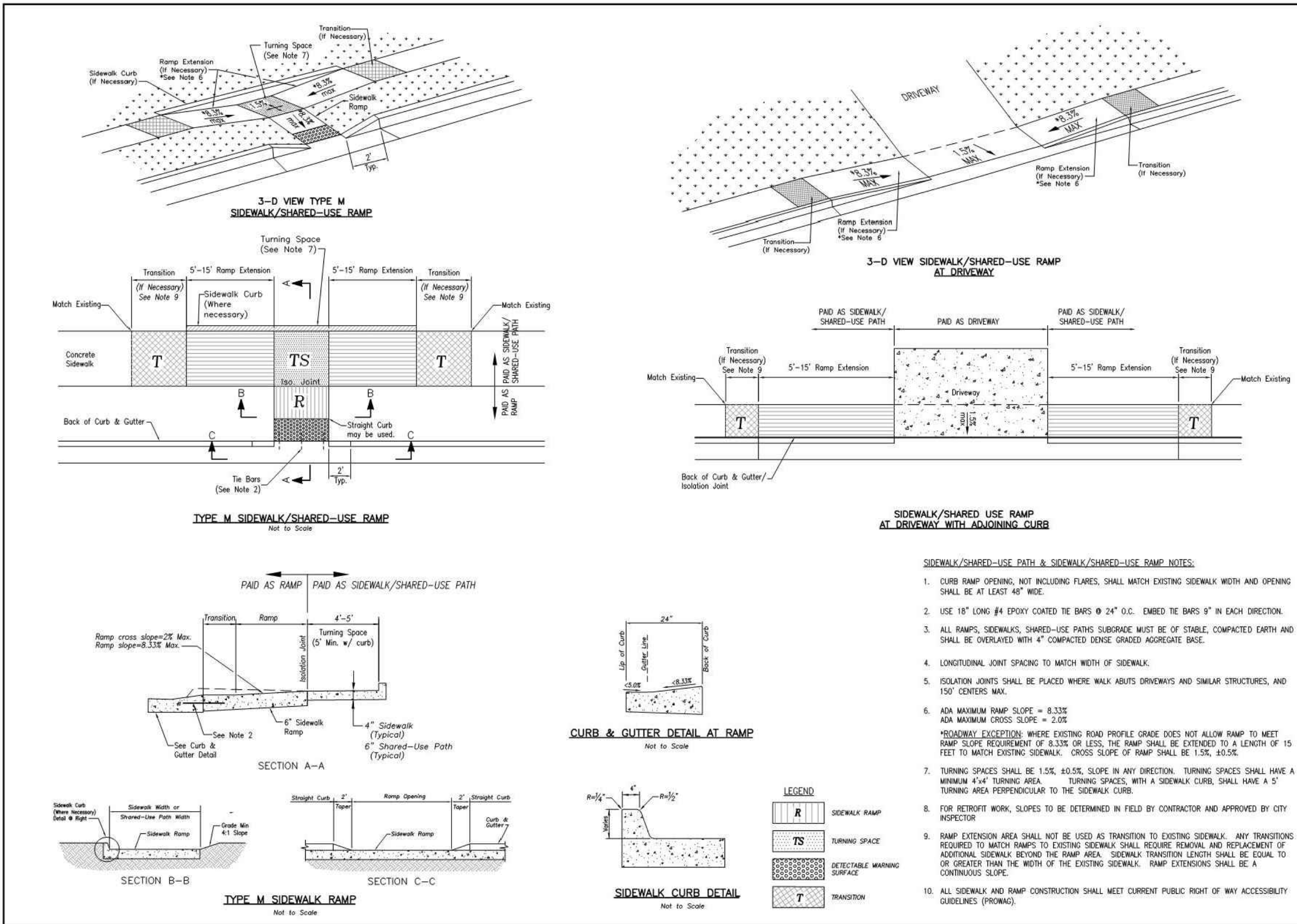


LEE'S SUMMIT MISSOURI

PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64063

STANDARD DETAILS
CITY OF LEE'S SUMMIT, MO
LEE'S SUMMIT, JACKSON COUNTY, MO
ADA RAMP RETROFIT DETAIL

GEN-3A

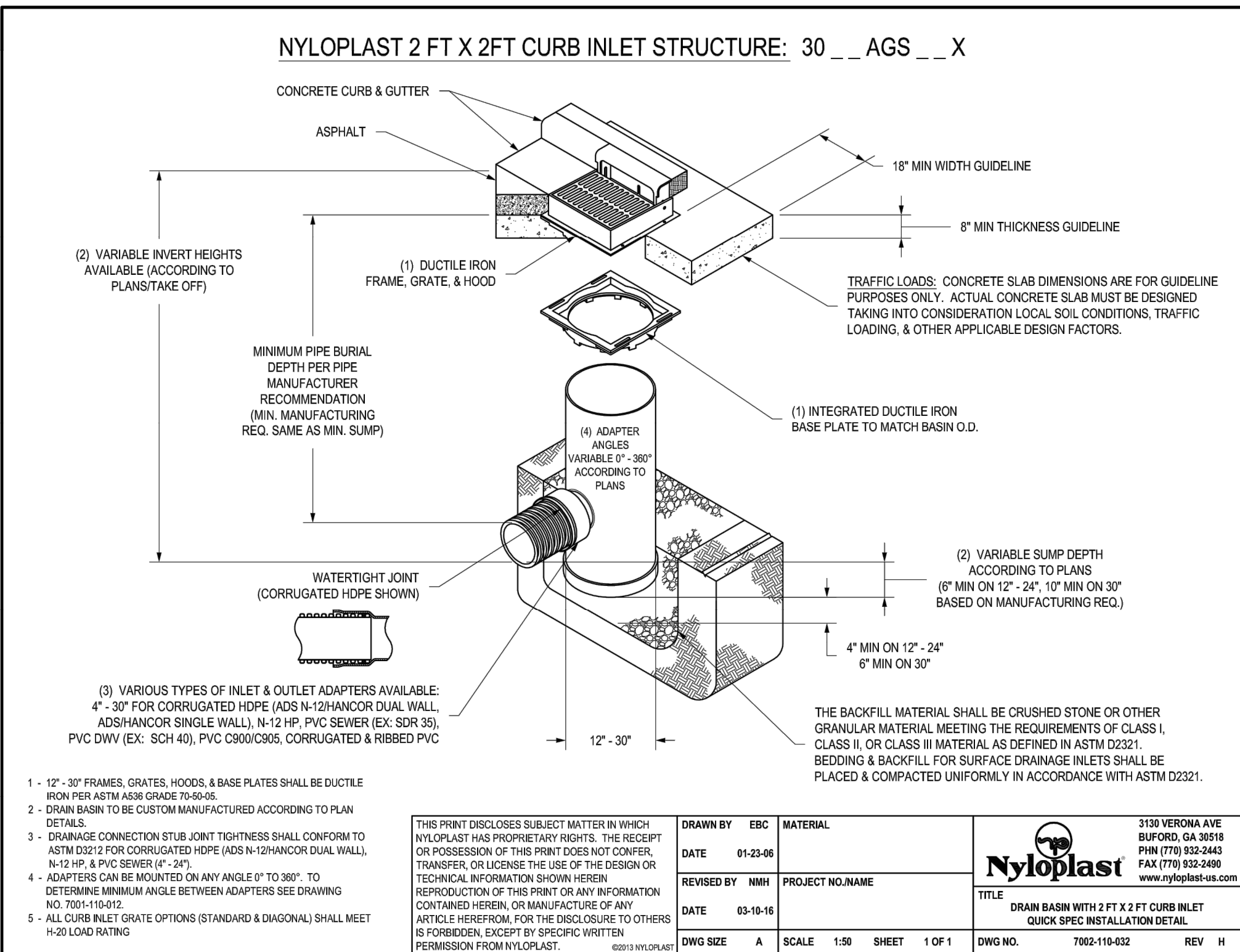


LEE'S SUMMIT MISSOURI

PUBLIC WORKS ENGINEERING DIVISION | 220 SE GREEN STREET | LEE'S SUMMIT, MO 64063

STANDARD DETAILS
CITY OF LEE'S SUMMIT, MO
LEE'S SUMMIT, JACKSON COUNTY, MO
ADA RAMP RETROFIT DETAIL

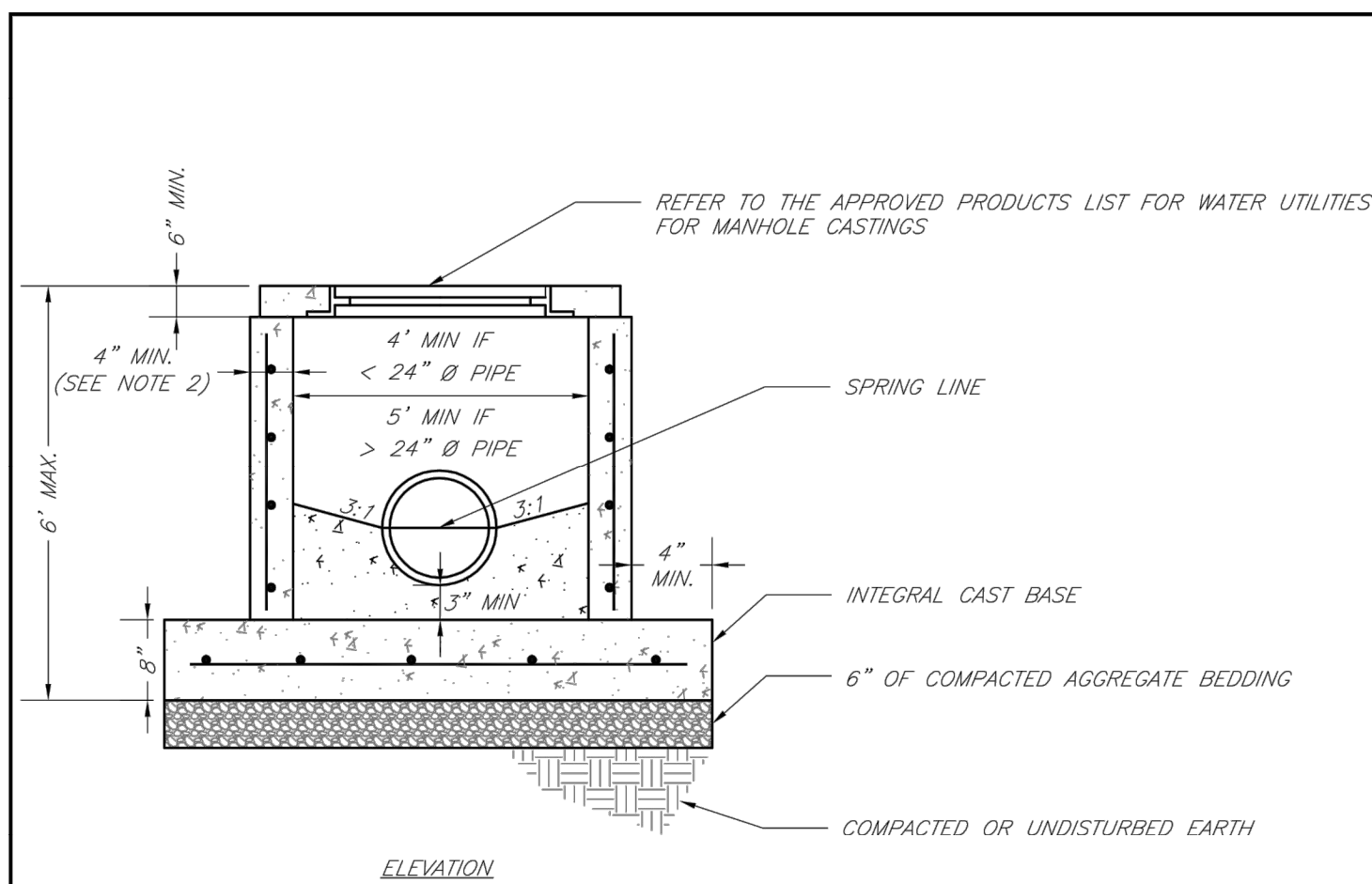
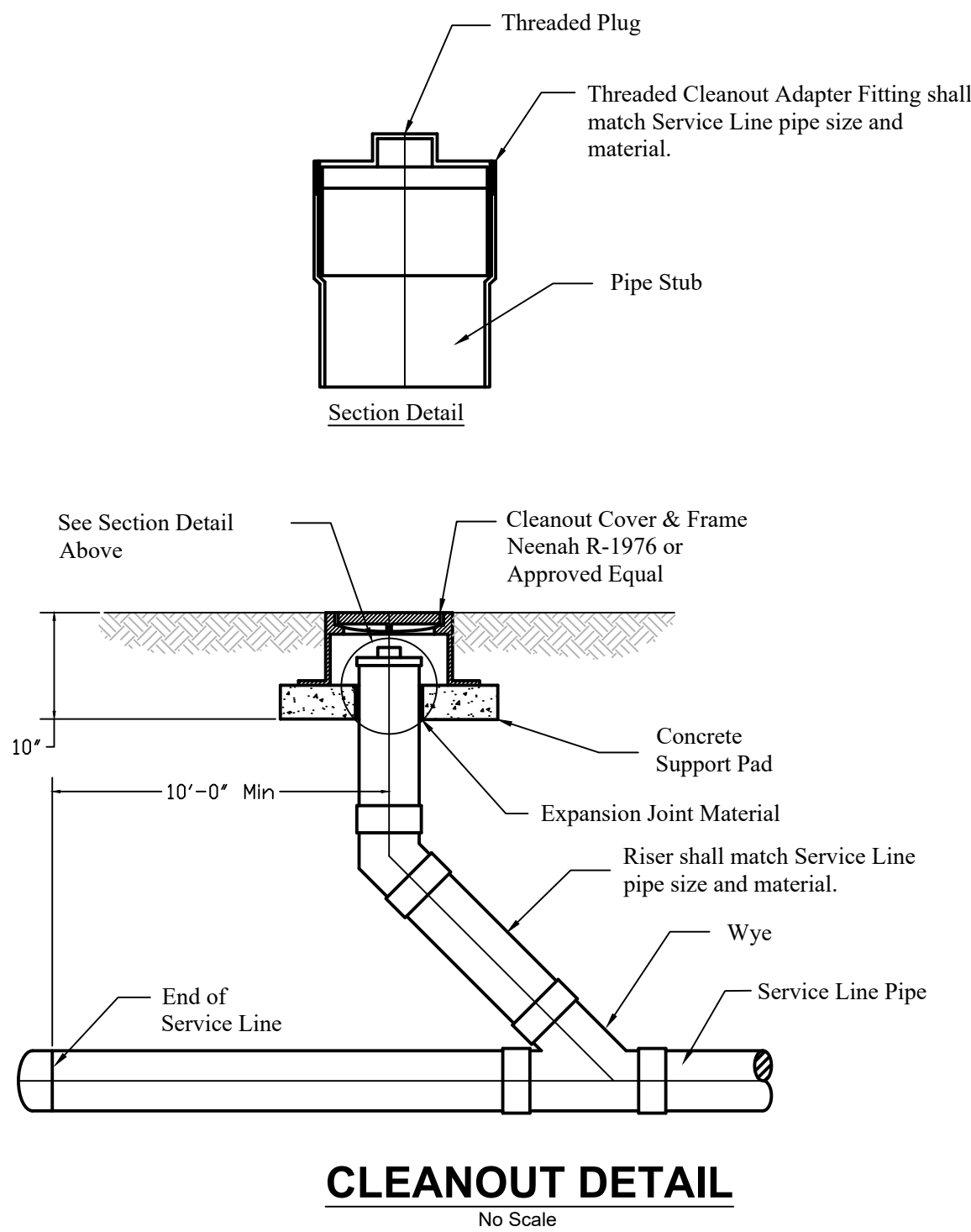
GEN-3B



NO.	BY	CD	DATE	REVISION
1.	BAC	BAC	08/12/19	REVISOR PER CITY COMMENTS
2.	BAC	BAC	08/12/19	ORIGINAL SUBMITTAL

1.	BAC	BAC	08/12/19	REVISOR PER CITY COMMENTS
2.	BAC	BAC	08/12/19	ORIGINAL SUBMITTAL

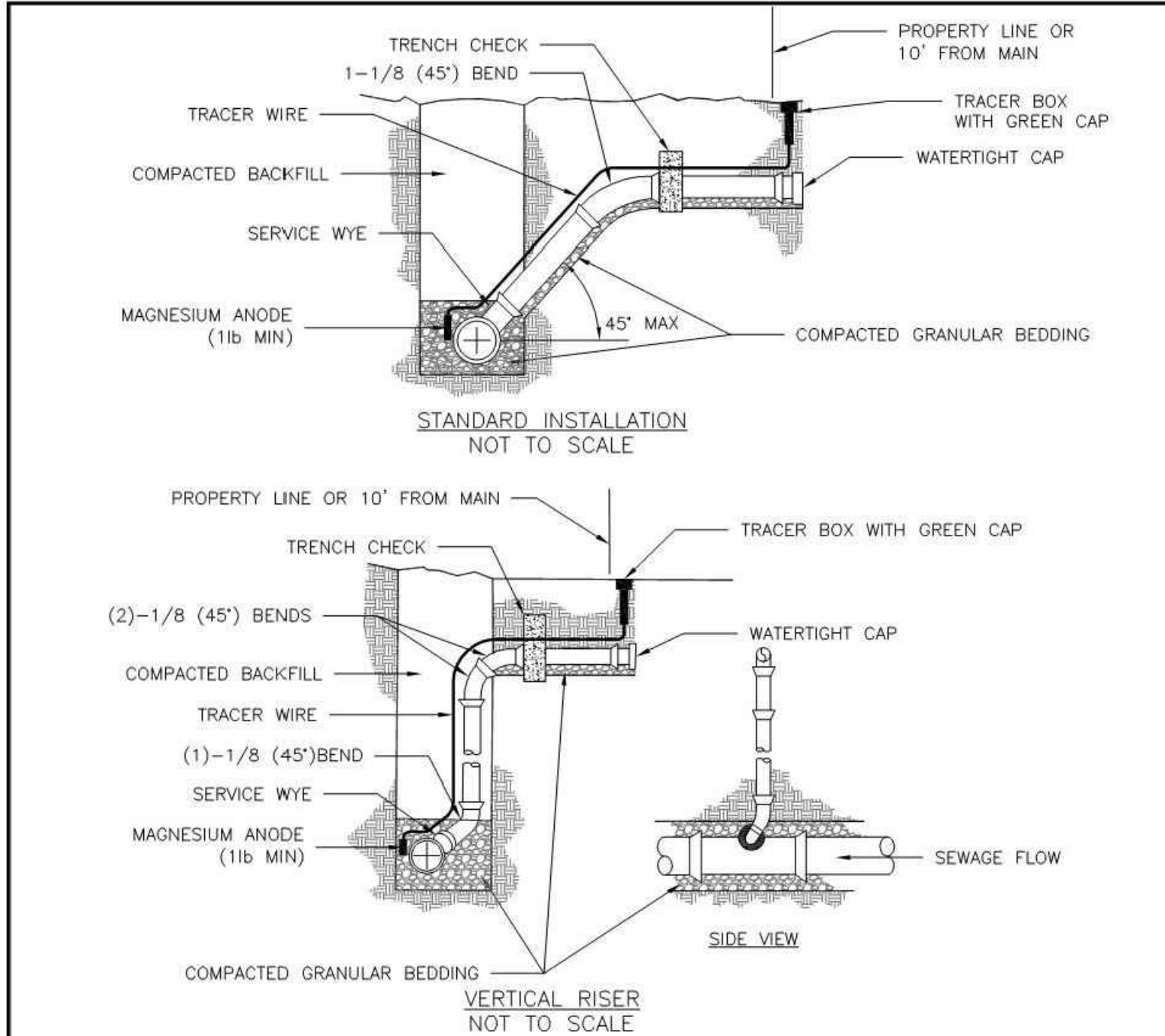
1.	BAC	BAC	08/12/19	REVISOR PER CITY COMMENTS
2.	BAC	BAC	08/12/19	ORIGINAL SUBMITTAL



NOTES:

1. PRECAST CONCRETE MANHOLES SHALL CONFORM TO ASTM C478 EXCEPT AS MODIFIED BY THE SPECIFICATIONS.
2. A WALL THICKNESS NOT LESS THAN ONE-TWELFTH (1/12) OF THE INSIDE DIAMETER OR 4", WHICHEVER IS GREATER SHALL BE USED.
3. WATERPROOFING SHALL BE REQUIRED ON THE OUTSIDE OF MANHOLES. THE WATERPROOFING SHALL CONSIST OF A TOTAL DRY FILM THICKNESS OF NOT LESS THAN 14 MILS. OF BITUMINOUS COATING.
4. THE FILL CONCRETE FLOW CHANNEL FOR SIDE BRANCHES SHALL BE PLACED TO PROVIDE A SMOOTH TRANSITION INTO THE FLOW LINE.
5. REFER TO THE APPROVED PRODUCTS LIST FOR WATER UTILITIES FOR MANHOLE GASKET MODELS.
6. PROVIDE STEPS AS SHOWN ON THE APPROVED PRODUCTS LIST FOR MANHOLE DEPTHS GREATER THAN 4'.

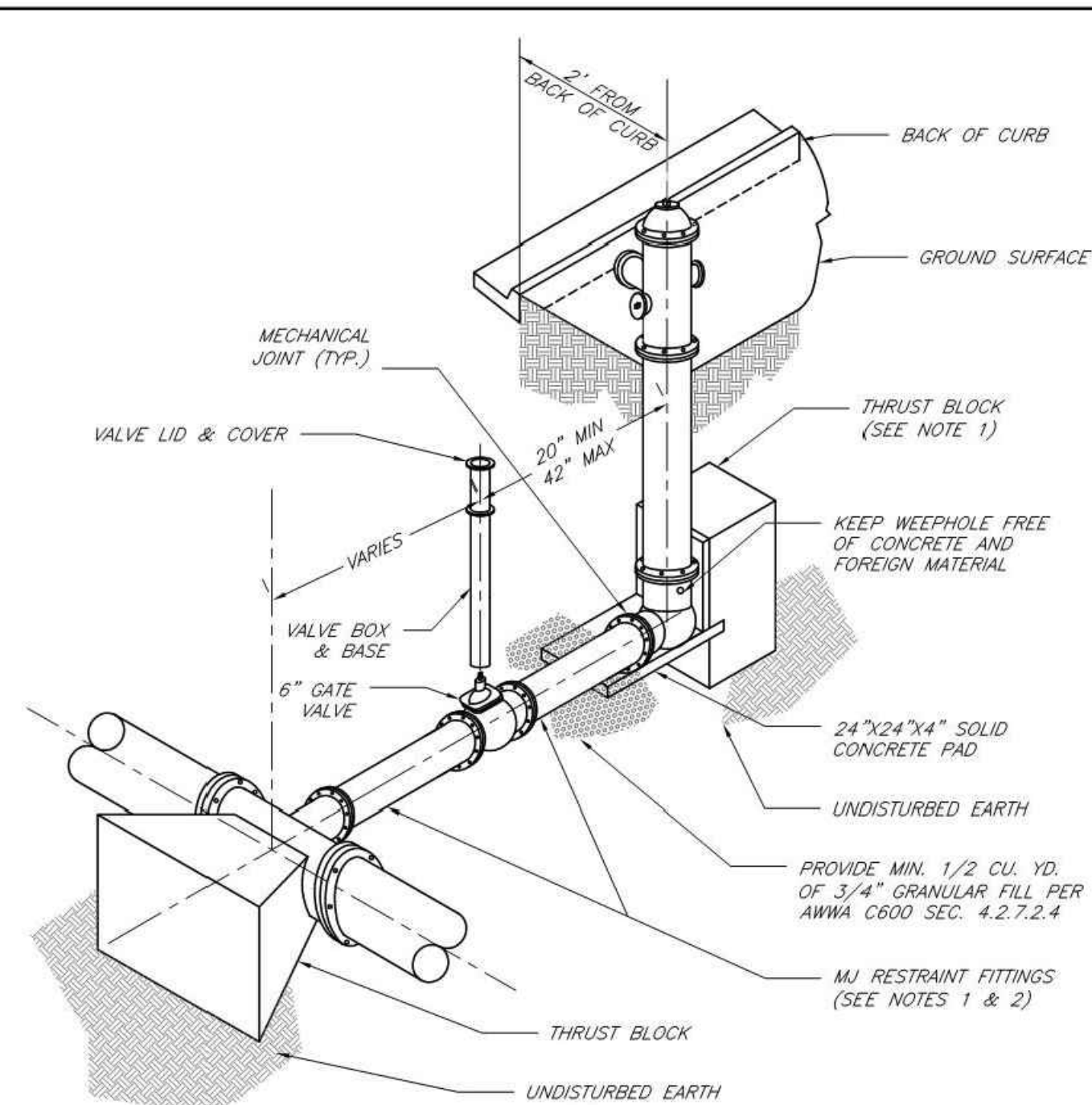
LS	LEE'S SUMMIT MISSOURI PUBLIC WORKS ENGINEERING DIVISION 220 SE GREEN STREET LEE'S SUMMIT, MO 64063	Date: 02/13
		Drawn By: JN
		Checked By: DL
		FILE: SAN-3
		Rev: 1/14
SHALLOW PRECAST MANHOLE - SANITARY SEWER		Rev:



NOTES:

1. ALL SEWER STUBS SHALL BE CONSTRUCTED TO PROPERTY LINE OR 10' MINIMUM FROM THE MAIN, WHERE SIDEWALKS ARE PRESENT, CONTRACTOR SHALL EXTEND SERVICE LINE UNDER EXISTING SIDEWALK TO TWO FEET BEYOND.
2. ALL NEW CONSTRUCTION OFF SEWER STUBS SHALL BE TEMPORARILY MARKED WITH A MARKING STAKE, 36" ABOVE GROUND AND PAINTED GREEN.
3. IMPERVIOUS TRENCH CHECKS SHALL BE PLACED ON BUILDING SEWER STUBS (AT LEAST 5' AWAY FROM THE SANITARY SEWER MAIN).
4. TRENCH CHECKS ON THE BUILDING SEWER STUBS SHALL EXTEND 6" BELOW THE BOTTOM OF THE PIPE. LENGTH SHALL BE A MINIMUM OF 12". THE HEIGHT OF THE TRENCH CHECK SHALL EXTEND 12" ABOVE THE TOP OF THE PIPE. THE WIDTH OF THE TRENCH CHECK SHALL BE THE WIDTH OF THE TRENCH.
5. SEE SPECIFICATION SECTION 2100 FOR SEWER MAIN BEDDING AND BACKFILL.
6. #12 GAUGE GREEN INSULATED COPPER TRACER WIRE SHALL BE INSTALLED. TRACER WIRE TERMINAL BOXES SHALL BE INSTALLED DIRECTLY ABOVE THE SEWER SERVICE OR AS DETERMINED BY THE ENGINEER.
7. FOR SERVICES, TRACER WIRE SHALL RUN FROM THE WYE AND TERMINATE IN A FLUSH MOUNTED TRACER BOX WITH A GREEN CAST IRON LOCKABLE TOP. WIRE SHALL BE TAPED OR TIED TO THE PIPE AT 5' INTERVALS.
8. TRACER WIRE BOX SHALL BE INSTALLED WITHIN 1.0' OF PROPERTY LINE.
9. THE TRACER WIRE SHALL REMAIN CONTINUOUS TO THE GREATEST EXTENT POSSIBLE. SPLICES IN THE TRACER WIRE SHOULD BE MADE WITH SPLIT BOLT CONNECTORS. WIRE NUTS SHALL NOT BE USED. A WATER-PROOF CONNECTION IS NECESSARY TO PREVENT CORROSION.

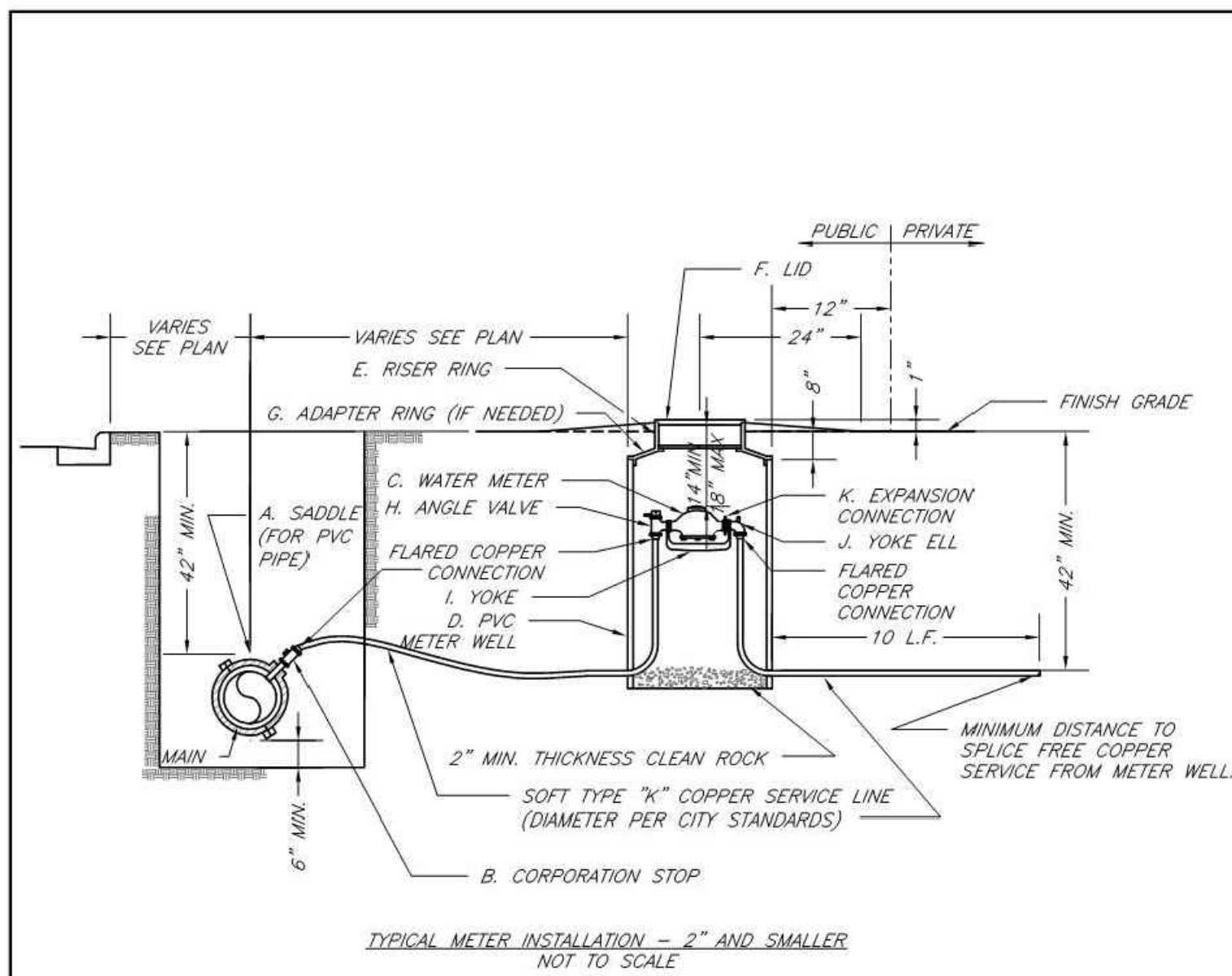
LS	LEE'S SUMMIT MISSOURI PUBLIC WORKS ENGINEERING DIVISION 220 SE GREEN STREET LEE'S SUMMIT, MO 64063	Date: 04/17
		Drawn By: MJF
		Checked By: DL
		FILE: SAN-1
		Rev:
BUILDING SEWER STUB AND RISER		SAN-1



NOTES:

1. WHEN RETAINER GLANDS ARE USED IN LIEU OF MECHANICAL JOINT (MJ) RESTRAINT FITTINGS, HORIZONTAL THRUST BLOCKS ARE REQUIRED.
2. GATE VALVE MAY BE BOLTED DIRECTLY TO MJ RESTRAINT TEE.
3. SEE APPROVED PRODUCTS LIST FOR WATER UTILITIES FOR FIRE HYDRANT, VALVES, VALVE BOX LID, AND COVER.
4. BOTTOM HYDRANT FLANGE SHALL BE 2" TO 6" ABOVE FINISHED GRADE.
5. FOR STREETS WITHOUT CURBS FIRE HYDRANTS SHALL BE PLACED WITHIN 1 FOOT OF THE R/W LINE, BUT NOT MORE THAN 10' FROM EDGE OF PAVEMENT. FIRE HYDRANT SHALL NOT BE PLACED IN BOTTOM OF DITCH.
6. HYDRANT SHALL BE ROTATED AS DIRECTED BY INSPECTOR.

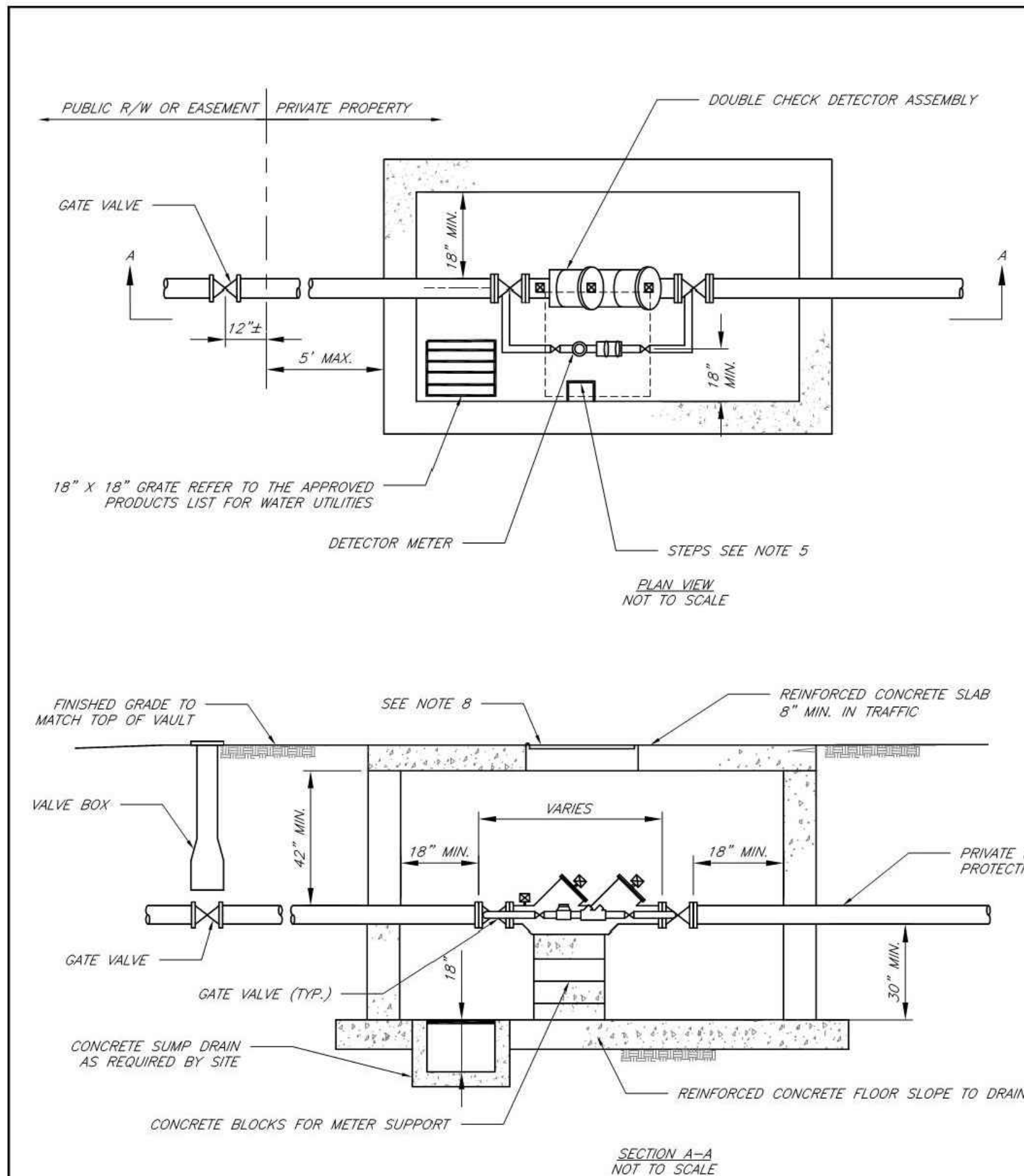
LS	LEE'S SUMMIT MISSOURI PUBLIC WORKS ENGINEERING DIVISION 220 SE GREEN STREET LEE'S SUMMIT, MO 64063	Date: 02/13
		Drawn By: JN
		Checked By: DL
		FILE: WAT-7
		Rev: 1/14
HYDRANT INSTALLATION - STRAIGHT SET		Rev:



NOTES:

1. METER INSTALLATION SHALL NOT BE LOCATED IN AREAS SUBJECT TO VEHICULAR TRAFFIC OR IN CONCRETE PAVEMENT WITHOUT CITY APPROVAL.
2. IF METER IS TO BE LOCATED OTHER THAN IN FRONT OF PROPERTY LINE, CITY APPROVAL SHALL BE OBTAINED.
3. CITY TO FURNISH ITEMS A-K.
4. NO OTHER EQUIPMENT SHALL BE INSTALLED IN THIS PIT.
5. 42" MINIMUM BURY DEPTH FOR ALL SERVICE LINES.
6. EXCAVATION FOR TAP TO EXPOSE 4 LINEAR FEET OF MAIN.
7. NO SPLICES ALLOWED BETWEEN METER AND MAIN.
8. SERVICE CONNECTION TAP AT APPROXIMATELY 45 DEGREES.
9. LID AND RISER RING SHALL BE SET SO THAT GROUND WATER WILL DRAIN AWAY FROM THE WELL.
10. CONTACT WATER UTILITIES, 816-969-1900, FOR REQUIREMENTS OF A METER LARGER THAN 2"

LS	LEE'S SUMMIT MISSOURI PUBLIC WORKS ENGINEERING DIVISION 220 SE GREEN STREET LEE'S SUMMIT, MO 64063	Date: 02/13
		Drawn By: JN
		Checked By: DL
		FILE: WAT-11
		Rev: 1/14
SERVICE CONNECTION/METER WELL		Rev:



GENERAL NOTES:

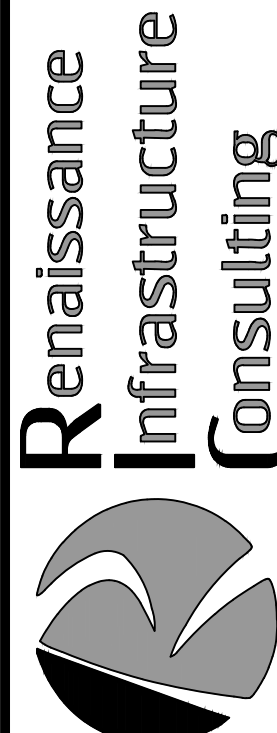
1. METER VAULT WALLS TO BE POURED OR PRECAST CONCRETE. METER VAULT ROOF TO BE REINFORCED CONCRETE WITH OPENING CENTERED OVER DETECTOR METER. REINFORCED WALLS AND SLABS ARE TO BE DESIGNED BY THE OWNER'S ENGINEER OR PRECAST ENGINEER.
2. METER VAULT TO BE LOCATED, WHEN POSSIBLE, OUTSIDE TRAFFIC AREA AND WHERE SURFACE WATER WILL NOT DRAIN INTO IT. PROVIDE CONCRETE SUMP TO DRAIN TO AN ABOVE GROUND DISCHARGE POINT.
3. ALL PIPE AND FITTINGS FROM THE CITY WATER MAIN THROUGH THE VAULT SHALL BE PROVIDED WITH RESTRAINED JOINT FITTINGS.
4. ALL FITTINGS FOR THE DETECTOR METER TO BE BRASS.
5. STEPS SHALL BE IN ACCORDANCE WITH THE APPROVED PRODUCTS LIST FOR WATER UTILITIES AND SHALL BE ON 16" CENTERS.
6. A DEPARTMENT OF NATURAL RESOURCES APPROVED DOUBLE CHECK DETECTOR ASSEMBLY BACKFLOW PREVENTER MUST BE USED FOR A DETECTOR ASSEMBLY OF NATURAL RESOURCES APPROVED BACKFLOW PREVENTION ASSEMBLIES, CONTACT WATER UTILITIES AT 816-969-1900.
7. ALL VALVES SHALL HAVE RISING STEMS.
8. MANHOLE COVER SHALL BE A BILCO K-1 MODEL UNLESS IN A VEHICLE TRAFFIC AREA. SEE THE APPROVED PRODUCTS LIST FOR WATER UTILITIES FOR TRAFFIC CONDITIONS. THE COVER SHALL HAVE A 1-3/4" Ø HOLE DRILLED FOR A TOUCH/READ DEVICE.
9. A MINIMUM OF 18" CLEARANCE SHALL BE PROVIDED AROUND ALL PIPING, VALVES, APPURTENANCES, ETC.
10. CONTACT PUBLIC WORKS ENGINEERING FOR VAULTS THAT INCLUDE A FIRE DEPARTMENT CONNECTION OR A 3" OR LARGER METER.

CITY OF LEE'S SUMMIT, MO
PUBLIC WORKS DEPARTMENT
ENGINEERING DIVISION



STANDARD DRAWINGS
DOUBLE CHECK DETECTOR CHECK

Drawn By: JN
Checked By: DL
Date: 1/14
Rev: 1/14
or
WAT-12



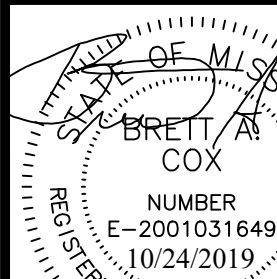
REVISIONS

NO.	BY	DATE	REVISION
1.	BAC	08/12/19	REVISED PER CITY COMMENTS
	BAC	08/12/19	ORIGINAL SUBMITTAL

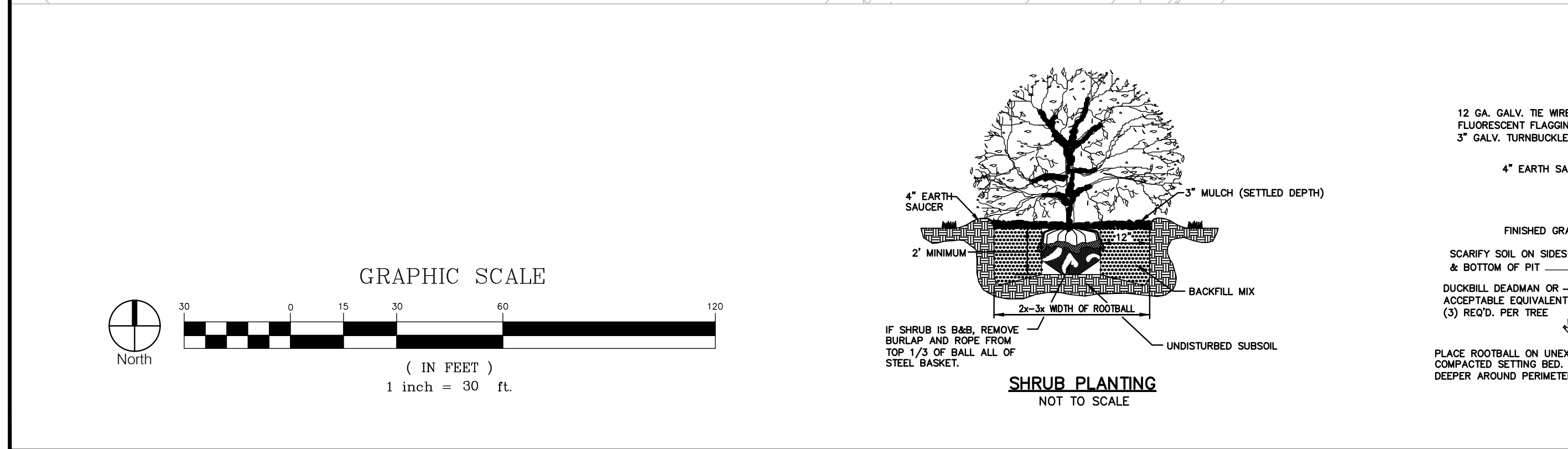
5015 NW CANAL STREET, SUITE 100
RIVERSIDE, MISSOURI 64150

816.800.0950
WWW.RIC-CONSULT.COM

MISSOURI CERTIFICATE OF AUTHORITY NO. 2010035630



STATE OF MISSOURI
BRETT A. COX
NUMBER
E-2001031649
10/24/2019
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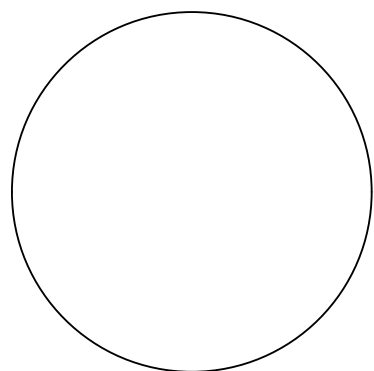


- LANDSCAPING NOTES:**
1. LOCATE ALL UTILITIES BEFORE LANDSCAPE CONSTRUCTION BEGINS.
 2. NOTIFY OWNER REPRESENTATIVE OF ANY LAYOUT DISCREPANCIES.
 3. ALL EXTERIOR GROUND WITHIN THE LIMITS OF THE CONTRACT, EXCEPT FOR SURFACES OCCUPIED BY BUILDINGS, STRUCTURES, PAVING, AND AS DIRECTED ON THE DRAWINGS AS UNDISTURBED, SHALL BE FILLED WITH SIX INCHES (6") OF TOPSOIL.
 4. ALL DISTURBED AREAS NOT DESIGNATED FOR OTHER PLANTING SHALL BE SODDED. SOD SHALL CONSIST OF 90% TURF TYPE TALL FESCUE 10% BLUEGRASS.
 5. WEED MAT SHALL BE USED UNDER ALL PLANTING AREAS NOT TO BE SODDED OR AS DIRECTED ON THE DRAWINGS. THE MAT SHALL BE COVERED WITH MULCH AND SECURED IN-PLACE BY A SOIL ANCHOR.
 6. QUANTITIES INDICATED IN PLANT LIST ARE FOR CONVENIENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR PLANT QUANTITIES AS ILLUSTRATED IN THE PLAN.
 7. SODDED AREAS UNDER MULCH SHALL BE USED AS THREE INCH (3") TOP DRESSING IN ALL PLANT BEDS AND AROUND ALL TREES. SINGLE TREES OR SHRUBS SHALL BE MULCHED TO THE OUTSIDE EDGE OF SAUCER OR LANDSCAPE ISLAND (SEE PLANTING DETAILS).
 8. PROVIDE STEEL EDGING AROUND ALL SHRUB AND GROUND COVER BEDS. STEEL EDGING SHALL BE 1/8" x 4" WITH CLIPS AND REBAR STAKES FIVE FEET(5') ON CENTER.
 9. FERTILIZE ALL PLANTS AT THE TIME OF PLANTING WITH TIME-RELEASE FERTILIZER(3-4 SLOW-RELEASE TABLETS/PELLETS). IF LEANING OCCURS WITHIN ONE YEAR, TREES SHALL BE RE-STAKED (SEE PLANTING DETAILS).
 10. 1. CONTRACTOR SHALL STAKE ALL PLANT MATERIALS PRIOR TO INSTALLATION FOR THE PURPOSE OF DETERMINING CONFLICTS WITH ROCK, UTILITIES, ETC. NO PLANTS CAN BE PLANTED DIRECTLY ON ROCK OR UTILITIES. NOTIFY ARCHITECT/ENGINEER/OWNER AT ONCE IF ANY CONFLICTS OCCUR. CONTRACTOR WILL BE REQUIRED TO ADJUST PLANT LOCATIONS AT NO ADDITIONAL COST.
 12. CONTRACTOR IS RESPONSIBLE FOR WATERING ALL SOD UNTIL ROOTS HAVE KNOTTED INTO SOIL AND OWNER HAS OCCUPIED THE BUILDING.
 13. PROVIDE "COTON" BAGS ON ALL TREES. REFILL AS NECESSARY UNTIL OWNER OCCUPIES THE BUILDING.
 14. PROVIDE GRASSER EROSION CONTROL MAT, NORTH AMERICAN GREEN SC150BN OR APPROVED EQUAL OVER ALL NATIVE GRASS SEEDS AREAS.
 15. 12" GRAVEL MOW STRIP - PROVIDE AND INSTALL: 1/4" x 5" STEEL EDGING (SURE-LOC OR EQ.). ANCHOR IN PLACE WITH STAKES PER MANUFACTURER. PROVIDE AND INSTALL HEAVY DUTY WEED BARRIER FABRIC UNDER GRAVEL. PROVIDE AND INSTALL 3" DEPTH OF 1"-2" MULTI-COLORED WASHED RIVER GRAVEL, SUBMIT COLOR SAMPLE TO OWNER FOR APPROVAL.

PLANT SCHEDULE				
KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE/REMARKS
TREES				
CSM	7	ACER SACHARUM 'AUTUMN SPLENDOR'	CADDO SUGAR MAPLE	3" CAL. B&B
HL	17	GLEDITISA TRIACANTHOS 'SKYLINE'	SKYLINE HONEYLOCUST	3" CAL. B&B
RO	8	QUERCUS RUBRA	RED OAK	3" CAL. B&B
BC	7	TAXODIUM DISTICHUM	BALD CYPRESS	3" CAL. B&B
LP	7	PLATANUS x ACERIFOLIA	LONDON PLANETREE	3" CAL. B&B
PJ	34	JUNIPEROUS CHINENSIS 'PERFECTA'	PERFECTA JUNIPER	6' HT. B&B
SHRUBS/GRASSES/GROUND COVER				
BB	23	EUONYMUS ALATUS	DWARF BURNING BUSH	5 GAL
RD	31	CORNUS SERICEA	REDTWIG DOGWOOD	5 GAL
SGJ	46	JUNIPEROUS CHINENSIS 'SEA GREEN'	SEA GREEN JUNIPER	5 GAL
TX	73	TAXUS x MEDIA 'DENSIFORMIS'	DENSIFORMIS YEW	5 GAL
KV	24	VIBURNUM CARLESII	KOREANSPICE VIBURNUM	5 GAL

LANDSCAPE WORKSHEET			
	ORDINANCE REQUIREMENT	REQUIRED FOR THIS SITE	PROPOSED (EXISTING AND NEW LANDSCAPE)
8.790.A.1 Street Frontage Trees (Lakewood Way)	1 tree per 30 feet of street frontage	176 ft. of street frontage /30 = 6 trees required	6 trees
8.790.A.3 Street Frontage Shrubs (Lakewood Way)	1 shrub per 20 feet of street frontage	176 ft. of street frontage /20 = 9 shrubs required	0 shrubs *
8.790.A.1 Street Frontage Trees (NE Bowlin Rd.)	1 tree per 30 feet of street frontage	96 ft. of street frontage /30 = 4 trees required	4 new trees
8.790.A.3 Street Frontage Shrubs (NE Bowlin Rd.)	1 shrub per 20 feet of street frontage	96 ft. of street frontage/20 = 5 shrubs required	0 shrubs *
8.790.A.1 Street Frontage Trees (I-470)	1 tree per 30 feet of street frontage	350 ft. of street frontage /30 = 12 trees required	12 new trees
8.790.A.3 Street Frontage Shrubs (I-470)	1 shrub per 20 feet of street frontage	350 ft. of street frontage/20 = 18 shrubs required	0 shrubs *
8.790.A.2 Street Frontage Green Strip (Lakewood Way)	20 feet	20 feet	20 feet
8.790.A.2 Street Frontage Green Strip (NE Bowlin Rd.)	20 feet	20 feet	20 feet
8.790.A.2 Street Frontage Green Strip (I-470)	20 feet	20 feet	20 feet
8.790.B.1 Open Yard Shrubs	2 shrubs per 5000 sq. ft. of total lot area excluding building footprint.	79,760 sq.ft. of total lot area minus 9,600 sq.ft. of bldg. 70,160/5,000 x 2 = 28 shrubs.	28 shrubs
8.790.B.3 Open Yard Trees	1 tree per 3000 sq. ft. of total lot area excluding building and parking.	79,760 sq.ft. of total lot area minus 9,600 sq.ft. of bldg. 70,160/3,000 = 24 trees.	24 trees
8.810. Parking Lot Landscape Islands	5% of entire parking area (spaces, aisles & drives); 1 island at end of every parking bay, min. 9' wide	42,266 sq.ft. of parking area x .05 = 1,520 sq.ft. of landscape parking lot islands required	2,894 sq. ft.
8.820 Screening of Parking Lot, Lakewood Way	12 shrubs per 40 linear feet (must be 2.5 feet tall; berms may be combined with shrubs)	176 linear feet/40 x 12 = 53 shrubs required.	53 shrubs
8.820 Screening of Parking Lot, NE Bowlin Rd.	12 shrubs per 40 linear feet (must be 2.5 feet tall; berms may be combined with shrubs)	96 linear feet/40 x 12 = 30 shrubs required.	30 shrubs
8.820 Screening of Parking Lot, I-470	12 shrubs per 40 linear feet (must be 2.5 feet tall; berms may be combined with shrubs)	350 linear feet/40 x 12 = 105 shrubs required.	105 shrubs

* STREET SHRUBS ARE SATISFIED WITH PARKING LOT SCREENING REQUIREMENTS



LAKEWOOD COMMERCIAL

**5030 LAKEWOOD WAY
LEE'S SUMMIT, MO**

PROJECT #: _____
 ISSUE DATE: _____
 DRAWN BY: _____
 CHECKED BY: _____

REVISIONS:

1.	10.23.19 CITY COMMENTS
2.	
3.	
4.	
5.	

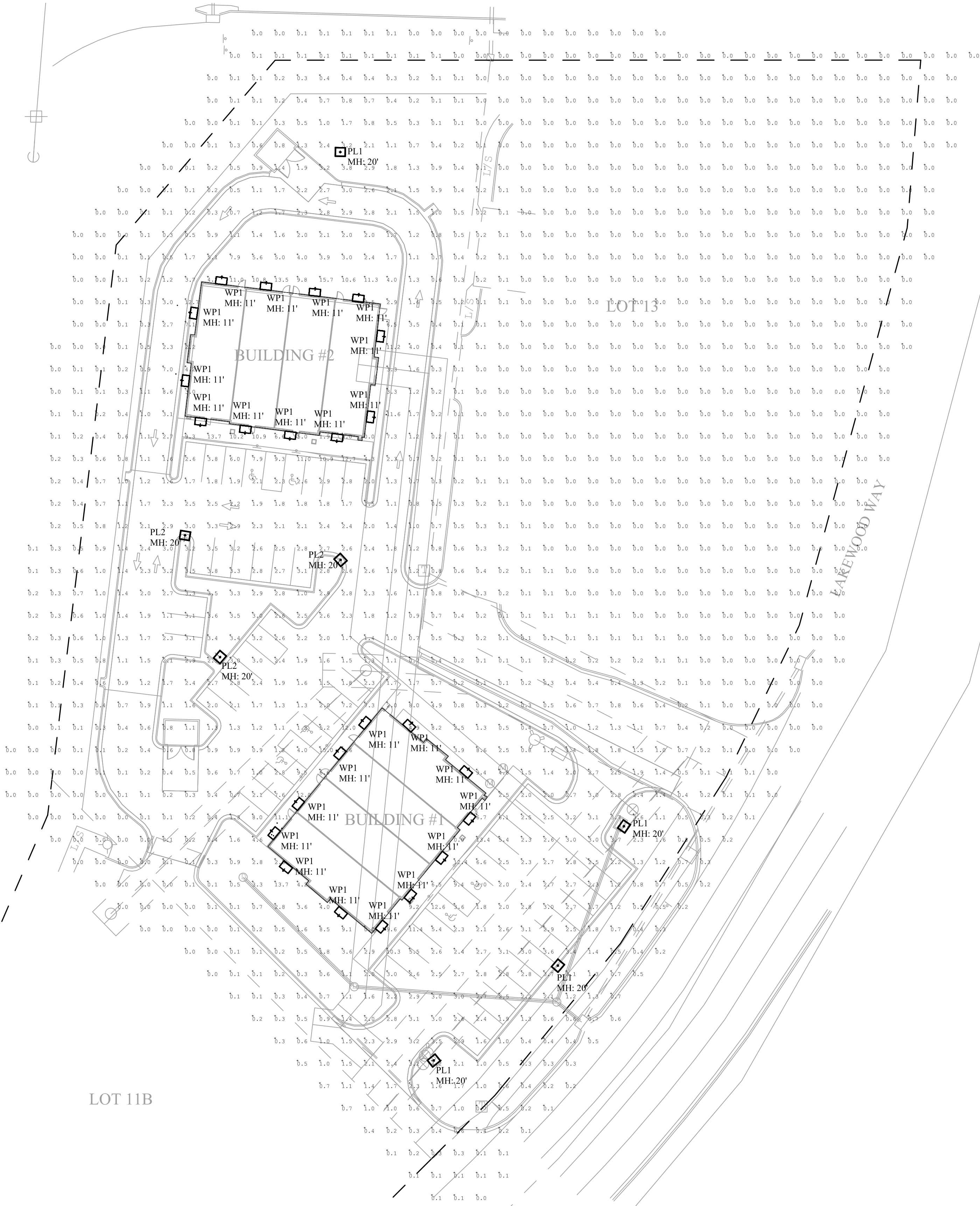
SHEET No.
L100
LANDSCAPE PLAN

Luminaire Schedule								
Symbol	Qty	Label	Arrangement	HEIGHT	LLF	Description	Tag	Arr. Watts
	4	DSX1 LED P3 40K TFTM MVOLT	SINGLE	20'	1.000	DSX1 LED P3 40K TFTM MVOLT	PL1	102
	24	WST LED P2 40K VW MVOLT	SINGLE	11'	1.000	WST LED P2 40K VW MVOLT	WP1	25
	3	DSX1 LED P3 40K T5M MVOLT	SINGLE	20'	1.000	DSX1 LED P3 40K T5M MVOLT	PL2	102

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
CalcPts_1	Illuminance	Fc	1.03	15.7	0.0	N.A.	N.A.

I-470 OFF-RAMP

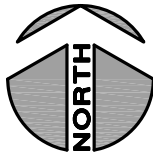
PROPERTY
LINE



SITE LIGHTING PLAN

SCALE : 1" = 30'-0"

1



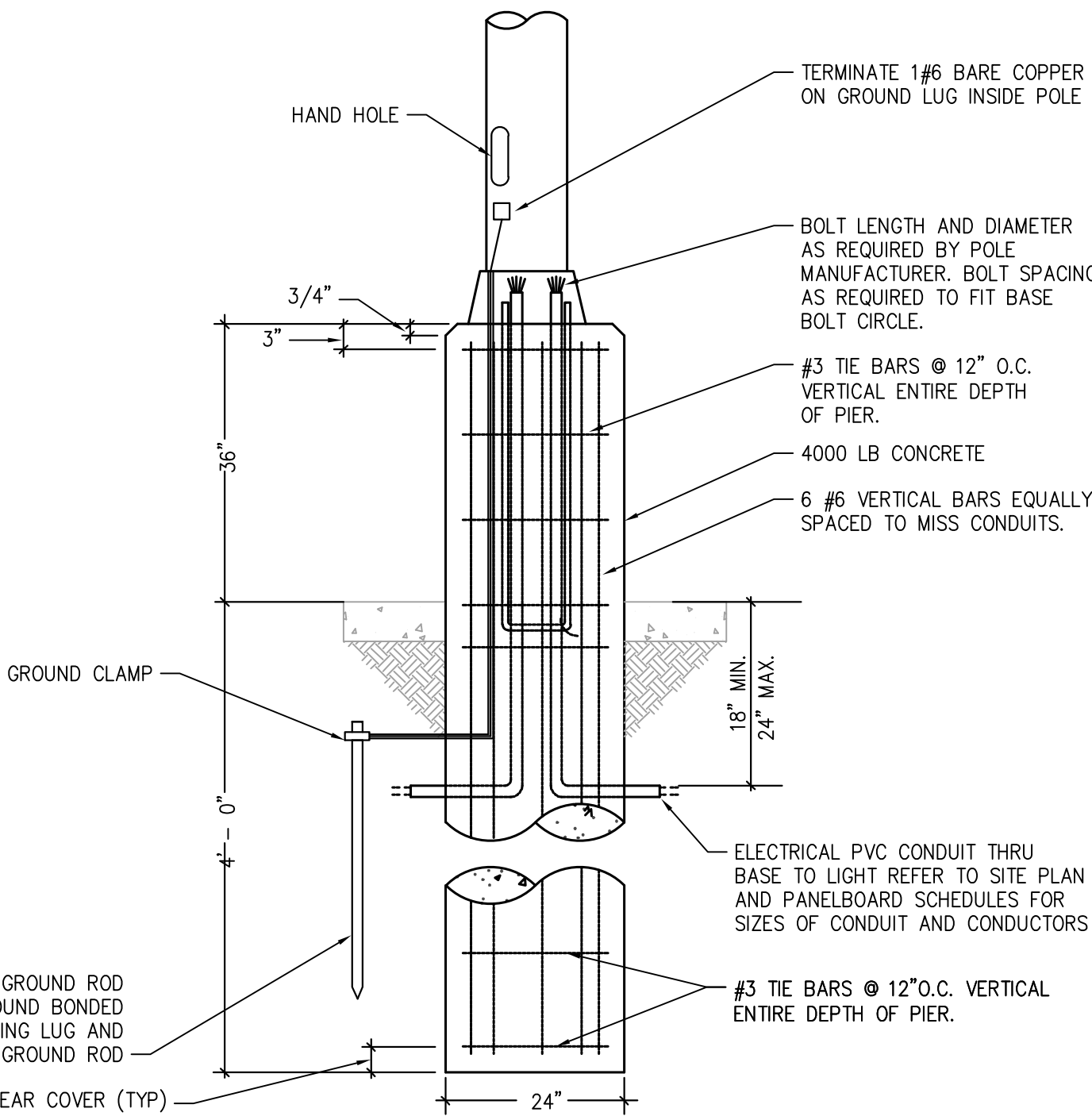
PL

d'series

WP

ELECTRICAL SPECIFICATIONS

- ALL CONDUCTORS SHALL BE THIN COPPER ABOVE GRADE, XHHW-2 BELOW GRADE, MINIMUM #12 OR LARGER AS REQUIRED OR SHOWN.
- ALL SERVICE WIRING, EXPOSED TO WEATHER, OR WIRING BELOW GRADE, SHALL BE IN RIGID GALVANIZED CONDUIT OR SCH. 40 PVC.
- ALL OTHER WIRING SHALL BE IN EMT, SCHEDULE 40 PVC OR MC CABLE UNLESS PROTECTED AND ENCLOSED WITHIN BUILDING MATERIALS, IN WHICH CASE TYPE NM CABLE MAY BE USED.
- THE ENTIRE SYSTEM SHALL BE ELECTRICALLY CONTINUOUS AND PROPERLY GROUNDED. EVERY FEEDER AND BRANCH CONDUIT SHALL HAVE CODE SIZED GREEN INSULATED GROUND CONDUCTOR.
- FURNISH AND INSTALL ALL LIGHTING FIXTURES, LAMPS, FUSES, BREAKERS, ETC. TO COMPLETE THE BRANCH CIRCUITS INDICATED.
- ALL 120V, 20A LIGHTING AND RECEPTACLE CIRCUITS REQUIRING MORE THAN 100' OF CONDUCTORS (ONE WAY) SHALL BE #10 CONDUCTORS, MINIMUM.
- CIRCUIT THRU BREAKER IN CLOSEST BUILDING ELECTRICAL PANEL. WIRE THRU TIMER/PHOTOCELL.



POLE BASE DETAIL

SCALE : NONE

2

New Building for:

LAKEWOOD RETAIL

5030 LAKEVIEW DRIVE

No.	Description	Date

SITE
PHOTOMETRIC

Project number	19-162
Date	09/03/2019

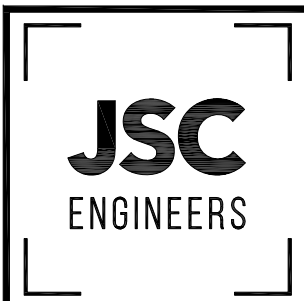
ES101

scharhag

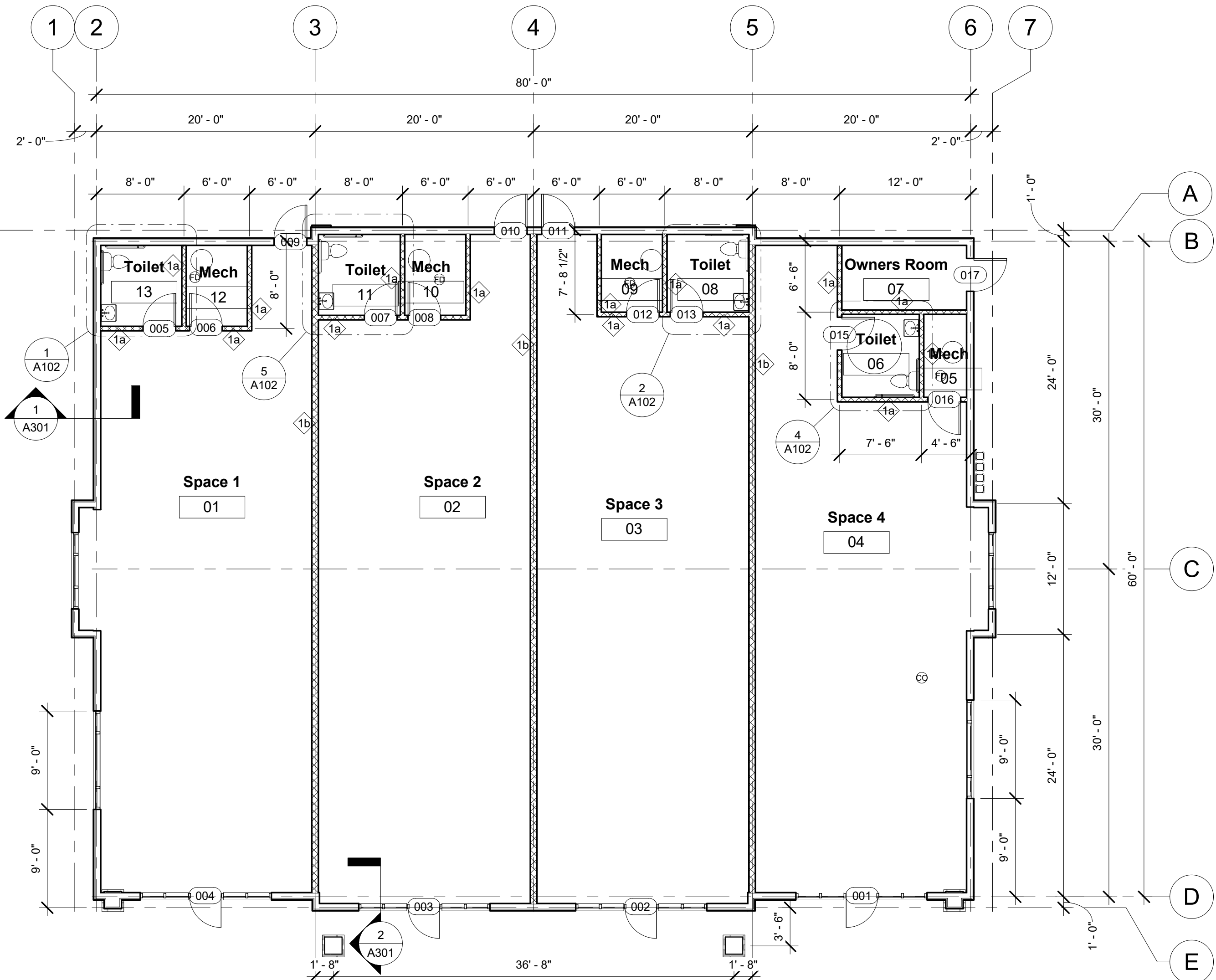
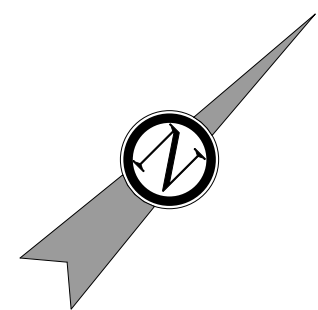
HERMAN A. SCHARHAG COMPANY, ARCHITECTS
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ENGINEER:



MO COA NO. 201900786 / AS COA NO. E018
1901 NW BLUE PARKWAY, UNITY VILLAGE, MO 64085
3RD FLOOR UNITY VILLAGE TOWER
phone: (816) 272-0289
email: jrscharhag@csengr.com



1 Floor Plan
1/8" = 1'-0"

Door Schedule					
Mark	Family	Type	Door Finish	Frame Finish	hardware type
001	Storefront Entry Single for Curtain Wall	Store Front Single Door	AL	AL	
002	Storefront Entry Single for Curtain Wall	Store Front Single Door	AL	AL	
003	Storefront Entry Single for Curtain Wall	Store Front Single Door	AL	AL	
004	Storefront Entry Single for Curtain Wall	Store Front Single Door	AL	AL	
005	Single-Flush	3 x 7 Toilet	WD	HM	Lockset w/ lever handles, strike plate, 1 - 1/2 pair hinges, closer.
006	Single-Flush	3 x 7 Office	WD	HM	Lockset w/ lever handles, strike plate, 1 - 1/2 pair hinges
007	Single-Flush	3 x 7 Toilet	WD	HM	Lockset w/ lever handles, strike plate, 1 - 1/2 pair hinges, closer.
008	Single-Flush	3 x 7 Office	WD	HM	Lockset w/ lever handles, strike plate, 1 - 1/2 pair hinges
009	Single-Flush	3 x7 Exterior	HM	HM	Lockset w/ lever handles, strike plate, 1-1/2 hinges, closer, drip cap, gasketing, bottom sweep.
010	Single-Flush	3 x7 Exterior	HM	HM	Lockset w/ lever handles, strike plate, 1-1/2 hinges, closer, drip cap, gasketing, bottom sweep.
011	Single-Flush	3 x7 Exterior	HM	HM	Lockset w/ lever handles, strike plate, 1-1/2 hinges, closer, drip cap, gasketing, bottom sweep.
012	Single-Flush	3 x 7 Office	WD	HM	Lockset w/ lever handles, strike plate, 1 - 1/2 pair hinges
013	Single-Flush	3 x 7 Toilet	WD	HM	Lockset w/ lever handles, strike plate, 1 - 1/2 pair hinges, closer.
015	Single-Flush	3 x 7 Toilet	WD	HM	Lockset w/ lever handles, strike plate, 1 - 1/2 pair hinges, closer.
016	Single-Flush	3 x 7 Office	WD	HM	Lockset w/ lever handles, strike plate, 1 - 1/2 pair hinges
017	Single-Flush	3 x7 Exterior	HM	HM	Lockset w/ lever handles, strike plate, 1-1/2 hinges, closer, drip cap, gasketing, bottom sweep.

HM = 16 GA. HOLLOW METAL, PAINTED
WD = SOLID CORE RED OAK, STAINED
AL = ANODIZED ALUMINUM
IRP = IMPACT RESISTANT PLASTIC

HARDWARE SHALL BE MEDIUM DUTY COMMERCIAL GRADE. DOOR HARDWARE SHALL CONSIST OF BUTTS, LATCHSET OR LOCKSET, SILENCERS, SMOKE GASKETING FOR RATED DOORS, CLOSERS WHERE NOTED, PANIC DEVICES WHERE NOTED. EXTERIOR DOORS SHALL ALSO HAVE THRESHOLD, WEATHERSTRIPPING, SWEEP AND KEYED LOCK. CONTRACTOR SHALL COORDINATE ALL LATCH/LOCK FUNCTIONS AND KEYING OF LOCKS WITH OWNER. MAX. THRESHOLD = 1/2". ALL HARDWARE TO BE LEVER TYPE OR PUSH/PULL. ALL DOORS IN EGRESS PATHWAYS SHALL BE FREE TURNING FOR EXITING.

GLASS IN DOORS AND SIDELIGHTS SHALL BE SAFETY GLASS PER IBC SEC. 2406.1

Wall Schedule		
Type Mark	Type	Type Comments
1a	Interior Partition-Metal Stud	3-5/8" Metal studs @ 16" o.c. w/ 3 1/2" fiberglass batt insulation and (1) layer 5/8" gyp. board each side. To 6" above ceiling
1b	Interior Partition-Metal Stud Demising	6" Metal studs @ 16" o.c. w/ 6" fiberglass batt insulation and (1) layer 5/8" gyp. board each side. To roof deck w/ slip track

Room Schedule					
Number	Name	Base Finish	Wall Finish	Floor Finish	Ceiling Finish
01	Space 1	None	Painted gyp. b'd	Concrete	None
02	Space 2	None	Painted gyp. b'd	Concrete	None
03	Space 3	None	Painted gyp. b'd	Concrete	None
04	Space 4	None	Painted gyp. b'd	Concrete	None
05	Mech	None	Painted gyp. b'd	Concrete	2x4 Suspended Acoustical
06	Toilet	6" rubber cove	Epoxy Paint	VCT	2x4 Suspended Acoustical
07	Owners Room	4" rubber cove	Painted gyp. b'd	Concrete	2x4 Suspended Acoustical
08	Toilet	6" rubber cove	Epoxy Paint	VCT	2x4 Suspended Acoustical
09	Mech	4" rubber cove	Painted gyp. b'd	Concrete	2x4 Suspended Acoustical
10	Mech	4" rubber cove	Painted gyp. b'd	Concrete	2x4 Suspended Acoustical
11	Toilet	6" rubber cove	Epoxy Paint	VCT	2x4 Suspended Acoustical
12	Mech	4" rubber cove	Painted gyp. b'd	Concrete	2x4 Suspended Acoustical
13	Toilet	6" rubber cove	Epoxy Paint	VCT	2x4 Suspended Acoustical

CEILING HEIGHT TO BE 9'-0" AFF

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NEW BUILDING FOR

LAKEWOOD RETAIL BUILDING 1

5030 Lakeview Drive

J. Jeffrey Schroeder Mo. License A-4226
Herman Scharhag Co., Arch. Cert. of Authority A-22

No.	Description	Date
Revision Schedule		

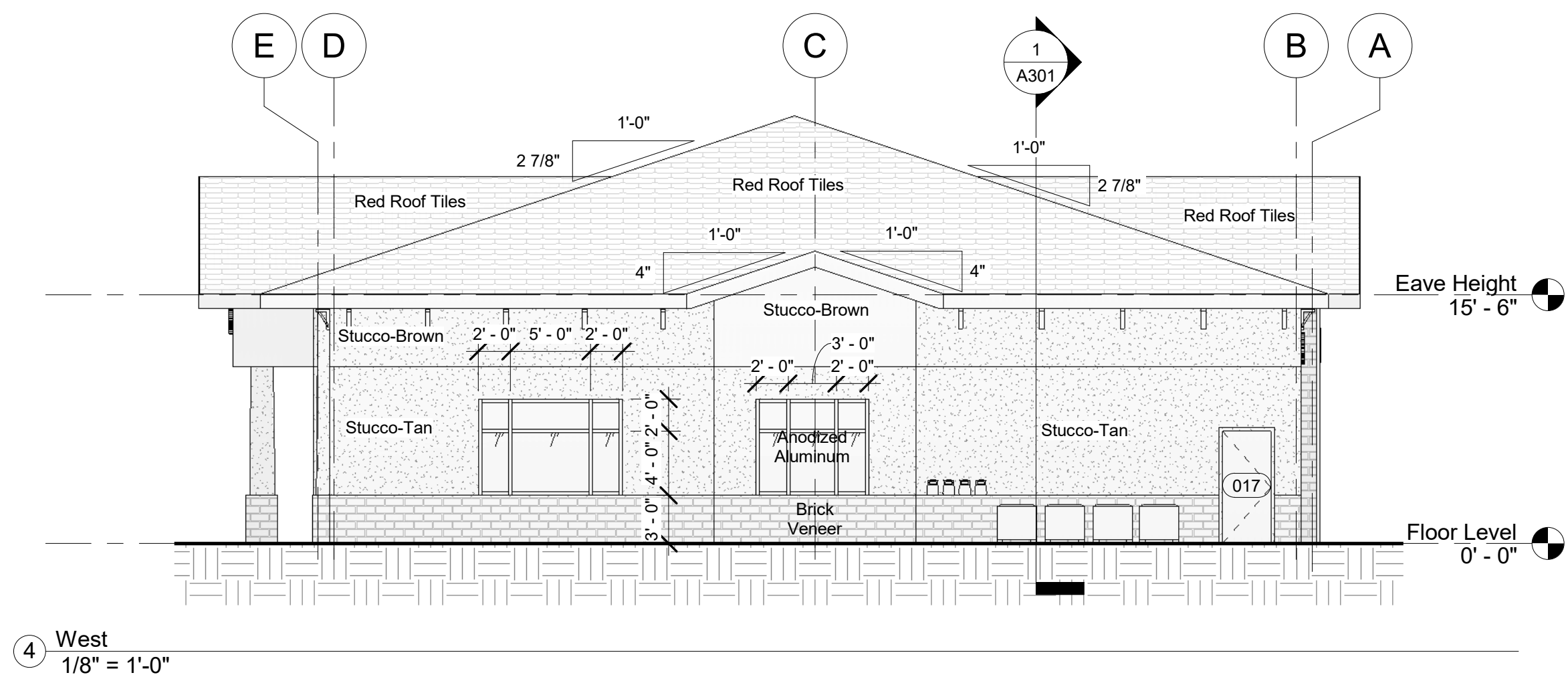
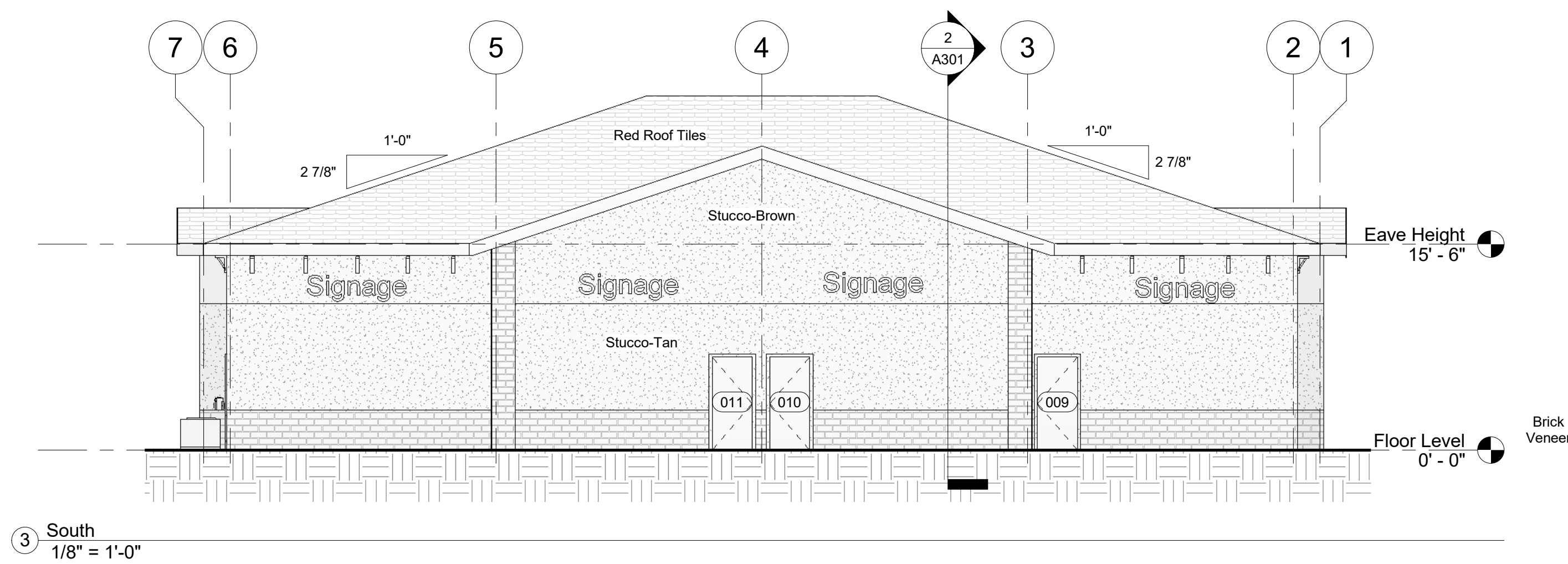
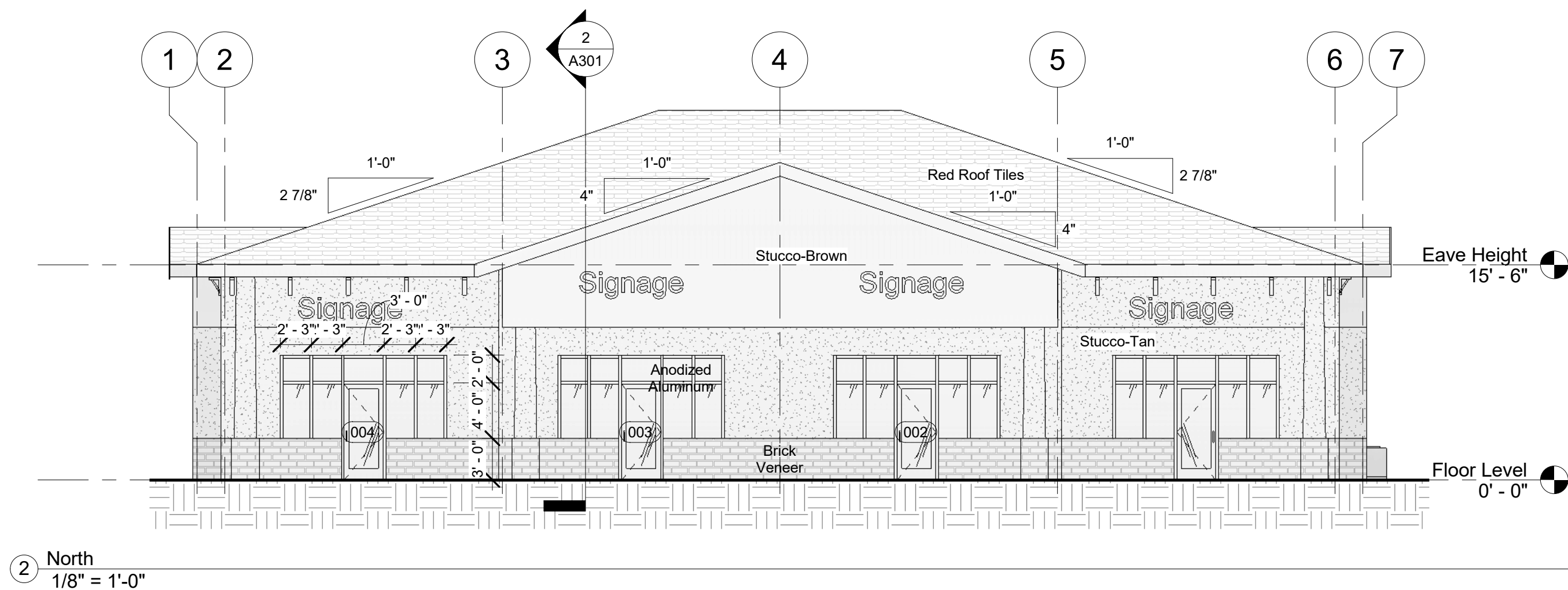
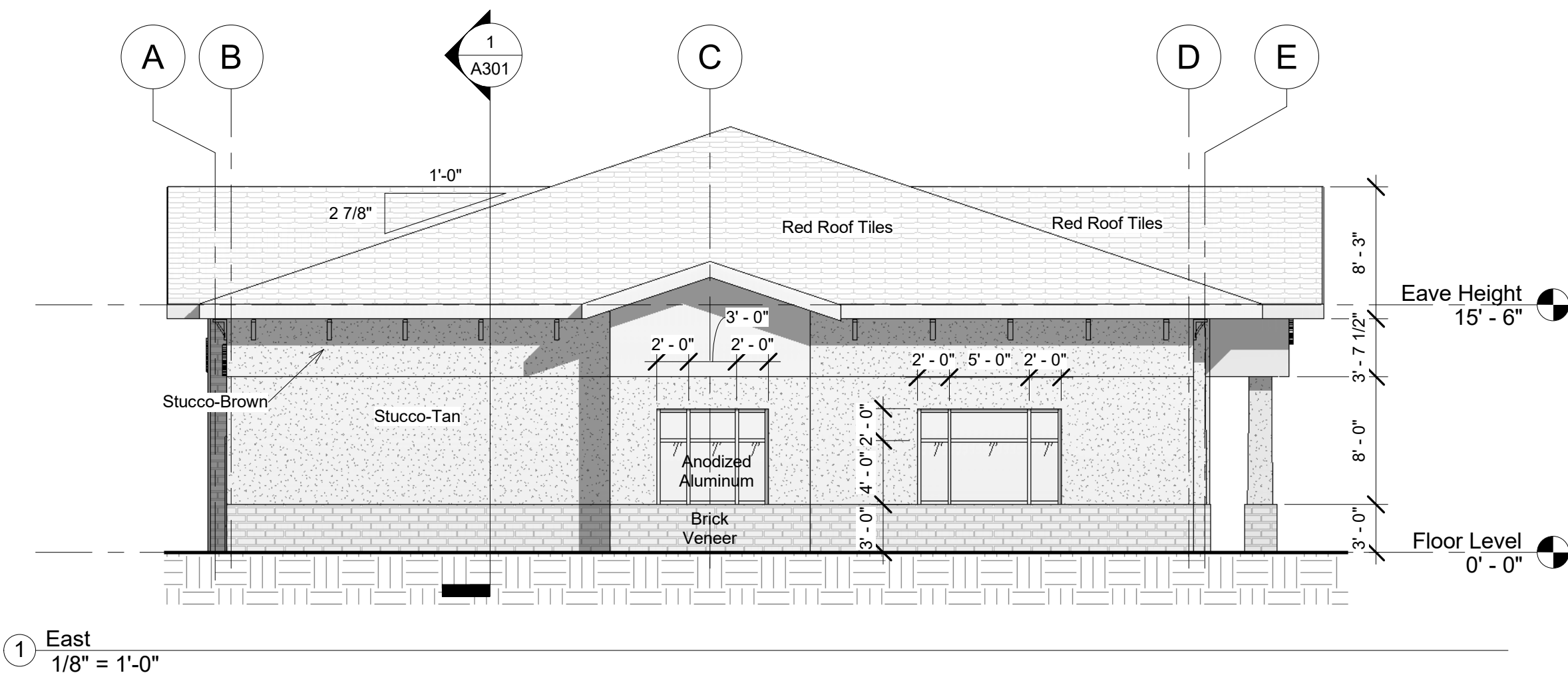
Floor Plan

Project number	2156
Date	10.07.2019

A101

Scale	1/8" = 1'-0"
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5030 Lakeview Drive

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No.	Description	Date
Revision Schedule		

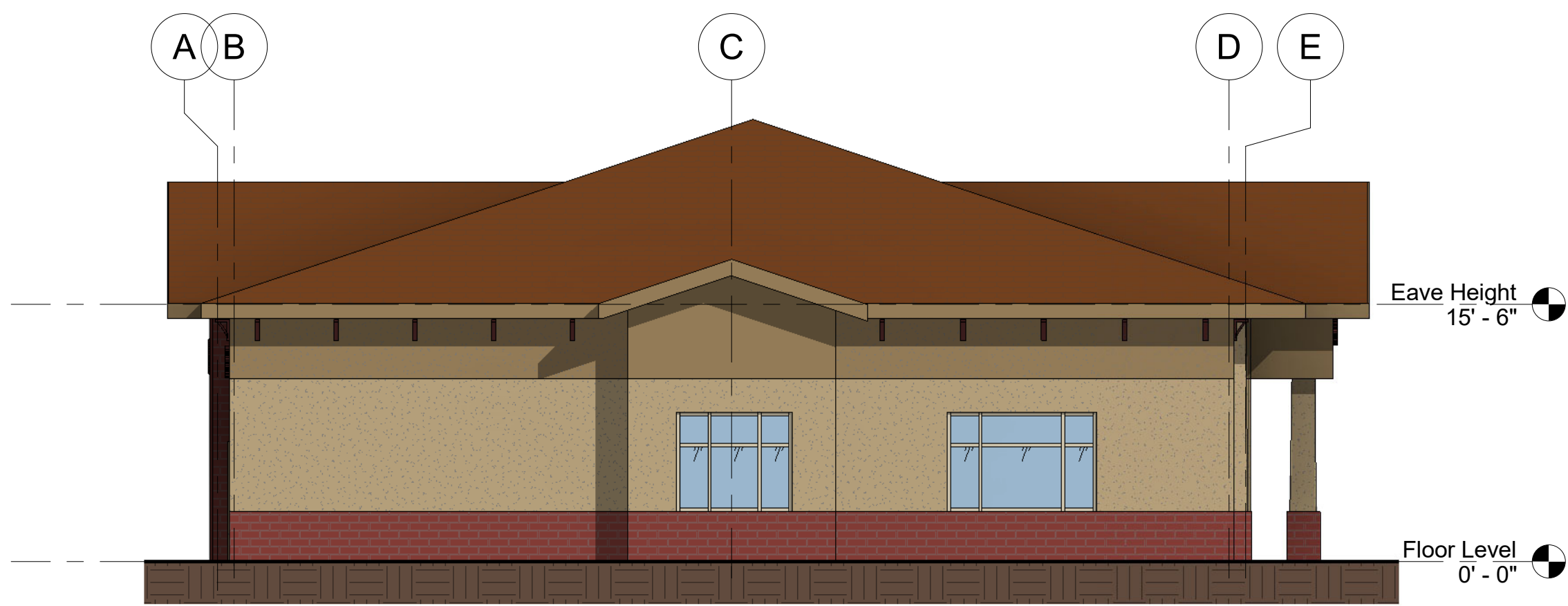
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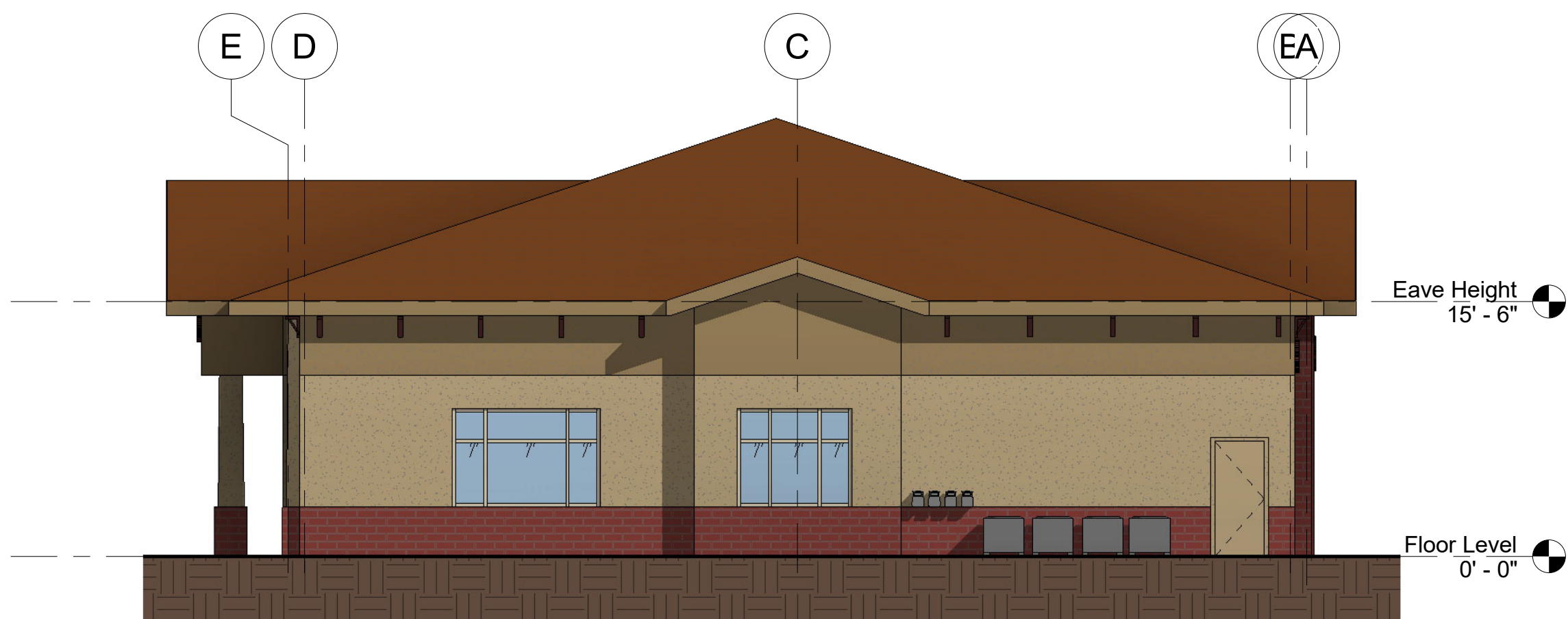
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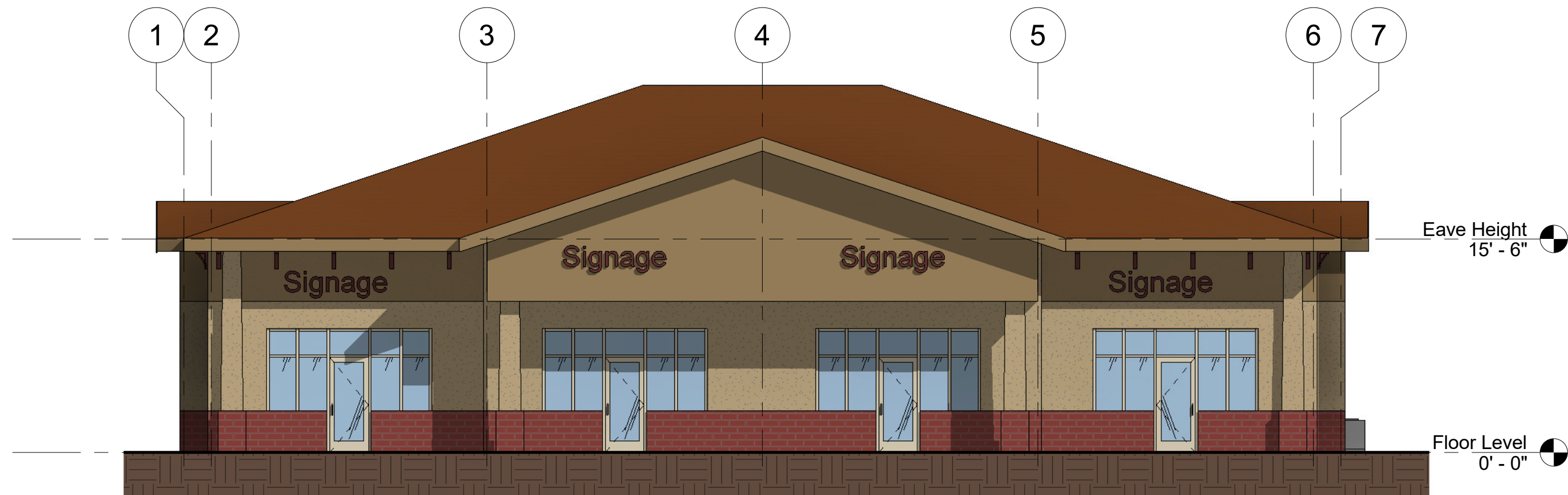
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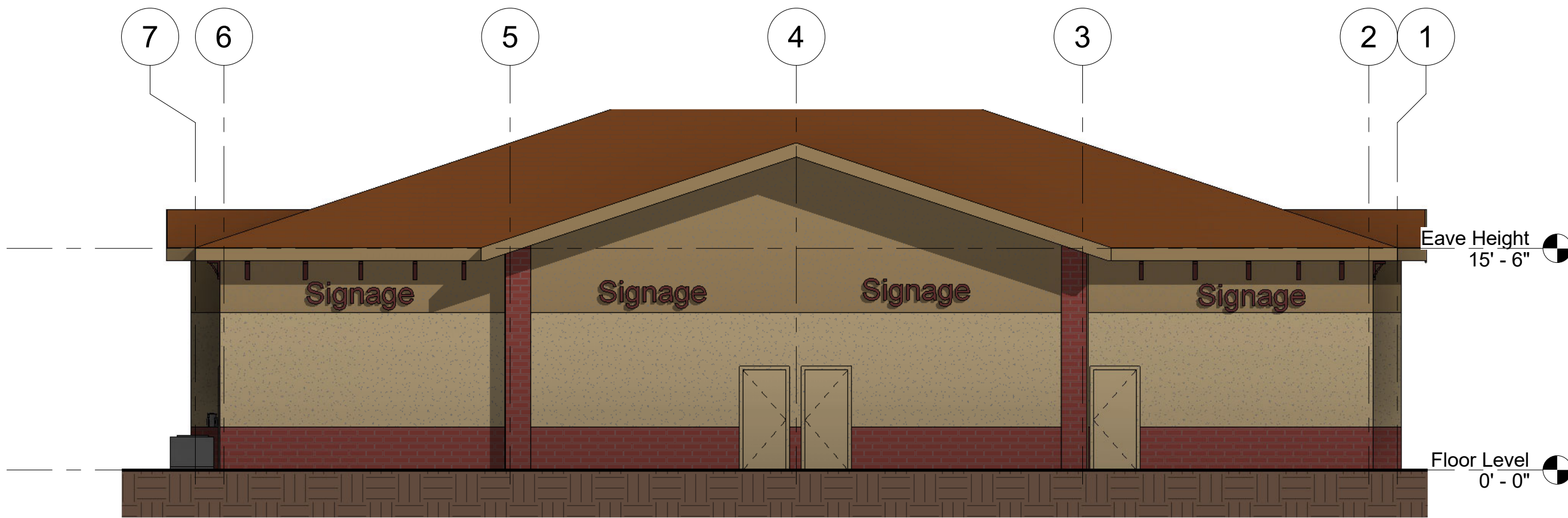
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④ West Color
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② North Color
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③ South Color
1/8" = 1'-0"

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NEW BUILDING FOR

LAKEWOOD RETAIL BUILDING 1

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No.	Description	Date
Revision Schedule		

Colored
Elevations

Project number	2156
Date	10.07.2019

A202

Scale	1/8" = 1'-0"
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Door Schedule					
Mark	Family	Type	Door Finish	Frame Finish	hardware type
1	Storefront Entry Single for Curtain Wall	Store Front Single Door	AL	AL	
2	Storefront Entry Single for Curtain Wall	Store Front Single Door	AL	AL	
4	Storefront Entry Single for Curtain Wall	Store Front Single Door	AL	AL	
5	Storefront Entry Single for Curtain Wall	Store Front Single Door	AL	AL	
6	Single-Flush	3 x7 Exterior	HM	HM	Lockset w/ lever handles, strike plate, 1-1/2 hinges, closer, drip cap, gasketing, bottom sweep.
7	Single-Flush	3 x7 Exterior	HM	HM	Lockset w/ lever handles, strike plate, 1-1/2 hinges, closer, drip cap, gasketing, bottom sweep.
8	Single-Flush	3 x7 Exterior	HM	HM	Lockset w/ lever handles, strike plate, 1-1/2 hinges, closer, drip cap, gasketing, bottom sweep.
9	Single-Flush	3 x7 Exterior	HM	HM	Lockset w/ lever handles, strike plate, 1-1/2 hinges, closer, drip cap, gasketing, bottom sweep.
10	Single-Flush	3 x7 Exterior	HM	HM	Lockset w/ lever handles, strike plate, 1-1/2 hinges, closer, drip cap, gasketing, bottom sweep.
11	Single-Flush	3 x 7 Toilet	WD	HM	Lockset w/ lever handles, strike plate, 1 - 1/2 pair hinges, closer.
12	Single-Flush	3 x 7 Office	WD	HM	Lockset w/ lever handles, strike plate, 1 -1/2 pair hinges
13	Single-Flush	3 x 7 Office	WD	HM	Lockset w/ lever handles, strike plate, 1 -1/2 pair hinges
14	Single-Flush	3 x 7 Toilet	WD	HM	Lockset w/ lever handles, strike plate, 1 - 1/2 pair hinges, closer.
15	Single-Flush	3 x 7 Office	WD	HM	Lockset w/ lever handles, strike plate, 1 -1/2 pair hinges
16	Single-Flush	3 x 7 Toilet	WD	HM	Lockset w/ lever handles, strike plate, 1 - 1/2 pair hinges, closer.
17	Single-Flush	3 x 7 Office	WD	HM	Lockset w/ lever handles, strike plate, 1 -1/2 pair hinges
18	Single-Flush	3 x 7 Toilet	WD	HM	Lockset w/ lever handles, strike plate, 1 - 1/2 pair hinges, closer.

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WD = SOLID CORE RED OAK, STAINED
AL = ANODIZED ALUMINUM
IRP = IMPACT RESISTANT PLASTIC

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GLASS IN DOORS AND SIDELIGHTS SHALL BE SAFETY GLASS PER IBC SEC. 2406.1

Room Schedule					
Number	Name	Base Finish	Wall Finish	Floor Finish	Ceiling Finish
01	Toilet	6" rubber cove	Epoxy Paint	VCT	2x4 Suspended Acoustical
02	Mech	4" rubber cove	Painted gyp. b'd	Concrete	2x4 Suspended Acoustical
03	Space 1	None	Painted gyp. b'd	Concrete	None
04	Toilet	6" rubber cove	Epoxy Paint	VCT	2x4 Suspended Acoustical
05	Mech	4" rubber cove	Painted gyp. b'd	Concrete	2x4 Suspended Acoustical
06	Space 2	None	Painted gyp. b'd	Concrete	None
07	Mech	4" rubber cove	Painted gyp. b'd	Concrete	2x4 Suspended Acoustical
08	Toilet	6" rubber cove	Epoxy Paint	VCT	2x4 Suspended Acoustical
09	Space 3	None	Painted gyp. b'd	Concrete	None
10	Owners Room	None	Painted gyp. b'd	Concrete	2x4 Suspended Acoustical
11	Toilet	6" rubber cove	Epoxy Paint	VCT	2x4 Suspended Acoustical
12	Mech	4" rubber cove	Painted gyp. b'd	Concrete	2x4 Suspended Acoustical
13	Space 4	None	Painted gyp. b'd	Concrete	None

CEILING TO BE 9'-0" AFF

Wall Schedule		
Type Mark	Type	Type Comments
1a	Interior Partition-Metal Stud	3-5/8" Metal studs @ 16" o.c. w/ 3 1/2" fiberglass batt insulation and (1) layer 5/8" gyp. board each side. To 6" above ceiling
1b	Interior Partition-Demising	6" Metal studs @ 16" o.c. w/ 6" fiberglass batt insulation and (1) layer 5/8" gyp. board each side. To 6" Roof Structure w/ slip track
Brick Veneer	Exterior - With brick veneer	

Window Schedule					
Type Mark	Type	Height	Width	Sill Height	Count
01	36" x 72"	6' - 0"	4' - 0"	3' - 0"	1

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NEW BUILDING FOR
LAKEWOOD RETAIL BUILDING 2
5030 Lakeview Drive

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No.	Description	Date
Revision Schedule		

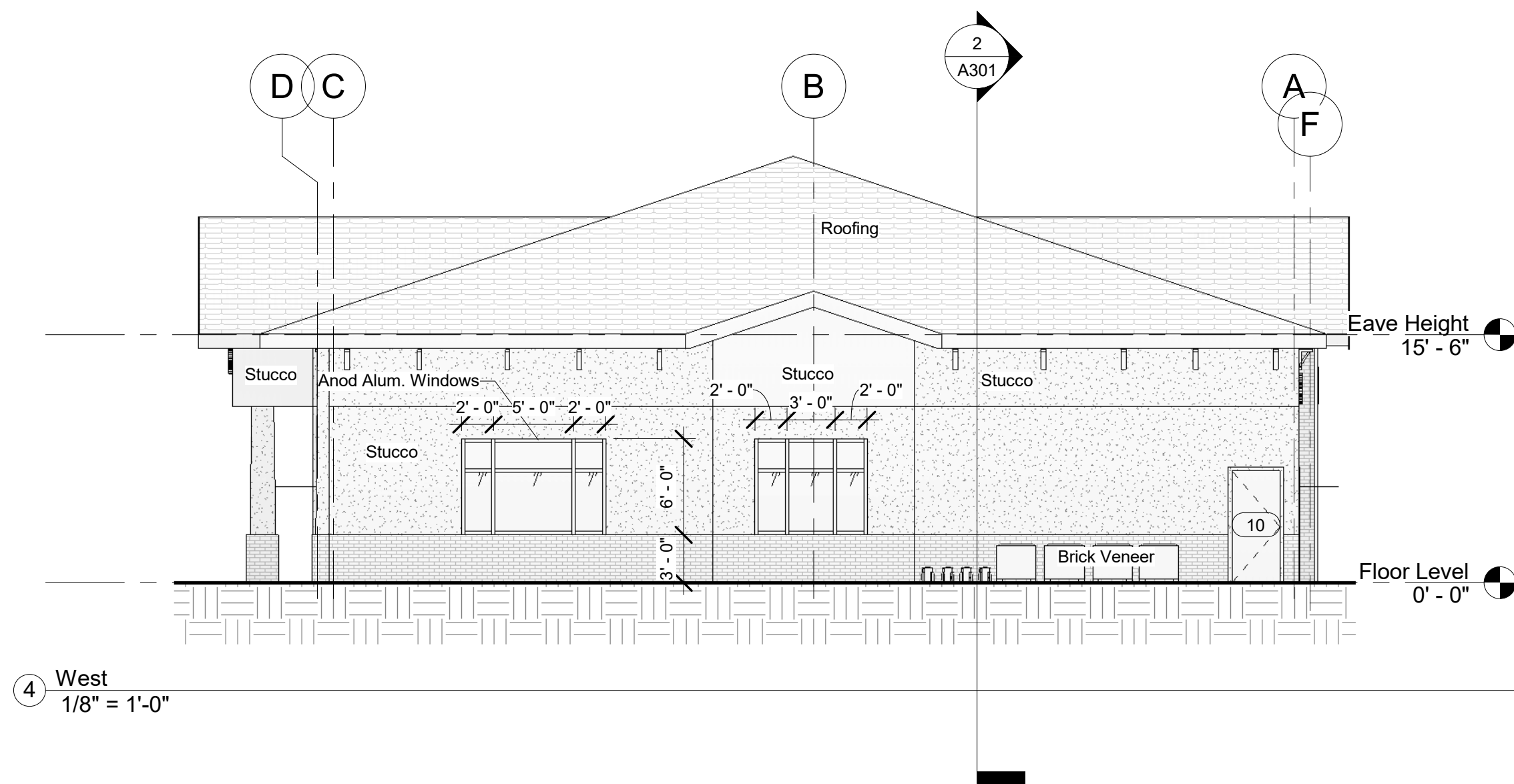
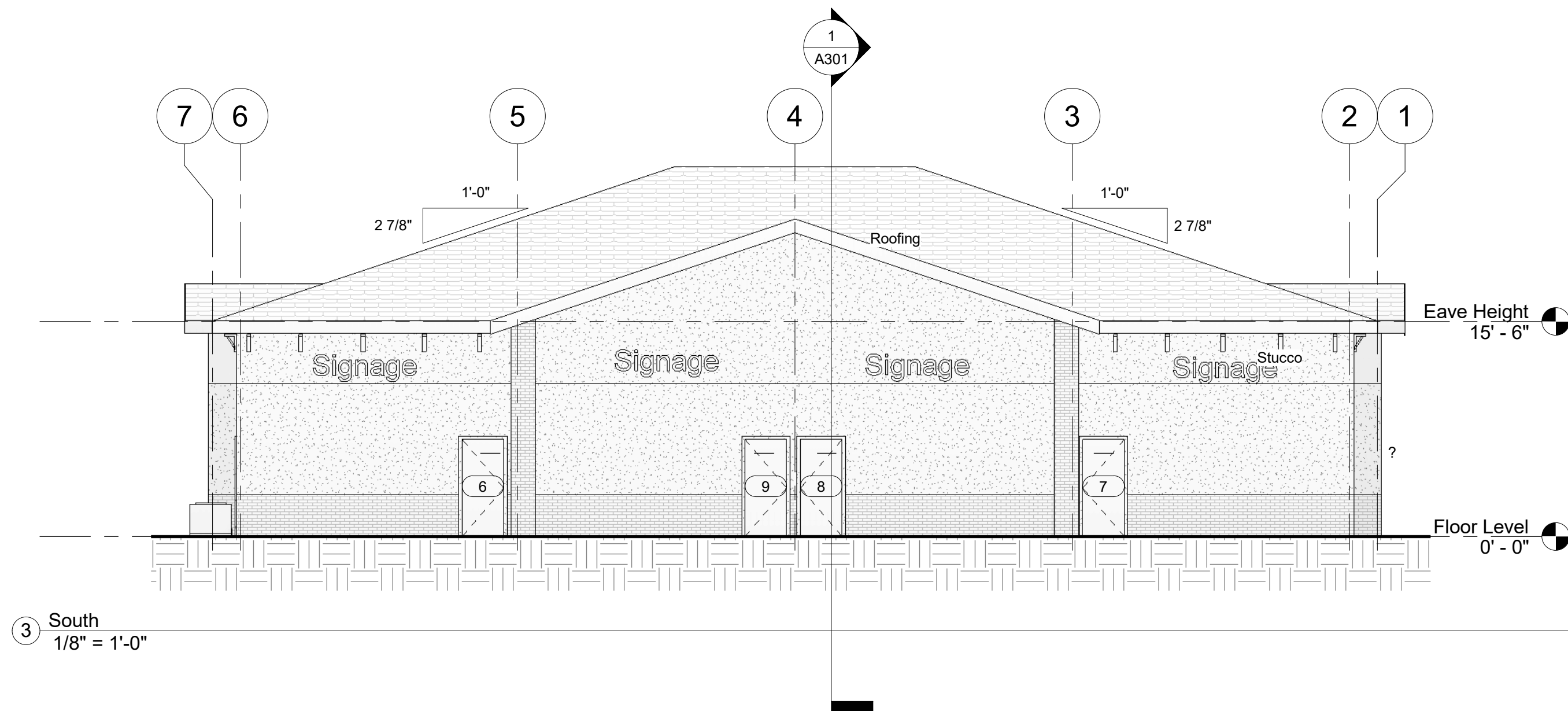
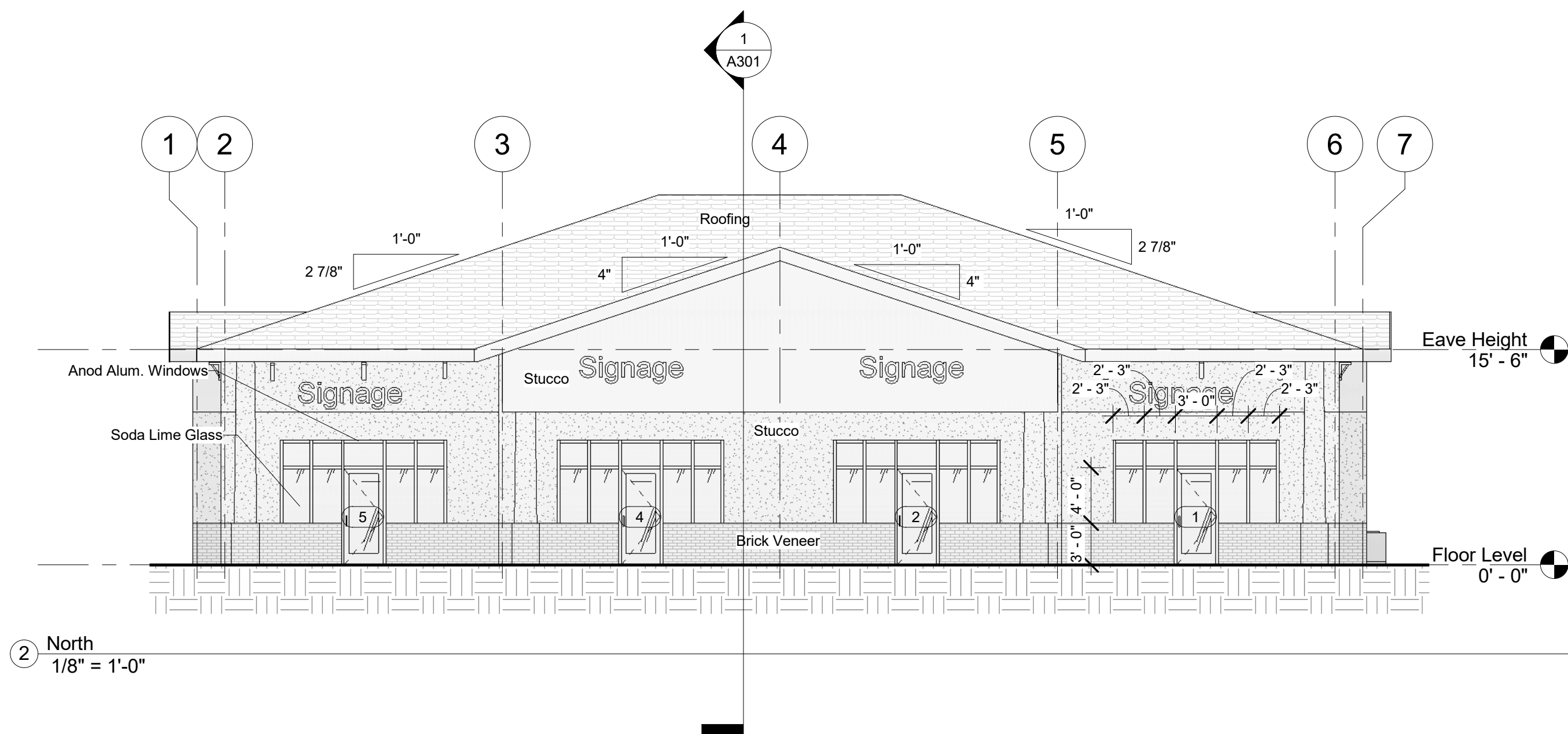
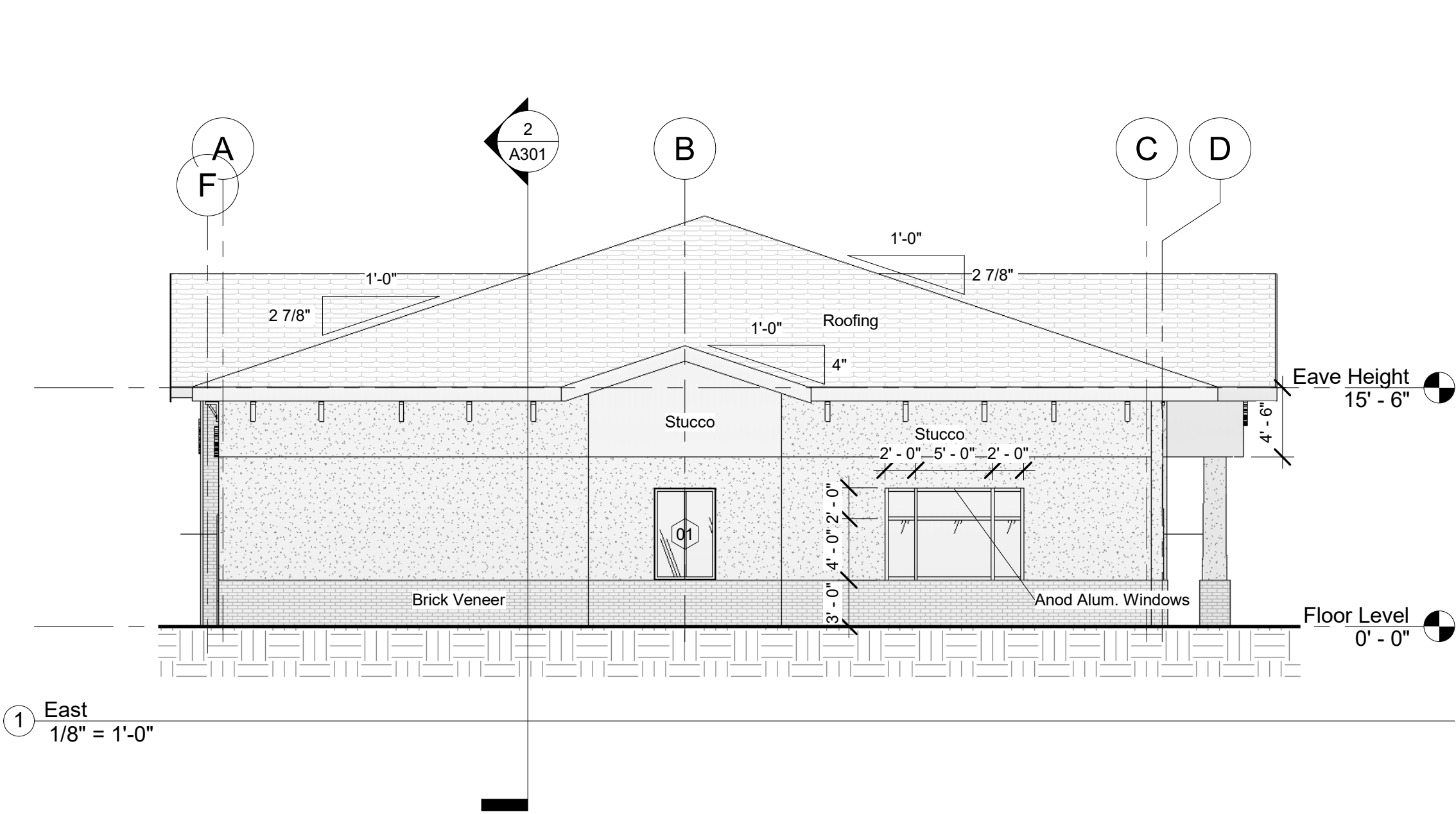
Floor Plan

Project number 2156
Date 10.07.2019

A101

Scale 1/8" = 1'-0"

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NEW BUILDING FOR
LAKEWOOD RETAIL BUILDING 2

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No.	Description	Date
Revision Schedule		

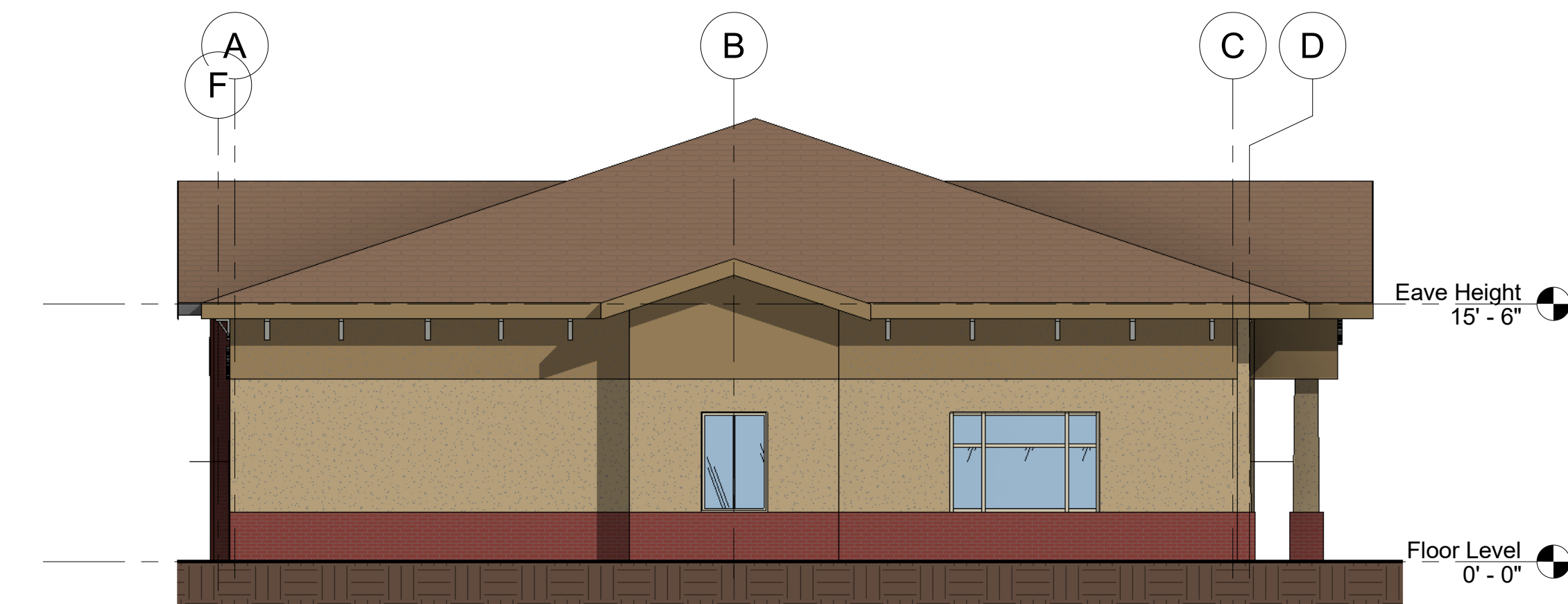
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Project number	2156
Date	10.07.2019

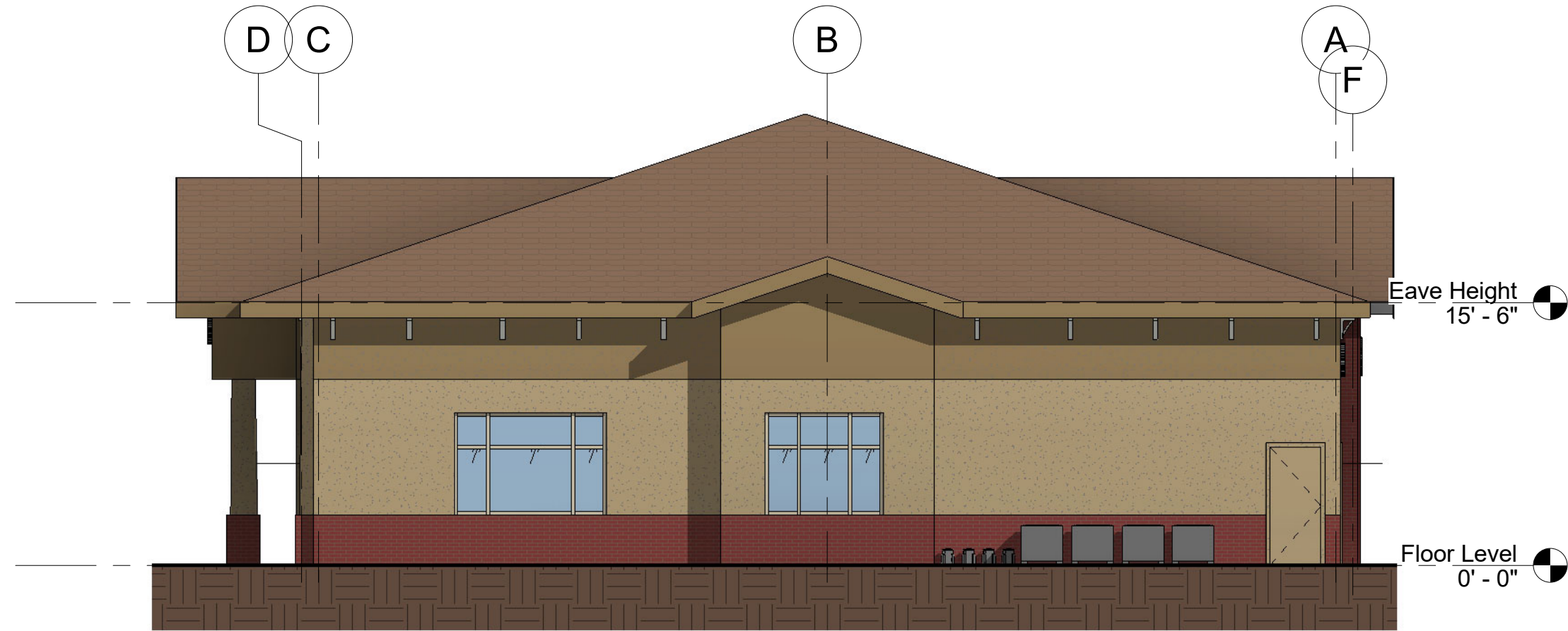
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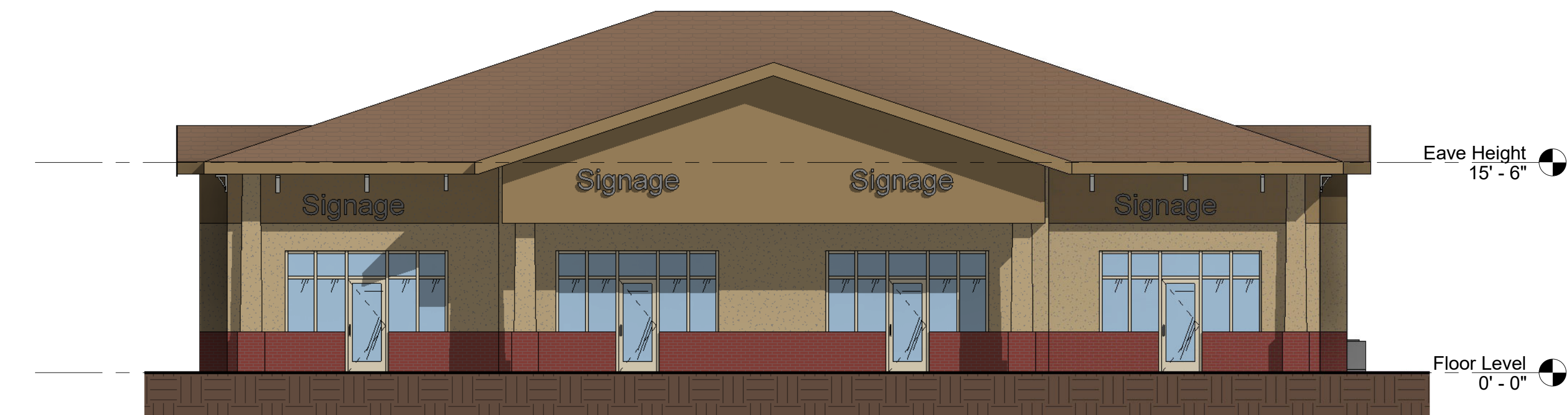
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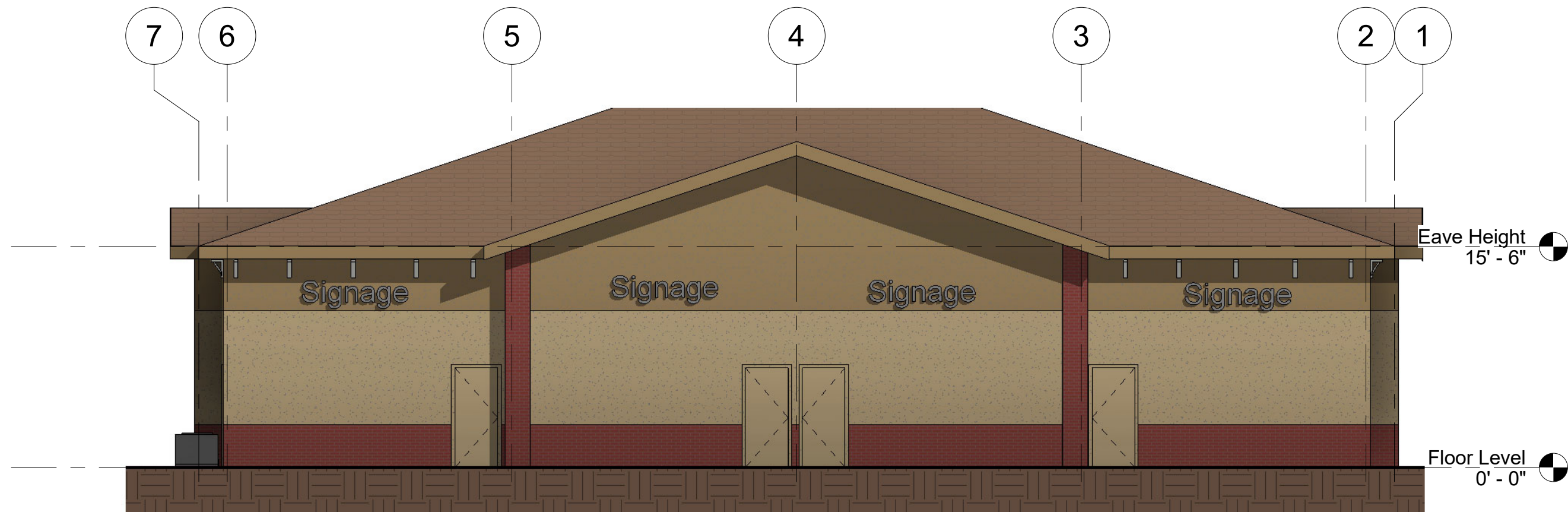
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1/8" = 1'-0"



④ West Color
1/8" = 1'-0"



② North Color
1/8" = 1'-0"



③ South Color
1/8" = 1'-0"

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NEW BUILDING FOR
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No.	Description	Date
Revision Schedule		

Colored
Elevations

Project number	2156
Date	10.07.2019

A202

Scale	1/8" = 1'-0"
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10/18/2019 1:46:05 PM